

**Before the Planning Commission in and for the  
County of Monterey, State of California**

In the matter of the application of:

**SAHI NAVEET SINGH (PLN240178)**

**RESOLUTION NO. 25-025**

Resolution by the County of Monterey Planning  
Commission:

- 1) Finding that the project qualifies as a Class 3 and Class 4 Categorical Exemption pursuant to CEQA Guidelines sections 15303 and 15304, and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Use Permit to allow the removal of 53 Oak trees.

[PLN240178, Sahi Navneet Singh, 8730 Eagles  
Roost Rd, Salinas, North County Inland Area Plan,  
(Assessor's Parcel Number: 125-621-010-000)]

**The SAHI NAVNEET SINGH application (PLN240178) came on for public hearing before the Monterey County Planning Commission on June 25, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The project and/or use, as conditioned, is consistent with the policies of the 2010 Monterey County General Plan, the North County Inland Area Plan (Area Plan), and the requirements of the applicable zoning ordinance (Title 21); and other County health, safety, and welfare ordinances related to land use development.  
**EVIDENCE:**
  - a) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) The project involves the removal of 54 trees including 53 protected Oak trees and one nonprotected Monterey Pine tree.
  - c) Allowed Use. The property is located at 8730 Eagles Roost Rd, Salinas, North County Inland Area Plan (Assessor's Parcel Number: 125-621-010-000). The parcel is zoned Rural Density Residential with a density of 5.01 acres per unit, [RDR/5.01]. Title 21 section 21.64.260.D.3.a requires approval of a Use Permit by the Monterey County Planning Commission for the removal of more than three protected trees on one lot within a one-year period. Pursuant to Title 21 section 21.64.260.C.1 and North County Inland Area Plan policy 3.4, Oak and Madrone trees are native within the North County Inland Area Plan and are therefore protected. Therefore, the project is an allowed land use for this site.

The site plans included in this project illustrate a 5,546 square foot single family dwelling with associated site improvements. Pursuant to Title 21, section 21.16.030.A, the first single family dwelling per lot is allowed as a principally allowed use within the Rural Density Residential zoning district, and therefore is processed ministerially. Although a planning entitlement is not required and approval for the construction of the single-family dwelling is not a part of this application, the tree removal is to allow for the future development of the single-family dwelling which will be processed separately under a Construction Permit. County Planning will be required to review the Construction Permit plans when submitted to ensure substantial conformance with the allotted trees under this project as illustrated within the attached plans. Modifications to the plans shown in relation to the tree removal that would require the removal of more trees than are allowed under this permit would require an amendment to this permit.

- d) Lot Legality. The subject property is identified in its current configuration (5.001 acres) as Lot 10 of Tract No. 1316 on a Final Map entitled "Hidden Canyon Ranch Subdivision", recorded in March of 1999 (Volume 20, Cities & Towns, Page 16). Therefore, the County recognizes the subject properties as legal lots of record.
- e) Tree Removal. The project involves the removal of 54 trees, including 53 protected Oak Trees and one nonprotected Monterey Pine tree as outlined the Area Plan However, as detailed in Finding No.5 and supporting evidence, the tree removal is the minimum required under the circumstances and the removal will not involve a risk of adverse environmental impacts. Therefore, the criteria necessary to grant a Use Permit have been met in this case.
- f) Land Use Advisory Committee. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the Land Use Advisory Committee (LUAC) for review as the project does not involve development requiring CEQA review (Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report, a Lot Line Adjustment involving conflicts, a Variance, or a Design Approval subject to a public hearing.
- g) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240178.

2. **FINDING:** **SITE SUITABILITY & HEALTH AND SAFETY** – The site is physically suitable for the use proposed. The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

**EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services,

HCD-Environmental Services, and North County Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development or that the project will have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to Forest Resources, Biological Resources, and Geotechnical Resources (soils). The following reports have been prepared:
  - “Geotechnical Investigation” (County of Monterey Library No. LIB240013) prepared by Haro, Kasunich and Associates, Inc., Watsonville, CA, October 2024.
  - “Arborist Report” (County of Monterey Library No. LIB250011) prepared by Albert Weisfuss, Carmel, CA, November 2024.
  - “Biological Report” (County of Monterey Library No. LIB250012) prepared by Patrick Regan, Carmel Valley, CA, December 2024.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Forest Resources. A Fuel Management Plan was prepared for the project (see sheet L1 of project plans), as a guideline for the implementation of defensible space/vegetation management for fire safety around the future development. The tree removal supports mitigation of fire fuel surrounding the future development of the lot and neighboring residences (see evidence in Finding 5).
- d) No evidence has been provided to the County of Monterey HCD-Planning staff indicating that the proposed tree removal will have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- e) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240178.

3. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
  - b) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240178.

4. **FINDING:** **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA): -**  
The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) As detailed in Finding 1, evidence “c”, the applicant proposes the removal of 53 Oak trees to accommodate the future development of a single-family dwelling which is to be processed ministerially. CEQA Guidelines section 15268(d) declares that “[w]here a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” In such cases, while the whole project becomes subject to CEQA, it is only those discretionary components of the project – those parts which the reviewing agency (here, the County) has authority to shape, influence, approve, or deny (CEQA Guidelines section 15040; Public Resources Code section 21004). Accordingly, while the Planning Commission’s discretionary authority is limited to consideration of the proposed tree removal, the proposed residence is subject to CEQA.
  - b) CEQA Guidelines section 15303 categorically exempts the construction and location of limited numbers of new structures including single-family dwellings in residential zones. CEQA Guidelines section 15304 categorically exempts minor alterations to land, water, and/or vegetation which do not involve the removal of healthy, mature, scenic trees.
  - c) The proposed project involves the future construction of a single-family dwelling and associated site improvements on a residentially zoned lot. Therefore, this portion of the project is consistent with the categorical exemption requirements of CEQA Guidelines section 15303. Additionally, the project includes the removal of 54 trees including 53 protected Oak trees and one nonprotected Monterey Pine tree, none of which are scenic. Therefore, this portion of the project is consistent with CEQA Guidelines section 15304.
  - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. Project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. The tree removal will not result in an adverse environmental impact or significant long-term impacts. The proposed project will also not be visible from any scenic vista or corridor. No known historical resources are found in the geotechnical report which may cause a substantial adverse change in the significance of a historical resource.
  - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240178.
5. **FINDING:** **TREE REMOVAL** – The siting, location, size, and design has been established to minimize tree removal and has been limited to that

required for the overall health and long-term maintenance of the property.

- EVIDENCE:**
- a) The project includes application for the removal of 54 trees, including 53 Oak Trees and one Monterey Pine Tree. In accordance with the applicable policies of the North County Inland Area Plan and Title 21 (Inland Zoning Ordinance), a Use Permit is required and the criteria to grant said permit have been met.
  - b) Title 21 section 21.64.260.D.3.a requires approval of a Use Permit by the Monterey County Planning Commission for the removal of more than three protected trees on one lot within a one-year period. Pursuant to Title 21 section 21.64.260.C.1 and North County Inland Area Plan policy 3.4, Oak and Madrone trees are native within the North County Inland Area Plan and are therefore protected. Title 21, section 21.64.260.C.5, defines landmark Oak trees as those trees which are 24 inches or more in diameter when measured two feet above the ground. The subdivision for the subject parcel recorded a Final Map that outlined two separate envelopes for the building and leach field. Any future development and associated tree removal would be required to be located entirely within those envelopes. Both envelopes are densely forested with protected trees including several landmark trees. Any future development within the subject parcel that is consistent with the neighborhood character and surrounding residences including minimum building sizes as required by the HOA, would require removal of protected trees. Staff reviewed draft plans for a future single family dwelling, which would require the removal of 53 protected trees inclusive of 3 landmark trees. Based on staffs analysis, any development in keeping with substantial conformance with the draft plans would reasonably require the removal of up to 53 protected trees including 3 landmark trees. Any removal beyond these numbers would require an amendment to this resolution. Additionally, Chapter 18.56.090 outlines fuel modification standards to reduce the intensity of a wildfire by reducing the volume and density of flammable vegetation and providing for setbacks for structures on parcels that are larger than one acre. Therefore, the proposed tree removal is limited to that which is necessary for the proposed development.
  - c) Measures for tree protection during construction have been incorporated as a condition of approval, and include tree protection zones, trunk protection, hand excavation and bridging roots.
  - d) No significant long-term effects on the forest ecosystem are anticipated. The project as proposed will not significantly reduce the availability of wildlife habitat over the long term.
  - e) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240178.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Section 21.80.040 of the Monterey County Zoning Ordinance (Title 21) identifies the Board of Supervisors as the

Appeal Authority to consider appeals from the discretionary decisions of the Planning Commission.

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project qualifies as a Class 3 and Class 4 Categorical Exemption pursuant to CEQA Guidelines sections 15303 and 15304, and there are no exceptions pursuant to section 15300.2; and
2. Approve a Use Permit to allow the removal of 53 Oak Trees.

All of which are in general conformance with the attached sketch and subject to the attached 8 conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 25th day of June 2025 upon motion of Commissioner Roberts, seconded by Commissioner Monsalve, by the following vote:

AYES: Mendoza, Diehl, Hartzell, Gonzalez, Roberts, Work, Monsalve, Shaw  
NOES: None  
ABSENT: Gomez, Getzelman  
ABSTAIN: None

DocuSigned by:



Melanie Beretti, AICP, Chief of Planning  
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON **SEPTEMBER 11, 2025**.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **SEPTEMBER 22, 2025**.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

**NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# County of Monterey HCD Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240178

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Use permit (PLN240178) allows the removal of 53 Oak trees. The property is located at 8730 Eagles Roost Road, Salinas (Assessor's Parcel Number 125-621-010-000), North County Inland Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Use Permit (Resolution Number 25-025) was approved by the Planning Commission for Assessor's Parcel Number 125-621-010-000 on June 25, 2025. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

### 4. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

## 5. PD011(A) - TREE REMOVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

## 6. PD048 - TREE REPLACEMENT/RELOCATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:  
- Replacement recommended by arborist: 57 Coast Live Oak

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

## 7. CC01 INDEMNIFICATION

**Responsible Department:** County Counsel-Risk Management

**Condition/Mitigation Monitoring Measure:** Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

**Compliance or Monitoring Action to be Performed:** This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County County's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.

## 8. PD050 - RAPTOR/MIGRATORY BIRD NESTING

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

EXISTING



LOT CENTER: LOOKING SOUTH AT EAGLES ROOST RD.

EXISTING



LOT ENTRY: ADJACENT TO EAGLES ROOST RD.

EXISTING



LOT ENTRY: LOOKING NORTH FROM EAGLES ROOST RD.

# NEW SINGLE FAMILY DWELLING

## HOUSING PROJECT PHASE DESCRIPTION

### PHASES OF CONSTRUCTION:

- COUNTY USE PERMIT: TREE REMOVAL**
  - DESCRIPTION: BEFORE ANY CONSTRUCTION CAN COMMENCE, THE SITE WILL UNDERGO THOROUGH GRADING TO PREPARE THE LAND FOR BUILDING. THIS PHASE INVOLVES SHAPING THE TERRAIN, LEVELING THE GROUND, AND ENSURING PROPER DRAINAGE.
  - SITE PREP: CLEARING VEGETATION, DEBRIS REMOVAL, AND EXCAVATION TO ESTABLISH THE BUILDING FOOTPRINT.
  - GRADING:(SEPARATE PERMIT) ADJUSTING THE LAND'S CONTOURS TO ACCOMMODATE THE ARCHITECTURAL PLANS AND FACILITATE PROPER WATER RUNOFF.
  - CUT AND FILL: BALANCING EARTHWORKS THROUGH CUT AND FILL OPERATIONS TO ACHIEVE THE DESIRED SITE ELEVATIONS.
  - DRAINAGE PLANNING: INSTALLING NECESSARY DRAINAGE SYSTEMS TO PREVENT WATER ACCUMULATION AND EROSION.
  - OAK TREE REMOVAL: REMOVAL OF PROTECTED OAK TREES, SUBJECT TO USE PERMIT APPROVAL, AS PER ENVIRONMENTAL REGULATIONS. MEASURES WILL BE TAKEN TO MITIGATE ENVIRONMENTAL IMPACT AND ENSURE COMPLIANCE WITH RELEVANT PERMITS.
- NEW CONSTRUCTION ENTRANCE:**
  - DESCRIPTION: ESTABLISHING A DURABLE ENTRANCE TO THE CONSTRUCTION SITE IS CRUCIAL FOR FACILITATING ACCESS FOR WORKERS AND EQUIPMENT WHILE MINIMIZING ENVIRONMENTAL IMPACT. THE ENTRANCE WILL BE BUILT TO WITHSTAND HEAVY TRAFFIC AND ADVERSE WEATHER CONDITIONS.
  - BASE CONSTRUCTION: A ROBUST FOUNDATION WILL BE LAID USING COARSE AGGREGATE AND FILTER FABRIC. THIS FOUNDATION WILL PROVIDE STABILITY, PREVENT EROSION, AND ALLOW FOR EFFECTIVE DRAINAGE.
  - ENTRANCE DESIGN: THE ENTRANCE WILL BE DESIGNED TO BLEND HARMONIOUSLY WITH THE SURROUNDINGS, CONSIDERING AESTHETICS, FUNCTIONALITY, AND SAFETY.
  - ENVIRONMENTAL CONSIDERATIONS: MEASURES WILL BE IMPLEMENTED TO MINIMIZE THE ENVIRONMENTAL FOOTPRINT DURING CONSTRUCTION, SUCH AS EROSION CONTROL AND SEDIMENTATION PREVENTION.
- UTILITY INSTALLATION:**
  - DESCRIPTION: CONNECTING THE NEW SINGLE-FAMILY DWELLING TO ESSENTIAL

UTILITIES SUCH AS WATER, ELECTRICITY, AND GAS IS CRITICAL FOR ITS FUNCTIONALITY AND LIVABILITY.

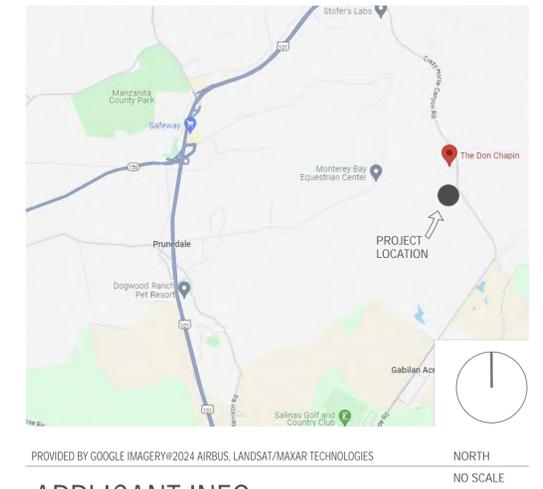
- WATER CONNECTION: COORDINATION WITH THE LOCAL WATER UTILITY TO ESTABLISH A CONNECTION TO THE MUNICIPAL WATER SUPPLY OR DRILL A WELL IF APPLICABLE.
  - ELECTRICAL CONNECTION: INSTALLATION OF ELECTRICAL SERVICE LINES AND CONNECTION TO THE POWER GRID TO PROVIDE ELECTRICITY TO THE DWELLING.
  - GAS CONNECTION: INSTALLATION OF GAS LINES AND CONNECTION TO THE NATURAL GAS SUPPLY OR PROPANE TANK TO FUEL APPLIANCES AND HEATING SYSTEMS.
- SEPTIC SYSTEM INSTALLATIONS**
    - DESCRIPTION: GIVEN THE LOCATION'S LACK OF ACCESS TO A MUNICIPAL SEWAGE SYSTEM, A SEPTIC SYSTEM WILL BE INSTALLED TO MANAGE WASTEWATER DISPOSAL EFFICIENTLY.
    - SEPTIC TANK: INSTALLATION OF A 3000-GALLON SEPTIC TANK TO COLLECT WASTEWATER FROM THE DWELLING.
    - LEACH FIELD: EXCAVATION AND INSTALLATION OF AT LEAST 80 FEET OF LEACH LINES TO DISTRIBUTE TREATED WASTEWATER INTO THE SOIL FOR NATURAL FILTRATION AND ABSORPTION.
    - PERMITTING AND COMPLIANCE: OBTAINING NECESSARY PERMITS AND ENSURING COMPLIANCE WITH LOCAL REGULATIONS FOR SEPTIC SYSTEM INSTALLATION AND OPERATION.
    - MAINTENANCE CONSIDERATIONS: IMPLEMENTING A REGULAR MAINTENANCE SCHEDULE FOR THE SEPTIC SYSTEM TO ENSURE ITS PROPER FUNCTIONING AND LONGEVITY.
  - FOUNDATION AND STRUCTURAL CONSTRUCTION:**
    - DESCRIPTION: ONCE THE SITE IS PREPARED AND THE ENTRANCE ESTABLISHED, CONSTRUCTION WILL BEGIN ON THE DWELLING'S FOUNDATION AND STRUCTURAL FRAMEWORK.
    - FOUNDATION WORK: EXCAVATION, FOOTING INSTALLATION, AND CONCRETE POURING TO CREATE A SOLID BASE FOR THE STRUCTURE.
    - STRUCTURAL FRAMEWORK: ERECTING WALLS, INSTALLING BEAMS, AND SETTING TRUSSES TO FORM THE SKELETON OF THE BUILDING.
    - QUALITY ASSURANCE: STRINGENT QUALITY CONTROL MEASURES WILL BE IMPLEMENTED AT EVERY STAGE TO ENSURE STRUCTURAL INTEGRITY AND COMPLIANCE WITH BUILDING CODES.

- ENCLOSURE AND INTERIOR FINISHING:**
  - DESCRIPTION: WITH THE SKELETON OF THE BUILDING IN PLACE, WORK WILL COMMENCE ON ENCLOSING THE STRUCTURE AND FINISHING THE INTERIOR SPACES.
  - EXTERIOR ENCLOSURE: INSTALLING ROOFING, SIDING, WINDOWS, AND DOORS TO PROTECT THE INTERIOR FROM THE ELEMENTS.
  - INTERIOR FINISHING: PLUMBING, ELECTRICAL, HVAC, INSULATION, DRYWALL, FLOORING, AND FIXTURES INSTALLATION TO CREATE FUNCTIONAL AND AESTHETICALLY PLEASING LIVING SPACES.
  - CUSTOMIZATION: TAILORING FINISHES AND FEATURES TO MEET THE CLIENT'S PREFERENCES AND SPECIFICATIONS.
- FINAL INSPECTIONS AND LANDSCAPING:**
  - DESCRIPTION: AS CONSTRUCTION NEARS COMPLETION, FINAL INSPECTIONS WILL BE CONDUCTED TO ENSURE COMPLIANCE WITH REGULATIONS AND STANDARDS. LANDSCAPING WILL ALSO BE UNDERTAKEN TO ENHANCE THE PROPERTY'S CURB APPEAL AND ENVIRONMENTAL SUSTAINABILITY.
  - INSPECTIONS: STRUCTURAL, ELECTRICAL, PLUMBING, AND SAFETY INSPECTIONS TO VERIFY COMPLIANCE WITH BUILDING CODES.
  - LANDSCAPING: PLANTING TREES, SHRUBS, AND VEGETATION, LAYING PATHWAYS, AND INSTALLING OUTDOOR AMENITIES TO CREATE A COHESIVE AND INVITING OUTDOOR ENVIRONMENT.

### SCOPE OF WORK

USE PERMIT TO ALLOW THE REMOVAL OF 54 OAK TREES (53 COAST LIVE OAK, 1 MONTEREY PINE). REMOVAL OF TREES IS FOR FUTURE RESIDENTIAL SINGLE FAMILY DWELLING CONSTRUCTION (TO BE FURNISHED UNDER A SEPARATE PERMIT) WHICH IS NOT PART OF THIS PROJECT. LAND MANAGEMENT TO BE LIMITED TO SITE CLEARING, AND TREE REMOVAL

## VICINITY MAP



PROVIDED BY GOOGLE IMAGERY@2024 AIRBUS, LANDSAT/MAXAR TECHNOLOGIES

NORTH  
NO SCALE

## APPLICANT INFO

DESIGNER(S): FLOORPLANDESIGNCO LLC  
 ADDRESS: 1451 SUNNYSLOPE RD.  
 HOLLISTER CA. 95023  
 REPRESENTATIVE: RICK CASTILLO  
 DRAFTING TEAM: RICK, FRANK  
 COMPANY EMAIL: rick@floorplandesignco.com  
 DIRECT PHONE: 831-524-5927

## SAHI RESIDENCE

8730 EAGLES ROOST RD. SALINAS, CA. 93907  
APN: 125-621-010-000

## CO.O COVER (PRELIMINARY)

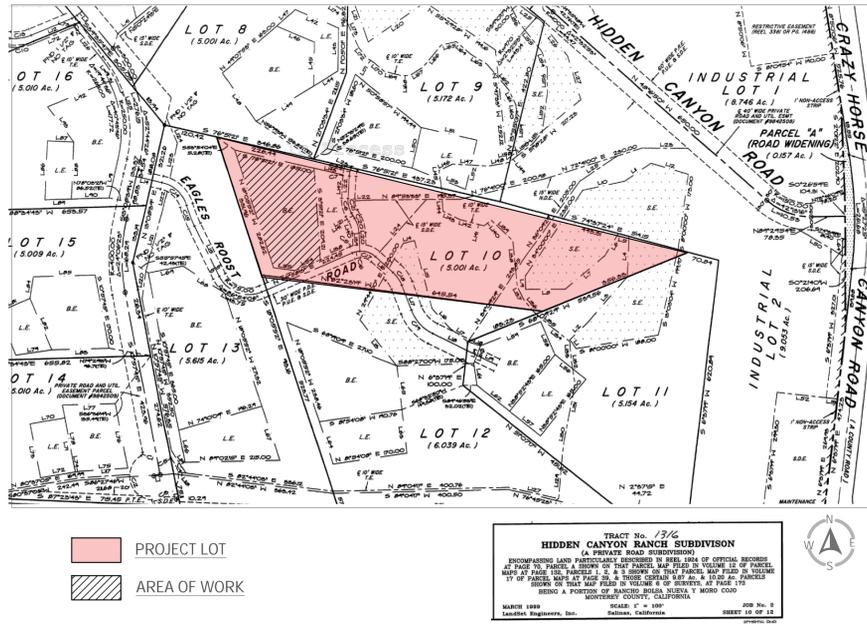


# USE PERMIT FOR: TREE REMOVAL

# SAHI RESIDENCE

8730 EAGLES ROOST RD. SALINAS, CA. 93907  
 APN: 125-621-010-000

## PARCEL MAP



## SHEET INDEX

| ARCHITECTURAL | DESCRIPTION                |
|---------------|----------------------------|
| CO.0          | COVER SHEET                |
| T1.1          | TITLE SHEET                |
| A0.5          | LOT SURVEY                 |
| A0.6          | EXISTING SITE PLAN         |
| A1.0          | TREE REMOVAL PLAN          |
| A1.1          | ENLARGED TREE REMOVAL PLAN |
| A1.2          | TREE SCHEDULE              |
| A1.3          | PROPOSED SITE PLAN         |
| L1            | FUEL MANAGEMENT PLAN       |
| L2            | PROPOSED REPLANTING MAP    |

## SCOPE OF WORK:

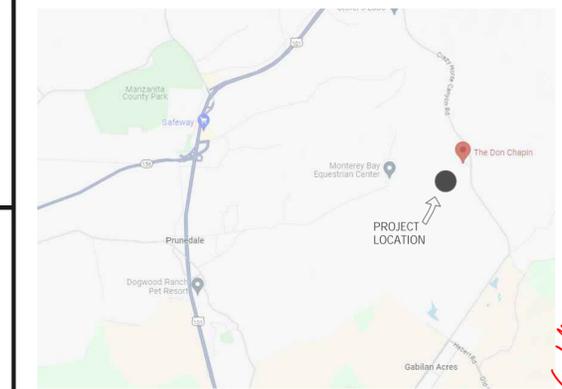
USE PERMIT TO ALLOW THE REMOVAL OF 54 OAK TREES (53 COAST LIVE OAK, 1 MONTEREY PINE). REMOVAL OF TREES IS FOR FUTURE RESIDENTIAL SINGLE FAMILY DWELLING CONSTRUCTION (TO BE FURNISHED UNDER A SEPARATE PERMIT) WHICH IS NOT PART OF THIS PROJECT. LAND MANAGEMENT TO BE LIMITED TO SITE CLEARING, AND TREE REMOVAL.

- KEY ELEMENTS:**
- SITE CLEARING
  - TREE REMOVAL
  - TREE REPLANTING
  - LOT STAKING
  - TREE TAGGING

## GENERAL SITE NOTES

1. CLEAR AND GRUB VEGETATION SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH. REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.
2. TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CERTIFIED PROFESSIONAL AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING.
4. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUB-GRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.

## VICINITY MAP



## PROJECT DATA:

|                              |                            |
|------------------------------|----------------------------|
| APN#:                        | 125-621-010-000            |
| ZONING:                      | RDR/5.01                   |
| EROSION HAZARD:              | HIGH                       |
| LAND USE CODE:               | 3A                         |
| LOT AREA:                    | 212,572.8 SF. (4.88 ACRES) |
| LIQUEFACTION SUSCEPTIBILITY: | LOW                        |
| FIRE HAZARD SEVERITY:        | HIGH                       |

## CONTACT INFO:

|                  |   |
|------------------|---|
| <b>DESIGNER:</b> | <b>COMPANY NAME:</b> FLOORPLANDESIGNCO LLC              |
|                  | <b>ADDRESS:</b> 1451 SUNNYSLOPE RD. HOLLISTER CA. 95023 |
|                  | <b>APPLICANT:</b> RICK CASTILLO                         |
|                  | <b>EMAIL:</b> rick@floorplandesignco.com                |
|                  | <b>PHONE:</b> 831-524-5927                              |

## GEOTECHNICAL ENGINEER:

|   |
|---|
| <b>COMPANY NAME:</b> HARO, KASUNICH AND ASSOC. INC.     |
| <b>ADDRESS:</b> 116 E. LAKE AVE. WATSONVILLE, CA. 95076 |
| <b>STAFF ENGINEER:</b> JUAN LUIS PEREZ                  |
| <b>P. ENGINEER:</b> ASHTON J. BUCKNER                   |
| <b>PHONE:</b> (831) 722-4175                            |

## OWNER:

|  |
|--|
| <b>NAME:</b> NAVNEET SINGH SAHI                        |
| <b>ADDRESS:</b> 346 BELDON ST. #2022 SALINAS CA. 93907 |
| <b>EMAIL:</b> nsahi4@gmail.com                         |
| <b>PHONE:</b> (831) 261-1367                           |

## ISA ARBORIST:

|   |
|---|
| <b>COMPANY NAME:</b> MONTEREY BAY TREWORKS      |
| <b>ADDRESS:</b> PO BOX 223374 CARMEL, CA 93922. |
| <b>ARBORIST:</b> ALBERT WEISFUSS                |
| <b>EMAIL:</b> ALBERTWEISFUSS@GMAIL.COM          |
| <b>PHONE:</b> (831) 869-2767                    |

## CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM WITH FOLLOWING:  
 2022 California Residential Code  
 2022 California Electrical Code  
 2022 California Energy Code  
 2022 California Energy Efficiency Standards  
 2022 California Fire Code  
 2022 California Fire Code  
 2022 California Title 24  
 2022 California Green Code.  
 2022 California Green Code.

## DISCLAIMER

THE PROPERTY LINE LAYOUT (DIMENSIONS, ORIENTATION AND LOCATION) WERE PRODUCED FROM ASSESSOR MAPS. THESE MAPS DO NOT REPRESENT ACTUAL SURVEYS AND ARE ONLY USED FOR SCHEMATIC (ESTIMATE) PURPOSES.

THE DIMENSIONS PROVIDED ON THE PLANS ARE A RESULT OF FIELD OBSERVATIONS, AND WERE TAKEN FROM ASSUMED PROPERTY LINES. IF AN ACCURATE SURVEY IS REQUIRED, THE SURVEY SHALL BE PERFORMED BY A COMPETENT LAND SURVEYOR CURRENTLY LICENSED IN THE STATE OF CALIFORNIA.

## SYMBOLS

|  |  |
|--|--|
|  | COLUMN LINE  |
|  | GRID LINES FOR SURVEYOR'S GRID, MODULE GRID, ETC.  |
|  | DOOR SYMBOLS DOOR MARK HARDWARE GROUP  |
|  | WINDOW TYPE  |
|  | LOUVER TYPE SKIP LETTERS "I" AND "O"   |
|  | EQUIPMENT TYPE TYPE OF EQUIPMENT X=X-RAY; F=FOOD SERVICE EQUIPMENT LIST  |
|  | REVISIONS CLOUD AROUND REVISION OPTIONAL   |
|  | MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED   |
|  | WORK POINT, CONTROL POINT OR DATUM POINT   |
|  | BUILDING SECTION SECTION IDENTIFICATION DRAWING SHEET WHERE SECTION IS DRAWN   |
|  | DETAIL DETAIL NUMBER DRAWING SHEET WHERE DETAIL IS DRAWN   |
|  | INTERIOR ELEVATION ELEVATION IDENTIFICATION (ELEVATIONS UNFOLD CLOCKWISE NO ARROW INDICATES NO ELEVATION SHOWN) DRAWING SHEET WHERE ELEVATION IS DRAWN |

## ABBREVIATIONS

|         |  |          |                             |          |  |        |                           |
|---------|--|----------|-----------------------------|----------|--|--------|---------------------------|
| Ø       | CENTERLINE DIAMETER OR ROUND PERPENDICULAR | E        | EAST                        | LAB      | LABORATORY                                     | S.C.D. | SEAT COVER DISPENSER      |
| #       | POUND OR NUMBER                            | EA       | EACH                        | LAM      | LAMINATE                                       | SCHED. | SCHEDULE                  |
| (E)     | EXISTING                                   | EL       | ELEVATION                   | LAV      | LAVATORY                                       | S.D.   | SOAP DISPENSER            |
| (N)     | NEW  | EL       | ELEVATION                   | LCKR     | LOCKER   | SECT.  | SECTION                   |
| A.B.    | ANCHOR BOLT                                | ELEC     | ELECTRICAL                  | LT.      | LIGHT  | SH     | SHelf                     |
| ACOUS.  | ACOUSTICAL                                 | ELEV     | ELEVATOR                    | MAX.     | MAXIMUM  | SHR    | SHOWER                    |
| A.D.    | AREA DRAIN                                 | EMER     | EMERGENCY                   | M.C.     | MEDICINE CABINET                               | SHF    | SHOWER                    |
| ADJ.    | ADJUSTABLE                                 | ENCL.    | ENCLOSURE                   | MCH.     | MECH.  | SIM    | SIMILAR                   |
| AGGR.   | AGGREGATE                                  | E.P.     | ELECTRICAL PANEL BOARD      | MEMB.    | MEMBRANE                                       | S.N.D. | SANITARY NAPKIN DISPENSER |
| AL      | ALUMINUM                                   | EQ       | EQUAL                       | MET.     | METAL  | S.N.R. | SANITARY NAPKIN           |
| AP.     | ACCESS PANEL                               | EQPT     | EQUIPMENT                   | MFR      | MANUFACTURER                                   | SPEC.  | SPECIFICATION             |
| APPROX. | APPROXIMATE                                | E.W.C.   | ELECTRICAL WATER COOLER     | MIN.     | MINIMUM  | SO     | SQUARE                    |
| ARCH    | ARCHITECTURAL                              | EXIST.   | EXISTING                    | MIR.     | MIRROR   | SSI    | STAINLESS STEEL           |
| ASB.    | ASBESTOS                                   | EXPO.    | EXPOSED                     | MIS.     | MISCELLANEOUS                                  | S.S.K. | SERVICE SINK              |
| ASPH.   | ASPHALT                                    | EXP.     | EXPANSION                   | M.O.     | MASONRY OPENING                                | STA.   | STATION                   |
| BD.     | BOARD                                      | EXT.     | EXTERIOR                    | MTD.     | MOUNTED  | STD.   | STANDARD                  |
| BITUM.  | BITUMINOUS                                 | F.A.     | FIRE ALARM                  | MUL.     | MULLION  | STOR.  | STORAGE                   |
| BLDG.   | BUILDING                                   | F.B.     | FLAT BAR                    | N        | NORTH  | STR.   | STRUCTURAL                |
| BLK.    | BLOCK                                      | F.D.     | FLOOR DRAIN                 | N.I.C.   | NOT IN CONTRACT                                | SUSP.  | SUSPENDED                 |
| BLKG.   | BLOCKING                                   | FND.     | FOUNDATION                  | NO OR #  | NUMBER   | SYM.   | SYMMETRICAL               |
| BM      | BEAM                                       | F.F.     | FIRE EXTINGUISHER           | N.T.S.   | NOT TO SCALE                                   | TRD.   | TREAD                     |
| B.M.    | BENCH MARK                                 | F.E.C.   | FIRE EXTINGUISHER CABINET   | OA       | OVERALL  | T.B.   | TOWEL BAR                 |
| BDT     | BOLT                                       | F.H.C.   | FIRE HOSE CABINET           | OBS.     | OBSCURE  | T.C.   | TOP OF CURB               |
| BTWN.   | BETWEEN                                    | F.H.W.S. | FIRE HEAD WOOD SCREW        | O.C.     | ON CENTER                                      | T.E.   | TELEPHONE                 |
| CAB.    | CABINET                                    | FIN.     | FINISH                      | O.D.     | OUTSIDE DIAMETER (DIM.)                        | TER.   | TERRAZZO                  |
| C.B.    | CATCH BASIN                                | FL.      | FLOOR                       | OFF.     | OFFICE   | T.B.G. | TONGUE AND GROOVE         |
| CEM.    | CEMENT                                     | FLASH    | FLASHING                    | OPNG.    | OPENING  | TRK.   | TRUCK                     |
| CER.    | CERAMIC                                    | F.LOR.   | FLOOR                       | OPP.     | OPPOSITE                                       | T.P.   | TOP OF PAVEMENT           |
| CER.    | CERAMIC TILE                               | F.F.C.   | FACE OF FINISH              | P.A.F.   | POWDER ACTUATED FASTENER                       | T.P.D. | TOILET PAPER DISPENSER    |
| CE.     | CAST IRON                                  | F.F.M.   | FACE OF MASONRY             | PRECAST  | PRECAST  | T.V.   | TELEVISION                |
| C.J.    | CONSTRUCTION JOINT                         | F.O.S.   | FACE OF STRUCTURE           | PL.      | PLATE  | T.W.   | TOP OF WALL               |
| CLG.    | CEILING                                    | FRF.     | FIREPROOF                   | P. LAM.  | PLASTIC LAMINATE                               | TYP.   | TYPICAL                   |
| CLKG.   | CAULKING                                   | F.R.P.   | FIBERGLASS REINFORCED PANEL | PLAS.    | PLASTER  | UNF.   | UNFINISHED                |
| CLO.    | CLOSET                                     | FT.      | FOOT OR FEET                | PL.WD.   | PLYWOOD  | U.O.N. | UNLESS OTHERWISE NOTED    |
| CLR.    | CLEAR                                      | FTG.     | FOOTING                     | P.S.I.   | POUNDS PER SQUARE INCH                         | UR.    | URINAL                    |
| C.M.U.  | CONCRETE MASONRY UNIT                      | FURR.    | FURRING                     | PR       | PAIR   | VERT.  | VERTICAL                  |
| CO.     | CLEANOUT                                   | FUT.     | FUTURE                      | P.T.     | POINT  | VEST.  | VESTIBULE                 |
| COL.    | COLUMN                                     | GA.      | GAUGE                       | P.T.D.   | PAPER TOWEL DISPENSER                          | W.     | WEST                      |
| CONC.   | CONCRETE                                   | CAL.     | CALUMINIZED                 | P.T.D/R  | COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE | W.C.   | WATER CLOSET              |
| COND.   | CONDITION                                  | G.B.     | GRASS BAR                   | P.T.H.   | PAPER TOWEL HOLDER                             | WD.    | WOOD                      |
| CONN.   | CONNECTION                                 | GL.      | GLASS                       | PTN.     | PARTITION                                      | W.H.   | WATER HEATER              |
| CONSTR. | CONSTRUCTION                               | GLU LAM  | GLUE LAMINATED BEAM         | P.T.R.   | PAPER TOWEL RECEPTACLE                         | W/O    | WITHOUT                   |
| CONT.   | CONTINUOUS                                 | GRD.     | GROUND                      | Q.T.     | QUARRY TILE                                    | WP.    | WATERPROOF                |
| CORR.   | CORRIDOR                                   | GR.      | GRADE                       | R.F.P.   | REINFORCED FIBERGLASS PANEL                    | WSCT.  | WARSCOT                   |
| CORR.   | CORRIDOR                                   | GYP.     | GYP-SUM                     | R.       | RISER  | WT     | WEIGHT                    |
| CTSK.   | COUNTER SUNK                               | H.B.     | HOSE BIB                    | RAD.     | RETURN AIR                                     | W.W.M. | WELDED WIRE MESH          |
| CHTR.   | COUNTER                                    | H.C.     | HOLLOW CORE                 | R.D.     | ROOF DRAIN                                     |        |                           |
| CTR.    | CENTER                                     | HDR.     | HEADER                      | REF.     | REFRIGERATOR                                   |        |                           |
| C.W.    | COLD WATER                                 | HOWD.    | HARDWOOD                    | REFR.    | REFERENCE                                      |        |                           |
|         |  | HIM      | HOLLOW METAL                | REGIS.   | REGISTER                                       |        |                           |
|         |  | HORIZ.   | HORIZONTAL                  | REINFC.  | REINFORCED                                     |        |                           |
|         |  | HR.      | HOUR                        | REQD.    | REQUIRED                                       |        |                           |
|         |  | HTR.     | HEATER                      | RESUL.   | RESULT   |        |                           |
|         |  | HGT.     | HEIGHT                      | R.H.W.S. | ROUND HEAD WOOD SCREW                          |        |                           |
|         |  | H.M.     | HOT WATER                   | RM       | ROOM   |        |                           |
|         |  | I.B.C.   | INSTALLED BY CONTRACTOR     | R.O.     | ROUGH OPENING                                  |        |                           |
|         |  | I.D.     | INSIDE DIAMETER (DIM.)      | R.O.     | ROUGH OPENING                                  |        |                           |
|         |  | IN.      | INCH                        | R.O.W.   | RIGHT OF WAY                                   |        |                           |
|         |  | INSUL.   | INSULATION                  | RWD.     | RETWOOD  |        |                           |
|         |  | INT.     | INTERIOR                    | R.W.L.   | RAIN WATER LEADER                              |        |                           |
|         |  | JAN.     | JANITOR                     | S        | SOUTH  |        |                           |
|         |  | J.H.     | JOIST HANGER                | S.A.     | SUPPLY AIR                                     |        |                           |
|         |  | JT.      | JOINT                       | S.B.     | SOLID BLOCKING                                 |        |                           |
|         |  | KIT.     | KITCHEN                     | S.C.     | SOLID CORE                                     |        |                           |

REVISIONS | DATE | BY | DESCRIPTION

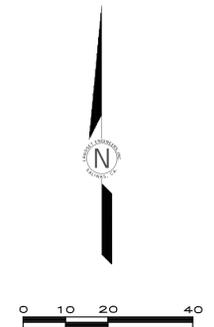
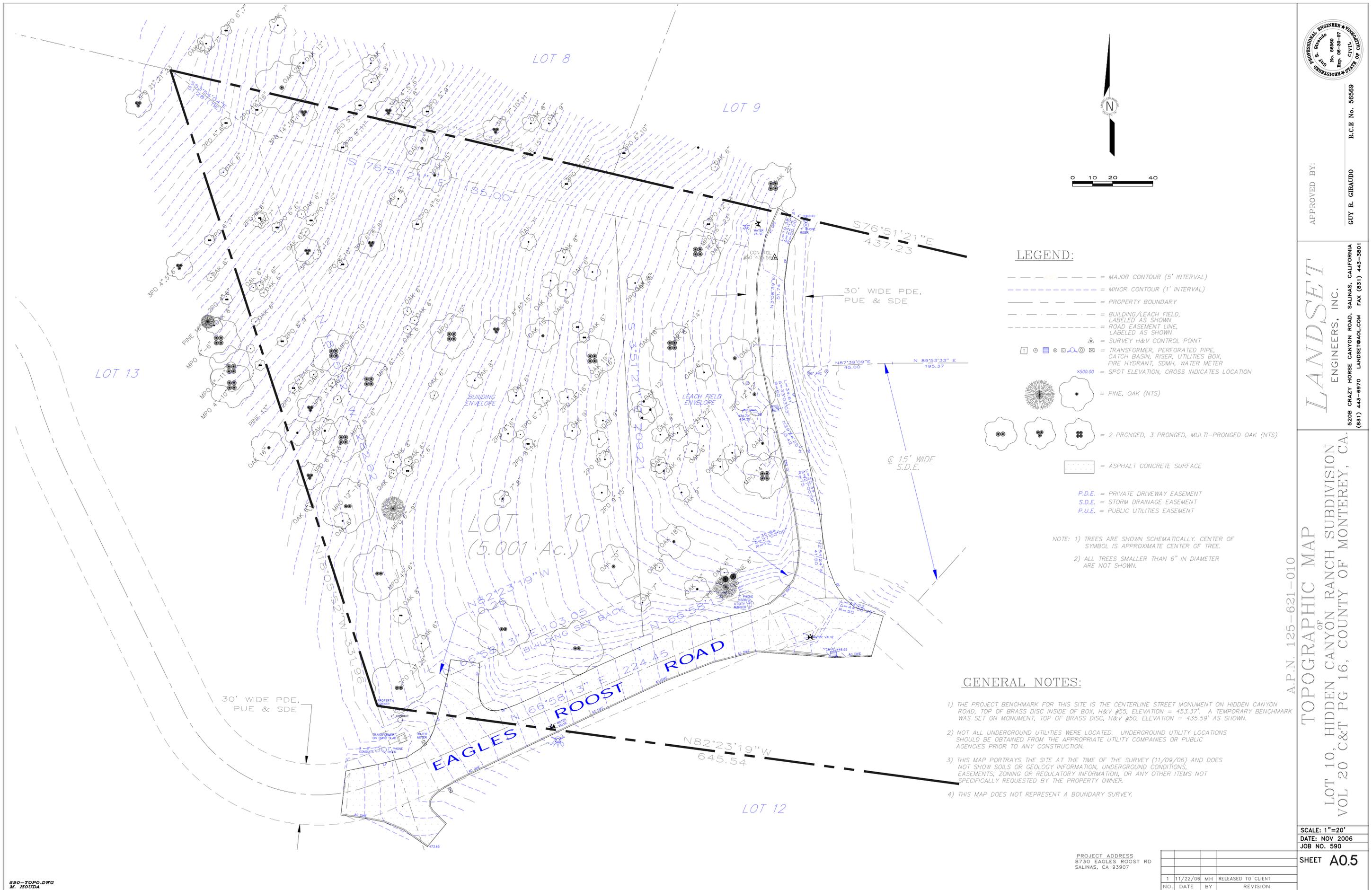
**FLOOR PLAN DESIGN CO.**  
 DESIGN, PLANNING & ESTIMATES

**RICK CASTILLO**

**SAHI RESIDENCE**  
 CLIENT: NAVNEET SINGH SAHI  
 8730 EAGLES ROOST RD. SALINAS, CA. 93907

TITLE SHEET  
 USE PERMIT FOR:  
 SAHI RESIDENCE  
 CLIENT: NAVNEET SINGH SAHI  
 8730 EAGLES ROOST RD. SALINAS, CA. 93907

DATE: 11-26-24  
 SCALE: AS SHOWN  
 DRAWN: RC  
 JOB: 09-24  
 SHEET: T1.0



**LEGEND:**

- = MAJOR CONTOUR (5' INTERVAL)
- = MINOR CONTOUR (1' INTERVAL)
- = PROPERTY BOUNDARY
- = BUILDING/LEACH FIELD, LABELED AS SHOWN
- = ROAD EASEMENT LINE, LABELED AS SHOWN
- = SURVEY H&V CONTROL POINT
- = TRANSFORMER, PERFORATED PIPE, CATCH BASIN, RISER, UTILITIES BOX, FIRE HYDRANT, SDMH, WATER METER
- = SPOT ELEVATION, CROSS INDICATES LOCATION
- = PINE, OAK (NTS)
- = 2 PRONGED, 3 PRONGED, MULTI-PRONGED OAK (NTS)
- = ASPHALT CONCRETE SURFACE
- P.D.E. = PRIVATE DRIVEWAY EASEMENT
- S.D.E. = STORM DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITIES EASEMENT

NOTE: 1) TREES ARE SHOWN SCHEMATICALLY. CENTER OF SYMBOL IS APPROXIMATE CENTER OF TREE.  
 2) ALL TREES SMALLER THAN 6" IN DIAMETER ARE NOT SHOWN.

**GENERAL NOTES:**

- 1) THE PROJECT BENCHMARK FOR THIS SITE IS THE CENTERLINE STREET MONUMENT ON HIDDEN CANYON ROAD, TOP OF BRASS DISC INSIDE OF BOX, H&V #55, ELEVATION = 453.37'. A TEMPORARY BENCHMARK WAS SET ON MONUMENT, TOP OF BRASS DISC, H&V #50, ELEVATION = 435.59' AS SHOWN.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES PRIOR TO ANY CONSTRUCTION.
- 3) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (11/09/06) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION, OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.



APPROVED BY:  
 GUY R. GRAUDO  
 R.C.E. No. 56569

**LANDSET**  
 ENGINEERS, INC.  
 520B CRAZY HORSE CANYON ROAD, SALINAS, CALIFORNIA  
 (831) 443-6970 LANDSET@AOL.COM FAX (831) 443-3601

A.P.N. 125-621-010  
**TOPOGRAPHIC MAP**  
 OF  
**LOT 10, HIDDEN CANYON RANCH SUBDIVISION**  
 VOL 20 C&T PG 16, COUNTY OF MONTEREY, CA.

|                  |          |    |                    |
|------------------|----------|----|--------------------|
| SCALE: 1"=20'    |          |    |                    |
| DATE: NOV 2006   |          |    |                    |
| JOB NO. 590      |          |    |                    |
| <b>SHEET A05</b> |          |    |                    |
| NO.              | DATE     | BY | REVISION           |
| 1                | 11/22/06 | MH | RELEASED TO CLIENT |



590-TOPO.DWG  
M. HOUDA

PROJECT ADDRESS  
8730 EAGLES ROOST RD  
SALINAS, CA 93907

| NO. | DATE     | BY | REVISION           |
|-----|----------|----|--------------------|
| 1   | 11/22/06 | MH | RELEASED TO CLIENT |
|     |          |    |                    |
|     |          |    |                    |

A.P.N. 125-621-010

**TOPOGRAPHIC MAP**  
OF  
**LOT 10, HIDDEN CANYON RANCH SUBDIVISION**  
VOL 20 C&T PG 16, COUNTY OF MONTEREY, CA.

**SHEET A0.6**

**LANDSET**  
ENGINEERS, INC.  
520B CRAZY HORSE CANYON ROAD, SALINAS, CALIFORNIA  
(831) 443-6970 LANDSET@AOL.COM FAX (831) 443-3601

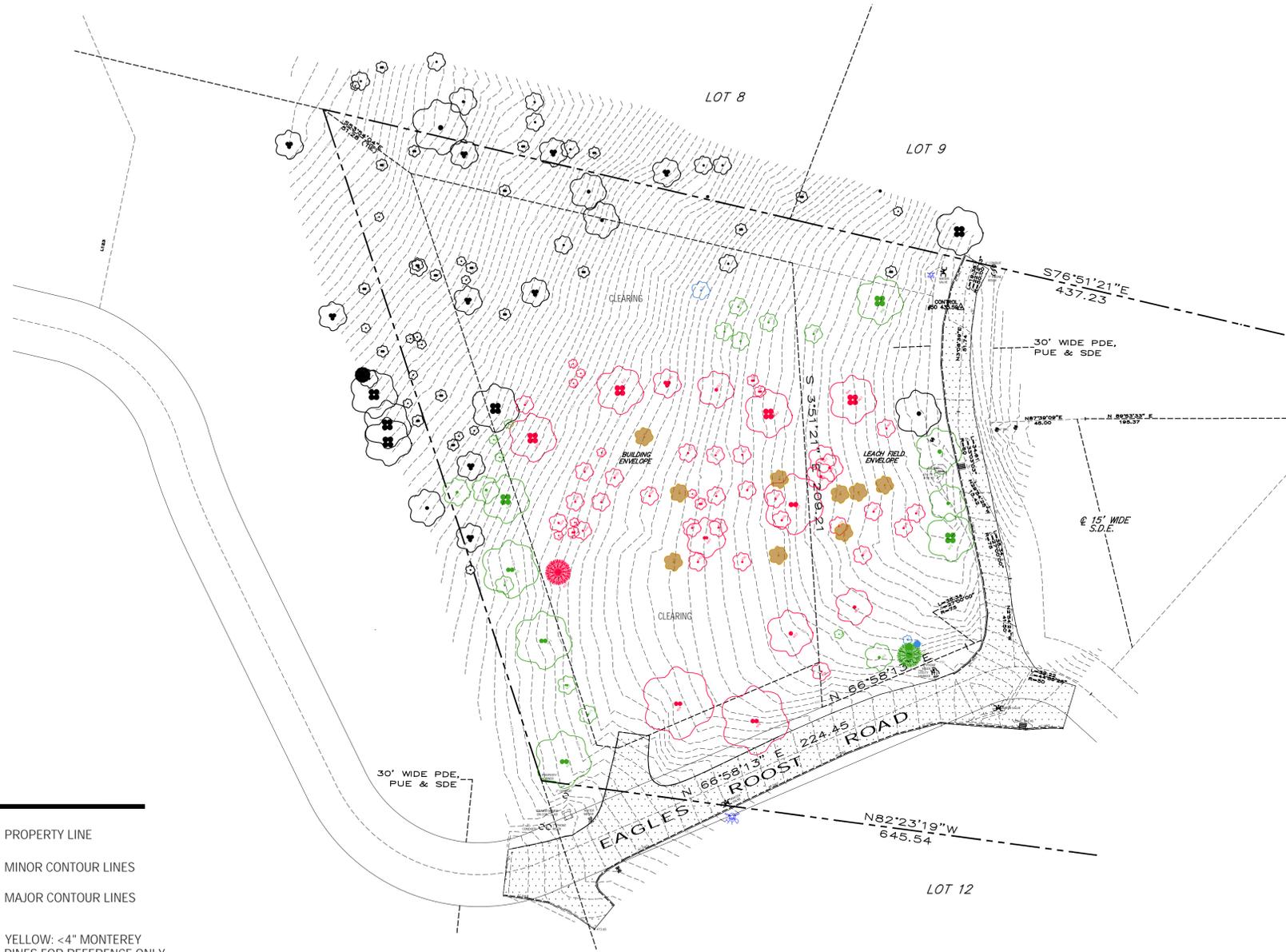
APPROVED BY:

GUY R. GRAUDO  
R.C.E. No. 56569



SCALE: 1"=20'  
DATE: NOV 2006  
JOB NO. 590

TREE LOG DATA SET, PROVIDED BY CERTIFIED ARBORIST. PROJECT SITE WALKTHROUGH FURNISHED PRIOR TO REPORT. 3 SITE VISITS LOGGED TO DETERMINE SCOPE AFFECTED BY AREA OF WORK. SEE FULL ARBORIST REPORT AND SHEET A1.1 FOR ENLARGED PLAN FOR FINE DETAIL.



**LEGEND**

- GREEN: TAGGED RETAINED TREES
- BLUE: FALLEN TREES/ STUMPS
- YELLOW: <4" MONTEREY PINES FOR REFERENCE ONLY
- RED: REQUESTED TREES TO BE REMOVED
- PROPERTY LINE
- MINOR CONTOUR LINES
- MAJOR CONTOUR LINES

**SITE PREPARATION NOTES:**

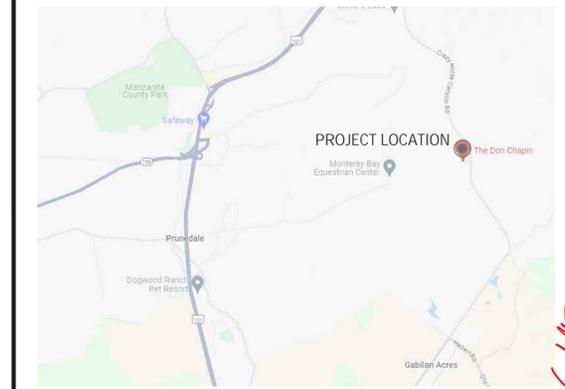
1. TAKE NECESSARY PRECAUTIONS TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION TO REMAIN. SOIL DISTURBANCE SHALL BE LIMITED TO THAT WHICH IS NECESSARY FOR SITE PREPARATION AS DESCRIBED IN THIS SECTION INCLUDING UTILITY CONNECTIONS. PREVENT WATER FROM RUNNING INTO EXCAVATED AREAS.
2. BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATTER AND ROCKS OR LUMPS OVER 6 INCHES (2 INCHES AT UTILITY TRENCHES). COMPACT BACKFILL TO AT LEAST 90 PERCENT RELATIVE COMPACTION PER ASTM D-1557; IN LIFTS NOT EXCEEDING 8 INCHES UNCOMPACTED.
3. DEPRESSION FROM REMOVAL OF OBSTRUCTIONS SHALL BE OPENED TO WORKING SIZE; REMOVE DEBRIS AND SOFT MATERIAL; BACKFILL AND COMPACT AS NECESSARY.
4. SURFACE DRAINAGE SHALL SLOPE 3% FROM BUILDING FOUNDATIONS FOR A MINIMUM OF 5 FEET AND AT LEAST 1% TO SUITABLE COLLECTION POINTS.
5. TRENCHING SHALL BE TRUE TO GRADES INDICATED. EXTEND UTILITY TRENCHES TO BE SUFFICIENT DEPTH STANDARDS AND LOCAL CODES. PROPERLY SUPPORT TRENCHES.
6. UNUSUAL CONDITIONS NOT COVERED IN THE PROJECT, IF ENCOUNTERED, SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT'S CONTACT AND RESOLVED ACCORDING TO APPLICABLE CODES.
7. IF DEEMED NECESSARY, HAZARDOUS WASTE TESTING SHALL BE CONDUCTED INCLUDING ASBESTOS TESTING & REMEDIATION.
8. STORM WATER DRAINAGE AND RETENTION SHALL BE FURNISHED DURING CONSTRUCTION. MEANS OF DRAINAGE AND RETENTION AS FOLLOWS:
9. STORM WATER CONVEYED TO A PUBLIC DRAINAGE SYSTEM SHALL BE FILTERED BY A BARRIER SYSTEM, WATTLES OR OTHER APPROVED METHOD.
10. GRADING AND PAVING SHALL BE CONDUCTED TO MANAGE SURFACE WATER INCLUDE SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS OR OTHER MEASURES AS INDICATED OR NECESSARY TO KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.
11. AVOID LAND-DISTURBING WORK DURING ANY WET WEATHER

**1 TREE REMOVAL PLAN**  
SCALE: 1/16" = 1'-0"

12. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED, INSTALL APPROPRIATE/PROTECTIVE FENCING/PERIMETER CONTROLS PRIOR TO COMMENCING WORK.
13. ALL IMPERVIOUS SURFACES SHALL BE SWEEP (NOT WASHED OR HOSED DOWN), AND MAINTAINED FREE OF DEBRIS AND ACCUMULATIONS OF DIRT.
14. ALL CONSTRUCTION WASTE SHALL BE CONTAINED ON SITE AND COVERED, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAINTAINED, AND ITS CONTENTS DISPOSED OF PROPERLY; NO MATERIAL SHALL BE WASHED INTO THE STREET.
15. CATCH BASINS AND/OR DROP INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD, DIRT, OR ANY DEBRIS, INCLUDING PRIOR GUTTER FILTRATION AS APPROPRIATE AND IN A MANNER NOT IMPEDING TRAFFIC SAFETY.
16. PROPERLY INSTALLED SILT FENCE OR EQUIVALENT CONTROL SHALL BE EVIDENT ALONG SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF-SITE. NO SEDIMENT MAY LEAVE OR RUNOFF THE SITE. PROJECT CONTACT SHALL VERIFY, IF APPLICABLE, IF ADDITIONAL SLOPE STABILIZATION BMPs SHALL BE IMPLEMENTED TO PREVENT SLOPE EROSION AND SEDIMENTATION ON-SITE AND OFF.
17. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS. NO MATERIALS SHALL LEAVE THE SITE OR BE MOVED INTO THE STREET.
18. PROJECT CONTACT AND SUBCONTRACTORS MUST ENSURE ALL CONSTRUCTION VEHICLES AND EQUIPMENT ARE MAINTAINED IN WORKING ORDER, AND WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET.



**VICINITY MAP**



**PROJECT DATA:**

|                             |                            |
|-----------------------------|----------------------------|
| APN#:                       | 125-621-010-000            |
| ZONING                      | RDR/5.01                   |
| EROSION HAZARD              | HIGH                       |
| LAND USE CODE               | 3A                         |
| LOT AREA                    | 212,572.8 SF. (4.88 ACRES) |
| LIQUEFACTION SUSCEPTIBILITY | LOW                        |
| FIRE HAZARD SEVERITY        | HIGH                       |
| LANDSLIDE SUSCEPTIBILITY    | LOW/ MODERATE              |
| ADVISORY COMMITTEE          | N.C.A.C.                   |
| PROPOSED NUMBER OF STORIES  | 2                          |
| AHJ                         | MONTEREY COUNTY            |
| TREE REMOVAL COUNT          | 1 MONTEREY PINE            |
| TREE REMOVAL COUNT          | 53 COAST LIVE OAK          |
| FIRE PROTECTION DISTRICT    | NORTH COUNTY FPD           |
| TOTAL BUILDING FOOTPRINT    | 5,546 SF                   |
| PROPOSED HEIGHT             | 28'-0" MAX                 |
| PROPOSED ROOF SLOPE         | 4:12                       |
| PROPOSED FOUNDATION TYPE    | SLAB                       |
| PROPOSED ROOF TYPE          | HIP/SHED                   |
| PROPOSED GARAGE SF          | 1,717 SF                   |
| PROPOSED DECK AREA          | 805 SF                     |
| PROPOSED DRIVEWAY           | 5,931.8 SF                 |

**CODE COMPLIANCE**

ALL CONSTRUCTION SHALL CONFORM WITH FOLLOWING:  
 2022 California Residential Code      2022 California Plumbing Code  
 2022 California Electrical Code      2022 California Fire Code  
 2022 California Energy Code      2022 California Title 24  
 2022 California Energy Efficiency Standards      2022 California Green Code.  
 2022 California Mechanical Code

**GENERAL SITE NOTES**

1. CLEAR AND GRUB VEGETATION SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH, REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.
2. TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING.
4. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUB-GRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.

**DISCLAIMER**

THE PROPERTY LINE LAYOUT (DIMENSIONS, ORIENTATION AND LOCATION) WERE PRODUCED FROM ASSESSOR MAPS. THESE MAPS DO NOT REPRESENT ACTUAL SURVEYS AND ARE ONLY USED FOR SCHEMATIC (ESTIMATE) PURPOSES.

THE DIMENSIONS PROVIDED ON THE PLANS ARE A RESULT OF FIELD OBSERVATIONS, AND WERE TAKEN FROM ASSUMED PROPERTY LINES. IF AN ACCURATE SURVEY IS REQUIRED: THE SURVEY SHALL BE PERFORMED BY A COMPETENT LAND SURVEYOR CURRENTLY LICENSED IN THE STATE OF CALIFORNIA.

| REVISIONS | DATE | BY | DESCRIPTION |
|-----------|------|----|-------------|
|           |      |    |             |

**FLOOR PLAN DESIGN CO.**  
DESIGN, PLANNING & ESTIMATES

**TREE REMOVAL PLAN**  
USE PERMIT FOR:  
**SAHI RESIDENCE**  
CLIENT: NAVNEET SINGH SAHI  
8730 EAGLES ROOST RD., SALINAS, CA. 93907

|       |          |
|-------|----------|
| DATE  | 11-26-24 |
| SCALE | AS SHOWN |
| DRAWN | RC       |
| JOB   | 09-24    |
| SHEET | A1.0     |

**A1.0**

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION IN WHOLE OR IN PART, IS PROHIBITED. FILE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

TREE LOG DATA SET, PROVIDED BY CERTIFIED ARBORIST. PROJECT SITE WALKTHROUGH FURNISHED PRIOR TO REPORT. 3 SITE VISITS LOGGED TO DETERMINE SCOPE AFFECTED BY AREA OF WORK. SEE FULL ARBORIST REPORT AND SHEET A1.1 FOR ENLARGED PLAN FOR FINE DETAIL.

**LEGEND**

-  GREEN: TAGGED RETAINED TREES
-  BLUE: FALLEN TREES/ STUMPS
-  EXISTING TREES OUTSIDE SCOPE OF WORK
-  FUTURE DEVELOPMENT
-  DRIVEWAY/ PAVERS
-  PROPERTY LINE
-  MINOR CONTOUR LINES
-  MAJOR CONTOUR LINES
-  YELLOW: <4" MONTEREY PINES FOR REFERENCE ONLY
-  RED: REQUESTED TREES TO BE REMOVED



1 ENLARGED TREE REMOVAL PLAN  
SCALE: 1/16" = 1'-0"



REVISIONS (DATE) BY (DESCRIPTION)  
 FLOOR PLAN DESIGN CO.  
 DESIGN, PLANNING & ESTIMATES  
 ENLARGED TREE REMOVAL PLAN  
 USE PERMIT FOR:  
**SAHI RESIDENCE**  
 CLIENT: NAVNEET SINGH SAHI  
 8730 EAGLES ROOST RD., SALINAS, CA. 93907  
 DATE: 11-26-24  
 SCALE: AS SHOWN  
 DRAWN: RC  
 JOB: 09-24  
 SHEET: A1.1

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# RECORDED TREES

| Tree Species   | ID # | Diameter in Inches | Comments                | Condition<br>0=Dead<br>1-2=Poor<br>3-4=Fair<br>5=Excellent | Suitable for Preservation |
|----------------|------|--------------------|-------------------------|--|---------------------------|
| Monterey pine  | 601  | 25                 | Tree is in decline      | 2-Poor   | Yes                       |
| Monterey pine  | 602  | 10                 | Suppressed              | 2-Poor   | Yes                       |
| Coast live oak | 603  | 17                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 604  | 16                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 605  | 8                  |                         | 3 - Fair   | No                        |
| Coast live oak | 606  | 10                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 607  | 17                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 608  | 23,27              | Impacted by development | 4 - Fair   | No                        |
| Coast live oak | 609  | 22,24              | Impacted by development | 2-Poor   | No                        |
| Coast live oak | 610  | 31,33              |                         | 4 - Fair   | Yes                       |
| Coast live oak | 611  | 12                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 612  | 8,10               |                         | 3 - Fair   | Yes                       |
| Coast live oak | 613  | 23,8               | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 614  | 8                  | Suppressed              | 2-Poor   | Yes                       |
| Coast live oak | 615  | 8,8,10             | Suppressed              | 2-Poor   | Yes                       |
| Monterey pine  | 616  | 34                 |                         | 4 - Fair   | Yes                       |
| Coast live oak | 617  | 19                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 618  | 15                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 619  | 10                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 620  | 8,6,4              |                         | 3 - Fair   | Yes                       |
| Coast live oak | 621  | 10,4,6,8           |                         | 3 - Fair   | Yes                       |
| Monterey pine  | 622  | 8                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 623  | 8                  | Impacted by development | 2-Poor   | No                        |
| Coast live oak | 624  | 11                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 625  | 8,6                | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 626  | 8                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 627  | 8                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 628  | 6,8                | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 629  | 8                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 630  | 10,10,8,6          | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 631  | 8,8,19             |                         | 3 - Fair   | Yes                       |

EXERPT

| Tree Species   | ID # | Diameter in Inches | Comments                | Condition<br>0=Dead<br>1-2=Poor<br>3-4=Fair<br>5=Excellent | Suitable for Preservation |
|----------------|------|--------------------|-------------------------|--|---------------------------|
| Coast live oak | 632  | 6,4,8              | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 633  | 17                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 634  | 6                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 635  | 8                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 636  | 10                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 637  | 6,4                | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 638  | 10                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 639  | 6                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 640  | 6,4                | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 641  | 12,8,8,12          | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 642  | 10                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 643  | 10                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 644  | 8                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 645  | 10                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 646  | 6,8,10,10          | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 647  | 10                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 648  | 10                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 649  | 8                  |                         | 3 - Fair   | Yes                       |
| Coast live oak | 650  | 12                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 651  | 12                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 652  | 16,8,6             | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 653  | 14                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 654  | 8                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 655  | 10,6,4             | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 656  | 14,12              | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 657  | 12                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 658  | 10,8,6             | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 659  | 14,14              | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 660  | 23                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 661  | 19                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 662  | 22                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 663  | 18                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 664  | 12                 | Impacted by development | 3 - Fair   | No                        |

EXERPT

| Tree Species   | ID # | Diameter in Inches | Comments                | Condition<br>0=Dead<br>1-2=Poor<br>3-4=Fair<br>5=Excellent | Suitable for Preservation |
|----------------|------|--------------------|-------------------------|--|---------------------------|
| Coast live oak | 665  | 10                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 666  | 23,23              | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 667  | 23,17              | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 668  | 23                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 669  | 14                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 670  | 23,23              | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 671  | 23,23              | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 672  | 23,10              | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 673  | 12,23,15,19,27     |                         | 3 - Fair   | Yes                       |
| Coast live oak | 674  | 23                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 675  | 12,14              | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 676  | 27                 |                         | 3 - Fair   | Yes                       |
| Coast live oak | 677  | 12                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 678  | 6                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 679  | 8                  | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 680  | 10                 | Impacted by development | 3 - Fair   | No                        |
| Coast live oak | 681  | 27,25,20,22        |                         | 3 - Fair   | Yes                       |

## TREE REMOVAL & TREE RETENTION PLANS

Removal is based on condition or impacts from development of trees at the time of this assessment.  
 0 trees assessed in the excellent category.  
 75 trees assessed in the fair category.  
 6 trees assessed in their poor category.  
 0 trees assessed in the dead category.  
 54 trees are requested for removal. 53 *Quercus agrifolia* and 1 *Pinus radiata*  
 27 Documented trees near the proposed project are to be retained with tree protection.

Retention is based on condition/location of trees at the time of the assessment.  
 Trees retained within the scope of work will require tree protection prior to any work.  
 Retained trees are recommended for trimming for safety and/or building clearance using Best Management Practice (BMP) developed by the International Society of Arboriculture (ISA)

EXERPT

# TREE PROTECTION

It is possible as the project develops, some crown cleaning, raising or reduction of canopies will be required to obtain proper distance between established trees and the proposed project. Visible decay was present on some trees that will require care for safety and health. This pruning cycle is recommended at the end of construction along with post construction care of the retained trees.  
 All pruning will be completed by a qualified professional following ISA Best Management Pruning guidelines.

### Tree Protection - Before/During/After

#### Planning Phase

- Before assessing trees and other site structures and conditions, mark the site boundaries on plans and in the field to delineate which trees and stands of trees will be inventoried.
- Perform a tree inventory that includes at minimum the location, size, and health of each tree and delineates quality stands of trees. Scope of the inventory should be based on communication and needs of the project team (developer, planner, engineer, architect, landscape architect, and other professionals involved), as well as county ordinances. This is the time to confer with the project team on conceptualizations for site design, so that way long-term tree protection and health gets integrated into the design.

#### Design Phase

- Communicate with the project team to accurately site structures and utilities and determine the trees to remain on site. Conserve and protect trees in stands or groups where possible. Make sure the trees and stands of trees selected to be saved go into plans and construction documents. Include in all plans the Tree Protection Zone (TPZ) for all saved trees to avoid conflict with the protected area and placement of structures and utilities during construction.

#### Pre-construction Phase

- Prior to pre-construction activities, including tree removal, access roads, construction staging areas, and building layout, erect tree protection barriers to visually indicate TPZs. Be sure to:
  - Use tree protection barriers that are highly visible, sturdy, and restrict entry into the TPZ.
  - Install or erect signs along the tree protection barrier stating that no one is allowed to disturb this area.
  - Remove any branches or trees that pose an immediate risk to structures or people prior to any construction activities.
- Communicate the intent of the tree protection barriers to the construction manager and workers to ensure that TPZs are not disturbed during construction activities. Have the construction manager sign a contract of compliance.

#### Prohibit these activities in the TPZ:

- Stockpiling of any type, including construction material, debris, soil, and mulch
- Altering soils, including grade changes, surface treatment, and compaction due to vehicle, equipment, and foot traffic
- Trenching for utility installation or repair and irrigation system installation
- Attaching anything to trunks or use of equipment that causes injury to the tree

- Schedule site visits to ensure the contract is being met by the construction manager and that tree health is not being compromised by construction activity. Inspect and monitor trees for any decline or damages.

- Keep in place all tree protection barriers until the project is completed.

#### Post-construction Phase

- Perform a final inspection and continue monitoring after construction. Monitoring includes maintaining mulch, managing soil moisture, assessing tree damage, inspecting for insects and pests, and fertilization if needed.

### Grading Limitations within the Tree Protection Zone

- Grade changes outside of the TPZ shall not significantly alter drainage to the tree.
- Grade changes within the TPZ are not permitted.
- Grade changes under specifically approved circumstances shall not allow more than 6-inches of fill soil added or allow more than 4-inches of existing soil to be removed from natural grade unless mitigated
- Grade fills over 6-inches or impervious overlay shall incorporate notes: an approved permanent aeration system, permeable material or other approved mitigation.
- Grade cuts exceeding 4-inches shall incorporate retaining walls or an appropriate transition equivalent.

### Trenching, Excavation and Equipment Use

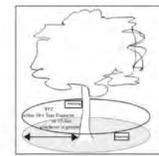
#### Notification.

- Contractor shall notify the project arborist a minimum of 24 hours in advance of the activity in the TPZ.
- Root Severance. Roots that are encountered shall be cut to sound wood and repaired. Roots 2-inches and greater must remain injury free.
- Excavation. Any approved excavation, demolition or extraction of material shall be performed with equipment siting outside the TPZ. Methods permitted are by hand digging, hydraulic or pneumatic air excavation technology. Avoid excavation within the TPZ during hot, dry weather. If excavation or trenching for drainage, utilities, irrigation lines, etc., it is the duty of the contractor to tunnel under any roots 2-inches in diameter and greater. Prior to excavation for foundation/footings/walls, grading or trenching within the TPZ, roots shall first be severed cleanly 1-foot outside the TPZ and to the depth of the future excavation. The trench must then be hand dug and roots pruned with a saw, sawzall, narrow trencher with sharp blades or other approved root pruning equipment.
- Heavy Equipment. Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited unless approved by the project arborist. If allowed, a protective root buffer is required. The protective buffer shall consist of a base course of tree chips spread over the root area to a minimum of 6-inch depth, layered by 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top. This buffer within the TPZ shall be maintained throughout the entire construction process.
  - Structural design. If injurious activity or interference with roots greater than 2-inches will occur within the TPZ, plans shall specify a design of special foundation, footing, walls, concrete slab or pavement designs subject to project arborist approval. Discontinuous foundations such as concrete pier and structural grade beam must maintain natural grade (not to exceed a 4-inch cut), to minimize root loss and allow the tree to use the existing soil.

### Tree Removal

- Removal of regulated trees shall not be attempted by demolition or construction personnel, grading or other heavy equipment. A certified arborist or tree worker shall remove the tree carefully in a manner that causes no damage above or below ground to trees that are retained.

Tree Protection Zone (TPZ) shown in gray (radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater).



Tree protection has three primary functions.

- Keep the foliage canopy and branching structure clear from contact by equipment, materials and activities.
- Preserve roots and soil conditions in an intact and non-compacted state.
- Identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

REVISIONS | DATE | BY | DESCRIPTION

**FLOOR PLAN DESIGN CO.**  
 DESIGN, PLANNING & ESTIMATES

TREE SCHEDULE  
 USE PERMIT FOR:  
**SAHI RESIDENCE**  
 CLIENT: NAVNEET SINGH SAHI  
 8730 EAGLES ROOST RD., SALINAS, CA. 93907

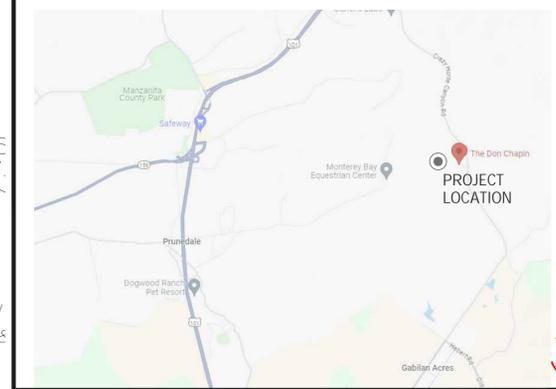
|       |             |
|-------|-------------|
| DATE  | 11-26-24    |
| SCALE | AS SHOWN    |
| DRAWN | RC          |
| JOB   | 09-24       |
| SHEET | <b>A1.2</b> |

NOTE: TREE LOG DATA SET, PROVIDED BY CERTIFIED ARBORIST. FOR COMPLETE ANALYSIS SEE FULL AMENDED REPORT. PROJECT SITE WALK-THROUGH FURNISHED PRIOR TO REPORT. 3 SITE VISITS LOGGED TO DETERMINE SCOPE AFFECTED BY AREA OF WORK. SEE FULL ARBORIST REPORT AND SHEET A1.1 FOR ENLARGED PLAN FOR FINE DETAIL.

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DISCLAIMER: PROPOSED SITE PLAN SHOWS PROPOSED FUTURE SINGLE FAMILY DWELLING DEVELOPMENT AS THE PURPOSE FOR TREE REMOVAL PER USE PERMIT. OWNER ACKNOWLEDGES A SEPARATE GRADING PERMIT AND BUILDING PERMIT ARE TO BE FURNISHED AT A LATER DATE.

VICINITY MAP



PROPOSED LOCATIONS

PROPOSED LOCATIONS FOR PROJECT SCOPE ARE LIMITED. THE PROPOSED SITE PLAN SHOWS IDEAL LOCATION FOR ALL BUILDING ELEMENTS WITHOUT CONFLICT.

MOVING NORTH INCREASES SLOPE AND TREE REMOVAL, SHIFTING RIGHT IMPACTS THE LEACH FIELD, MOVING LEFT VIOLATES SETBACKS, AND SHIFTING SOUTH CONFLICTS WITH BUILDING ENVELOPE LIMITS AND FIRE TRUCK ACCESS

PROJECT DATA:

|                          |             |
|--------------------------|-------------|
| TOTAL PROPOSED FOOTPRINT | 5,546 SF    |
| PROPOSED HEIGHT          | 28'-0" MAX  |
| PROPOSED ROOF SLOPE      | 4:12        |
| PROPOSED FOUNDATION TYPE | SLAB        |
| PROPOSED ROOF TYPE       | HIP/SHED    |
| PROPOSED GARAGE SF       | 1,717 SF    |
| PROPOSED DECK AREA       | 805 SF      |
| DECK FOUNDATION          | PIER & BEAM |

CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM WITH FOLLOWING:  
 2022 California Residential Code  
 2022 California Electrical Code  
 2022 California Energy Code  
 2022 California Mechanical Code  
 2022 California Plumbing Code  
 2022 California Fire Code  
 2022 California Title 24  
 2022 California Green Code

GENERAL NOTES

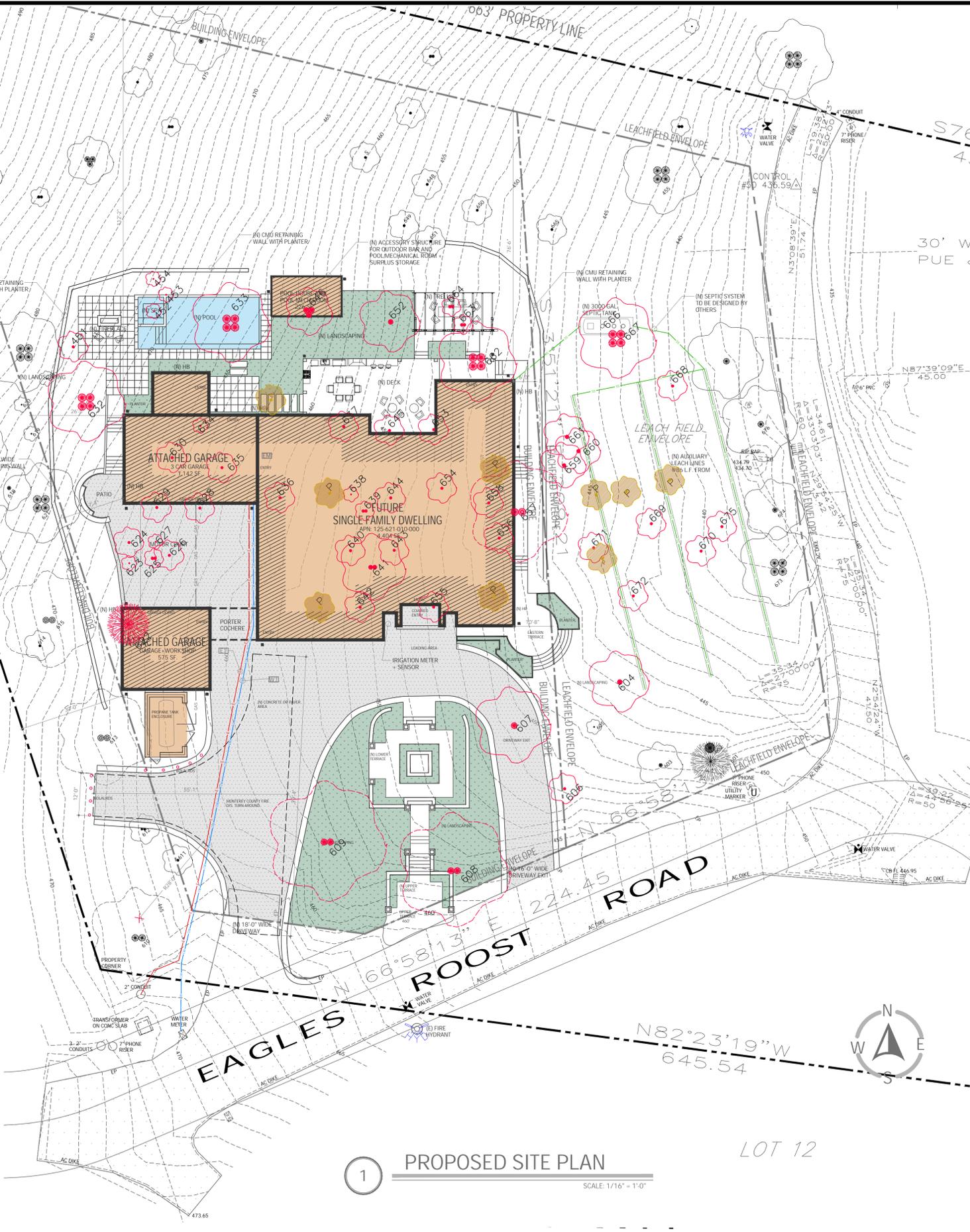
- WORKMANSHIP: WHERE NOT SPECIFICALLY DESCRIBED IN ANY OF THE DRAWINGS AND OR SPECIFICATIONS, WORKMANSHIP SHALL CONFORM TO ALL METHODS AND OPERATIONS OF THE BEST STANDARDS AND ACCEPTED PRACTICES OF THE TRADES INVOLVED. THE CONTRACTOR SHALL VERIFY ALL WORK, DIMENSIONS AND DRAWINGS, REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING ANY WORK.
- CLEAN-UP: THE ENTIRE PREMISES SHALL BE MAINTAINED REASONABLY NEAT. CLEAN AND HAZARD FREE DURING THE COURSE OF CONSTRUCTION. ALL TRADES SHALL REMOVE TOOLS, RUBBISH, AND UNUSED MATERIALS AS SOON AS THEIR RESPECTIVE WORK IS COMPLETE, LEAVING ALL AREAS IN BROOM CLEAN CONDITION. THE TRASH SHALL BE REMOVED DAILY AND NOT BE ALLOWED TO ACCUMULATE.
- LOCATION OF ALL UTILITIES SHOWN IS APPROXIMATE AND THE CONTRACTOR SHALL CONTACT THE OWNER IF UNKNOWN CONDITIONS ARISE.
- THE CONTRACTOR SHALL PROVIDE ANY OR ALL SHORING AND BRACING TO THE STABILITY OF ANY OF THE PARTS OF THE PROJECT DURING CONSTRUCTION TO ASSURE SAFETY.
- MATERIAL: UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE NEW AND DELIVERED TO THE JOB IN THE MANUFACTURER'S ORIGINAL PACKAGE, AND CONTAINERS OR BUNDLES, BEARING THE FULL IDENTIFICATION. REJECTED MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE SITE BY THE CONTRACTOR.
- PROTECTION: ALL FINISH MATERIALS SHALL BE PROTECTED AT ALL TIMES, AGAINST SUBSEQUENT DAMAGE UNTIL FINAL ACCEPTANCE BY THE OWNER.
- SITE GRADES: THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY SITE GRADE ELEVATIONS TO ENSURE PROPER SITE DRAINAGE. SITE SHALL BE FINE GRADED TO DIRECT WATER AWAY FROM BUILDING OR FOUNDATIONS.
- DIMENSIONS: DO NOT SCALE PLANS, VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
- CONSTRUCTION WASTE MANAGEMENT: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS, SECTION 4.408.1

ADDITIONAL NOTES

|                                |                                    |
|--------------------------------|------------------------------------|
| APN#:                          | 125-621-010-000                    |
| ZONING                         | RDR/5.01                           |
| EROSION HAZARD                 | HIGH                               |
| LAND USE CODE                  | 3A                                 |
| LOT AREA                       | 212,572.8 SF.<br>(4.88 ACRES)      |
| LIQUEFACTION SUSCEPTIBILITY    | LOW                                |
| FIRE HAZARD SEVERITY           | HIGH                               |
| LANDSLIDE SUSCEPTIBILITY       | LOW/MODERATE                       |
| ADVISORY COMMITTEE             | N.C.A.C.                           |
| PROPOSED NUMBER OF STORIES     | 2                                  |
| AHJ                            | MONTEREY COUNTY                    |
| PROPOSED LOT COVERAGE          | 14,057 SF (.0661%)                 |
| FIRE PROTECTION DISTRICT       | NORTH COUNTY FPD                   |
| PROPOSED IMPERVIOUS AREA       | 16,173 SF                          |
| TOTAL PROPOSED PERVIOUS AREA   | 5,818.4 SF                         |
| PROPOSED DRIVEWAY AREA         | 5,931.8 SF                         |
| PROPOSED LANDSCAPING           | 3,321.6 SF                         |
| PROPOSED POOL AREA             | 503 SF                             |
| ACCESSORY STRUCTURE TOTAL AREA | 476 SF                             |
| LINEAR FT OF RETAINING WALLS   | ± 287 LF                           |
| PROPOSED FIRE TURNAROUND       | 1,800 SF + r28'                    |
| PROPOSED CUT                   | 1161 cu. yds.                      |
| PROPOSED FILL                  | 523 cu. yds.                       |
| UNIFORM LOT SETBACKS           | 30'-0" NORTH, EAST<br>20'-0" SOUTH |

LEGEND

|                          |                          |
|--------------------------|--------------------------|
| (N) LANDSCAPING          | PROPERTY LINE            |
| (E) LANDSCAPING          | FENCE LINE               |
| FUTURE DEVELOPMENT       | LEACH FIELD ENVELOPE     |
| DRIVEWAY/PAVERS          | SEPTIC SEWER LINE        |
| PROPOSED WATER LINE      | WATER FLOW DIRECTION     |
| EXISTING WATER LINE      | ELECTRICAL SERVICE PANEL |
| PROPOSED ELECTRICAL LINE | PROPOSED WATER METER     |
| PROPOSED DOWNSPOUTS      | EXISTING WATER METER     |
|                          | EXISTING GAS METER       |



1 PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"

REVISIONS / DATE / BY / DESCRIPTION

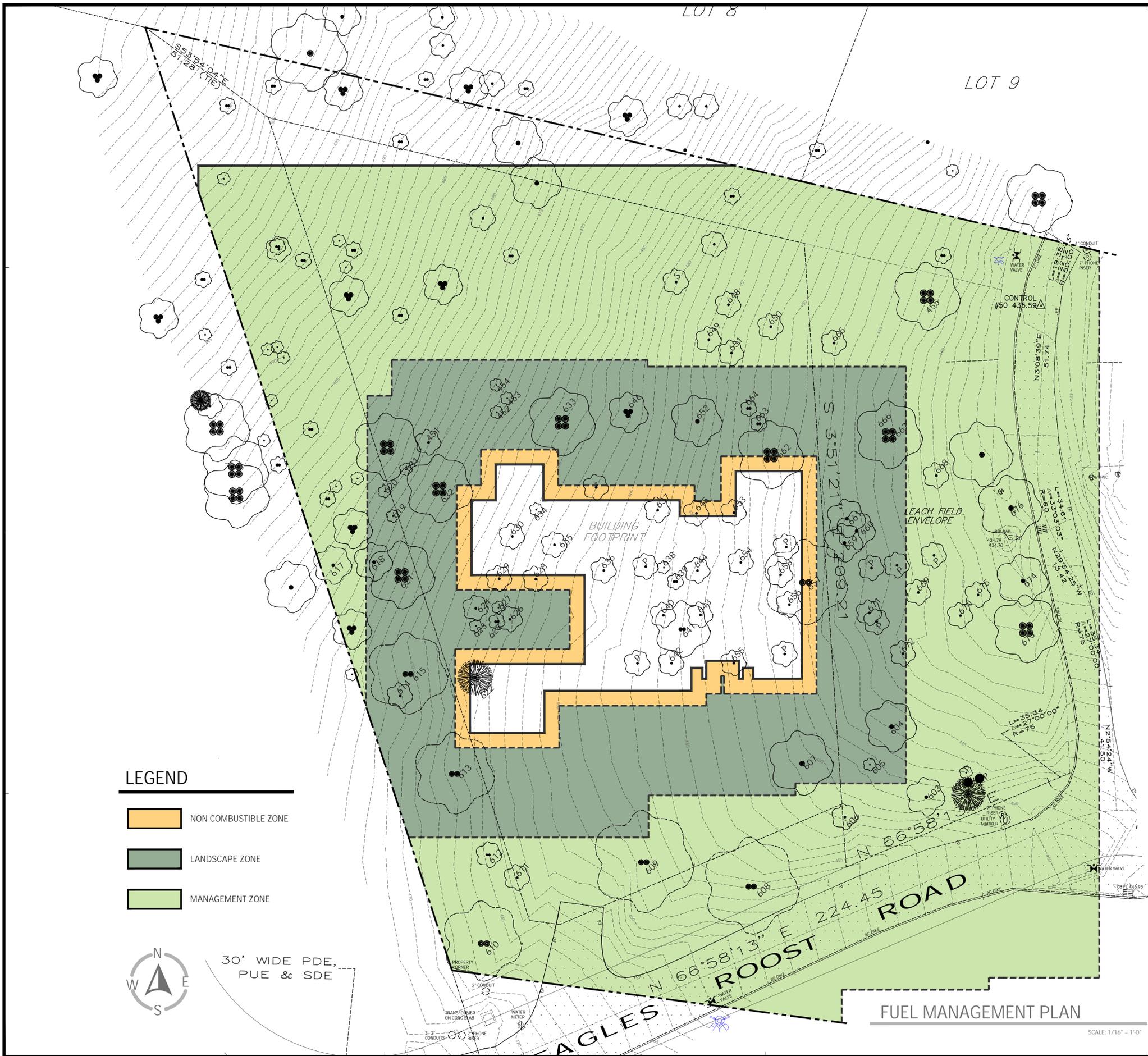


PROPOSED SITE PLAN  
USE PERMIT FOR:  
SAHI RESIDENCE  
CLIENT: NAVJEET SINGH SAHI  
8730 EAGLES ROOST RD. SALINAS, CA. 93907

|       |          |
|-------|----------|
| DATE  | 11-26-24 |
| SCALE | AS SHOWN |
| DRAWN | RC       |
| JOB   | 09-24    |
| SHEET |          |

A13

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**LEGEND**

- NON COMBUSTIBLE ZONE
- LANDSCAPE ZONE
- MANAGEMENT ZONE



30' WIDE PDE,  
PUE & SDE

**FUEL MANAGEMENT INTRODUCTION**

THIS FUEL MANAGEMENT PLAN HAS BEEN PREPARED AS A GUIDELINE FOR THE IMPLEMENTATION OF DEFENSIBLE SPACE/VEGETATION MANAGEMENT FOR THE FIRE SAFETY AROUND THE NEWLY PROPOSED RESIDENCE IDENTIFIED AS 8730 EAGLES ROOST RD. THE FUEL MANAGEMENT ZONES ARE SPECIFIC TO THE AREAS WHERE VEGETATION HAS BEEN REMOVED OR MODIFIED IN MANNER THAT INCREASES THE LIKELIHOOD THAT STRUCTURES WILL SURVIVE WILDFIRES. IMPROVING THE DEFENSIBLE SPACE AROUND STRUCTURES REDUCE THE AMOUNT OF FUEL AVAILABLE FOR A WILDFIRE.

CALIFORNIA PUBLIC RESOURCE CODE 4291 MAINTAIN DEFENSIBLE SPACE OF 100 FEET FROM EACH SIDE AND FROM THE FRONT AND REAR OF THE STRUCTURE, BUT NOT BEYOND THE PROPERTY LINE. THE AMOUNT OF FUEL MODIFICATION NECESSARY SHALL CONSIDER THE FLAMMABILITY OF THE STRUCTURE AS AFFECTED BY BUILDING MATERIAL, BUILDING STANDARDS, LOCATION, AND TYPE OF VEGETATION. FUELS SHALL MAINTAINED AND SPACED IN A CONDITION SO THAT A WILDFIRE BURNING UNDER AVERAGE WEATHER CONDITIONS WOULD BE UNLIKELY TO IGNITE THE STRUCTURE. THE INTENSITY OF FUELS MANAGEMENT MAY VARY WITHIN THE 100-FOOT PERIMETER OF THE STRUCTURE, WITH MORE INTENSE FUEL REDUCTIONS BEING UTILIZED BETWEEN 5 AND 30 FEET AROUND THE STRUCTURE, AND AN EMBER-RESISTANT ZONE BEING REQUIRED WITHIN 5 OF THE STRUCTURE.

**NON-COMBUSTIBLE ZONE  
(0-5 FEET)**

- HARDSCAPE SURFACES INCLUDING GRAVEL, PAVERS, DECOMPOSED GRANITE AND BARE SOILS ARE ALL APPROVED NON-COMBUSTIBLE SURFACES.
- SUCCULENT PLANT SPECIES ARE EXAMPLES OF NON-COMBUSTIBLE PLANT MATERIALS.
- PLANT PLACEMENT IS THE MOST IMPORTANT CRITERIA FOR FIRE-RESISTANT PLANT SELECTION.
- NO WOODEN TRELLIS, CLIMBING VINES, TREES OR SHRUBS SHOULD BE INTEGRATED INTO THIS ZONE.
- NO COMBUSTIBLE MULCH. ROCK MULCH IS ACCEPTABLE AND HAS THE GREATEST FIRE RESISTANCE.

**LANDSCAPE ZONE  
(5-30 FEET)**

LANDSCAPE ZONES INCORPORATE MULTIPLE PLANTING TYPES. ALL ZONES PROPOSED WITH FIRE-APPROPRIATE PLANT MATERIALS AND ADEQUATE SPACE POSING LESS HAZARD FOR IGNITION. INCREASE SPACE BETWEEN TREES, RE LOWER BRANCHES AND CREATE AREAS OF IRRIGATED LANDSCAPE ISLANDS.

- SAFE EGRESS MUST BE MAINTAINED REGULARLY ALONG THE DRIVEWAY. IT IS IMPORTANT TO ALLOW FOR SAFE PASSAGE AND TO PROVIDE A LOCATION FIREFIGHTER RESOURCES CAN TRAVEL AND ENGAGE IN FIRE RESPONSE.
- GRASSLAND, AND THE UNDER-STORY OF ALL OAK WOODLAND VEGETATION SHOULD BE MOWED WITHIN 10 FEET OF THE PAVEMENT EDGES.
- ALL CHAPARRAL, COASTAL SCRUB AND OAK/SHRUB WOODLAND VEGETATION SHOULD BE TREATED TO 30 FEET FROM THE PAVEMENT EDGE PROVIDING BOTH VERTICAL AND HORIZONTAL CLEARANCE.

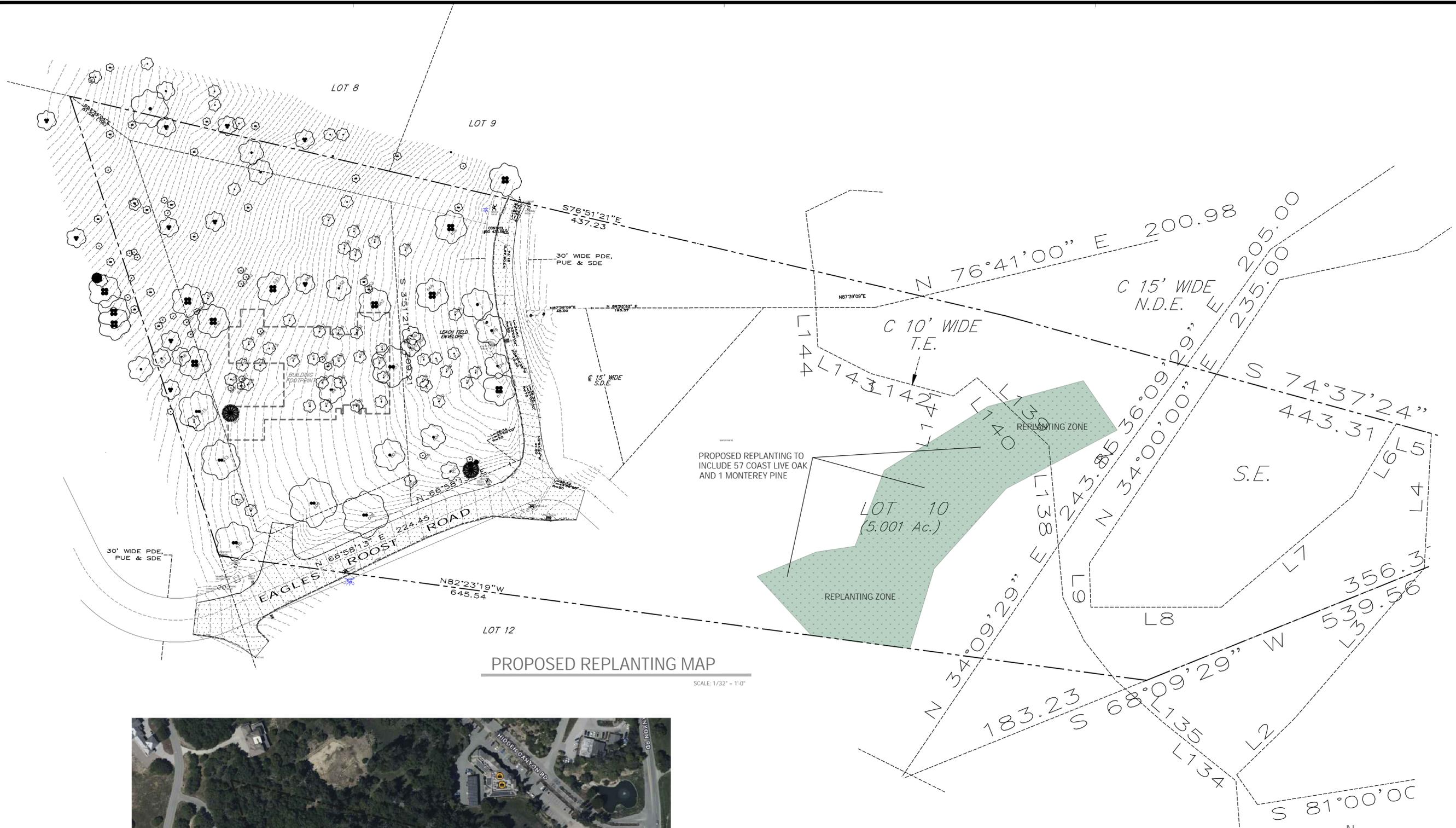
**MANAGEMENT ZONE  
(30-100 FEET)**

UNDERSTORY PLANTS MUST BE KEPT SHORT, AND SMALL LOWER TREE BRANCHES MUST BE REMOVED. THE UNDERSTORY OF OAK WOODLAND HABITAT INCLUDES SHADE TOLERANT SHRUBS AND GRASSLANDS. THE GOAL OF THIS STANDARD IS TO MAINTAIN AN EXISTING OAK WOODLAND WITH A SHORT-STATURED UNDERSTORY OF HERBACEOUS PLANTS AND SHRUBS AND A TREE CANOPY AT LEAST 8 FEET ABOVE THE GROUND. AN INITIAL TREATMENT WILL BE REQUIRED TO PRUNE SMALLER BRANCHES OF TREES UP TO 8 FEET ABOVE THE GROUND AND TO REDUCE DENSITY AND STATURE OF UNDERSTORY SHRUBS. ANNUAL MAINTENANCE COULD BE REQUIRED TO MAINTAIN THIS RECOMMENDED HEIGHT.

- UNDERSTORY VEGETATION SHOULD NOT BE COMPLETELY REMOVED. INSTEAD SELECTIVELY REMOVE NON-NATIVE FLAMMABLE SPECIES AND REMOVE BRANCHES FROM DESIRABLE NATIVE VEGETATION.
- NATIVE UNDERSTORY SHRUBS ARE TO BE KEPT FREE OF DEAD BRANCHES NO MORE THAN 2.5 FEET IN HEIGHT.
- LEAF LITTER DEPTH SHOULD BE KEPT NO GREATER THAN 4 INCHES.
- ONCE INITIAL TREE PRUNING IS COMPLETED, PRUNING IS LIKELY TO BE NEEDED LESS FREQUENTLY WITH AN INTERVAL OF THREE TO FIVE YEARS.

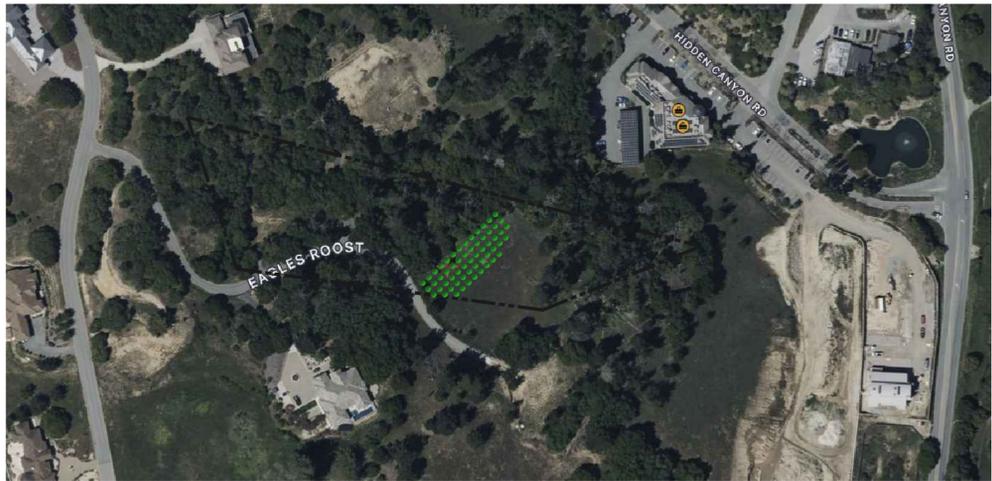
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| <b>FLOOR PLAN DESIGN CO.</b><br><small>DESIGN, PLANNING &amp; ESTIMATES</small>   |          |  |  |  |  |  |  |
|   |          |  |  |  |  |  |  |
| <b>MONTEREY BAY TREWORKS</b>  |          |  |  |  |  |  |  |
| Alameda: W0000000<br>ISA Certified Arborist #1988<br>ISA Tree Risk Assessor Qualifier<br>(619) 969-4490<br>albert@treeworks.com<br>montereybaytreeworks.com |          |  |  |  |  |  |  |
| <b>FUEL MANAGEMENT PLAN</b>   |          |  |  |  |  |  |  |
| USE PERMIT FOR:   |          |  |  |  |  |  |  |
| <b>SAHI RESIDENCE</b>   |          |  |  |  |  |  |  |
| CLIENT: NAVNEET SINGH SAHI<br>8730 EAGLES ROOST RD., SALINAS, CA. 93907   |          |  |  |  |  |  |  |
| DATE:   | 11-26-24 |  |  |  |  |  |  |
| SCALE:  | AS SHOWN |  |  |  |  |  |  |
| DRAWN:  | RC       |  |  |  |  |  |  |
| JOB:  | 09-24    |  |  |  |  |  |  |
| SHEET:  | L1       |  |  |  |  |  |  |

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**PROPOSED REPLANTING MAP**

SCALE: 1/32" = 1'-0"



**SATELLITE KEY MAP**

**REPLANTING NOTES**

THE REPLANTING RULES AIM TO MAINTAIN OR RESTORE FOREST COVER FOLLOWING TREE REMOVAL FOR DEVELOPMENT, ENSURING ECOSYSTEM CONTINUITY. THE PRESENCE OF QUERCUS AGRIFOLIA (COAST LIVE OAK) AT A NEARBY SIMILAR SITE SUGGESTS THAT THE PROPOSED SITE AND SOIL CONDITIONS ARE FAVORABLE FOR SUPPORTING NEW TREE GROWTH. REPLANTING IN THIS AREA WILL ENHANCE HABITAT SIZE AND CONNECTIVITY FOR LOCAL WILDLIFE, ALLOWING FOR HEALTHY DEVELOPMENT OF ALL TREES AND FURTHER PROMOTING BIO-DIVERSITY.

**LEGEND**

- PROPOSED BUILDING ENVELOPE
- PROPOSED REPLANTING SITES



**FLOOR PLAN DESIGN CO.**  
DESIGN, PLANNING & ESTIMATES

REVISIONS (DATE) BY DESCRIPTION

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |

PROPOSED REPLANTING MAP

USE PERMIT FOR:  
**SAHI RESIDENCE**  
CLIENT: NAVNEET SINGH SAHI  
8730 EAGLES ROOST RD., SALINAS, CA. 93907

DATE: 11-26-24  
SCALE: AS SHOWN  
DRAWN: RC  
JOB: 09-24  
SHEET:

L2

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