

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

FERRINI OAKS LLC (PLN240017)

RESOLUTION NO. ----

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding that construction of a single family dwelling qualifies for a Class 3 Categorical Exemption pursuant Section 15303 of the CEQA Guidelines and none of the exceptions in Section 15300.2 apply to the project; and
- 2) Approving a Design Approval to allow the construction of a 3,656 square foot single family dwelling with attached 924 square foot garage, new site retaining walls and associated site improvements, and Use Permit to allow construction on slopes greater than 25%.

[PLN240017, FERRINI OAKS LLC, 24315 Rustic Lane, Salinas, Toro Area Plan (APN: 161-013-013-000)]

The FERRINI OAKS LLC application (PLN240017) came on for public hearing before the County of Monterey Zoning Administrator on September 12, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 County of Monterey General Plan;
 - Toro Area Plan; and
 - County of Monterey Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- b) Project Scope: The project consists of construction of a 3,656 square

foot single family dwelling with attached 924 square foot garage, new site retaining walls (80 linear feet with an average height of 3 feet, 165 linear feet with an average height of 3 feet 6 inches, and 179 linear feet average height of 5 feet). Colors and materials are brown concrete tile roofing, gray paint for body, brown for trim, tan vinyl windows and stone siding. The proposed development will receive water via Cal Am and use public sewer utilities.

- c) Allowed Uses: The property is located at 24315 Rustic Lane, Salinas (Assessor's Parcel Number APN 161-013-013-000), Toro Plan. The parcel is zoned Low Density Residential with a Building Site 6 and Design Control overlay districts or "LDR/B-6-D," and Resource Conservation with Building Site and Design Control overlay districts or "RC/B-6-D," which allows for the establishment of a residential use and construction of a single-family residence pursuant to Title 21 section 21.14.030.A and 21.36.030.A. Therefore, the project is an allowed land use for this site.
- d) Lot Legality: The property is shown in its current configuration as Lot 2 in Book 29 of Surveys Page 65 as part of Tract 1468, The Oaks Subdivision, filed in Volume 23 of Cities & Towns, Page 32 on June 30, 2006. Therefore, the County recognizes the property as a legal lot of record.
- e) Development Standards: Development standards for the Low Density Residential zoning district are found in Monterey County Code Title 21 section 21.14.060 and in accordance with Title 21 chapter 21.62.040.K, any accessory structure structurally attached to the main residence shall be subject to the main structure setback requirements. The minimum required setbacks for main structures in LDR zoning are 30 feet (front), 10 percent of the average lot width, to a maximum required of 20 feet (side), and 20 feet (rear). The maximum allowed height is 30 feet. The parcel has a designated building envelope that was established when the subdivision was created for the purpose of minimizing oak tree removal and potential impacts from debris flow (Board of Supervisors Resolution No. 01-197). See Evidence "j" below. As demonstrated in the attached site plan, the location of the single-family dwelling is consistent with the required setbacks of the LDR district. The height of the structure and lot coverage meet the site development standards of the LDR district.
- f) Design/Neighborhood Character: The subject property is located within a Design Control district. As demonstrated in Finding No. 2 and supporting evidence, the project has been found to be consistent with the Design Control regulations contained in Title 21 Chapter 21.44.
- g) Archaeological Sensitivity: According to County of Monterey Geographic Information System (GIS) records, the subject parcel has a high archaeological sensitivity and is not within 750 feet of a known archaeological resource. On March 19, 2001, a certified Environmental Impact Report (EIR) was prepared for the Oaks Subdivision by Golden

State Planning and Environmental Consulting. Archaeological and cultural resources were analyzed within the report and mitigation measures were made conditions of approval for the subdivision to reduce potential impacts to less than significant. The applicant for the currently proposed project has been issued an Archaeological Report Wavier as a result of the final EIR. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- h) Visual Sensitivity: The subject property is located in a Visually Sensitive area as illustrated in Figure 16 – Scenic Highway Corridors & Visual Sensitivity, of the Toro Area Plan. Policy T-3.1 of the Toro Area plan states that new development in this area may be permitted if located and designed in such a manner that will enhance the scenic value of the area and architecture consistent with the rural nature of the area is encouraged. The location of the proposed development cannot be seen from any public viewing areas due to being located behind an existing residence and is surrounded by mature oak trees. The proposed materials and colors to be used are rural in nature with earth tones for the body and trim, and stone detailing that ensures protection of the scenic qualities of the area.
- i) Development on Slopes: The proposed project includes approximately 2,774 square feet of development on slopes greater than 25%. As demonstrated in Finding No. 3 and supporting evidence, the necessary findings to approve a Use Permit for development on slopes greater than 25% are made in this case.
- j) Existing Easement: A designated scenic conservation easement was put in place over areas of the parcel with slopes greater than 30 percent. The easement agreement happened when the Oaks Subdivision was created (Board of Supervisors Resolution No. 01-197). This easement serves the purpose of protecting the steep hillsides from development and aide against soil erosion while maintaining the natural scenic views and vegetation for wildlife habitat. A building envelope was established during that time to ensure future development would not encroach within the protected hillside areas surrounding the parcel. See Evidence “e” above.
- k) Land Use Advisory Committee: The project was referred to the Toro Land Use Advisory Committee (LUAC) for review on August 12, 2024. Based on the LUAC Procedure guidelines adopted by the County of Monterey Board of Supervisors, this application warranted referral to the LUAC because the appropriate authority for approval is the County of Monterey Zoning Administrator. The LUAC recommended approval of the project by a vote of four to zero.
- l) The project planner conducted a site inspection on June 25, 2024 to verify that the project on the subject parcel conforms to the plans listed

above.

- m) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240017.

2. FINDING: DESIGN – The design, size, configuration, materials, and colors of the proposed project ensures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) Staff’s analysis of the proposed project considers the size of the single-family dwelling consistent with the surrounding residences within the area. The proposed colors and materials enhance the rural setting and blend the house into the hillside, which, in turn, protects the public viewshed. The rustic style architecture and the use of stone and earth tone exterior colors present a rural aesthetic comparable with the Toro area and the neighborhood character. The proposed colors – light brown and dark brown – with stone façade contribute to sustaining the neighborhood character.
 - b) The project was reviewed by the Toro Land Use Advisory Committee (see preceding Finding No. 1, Evidence “k”) and was found to be compatible with the area.
 - c) Staff conducted a site inspection on June 25, 2024 to verify that the proposed development is compatible with the area and is a consistent use with the neighborhood.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240017.

3. FINDING: DEVELOPMENT ON SLOPES EXCEEDING 25% – Policy OS-3.5 prohibits development on slopes in excess of 25% unless one or both of the following findings can be made, based on substantial evidence:

- 1) There is no feasible alternative which would allow development to occur on slopes of less than 25%; or
- 2) the project better achieves the resource protection objectives and policies contained in the County of Monterey General Plan, accompanying Area Plans, and all applicable master plans.

- EVIDENCE:**
- a) The proposed project includes approximately 2,774 square feet of development on slopes greater than 25% for the construction of the single-family dwelling and attached garage.
 - b) There is no feasible alternative location for the construction of the single-family dwelling and garage to occur on slopes less than 25% because more than half of the parcel includes slopes greater than 25%. The property is located on a hill with ascending slopes to the north of the proposed building site of the single-family dwelling, which is the only location on the parcel with the most area without slopes greater than 25%. As proposed, the building site has the least impact to slopes greater than 25% and is within the building envelope designated when

the subdivision was formed. This location was considered and approved for the building site as it also minimizes oak tree removal and potential impacts from debris flow with the aid of retaining walls.

- c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240017.

4) FINDING:

CEQA (Exempt): - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts construction of a single-family dwelling. The project consists of establishing the first single family dwelling on a vacant lot within a residential zoning district.
- b) No adverse environmental effects were identified during staff review of the development application during a site visit on June 25, 2024.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project, as detailed in Evidence “d” through “i” below.
- d) Section 15300.2 of CEQA Guidelines states that construction of the first single-family dwelling within a residential zoning district is ordinarily insignificant in its impact on the environment. However, there may be potential impacts on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies due to the project’s location. No such impact is identified in the project area.
- e) This is one of two remaining undeveloped lots in the Oaks Residential Subdivision. As such, successive projects of the same type and in the same place (construction of a single-family dwelling on this lot which is zoned to allow such uses) would not occur resulting in contributing to a significant cumulative impact. The project, construction of a single-family residence and associated site improvements on a property zoned to allow such uses and without potentially significant impacts, would not contribute to a potential cumulative impact.
- f) The building site is located beyond the natural woodland vegetation and settled among hillsides which helps avoid adversely affecting the visual sensitivity of the area.
- g) The project site is not located near a hazardous waste site compiled pursuant to Section 65962.5 of the Government Code.
- h) There are no unusual circumstances associated with the project that would cause a potential environmental impact (see Findings 1, 2, 3 and supporting evidence).
- i) No archaeological or cultural resources are located in the development areas of the subdivision, as evidenced by an archaeological evaluation of the entire Toro Vista development area in September of 1975 and in a Cultural Resources Report of the Toro Vista area in October of 1990.
- j) Staff conducted a site inspection on June 25, 2024 to verify that the site is suitable for this use.

k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240017.

5) FINDING: NO VIOLATIONS- The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE: a) The project planner conducted a site inspection on June 25, 2024, and researched County records to assess if any violations exist on the subject property.

b) The application, project plans, and related supporting materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed development found in Project File PLN240017.

6) FINDING: APPEALABILITY - The decision on this project may be appealed to the Planning Commission.

EVIDENCE: a) Section 21.80.040.B of the County of Monterey Zoning Ordinance states that the proposed project is appealable to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project categorically exempt per Section 15303(a) of the CEQA Guidelines and
2. Approve a Design Approval to allow construction of a 3,656 square foot single family dwelling with attached 924 square foot garage, new site retaining walls and associated site improvements, and Use Permit to allow development on slopes greater than 25%.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions where are incorporated herein by reference.

PASSED AND ADOPTED this 12th day of September 2024:

Mike Novo, AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240017

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN240017) consists of: 1) Design Approval to allow the construction of a 3,656 square foot single family dwelling with attached 924 square foot garage, new site retaining walls and associated site improvements, and 2) Use Permit to allow construction on slopes greater than 25%. The property is located at 24315 Rustic Lane, Salinas (Assessor's Parcel Number 161-013-013-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 161-013-013-000 on September 12, 2024. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

6. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

7. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

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THE OAKS LOT 2

SALINAS, CA

PROJECT NAME:
OAKS, LOT 2
24315 RUSTIC LANE
SALINAS, CA.
93908
APN: 161-013-013
JOB NUMBER: 2305



DRAWING RECORD	
DESCRIPTION	ISSUED
PLN SUBMIT	1-18-2024
BLDG SUBMIT	2-29-2024
PC#1	3-20-2024



All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of MOORE DESIGN Inc. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. No use, reproduction or publication by any method in whole or in part is permitted. Title to the plans and specifications remains with MOORE DESIGN Inc. and visual contact with these constitutes prima facie evidence of the acceptance of the institutions.
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

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SHEET TITLE:
COVER SHEET / PROJECT INFO
SHEET NUMBER:
A0.1

STORMWATER CONTROL

MONTEREY COUNTY
HOUSING AND COMMUNITY DEVELOPMENT
Erik V. Lundquist, AICP, Director

Site Design and Runoff Reduction Checklist

Projects that create and/or replace > 2,500 square feet of impervious surface, following design over the entire project site, including detached single-family home projects, shall implement all of the following design strategies in the design of the project:

Implemented

- Limited disturbance of creeks and natural drainage features
- Minimized compaction of highly permeable soils
- Limited clearing and grading of native vegetation at the site to the minimum area needed to build the project, allow access, and provide fire protection
- Minimized impervious surfaces by concentrating improvements on the least-sensitive portions of the site, while leaving the remaining land in a natural undisturbed state

And must minimize stormwater runoff by implementing one or more of the following site design measures:

Implemented

- Directed roof runoff into ditches or rain barrels for reuse
- Directed roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
- Directed runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
- Directed runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
- Constructed bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces

Property Owner/Agent Name: Roy M. Haas, Jr. Date Prepared: 4/25/24
Property Owner/Agent Signature: [Signature] Permit File Number: 24 EP 00618

GENERAL CONDITIONS

- Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
- Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
- Contractor shall be responsible to obtain and all necessary permits, inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.
- Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.
- Materials that are specified by their brand names establish standards of quality and performance. Any request for substitution shall be submitted to Moore Design Inc. and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
- All construction work architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code/California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
- All dimensions on construction drawings are face of stud (f.o.s.), face of curb, unless otherwise noted to be the center line of mullion, partition, or column, etc.
- All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start work.
- All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
- All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.
- The use of the word "provide" in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
- The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
- The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
- The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
- The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
- All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
- Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
- All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
- Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
- Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see first mgmt. plan). No tree shall be removed called for in the plans and a permit is first issued by the local jurisdiction.

SHEET INDEX

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P2.1	GAS LINE P.O.C. & SCHEMATIC
PH.1	PHOTOGRAPHIC PLAN

PROJECT DIRECTORY

OWNER:	RAY BARROD JR. 385 VICTOR STREET SALINAS, CA 93907 831-758-4368
DESIGNER:	MOORE DESIGN INC. CONTACT: JOHN MOORE 550 FIGUEROA STREET, SUITE B MONTEREY, CA 93940 OFFICE: (831) 642-9722 CELL: (831) 238-6888 EMAIL: john@mooredesign.org
GENERAL CONTRACTOR:	T.B.D.
GEOTECHNICAL ENGINEER:	SOIL SURVEYS GROUP INC. CONTACT: BELINDA TALUBAN 103 CHURCH ST. SALINAS, CA 93901 TEL: (831) 757-2172
STRUCTURAL ENGINEER:	ISA HESSEN CONTACT: EREIN ABARADO 43082 BRIGITTON COMMON FREMONT, CA 94538 TEL: (510) 885-8914 FAX: (510) 885-8941 EMAIL: ehsen@isastructural.com LIC: 62568
SURVEYOR / CIVIL ENGINEER:	LANSEET ENGINEERS, INC. CONTACT: GUY GRAUDDO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL: (831) 445-6970 FAX: (831) 445-3861 EMAIL: GRAUDDO@LANSEETENG.COM
TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID KUEHRT 26465 CARMEL RANCHO BLVD., #8 CARMEL, CA 93925 TEL: (831) 372-8258 FAX: (831) 372-4613 EMAIL: DAVID@MEGA.COM

PROJECT INFORMATION

PROJECT ADDRESS:	24315 RUSTIC LANE SALINAS, CA 93908
A.P.N.:	161-013-013
PROJECT SCOPE:	NEW SINGLE FAMILY RESIDENCE (3,656 SF) WITH ATTACHED GARAGE (954 SF), NEW SITE RETAINING WALLS (80' L.F.), AVERAGE HEIGHT OF 3', (165' L.F. - AVERAGE HEIGHT OF 3'-0"), (178' L.F. - AVERAGE HEIGHT OF 3')
PROJECT VALUATION:	\$850,000
RELATED PERMIT:	PLN240017, 24CP00618
PROJECT CODE COMPLIANCE:	2022 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEC), California Fire Code (CFC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code Local Amendments
ZONE:	LDR/B-6-D RCB-6-D
YEAR CONSTRUCTED:	NEW CONSTRUCTION
MAX BLDG. HT.:	16'-7" (30'-0" ALLOWED)
CONSTR. TYPE:	TYPE V-B
OCCUPANCY:	R-3 (RESIDENTIAL), U
FIRE SPRINKLERS:	REQUIRED NFPA 13D
WATER SYSTEM:	CAL AM
SEWER SYSTEM:	PUBLIC SEWER
TREE REMOVAL:	NONE
TOPOGRAPHY:	SLOPPING
GRADING:	CUT 2,230 C.Y. FILL 350 C.Y. - SEE CIVIL SHEETS
LOT SIZE:	7.9 ACRES / 349,403 SF
LOT COVERAGE CALCS:	
ALLOWED:	25% = 87,350 SF
NEW RESIDENCE:	3,656 SF
NEW ATTACHED GARAGE:	954 SF
NEW TOTAL:	4,580 SF
FLOOR AREA CALCS:	
NEW RESIDENCE:	3656 SF
NEW GARAGE:	924 SF
NEW COMBINED TOTAL:	4580 SF

ABBREVIATIONS AND SYMBOLS

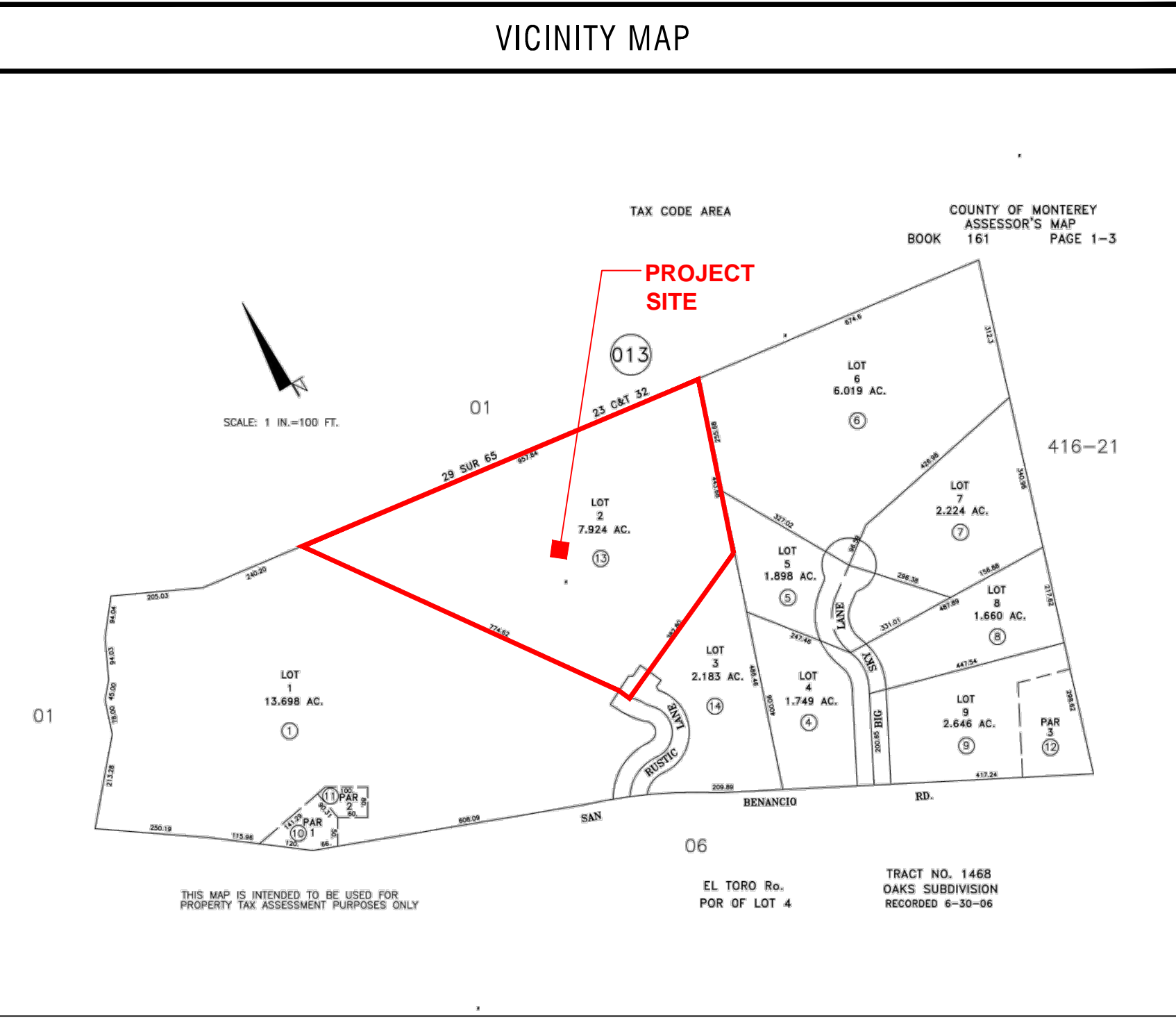
APPROX.	APPROXIMATE	O.C.	ON CENTER
BLK.	BLOCK	O.D.	OUTSIDE DIAMETER
CLD.	CLOSET	PLYWD	PLYWOOD
CONC.	CONCRETE	REF	REFRIGERATOR
CONT.	CONTINUOUS	R.O.	ROUGH OPENING
DS	DOWNSPOUT	SHWR	SHOWER
DWSH	DISHWASHER	SM	SMEAR
(E)	EXISTING	SL	SKYLIGHT
F.O.C.	FACE OF CONCRETE	TKG	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	T.O.P.	TOP OF PLATE
GALV.	GALVANIZED	TYP.	TYPICAL
G.P.	GYP-SUM	U.O.N.	UNLESS OTHERWISE
G.W.B.	GYP-SUM WALLBOARD	NOTED	NOTED
F.L.R.	FLOOR	WP	WATERPROOF
H.W.D.	HARDWOOD	W	WITH
N.C.	NOT IN CONTRACT	WO	WITHOUT
N.T.S.	NOT TO SCALE	W.C.	WALK IN CLOSET

SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN

ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN

REVISIONS-NUMBERS CLOUD AROUND REVISION OPTIONAL

CEILING HEIGHT



- ### CAL GREEN NOTES
- Irrigation Controllers- Automatic irrigation controllers installed at the time of final inspection shall be weathered-based. CGBC 4.504.1
 - Rodent Proofing- Protect animal spaces around pipes, electrical cables, conduits or other openings at exterior walls against passage of rodents. CGBC 4.408.1
 - Construction Waste Management- Recycle and/or salvage for reuse a minimum of 50% of the nonhazardous construction and demolition waste in accordance with the CGBC Sec. 4.408.1
 - Covering of Mechanical Equipment & Ducts- Cover duct openings and other air related air distribution component openings during storage, construction and until final start up with tape, plastic, or other acceptable method. CGBC 4.504.1
 - Adhesives, sealants and caulks- Adhesives, sealants and caulks used on the project shall be compliant with VOC and other toxic compound limits. CGBC 4.504.2.1
 - Paint and Coatings- Paint, stains and other coatings used on the project shall comply with VOC limits. CGBC 4.504.2.2
 - Aerosol paints and coatings- Aerosol paints and coatings used on the project shall be compliant with product weighted MR limits for VOC and other toxic compounds. Documentation shall be provided to verify compliant VOC limit finish materials have been used. CGBC 4.504.2.3. Verification of compliance shall be provided.
 - Carpet Systems- All carpet and carpet systems installed shall be compliant with VOC limits. CGBC 4.504.4
 - Resilient Floor Systems- 80% of the floor area receiving resilient floorings shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. CGBC 4.504.4
 - Composite Wood Products- Particleboard, Medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. CGBC 4.504.5
 - Foundation- Capillary Break- A 4" thick of 1/2" or larger clean aggregate shall be installed with a vapor retarder in direct contact with concrete. CGBC 4.604.2.1
 - Moisture Content of Building Materials- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be encased when the framing members exceed 19% moisture content. CGBC 4.505.3
 - Bathroom Exhaust Fans- Each bathroom shall be mechanically ventilated with an Energy Star exhaust fan and the fan must be controlled by a humidistat capable of adjustment between a relative humidity range of < 50% to a maximum of 80%. CGBC 4.506.1
 - Heating and Air Conditioning System Design- HVAC systems shall be sized, designed and their equipment sized per CGBC 4.507.2. HVAC system installer must be trained and certified and special inspectors employed by the enforcing agency must be qualified.

- ### PLANNING CONDITIONS
- PD008(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT
If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - planning and a qualified archaeologist (i.e., an archaeologist registered with the register of professional archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
- PD010(A) - LIGHTING - EXTERIOR LIGHTING PLAN
All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 part 6. The exterior lighting plan shall be subject to approval by the director of RMA - Planning, prior to the issuance of building permits. (RMA - PLANNING)

- ### CONTRACTOR NOTES
- Gas-lin certificates shall be copied to the building department.
 - At time of final inspection provide installation, operation and maintenance guides/manuals for all equipment and appliances including vacuum veneer mowers, fireplace insert, and chimney fire acceptance to the enforcing agency shall be provided to the owner.
 - All construction shall be in accordance with soils investigations by Soil Surveys Group, Inc., project # 2992-2, dated 7-27-2023.
 - Contractor to provide two copies completed & signed of the CFER-LEG-01-E form (where applicable) to the owner & field inspector prior to receiving the final.

- ### BUILDING DEPARTMENT NOTES
- No person may tap into any fire hydrant other than the suppression or emergency aid, without first obtaining written approval from the water purveyor supplying water to the hydrant and from the Monterey County Health Department.
 - All hoses used in connection with any construction activities shall be equipped with a nozzle shut-off. When an automatic shut-off nozzle can be purchased or otherwise obtained for the size or type of hose in use, the nozzle shall be an automatic shut-off nozzle.
 - No potable water may be used for compaction or dust control purposes in construction activities where there is a reasonably available source of reclaimed or other sub-potable water approved by the Monterey County Health Department and appropriate for such use.
 - The use of solvents containing more than 2/10ths of 1% lead in making joints on private or public water supply systems is prohibited (SB 164).
 - Provide non-removable backflow devices at all backflows.

- ### DEFERRED APPROVALS / SPECIAL INSPECTIONS
- GAS LINE - Contractor to submit gas line sizing for county & utility approval before inspection.
 - FIRE SPRINKLERS - Plans for the sprinkler system (NFP13-D system) must be submitted & approved by local fire jurisdiction prior to installation.
 - Contractor shall schedule the geotechnical engineer to inspect and approve foundation excavations prior to requesting a building foundation inspection.
 - Show wall nailing 'r' - See structural drawings for locations.
 - PHOTOGRAPHIC SYSTEM - To be submitted by installer for approval prior to installation.



SEE CIVIL SHEETS C1-C7 FOR GRADING, EROSION & SEDIMENT CONTROL, AND CONSTRUCTION MANAGEMENT PLAN

PARTIAL SITE PLAN
1" = 16'-0"

SEE SITE PLAN FOR EXTERIOR LIGHT LOCATIONS

MOUNT VERNON LED

OLDE BRONZE® FINISH OVER SOLID BRASS WITH ETCHED SEEDY GLASS

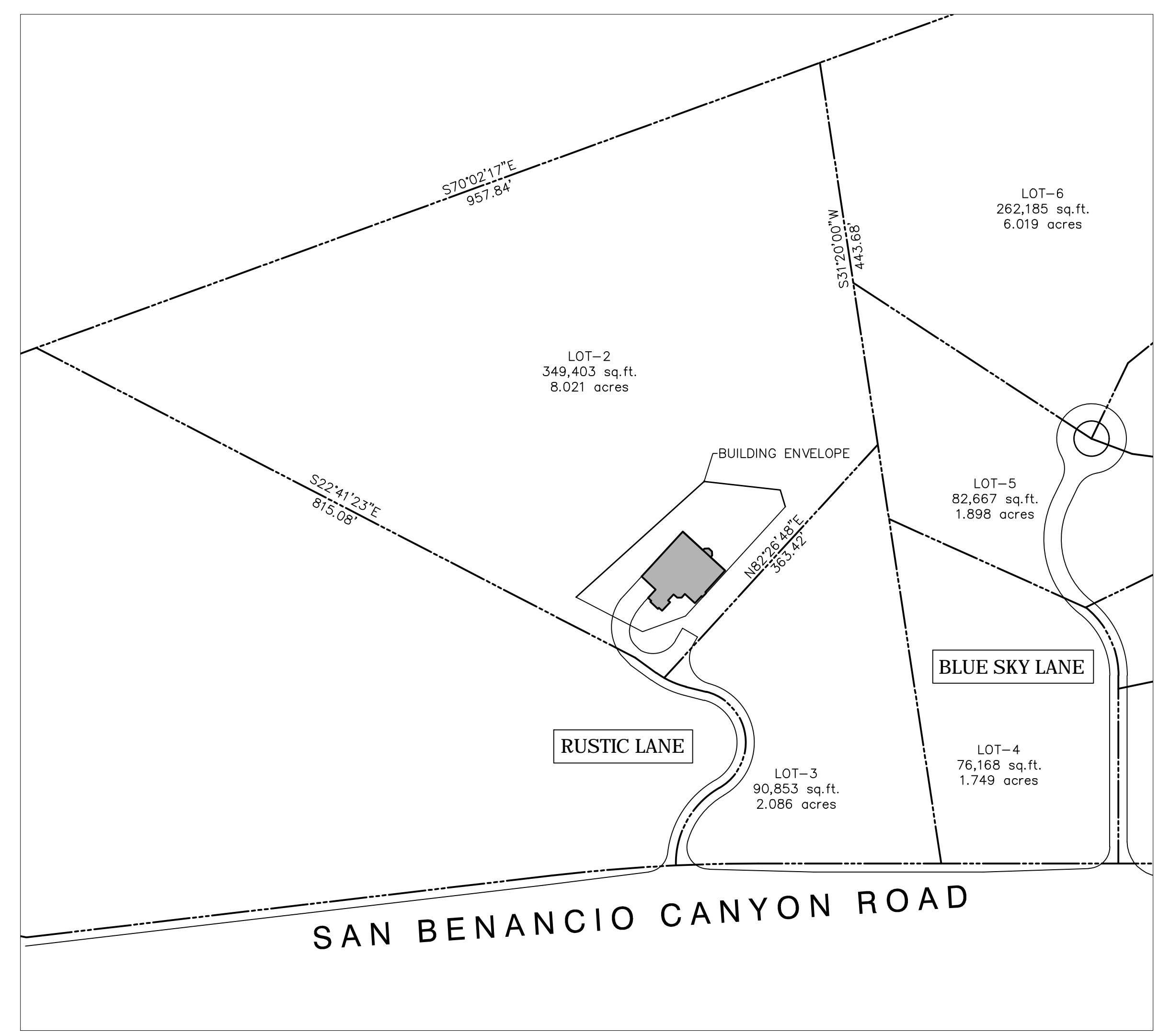


ITEM #	FINISH	LIGHT SOURCE	W	H	OVRLL H	EXTRA WIRE	CHAIN/STEM	EXT.	HGWO
B	9708 OZLED	OZ	9W	7.5	16.75	---	---	8.25	6.75
D	9709 OZLED	OZ	9W	9.5	19.5	---	---	10.25	7.25
A	9707 OZLED	OZ	9W	5.75	12.5	---	---	6.25	5.25
C	9809 OZLED	OZ	9W	9.5	18.5	93	28	72	---
E	9909 OZLED	OZ	9W	9.5	20.75	---	---	---	---

LED OUTPUT

9707 OZLED	: 584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life
9708 OZLED	: 584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life
9709 OZLED	: 584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life
9809 OZLED	: 584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life
9909 OZLED	: 584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life

Measurements shown in inches.



PROJECT NAME:
OAKS, LOT 2

24315 RUSTIC LANE
SALINAS, CA.
93908

APN: 161-013-013
JOB NUMBER: 2305

John Moore

MOORE DESIGN Inc.
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

550 FIGUEROA STREET, SUITE B
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	1-18-2024
BLDG SUBMIT	2-29-2024
PC#1	3-20-2024

PRINT DATE: 5/23/2024

MEMBER

A | B | D

AMERICAN INSTITUTE of BUILDING DESIGN

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Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:
SITE PLANS

SHEET NUMBER:
A1.1

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

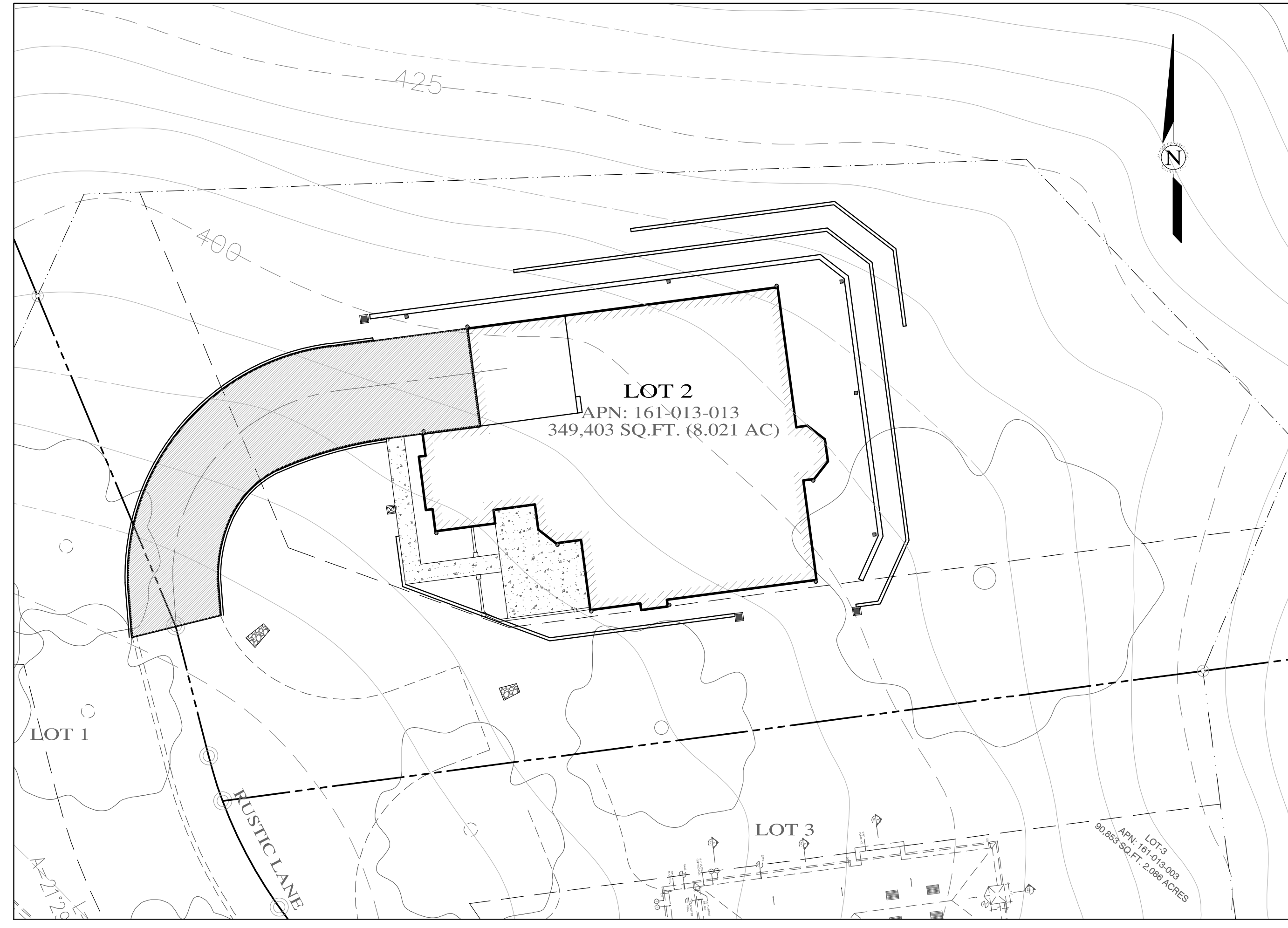
THE OAKS, LOT 2 RESIDENCE

APN: 161-013-013

SALINAS, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1"=20'

LEGEND:

- NEW:**
- MAJOR CONTOUR LINE (5' INTERVAL)
 - - - MINOR CONTOUR LINE (1' INTERVAL)
 - >->- DRAINAGE SWALE FLOW LINE
 - STORM DRAIN LINE
 - RAIN-WATER LEADER
 - SUBD- SUBDRAIN PIPE
 - SPOT ELEVATION
 - ROOF DOWNSPOUT/SPLASH BLOCK
 - ▨ ASPHALT CONCRETE SURFACE
 - ▩ PORTLAND CEMENT CONCRETE SURFACE
 - ▧ MAIN FLOOR HOUSE FOOTPRINT
 - ▤ ROCK RIP/RAP

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and cleaning	Soil's Engineer	Beginning of Project		
Subexcavation, fill placement, and compaction	Soil's Engineer	Throughout grading operations		
Foundation Excavations	Soil's Engineer	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	Soil's Engineer	Prior to trench backfill		
Utility trench compaction	Soil's Engineer	During backfill operations		
Retaining wall backfill compaction	Soil's Engineer	During backfill operations		
Baseroack subgrade compaction	Soil's Engineer	Prior to pavement installation		

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE OAKS LOT 2 RESIDENCE PREPARED BY MOORE DESIGN, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 2,230 C.Y. OF CUT AND 350 C.Y. OF FILL WITH AN EXPORT OF 1,880 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANNER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET, IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS AND CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASIN AND DISCHARGED TO AN EROSION CONTROL AND ENERGY DISSIPATOR. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAINS AND DRAINAGE SWALES OUTLETTING ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN.
- SUBSURFACE DRAINAGE FOR RETAINING WALLS WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.

- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASIN SHALL BE "CHRISTY" PRODUCTS V64 WITH CAST IRON GRATE OR APPROVED EQUAL. AREA DRAINS SHALL BE "NDS" PRODUCTS ROUND SPEE-D WITH 8" SQUARE GRATE OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

STORM WATER CONTROL NOTES:

- ALL WORK SHALL BE IN COMPLIANCE WITH THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, RESOLUTION No. R3-2013-0032, ATTACHMENT 1.
- THIS PROJECT WILL CREATE AND/OR REPLACE 7,529 SQ.FT. OF IMPERVIOUS SURFACES (COLLECTIVELY OVER THE ENTIRE PROJECT).
- PER POST-CONSTRUCTION REQUIREMENTS RESOLUTION R3-2013-0032, CHAPTER B, THIS PROJECT IS A REGULATED PROJECT PERFORMANCE REQUIREMENT No. 1 -SITE DESIGN AND RUNOFF REDUCTION.
- SEE SHEET C5 FOR HCD SITE DESIGN AND RUNOFF REDUCTION CHECKLIST.

TOTAL LOT AREA = 349,403 SQ.FT.
TOTAL IMPERVIOUS AREA = 7,529 SQ.FT.
TOTAL AREA OF DISTURBANCE = 15,905 SQ.FT.

DEVELOPMENT IN AREAS WITH SLOPE
EQUAL TO OR GREATER THAN 25% = 2,774 SQ.FT.

GRADING QUANTITIES:
CUT = 2,230 C.Y.
FILL = 350 C.Y.
NET = 1,880 C.Y. EXPORT

ABBREVIATIONS:

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	(N)	NUMBER
B/C	BUILDING	NO.	NOT TO SCALE
BRDY	BOUNDARY	NTS	NOT TO SCALE
BOT	BOTTOM	D.C.	ON CENTER
CB	CATCH BASIN	PL, P/L	PROPERTY LINE
CL	CENTERLINE	PUE	PUBLIC UTILITIES EASEMENT
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
DI	DRAIN INLET	R/RAD	RADIUS
DW	DRIVEWAY	R/W	RIGHT OF WAY
ELEV	ELEVATION	R.C.	RELATIVE COMPACTION
EX (E)	EDGE OF PAVEMENT	RCP	REINFORCED CONCRETE PIPE
EX	EXISTING	REL	RELATIVE
FD	FACE OF DIKE	RET WALL	RETAINING WALL
FF	FINISHED FLOOR	SD	STORM DRAIN
FG	FINISHED GRADE	SHO	SHOULDER
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FR	FIRE HYDRANT	SS LAT	SANITARY SEWER LATERAL
FL	FACE OF CURB	SSMH	SANITARY SEWER MANHOLE
FL F/L	FLOW LINE	STA	STATION
FP	FINISHED PAD	S/W	SIDEWALK
FW	FACE OF WALL	TC 1/C	TOP OF CURB
GB	GRADE BREAK	TD	TOP OF DIKE
GR	GRATE	TW	TOP OF WALL
HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
HP	HIGH POINT	UP	UTILITY POLE
LF	LINEAR FEET	W	WATER
LP	LOW POINT	WS	WATER SERVICE
MAX	MAXIMUM		

INDEX TO SHEETS

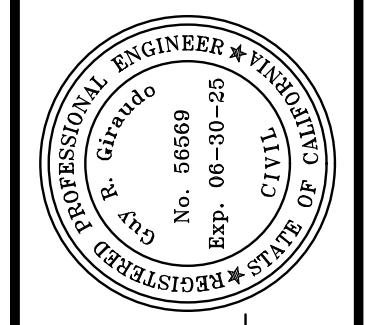
- SHEET C1 COVER SHEET
- SHEET C2 TOPOGRAPHIC MAP/EXISTING CONDITIONS
- SHEET C3 GRADING, DRAINAGE & UTILITY PLAN
- SHEET C4 GRADING SECTIONS
- SHEET C5 STANDARD PLANS & CONSTRUCTION DETAILS
- SHEET C6 EROSION & SEDIMENT CONTROL PLAN
- SHEET C7 CONSTRUCTION MANAGEMENT PLAN

CONTACT INFORMATION:

PRIMARY: OWNER
MR. RAY HARROD, JR.
365 VICTOR STREET
SALINAS, CA 93907

SECONDARY: ARCHITECT
MOORE DESIGN
ATTN: MR. JOHN MOORE
550 FIGUEROA ST. SUITE B
MONTEREY, CA 93940
PH (851)642-9752

SITE LOCATION:
24315 RUSTIC LANE
SALINAS, CA 93908



APPROVED BY:
GUY R. GIRARDI
PROFESSIONAL ENGINEER



GRADING, DRAINAGE & EROSION CONTROL PLAN

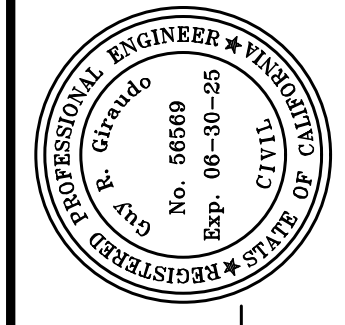
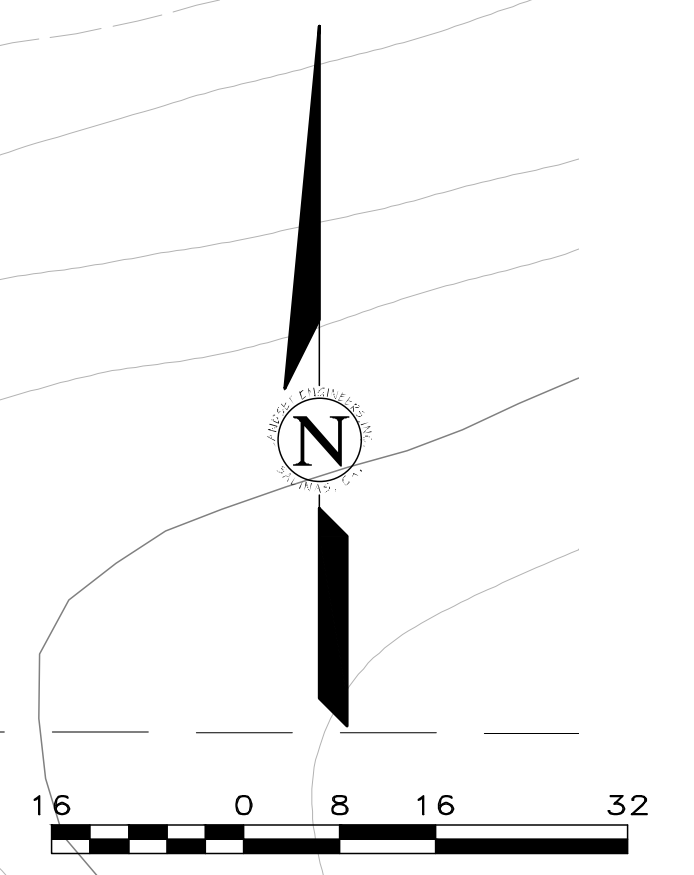
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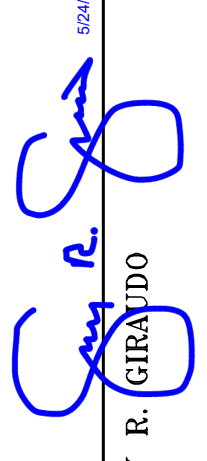
THE OAKS, LOT 2 RESIDENCE
A.P.N.: 161-013-013
SALINAS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. RAY HARROD, JR.

SCALE: AS SHOWN
DATE: SEPTEMBER 2023
JOB NO. 2638-01

No.	DATE	BY	REVISION
05/24/24	AMS	MO.CO.	HCD REVIEW COMMENTS
05/07/24	AMS		TOP OF WALL ELEVATIONS
09/08/23	AMS		RELEASED TO CLIENT

SHEET **C1**
OF 7 SHEETS



APPROVED BY:

 GUY R. GIRA/P.D.O.



" TOPOGRAPHIC MAP/EXISTING CONDITIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

THE OAKS, LOT 2 RESIDENCE

A.P.N.: 161-013-013

SALINAS, MONTEREY COUNTY, CALIFORNIA

FOR

MR. RAY HARROD, JR.

SCALE: 1"=16'

DATE: SEPTEMBER 2023

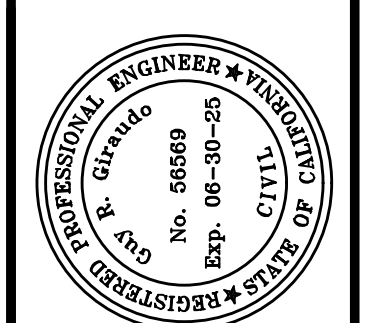
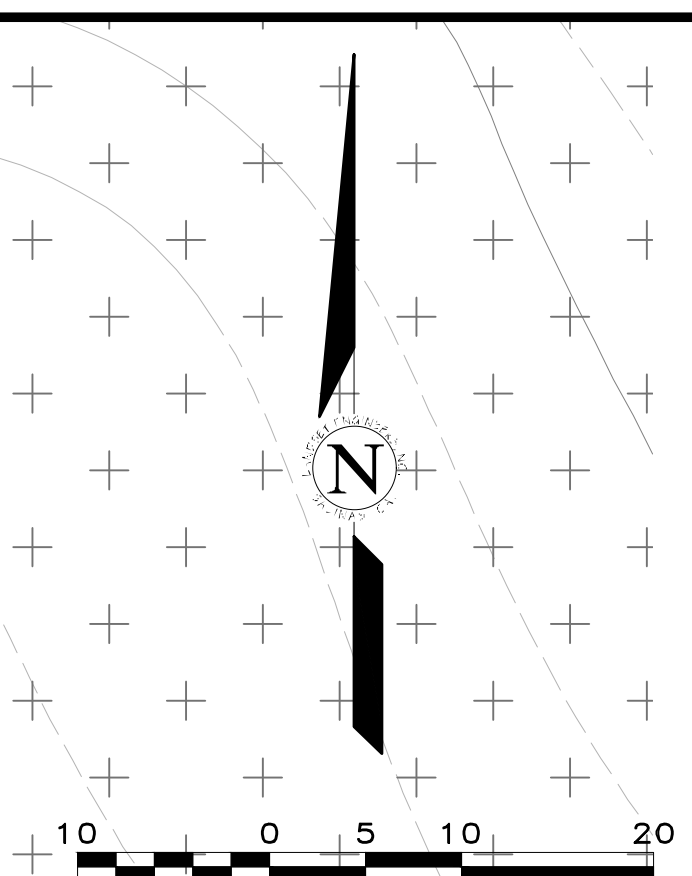
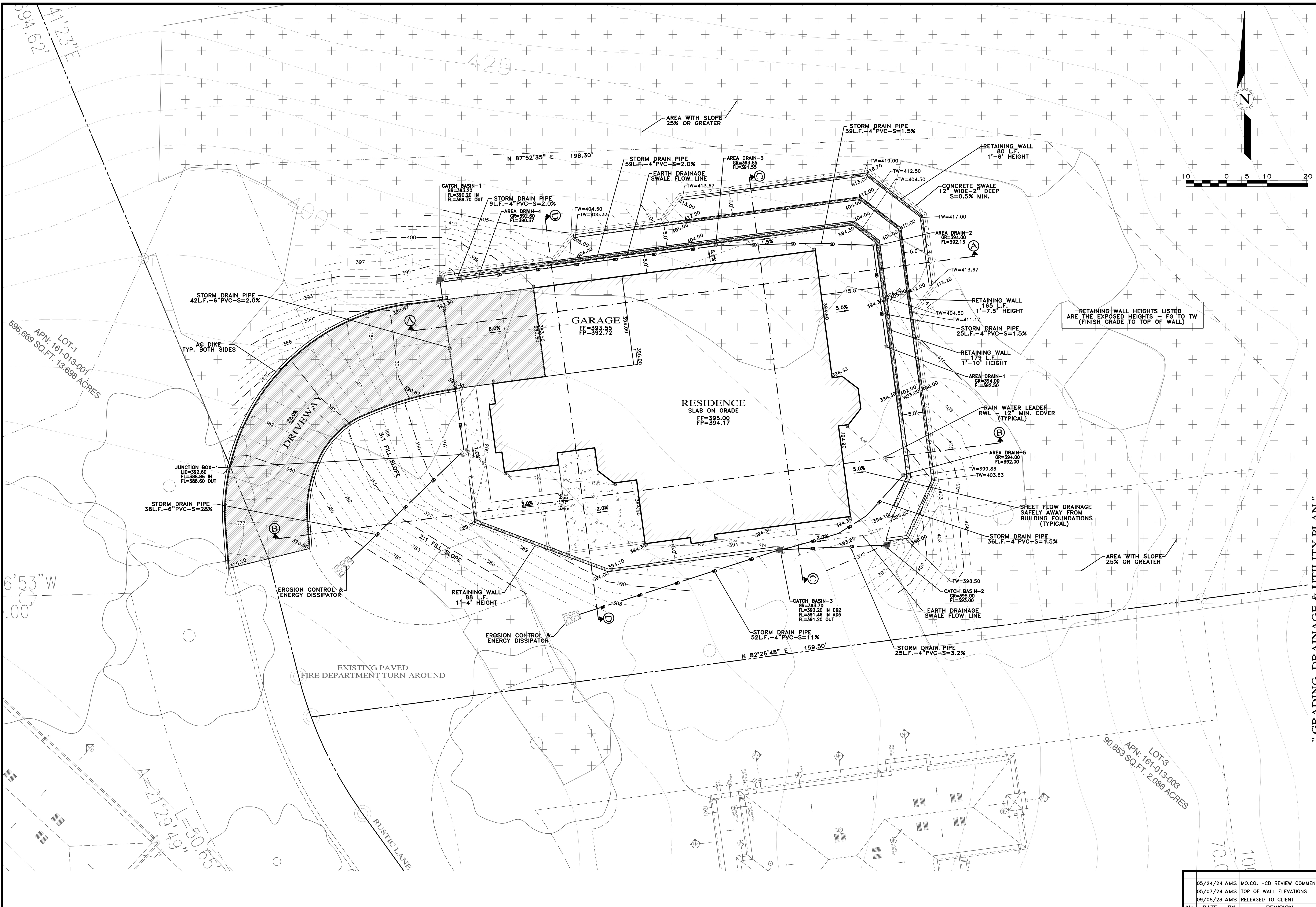
JOB NO. 2638-01

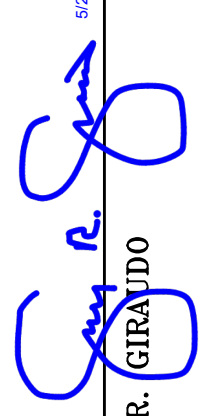
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No.	DATE	BY	REVISION
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05/07/24	AMS		TOP OF WALL ELEVATIONS
09/08/23	AMS		RELEASED TO CLIENT

SHEET **C2**

OF 7 SHEETS



APPROVED BY:

 GUY R. GIRARDO



" GRADING, DRAINAGE & UTILITY PLAN "

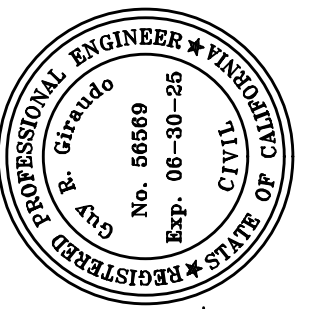
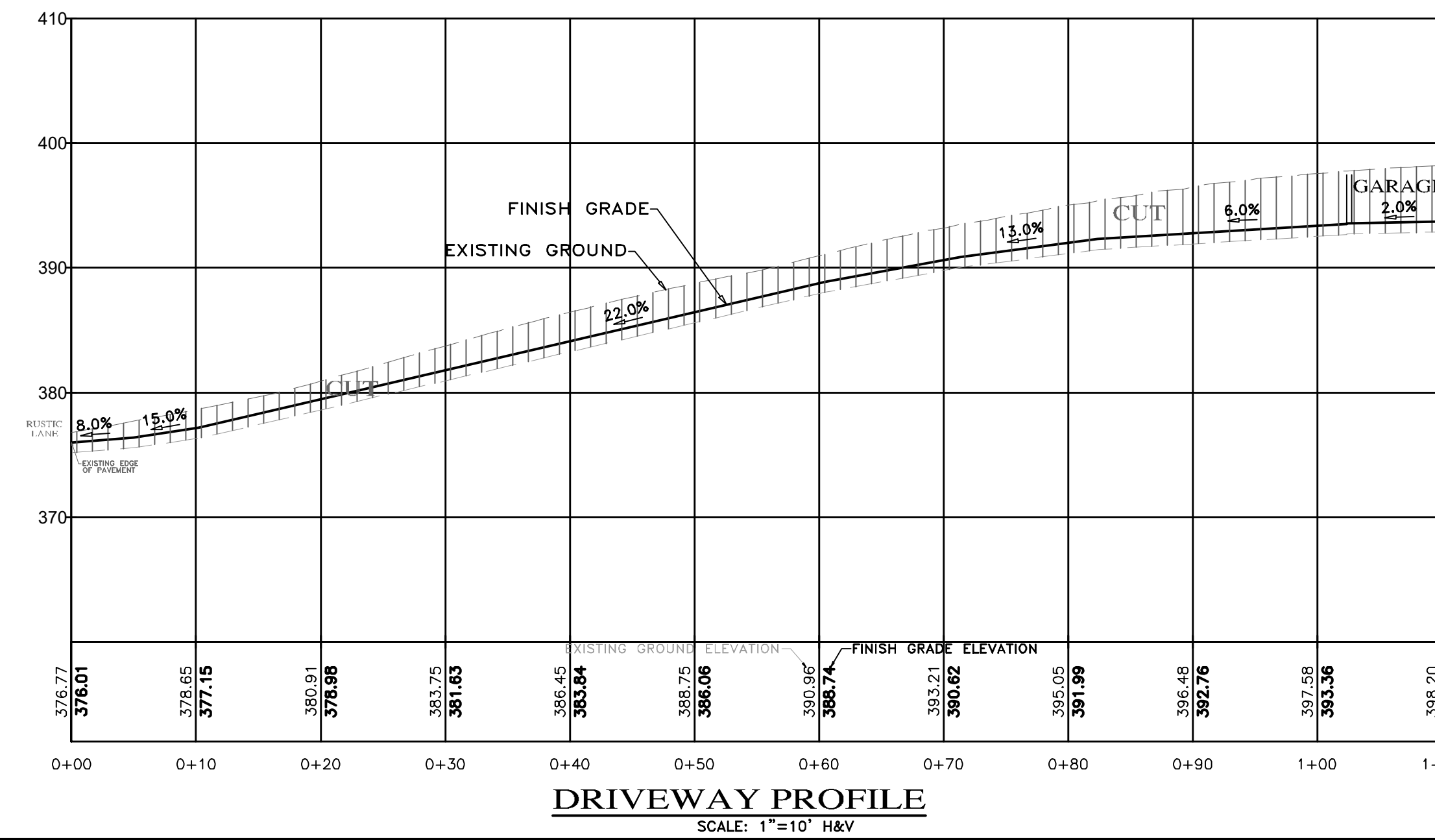
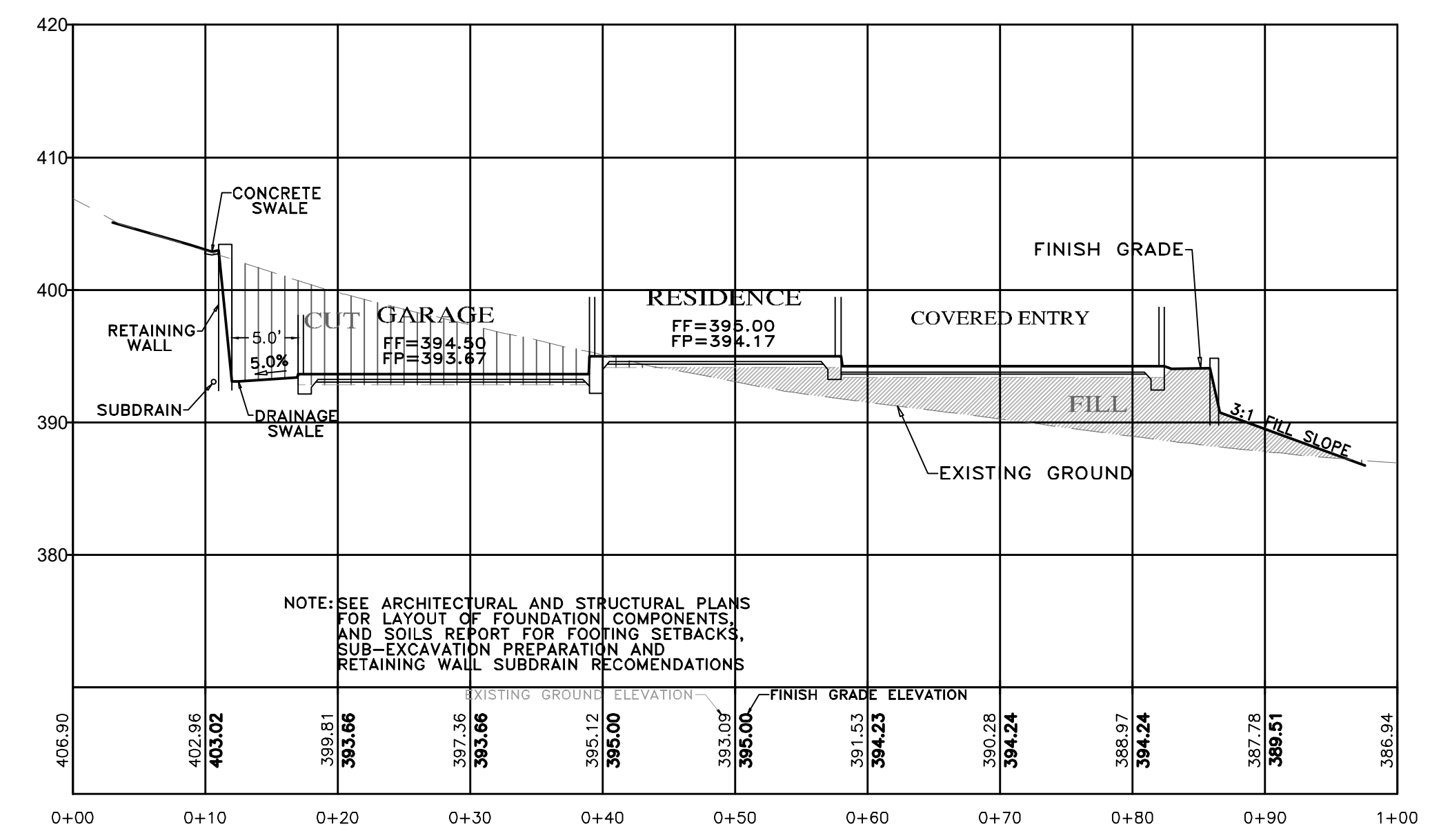
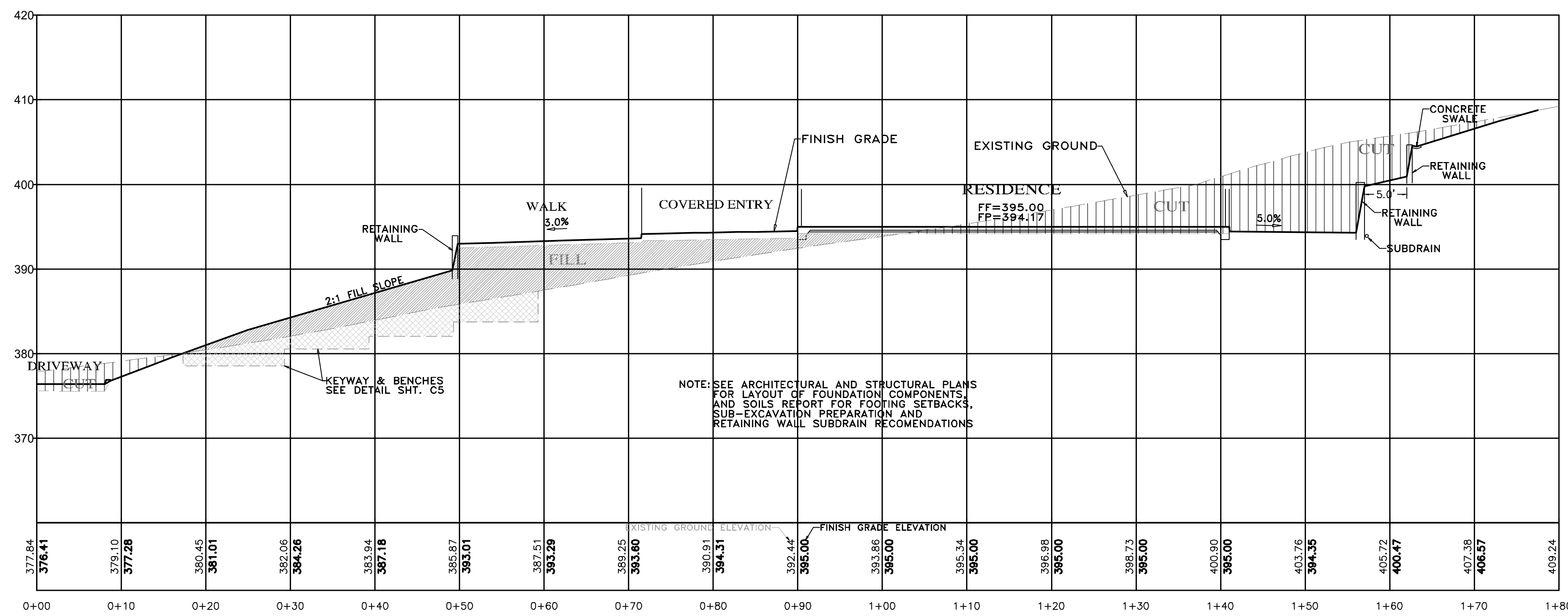
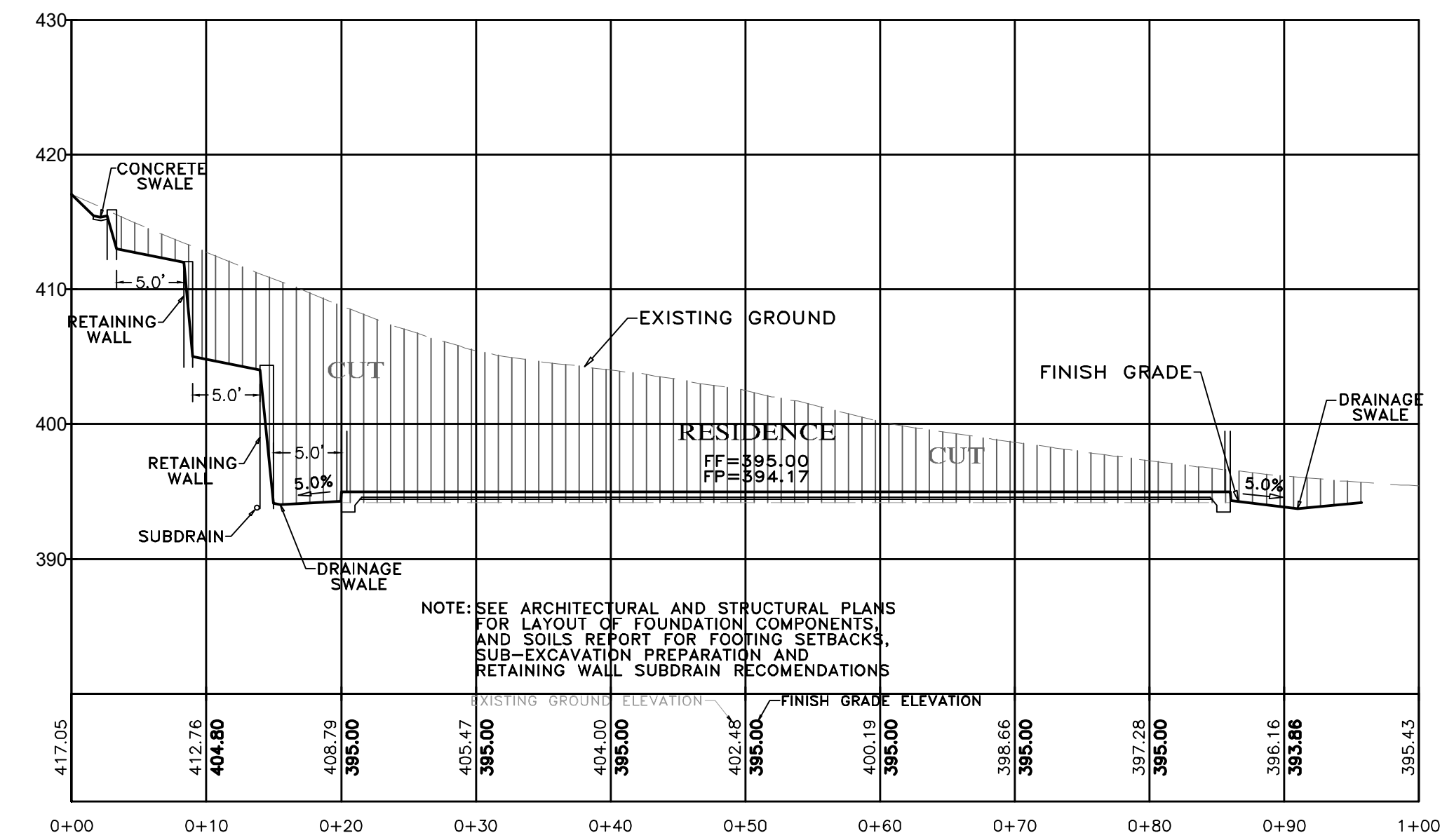
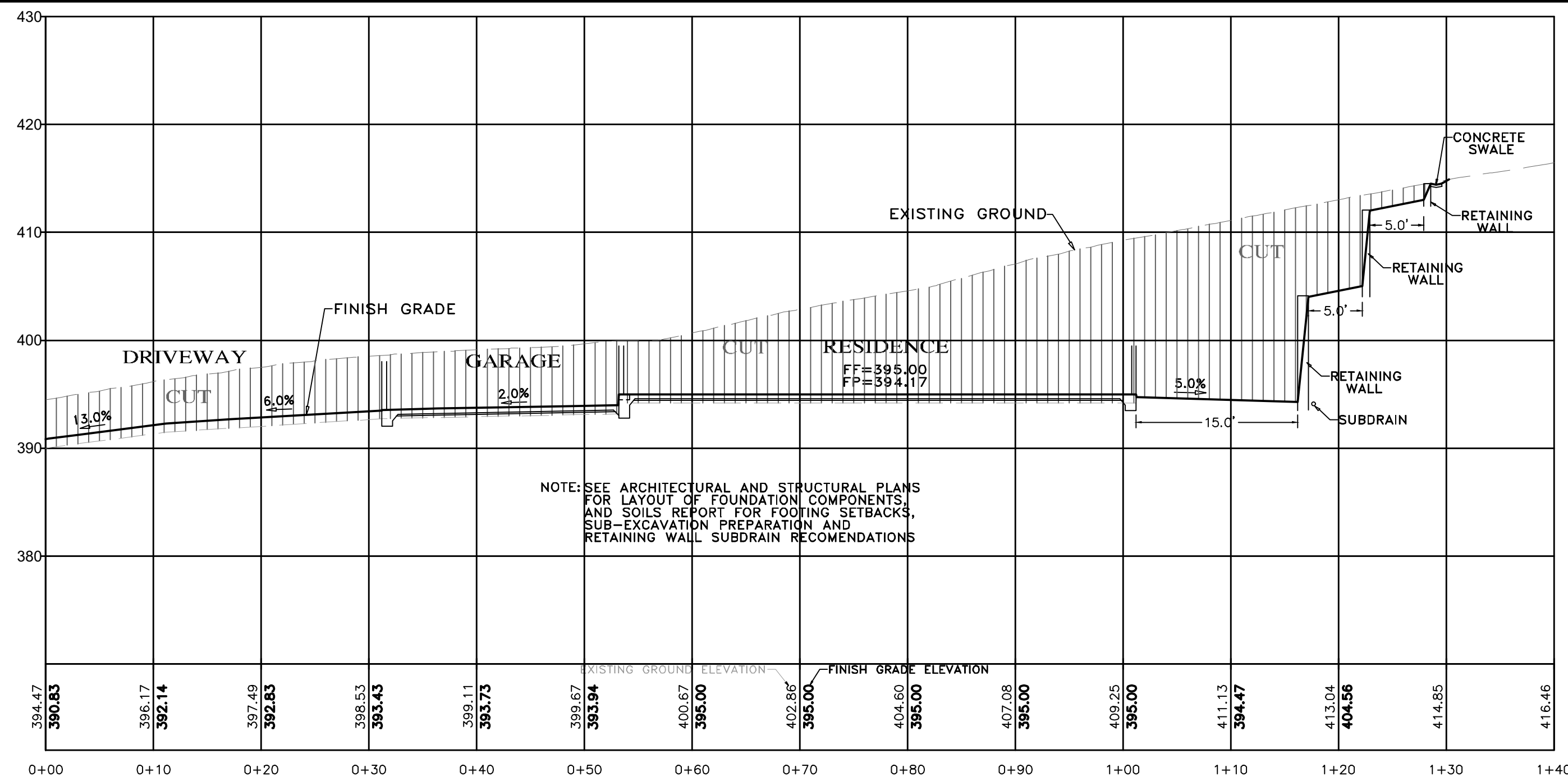
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
THE OAKS, LOT 2 RESIDENCE
 A.P.N.: 161-013-013
 SALINAS, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. RAY HARROD, JR.

SCALE: 1"=10'
 DATE: SEPTEMBER 2023
 JOB NO. 2638-01

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05/07/24	AMS		TOP OF WALL ELEVATIONS
09/08/23	AMS		RELEASED TO CLIENT

SHEET **C3**
 OF 7 SHEETS

L:\PROJ\4638-THE OAKS LA\4638-CIVIL\DWG\4638-CDS\CP.DWG/24436.C3



APPROVED BY:
GUY R. GIRARDO



" GRADING SECTIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
THE OAKS, LOT 2 RESIDENCE
A.P.N.: 161-013-013
FOR
SALINAS, MONTEREY COUNTY, CALIFORNIA
MR. RAY HARKORD, JR.

SCALE: 1"=10' H&V
DATE: SEPTEMBER 2023
JOB NO. 2638-01

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09/08/23	AMS	RELEASED TO CLIENT	

SHEET C4
OF 7 SHEETS

LS\PROJ\2638-THE OAKS-LS-2638-CIVIL\DWG\2638-GDEC.PDWG\24-38C4



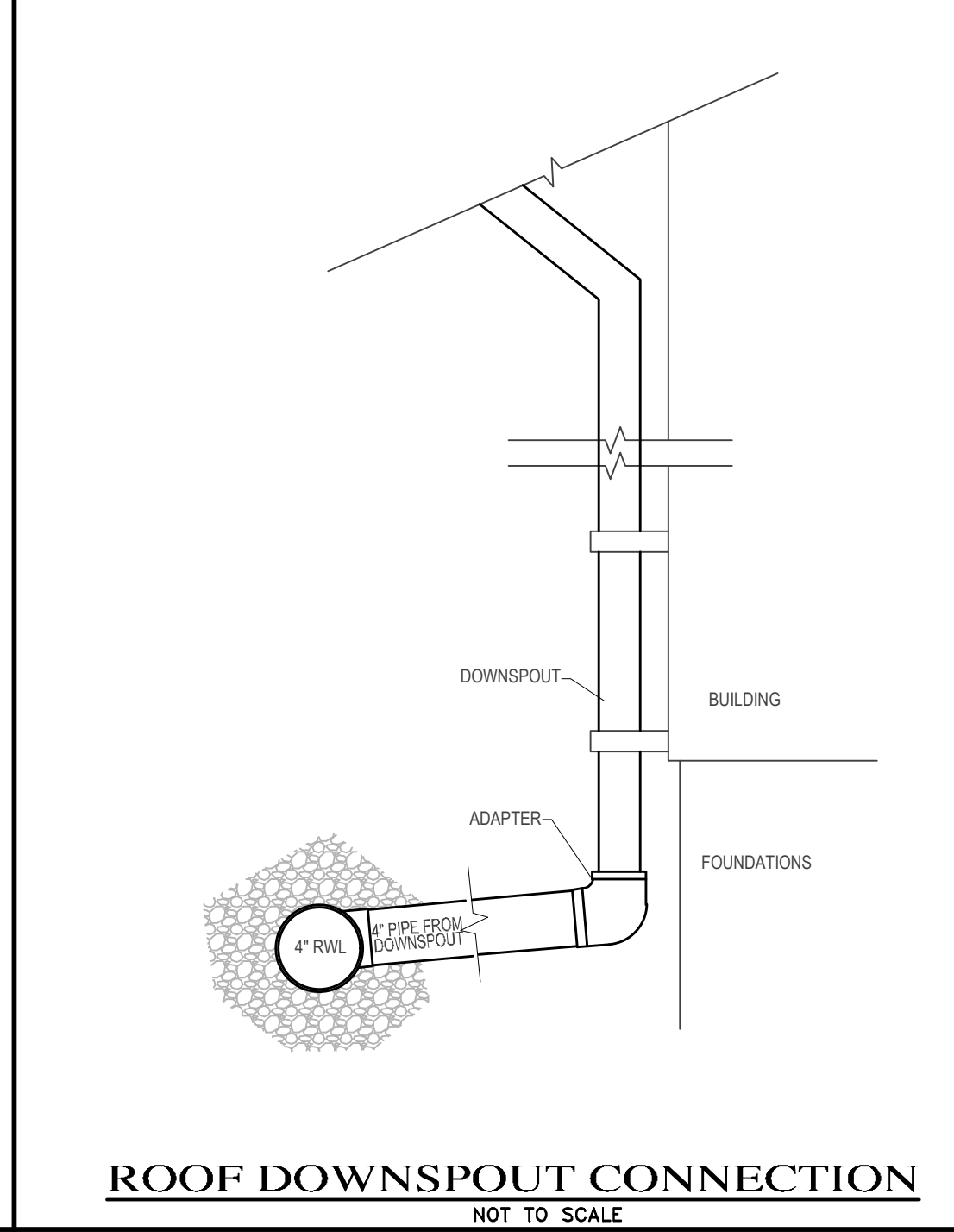
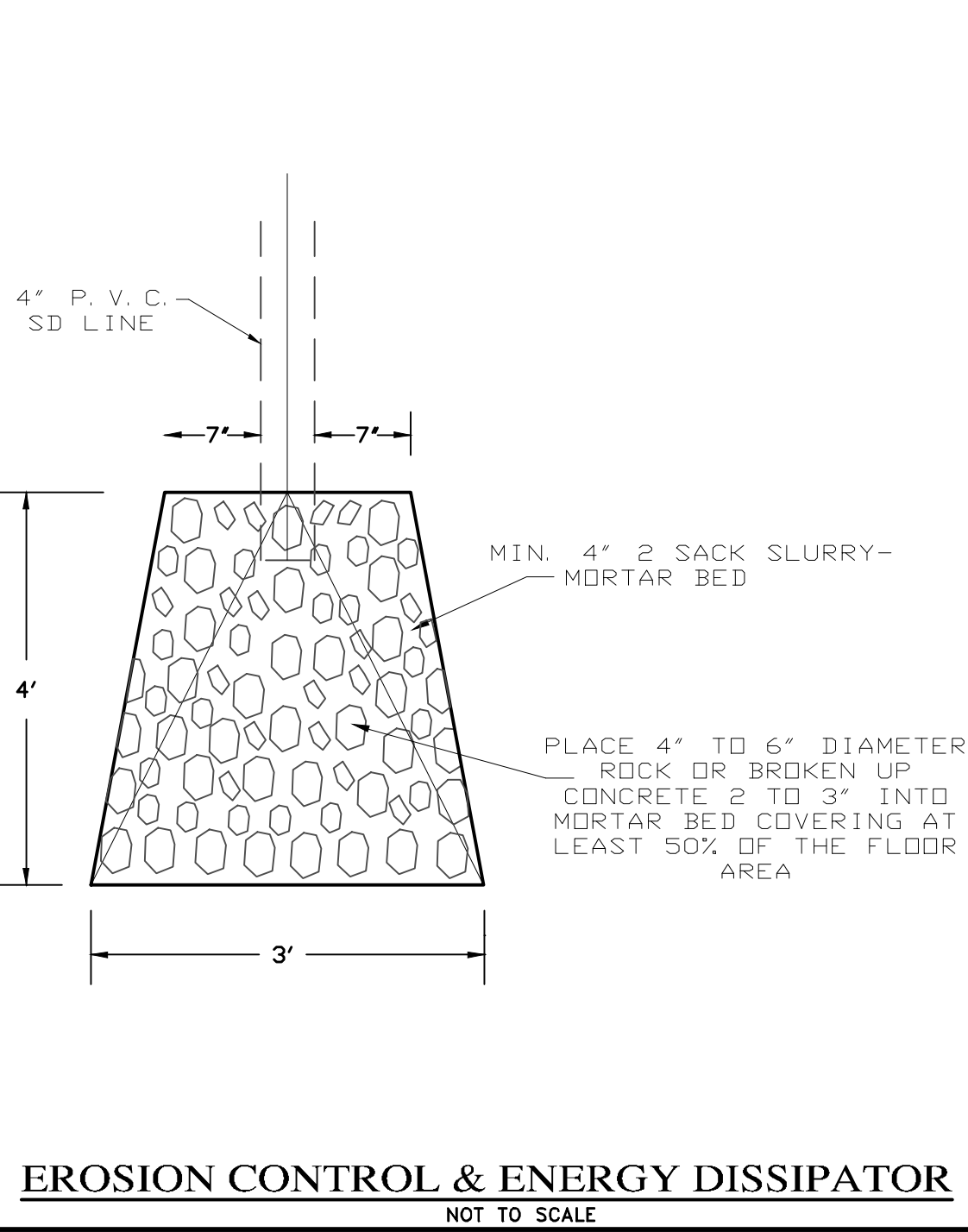
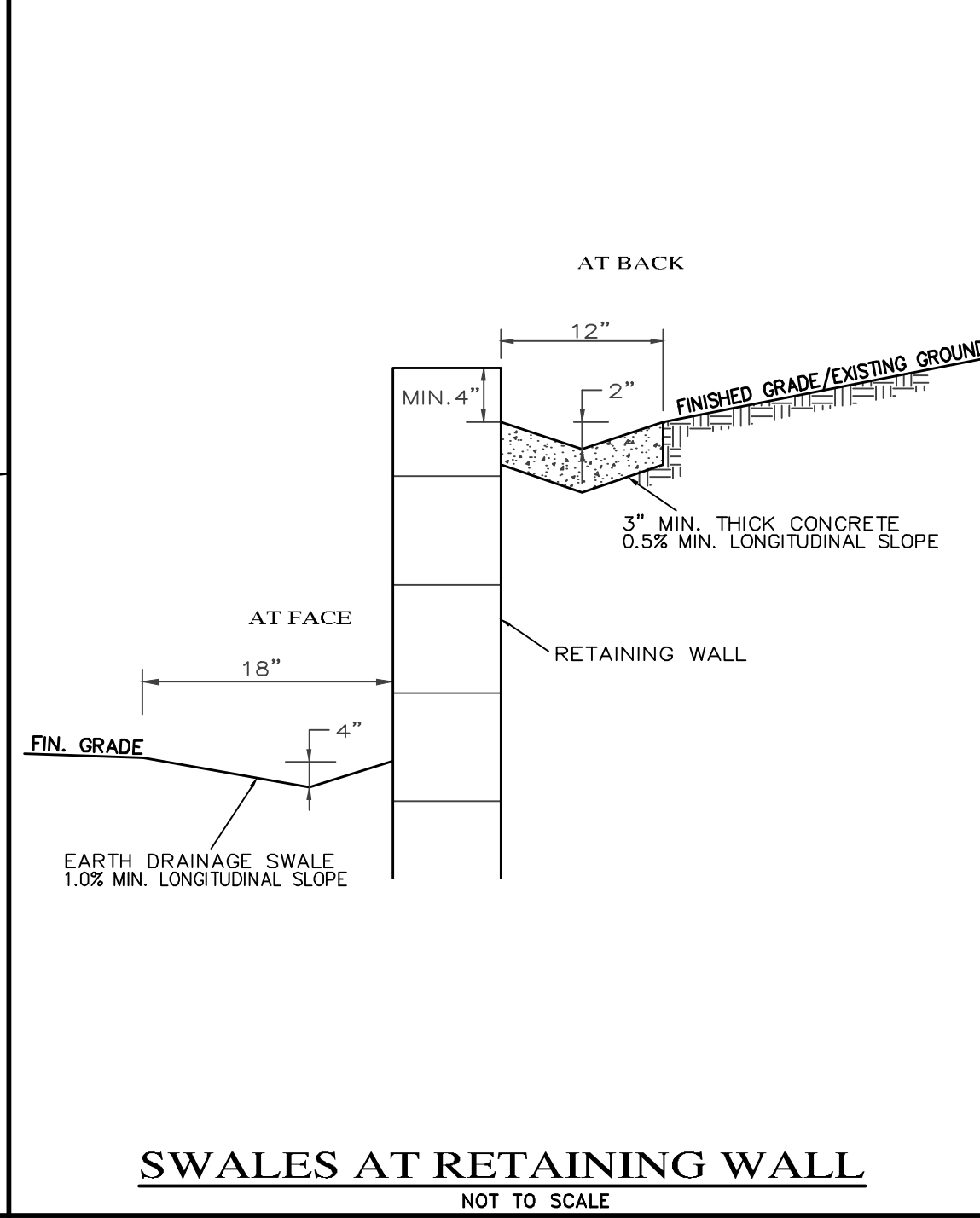
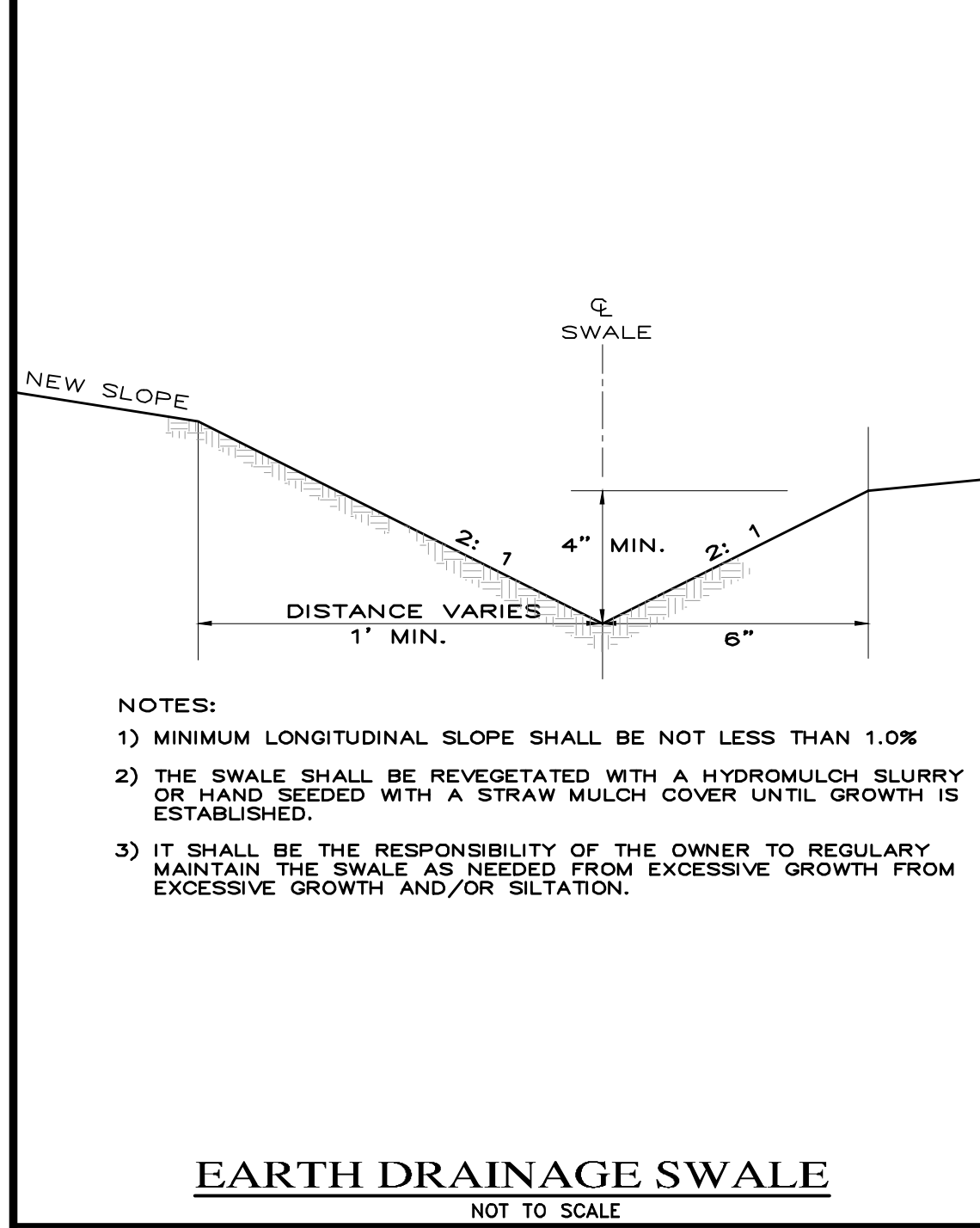
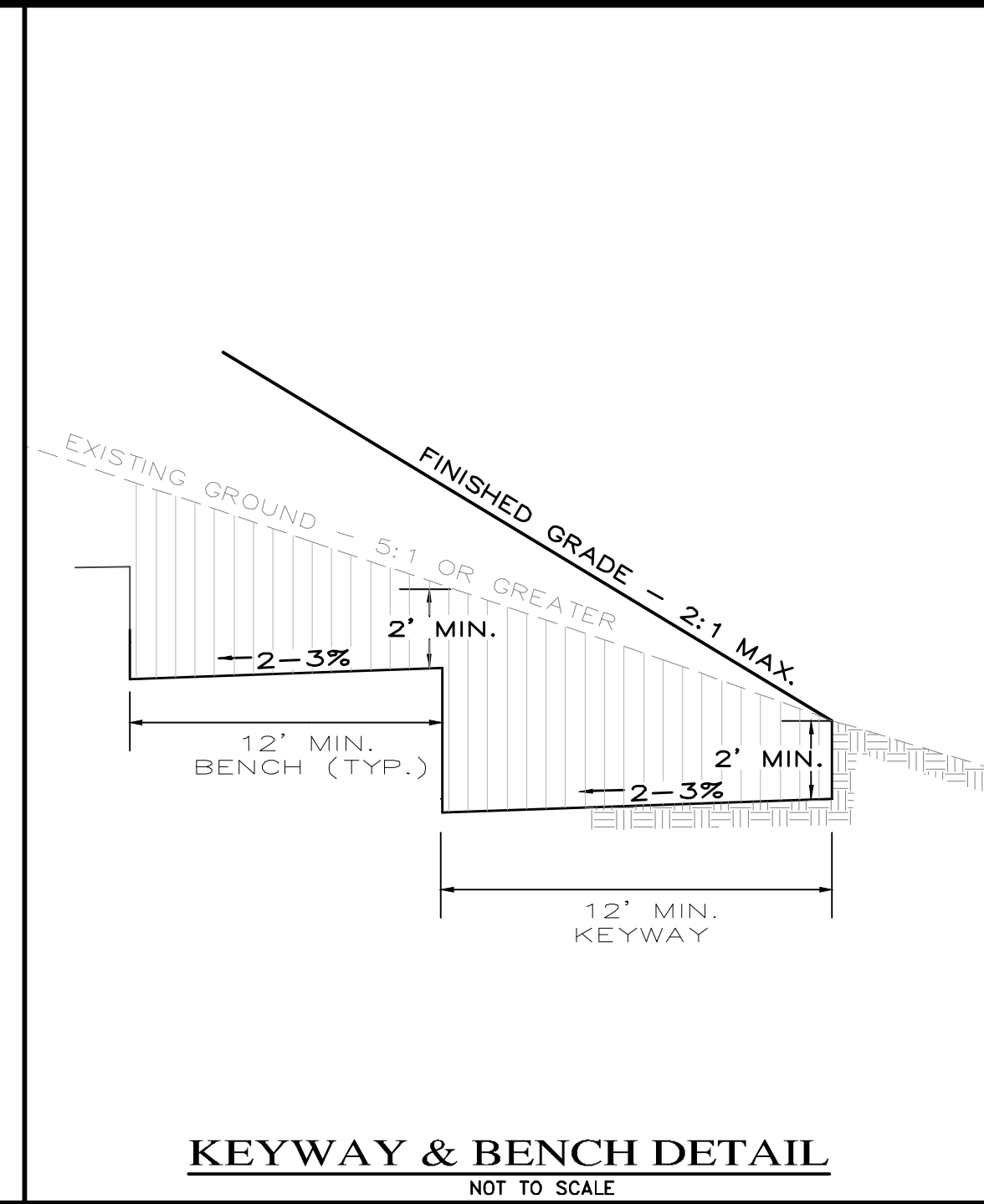
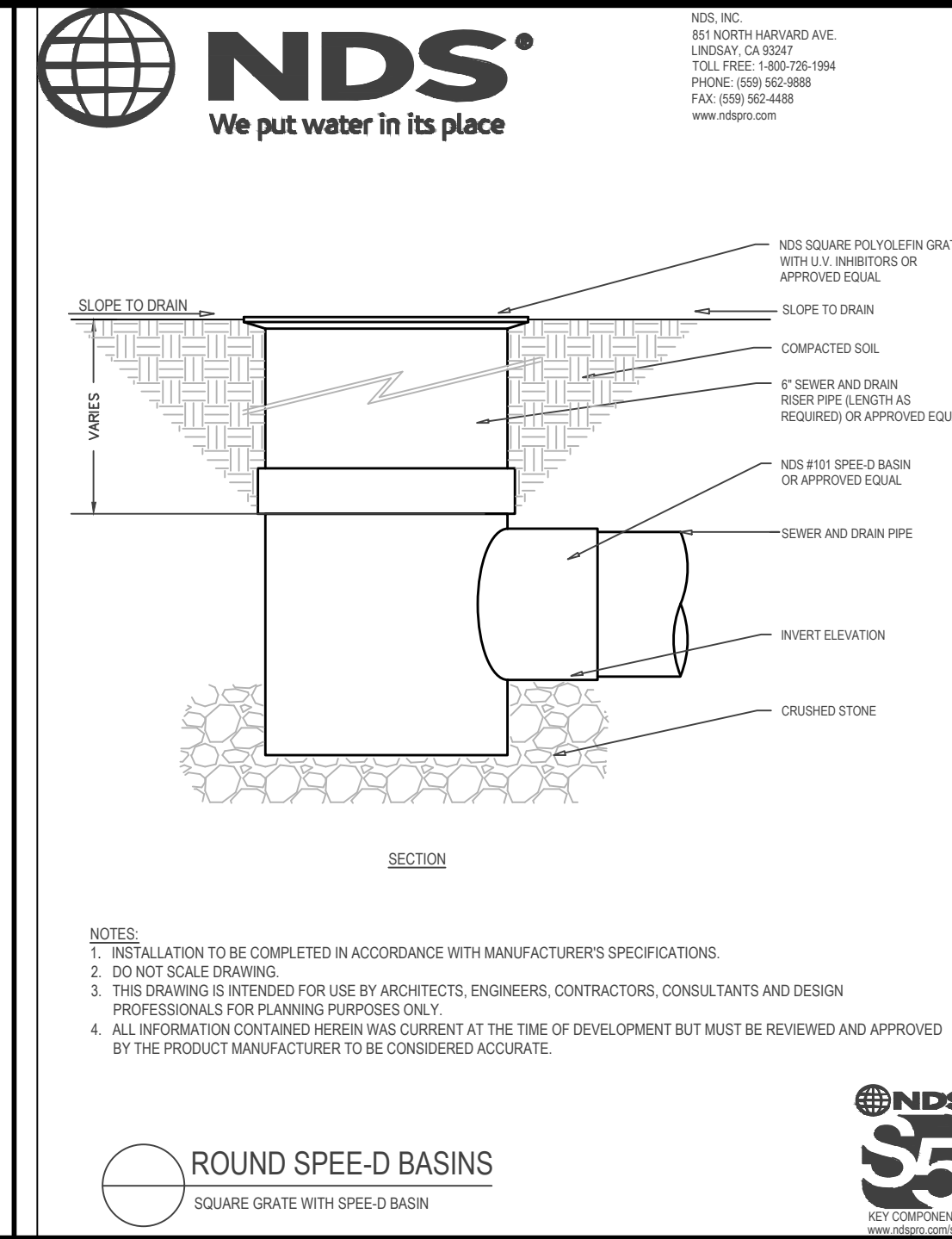
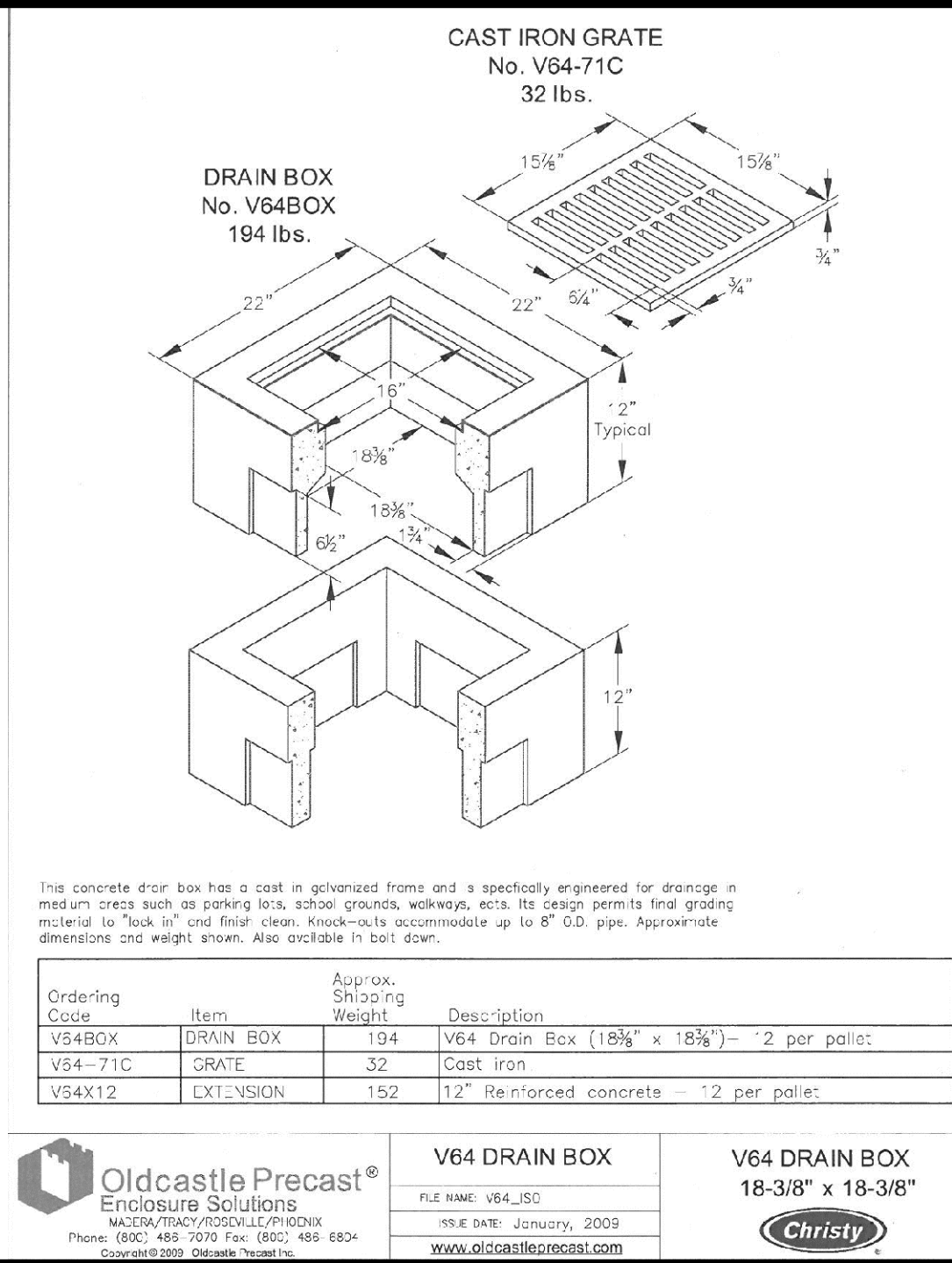
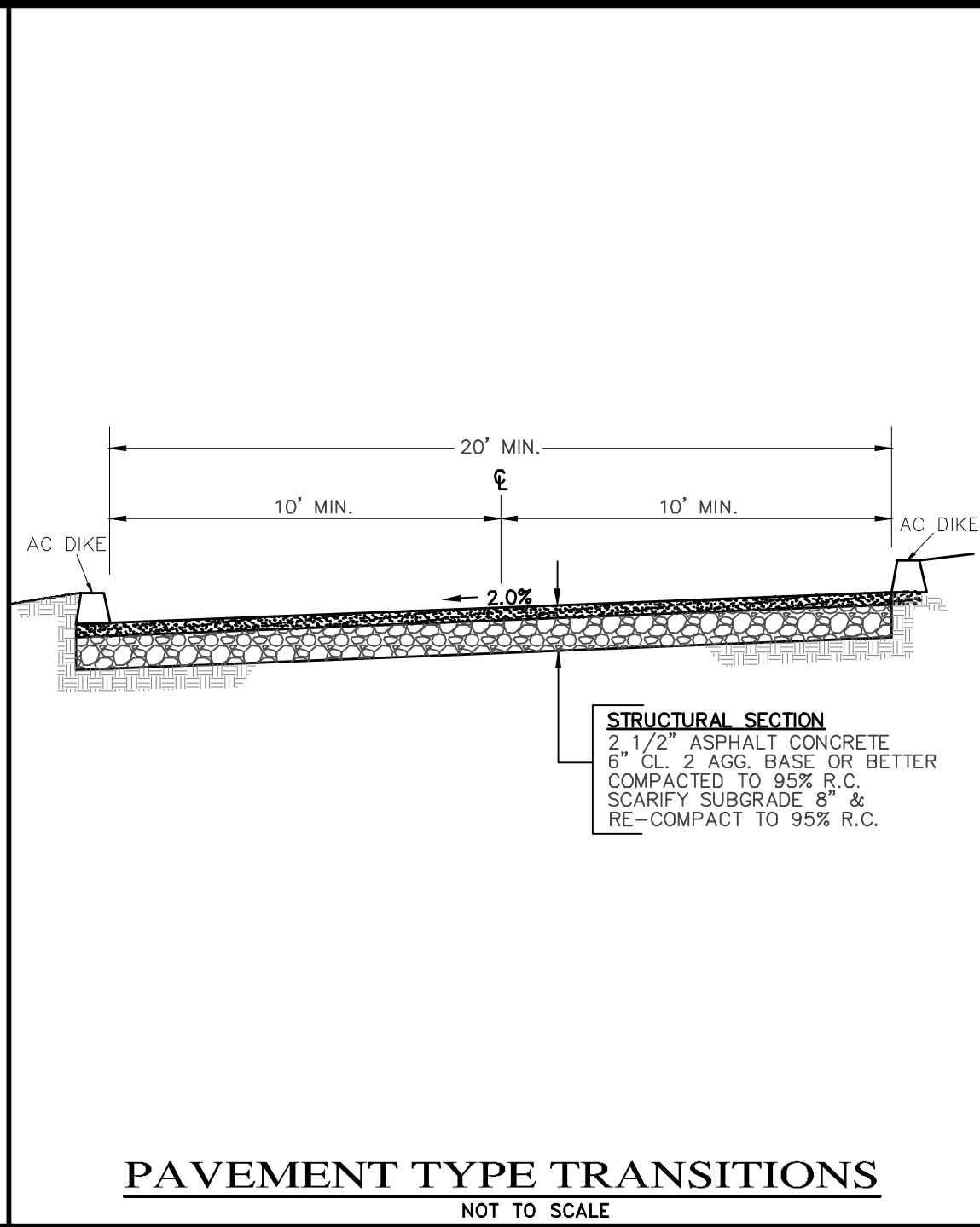
Site Design and Runoff Reduction Checklist

Site Design and Runoff Reduction
 Projects that create and/or replace > 2,500 square feet of impervious surface, collectively over the entire project site, including detached single-family home projects, shall implement all of the following design strategies in the design of the project:

- Implemented
- Limited disturbance of creeks and natural drainage features
 - Minimized compaction of highly permeable soils
 - Limited clearing and grading of native vegetation at the site to the minimum area needed to build the project, allow access, and provide fire protection
 - Minimized impervious surfaces by concentrating improvements on the least-sensitive portions of the site, while leaving the remaining land in a natural undisturbed state
- And must minimize stormwater runoff by implementing one or more of the following site design measures:

- Implemented
- Directed roof runoff into ditches or rain barrels for reuse
 - Directed roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - Directed runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - Directed runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - Constructed bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces

Property Owner/Agent Name: MR. RAY HARROD JR. Date Prepared: 05/24/24
 Property Owner/Agent Signature: _____ Permit File Number: _____



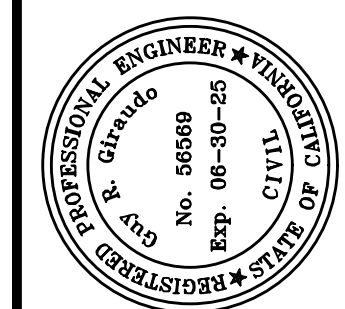
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APPROVED BY:
 GUY R. HARROD



" STANDARD PLANS & CONSTRUCTION DETAILS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
THE OAKS, LOT 2 RESIDENCE
 A.P.N.: 161-013-013
 FOR
 SALINAS, MONTEREY COUNTY, CALIFORNIA
 MR. RAY HARROD, JR.

SCALE: AS SHOWN	SHEET	C5	
DATE: SEPTEMBER 2023	OF	7 SHEETS	
JOB NO. 2638-01			
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PLAN
SCALE: 1"=20'

LEGEND:

- 1 FR FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 2 DI DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 3 SC STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- 4 CW CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- 5 SW SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- 6 SM STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- 7 SA CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 8 TRASH RECYCLE WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- 9 GB GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- 10 TP TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
- 11 SF SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATAE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

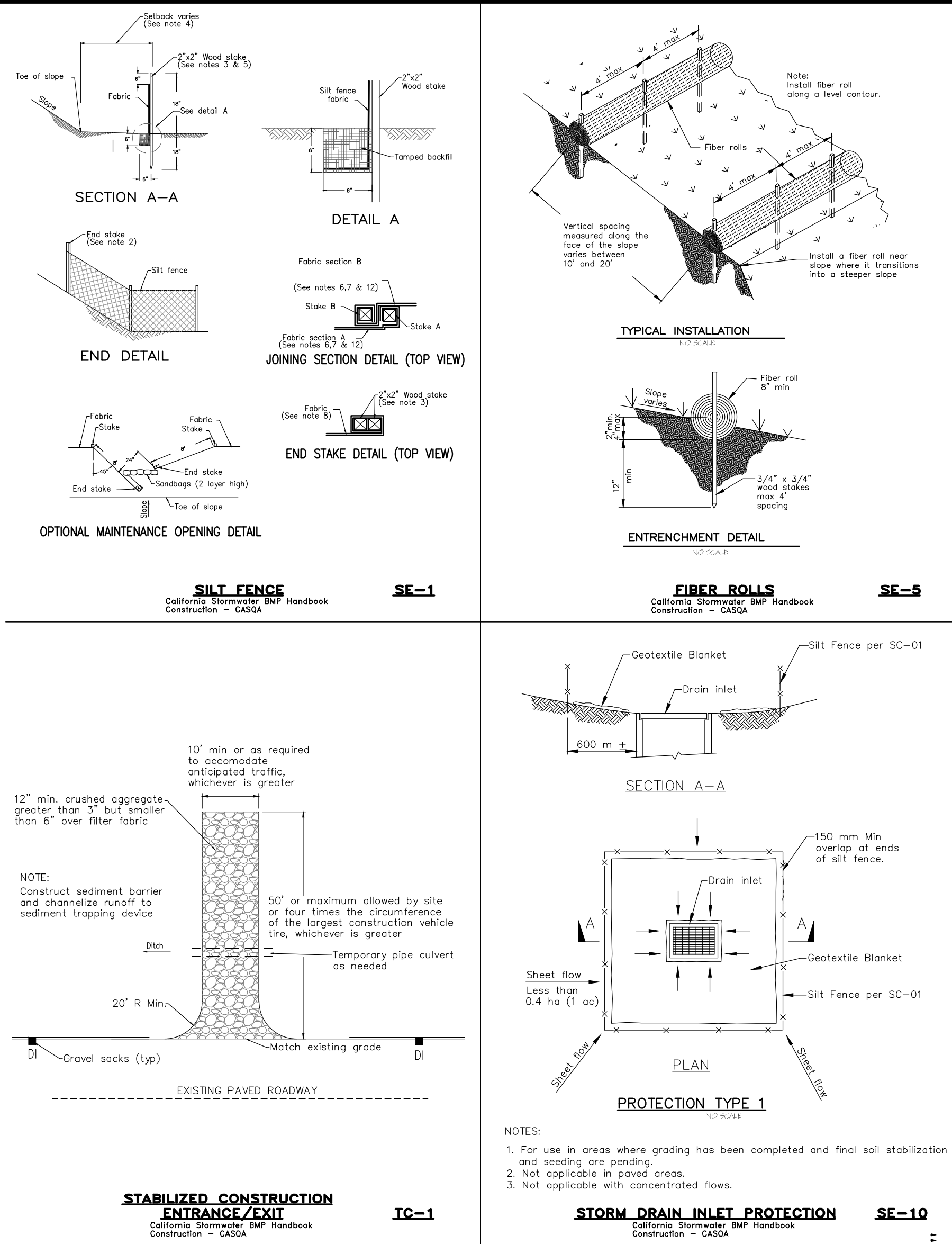


TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

Material Delivery and Storage WM-1

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Category
- ☑ Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Stockpile Management WM-3

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Category
- ☑ Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Solid Waste Management WM-5

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Objective
- ☑ Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Hazardous Waste Management WM-6

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Objective
- ☑ Secondary Objective

Targeted Constituents

- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Sanitary/Septic Waste Management WM-9

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Category
- ☑ Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Preservation Of Existing Vegetation EC-2

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- ☑ Primary Objective
- ☑ Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

APPROVED BY:

LANDSET ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

"EROSION & SEDIMENT CONTROL PLAN"

GRADING, DRAINAGE & EROSION CONTROL PLAN

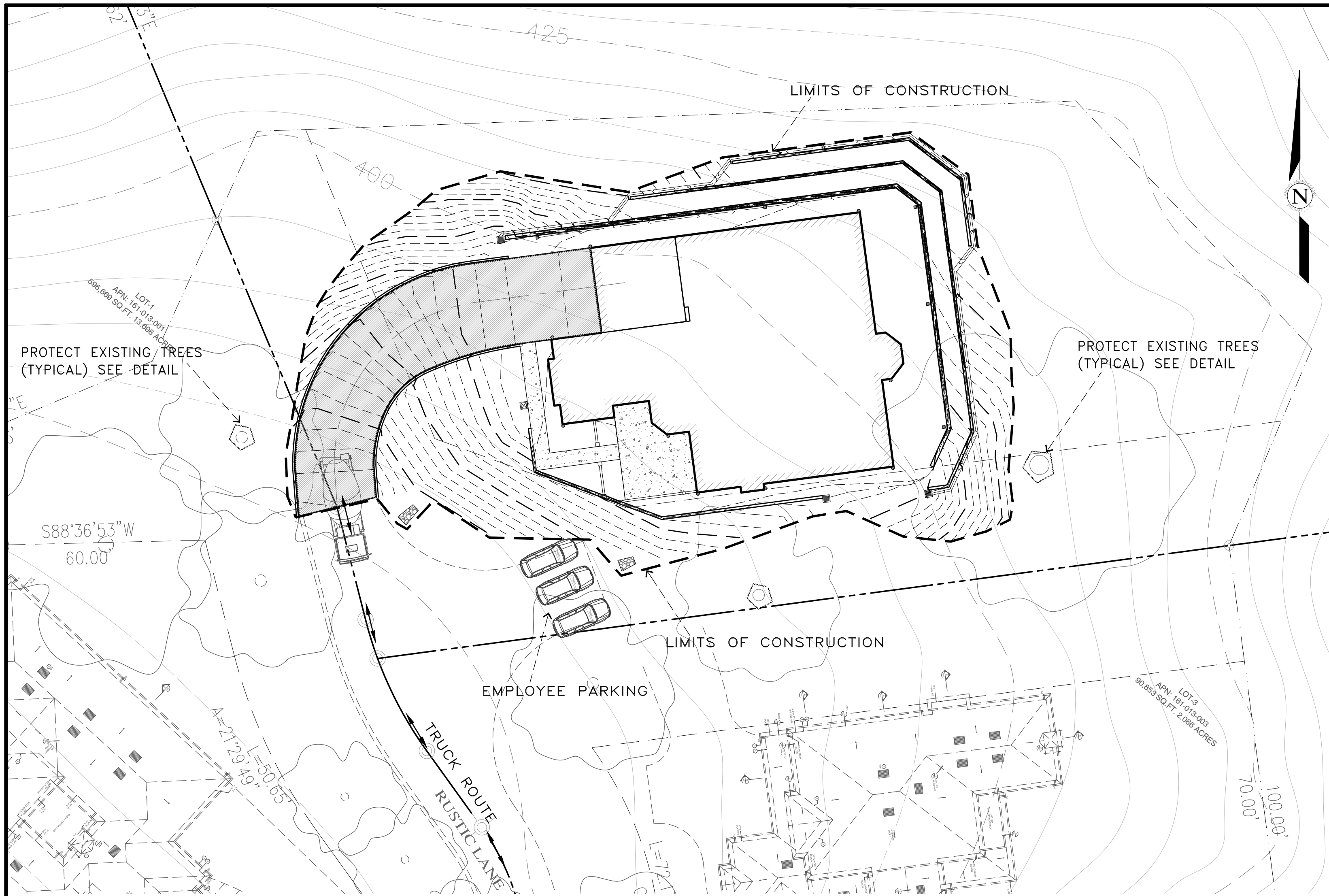
OF THE OAKS, LOT 2 RESIDENCE
A.P.N.: 161-013-013
SALINAS, MONTEREY COUNTY, CALIFORNIA

FOR MR. RAY HARROD, JR.

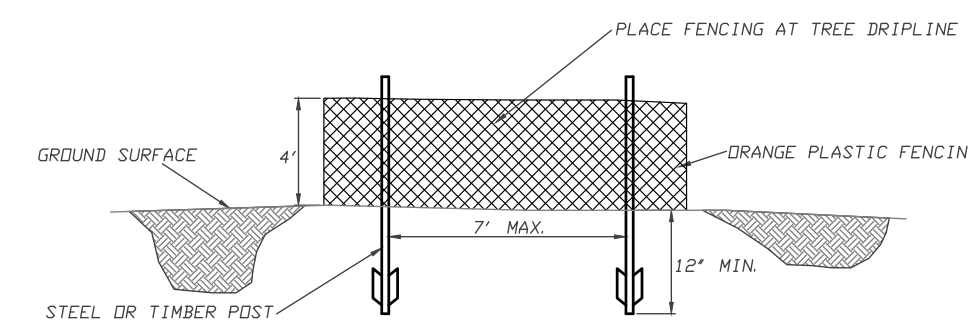
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SHEET **C6** OF 7 SHEETS



PLAN
SCALE: 1"=20'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.
2,230 CY CUT
350 CY FILL

CONSTRUCTION STAGING:

- A. MOBILIZE, CLEAR & GRAB.
 - B. SITE GRADING.
 - C. UTILITY INSTALLATION.
 - D. CONSTRUCT STRUCTURE.
 - E. INSTALL PAVEMENT AND LANDSCAPING.
 - F. SITE CLEANING, PUNCH LIST.
- SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON THE RUSTIC LANE AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
HAUL TRUCKS ENTER THE SITE FROM THE HIGHWAY 68 TO SAN BENANCIO ROAD TO RUSTIC LANE. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE ON THE RUSTIC LANE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B & C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE THE RUSTIC LANE TO BE PARTIALLY BLOCKED BY DELIVER TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG THE RUSTIC LANE, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

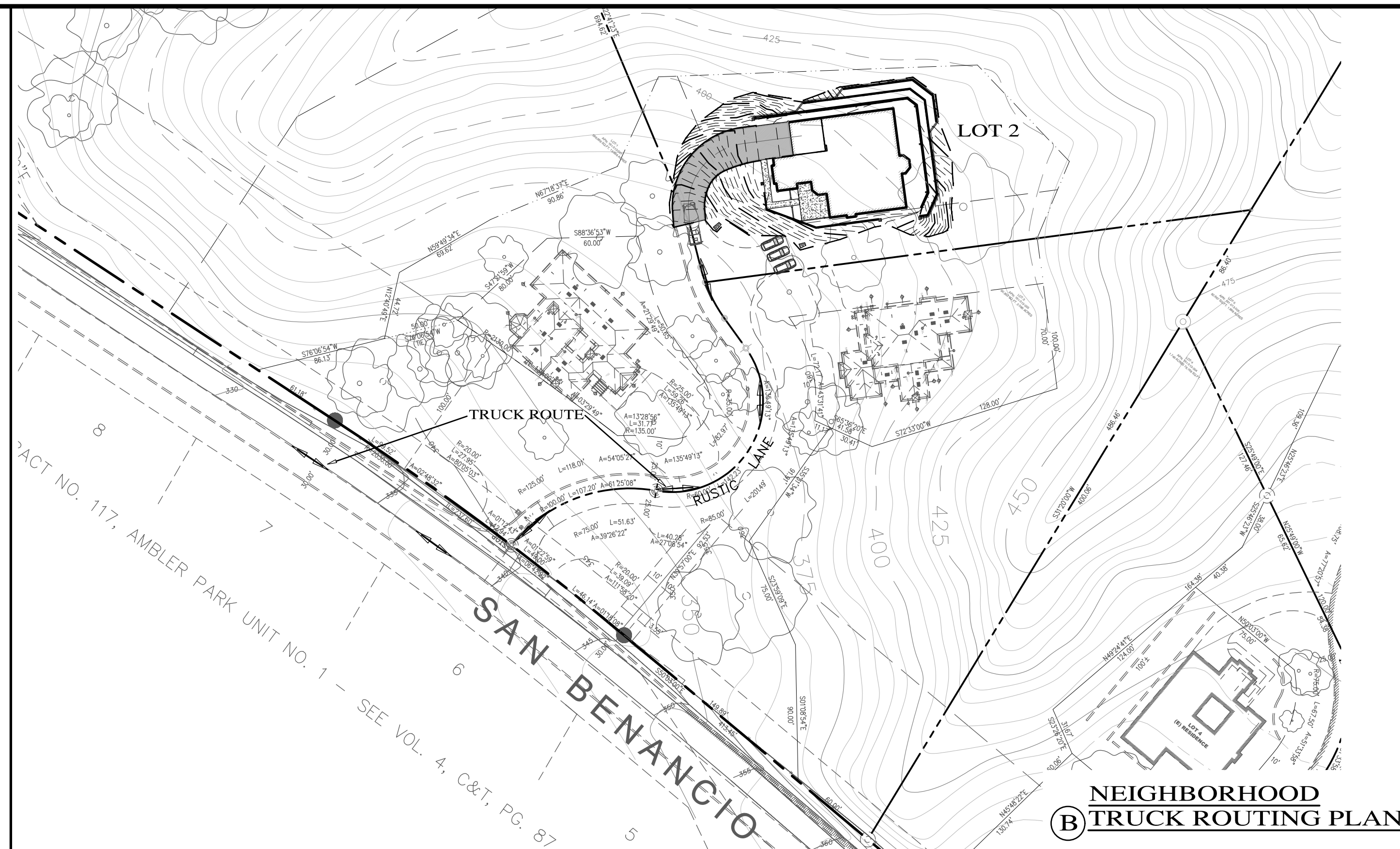
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
CLEARING	3	2
GRADING & SOIL REMOVAL (EXPORT)	94	13
ENGINEERING MATERIALS (IMPORT)	2	1
TOTALS	99	16

TRUCK TRIP GENERATION NOTES:

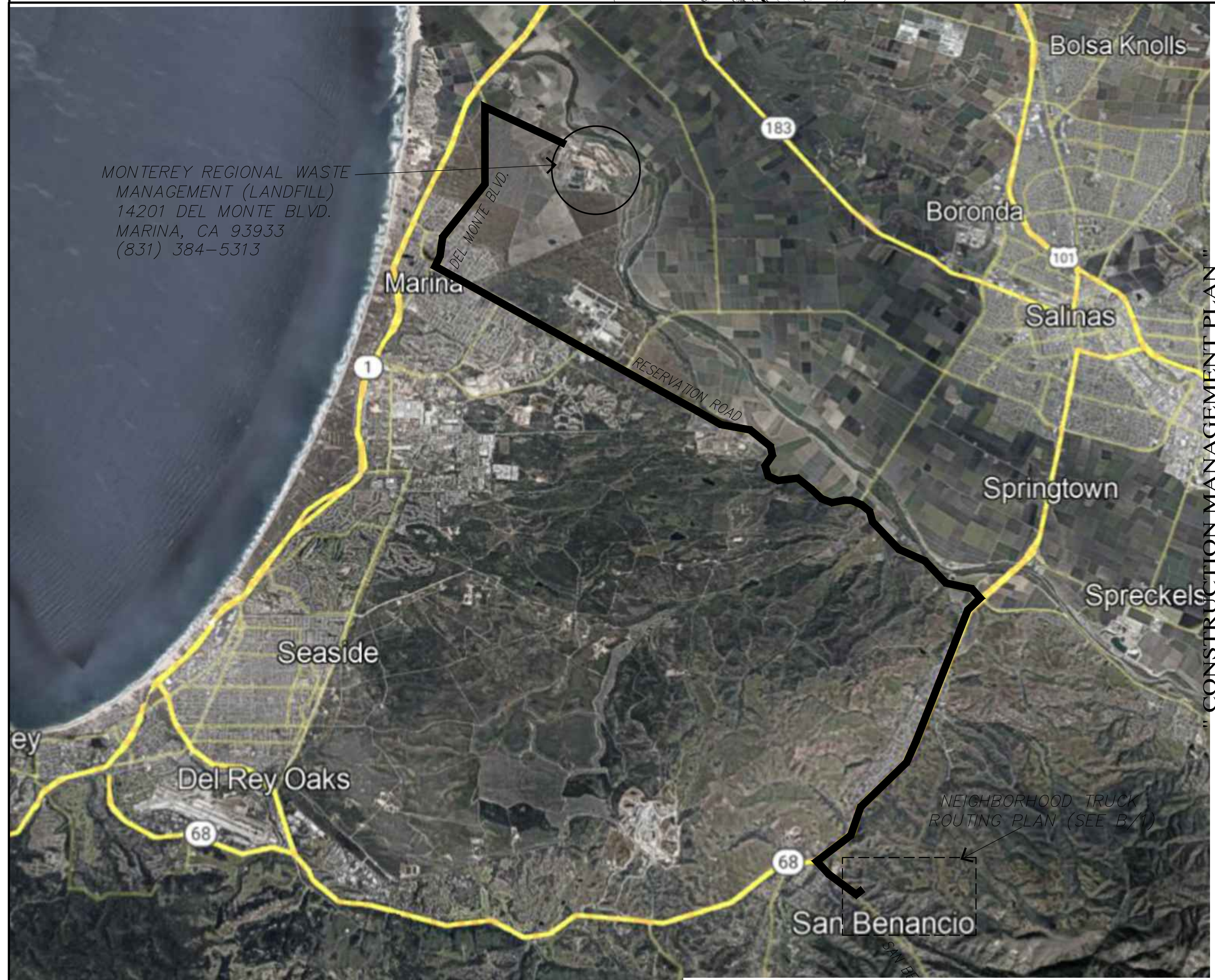
1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 7 TRUCK LOADS PER DAY.
 2. THERE ARE 1,880 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
 3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 16 WORKING DAYS TO COMPLETE.
 4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 100 & 150 CUBIC YARDS.
- NUMBER OF EMPLOYEES/DAY: 6-10
HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 25 SEPTEMBER 2023, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

A CONSTRUCTION STAGING PLAN
SCALE: 1"=30'



NEIGHBORHOOD TRUCK ROUTING PLAN



CONSTRUCTION MANAGEMENT PLAN

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
THE OAKS, LOT 2 RESIDENCE
A.P.N.: 161-013-013
SALINAS, MONTEREY COUNTY, CALIFORNIA

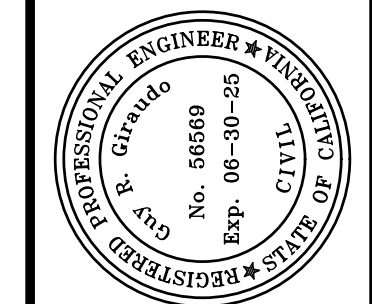
MR. RAY HARROD, JR.

SCALE: AS SHOWN
DATE: SEPTEMBER 2023
JOB NO. 2638-01

OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
05/24/24	AMS	MO.CO. HCD	REVIEW COMMENTS
05/07/24	AMS		TOP OF WALL ELEVATIONS
09/08/23	AMS		RELEASED TO CLIENT

SHEET **C7**
OF 7 SHEETS

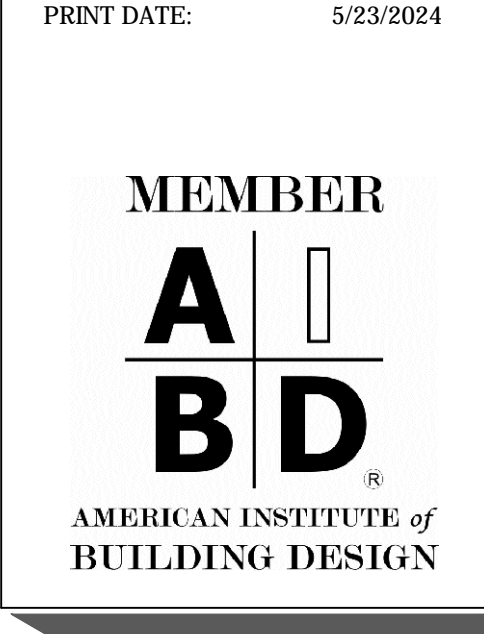


APPROVED BY:
GUY R. GIRARDO
PROFESSIONAL ENGINEER - CIVIL





DRAWING RECORD	
DESCRIPTION	ISSUED
PLN SUBMIT	1-18-2024
BLDG SUBMIT	2-29-2024
PC#1	3-20-2024



- WALL LEGEND**
- NEW 2x4 WALLS
 - NEW 2x6 WALLS
 - NEW 2x8 WALLS
1. EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
 2. INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
 3. SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CRC 2512).
 4. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
 5. CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
 6. SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
 7. PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

- SHEET NOTES**
1. Floor elevations at the required Egress Door (required) (CRC R310.1.1) landings or floors at the required egress door shall not be more than 1'-1/2" lower than the top of the threshold for outswing doors and 7'-3/4" for inswing or sliding doors. Non-egress doors (CRC R311.3.2) landings or floors shall be not more than 7'-3/4" lower than the top of the threshold for inswing, outswing, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.
 2. Landing at doors (CRC R311.3) - There shall be a landing or floor on each side of each exterior door, min. depth 36", min. width shall be not less than the width of the door served, landing may have a slope not to exceed 2% (1/4" vertical in 12" horizontal).
 3. Terraces and patios: slope at min. 1/4" per ft. away from structure and toward drainage system - see civil drawings.
 4. Hose bib: provide shut off valve for all hose bibs located near the garage or water main. All hose bibs shall have a non-removable back flow device per cbc 603.3.7.
 5. Fire separation wall (CRC R302.6) provide 5/8" type 'X' gyp. bd. over framing at walls and ceiling.
 6. Garage Floor- Provide:
 - 6.1. concrete slab & control joints per structural drawings
 - 6.2. seal concrete with concrete sealer
 - 6.3. slope toward garage doors for drainage (min. 2%)
 - 6.4. 3/4" curb at all walls for termite and water protection
 - 6.5. protect finish slab during construction with protection board
 7. On demand water heater
 8. Skylight- see roof plan for size and detail location
 - 8.1. seal concrete with concrete sealer
 - 8.2. slope toward garage doors for drainage (min. 2%)
 - 8.3. 3/4" curb at all walls for termite and water protection
 - 8.4. protect finish slab during construction with protection board
 9. Attic space and access (CRC R307.1) attic opening shall be min. 22" x 30" with 30" min. head clearance and is required when an attic area exceeds 30' and has a vertical height of 4' or greater. If FAI in attic, attic access must be minimum 30" x 30"
 10. Kitchen sink with garbage disposal- owner to select make and model
 11. Casework- 24" base cabinet with 14" upper cabinet. owner to select finish, countertop & layout.
 12. Casework- Island with drawers and cabinets below. owner to select finish, countertop and layout.
 13. Deep laundry sink- owner to select make & model
 14. 24" dishwasher- low-flow per standards- owner to select make & model
 15. Range top- 42" wide with drawers below. owner to select make & model
 16. Oven with convection microwave- 30" wide- owner to select make & model
 17. Refrigerator- 48" wide, provide recessed plumbing for ice maker- owner to select make & model
 18. Beverage cooler- 24" wide, under counter
 19. Shower- provide:
 - 19.1. 24" wide minimum (outswing) tempered glass door, door optional
 - 19.2. shampoo recess, slope shall be as set per owner's specifications
 - 19.3. impervious surface to 72" minimum above drain inlet
 - 19.4. 2" x 4" wall for thermostatic valve
 - 19.5. Control valves and showerheads shall be located on the sidewall of shower compartment or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment to that the bather can adjust the valves prior to stepping into the shower spray. (CPC 408.9)
 20. Toilet- 1.28 gallons per flush u.o.n. on water permit, provide 30" width clear in the toilet compartment and min. 48" clear from the front of bowl to the wall (cpc 204)
 21. Provide vanity, base cabinet, plumbing fixture, countertop, mirror and optional recessed vanity cabinet per owner's specifications
 22. Washing machine- verify make and model with owner (provide plumbing connections recessed in wall)
 23. Clothes dryer- vent to exterior with 4" pipe. 14'-0" maximum horizontal run with (2) 90° bends maximum. Vent discharge location shall be a minimum 3' away from any opening into the building per CMC 504.3.1. Inline dryer booster fan to be installed, vent to terminate at roof
 24. Superior VRE3000 Ventless outdoor gas fireplace- ANSINPPA 70 - CANCGA B149.1 - ANSI Z223.1 NFPA 54 - CSA C22.1.1, B149.2
 25. Superior DRT 3600 direct vent gas fireplace- ANSI Z21.88, CANCGA-2-17-AM1
 26. Provide a shelf and closet pole system at all wardrobe closets. owner to specify locations for double pole and/or additional shelving/drawer systems
 27. Cast iron rectangular skirted tub under 55 gallons with showerhead above- owner to select color and verify if glass enclosure is needed
 28. Casework- Pantry with adjustable shelves. owner to select layout and finish
 29. Casework- Full height linen cabinet with adjustable shelves. owner to select layout and finish
 30. Electrical meter & gas meter

Floor Plan Notes:

- Refer to general building notes on A1.1 for additional notes.
- SEE DOOR & WINDOW SCHEDULE ON SHEET A3.1

AGING IN PLACE DESIGN AND FALL PROTECTION [2022 CRC, SECT. R327]: AT LEAST ONE BATHROOM (CONTAINING A TUB AND A SHOWER) SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION.

OUTLETS, SWITCHES AND CONTROLS SHALL BE LOCATED 12" MINIMUM AND 18" MAXIMUM ABOVE FINISHED FLOOR. DOORBELL SHALL BE LOCATED 48" MAXIMUM ABOVE FINISHED FLOOR.

PROVIDE SAFETY GLAZING IN WALLS AND DOORS ENCLOSED TUBS/SHOWERS

SHOWERS AND SHOWER/TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE, THERMOSTATIC OR COMBINATION PRESSURE-BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.

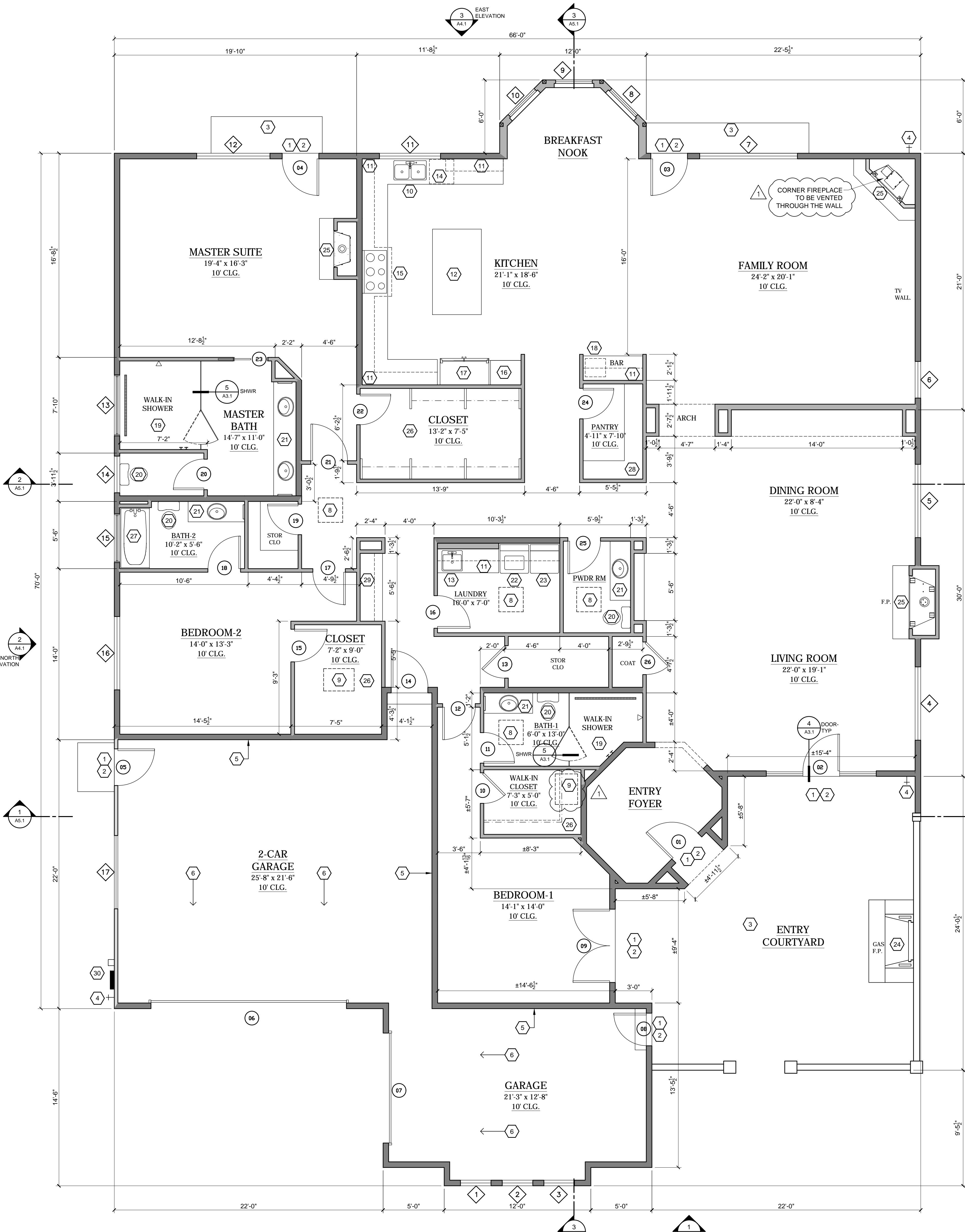
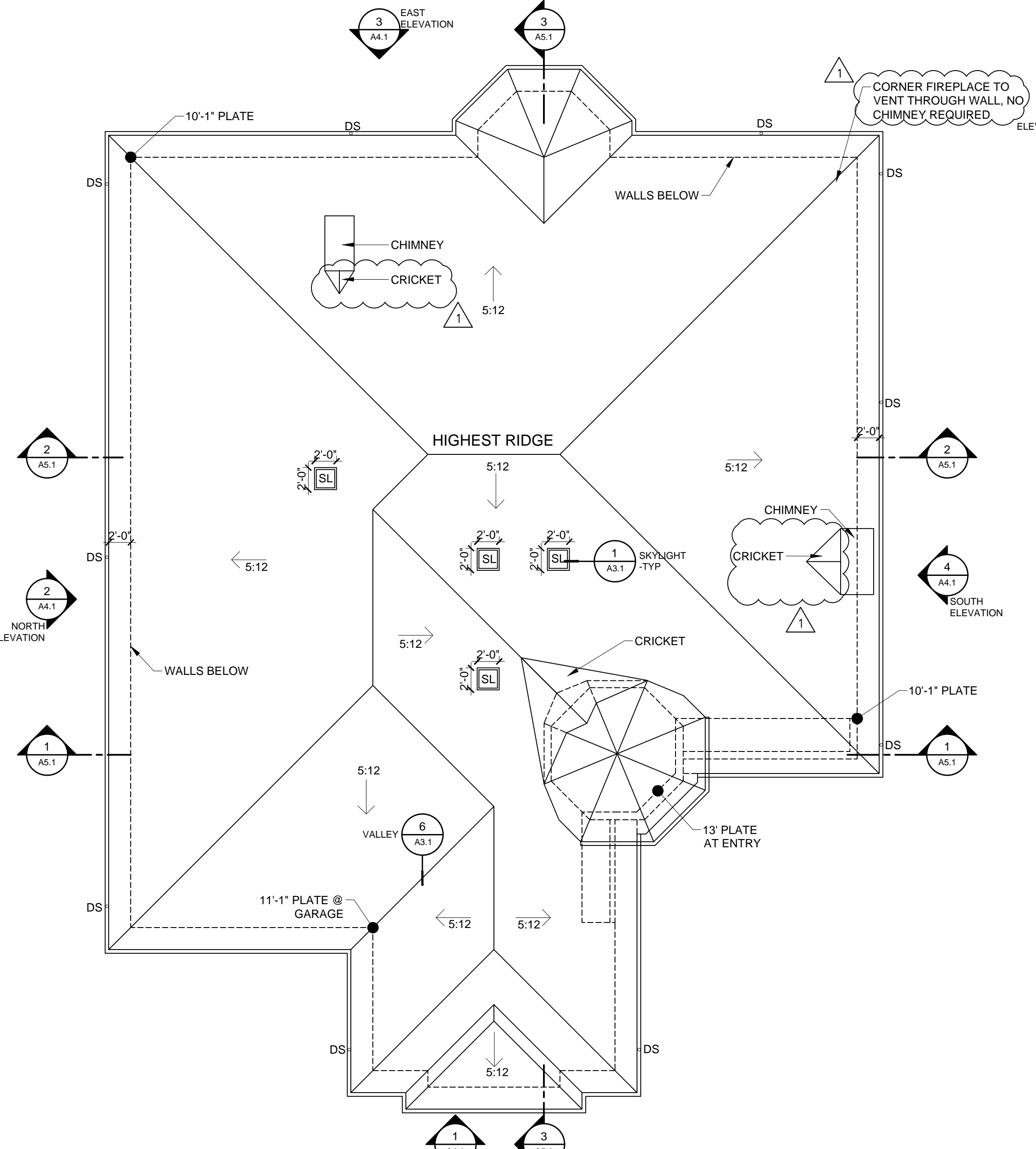
CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED SO THAT THE BATHER CAN ADJUST THE VALVES FROM TO STEPPING INTO THE SHOWER SPRAY

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Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

GENERAL ROOF & CHIMNEY NOTES

1. Roof Material = Eagle Roofing flat concrete tile - 4689 brown range
2. Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3. Roof Slope = 5:12 unless otherwise noted
4. Overhang = 24" unless otherwise noted
5. Painted ogee gutters with round downspouts
6. Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location
7. SPARK ARRESTER- Net free area of spark arrester shall not be less than four times the net free outlet of the chimney flue it serves. arrester screen shall have heat and corrosion resistance equal to 12 gage wire, 19 gage galvanized steel or 24 gage stainless steel (CRC R1003.9.1).
8. CHIMNEY TERMINATION- Chimneys shall extend at least 2' higher than any portion of a building within 10' horizontally, but shall not be less than 2' above the highest point where the chimney passes through the roof (CRC R1003.9).
9. Masonry or concrete chimneys shall be anchored at each floor, ceiling or roof line more than 6' above grade with (2) 3/16" x 1" metal straps hooked around the outer bars and extend 6" beyond the bend. Each strap shall be fastened to not less than four floor ceiling or floor joists or rafters with two 1/2-inch bolts per CRC R1001.4.1



SHEET NOTES

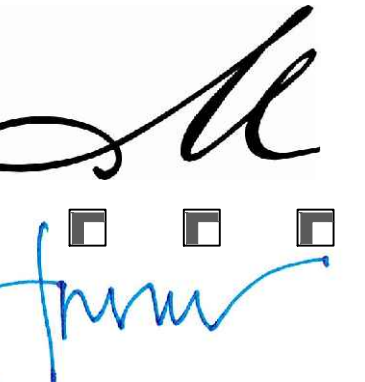
1. ROOF - EAGLE ROOFING FLAT CONCRETE TILE 4689 BROWN RANGE.
2. WALLS - TWO COATS EXTERIOR PAINT OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTERIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE 'D' BLDG. PAPER. BODY PAINT COLOR - KELLY MOORE KM4564 TOMBSTONE GREY. TRIM COLOR - KELLY MOORE KN4581 BAT WING.
3. WINDOWS - TAN MILGARD TUSCANY DOUBLE PANE VINYL WINDOWS.
4. PAINTED SILL MOULDINGS AT WINDOWS
5. GUTTERS - PAINTED OGEE GUTTERS WITH ROUND DOWNSPOUTS.
6. LOW PRIVACY WALL WITH CAP
7. STONE VENEER - EL DORADO STONE ANDANTE FIELDLEDGE

PROJECT NAME:

OAKS, LOT 2

24315 RUSTIC LANE
SALINAS, CA.
93908

APN: 161-013-013
JOB NUMBER: 2305



MOORE DESIGN Inc.
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

550 FIGUEROA STREET, SUITE B
MONTEREY CA, 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	1-18-2024
BLDG SUBMIT	2-29-2024
PC#1	3-20-2024

PRINT DATE: 5/23/2024

MEMBER



AMERICAN INSTITUTE of
BUILDING DESIGN

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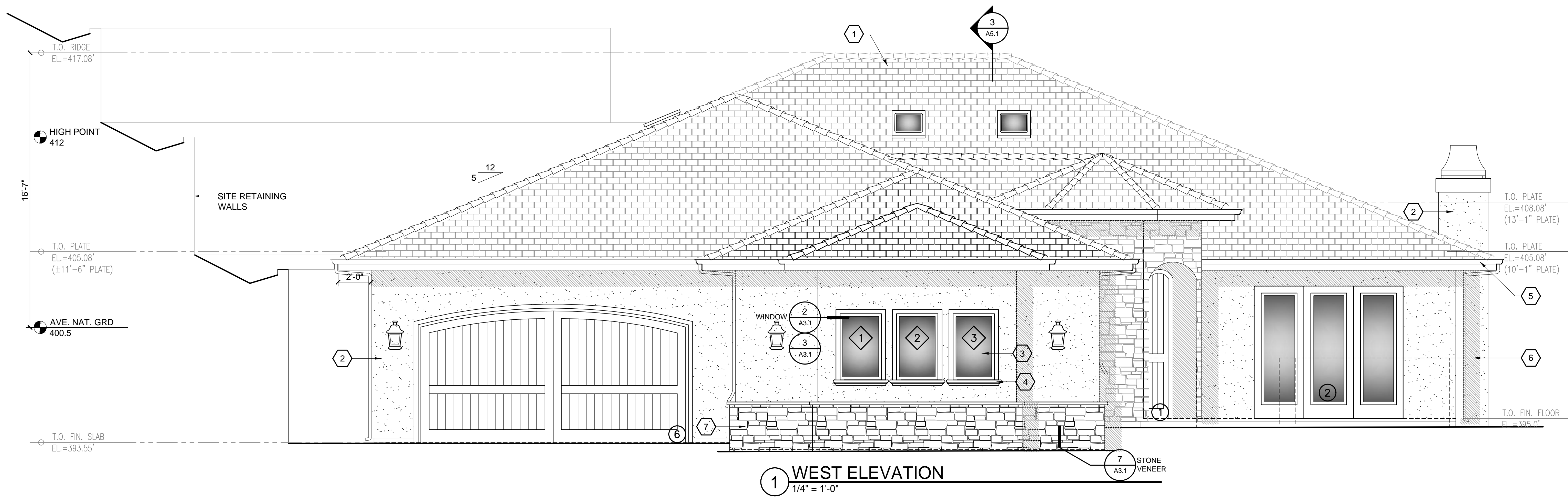
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

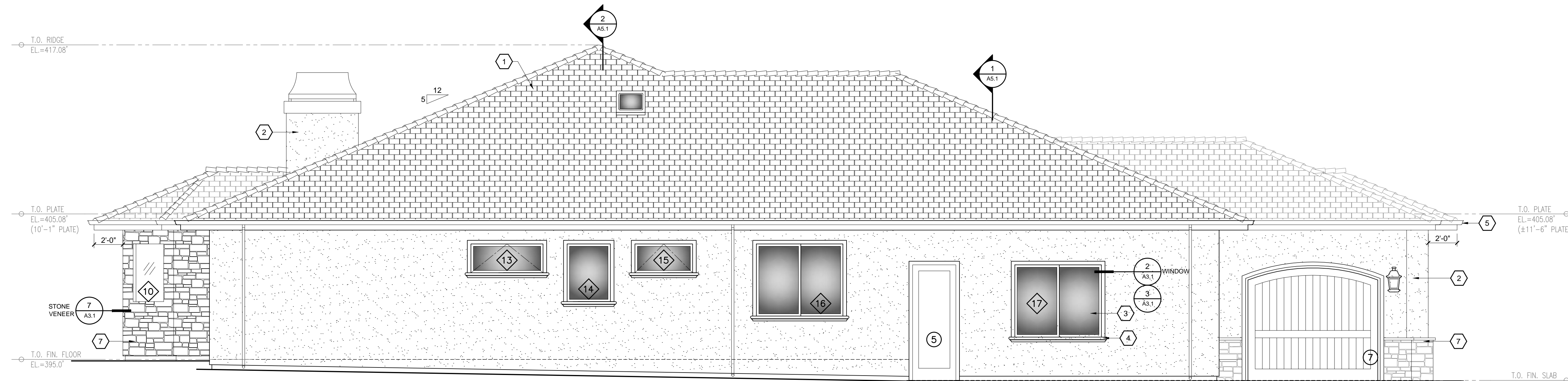
ELEVATIONS

SHEET NUMBER:

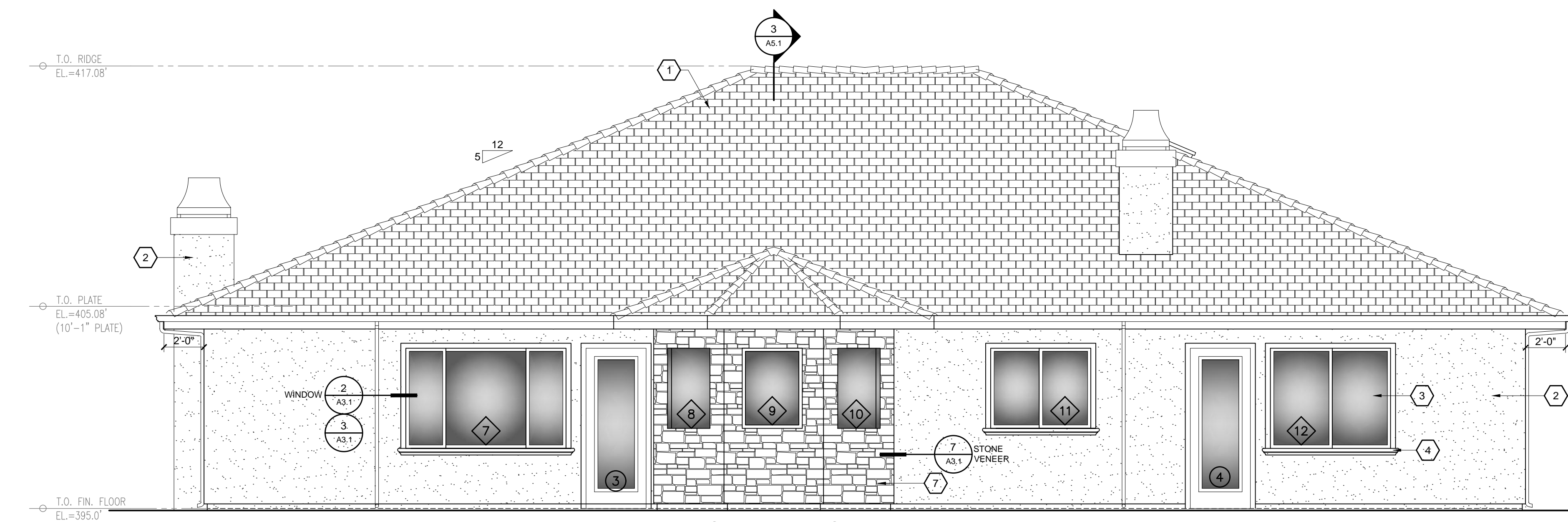
A4.1



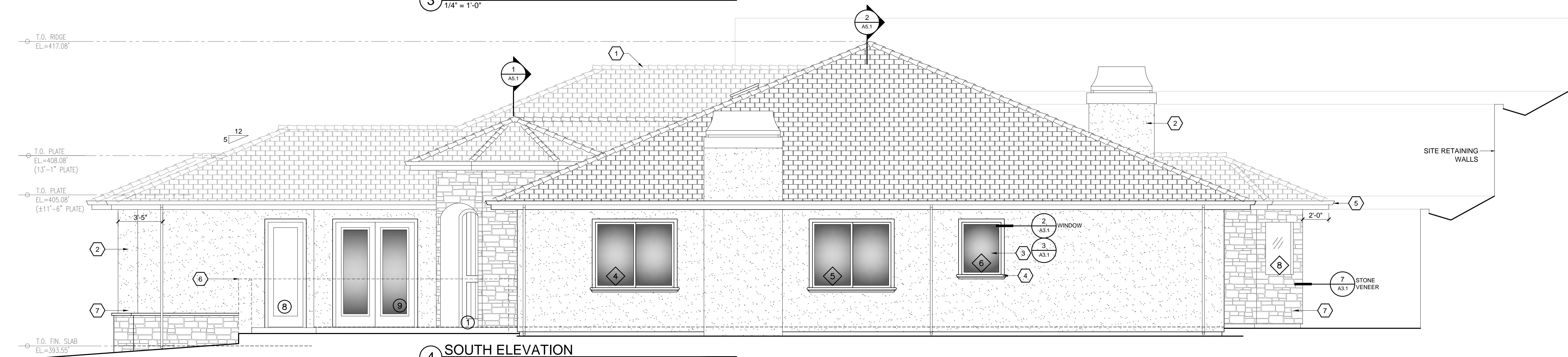
1 WEST ELEVATION
1/4" = 1'-0"



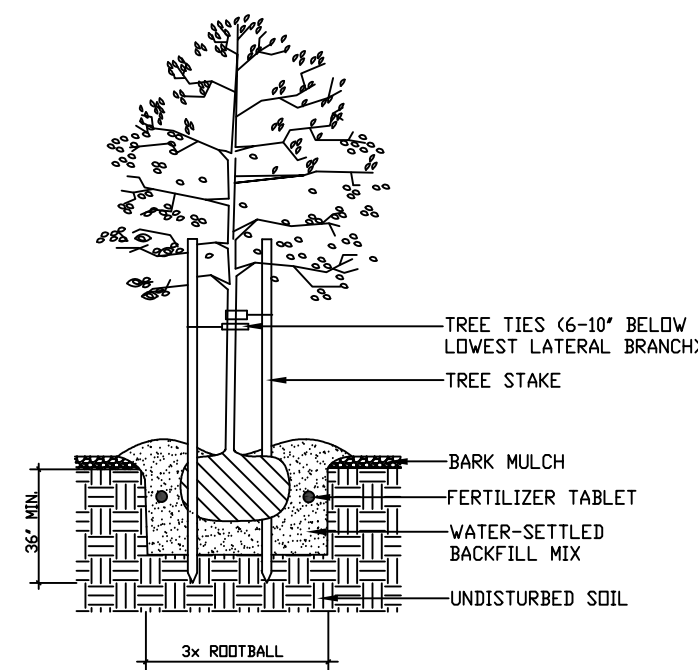
2 NORTH ELEVATION
1/4" = 1'-0"



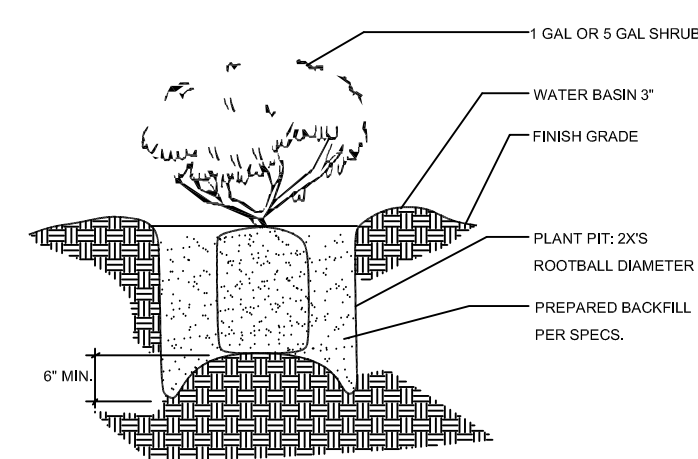
3 EAST ELEVATION
1/4" = 1'-0"



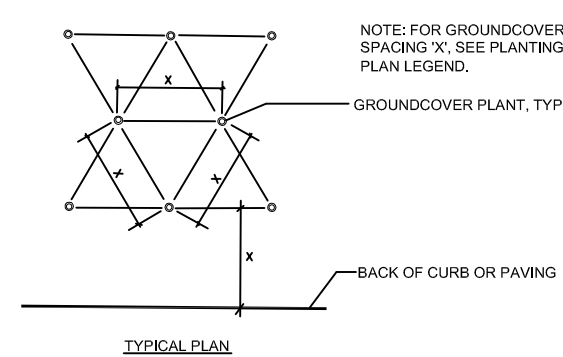
4 SOUTH ELEVATION
1/4" = 1'-0"



○ TREE PLANTING & STAKING
NOT TO SCALE



○ Shrub Planting
NTS



○ Groundcover Planting
NTS



SYMBOL	PLANT LIST	COMMON NAME	SIZE	QTY	WATER USE
--------	------------	-------------	------	-----	-----------

GROUNDCOVER

	CISTUS SALVIIFOLIUS - 6' O.C.	SAGE LEAF ROCKROSE	1 GAL	16	L
	ERIGERON KARVINSKIANUS - 2' O.C.	SANTA BARBARA DAISY	1 GAL	-	L

SHRUBS

	COLEONEMA PUL. 'GOLDEN SUNSET'	PINK DIOSMA	1 GAL	26	L
	DIETES BICOLOR	FORTNIGHT LILY	1 GAL	-	L
	EURYOPS PECTINATUS VIRIDIS	EURYOPS	1 GAL	8	M
	ELEGANUS X EBBROGENI 'GILT EDGE'	SILVERBERRY	5 GAL	-	M
	GREVILLEA 'NOELLII'	GREVILLEA	5 GAL	7	L
	LAVANDULA 'PROVENCE'	LAVENDER	1 GAL	4	L
	LEPTOSPERMUM SCO. 'RUBY GLOW'	NEW ZEALAND TEA TREE	5 GAL	16	M
	PHORMIUM 'AMAZING RED'	NEW ZEALAND FLAX	5 GAL	26	L
	ROSMARINUS 'TUSCAN BLUE'	ROSEMARY	5 GAL	9	L
	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL	5	M

TREES

	PLATANUS ACER 'BLOODGOOD'	LONDON PLANE	15 GAL	-	M
	SCHINUS MOLLE - STD	CALIFORNIA PEPPER	15 GAL	1	VL

LANDSCAPE AREA: 3,224 SQ FT

NOTES:

1. ALL PLANT PITS TO BE 6 INCHES WIDER AND DEEPER THAN THE PERIMETER OF THE PLANT CONTAINER.
2. COMPOST SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ FT OF PERMEABLE AREA.
3. ALL TREES ARE TO BE DOUBLE STAKED USING 10' LODGE POLES AND 2 RUBBER TIES.
4. ALL LANDSCAPE AREAS ARE TO BE TREATED WITH 'RONSTAR' HERBICIDE AT THE MANUFACTURERS RECOMMENDED RATE.
5. ALL LANDSCAPE AREAS ARE TO BE COVERED WITH A 2 INCH LAYER OF 'WALK-ON' BARK.
6. LANDSCAPE CONTRACTOR TO HAVE SOIL TESTED PRIOR TO PLANTING AND TO FOLLOW THE AMENDMENT RECOMMENDATIONS OF THE LAB.
7. 110 POWER SUPPLY AND WATER METER SHALL BE PROVIDED BY GENERAL CONTRACTOR.
8. ROUGH GRADE TO BE PROVIDED BY OTHERS WITHIN 1/10 OF FINISHED GRADE.

I, James Smith, certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native drought tolerant, non-invasive species, limited turf and low flow, water conserving irrigation fixtures.

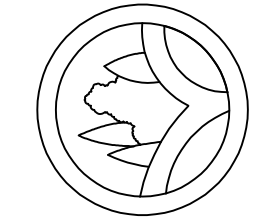
DESIGNED BY:

DATED: 4/2/24

James Smith

SMITH & ENRIGHT LANDSCAPING, INC.
C-27 CONTRACTOR, LIC# 757700

SMITH & ENRIGHT LANDSCAPING, INC.



HARROD CONSTRUCTION
365 VICTOR ST., STE S
SALINAS, CA 93907

LANDSCAPING PLAN FOR:
FERRINI OAKS (LOT 2)
SAN BENANCIO CANYON RD
SALINAS, CA

DATE: 3-28-24

SCALE: 1"=10'

DRAWN: KH

L1

The Oaks, Lot 2
24315 Rustic Lane
Salinas, CA 93908
Exterior Materials

Roof

Eagle Roofing
Flat Concrete Tile
4689 Brown Range



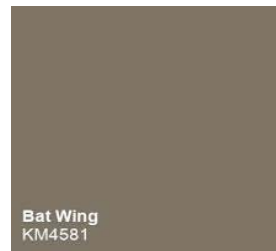
Paint Body Color

Kelly-Moore
Tombstone Gray
KM4564



Paint Trim Color

Kelly-Moore Bat Wing
KM4581



Windows/Doors

Milgard Tuscany
Tan Double Pane
Vinyl Windows



Exterior Stone

Eldorado Stone
Andante Fieldledge

