

# Exhibit A

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**VAN ESS PROPERTIES LLC (PLN230218)**

### **RESOLUTION NO. 24--**

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303 and no exceptions apply under section 15300.2; and
- 2) Approving a Combined Development Permit consisting of a:
  - a. Coastal Administrative Permit and Design Approval to allow construction of a 2,309 square foot single-family dwelling and associated site improvements including the removal of two planted Monterey cypress trees;
  - b. Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area; and
  - c. Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

[PLN230218, VAN ESS PROPERTIES LLC, 179 Van Ess Way, Carmel, Carmel Area Land Use Plan (APN: 241-311-044-000)]

**The VAN ESS application (PLN230218) came on for a public hearing before the County of Monterey Zoning Administrator on October 31, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the County of Monterey Zoning Administrator finds and decides as follows:**

### **FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 1982 County of Monterey General Plan;
  - Carmel Area Land Use Plan (LUP);

- Carmel Coastal Implementation Plan (CIP; Part 4); and
- County of Monterey Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The subject property is currently vacant, except for a driveway connecting the property to Van Ess Way. The project proposes to construct a one-story 2,309 square-foot single-family dwelling, inclusive of an attached garage. Proposed site improvements include a replacement driveway, replacement on-site wastewater treatment system, replacement entrance gate, new hardscape, and new retaining walls. The proposed project also involves development within 100 feet of environmentally sensitive habitat areas and 750 feet of known archaeological resources. Two planted cypress trees near the existing driveway will be removed due to construction-related impacts. Grading will consist of approximately 700 cubic yards of cut and 100 cubic yards of fill, with 600 cubic yards of export.
- c) Allowed Use. The property is located at 179 Van Ess Way, Carmel, Carmel Area Land Use Plan, Assessor's Parcel Number (APN): 241-311-044-000. The parcel is zoned Low-Density Residential, 1 unit per acre, Design Control Overlay, within the Coastal Zone, or "LDR/1-D(CZ)", which allows for the construction of the first single dwelling, subject to the granting of a Coastal Administrative Permit. The Design Control overlay requires the granting of a Design Approval. Additionally, development within 100 feet of environmentally sensitive habitat and within 750 feet of known archaeological resources requires the granting of a coastal development permit, in each case. Therefore, the project is an allowed land use for this site. As described in Finding No. 1, Evidence "g", the removal of planted native trees does not require the granting of a discretionary permit.
- d) Lot Legality. The subject property (2.98 acres) was recognized as a legal lot of record through the issuance of Certificate of Compliance No. CC240004 (Clerk Recorder's Document No. 2024025032), recorded on July 18, 2024. No structural development is proposed within the property's conservation and scenic easement area. The proposed replacement engineered alternative on-site wastewater treatment system is an allowed use with the easement area, per Clerk Recorders Document No. 202420331.
- e) Design/Neighborhood, Community Character, and Visual Resources. Pursuant to Title 20 Chapter 20.44, the subject parcel and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The subject property is within the "General Viewshed", as established by Map A of the Carmel Area LUP. However, as confirmed by HCD-Planning staff's site visit, the proposed development will not be visible from any public vista point due to existing mature vegetation and the proposed natural colors and materials. As proposed, the exterior colors and materials consist of dark natural stone, blackened steel, natural horizontal wood siding, and dark

grey roofing. The proposed colors and materials are compatible with and blend into the dark undertones of the surrounding natural environment (cypress trees and vegetation) and will not contrast with the residential neighborhood's character. Condition No. 5 has been applied to require the installation of down-lit unobtrusive exterior lighting. Condition No. 10 has been applied to require the installation of shading treatment and non-reflective glazing on all northern-facing windows. This condition will help control the visibility of the interior lighting and reduce glare from exterior windows. As proposed and conditioned, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

- f) Development Standards. Development standards for the LDR zoning district are identified in Title 20 section 20.14.060. Required setbacks for main structures in this LDR district are 30 feet (front), 20 feet (rear), and 20 feet (sides). The proposed residence will have a front setback of approximately 142 feet, side setbacks ranging between approximately 26 feet and 107 feet, and a rear setback of approximately 258 feet. The allowed height for main structures is 30 feet above the average natural grade. The proposed residence will have a height above average natural grade of 17.25 feet. At 2.98 acres, the maximum allowed building coverage is 19,451 square feet or 15% of the total property size. Implementation of the project will result in a building site coverage of 2.4% (3,058 square feet). Therefore, the proposed project meets the required site development standards.
- g) Tree Removal. The proposed project involves the removal of two cypress trees that will be impacted by construction-related activities. The Project Biologist and Project Arborist have determined that these trees are planted species. Removal of these trees will not result in additional exposure of the proposed residence and are not subject to the protections of the property's Conservation and Scenic Easement. Therefore, the proposed removal does not require the granting of a Coastal Development Permit per Carmel CIP section 20.146.060(A)(1)(a). Consistent with the recommendations of the Project Arborist, Condition No. 6 has been applied to require that two Monterey Pines or Cypress trees be replanted, in addition to the trees that must be replanted to satisfy the conditions of TRM230081 and TRM160403. Condition No. 4 has been applied to require that tree and root protection measures be installed prior to construction and maintained throughout construction activities.
- h) Environmentally Sensitive Habitat Area. The project includes a Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area (ESHA). Policies in Chapter 2.3 of the Carmel Area LUP are directed at maintaining, protecting, and where possible enhancing sensitive habitats. As sited, designed, and conditioned, the project avoids impacts on environmentally sensitive habitats. See Finding No. 5 and supporting evidence.
- i) Cultural Resources. Pursuant to Carmel Coastal Implementation Plan (Part 4) section 20.146.090.A(1), an archaeological report was prepared because the site is identified in County of Monterey GIS as having a high archaeological sensitivity and being within 750 feet of known

archaeological resources. The prepared archaeological report (County of Monterey Library No. LIB230288) determined that although a resource does exist within 750 feet of the project site, no resources exist on site. Therefore, a Coastal Administrative Permit is required. The project site was previously developed with a single-family dwelling (demolished in 2024 under PLN230138, Planning Commission Resolution No. 24-004) and has undergone moderate amounts of ground disturbance since approximately 1956 when the previous residence was constructed. The proposed dwelling is situated in a previously graded area. The Project Archaeological observed no site indicators of precontact cultural activity and found that disturbance of subsurface deposits is unlikely. There is no evidence that any cultural resources would be disturbed as part of this project, and the potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- j) Public Access. As proposed, the development is consistent with applicable public access policies of the Carmel Area LUP. See Finding No. 7 and supporting evidence.
- k) Land Use Advisory Committee (LUAC) Review. Consistent with the Board of Supervisors adopted LUAC Guidelines, the proposed project was referred to the Carmel Highlands LAUC for review on January 16, 2024. During this meeting, members of the public raised concerns regarding the proximity of the residence to steep slopes, construction-related impacts to the neighborhood and on Van Ess Way, and impacts on private views, and had questions about on-site construction staging. Members of the public also made general comments about the need to keep the turnaround at the end of Van Ess Way free of parking and the need to trim vegetation along Van Ess Way and raised concerns about the safety of turning onto Van Ess Way from Highway 1. The LUAC voted 6-0 to support the project as proposed and described the project as incorporating a "tasteful design [that] integrates well with the property, taking advantage of a low-profile design with natural structural elements." Construction of the first single-family dwelling is exempt from the private roadway standards of Monterey County Code Chapter 16.80. However, implementation of Condition No. 9 (Construction Management Plan) will ensure that all staging will be on-site and construction activities will not impact parking along or the accessibility of Van Ess Way. A Geotechnical Report was prepared and found the site to be suitable for development.
- l) The project planner conducted a site inspection on November 27, 2023 to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230218.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to archaeological, historic, biological, forest, and soil resources. The following reports have been prepared:
    - “Phase I Historic Assessment” (LIB230220) prepared by Seth Bergstein, Pacific Grove, CA, August 25, 2022.
    - “Tree Assessment/Forest Management Plan” (LIB230287) prepared by Justin Ono, Pacific Grove, CA, August 2, 2023.
    - “Phase I Archaeological Assessment” (LIB230288) prepared by Susan Morely, Marina, CA, July 1, 2023.
    - “Geotechnical Investigation Design Phase” (LIB230289) prepared by Greg Bloom, Watsonville, CA, September 26, 2022.
    - “Biological Assessment” (LIB230326) prepared by Fred Ballerini, Pacific Grove, CA, July 6, 2023.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
  - c) Staff conducted a site inspection on November 27, 2023 to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230218.

**3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and Carmel Highlands Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not hurt the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities will be provided. California American Water will provide the project site with potable water. The proposed project includes the demolition of the existing septic system and installation of a replacement engineered alternative on-site wastewater treatment system (OWTS). EHB reviewed the proposed OWTS plans, prepared by Biosphere Consulting, as well as the percolation data, and found no

issues. No groundwater was encountered in the exploratory boring (5.25 feet deep).

- c) Staff conducted a site inspection on November 27, 2023 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230218.

4. **FINDING:** **VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses but is out of compliance with previously approved tree removal permits.
- EVIDENCE:**
- a) Staff conducted a site inspection on November 27, 2023 to assess if any violation exists on the subject property. Staff also reviewed County of Monterey HCD-Planning and HCD-Building Services records. HCD-Planning issued two Coastal Development Permit Waivers to allow the removal of a total of six Monterey pine trees (HCD-Planning File No. TRM230081 and TRM160403). As conditioned, the Applicant/Owner was required to replant six Monterey pines or four Monterey pines and two cypress trees. The Applicant/Owner has yet to comply with these conditions and is therefore in violation of Title 20, per section 20.90.050. Construction of the proposed residence could impact the health of the trees to be re-planted. Accordingly, Condition No. 6 has been applied to require that six Monterey pines or four Monterey pines and two Cypress trees be re-planted on-site within the Conservation and Scenic Easement or in close proximity to the proposed residence. Adherence to Condition No. 6 will clear outstanding condition compliance actions under TRM230081 and TRM160403 and abate the violation.
  - b) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230218.

5. **FINDING:** **DEVELOPMENT WITHIN 100 FEET OF ENVIRONMENTALLY SENSITIVE HABITAT AREAS** – The subject project avoids or minimizes impact on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the Carmel Area LUP, Coastal Implementation Plan, and applicable zoning codes.
- EVIDENCE:**
- a) The project includes an application for development within 100 feet of environmentally sensitive habitat areas (ESHA). In accordance with the applicable policies of the Carmel Area LUP and the County of Monterey Zoning Ordinance (Title 20), a Coastal Development Permit is required and the authority to grant said permit has been met.
  - b) The policies in Chapter 2.3 of the Carmel Area LUP are directed at maintaining, protecting, and where possible enhancing sensitive habitats. Policy 2.3.3.1 of the Carmel Area LUP requires that the construction of structures be avoided within critical and sensitive habitat areas and sites of known rare and endangered species of plants and animals. This Policy prohibits non-resource-dependent uses within ESHA but allows for such uses to be adjacent to or within 100 feet of

ESHA, provided the development is at a density compatible with the protection and maintenance of the adjoining resources and compatible with the long-term maintenance of the resource. As designed and conditioned, the project is consistent with applicable policies regarding avoidance and minimization of habitat disruption.

- c) A Biological Report was prepared pursuant to Carmel Area LUP Policy 2.3.3.5 to determine whether ESHA exists on the subject property. The biological report (County of Monterey Library No. LIB230326) found that portions of the subject property contain Northern coastal bluff scrub habitat and Central maritime chaparral, both of which are protected habitats in the Carmel Area LUP. Further, the Project Biologist observed listed sensitive species including Seacliff buckwheat (*Eriogonum parvifolium*), Seaside paintbrush (*Castilleja latifolia*), Monterey ceanothus (*Ceanothus rigidus*), Small leaved lomatium (*Lomatium parvifolium*). Seacliff buckwheat is found in several scattered, discontinuous patches and individual occurrences south of the project site. Though on-site populations of the Seacliff buckwheat plant are limited, and no federally endangered Smith's blue butterflies were observed during the Biologist's field surveys, there is potential for Smith's blue butterfly to utilize the buckwheat plants on the parcel as historical sightings have been recorded in nearby parcels to the north and south. Further, though cypress, eucalyptus, and Monterey pine trees occupy the site, the Project Biologist determined that Western bumble bees and Monarch butterflies have a very low potential to occupy the site, and no overwintering habitat exists. A variety of nesting birds occupy nearby trees. Invasive plant species cover most of the landscape areas and spread throughout the natural communities adjacent to the development.
- d) The proposed development is primarily sited within the existing development footprint. The siting of the development avoids disturbance to the adjacent areas containing environmentally sensitive natural plant communities and natural habitats. Central maritime chaparral and coastal scrub exist in close proximity (within 10-30 feet) to the proposed development. All on-site sensitive habitats and plants are located within the existing CSE, as confirmed by the Project Biologist. To ensure no impacts occur to nearby sensitive habitats and/or individual plants, Condition No. 9 (Construction Management Plan) has been applied to require that construction staging is outside of sensitive habitats (including CSE areas), adherence to erosion control best management practices, and installation of habitat protection fencing along the perimeter of the CSE boundary and driveway. Compliance with this condition ensures the protection of the adjoining resources.
- e) Construction of the replacement residence will not require the removal of native or sensitive vegetation. However, the replacement OWTS is sited within Monterey cypress understory that lacks sensitive resources. This area is not considered ESHA under the Carmel Area LUP. The replacement OWTS is necessary to provide the residence with adequate on-site wastewater treatment. In accordance with Carmel Area LUP Policy 2.3.3.7, the project limits the amount of indigenous vegetation

removal to only improvements related to the installation of the OWTS. Carmel Area LUP Policy 2.3.3.2 stipulates land uses adjacent to locations of environmentally sensitive habitats shall be compatible with the long-term maintenance of the resources. Further, Carmel Area LUP Policy 2.3.3.3 requires that new development be proposed at a density that ensures the maintenance of adjacent sensitive habitat. In accordance with these policies, as well as Carmel Area LUP Policy 2.3.3.8 (native landscaping), Condition No. 11 has been applied. Condition No. 11 requires a qualified biologist and landscape architect to prepare a Restoration and Landscape Plan that restores native vegetation areas that are disturbed by the implementation of the proposed project, eradicates invasive species (cape ivy, pride-of-Madeira, pampas grass, freeway daisy, and pink rosea ice plant) that are encroaching into sensitive natural communities on-site, and introduces native species into the landscaping. Implementation of this condition will prevent continued encroachment of invasive species into adjacent sensitive scrub and chaparral habitats and ensure long-term maintenance of the property's ESHA.

- f) Condition No. 12 requires that the Applicant/Owner obtain a bird nesting survey. Should protected avian species or their nests occupy nearby trees, the Applicant/Owner shall incorporate the biologist's recommendations to avoid impacts to avian species.
- g) The project planner conducted a site inspection on November 27, 2023, to verify that the proposed project on the subject parcel conforms to the applicable plans and Title 20 requirements relating to ESHA.
- h) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in project file PLN230218.

**6. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts the construction of the first single-family dwelling on a residential lot of record and accessory structures.
  - b) The proposed project involves the construction of a single-family dwelling and associated site improvements. Therefore, the project meets the criteria of CEQA Guidelines section 15303.
  - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. While the project site supports and contains environmentally sensitive habitat, the proposed project has been designed and conditioned to reduce the severity of impacts to less than significant by siting the residence in previously disturbed soils and avoiding ESHA, installing protective fencing along the boundary of the CSE, and restoring areas of containing native (non-sensitive) vegetation. Though the adjacent lot (APN:241-311-043-000) is also being developed with a single-family dwelling (PLN230217), neither project will adversely impact the environment and no cumulative effects will occur. The site is not included on any list compiled

pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known historical resources are found in the geotechnical or archaeological reports which may cause a substantial adverse change in the significance of a historical resource. The proposed single-family dwelling will not be visible from public vista points, such as Highway 1 and Point Lobos State Nature Reserve. Also see preceding findings and supporting evidence.

- d) No adverse environmental effects were identified during staff review of the development application during a site visit on November 27, 2024.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230218.

**7. FINDING: PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the County of Monterey Coastal Implementation Plan can be demonstrated.
  - b) Although the subject property is shown in an area where the applicable Local Coastal Program requires public access (Figure 3, Public Access, Carmel Area Land Use Plan), no evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property. Additionally, the development of the site will not affect the processes of the shoreline.
  - c) County staff conducted a site inspection on November 27, 2023, to verify that the proposed project will not impact public access.
  - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230218.

**8. FINDING: APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Section 20.86.030 of the County of Monterey Zoning Ordinance (Title 20) allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
  - b) Coastal Commission. Pursuant to Section 20.86.080.A.3 of the County of Monterey Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development that is permitted in the underlying zone as a conditional use.

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303 and no exceptions apply under section 15300.2; and
- 2) Approve a Combined Development Permit consisting of a:
  - a. Coastal Administrative Permit and Design Approval to allow construction of a 2,309 square foot single family dwelling and associated site improvements including the removal of two planted Monterey cypress trees;
  - b. Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area; and
  - c. Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached condition, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 31<sup>st</sup> day of October, 2024.

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

## NOTES

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230218

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit (PLN230218) allows 1) a Coastal Administrative Permit and Design Approval to allow construction of a 2,309 square foot single-family dwelling and associated site improvements including the removal of two planted Monterey cypress trees; 2) Coastal Administrative Permit to allow development within 750 feet of known archaeological resources; and 3) Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat Area . The property is located at 179 Van Ess Way, Carmel (Assessor's Parcel Number 241-311-044-000), Carmel Area Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit (Resolution Number \_\_\_\_\_) was approved by the Monterey County Zoning Administrator for Assessor's Parcel Number 241-311-044-000 on October 31, 2024. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.  
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

#### 5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 6. PD048 - TREE REPLACEMENT/RELOCATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Prior to final inspection, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1 ( 8 trees; 8 Monterey Pines, or 6 Monterey Pines and 2 Monterey Cypress, or 4 Monterey Pines and 4 Monterey Cypress)

- Replacement ratio recommended by arborist: 1:1

Replacement tree(s) shall be located within the same general location as the tree being removed or within the conservation and scenic easement (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

## 7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 8. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

## 9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. The CMP shall require that the Applicant/Owner/General Contractor keep Van Ess Way clear of any construction debris, including but not limited to materials, dirt, etc. All construction-related vehicles, including employee vehicles, shall be limited to 10 MPH along Van Ess Way. Prior to the start of construction-related activities, the Applicant/Owner shall take photos of the existing conditions of Van Ess Way. Should construction of the project damage Van Ess Way, the Applicant/Owner shall repair Van Ess Way in accordance with CA Civil Code §845(a). Truck and construction staging shall be located outside of the conservation and scenic easement areas. The CMP shall also delineate where protective habitat fencing will be installed (along conservation and scenic easement boundary and along the proposed driveway) and maintained throughout construction activities. A qualified biologist shall be retained to monitor installation of the fencing and on-going monitoring to ensure fencing remains intact during construction, as recommended by LIB230326.

The following language shall be added to the CMP:

-Mobilized mechanized grading equipment should be pressure washed prior to mobilization to prevent unwarranted plant pathogens or invasive species seed or vegetative debris from entering and potentially pioneering on the site. Use of heavy equipment should be restricted to areas within the approved construction envelope.

-Sediment control devices should be installed on the downhill perimeter of the construction envelope and exposed soil areas. Specifically, sediment control devices, debris fencing or silt dams should be installed in a manner that the adjacent habitat and sensitive resources are protected from disturbed, excavated or graded construction soils or construction debris from moving offsite. No site erosion shall be permitted to enter areas supporting natural communities beyond the impact perimeter of the development. Disturbed soils shall be stabilized prior to rainy weather, either with the use of biodegradable netting, mulching or planting strategy.

-Any disturbed soil within the project zone generated by the project must be kept free of invasive, exotic plant species.

- Excavated clean upper soil horizon soils from the construction site could be used to top dress final landscape restoration areas in order to provide a suitable medium for vegetation establishment and growth. Prior to final grading, all construction debris shall be removed and construction activities completed in the areas to be treated with the approved native seed mix. To protect adjacent habitats from inadvertent soil deposition impacts, excavated substrate materials shall not be cast into adjacent habitats or areas beyond the approved development zone; rather it should be hauled off location and disposed at a receiver site or used for in-fill within the development area per recommendations of the grading plan.

-If needed to stabilize any disturbed areas within the work zone, final landscape/restoration grading should consist of a roughened condition, perpendicular to the slope, in order to augment seed germination and soil stabilization. After the completion of the soil disturbance activities, any disturbed soils shall be stabilized with native landscape species, plant materials, and mulching and installed in all restoration areas in the fall months prior to or in conjunction with the seasonal rains.

**Compliance or  
Monitoring  
Action to be  
Performed:**

**ADDITIONAL TEXT:**

-Native plant seeding or revegetation may be necessary in the areas where soil disturbance, including areas where exotic species have been removed.

- The Project shall comply with California Code of Regulations Title 13 Sections 2449 and 2485, which prohibit diesel-fueled commercial motor vehicles and off-road diesel vehicles from idling for more than five minutes.

Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

**ACTIONS NEEDED FOR RESOLUTION:**

Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD-Engineering Services for review and approval.

Prior to issuance of the Grading Permit or Building Permit, the Applicant/Owner shall submit a contract with a qualified biologist that required supervising installation of the protective fencing and on-going monitoring to ensure fencing remains intact.

Prior to issuance of the Grading Permit or Building Permit, the Project Biologist shall submit a letter with photographic evidence demonstrating that the protective fencing has been installed in accordance with the recommendations of LIB230326.

Prior to issuance of construction or grading permits, the Applicant/Owner shall submit photos of the existing conditions of Van Ess Way.

On-going through construction phase, the Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

## 10. PDSP002 - WINDOW TREATMENT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Glass windows on the north-facing elevation of the single-family dwelling residence have the potential for glare in the dusk/sunset portion of the day. Therefore, the applicant/owner shall use non-reflective, non-glare glass, along with a shading treatment, in order to control visibility of the interior lighting from the exterior. Shading treatment shall be used at dawn/dusk.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building/grading permits, the applicant/owner shall submit schematic plans and elevations of the north elevation illustrating the implementation of non-reflective, non-glare glass and a shading treatment. Applicant/owner shall submit product information sheets and a narrative describing the product characteristics that make it suitable for the purpose of controlling visibility of interior lighting from the exterior.

Prior to occupancy, owner/applicant shall provide suitable evidence of a nighttime study showing operational visibility of the interior lighting through the installed windows from the exterior.

On an on-going basis, the Owner/Applicant shall ensure the non-reflective, non-glare glass and shading treatment are operated and maintained in accordance with the approved plan.

## 11. PDSP001 - RESTORATION & LANDSCAPE PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** To comply Carmel Area LUP Policies 2.3.3.2 and 2.3.3.8, a Restoration and Landscape Plan should be developed by a qualified biologist and landscape architect and implemented to restore existing landscape areas on the parcel including areas currently occupied with aggressive invasive species (primarily iceplant, cape ivy, and pride-of-Madeira). The restoration plan shall describe passive restoration approaches, potential salvage and growing operations, plant specifications, restoration techniques, and management strategies including long term monitoring and invasive species control protocols required for the restoration and management of the sensitive resource found on the parcel. The plan shall also address the restoration of disturbed areas (eg. OWTS replacement, trenching activities, etc.) that will require revegetation. Should construction-related activities inadvertently impact special status plants, the Restoration and Landscape Plan shall require replanting at a minimum ratio of 3:1. The Restoration and Landscaping Plan shall incorporate Recommendation Nos. 5 and 7 of the Biologist Assessment prepared by Fred Ballerini (LIB230326)

The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

Eradication of invasive species shall be an ongoing effort to enhance and maintain existing native habitats. To prevent erosion in areas treated for eradication, exposed areas not stabilized with existing native plants shall be revegetated with site appropriate native species endemic to the communities in which the exotics were removed. To ensure success of the Restoration and Landscape Plan, the Project Biologist shall monitor the revegetated areas for a minimum of three-years, with quarterly monitoring for the first two years followed by bi-annual monitoring for year three. Monitoring reports shall be submitted to HCD-Planning for review and approval.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Applicant/Owner shall submit to HCD-Planning for review and approval, a contract with a qualified biologist detailing the requirements of this condition.

Prior to issuance of building permits, the Applicant/Owner shall submit a Restoration and Landscape Plan meeting the requirements of this condition to HCD-Planning for review and approval. The Restoration and Landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

On an on-going basis for the duration of the monitoring period (3 years), the Project Biologist shall submit reports to HCD-Planning demonstrating compliance with the required monitoring and success criteria established in this condition and the approved Restoration and Landscape Plan.

Prior to final inspection, the Project Biologist shall submit a final report demonstrating compliance with the Restoration and Landscape Plan.

Prior to final inspection, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 12. PD050 - RAPTOR/MIGRATORY BIRD NESTING

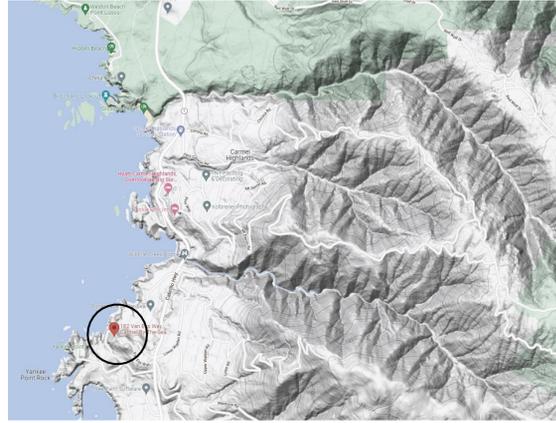
**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

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## VICINITY MAP



# FIELD ARCHITECTURE

974 COMMERCIAL ST., STE 104  
PALO ALTO, CA 94303  
650.462.9554

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## SCOPE OF WORK

1) REPLACE THE EXISTING A-FRAME STUDIO AND DETACHED GARAGE ON PARCEL APN 241-311-044 WITH MAIN RESIDENCE AND GARAGE

## BUILDING INFORMATION

### BUILDING INFORMATION:

OCCUPANCY GROUP: R-3 / RESIDENTIAL & U / UTILITY

CONSTRUCTION TYPE: V-B

APPLICABLE CODES:  
2022 California Building Code  
2022 California Electrical Code  
2022 California Mechanical Code  
2022 California Plumbing Code  
2022 California Green Building Code  
2022 California Energy Code  
2022 California Fire Code  
2022 California Residential Code

## PROJECT DIRECTORY

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PACIFIC GROVE, CA 93950  
Justin Ono  
E. jononconsulting@gmail.com

Sheet Number	Sheet Name
GENERAL	
G000-B	TITLE SHEET
G003-B	PRELIMINARY SLOPE MAP
G004-B	SITE PHOTO
ARCHITECTURE	
AS001-B	(E) SITE PLAN
AS002-B	(N) SITE PLAN
A100-B	UPPER RESIDENCE PLAN
A101-B	UPPER RES ROOF PLAN
A200-B	UPPER RES ELEVATIONS
A900-B	COLORS AND MATERIALS
CIVIL	
C1.0	OVERALL SITE PLAN
C2.0	GRADING & DRAINAGE PLAN
C5.0	EROSION CONTROL PLAN
C5.2	EROSION CONTROL DETAILS
LANDSCAPE	
L1.00	CONCEPT LANDSCAPE PLAN
L2.00	CONCEPT IRRIGATION PLAN
L2.01	IRRIGATION NOTES AND LEGEND
L2.02	IRRIGATION DETAILS
L2.03	IRRIGATION DETAILS
L2.04	IRRIGATION DETAILS
L2.05	IRRIGATION DETAILS
L2.06	IRRIGATION WATER CALCULATION
L3.00	CONCEPT PLANTING PLAN
L3.01	CONCEPT PLANT SCHEDULE
L4.00	FUEL MANAGEMENT PLAN

## DRAWING INDEX

### Issue Set / Revisions

No.	Description	Date
1	PRICING SET	2.17.23
2	PRE-APP SET	05.05.23
3	PLANNING SET	09.01.23
4	PLANNING SET_REV 1	11.17.23
5	PLANNING SET_REV 2	02.26.24
6	PLANNING SET_Rev 3	06.10.24

### KEY PLAN

## PROJECT DATA

PROJECT NAME: VAN ESS RESIDENCE  
SITE ADDRESS: 179 VAN ESS WAY  
CARMEL HIGHLANDS  
MONTEREY COUNTY, CA  
ZONING INFORMATION  
A.P.N.: APN 241-311-044  
PARCEL AREA:  
EXISTING: 3.13 AC (136,333 SF)  
PROPOSED: 2.98 AC (129,674 SF)  
GENERAL PLAN LAND USE DESIGNATION: RESIDENTIAL - LOW DENSITY  
ZONING DISTRICT: LDR/ 1-D(CZ)  
GRADING: 700 CU YDS (CUT) - 100 CU YDS (FILL)  
= 600 CU YDS (EXPORT)  
TREE REMOVAL: NO TREES TO BE REMOVED  
SETBACKS: FRONT: 30' / SIDE: 20' / REAR: 20'  
MAX HEIGHT: 30' STANDARD AVERAGE NATURAL GRADE  
PROPOSED HEIGHT: 17.25' (SEE A200-B)  
PARKING: REQUIRED: 2 SPACES/UNIT  
3 IN GARAGE, 2 UNCOVERED PARKING SPACES  
WATER: CALIFORNIA-AMERICAN WATER  
SEWER: ONSITE WASTEWATER TREATMENT SYSTEM

### EXISTING AND PROPOSED PROJECT AREAS - (APN 241-311-044)

PARCEL SIZE:	ALLOWED	EXISTING	PROPOSED	COMMENTS
	43,560 SF MIN	129,674 SF	-	
FLOOR AREA:		430 SF	2,309 SF	
BUILDING SITE COVERAGE:	19,451 SF (15%)	430 SF (0.33%)	3,058 SF (2.4%)	INCLUDES EAVES OVER 30"
IMPERVIOUS COVERAGE:		4,509 SF	5,760 SF	
TOTAL COVERAGE:		4,939 SF	8,819 SF	TOTAL COVERAGE EQUALS BUILDING SITE COVERAGE PLUS IMPERVIOUS COVERAGE

## VAN ESS RESIDENCE

179 Van Ess Way  
Carmel-By-The-Sea CA 93923

Date: 09.20.24

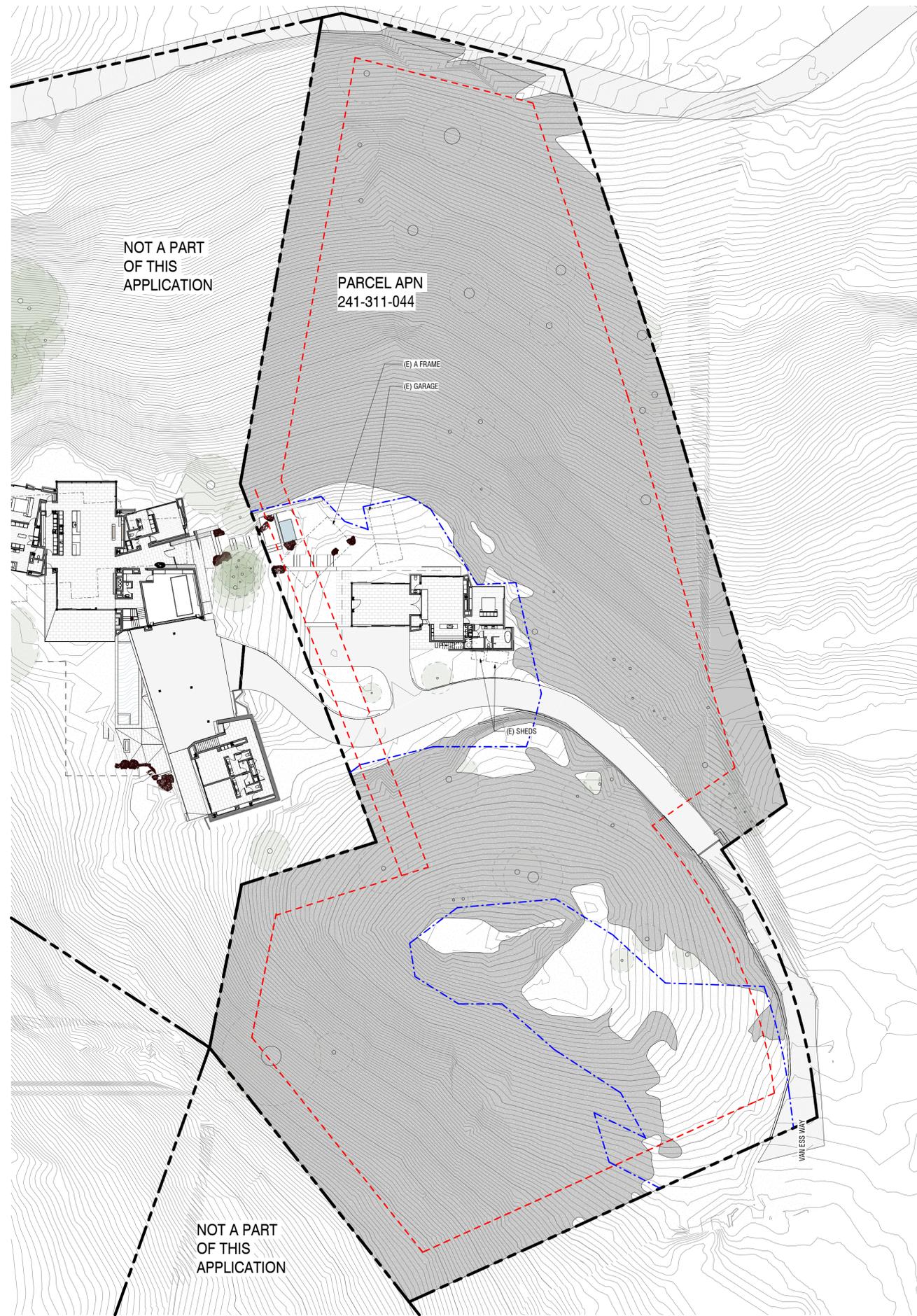
Drawn by: JCP

Scale:

## TITLE SHEET

Sheet number

# G000-B



LEGEND

 MORE THAN 30% SLOPE

NOT A PART  
OF THIS  
APPLICATION

PARCEL APN  
241-311-044

(E) A FRAME

(E) GARAGE

(E) SHEDS

VAN ESS WAY

NOT A PART  
OF THIS  
APPLICATION

**FIELD**  
ARCHITECTURE

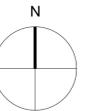
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Issue Set / Revisions

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3.	PLANNING SET	09.01.23
4.	PLANNING SET_REV 1	11.17.23
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6.	PLANNING SET_Rev 3	06.10.24

KEY PLAN



**VAN ESS RESIDENCE**

179 Van Ess Way  
Carmel-By-The-Sea CA 93923

Date 06.10.24

Drawn by JCP

Scale As indicated

**PRELIMINARY SLOPE  
MAP**

Sheet number

**G003-B**



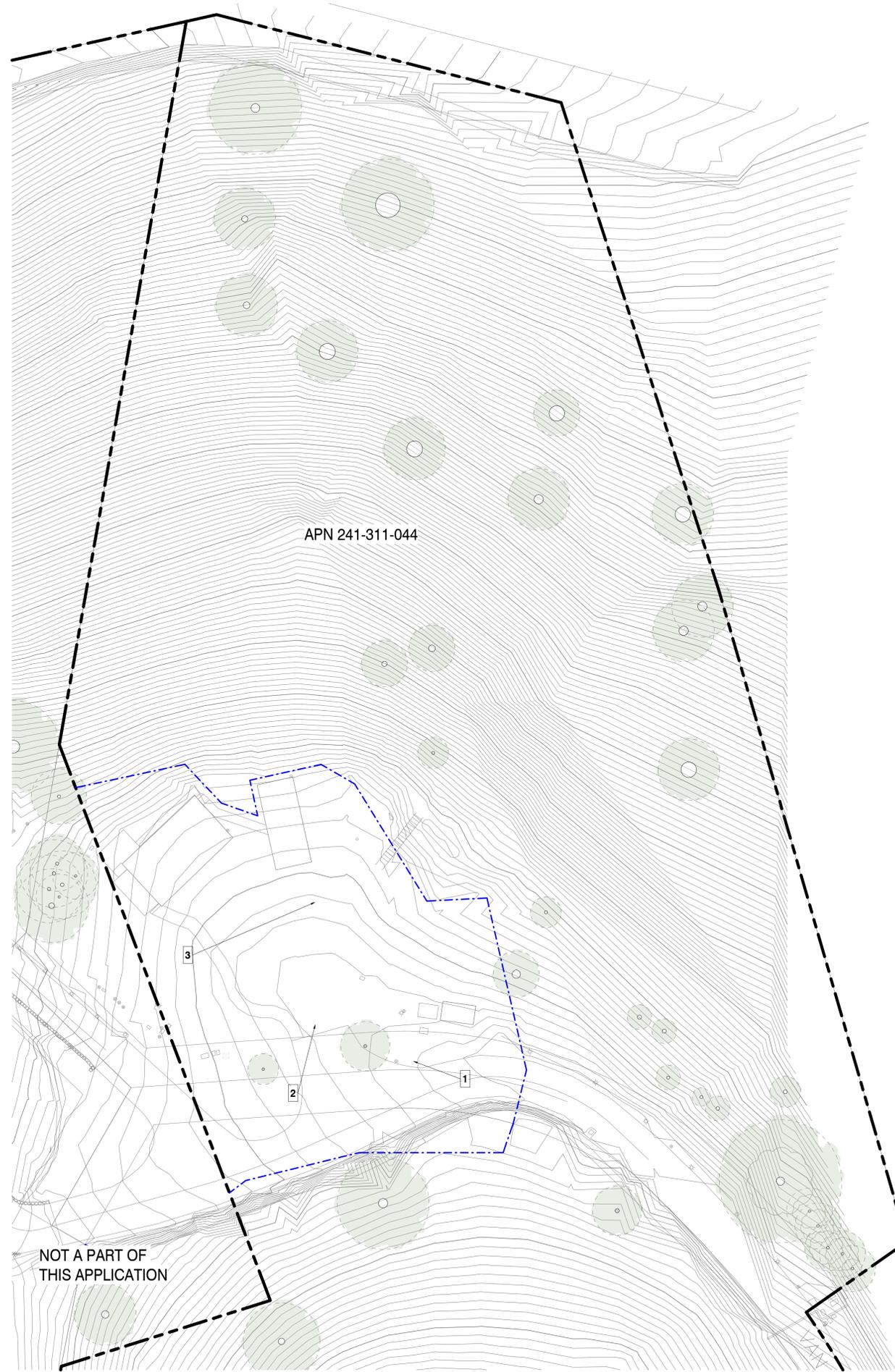
IMAGE 1



IMAGE 2



IMAGE 3



1 SITE PLAN  
1" = 20'-0"

# FIELD ARCHITECTURE

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3	PLANNING SET	09.01.23
4	PLANNING SET_REV 1	11.17.23
6	PLANNING SET_REV 3	06.10.24

#### KEY PLAN

### VAN ESS RESIDENCE

182 Van Ess Way  
Carmel-By-The-Sea CA 93923

Date	06.10.24
Drawn by	JCP
Scale	1" = 20'-0"

#### SITE PHOTO

Sheet number

# G004-B

SPINDRIFT ROAD

NOT A PART OF THIS APPLICATION

PARCEL APN 241-311-044

(E) A FRAME TO BE DEMOLISHED

(E) GARAGE TO BE DEMOLISHED

CONSERVATION AND SCENIC EASEMENT BOUNDARY

(E) SHEDS TO BE DEMOLISHED

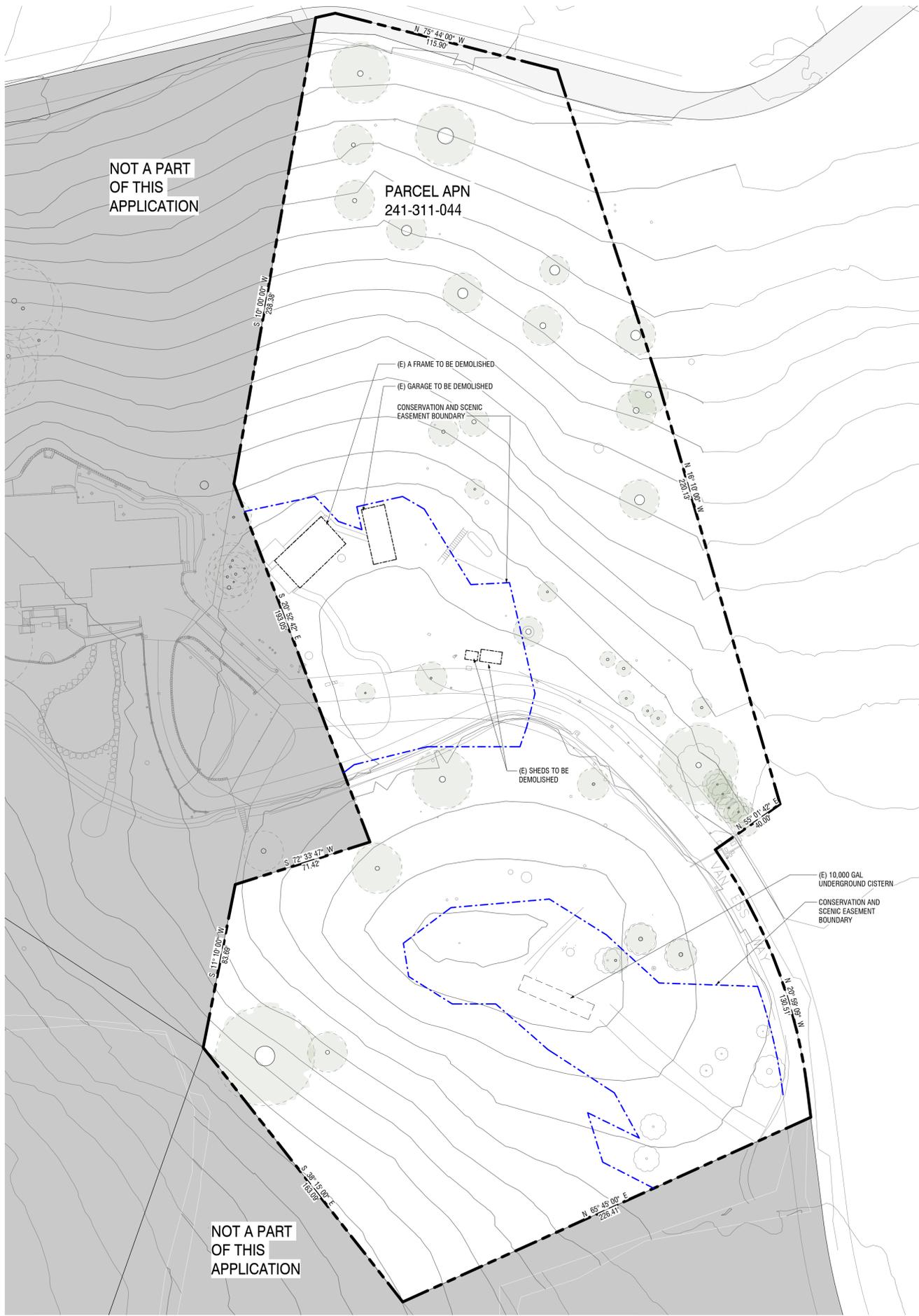
(E) 10,000 GAL UNDERGROUND CISTERN

CONSERVATION AND SCENIC EASEMENT BOUNDARY

NOT A PART OF THIS APPLICATION

LEGEND

-  (E) STRUCTURES TO BE DEMOLISHED
-  FENCE
-  EASEMENT
-  UNDERGROUND UTILITIES
-  470'-0" (N) CONTOUR
-  (E) PLANTING
-  REMOVED (E) PLANTING
-  (N) PLANTING
-  FIRE HYDRANT
-  WATER VALVE
-  UTILITY POLE



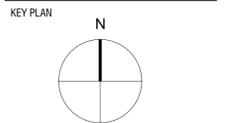
**FIELD**  
ARCHITECTURE

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**VAN ESS RESIDENCE**

179 Van Ess Way  
Carmel-By-The-Sea CA 93923

Date **06.10.24**

Drawn by **AC**

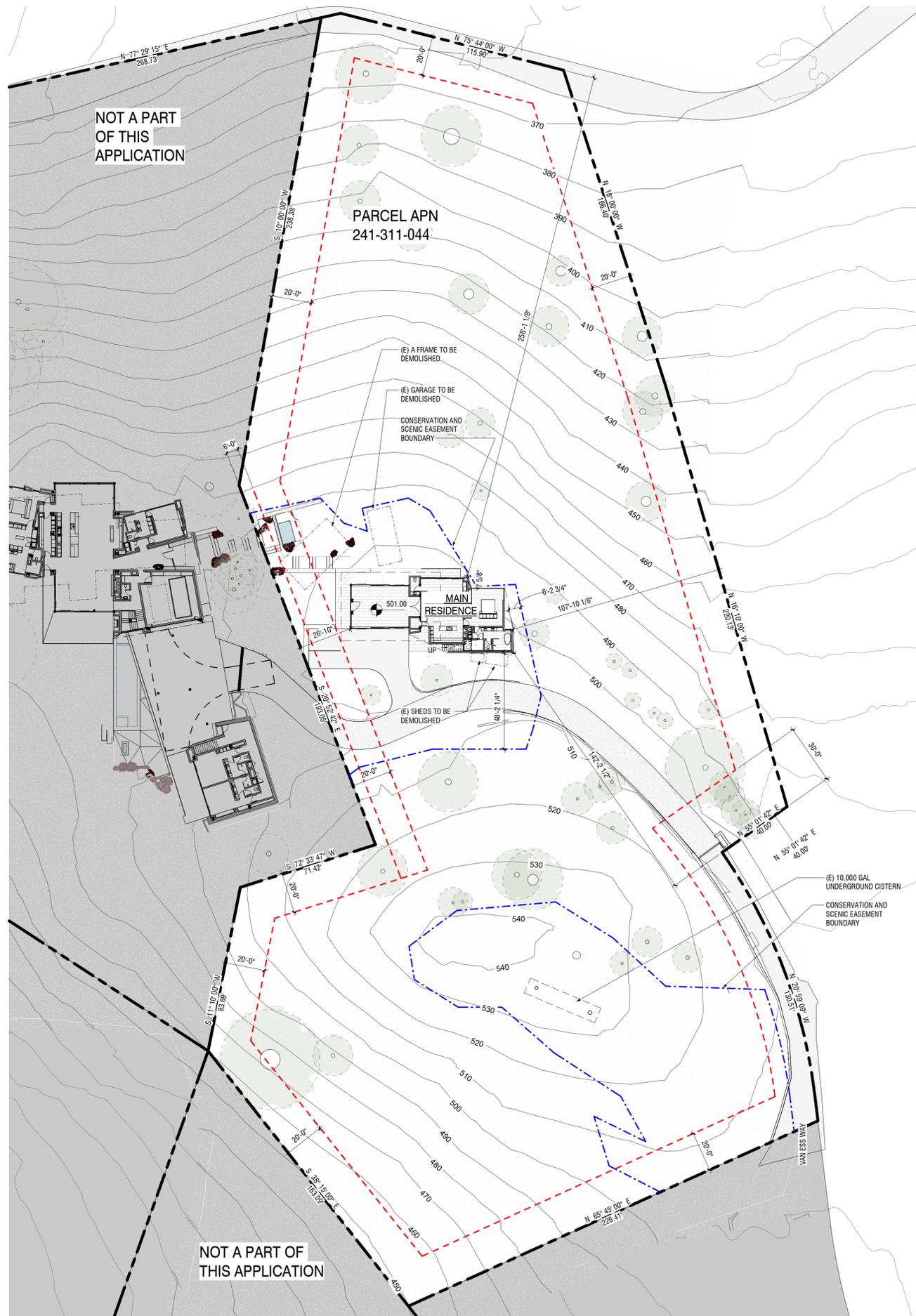
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(E) SITE PLAN

① EXISTING SITE PLAN  
1" = 30'-0"

Sheet number  
**AS001-B**

2/26/2024 4:38:04 PM



LEGEND

- (E) STRUCTURES TO BE DEMOLISHED
- FENCE
- EASEMENT
- UNDERGROUND UTILITIES
- 470'-0" (N) CONTOUR
- (E) PLANTING
- REMOVED (E) PLANTING
- (N) PLANTING
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE

**FIELD**  
ARCHITECTURE

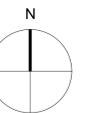
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KEY PLAN



**VAN ESS RESIDENCE**

179 Van Ess Way  
Carmel-By-The-Sea CA 93923

Date **06.10.24**

Drawn by **Checker**

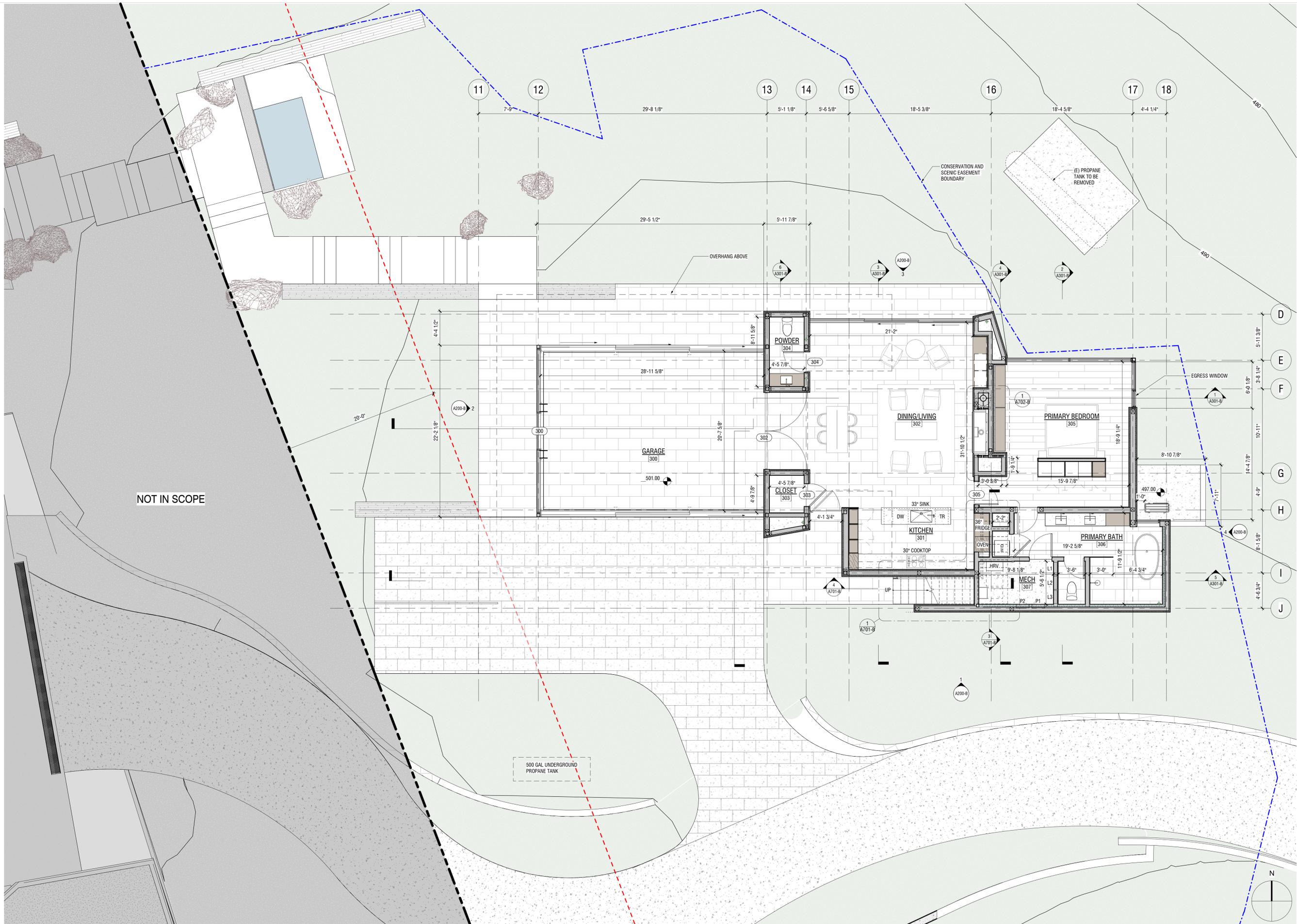
Scale **As indicated**

(N) SITE PLAN

Sheet number

**AS002-B**

1 PROPOSED SITE PLAN  
1" = 30'-0"



# FIELD ARCHITECTURE

974 COMMERCIAL ST., STE 104  
PALO ALTO, CA 94303  
650.462.9554

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Issue Set / Revisions	No.	Description	Date
	1	PRICING SET	02.17.23
	2	PRE-APP SET	05.05.23
	3	PLANNING SET	09.01.23
	4	PLANNING SET_REV 1	11.17.23
	7	BUILDING PERMIT	09.20.24

KEY PLAN

## VAN ESS RESIDENCE

179 Van Ess Way  
Carmel-By-The-Sea CA 93923  
Date: 09.20.24  
Drawn by: JCP  
Scale: 3/16" = 1'-0"

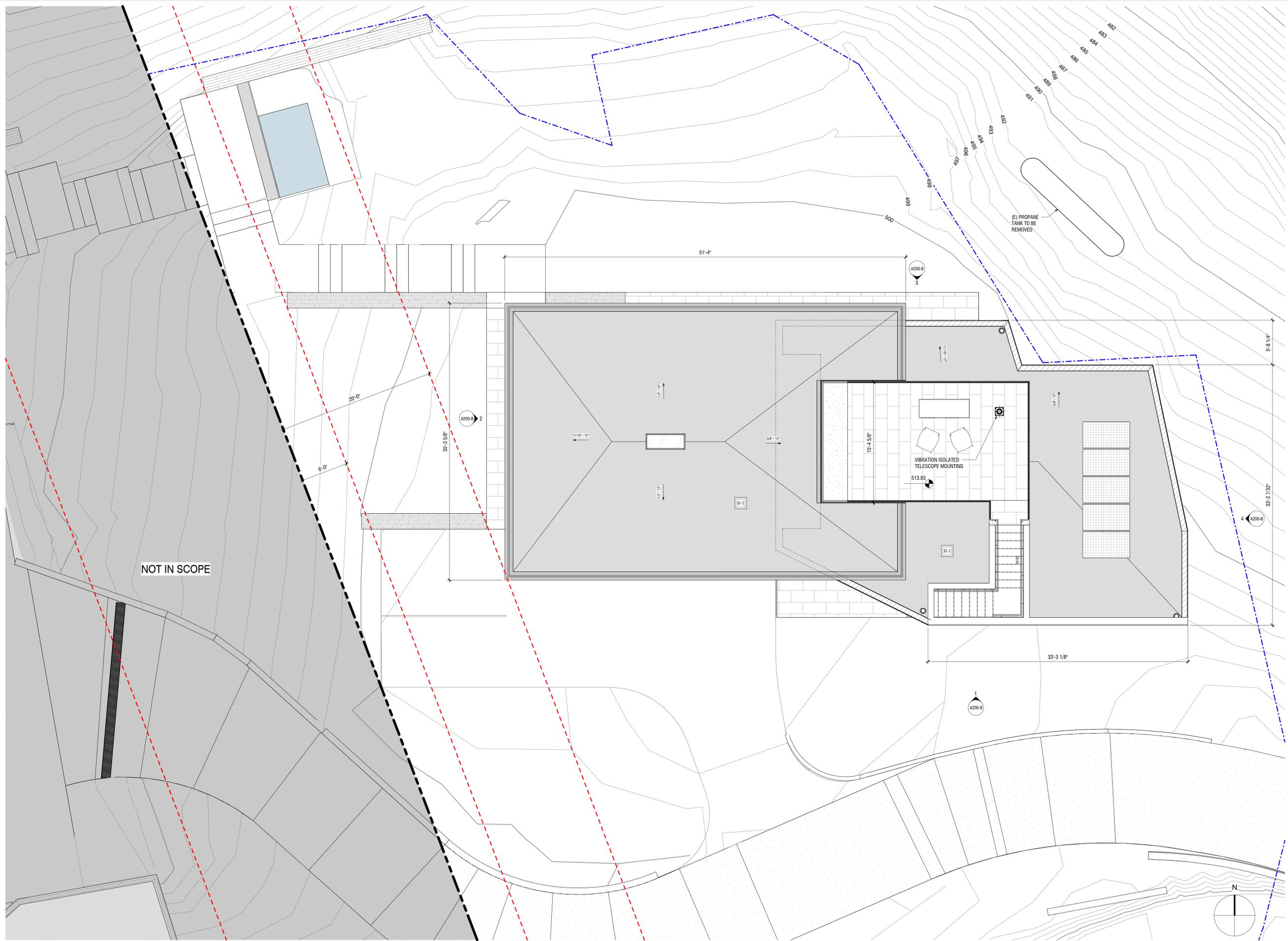
## UPPER RESIDENCE FLOOR PLAN

Sheet number

# A100-B

1 UPPER RESIDENCE - FLOOR PLAN  
3/16" = 1'-0"

9/23/2024 12:08:11 PM



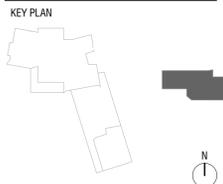
**FIELD**  
ARCHITECTURE

974 COMMERCIAL ST., STE 104  
PALO ALTO, CA 94303  
650.462.9554

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Issue Set / Revisions

No.	Description	Date
1	PRICING SET	2.17.23
2	PRE-APP SET	05.05.23
3	PLANNING SET	09.01.23
4	PLANNET SET_REV 1	11.17.23



**VAN ESS RESIDENCE**

179 Van Ess Way  
Carmel-By-The-Sea CA 93923

Date: 06.10.24  
Drawn by: JCP  
Scale: 3/16" = 1'-0"

UPPER RES ROOF PLAN

Sheet number  
**A101-B**

2 UPPER RESIDENCE ROOF DECK  
3/16" = 1'-0"

11/18/2023 12:22:59 PM

Issue Set / Revisions

No.	Description	Date
1	PRICING SET	2.17.23
2	PRE-APP SET	05.05.23
3	PLANNING SET	09.01.23

KEY PLAN

VAN ESS RESIDENCE

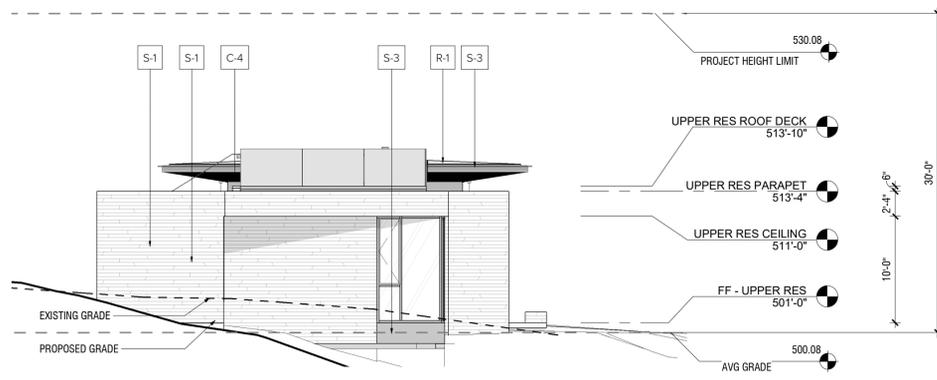
179 Van Ess Way  
Carmel-By-The-Sea CA 93923  
Date 06.10.24  
Drawn by JCP  
Scale 1/8" = 1'-0"

UPPER RES ELEVATIONS

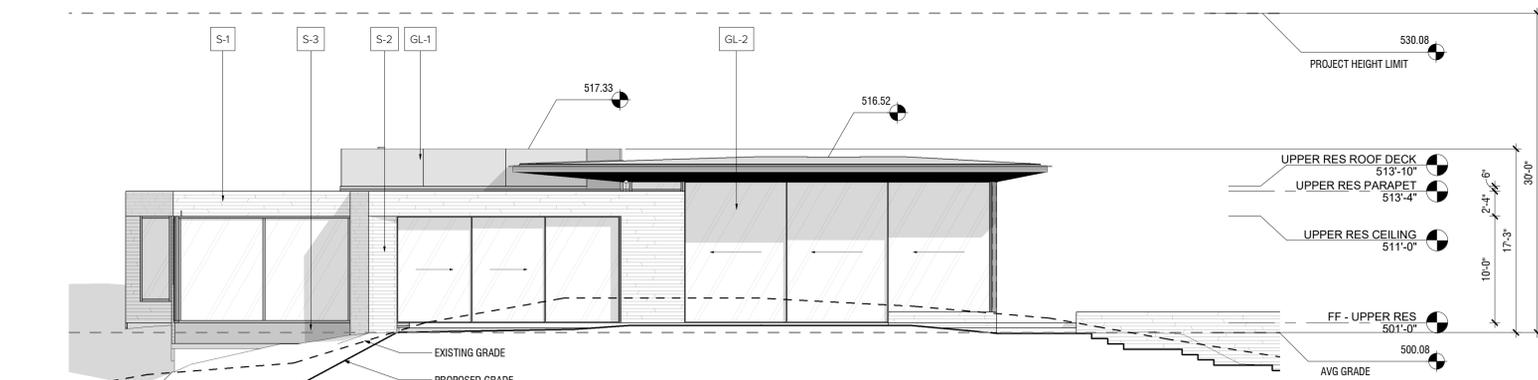
Sheet number

A200-B

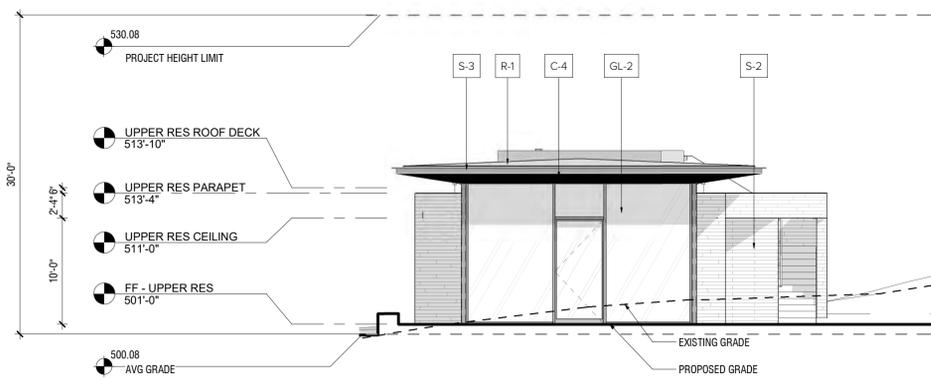
11/16/2023 12:23:06 PM



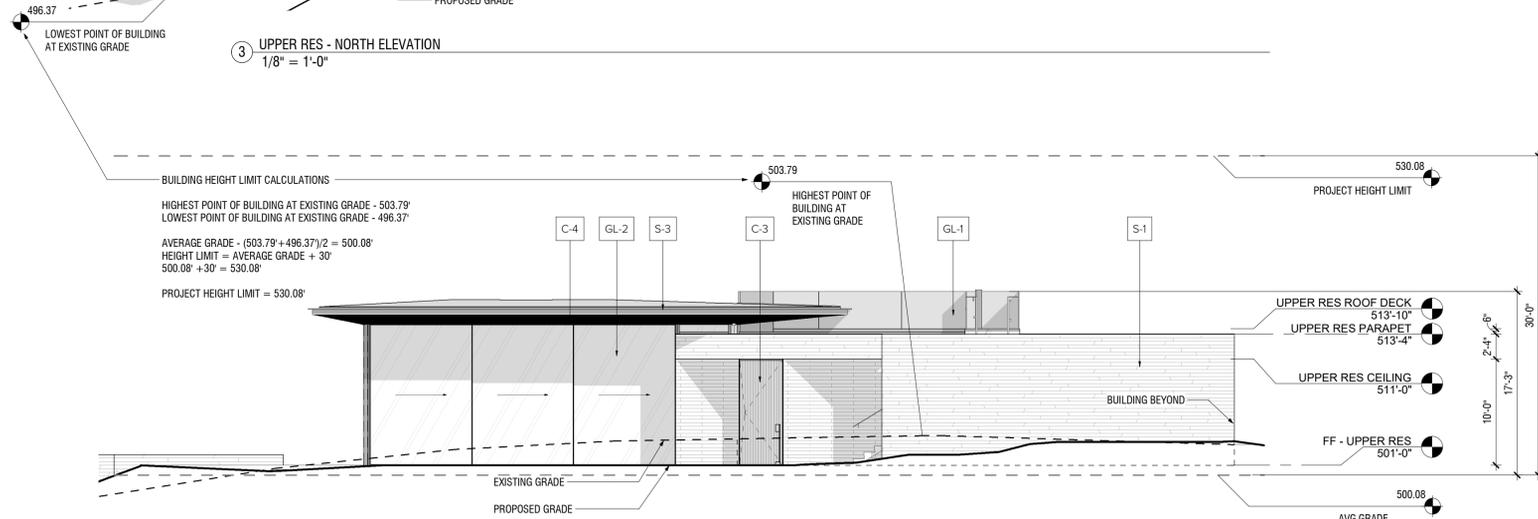
④ UPPER RES - EAST ELEVATION  
1/8" = 1'-0"



③ UPPER RES - NORTH ELEVATION  
1/8" = 1'-0"



② UPPER RES - WEST ELEVATION  
1/8" = 1'-0"



① UPPER RES - SOUTH ELEVATION  
1/8" = 1'-0"

BUILDING HEIGHT LIMIT CALCULATIONS  
 HIGHEST POINT OF BUILDING AT EXISTING GRADE - 503.79'  
 LOWEST POINT OF BUILDING AT EXISTING GRADE - 496.37'  
 AVERAGE GRADE - (503.79' + 496.37') / 2 = 500.08'  
 HEIGHT LIMIT = AVERAGE GRADE + 30'  
 500.08' + 30' = 530.08'  
 PROJECT HEIGHT LIMIT = 530.08'

MATERIALS LEGEND					
MARK	MATERIAL	DESCRIPTION	MANUFACTURER	ALTERNATE	COMMENTS
CEILING					
C-4	ALUMINUM CLADDING - OAK	SCULPFORM 75mm ALUMINUM CLADDING, GREY GUM FINISH			PROVIDE FINISH SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION
GLASS					
GL-1	GLASS - GUARDRAIL	3/4" CLEAR LAMINATED / TEMPERED GLASS W/ POLISHED EDGES, 42" H			
GL-2	GLASS - EXTERIOR GLASS	1" TEMPERED IGU: SOLARBAN 72XL, STARPHERE			
ROOF					
R-1	ROOF - TPO MEMBRANE	90 MIL SINGLE PLY TPO MEMBRANE, SLATE GREY			
SIDING					
S-1	SIDING - STONE WILD EDGE	CUSTOM NATURAL CLEFT FACE IDAHO SHADOW BLACK STONE FACADE - HEIGHT: 4.5' LENGTHS 12"-60", THICKNESS: 1" TYP. MAX 1.25"	AMERICAN SOIL & STONE		THICK VENEER MASONRY WALL. INSTALL TO PREVENT PATTERNING
S-2	SIDING - STONE VERTICAL JOINT	NATURAL CLEFT FACE IDAHO SHADOW BLACK STONE FACADE - HEIGHT: 4.5' LENGTHS 12"-60", THICKNESS: 1" TYP. MAX 1.25"	AMERICAN SOIL & STONE		THICK VENEER MASONRY WALL. INSTALL TO PREVENT PATTERNING. NO SAWN FACES
S-3	SIDING - BRAKE FORMED PANELS	BRAKE METAL PANELS - POWDERCOATED			



C-4



S-1



S-2



S-3



GL-2



R-1

# FIELD ARCHITECTURE

974 COMMERCIAL ST., STE 104  
PALO ALTO, CA 94303  
650.462.9554

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Issue Set / Revisions		
No.	Description	Date
3.	PLANNING SET	09.01.23

## KEY PLAN

## VAN ESS RESIDENCE

179 Van Ess Way  
Carmel-By-The-Sea CA 93923

Date	06.10.24
Drawn by	Checker
Scale	

## COLORS AND MATERIALS

Sheet number  
**A900-B**

**SITE & GRADING LEGEND**

- 1 PROPERTY LINE
- 2 EASEMENT, SAP FOR DESCRIPTION
- 3 30% SLOPE AREA

**EARTHWORK ANALYSIS**

	CUT ANALYSIS (CUBIC YARDS)	FILL ANALYSIS (CUBIC YARDS)
IMPROVEMENTS	700	100
<b>PROJECT</b>	<b>600 CU YDS (EXPORT)</b>	

\*SHERWOOD DESIGN ENGINEERS IS NOT AN ENGINEERING CONTRACTOR, NOR SHOULD OUR RENDERING OF CUT AND FILL EARTHWORK VOLUMES BE CONSIDERED EQUIVALENT TO THE NATURE AND EXTENT OF SERVICE AN ENGINEERING CONTRACTOR WOULD PROVIDE. THIS ESTIMATE IS BASED SOLELY ON OUR OWN ANALYSIS, WHICH IS AS ACCURATE AS THE INFORMATION PROVIDED TO US IN REGARDS TO EXISTING TOPOGRAPHY AND CONCEPTUAL GRADING. THIS ANALYSIS WILL NOT REFLECT THE LOCALIZED SITE CONDITIONS NOT REPRESENTED ON THE TOPOGRAPHIC SURVEY, NOR DOES IT TAKE INTO EFFECT FACTORS SUCH AS SHRINKAGE, SWELL, LOSS DURING TRANSPORT AND SUBSIDENCE, UNLESS OTHERWISE STATED ON QUANTITIES TABLE ABOVE. THIS EARTHWORK VOLUME ANALYSIS SHOULD NOT BE USED FOR BID PURPOSES. DUE TO THESE FACTORS, SHERWOOD DESIGN ENGINEERS CANNOT GUARANTEE THE ACCURACY OF OUR EARTHWORK VOLUME ESTIMATE BEYOND USE AS A PLANNING TOOL.



SCALE: 1" = 30'  
Note: If this graphic scale does not equal 1", this sheet has been modified from its original size.

NO	DATE	REVISION
1	06-10-24	PLANNING REV 1

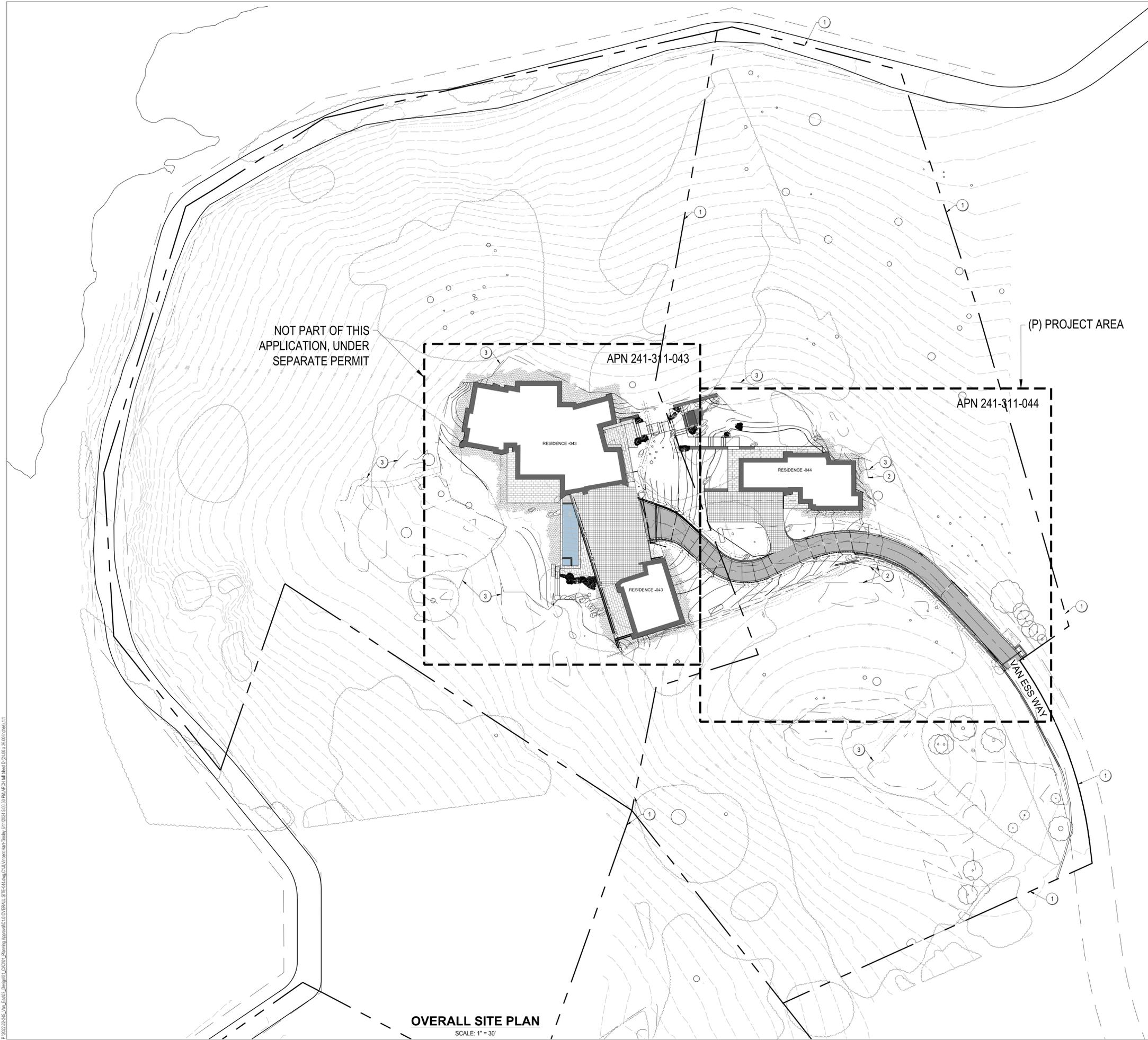
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PROJECT NO. 22-024  
DATE AUGUST 16, 2023  
DRAWN VHT  
DESIGNED VHT/CN  
CHECKED CN

**PLANNING APPROVAL**

VAN ESS PROPERTIES, LLC.  
VAN ESS UPPER RESIDENCE  
179 VAN ESS WAY  
CARMEL, CALIFORNIA

APN 271-331-044  
OVERALL SITE PLAN

DRAWING NO.  
**C1.0**  
1 OF 3



**OVERALL SITE PLAN**  
SCALE: 1" = 30'



P:\2023\245\_Van\_Ess\_Upper\_Residence\Drawings\GENERAL SITE PLAN.dwg, C:\Users\hvt\OneDrive\Files\11\2023\5\25\24\Van\_Ess\_Upper\_Residence.dwg, 30/08/2023 11:11



SCALE: 1" = 10'

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NO	DATE	REVISION
1	06-10-24	PLANNING REV 1

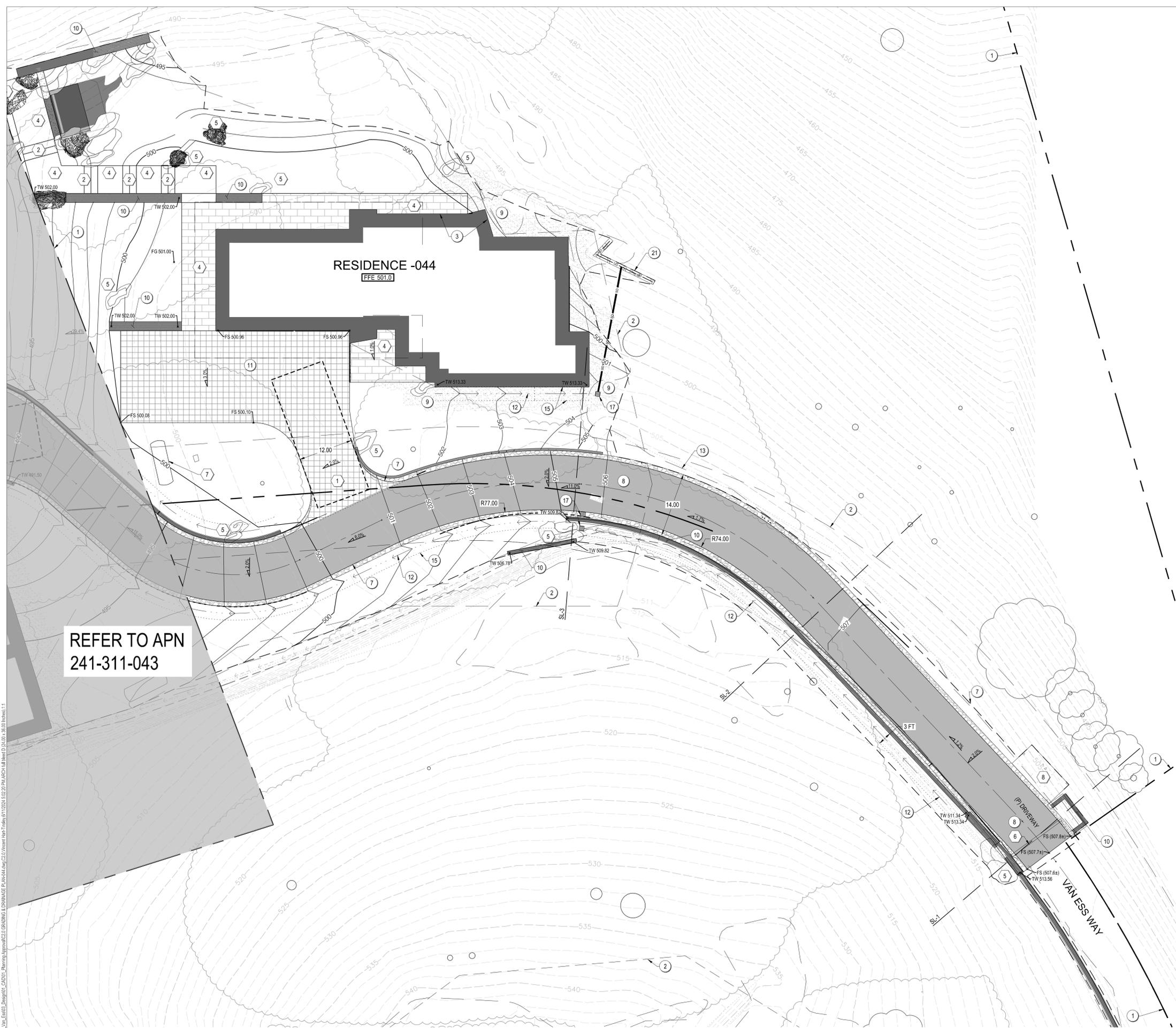
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PROJECT NO. 22-024

DATE: AUGUST 18, 2023  
DRAWN: VHT  
DESIGNED: VHT/CN  
CHECKED: CN

VAN ESS PROPERTIES, LLC.  
**VAN ESS UPPER RESIDENCE**  
179 VAN ESS WAY  
CARMEL, CALIFORNIA

APN 241-311-044  
**GRADING & DRAINAGE PLAN**



REFER TO APN  
241-311-043

**GRADING & DRAINAGE PLAN**  
SCALE: 1" = 10'

**SITE LEGEND**

- 1 PROPERTY LINE
- 2 EASEMENT, SAP FOR DESCRIPTION
- DRIVEWAY CENTERLINE
- (E) TREE
- 3 BUILDING OUTLINE
- 4 BASEMENT OUTLINE
- 5 BUILDING OVERHANG
- 6 (P) FLUSH CURB
- 7 (P) 1' GRAVEL SHOULDER
- 8 (P) AC PAVEMENT DRIVEWAY
- 9 DEFENSIBLE SPACE, SLP
- 10 (P) RETAINING WALL
- 11 (P) PERMEABLE PAVEMENT

**GRADING LEGEND**

- FG 100.00 SPOT ELEVATION
- 1.0% HARDSCAPE SLOPE
- 1.0% SOFTSCAPE SLOPE
- FFE 100.0 FINISH FLOOR ELEVATION
- 100 (P) MAJOR CONTOUR
- 102 (P) MINOR CONTOUR
- 100 (E) MAJOR CONTOUR
- 102 (E) MINOR CONTOUR
- (E) FLOWLINE
- 12 (P) DRAINAGE SWALE
- 13 LIMITS OF GRADING
- 14 (E) GRADE BREAK
- 15 (P) GRADE BREAK

**STORM DRAIN LEGEND**

- 16 AREA DRAIN
- 17 DRAIN INLET
- 18 TRENCH DRAIN
- 19 SD CLEAN OUT
- 20 DOWNSPOUT
- SDCO
- DS
- STORM DRAIN PIPE
- UNDER DRAIN PIPE
- FOUNDATION/FRENCH DRAIN PIPE
- PERIMETER DRAIN PIPE
- 21 LEVEL SPREADER

**KEY NOTES**

- 1 FIRE TRUCK TURNOUT/TURNAROUND
- 2 STEPS, SAP
- 3 POOL, SLP
- 4 HARDSCAPE, SLP
- 5 BOULDER, SLP
- 6 GATE WITH KNOX BOX, SLP
- 7 500 GALLON UNDERGROUND PROPANE TANK
- 8 TRANSFORMER PAD

**PLANNING APPROVAL**

P:\2023\241-311-044\Drawings\Grading\Grading & Drainage Plan\Grading & Drainage Plan.dwg, 08/18/2023, 10:00 AM, VHT



SCALE: 1" = 10'

Note: If this graphic scale does not equal 1", this sheet has been modified from its original size.

NO	DATE	REVISION
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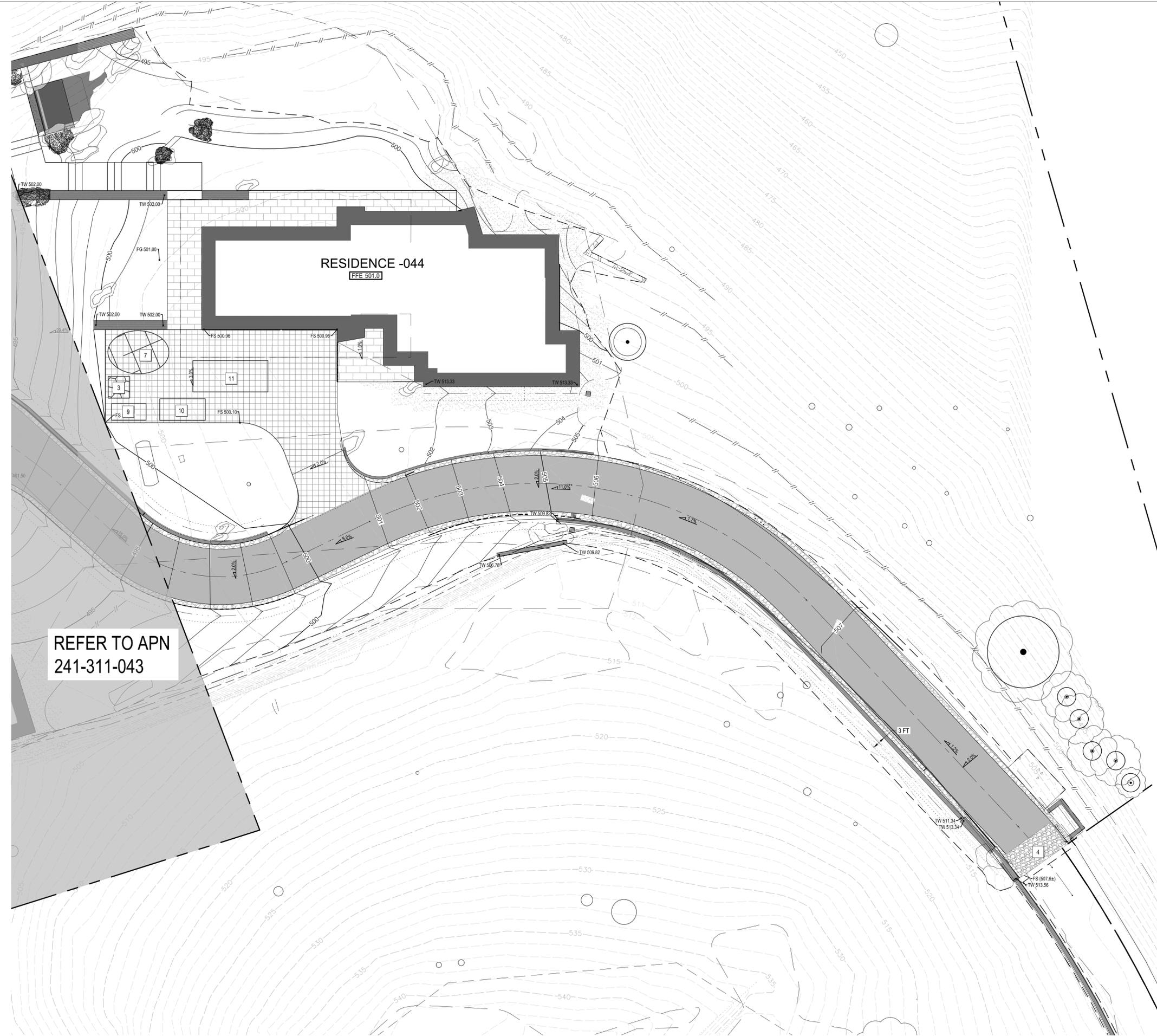
PROJECT NO. 22-024  
DATE: AUGUST 18, 2023  
DRAWN: VHT  
DESIGNED: VHT/CN  
CHECKED: CN

VAN ESS PROPERTIES, LLC.  
VAN ESS UPPER RESIDENCE  
179 VAN ESS WAY  
CARMEL, CALIFORNIA

APN 241-311-044  
EROSION CONTROL PLAN

DRAWING NO.  
**C5.0**  
3 OF 3

- EROSION CONTROL LEGEND**
- 1 FIBER ROLLS PER DETAIL A/C5.2
  - 2 SILT FENCE PER DETAIL B/C5.2
  - 3 CONCRETE WASHOUT PER DETAIL C/C5.2
  - 4 CONSTRUCTION ENTRANCE PER DETAIL D/C5.2
  - 5 TREE PROTECTION PER DETAIL E/C5.2 (VERIFY TREE PROTECTION WITH PROJECT BIOLOGIST)
  - 6 INLET PROTECTION PER DETAIL F/C5.2
  - 7 STOCKPILE PER DETAIL G/C5.2
  - 8 TEMPORARY CONSTRUCTION FENCING (SEE NOTE 7)
  - 9 PORTABLE SANITATION FACILITIES
  - 10 WASTE COLLECTION AREA
  - 11 EQUIPMENT STAGING AREA



REFER TO APN  
241-311-043

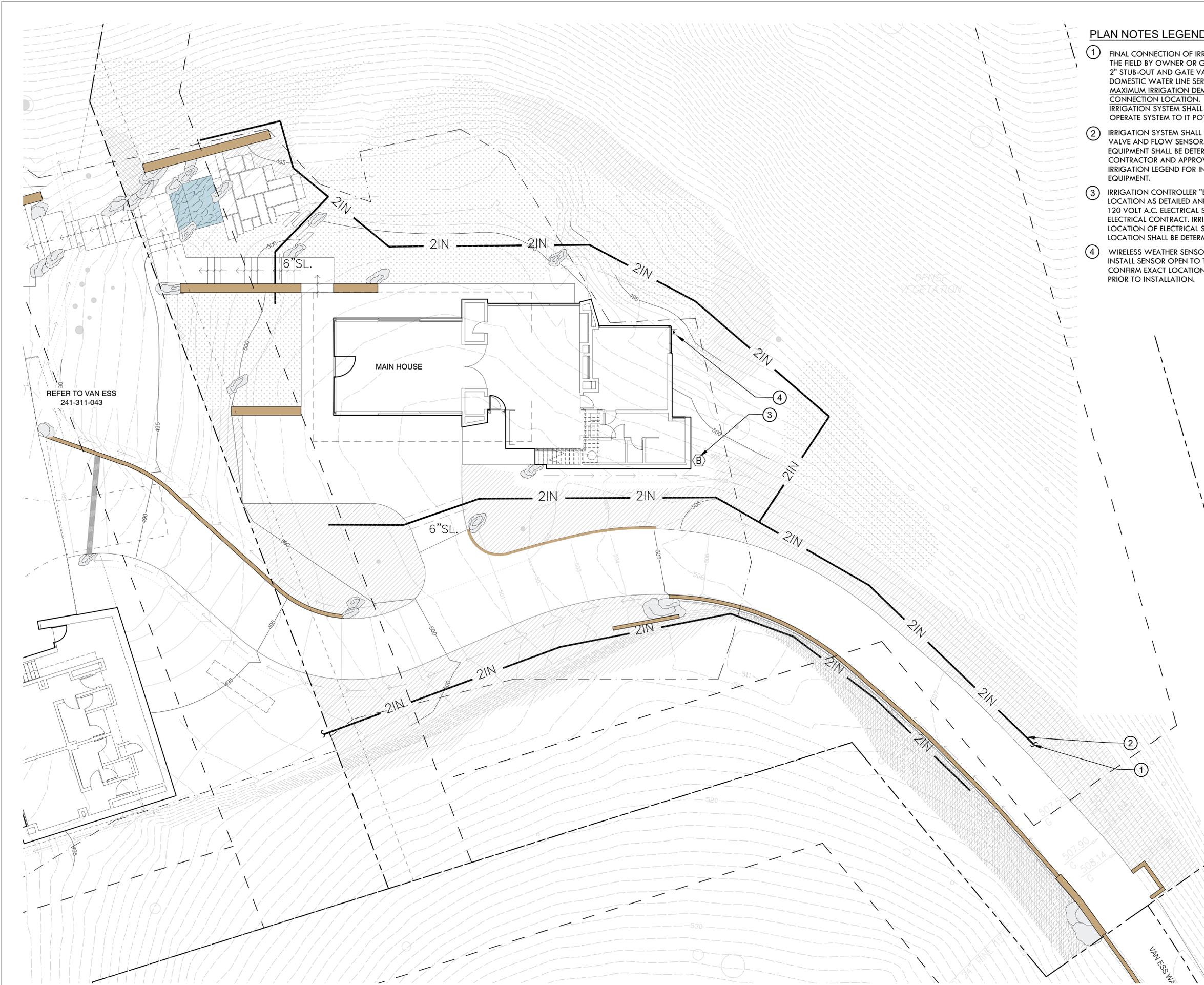
**EROSION CONTROL PLAN**  
SCALE: 1" = 10'



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**PLAN NOTES LEGEND**

- ① FINAL CONNECTION OF IRRIGATION SYSTEM SHALL BE DETERMINED IN THE FIELD BY OWNER OR GENERAL CONTRACTOR. PLUMBER TO PROVIDE 2" STUB-OUT AND GATE VALVE FOR THE IRRIGATION SYSTEM FROM THE DOMESTIC WATER LINE SERVING THE RESIDENCE. MAXIMUM IRRIGATION DEMAND: 15 GPM AT 00 PSI STATIC PRESSURE AT CONNECTION LOCATION. IRRIGATION SYSTEM SHALL REQUIRE 70 PSI AT HOUSE ELEVATION TO OPERATE SYSTEM TO IT POTENTIAL.
- ② IRRIGATION SYSTEM SHALL REQUIRE A BACKFLOW, MASTER VALVE AND FLOW SENSOR. LOCATION OF IRRIGATION EQUIPMENT SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVE OF THE OWNER. REFER TO IRRIGATION LEGEND FOR INFORMATION OF THE IRRIGATION EQUIPMENT.
- ③ IRRIGATION CONTROLLER "B". MOUNT ON EXTERIOR WALL AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION. FINAL LOCATION SHALL BE DETERMINED BY OWNER.
- ④ WIRELESS WEATHER SENSOR. MOUNT ON EVE OF BUILDING. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

REFER TO VAN ESS  
241-311-043



**FIELD**  
ARCHITECTURE

974 COMMERCIAL ST. STE 104  
PALO ALTO, CA 94303  
650.462.9554

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**JONI L. JANECKI**  
ASSOCIATES

515 SWIFT ST. SANTA CRUZ CA 95060  
PHONE 831.423.6040 | WWW.JLJA.COM  
California Landscape Architect License 3163

Issue Set / Revisions  
No.

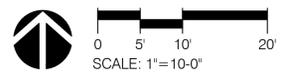
KEY PLAN



CALL BEFORE YOU DIG  
UNDERGROUND SERVICE ALERT



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& ASSOCIATES, INC.  
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Woodland Creek, CA 94597  
tel 925.939.3985 | fax 925.932.5671  
www.rmairrigation.com



**VAN ESS RESIDENCE**

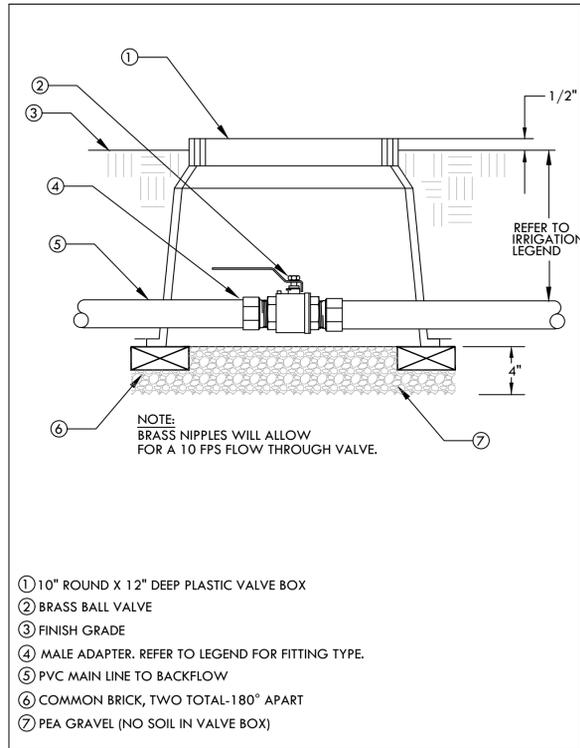
179 Van Ess Way  
Carmel-By-The-Sea CA 93923  
Date 06.10.2024  
Drawn by JC  
Scale AS SHOWN

**CONCEPT IRRIGATION PLAN**

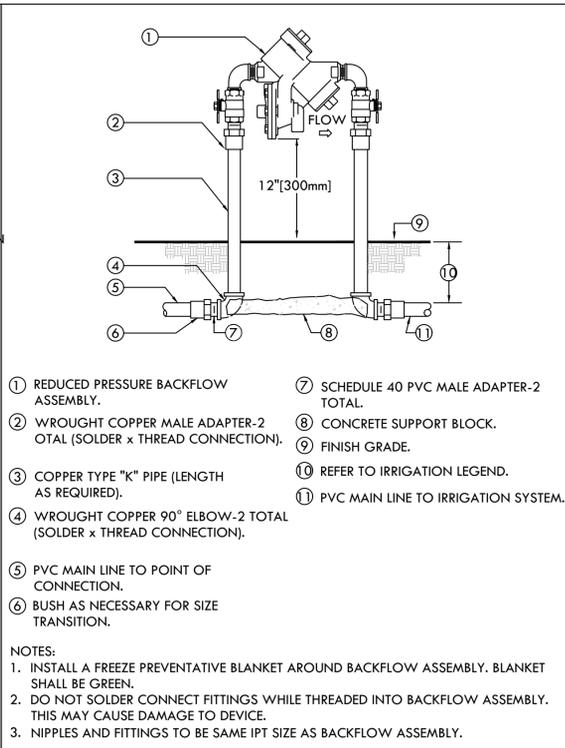
Sheet number

**L2.00**

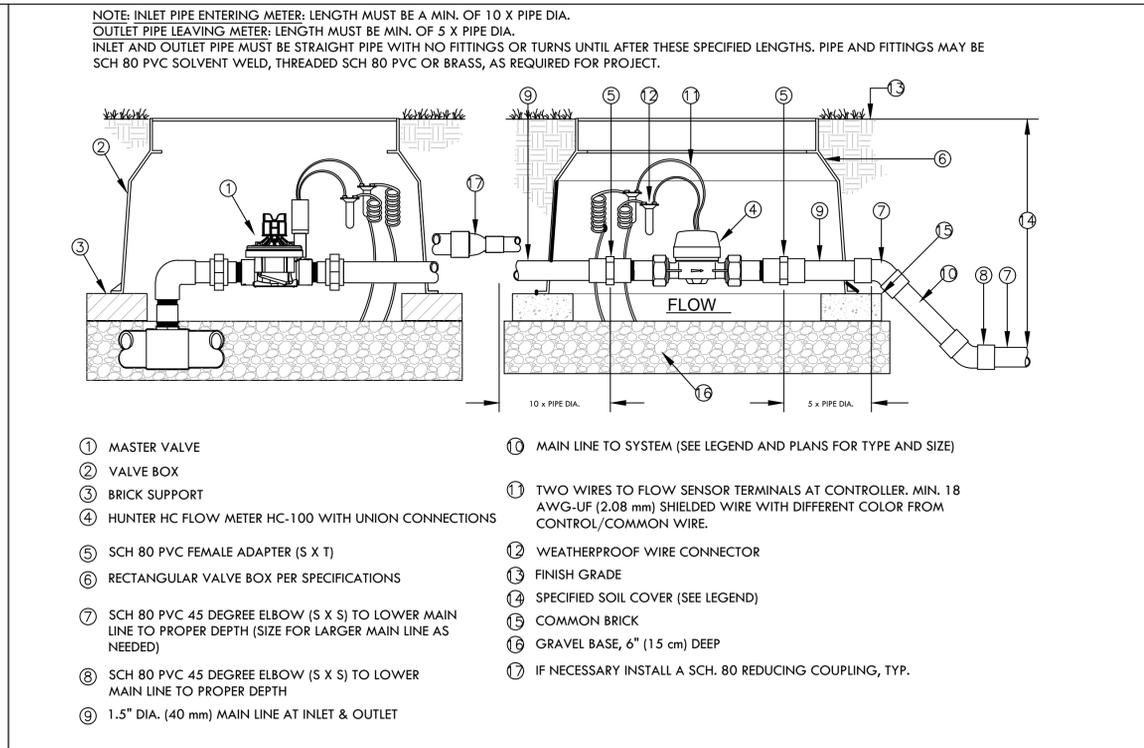




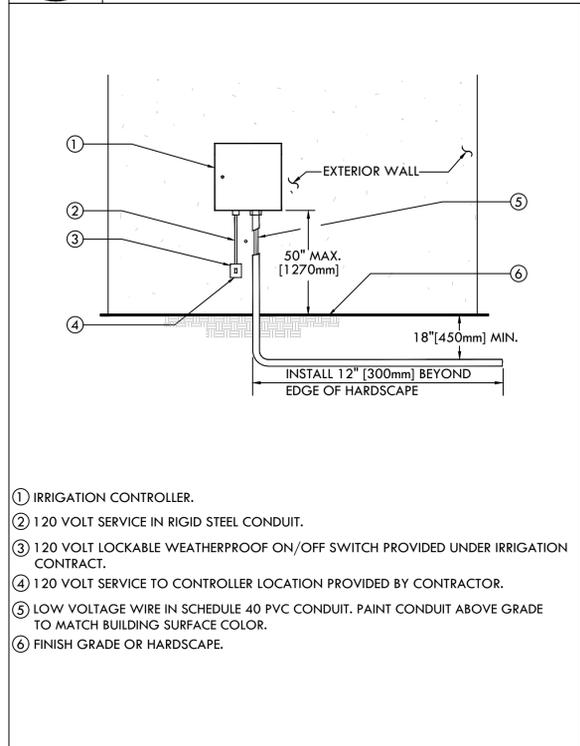
**1 BALL VALVE-BRASS**  
SCALE: NONE



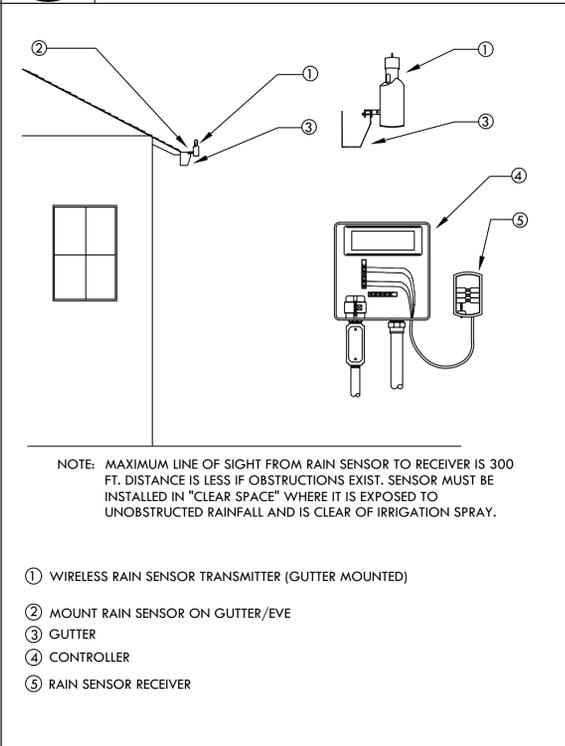
**2 REDUCED PRESSURE BACKFLOW ASSEMBLY**  
SCALE: NONE



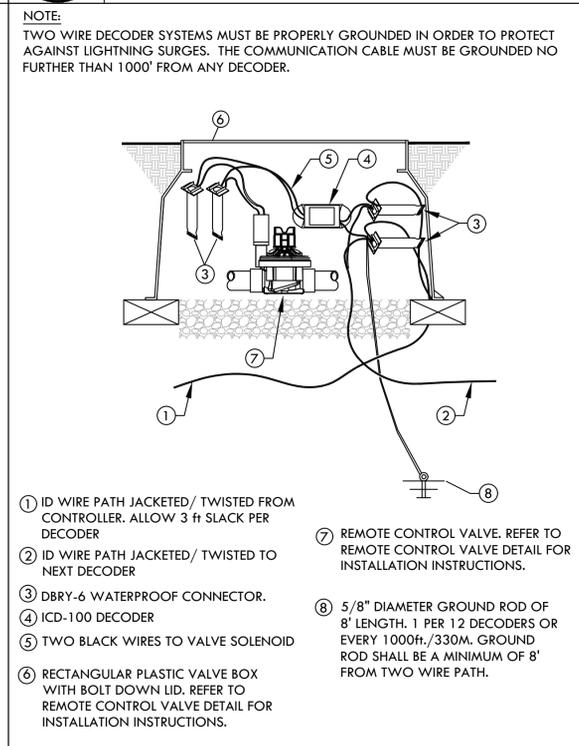
**3 HUNTER HC-100 FLOW METER & MASTER VALVE INSTALLATION**  
SCALE: NONE  
Det.



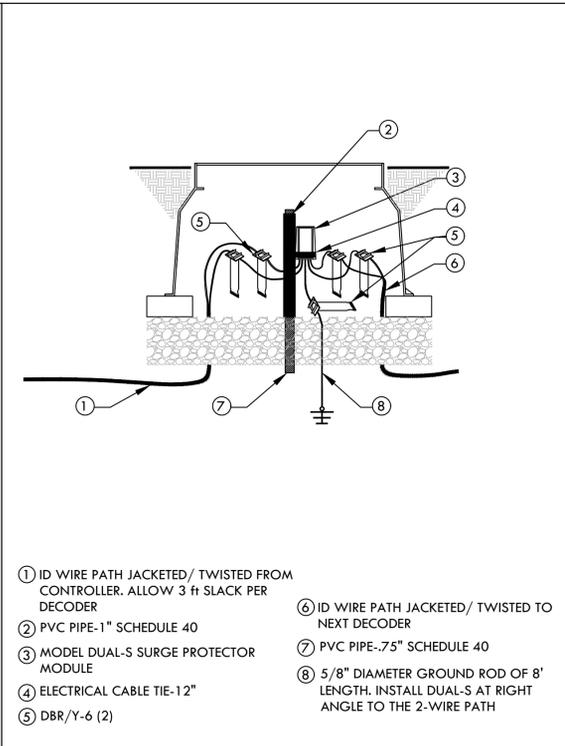
**4 CONTROLLER - EXTERIOR WALL MOUNTED**  
SCALE: NONE



**5 WIRELESS RAIN SENSOR-GUTTER MOUNT**  
SCALE: NONE



**6 HUNTER ICD DECODER**  
SCALE: NONE



**7 HUNTER DUAL-S SURGE DEVICE**  
SCALE: NONE



**FIELD ARCHITECTURE**  
974 COMMERCIAL ST. STE 104  
PALO ALTO, CA 94303  
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**JONI L. JANECKI ASSOCIATES**  
515 SWIFT ST. SANTA CRUZ CA 95060  
PHONE 831.423.6040 | WWW.JLJA.COM  
California Landscape Architect License 3163

Issue Set / Revisions	No.	Description	Date
	1	PRICING SET	02.17.23
	2	PRE-APP SET	05.05.23

KEY PLAN

**VAN ESS RESIDENCE**

179 Van Ess Way  
Carmel-By-The-Sea CA 93923  
Date: 06.10.2024  
Drawn by: JC  
Scale: NONE

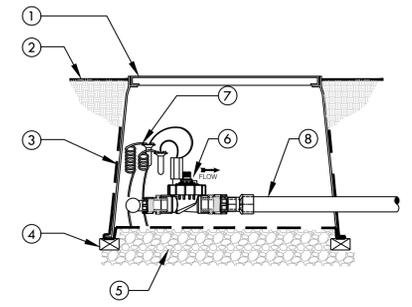
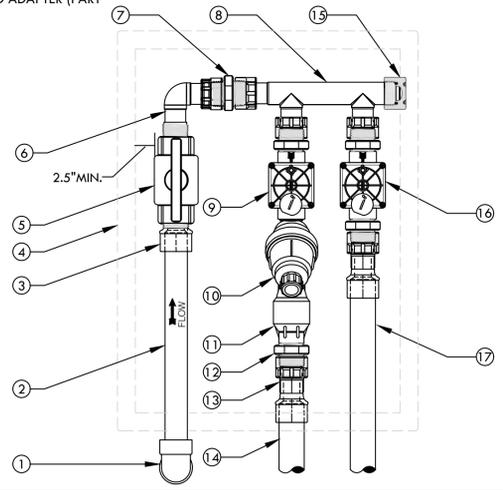
IRRIGATION DETAILS

Sheet number

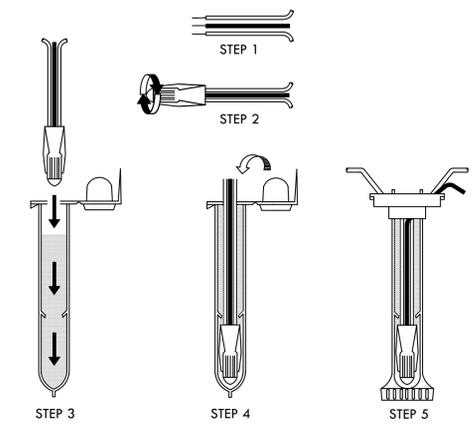
**L2.02**



- ① SCH 40 PVC 90° ELBOW (SxS) FROM PVC MAIN LINE BELOW.
- ② SCH 40 PVC PIPE. LENGTH AS REQUIRED.
- ③ SCH 80 PVC MALE ADAPTER.
- ④ CARSON 1220 RECTANGULAR PLASTIC VALVE BOX WITH LID. INSTALL PER REMOTE CONTROL VALVE DETAIL.
- ⑤ NDS 1" LO-TORQ BALL VALVE THREADED (PART #LT-1000-T)
- ⑥ DURA 1" MIPT x 1" SWIVEL 90° (PART #306-009)
- ⑦ DURA 1" x 1" THREADED ADAPTER (PART #08303) 4 TOTAL.
- ⑧ DURA 1" MULTI-PORT MANIFOLD (PART #301-010-2)
- ⑨ DRIP REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
- ⑩ FILTER. REFER TO LEGEND FOR MODEL.
- ⑪ 40 PSI REGULATOR. REFER TO LEGEND FOR MODEL.
- ⑫ DURA 1" x 3/4" MALE ADAPTER (PART #08303-131). ONLY REQUIRED WITH 3/4" OUTLET REGULATORS. USE 1" x 1" DURA THREAD ADAPTER ON 1" REGULATORS
- ⑬ DURA 1" SLIP X 1" SWIVEL (PART #329-011) 2 TOTAL.
- ⑭ SCHEDULE 40 PVC LATERAL TO DRIP IRRIGATION
- ⑮ DURA 1" CAP (PART #348-010)
- ⑯ BUBBLER OR SPRINKLER REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
- ⑰ SCHEDULE 40 PVC LATERAL TO BUBBLER OR SPRAY IRRIGATION.



- ① CARSON 1220 RECTANGULAR VALVE BOX FOR FOUR VALVES OR CARSON 1419 FOR TWO VALVES
- ② FINISH GRADE
- ③ 19 GAUGE 1/2" SQUARE WIRE MESH. WRAP UP THE SIDES OF THE BOX
- ④ BRICK-1 EACH CORNER
- ⑤ PEA GRAVEL OR 3/4" DRAIN ROCK- 4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX)
- ⑥ REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED. REFER TO TWO OR FOUR VALVE MANIFOLD DETAIL FOR INSTALLATION INSTRUCTIONS
- ⑦ VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS UF WIRE IN A 1" DIAMETER COIL
- ⑧ SCH 40 PVC LATERAL LINE TO BUBBLERS OR SPRAY



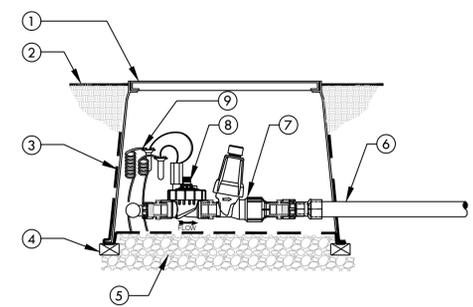
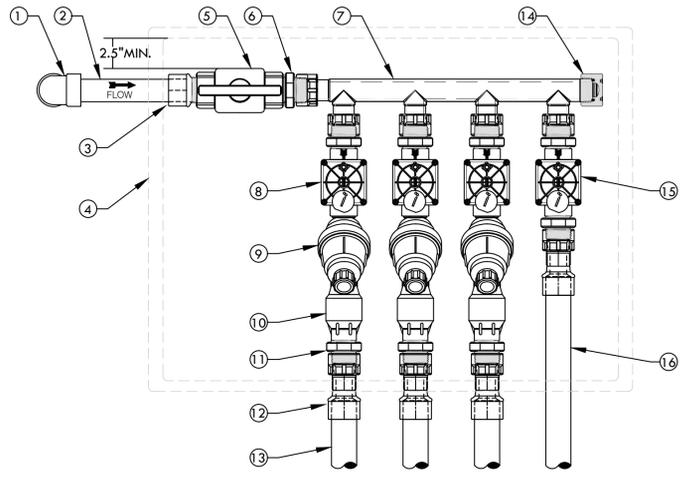
- NOTE:  
MAXIMUM # OF WIRES PER CONNECTOR:  
• 3-#14 GAUGE  
• 2-#12 GAUGE
- INSTRUCTIONS:  
1. STRIP WIRES APPROXIMATELY 1/2" FROM ENDS TO EXPOSE WIRE.  
2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.  
3. INSERT WIRE ASSEMBLY TO BOTTOM OF GEL-FILLED TUBE. CHECK TO MAKE SURE CONNECTOR HAS BEEN PUSHED PAST LOCKING FINGERS AND IS SEATED AT THE BOTTOM OF THE TUBE.  
4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.  
5. INSPECT FINAL SPLICE ASSEMBLY THAT IT IS SECURED.

**1 TWO REMOTE VALVE MANIFOLD DETAIL (1" VALVES ONLY)**  
SCALE: NONE

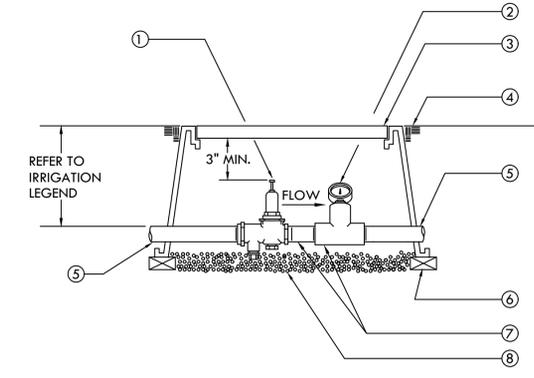
**2 BUBBLER OR SPRAY REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD**  
SCALE: NONE

**3 WEATHERPROOF WIRE SPLICE ASSEMBLY**  
SCALE: NONE

- ① SCH 40 PVC 90° ELBOW (SxS) FROM PVC MAIN LINE BELOW.
- ② SCH 40 PVC PIPE. LENGTH AS REQUIRED.
- ③ SCH 80 PVC MALE ADAPTER.
- ④ CARSON 1220 RECTANGULAR PLASTIC VALVE BOX WITH LID. INSTALL PER REMOTE CONTROL VALVE DETAIL.
- ⑤ NDS 1" LO-TORQ BALL VALVE THREADED (PART #LT-1000-T)
- ⑥ DURA 1" x 1" THREADED ADAPTER (PART #08303) 6 TOTAL.
- ⑦ DURA 1" MULTI-PORT MANIFOLD (PART #301-010-4)
- ⑧ DRIP REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
- ⑨ FILTER. REFER TO LEGEND FOR MODEL.
- ⑩ 40 PSI REGULATOR. REFER TO LEGEND FOR MODEL.
- ⑪ DURA 1" x 3/4" MALE ADAPTER (PART #08303-131) 3 TOTAL. ONLY REQUIRED WITH 3/4" OUTLET REGULATORS. USE 1" x 1" DURA THREAD ADAPTER ON 1" REGULATORS
- ⑫ DURA 1" SLIP X 1" SWIVEL (PART #329-011) 4 TOTAL.
- ⑬ SCHEDULE 40 PVC LATERAL TO DRIP IRRIGATION
- ⑭ DURA 1" CAP (PART #348-010)
- ⑮ BUBBLER OR SPRINKLER REMOTE CONTROL VALVE. REFER TO LEGEND FOR MODEL.
- ⑯ SCHEDULE 40 PVC LATERAL TO BUBBLER OR SPRAY IRRIGATION.



- ① CARSON 1220 RECTANGULAR VALVE BOX FOR FOUR VALVES OR CARSON 1419 FOR TWO VALVES
- ② FINISH GRADE
- ③ 19 GAUGE 1/2" SQUARE WIRE MESH. WRAP UP THE SIDES OF THE BOX
- ④ BRICK-1 EACH CORNER
- ⑤ PEA GRAVEL OR 3/4" DRAIN ROCK- 4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX)
- ⑥ SCH 40 PVC LATERAL LINE TO DRIPLINE OR DRIP.
- ⑦ DRIP FILTER AND REGULATOR
- ⑧ REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED. REFER TO TWO OR FOUR VALVE MANIFOLD DETAIL FOR INSTALLATION INSTRUCTIONS
- ⑨ VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 24" OF EXCESS UF WIRE IN A 1" DIAMETER COIL



- ① WILKINS MODEL 500XLHR PRESSURE REDUCING VALVE.
- ② IRROMETER MODEL 7-100 OR APPROVED EQUAL (0-100 PSI) PRESSURE GAUGE - ROTATE TEE FOR EASE OF READING.
- ③ RECTANGULAR PURPLE PLASTIC VALVE BOX WITH BOLT- DOWN LID. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL. TOP DIMENSION: 15 3/4" X 25 1/4" (15" DEEP)
- ④ FINISH GRADE
- ⑤ SCH. 80 PVC TOE NIPPLE. ADAPT TO PVC MAIN LINE WITH SCH. 40 PVC COUPLING.
- ⑥ BRICK - ONE EACH CORNER OF BOX
- ⑦ SCHEDULE 80 PVC THREADED NIPPLES AND FITTINGS AS REQUIRED
- ⑧ PEA GRAVEL - 4" DEEP (NO SOIL IN VALVE BOX)

**4 FOUR REMOTE VALVE MANIFOLD DETAIL (1" VALVES ONLY)**  
SCALE: NONE

**5 DRIP REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD**  
SCALE: NONE

**6 PRESSURE REDUCING VALVE**  
SCALE: NONE



**FIELD ARCHITECTURE**  
974 COMMERCIAL ST. STE 104  
PALO ALTO, CA 94303  
650.462.9554

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Issue Set / Revisions	No.	Description	Date
1	PRICING SET		02.17.23
2	PRE-APP SET		05.05.23

KEY PLAN

**VAN ESS RESIDENCE**

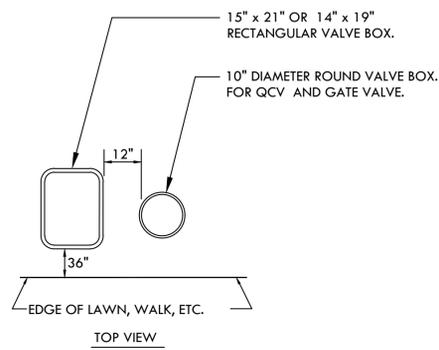
179 Van Ess Way  
Carmel-By-The-Sea CA 93923  
Date: 06.10.2024  
Drawn by: JC  
Scale: NONE

IRRIGATION DETAILS

Sheet number

**L2.03**



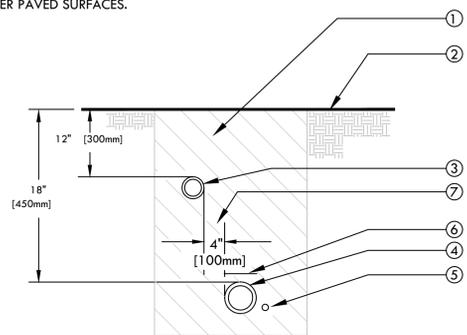


**INSTRUCTIONS:**

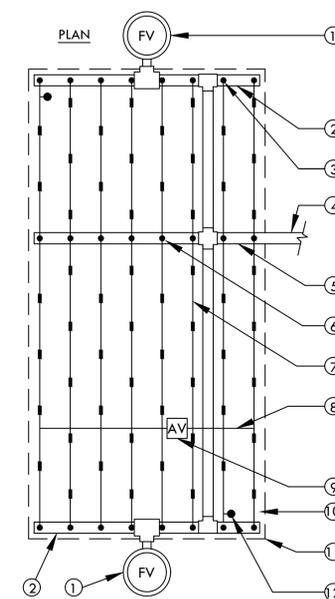
1. CENTER VALVE BOX OVER REMOTE CONTROL VALVES TO FACILITATE SERVICING VALVE.
2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

**NOTES:**

1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES.

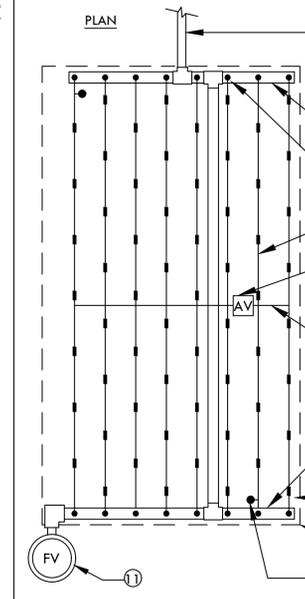


- 1 CLEAN BACKFILL MATERIAL.
- 2 FINISH GRADE.
- 3 LATERAL LINE.
- 4 MAIN LINE.
- 5 2-WIRE CABLE. CABLE SHALL BE LAID OUT LOOSELY IN THE TRENCH.
- 6 3" DETECTABLE WARNING TAPE OVER MAIN LINE - 3" [75mm] ABOVE PIPE. USE CHYSTY MODEL #TA-DT-3-BRR FOR POTABLE IRRIGATION SYSTEMS OR #TA-DT-3-PRW FOR RECYCLED IRRIGATION WATER SYSTEMS
- 7 TYPICAL DISTANCE BETWEEN PIPES.



**NOTE:**

1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



**NOTE:**

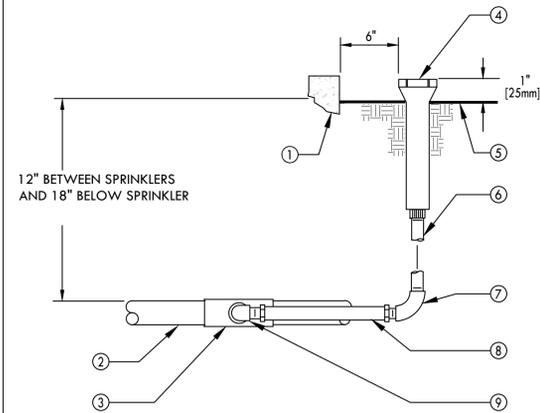
1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

**1 VALVE BOX INSTALLATION-BLACK BOXES AND LIDS**  
SCALE: NONE

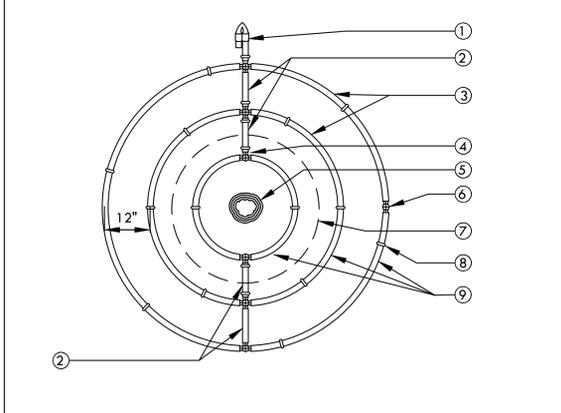
**2 TRENCHING**  
SCALE: NONE

**3 HLD DRIPLINE CENTER FEED LAYOUT**  
SCALE: NONE

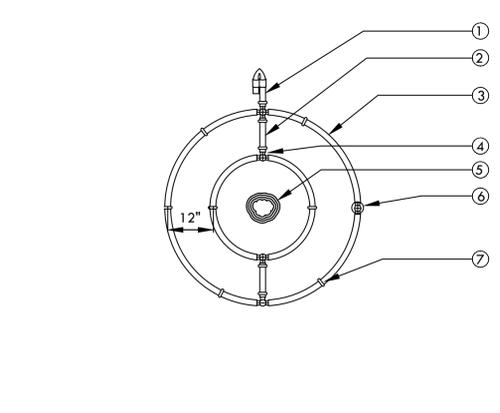
**4 HLD DRIPLINE END FEED LAYOUT**  
SCALE: NONE



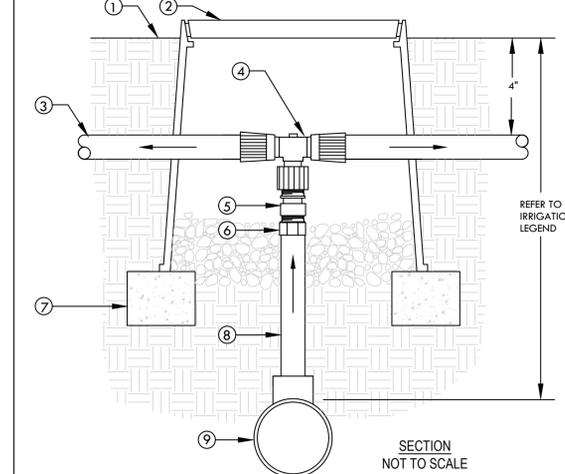
- 1 WALL, WALK, CURB OR BUILDING.
- 2 PVC LATERAL LINE.
- 3 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW.
- 4 POP-UP SHRUB SPRAY SPRINKLER OR BUBBLER.
- 5 FINISH GRADE.
- 6 1/2" [13mm] SCHEDULE 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED).
- 7 1/2" [13mm] SCHEDULE 40 PVC THREADED 90° ELL.
- 8 1/2" [13mm] FLEXIBLE IPS HOSE 6" [150mm] LONG WITH MALE ADAPTERS OR 1/2" [13mm] FLEXIBLE SWING JOINT (1/2" x 6") [13mm x 150mm] WITH A MINIMUM PRESSURE RATING OF 100 PSI [690kPa].
- 9 1/2" [13mm] SCHEDULE 40 PVC STREET ELL.



- 1 FIGURE 8 LINE END
  - 2 BLANK TUBING
  - 3 DRIPLINE
  - 4 HUNTER PLD-TEE (PLD-TEE)
  - 5 TREE TRUNK
  - 6 ADAPTER TEE FROM PVC TO DRIPLINE.
  - 7 ROOT BALL
  - 8 6-INCH SOIL STAPLE (TYP) EQUALLY SPACE 4 AROUND EACH TUBE RING
  - 9 LOCATE FIRST DRIPLINE RING HALFWAY BETWEEN THE TRUNK AND EDGE OF ROOTBALL. LOCATE THE SECOND DRIPLINE RING AT EDGE OF ROOTBALL. LOCATE THE THIRD RING 12" OUTSIDE THE SECOND RING
- NOTE:**  
SUGGESTED QUANTITY DRIP RINGS PER TREES SIZE:
- 15 GAL OR 24" BOX = 2 RINGS
  - 36 GAL OR 48" BOX = 3 RINGS
  - 60 GAL OR LARGER = 4 RINGS



- 1 FIGURE 8 LINE END
- 2 BLANK TUBING
- 3 DRIPLINE
- 4 HUNTER PLD-TEE (PLD-TEE)
- 5 SHRUB ROOTBALL
- 6 ADAPTER TEE FROM PVC TO DRIPLINE.
- 7 6-INCH SOIL STAPLE (TYP) EQUALLY SPACE 4 AROUND EACH TUBE RING



- 1 FINISH GRADE
- 2 CARSON 708 OR EQUAL. COLOR: BLACK. USE PURPLE FOR RECYCLED WATER SYSTEMS.
- 3 DRIPLINE TUBING
- 4 HUNTER PLD-TEE X 1/2" FPT ADAPTER
- 5 TORO 1/2" CHECK VALVE (PCV-500)
- 6 1/2" SCH 40 MALE ADAPTER.
- 7 BRICK (1 OF 2)
- 8 1/2" SCH 40 PVC (LENGTH AS REQUIRED)
- 9 PVC LATERAL LINE SUPPLY. MINIMUM SIZE TO BE 1" UNLESS SIZED DIFFERENTLY ON DRAWINGS. USE SCH 40 PVC 1"x1" x 1/2" TEE OR 90° ELBOW.

**5 POP-UP SPRAY SPRINKLER - SHRUB**  
SCALE: NONE

**6 DRIP RINGS AROUND TREE**  
SCALE: NONE

**7 DRIP RING AT SHRUB**  
SCALE: NONE

**8 DRIPLINE TO PVC CONNECTION**  
SCALE: NONE



**FIELD ARCHITECTURE**

974 COMMERCIAL ST. STE 104  
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California Landscape Architect License 3163

No.	Description	Date
1	PRICING SET	02.17.23
2	PRE-APP SET	05.05.23

KEY PLAN

**VAN ESS RESIDENCE**

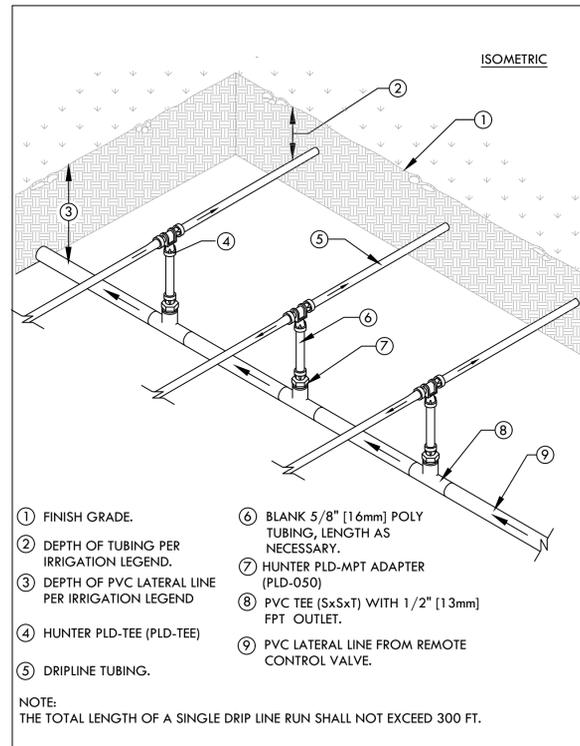
179 Van Ess Way  
Carmel-By-The-Sea CA 93923  
Date 06.10.2024  
Drawn by JC  
Scale NONE



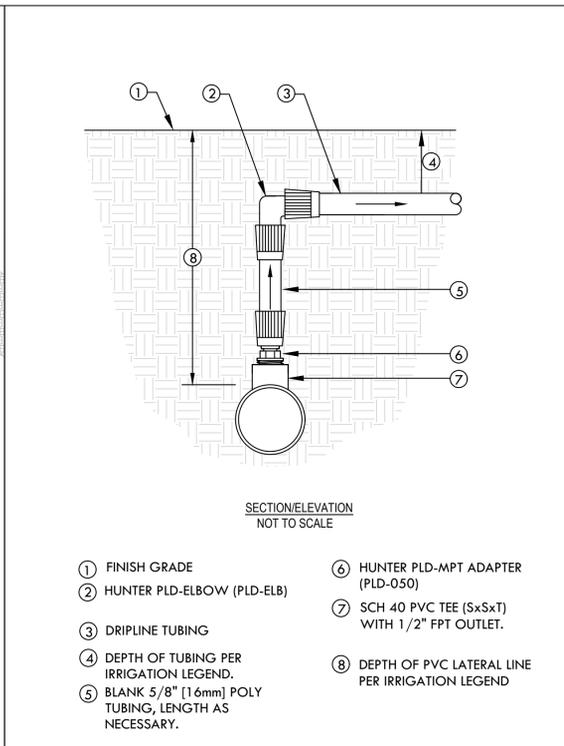
**IRRIGATION DETAILS**

Sheet number

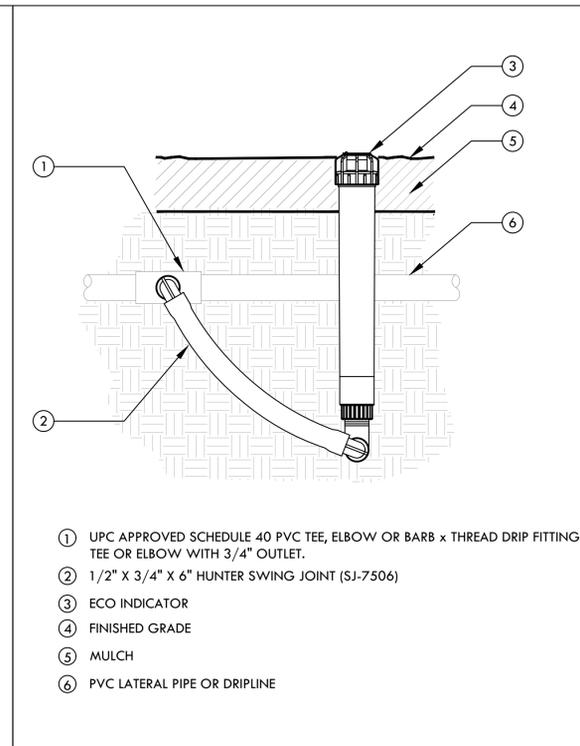
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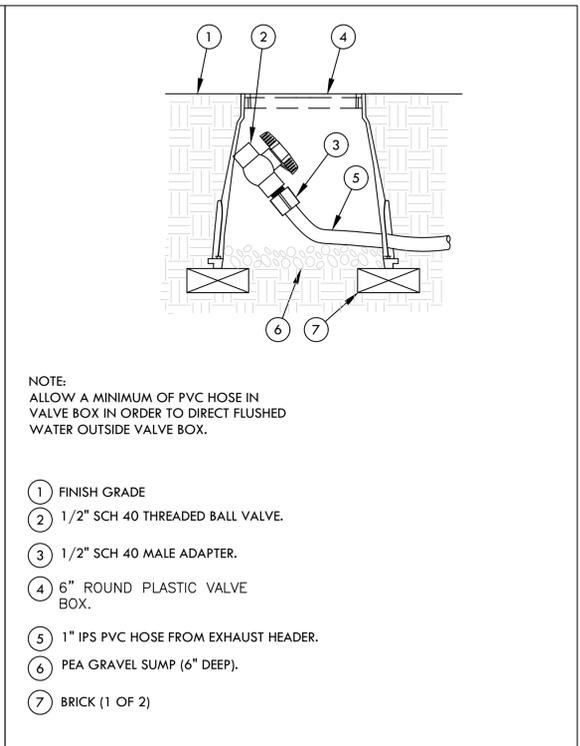
1 HLD DRIPLINE CENTER FEED MANIFOLD  
SCALE: NONE



2 DRIPLINE MANIFOLD TO ELBOW CONNECTION  
SCALE: NONE



3 DRIPLINE OPERATION INDICATOR  
SCALE: NONE



4 DRIPLINE-FLUSH POINT  
SCALE: NONE



**FIELD**  
ARCHITECTURE

974 COMMERCIAL ST. STE 104  
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1	PRICING SET	02.17.23
2	PRE-APP SET	05.05.23

KEY PLAN

**VAN ESS RESIDENCE**

179 Van Ess Way  
Carmel-By-The-Sea CA 93923

Date 06.10.2024  
Drawn by JC  
Scale NONE

IRRIGATION DETAILS

Sheet number

L2.05



## WATER USE ESTIMATION - 179 Van Ess Way Upper Residence Camel By The Sea, Ca- Preliminary

WATER TYPE	POTABLE
SITE ETO=	36
	8/3/2023

REGULAR LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	Central Maritime Chaparral	LOW	0.3	DRIP	0.81	0.37	5,884	2,179	48,641	0.15	65.03	45%
2	Chamise Chaparral	LOW	0.3	DRIP	0.81	0.37	909	337	7,514	0.02	10.05	7%
3	Coast Scrub & Northern Coastal Bluff Scrub	LOW	0.3	DRIP	0.81	0.37	5,703	2,112	47,145	0.14	63.03	44%
4	Monterey Cypress Understory	MOD	0.4	DRIP	0.81	0.49	92	45	1,014	0.00	1.36	1%
5	Pool/Spa	HIGH				1.00	399		8,906			3%
<b>TOTALS</b>							<b>12,987</b>	<b>4,674</b>	<b>113,220</b>	<b>0.32</b>	<b>139.46</b>	<b>100%</b>

SPECIAL LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME											
					1							0%
					<b>TOTALS</b>		0					<b>0%</b>

MAWA	GALLONS/YR	159,428	MAWA FORMULA				ETWU FORMULA	
	ACRE FEET/YR	0.49	MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR				ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR	
	HCF/YR	213.14	MAWA = (ET <sub>o</sub> )(0.62)[(LA x 0.55) + (0.45 x SLA)]				ETWU= ((ETO)(.62)(ETAF x LA))	
ETWU	GALLONS/YR	113,220	ET <sub>o</sub> = REFERENCE EVAPOTRANSPIRATION				ET <sub>o</sub> = REFERENCE EVAPOTRANSPIRATION	
	ACRE FEET/YR	0.35	0.45= ET ADJUSTMENT FACTOR				PF = PLANT FACTOR FOR HYDROZONES	
	HCF/YR	151.36	LA=LANDSCAPED AREA (SQUARE FEET)				HA = HYDROZONE AREA (SQ.FT)	
			0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)				0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)	

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
#N/A	#N/A	YES

ETAF Calculations	
<b>REGULAR LANDSCAPE AREAS</b>	
TOTAL ETAF x AREA	4,674
TOTAL AREA	12,987
AVG. ETAF	35.99%



**FIELD ARCHITECTURE**  
 974 COMMERCIAL ST. STE 104  
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Issue Set / Revisions		
No.	Description	Date
1	PRICING SET	02.17.23
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KEY PLAN

**VAN ESS RESIDENCE**  
 179 Van Ess Way  
 Carmel-By-The-Sea CA 93923  
 Date: 06.10.2024  
 Drawn by: JC  
 Scale: NONE

**IRRIGATION WATER CALCULATION**

Sheet number

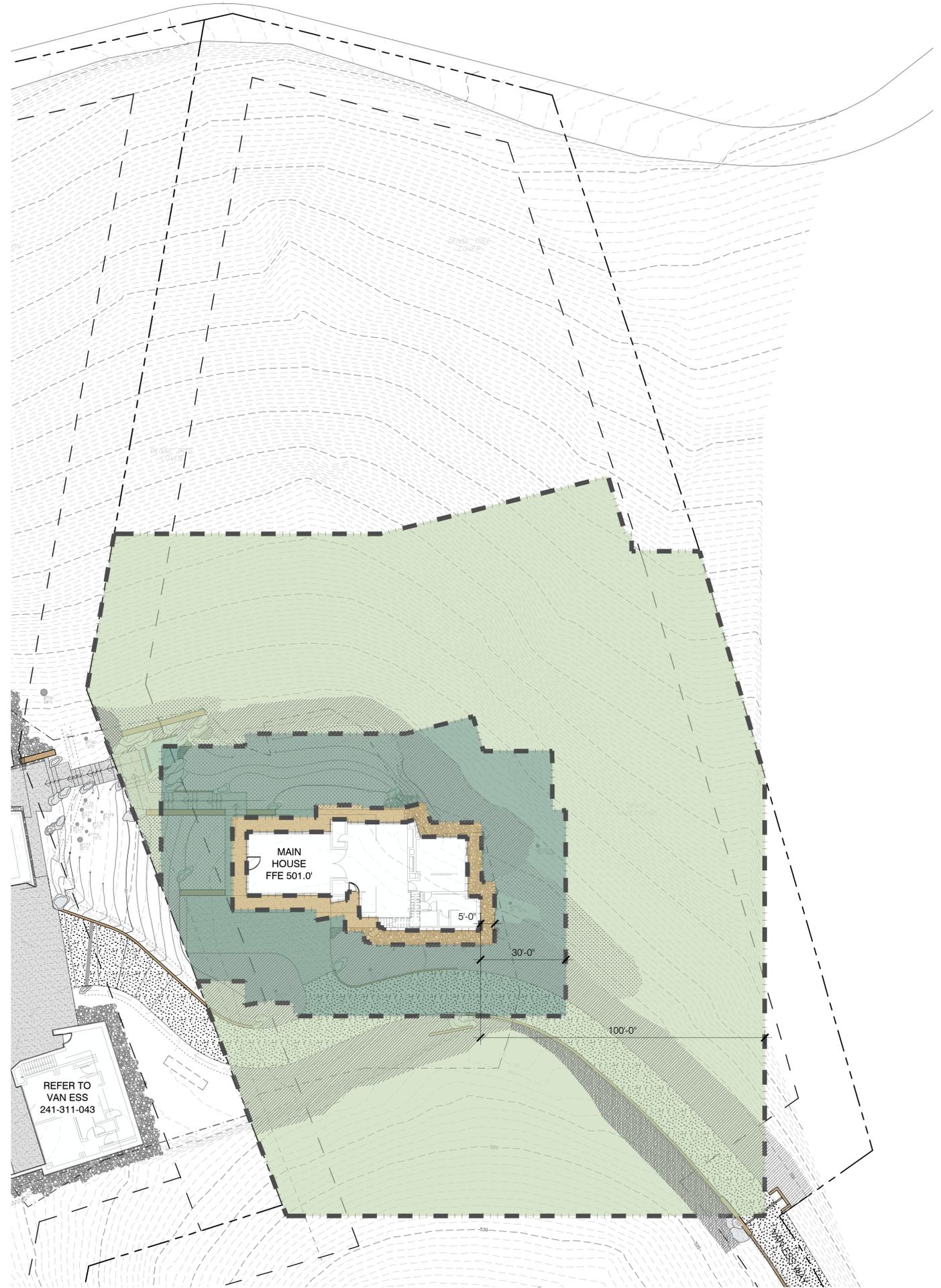
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**LEGEND**

- PROPERTY LINE
- BUILDING SETBACK LINE
- SCENIC EASEMENT
- NON-COMBUSTIBLE ZONE (0'-0" TO 5'-0")
- ZONE 1 (5'-0" TO 30'-0")
- ZONE 2 (30'-0" TO 100'-0")

NOTES:  
 1. REFER TO 182 VAN ESS WAY FUEL MANAGEMENT PLAN BY ONO CONSULTING DATED DECEMBER 7, 2022.



**FIELD**  
 ARCHITECTURE  
 974 COMMERCIAL ST. STE 104  
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No.	Description	Date
1	PRICING SET	02.17.23
2	PRE-APP SET	05.05.23
3	PLANNING SET	10.06.23
4	PLANNING SET_REV 1	11.17.23
5	PLANNING SET_REV 2	02.26.24
6	PLANNING SET_REV 3	06.10.24

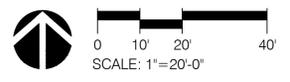
KEY PLAN

**VAN ESS RESIDENCE**  
 179 Van Ess Way  
 Carmel-By-The-Sea CA 93923  
 Date 06.10.2024  
 Drawn by MO/YL  
 Scale AS SHOWN

**FUEL MANAGEMENT PLAN**

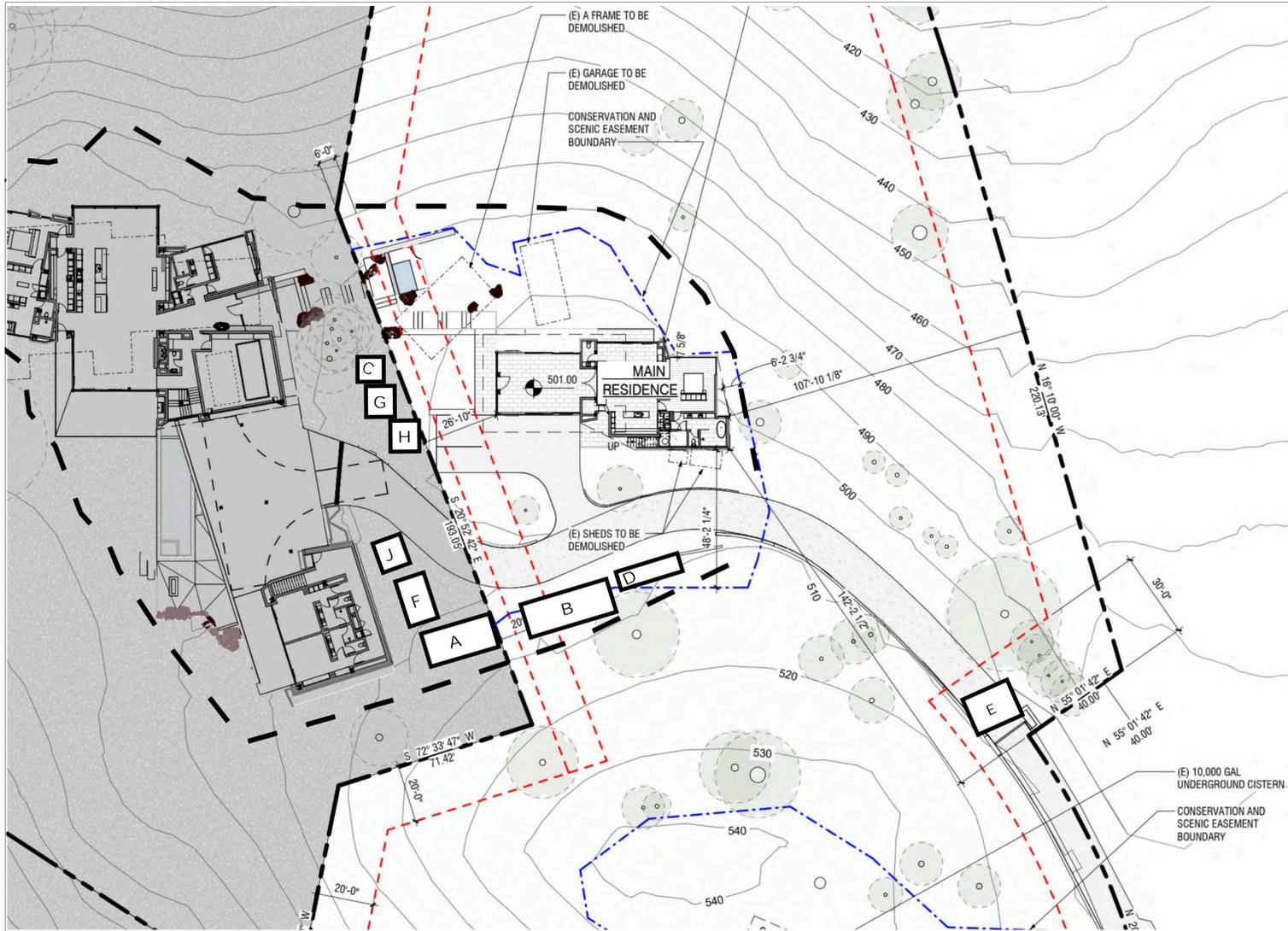
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**L4.00**



**NOT FOR CONSTRUCTION** ORIGINAL SHEET SIZE: 24" X 36"

6/10/2024 4:34 PM



SITE MAP

LEGEND

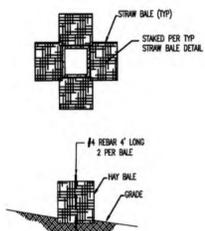
--- STRAW ROLL

- AREA A: MATERIAL STORAGE
- AREA B: VEHICULAR PARKING
- AREA C: JOB SHACK
- AREA D: PORTA POTTY & HAND WASHING FACILITIES
- AREA E: DELIVERY ACCESS
- AREA F: DEBRIS TRAILER
- AREA G: CONCRETE WASHOUT
- AREA H: SOIL STOCKPILE AREA (IF REQUIRED)
- AREA J: DUMPSTER FOR RECYCLING MATERIAL

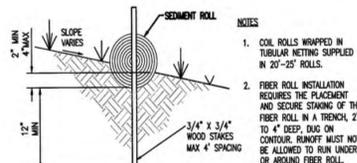
ARCHAEOLOGICAL NOTE

IN THE EVENT CULTURAL RESOURCES ARE IMPACTED DURING CONSTRUCTION, WORK SHALL STOP WITHIN 150-FT OF THE FIND UNTIL A QUALIFIED ARCHAEOLOGIST HAS AN OPPORTUNITY TO EVALUATE THE FIND AND PROVIDE TREATMENT RECOMMENDATIONS. IF THE RESOURCE IS CONSIDERED SIGNIFICANT, GROUND DISTURBANCE SHALL BE HALTED UNTIL AN ARCHAEOLOGICAL RESEARCH DESIGN AND TREATMENT PLAN IS DEVELOPED AND APPROVED BY THE LEAD AGENCY AND PROJECT PROPONENT.

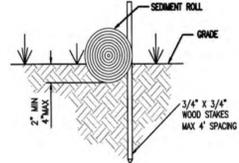
IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED ON SITE, GROUND DISTURBING ACTIVITIES ON SITE SHALL IMMEDIATELY HALT. THE REMAINS SHALL BE COVERED WITH STEEL PLATES (WHERE FEASIBLE) AND THE LOCATION SHALL BE KEPT CONFIDENTIAL AMONG PROJECT PERSONNEL TO PREVENT VANDALISM AND ADDITIONAL DISTURBANCE. THE MONTEREY COUNTY SHERIFF-CORONER SHALL BE NOTIFIED IMMEDIATELY, AND NO WORK SHALL RESUME WITHIN A 150-FT RADIUS OF THE FIND UNTIL A MOST LIKELY DESCENDANT (MLD) HAS BEEN ASSIGNED TO THE PROJECT AND PROVIDED THE PROJECT PROPONENT WITH TREATMENT RECOMMENDATIONS. PHOTOGRAPHS OF REMAINS SHALL BE PROHIBITED, UNLESS REQUESTED BY THE CORONER AND PERMITTED BY THE MLD.



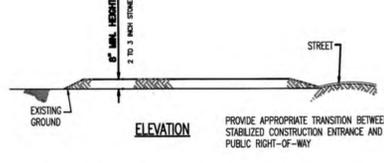
6 INLET PROTECTION NOT TO SCALE



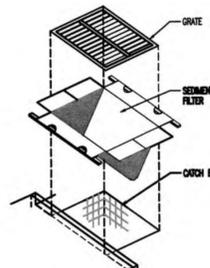
5 ENTRENCHMENT DETAIL IN SLOPED AREA NOT TO SCALE



4 ENTRENCHMENT DETAIL IN FLAT AREA NOT TO SCALE



3 STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



2 INLET FILTER DETAIL NOT TO SCALE

CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLUTION.

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.

**PAINT AND STUCCO**  
All paint and stucco material stored on the site must be contained and covered. It is illegal to dump unused paint or stucco in the sewer or storm drain system. To get more information on the correct way to store any residues in the storm drain, paint brushes and spray cans must be washed/cleaned out into a hazardous materials drum or back into the original container and disposed of properly.

**PERIMETER CONTROLS**  
Cover bags, silos, hoses and other visible (heighted) items with acceptable perimeter controls, and must be used to surround the entire site. Avoid cutting over perimeter controls with vehicles or heavy equipment as they can damage the controls. Keep catch basins clean and empty and/or vacuum on site to quickly pick up unintended spills.

**BUILDING MATERIALS STAGING AREAS**  
Construction material must be stored on site at all times. Building materials should always be covered when not in use to prevent runoff caused by wind or rain. Piling material should be prevented by measuring the site before, during, and after rain events to ensure that BMPs are functioning and that there are no safety issues.

**TRAFFIC CONTROL PERMITS**  
Prior to staging any materials or equipment in the right-of-way (such as a driveway or road), please contact the applicable local jurisdiction to learn of any necessary encroachment permit or traffic control requirements necessary for right-of-way staging and loading and/or unloading materials. BMPs and safety plan require requirements. Provide a stabilized vehicle path with controlled access to prevent tracking of dirt onto the property. Site side entrance BMPs for articulated vehicles.

**DUMPSTERS**  
Always cover dumpsters with a setback cap. Assess around dumpsters should be swept daily. Perimeter controls around dumpster areas should be provided (curbs, containment or drainage) from the dumpster.

**WASHOUT AREA**  
The disposal of "self" construction materials should be handled in the washout area. This includes paint, stucco, and concrete. Use a sump with an implosion line to contain wet materials and prevent runoff in nearby areas. The washout area must be checked and maintained daily to ensure compliance. All dried materials must be disposed of at the landfill.

**DIRT AND GRADING**  
Mounds of dirt or gravel should be stored on site and sprayed daily with water to prevent excessive dust. During the rainy season (October 15th - April 15th) these materials should be covered. For those areas that are active and exposed, a wet weather triggered action plan including additional BMPs should be in place to protect the site during a rain event. Storms must have adequate tracking control beyond the transport of dirt/gravel from the site.

**EARTHMOVING EQUIPMENT**  
All earthmoving equipment should be stored on site. Maintenance of any equipment should be conducted on site, and all tools and dirt placed in a container or bag and removed from the site. Storm drains must be protected at all times with perimeter controls, such as gravel bags. Sandbags are typically not used for this purpose because they do not prevent flow through the place installed or damaged gravel bags and remove the debris from the right-of-way immediately.

Protecting water resources improves and preserves quality of life for our children and future generations.

Questions? Contact the local Public Works Dept. in the jurisdiction your project resides or the MRSWMP Program Manager.

POLLUTION PREVENTION PLANNING

Every construction project must have an erosion and sediment control plan to prevent soil and materials from leaving the site. Basic steps for this plan include:

1. Understand local jurisdictional stormwater management requirements and create your plan to match your construction site and project needs.
2. Identify the storm drains and the conveyance system (if present) the construction site area and provide plan to prevent runoff from work site pollutants.
3. Obtain all local jurisdictional permits, including traffic control permits, if needed.
4. Schedule construction activities so that the soil is not exposed for long periods of time. Limit grading to small areas, install best sediment control practices before site grading begins.
5. Contact the inspector assigned to your project to answer any questions and ensure compliance. Modify BMPs as job requires.



PREVENT POLLUTION AND AVOID FINES (P.C.'S)

**Control:** The best line of defense is to use good house-keeping practices and sediment/erosion control BMPs to prevent materials and debris from entering the storm drain.

**Contain:** Isolate your work area to prevent discharges from leaving the site. Store materials out of the rain and in secondary containment, if necessary.

**Catch:** Sweep or vacuum up any material that could possibly run offsite. Dispose of wastes properly by checking product labels for disposal requirements.

Additional Tips to Support BMPs:

- Schedule site stabilization activities, such as landscaping, to be completed immediately after the land has been graded to its final contour.
- Project & maintain all fences and other barriers other than rainwater. Make sure stormwater is not being routed through devices or other vegetative buffers. Cover all dirt piles to protect from wind and rain.
- Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for articulated vehicles.
- Minimize amount of vegetation cleared from the site. Protect and install vegetative buffers along watercourses to slow and filter stormwater runoff.
- Properly dispose of all waste materials. Never dump unused or waste product on the ground or in a storm drain. Don't hose off surfaces to clean. Sweep and place waste in dumpster.
- Break up long slopes with sediment barriers. Install structural BMPs to trap sediment on obverse/slope sides of the lot.
- When in doubt, contact local jurisdiction for guidance.

**ONLINE RESOURCES**  
California Storm Water Quality Association - [www.cswqa.com](http://www.cswqa.com)  
International BMP Database - [www.bmpdatabase.org](http://www.bmpdatabase.org)  
California State Water Board - [www.waterboards.ca.gov](http://www.waterboards.ca.gov)

**MontereySEA.org**  
5 Harris Ct., Big D Monterey, CA 93940  
Phone: (831) 545-4621  
Fax: (831) 372-8178  
Web: MontereySEA.org

**Got CONSTRUCTION?**

**A STORM WATER POLLUTION PREVENTION GUIDE FOR THE CONSTRUCTION INDUSTRY**

MontereySEA.org  
(831) 545-4621

EROSION CONTROL NOTES:

1. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
2. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH APPROVED METHODS ESTABLISHED BY THE SOILS ENGINEER.
3. STABILIZE ALL GRADED AREAS WITH VEGETATION, CRUSHED STONE, RIPRAP, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETED OR IF WORK IS INTERRUPTED FOR 21 WORKING DAYS OR MORE. USE MULCH TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.
4. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE STABILIZED TO PREVENT EROSION AND SEDIMENTATION.
5. APPLY SEED, FERTILIZER AND STRAW MULCH, THEN TRACK OR PUSH IN THE MULCH WITH AN APPROVED MECHANICAL MEANS OR BY HAND.
6. ALL DISTURBED SURFACES MUST BE PROTECTED FROM EROSION, BETWEEN OCTOBER 15 AND APRIL 15. EROSION CONTROL MEASURES MUST BE IN PLACE AND CONTINUOUSLY MAINTAINED.
7. DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
8. DISTURBED AREAS SHOULD BE SEEDDED, FERTILIZED, AND MULCHED TO PREVENT EROSION DURING WINTER MONTHS. INSTALL STRAW BALE SILTATION BARRIER AS SHOWN ON PLAN.
9. ALL CUT AND FILL SLOPES SHALL BE PLANTED WITH A SEED MIXTURE THAT WILL YIELD THE FOLLOWING RATE OF APPLICATION OR APPROVED EQUAL.

THE FOLLOWING OUTLINES THE BEST PROSPECTS FOR ECOLOGICALLY AND ECONOMICALLY SOUND NATIVE PLANT MIXES FOR EROSION PREVENTION. THE LIST BELOW GIVES A GREATER VARIETY THAN WOULD BE PUT IN ANY ONE APPLICATION, LEAVING FLEXIBILITY TO SELECT BASED ON MARKET AVAILABILITY AND COSTS. NOTE, WITH EXCEPTION OF A FEW SPECIES, ALL ARE GRASSES.

SLP CODE	BOTANICAL NAME	COMMON NAME	GENERAL USAGE
BROCAR	BROMUS CARNATUS	CALIFORNIA BROME	OPEN SITES
DESROL	DESCHAMPSIA HOLCIFORMIS	PACIFIC HAIRGRASS	LOW FLAT, PARTLY SHADED SITES
ELYCON	ELYMUS CONDENSATUS	GIANT WILDRYE	SHADED HILLSIDE, DRAWS
FESCAL	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	STAPLE, ANYWHERE
FESTRUB	FESTUCA RUBRA	RED FESCUE	STAPLE, ANYWHERE
HORBAR	HORDEUM BRACHYANTHERUM	MEADOW BARLEY	STAPLE, OPEN AND EDGE SITES
LEYGLA	LEYMUS BLANDA	WESTERN WILDRYE	LOW SITE, HILL BOTTOM, MOIST
LEYTRI	LEYMUS TRITICOIDES	CREeping WILDRYE	LOW SITE, HILL BOTTOM, MOIST
NASGER	NASELLA CERNUA	NOODING NEEDLEGRASS	OPEN SITES, SLOPES
NASPLU	NASELLA PULCHRA	PURPLE NEEDLEGRASS	OPEN SITES, SLOPES
PTEAQU	PTERIDIUM AQUILINUM	WESTERN BRACKEN FERN	OPEN, DRY & SHALLOW SLOPES

SAMPLE MIXES (GRASS SEED @ LBS PER ACRE; FERNS @ CUT-PIECES PER ACRE)

TYPE I: OPEN, SUN OR SUN/SHADE, FLAT TO MODERATE SLOPE:  
HORBAR (15), DESROL (15), FESRUB/FESCAL (25), NASPLU/NASGER (15); PLUS OPTIONAL PTEAQU (1,000-2,000 PCS)

TYPE II: SUN/SHADE, FLAT TO MODERATE, BOTTOM OF SLOPE OR HILL:  
DESROL (15), LEYTRI/LEYGLA (20), BROCAR (20), NASPLU/NASGER (15)

TYPE III: STEEPER CUTS:  
PTEAQU (2000 PCS), FESRUB/FESCAL (30), BROCAR (10)

- SLOPE NETTING AND SEED COVER, WHEN REQUIRED, MUST MEET THESE CRITERIA:
1. NETTING IS JUTE OR NATURAL FIBER, ONLY.
  2. NYLON NETTING USED ALONE OR IN STRAW BLANKETS IS FORBIDDEN.
  3. SEED COVER IS LIMITED TO HYDRO-MULCH, RICE STRAW, AND/OR CERTIFIED CLEAN (STERILE) GRASS STR.
  4. RICE IS FIRST; OTHER STRAW ONLY WHEN RICE IS NOT AVAILABLE. ALFALFA SECONDS ARE OKAY.
  5. OAT AND BARLEY BALES WITH ANY AMOUNT OF SEED PRESENT ARE STRICTLY FORBIDDEN.

CONSTRUCTION NOTES

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 7 AM TO 4 PM
2. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE PER DAY. FREQUENCY SHOULD BE BASED UPON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE
3. ALL GRADING ACTIVITIES SHALL BE HALTED DURING PERIODS OF HIGH WINDS (15 MPH)
4. HAUL TRUCKS SHALL MAINTAIN 2 - FEET FREEBOARD AND BE COVERED.
5. COVER INACTIVE STORAGE PILES.
6. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT COPIES ARE AVAILABLE FOR AGENCY REVIEW UPON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ONSITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE THE EROSION CONTROL PLAN FOR FURTHER SPECIFICATIONS.
8. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G.: CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOILS AND WASTES, DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
9. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION. SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES), THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HRS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

CONSTRUCTION ACTIVITY DESCRIPTION

DURATION: 30 MONTHS  
MONDAY THRU FRIDAY 7AM - 4PM  
6-12 WORKERS  
4-6 REGULAR PICKUP TRUCKS  
65% RECYCLE RATE FOR LUMBER.

TRASH AND UN-RECYCLED DEBRIS ARE COLLECTED ON SITE IN A PORTABLE TRAILER AND REMOVED BY TOWING BEHIND A REGULAR PICKUP TRUCK ONCE A MONTH TO THE MARINA LANDFILL.

- AREA A: MATERIAL STOCKPILE
- AREA B: VEHICULAR PARKING
- AREA C: JOB SHACK
- AREA D: PORTA POTTY
- AREA E: DELIVERY ACCESS
- AREA F: CONCRETE WASHOUT
- AREA G: DEBRIS TRAILER
- AREA H: SOIL STOCKPILE AREA (IF REQUIRED)
- AREA J: DUMPSTER FOR RECYCLING MATERIAL

GRADING: 700 YDS CUT  
100 YDS FILL  
600 CU YDS (EXPORT)

TREE REMOVAL: NONE

