Exhibit A

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EXHIBIT A DRAFT RESOLUTION

Before the Housing and Community Development Chief of Planning in and for the County of Monterey, State of California

In the matter of the application of: STRETCH LESLIE & HEATHER TRS (PLN220019) RESOLUTION NO. 25--

Resolution by the County of Monterey Chief of Planning:

- Finding that the project qualifies for a Class 2 Categorical Exemption pursuant to California Environmental Quality Act (CEQA) Guidelines section 15302 and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow demolition of an existing 7,833 square foot single family dwelling with an attached garage, and construction of a 6,149 square foot single family dwelling with an attached 487 square foot garage, attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements; and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

[PLN220019, Leslie and Heather Stretch, 1535 Palmero Way, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (Accessor's Parcel Number: 008-423-014-000)]

The STRETCH LESLIE & HEATHER TRS application (PLN220019) came on for an administrative decision hearing before the County of Monterey Chief of Planning on March 19, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING: CONSISTENCY The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
 - **EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);

- Monterey County Coastal Implementation Plan Part 5 (Del Monte Forest CIP); and

- Monterey County Zoning Ordinance (Title 20). No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The project involves the major remodel of an existing 7,833 square foot single family, resulting in a 6,149 square foot two-story single family dwelling with an attached 487 square foot three-car garage with bike storage inclusive of an attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements. However, because the remodel involves alteration or demolition of more than 50% of the exterior walls, the project is described as a demolition and rebuild pursuant to Title 18 section 18.11.0303. The project also involves development within 750 feet of known archaeological resources.
- Allowed Use. The property is located at 1535 Palmero Way, Pebble c) Beach, Del Monte Forest Land Use Plan, Coastal Zone (Accessor's Parcel Number: 008-423-014-000). The parcel is zoned Low Density Residential with a maximum gross density of 1.5 acres per unit and a Design Control overlay within the Coastal Zone or "LDR/1.5-D(CZ)" which allows development of the first single family dwelling per legal lot of record and junior accessory dwelling units pursuant to Title 20 sections 20.14.040 and 20.64.030. The project is for the major remodel of an existing 7,833 square foot two-story single family dwelling with an attached garage, resulting in a 6,149 square foot two-story single family dwelling with an attached 487 square foot three-car garage with bike storage inclusive of an attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements. Grading consists of approximately 440 cubic yards of cut and 310 cubic yards of fill. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property (1.3-acres in size), APN: 008-423-014-000), is shown as Lot 10A and 11A of Block 136B as described in the Map of El Pescadero and Point Pinos Ranchos filed in Volume 3 of Surveys on Page 3 in records of Monterey County. Therefore, the property is recognized by the County as a legal lot of record.
- e) <u>Design/Neighborhood and Community Character.</u> Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The project includes a Design Approval to allow for the proposed development. As demonstrated in Finding No. 3 and supporting evidence, the single family dwelling and junior accessory dwelling unit are consistent with the purpose and regulations of the Design Control district.
- f) <u>Development Standards.</u> The development standards for the LDR zoning district are identified in Title 20 section 20.14.060. Required setbacks for main structures are 30 feet (front), 20 feet (rear), and 20

feet (sides). The maximum allowed height is 30 feet. As proposed, the remodeled single family dwelling will remain within the existing building footprint which meets all required setbacks. The main dwelling will maintain a maximum height of 22 feet 5 inches with the attached garage wing height of 14 feet 9 inches, which is below the height limitations of Title 20. Therefore, the project is consistent with the development standards as outlined in Title 20.

- g) <u>Junior Accessory Dwelling Unit.</u> The project as proposed is consistent with California State law, Title 20 and the DMF CIP regulations and development standards. See Finding No. 4 and supporting evidence below.
- h) <u>Cultural Resources.</u> According to the County of Monterey Geographic Information System (GIS) records, the project site is within an area of high sensitivity for archaeological resources. Pursuant to DMF CIP section 20.147.080.B.1, a Phase I Inventory of Archaeological Resources was prepared for the project. On October 19, 2021, a field reconnaissance survey (HCD Library Document No. LIB220202) was performed by Allen Estes with PaleoWest at the proposed project site. Results of the reconnaissance were negative, and the siting and design of the project were found to not have any potential impacts to known archaeological resources because the site was previously developed. Therefore, potential impacts on archaeological resources are limited, and a standard condition of approval requiring work to stop if previously unidentified resources are found during construction has been incorporated into this permit (Condition No. 3).
- i) <u>Historical Resources.</u> Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code section 21084.1(a), all properties fifty years of age or older must be reviewed for potential historic significance. On February 2, 2021, Seth Bergstein performed a site visit to analyze the potential historical significance of the existing single family dwelling (Finding 2, Evidence "b"). The existing residence was constructed in the 1940s and has undergone multiple alterations over the years. The architecture was originally designed to reflect a Monterey Colonial style. That assessment concluded that the structure is not historically significant, and therefore, is not eligible for listing on any national, state, or local Historic Resources registry.
- j) <u>Pescadero Watershed.</u> The DMF LUP Policy 77 requires that new residential development, including accessory structures, be limited to 9,000 square feet of structural and other impervious coverage within the Pescadero Watershed, which drains into the Carmel Bay Area of Special Biological Significance (ASBS). The existing residence and impervious development are currently at 18,013 square feet. The proposed alterations to the residence include reducing the first floor by 236 square feet of coverage, and the remaining reductions coming from replacing 12,519 square feet of the impermeable driveway, walkways, and patios. The site improvements will result in total impervious surfaces of 8,975 square feet, which is an approximate 50 percent reduction was achieved by replacing asphalt concrete and brick with permeable cobblestone,

gravel, and flagstone. Therefore, the property will conform with the 9,000 square foot limitation of structural and impervious coverage.

- k) <u>Public Access.</u> The project is consistent with applicable public access policies as demonstrated in Finding No. 8 and supporting evidence.
- <u>Visual Resources and Public Viewshed</u>. The project is located within a visually sensitive area as demonstrated in Finding No. 3, Evidence "c" below.
- m) <u>Land Use Advisory Committee (LUAC) Review.</u> The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. On November 16, 2023, the LUAC reviewed the project and had no comments or concerns regarding the design. The LUAC unanimously recommended approval of the project as proposed by a vote of 7-0 with one member absent.
- n) The project planner conducted a site inspection on November 14, 2023, to verify that the project on the subject parcel conforms to the plans listed above.
- o) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- **EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach Community Services District (CSD). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to biological, cultural, historic, and soil resources. The following reports have been prepared:
 - "Arborist Report" (LIB220201) prepared by Rob Thomspon with Thompson Wildland Management, Monterey, CA, September 16, 2021.
 - "Cultural Resources Assessment" (LIB220202) prepared by Allen Estes with PaleoWest, LLC, Walnut Creek, CA, December 16, 2021.
 - "Geotechnical Report" (LIB220203) prepared by Greg Bloom with Butano Geotechnical Engineering, Inc., Freedom, CA, November 10, 2021.
 - "Phase I Historical Report" (LIB220204) prepared by Seth Bergstein with Past Consulting, Pacific Grove, CA, April 7, 2021. County staff independently reviewed these reports and concurred with

their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the proposed use. All development shall be in accordance with these reports.

c) Staff conducted a site inspection on November 14, 2023, to verify that the site is suitable for this use.

d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

3. FINDING: DESIGN – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

EVIDENCE:

- a) Pursuant to Title 20, Chapter 20.44, the purpose of the "D" district is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - b) <u>Neighborhood Character.</u> The proposed remodeled single family dwelling with an attached junior accessory dwelling unit would have a comparatively similar bulk and mass to other developments in the vicinity. As proposed, visibility of the structure from the front property line off Palmero Way will remain comparable to the bulk and mass of other dwellings in the surrounding neighborhood.
 - Material and Color Finishes. The proposed exterior colors and c) materials are consistent with the area's eclectic setting and surrounding residences. Colors and materials of the existing Monterey Colonial style two-story single family dwelling consist of a mix of off-white stucco and wood board and batten siding, mix of white, black and dark green wood framed windows and doors with a gray shingled roof. The proposed remodel of the single family dwelling will include off-white stucco siding for the main residence, black metal windows and doors, black steel railing for the porches, gray standing seam metal roof, and brown cedar vertical exterior siding along the garage wing with attached JADU. The project has been conditioned to include an exterior lighting plan (Condition No. 7) to ensure the proposed lighting plan will comply with the Monterey County lighting design guidelines. Additionally, the project proposes a conceptual landscape plan and a fuel management plan. However, the project was conditioned to submit a formal landscape plan prior to issuance of a building permit (Condition No. 8). The proposed exterior finishes described above blend with the surrounding environment, are consistent with the surrounding eclectic residential neighborhood character, and other dwellings in the neighborhood.
 - d) <u>Visual Resources.</u> The property is located in the unincorporated community of Pebble Beach approximately a quarter mile east of the Pacific Ocean and one and a half miles west of Highway 1. The project site was previously developed and located within a visually sensitive area. As depicted on DMF LUP Figure 3, the subject property is located within the viewshed of 17 Mile Drive and Point Lobos. Staking and flagging was required to be installed pursuant to the DMF CIP section 20.147.070.A.1. Staff conducted a site visit on November 14, 2023, and confirmed that the subject property and staking and flagging were not visible from Point Lobos, Highway 1, or any other public common viewing areas due to topography, distance, and existing mature vegetation. However, the existing

residence is mildly visible through a row of the neighbors' planted cypress trees from the intersection of 17 Mile Drive and Palmero Way. The proposed project involves a remodel of the main residence including construction of the attached JADU within the existing building footprint. The project was not found to have any new significant impacts on the public viewshed. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

- e) The project planner conducted a site inspection on November 14, 2023, to view the staking and flagging, and verify that the project is not visible from Point Lobos or designated vista points, and that the subject parcel conforms to the plans listed above. Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes).
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD -Planning for the proposed development can be found in Project File PLN220019.
- 4. FINDING: JUNIOR ACCESSORY DWELLING UNIT The proposed project meets the regulations, standards, and circumstances under which a junior accessory dwelling unit (JADU) may be permitted.
 - **EVIDENCE:** a) Title 20 section 20.64.030 establishes regulations and standards for which an ADU, accessory to the main residence on a lot, may be permitted. Title 20 requires that ADUs have a separate kitchen facility from the main residence and be no greater than 1,200 square feet with a height limit of 16 feet. Although regulations for ADUs are provided, the maximum square footage for JADUs is not explicitly called out in Title 20. The project involves the construction of a 495 square foot JADU attached to the main residence. Pursuant to Government Code section 66313, JADUs are allowed to be no more than 500 square feet and section 66321 establishes a height limit of 16 feet. Moreover, pursuant to Title 20 section 20.14.060, site development standards require a 50-foot front, and 6-foot side and rear setbacks for habitable accessory structures.
 - b) Pursuant to Government Code section 66333, JADUs are limited to one per residential lot, require owner-occupancy in the single family residence in which the JADU will be permitted, and require the recordation of a deed restriction prohibiting the sale of said JADU from the main residence. Furthermore, JADUs are required to be constructed within the walls of the single family residence, include a separate entrance from the main residence, and are required to include an efficiency kitchen. As proposed, the project includes a 495 square foot JADU attached to the main dwelling, which features an efficiency kitchen with access to a full range kitchen within the main residence. The JADU will have a maximum height of 14 feet 9 inches and is located on the property where all required setbacks are met. In accordance with Government Code section 66333, the project has been conditioned to require the recordation of a deed restriction (Condition

No. 10) prohibiting the sale of the proposed JADU separate from the single family dwelling. Therefore, the JADU is consistent with State law and Title 20 development standards.

- c) The proposed JADU will be the first accessory dwelling with independent living facilities attached to the existing main residence and constructed on a 1.3-acre lot connected to a public wastewater system. The floor area ratio will be 495 square feet which is below the 500 square foot limitation. Parking for the JADU is not required by State law, however, parking can be accommodated either within the three-car garage or driveway of the reconstructed single family dwelling. The colors and materials of the JADU are visually consistent and compatible with the principal residence on-site and other residences in the area. The JADU is designed to not substantially degrade possible archaeological resources at the site by utilizing previously disturbed areas for development.
- Title 20 section 20.64.030.F requires certain findings be made to d) support the approval of a JADU. The establishment of the JADU will not, under the circumstances of the particular application, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or to the general welfare of the County (see Finding No. 5 and supporting evidence). The JADU, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development (see Finding No. 1). The subject property upon which the JADU is to be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions and any other applicable provisions of Title 20 and that all zoning violation abatement costs, if any, have been paid (see Finding No. 6). Additionally, the project site must be found physically suitable for the use proposed (see Finding No. 2). Therefore, staff recommends approval of the project as proposed and conditioned.
- e) The proposed colors and materials are designed to match the main residence on the property and meet design requirements in Finding No. 3 and supporting evidence above.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development can be found in Project File PLN220019.
- 5. FINDING: HEALTH AND SAFETY The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
 - **EVIDENCE:** a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach CSD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Necessary public facilities are provided and have existed on the project site. Water and sewer are provided to the parcel through the public water system by CalAm and the Carmel Wastewater District (CAWD) via the Pebble Beach Community Services District. The project as proposed will continue to use these same connections. The applicant submitted a water fixture calculation from the Monterey Peninsula Water Management District (MPWMD) showing the previous fixture unit count of 33 with a proposed fixture unit count of 32.3. As proposed, this project would result in a 0.7 fixture unit count decrease. Therefore, the applicant has sufficient water credits to support redevelopment.
- The subject parcel is located within a State Responsibility Area c) classified as having a high fire hazard. The remodel of the existing single family dwelling with attached JADU is designed to be a fireresistant structure that meets current fire and building code standards. The project also includes a Fuel Management Plan to ensure fire safety regulations are met for the proposed construction.
- Staff conducted a site inspection on November 14, 2023, to verify that d) the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- The application, project plans, and related support materials submitted e) by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.
- 6. **FINDING: NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
 - Staff reviewed Monterey County HCD-Planning and HCD-Building a) Services records and is not aware of any violations existing on subject property.
 - Staff conducted a site inspection on November 14, 2023, and researched b) County records to assess if any violation exists on the subject property.
 - The application, project plans, and related support materials submitted c) by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.
- 7. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
 - **EVIDENCE:** California Environmental Quality Act (CEQA) Guidelines section a) 15302 for a Class 2 Categorical Exemption allows reconstruction of existing structures where the new structure will be located on the same site as the structure to be replaced, and will have substantially the same purpose and capacity as the structure being replaced.
 - The project involves a major remodel of an existing single family **b**) dwelling. However, because more than 50% of the exterior walls are being altered, the proposed project is described as the demolition of a single family dwelling with an attached garage, and construction of a single family dwelling with an attached garage and an attached JADU on a residentially zoned parcel within a developed neighborhood. The

EVIDENCE:

remodeled single family dwelling will have the same capacity and purpose as the existing residence. Therefore, the proposed development is consistent with CEQA Guidelines section 15302.

- None of the exceptions under CEQA Guidelines section 15300.2 apply c) to this project. The project does not involve a designated historical resource as demonstrated in Finding No. 1, Evidence "i". The project is also not located near a hazardous waste site or within view of a scenic highway corridor. The project, as proposed, does not cause any unusual circumstances that would result in a significant effect or would result in a cumulative significant impact. However, the project site is located within an area of high archaeological sensitivity. Subject to CEQA Guidelines section 15300.2(c), a field reconnaissance survey was required to be performed for the proposed project. On October 19, 2021, Allen Estes with PaleoWest conducted a survey to determine if resources were present on site. The result of that survey was negative. Therefore, a standard condition of approval (Condition No. 3) has been incorporated to ensure construction work is halted if archaeological resources are accidentally uncovered. Thus, there is no feature or condition of the project that distinguishes the project from the exempt class.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on November 14, 2023.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

8. FINDING: PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- **EVIDENCE:** a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP, section 20.147.130 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual Resources, and Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - d) County staff conducted a site inspection on November 14, 2023, to verify that the proposed project will not impact public access.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

9. FINDING: APPEALABILITY – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission. EVIDENCE: a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or

person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

b) <u>Coastal Commission.</u> Pursuant to Title 20 section 20.86.080.A(3), the project is subject to appeal by/to the California Coastal Commission because the project site is located between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1 and 17 Mile Drive) and involves a conditionally allowed use (i.e., development within 750 of known archaeological resources).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

- 1. Find that the project qualifies for a Class 2 Categorical Exemption pursuant to California Environmental Quality Act (CEQA) Guidelines section 15302 and there are no exceptions pursuant to section 15300.2; and
- 2. Approving a Coastal Administrative Permit and Design Approval to allow demolition of an existing 7,833 square foot single family dwelling with an attached garage, and construction of a 6,149 square foot single family dwelling with an attached 487 square foot garage, attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements; and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 19th day of March 2025.

Melanie Beretti, AICP, Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

<u>NOTES</u>

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220019

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Performed:

Condition/Mitigation This Coastal Administrative Permit and Design Approval (PLN220019) demolition of **Monitoring Measure:** 7,833 square foot single family dwelling with an attached garage, existing and construction of a 6,149 square foot single family dwelling with an attached 487 square foot garage, attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements; and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources. The property is located at 1535 Palmero Way, Pebble Beach (Assessor's Parcel Number 008-423-014-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to beThe Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

"A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-423-014-000 on March 19, 2025. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed:Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation construction, cultural, lf, during the course of archaeological, historical or **Monitoring Measure:** paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a archaeologist registered of qualified archaeologist (i.e., an with the Register Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Prior to clearance of conditions, the Owner/Applicant shall pay the Condition **Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors. Performed:**

5. PD049 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

Compliance or Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor Monitoring Action to be submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

6. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Performed:

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or No more than 30 days prior ground to disturbance or tree removal, the Monitorina Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning а nest Action to be survey prepare by a County qualified biologist to determine if any active raptor or Performed: migratory bird nests occur within the project site or immediate vicinity.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed:Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD -Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Owner/Applicant/Licensed Prior to issuance of building permits, Landscape the Monitorina Contractor/Licensed Landscape Architect shall submit landscape plans and Action to be contractor's estimate to HCD - Planning for review and approval. Landscaping plans Performed: shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native. drought-tolerant, non-invasive species; limited turf; and low-flow. water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

9. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or 1. Prior of the to issuance Grading Permit or Building Permit. Monitoring Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the Action to be HCD-Planning and HCD- Engineering Services for review and approval. Performed:

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

10. PDSP001 - JUNIOR ACCESSORY DWELLING UNIT DEED RESTRICTION (NON-STANDARD)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Pursuant to Article 3 for Government Code section 66333(c), the applicant shall record a deed restriction, which shall run with the land, and shall be filed with the County of Monterey stating both of the following regulations for a Junior Accessory Dwelling Unit as follows:

(1) A prohibition on the sale of the junior accessory dwelling unit separate from the sale of the single-family residence, including a statement that the deed restriction may be enforced against future purchasers; and

(2) A restriction on the size and attributes of the junior accessory dwelling unit that conforms with this article. (HCD - Planning)

Compliance or Monitoring Action to be Prior to the issuance of grading or building permits, the Owner/Applicant shall submit the signed and notarized document to the Director of HCD-Planning for review and Signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to HCD-Planning.



PROJECT DATA

PROPERTY OWNER:	Heather and Leslie Stretch 2626 Larkin Street San Francisco, CA 94109	BUILDING HEIGHT:	30'-0" Allowed 22.5' Existing 22.5' Proposed (NO Change)	FAR:	9803.5 SQ FT (17.5%) Allowed 7832.7 SQ FT (14.0%) Existing	SCOPE INCLUDES A RENOVATION OF A NON- HISTORIC 2 STORY HOME, AND DEMOLITION AND RECONSTRUCTION OF THE GARAGE WING OF THE STRUCTURE.
PROJECT ADDRESS:	1535 Palmero Way Pebble Beach, CA 93953	TREE REMOVAL:	NONE		7,131 SQ FT (12.7%) Proposed	MATERIALS INCLUDE WHITE STUCCO TO MATCH EXISTING WITH A DULL GREY METAL STANDING SEAM BOOF AND BLACK METAL
		GRADING:	NONE		•	WINDOWS. GARAGE WING EXTERIOR
APPLICANT:	STOCKER & ALLAIRE, INC. 21B MANDEVILLE CT. MONTEREX, CA, 93940	LOT SIZE:	56,020 SQ FT			THE SAME ROOF AND WINDOWS AS MAIN HOUSE.
A.P.#:	PH: (831) 375-1890 008-423-014-000	BUILDING SITE COVERAGE:	8,403 SQ FT (15%) ALLOWED	PESCADERO SITE COVERAGE:	9,000 SQ FT. ALLOWED	LANDSCAPING TO CHANGE. ASPHALT CONCRETE & BRICK TO BE REMOVED AND
			5494 SQ FT (9.8%) EXISTING	FXISTING	6 357 SE Non-Permeable Walkways & Patios	REPLACED WITH PERMEABLE COBBLESTONE, GRAVEL, AND FLAGSTONE.
ZONING:	LDR 1.5D/CZ		5258 SQ FT (9.4%) PROPOSED		6,162 SF Non-Permeable Driveway	
PROJECT CODE COMPLIANCE:	2019	SETBACKS:	MAIN STRUCTURE		5,494 SF Existing Buildings	
ΟΓΟΠΡΑΝΟΥ	B-3		30' FRONT 20' SIDE 20' BEAR		18,013 SF Total Existing Coverage	
GROUP:						
CONSTRUCTION	VB	SQ FT PROPOSED.		PROPOSED:	3,613 SF Cobblestone Driveway (Permeable)	
TYPE:			3 934 SO FT		2,250 SF Gravel (Permeable)	
TOPOGRAPHY:	VERY GENTLE SLOPE TO SOUTHWEST	GARAGE & BIKES: OVERHANGS AND 2ND STORY	982 SQ FT 342 SQ FT		1,493 SF Patio Flagstone (Permeable)	
SEWER:	PBCSD	PORCHES DEEPER THAN 30"			7,356 SF Permeable Coverage	
		2nd FLOOR LIVING: 2nd story porches	2,215 SQ FT 686 SQ FT		5,258 SF Proposed Building	
WATER:	CAL Am Water				3,637 SF Patio Flagstone (Impermeable)	
					80 SF SPA (Impermeable)	
					8,975 SF Impermeable Coverage	

1535 PALMERO WAY

<u>SHE</u>	ET INDEX			
GENE	RAL	L2.5	IRRIGATION WATER CALCULATION	
A0.1	PROJECT DATA	L3.0	CONCEPTUAL PLANTING PLAN	\$ \$
A0.2	GENERAL NOTES	L3.1	PLANT SCHEDULE	5
A0.3	SITE PLAN	L4.0	CONCEPTUAL LIGHTING PLAN	G
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C0.1	CIVIL COVER SHEET	L5.0	FUEL MANAGEMENT PLAN	ntractor.
C1.1	OVERALL SITE PLAN	ARCH	ITECTURAL	t O ral Cor
C1.2	RESIDENCE GRADING & DRAINAGE PLAN	A1.0	EXISTING MAIN LEVEL PLAN	Gene
C2.1	TEMPORARY EROSION & SEDIMENT	A1.1	EXISTING UPPER LEVEL PLAN	
	TEMPODADY EDOCION AND SEDIMENT	A1.2	LOWER LEVEL DEMO PLAN	
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L2.1	IRRIGATION NOTES AND LEGEND	A1.7	UPPER LEVEL EXTERIOR LIGHTING PLAN	PALM ACH,
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L2.3	IRRIGATION DETAILS	A2.1	EXISTING ELEVATIONS	15 3BLE
L2.4	IRRIGATION DETAILS	A2.2	PROPOSED ELEVATIONS	PEE
		A2.3	PROPOSED ELEVATIONS	
		A3.0	ROOF PLAN	

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VICINITY MAP



GENERAL NOTES

- 1. PROJECT SHALL COMPLY WITH TITLE 24 AND 2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA RESIDENTIAL CODE (CRC), 2019 CALIFORNIA MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC). 2019 CALIFORNIA ENERGY CODE (CEnC). 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC), AND THE CURRENT EDITION OF THE MONTEREY COUNTY CODE (MCC).
- 3. SPECIAL INSPECTION AND STRUCTURAL OBSERVATION IS REQUIRED FOR THIS PROJECT.
- 4. PROPERTY CORNERS SHALL BE SET IN PLACE BY A LICENSED SURVEYOR.
- VERIFY ELEVATION OF NEAREST UPSTREAM MANHOLE COVER. DRAINAGE PIPING 5. SERVING FIXTURES WITH FLOOD LEVEL RIMS LESS THAN 2 FT. ABOVE THIS ELEVATION SHALL BE PROTECTED FROM SEWAGE BACK FLOW WITH AN APPROVED BACK WATER VALVE.
- WINDOWS OF HABITABLE ROOMS SHALL AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE ROOM FLOOR AREA. (R303)
- OPENABLE WINDOW AREA TO THE OUTDOORS OF HABITABLE ROOMS SHALL BE NOT LESS THEN 4% OF THE ROOM FLOOR AREA BEING VENTILATED. (R303)
- IN LIEU OF OPENABLE WINDOWS FOR HABITABLE ROOMS, A MECHANICAL VENTILATING SYSTEM CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR (WITH 1/5 OF AIR SUPPLY FROM THE OUTSIDE) SHALL BE PROVIDED.
- WINDOWS FOR BATHROOMS, LAUNDRY ROOMS, WATER CLOSET COMPARTMENTS AND 9. SIMILAR NON-HABITABLE ROOMS, SHALL BE PROVIDED WITH AN AGGREGATE GLAZING AREA OF NOT LESS THAN 3 SF, ONE-HALF OF WHICH MUST BE OPENABLE. A WINDOW IS NOT REQUIRED IF ARTIFICIAL LIGHTING AND A LOCAL EXHAUST SYSTEM IS PROVIDED, PER R303.3.
- 10. PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING A MINIMUM OF 50 CFM FOR INTERMITTENT VENTILATION AND 20 CFM FOR CONTINUOUS VENTILATION IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS.
- 11. FOR THE PURPOSE OF LIGHT AND VENTILATION ANY ROOM MAY BE CONSIDERED AS PART OF AN ADJOINING ROOM WHEN 50% OF THE COMMON WALL IS OPEN AND UNOBSTRUCTED AND PROVIDES AN OPENING OF 10% OF THE INTERIOR ROOM AREA OR 25 SQUARE FEET WHICHEVER IS GREATER.
- 12. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUBS WITH SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
- 13. SAFETY GLAZING OR TEMPERED GLASS SHALL BE REQUIRED IN HAZARDOUS LOCATIONS PER CRC SECTION R308.4. A PERMANENT LABEL SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
- 14. 22"X30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM IS REQUIRED. (R807.1)
- 15. ONE EXIT DOOR SHALL BE NOT LESS THAN 3' WIDE AND 6'-8" IN HEIGHT SO MOUNTED THAT THE CLEAR WIDTH OF EXIT-WAY IS NOT LESS THAN 32".
- 16. A DOOR MAY SWING OVER A LANDING THAT IS NOT MORE THAN 1-1/2" BELOW THRESHOLD.
- 17. LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36".
- 18. ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS. a.MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. b.MINIMUM NET CLEAR OPENING WIDTH OF 20" c.MINIMUM NET CLEAR HEIGHT OF 24". d.WINDOW SILL HEIGHT OF NOT MORE THAN 44 IN ABOVE THE FLOOR.
- 19. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM BOARD.
- 20. PROVIDE 42" HIGH PROTECTIVE GUARDRAIL FOR DECKS, PORCHES, BALCONIES AND RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY FROM THE EDGE), AND OPEN SIDE(S) OF STAIR LANDINGS. OPENINGS BETWEEN BALUSTERS/RAILS SHALL BE LESS THAN 4".
- 21. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 LBS PER LINEAR FOOT. AND A CONCENTRATED LOAD OF 200 POUNDS: THE LOAD SPECIFIED MUST BE PLACED AT THE TOP OF THE HANDRAIL OR GUARD.
- 22. HANDRAILS AT STAIRS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS, PER CRC SEC. R311.7.8.
- 23. SMOKE DETECTORS SHALL BE PROVIDED PER CRC SEC. R314.
- 24. CARBON MONOXIDE ALARMS SHALL BE PROVIDED PER CRC SEC. R315.
- 25. UNDER FLOOR VENTING TO COMPLY WITH CRC SEC R408.1. OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND PROVIDE CROSS VENTILATION. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF A 1/4" IN DIMENSION.
- 26. ATTIC VENTS TO COMPLY WITH CRC SEC R806.2.
- 27. THE INSTALLATION AND INSULATION CERTIFICATES ARE REQUIRED TO BE POSTED AT THE JOB SITE DURING THE CONSTRUCTION PHASE OF THE PROJECT. (CF-6R)
- 28. CLOTHES DRYERS ARE TO VENT DIRECTLY TO THE OUTSIDE WITH SMOOTH 4" MIN EXHAUST DUCT WITH BACK-DRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO 14' WITH TWO ELBOWS.
- 29. FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NOT MORE THAN 48".
- 30. AN APPROVED SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS. WHERE SLEEPING ROOMS ARE LOCATED ON AN UPPER LEVEL, THE DETECTORS SHALL BE PLACED AT THE CENTER OF THE CEILING DIRECTLY ABOVE THE STAIRWAY. MOUNT AT CEILING 4" FROM A WALL OR ON THE WALL WITH THE TOP OF THE DETECTOR WITHIN 4"-12" OF THE HIGHEST POINT OF THE CEILING. FOR SPECIFIC LOCATION REQUIREMENTS SEE R314.3.3 OR NFPA 72. SMOKE DETECTORS REQUIRED FOR A REMODEL SHALL RECEIVE THEIR PRIMARY POWER FROM BATTERY. SMOKE DETECTORS REQUIRED FOR NEW CONSTRUCTION SHALL BE DIRECTLY WIRED TO THE BUILDING POWER AND HAVE A BATTERY BACKUP.

- 31. OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS AND FI CEILING SHALL BE FIRE BLOCKED WITH NONCOMBUSTIBLE MATER
- 32. FIRE BLOCKING IS REQUIRED AT THE OPENING BETWEEN THE ATTI CHIMNEY CHASE FOR FACTORY BUILT CHIMNEY.
- 34. STAIR REQUIREMENTS: a. MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT ST NOSING. b. MINIMUM 36 INCH CLEAR WIDTH.
- 35. WINDING STAIRWAYS:
- a. THE REQUIRED DEPTH OF A WINDER TREAD (10 INCHES MINIMU POINT NOT MORE THAN 12 INCHES FROM THE SIDE OF THE STAIRW TREADS ARE NARROWER. AND NOT LESS THAN 6 INCHES AT ANY P b. THE WIDTH OF THE RUN SHALL NOT BE LESS THAN 26 INCHES AT
- 36. HEARTHS SHALL EXTEND AT LEAST 16 INCHES IN FRONT OF AND AT BEYOND EACH SIDE OF THE FIREPLACE OPENING THAT IS LESS TH FOR FIREPLACE OPENINGS 6 SQ FT AND LARGER, THE HEARTH SHA EXTENSION OF AT LEAST 20 INCHES IN FRONT OF AND AT LEAST 12 EACH SIDE OF THE FIREPLACE OPENING.
- 37. THE HEARTH SHALL BE READILY DISTINGUISHABLE FROM SURROU
- 38. THE DECORATIVE SHROUD AT THE TOP OF THE CHIMNEY IS ALL NO CONSTRUCTION. NOTE: NO SHROUD SHALL BE PERMITTED ON A FA CHIMNEY UNLESS SPECIFICALLY PERMITTED BY THE TERMS OF TH
- 39. THE TOP OF ANY CHIMNEY SHALL EXTEND A MINIMUM OF TWO FEE OF THE BUILDING WITHIN 10 FEET OF THE CHIMNEY. ALL CHIMNEYS SPARK ARRESTER.
- 41. PACKAGING FOR ROOFING MATERIALS SHALL BEAR THE MANUFAC APPROVED TESTING AGENCY'S LABELS FOR FIELD INSPECTION.
- 42. PRE-MANUFACTURED FIREPLACES SHALL BE INSTALLED PER THE INSTRUCTIONS AND BE PROVIDED WITH TIGHT FITTING METAL OR COVERING THE ENTIRE OPENING OF THE FIREBOX. HEARTH EXTEN FACTORY-BUILT FIREPLACES SHALL CONFORM TO THE CONDITION THE MANUFACTURER'S INSTRUCTIONS. PROVIDE A MINIMUM 2 INC BETWEEN CHIMNEY AND COMBUSTIBLE FRAMING. THE MINIMUM F PER THE MANUFACTURER'S SPECIFICATIONS. METAL CHIMNEYS SH AT EACH FLOOR AND ROOF WITH TWO 1 1/2 - INCH BY - 1/8 INCH ME LOOPED AROUND THE OUTSIDE OF THE CHIMNEY INSTALLATION AN LESS THAN SIX 8d NAILS PER STRAP AT EACH JOIST. a. PROVIDE OUTSIDE COMBUSTION AIR INTAKE DIRECTLY INTO THE OF 6 SQUARE INCHES IN AREA AND EQUIPPED WITH A READILY ACC AND TIGHT-FITTING DAMPER. (CEC SECTION 150-(e)-1, A-C) (NOT RE FIREPLACE IS INSTALLED OVER CONCRETE SLAB FLOORING AND T NOT BE LOCATED ON AN EXTERIOR WALL
- 43. THE EXTERIOR WALL ENVELOPE SHALL BE CONSTRUCTED IN A MAI PREVENTS THE ACCUMULATION OF WATER WITHIN THE WALL ASSE A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER, AN DRAINAGE TO THE EXTERIOR WATER THAT ENTERS THE ASSEMBLY a A
- BARRIER OF ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOL COMPLYING WITH ASTM D226 FOR TYPE 1 FELT, OR OTHER APPRON RESISTIVE BARRIER SHALL BE APPLIED OVER STUD OR SHEATHING WALLS. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH T LAPPED NO LESS THAN 2 INCHES OVER THE LOWER LAYER, AND L THAN 6 INCHES AT ALL VERTICAL JOINTS. (R703.2) b. APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIE IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVIT OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENT SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. b. THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WAL BE IN ACCORDANCE WITH SECTION R703, TABLE R703.3(1), AND TH MANUFACTURERS INSTALLATION INSTRUCTIONS. c. FASTENERS FOR EXTERIOR WALL COVERINGS ATTACHED TO WO BE IN ACCORDANCE WITH SECTION R703.3.2 AND TABLE R703.3(1).
- 44. TRUSS CALCULATIONS SHALL INCLUDE TRUSS PROFILES, LAYOUT AND CALCULATIONS FROM THE TRUSS MANUFACTURER. THE MANU SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAM DATE) BY THE DESIGNER/ARCHITECT/ENGINEER OF RECORD FOR COMPATIBILITY. A CERTIFICATION LETTER FROM SUCH PERSON SH THE JURISDICTION STATING AS SUCH. THE TRUSSES SHALL NOT BE APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY TH COUNTY BUILDING DIVISION.

TRUSS FABRICATOR SHALL SUBMIT NAME AND PHONE NUMBER OF INSPECTING THE SHOP OPERATIONS. CALCULATIONS AND DETAILS ARE TO BE PREPARED AND SIGNED B

ARCHITECT/ENGINEER. TRUSS MANUFACTURER SHALL PROVIDE A TRUSS PLACEMENT DIA IDENTIFIES THE PROPOSED LOCATION FOR EACH INDIVIDUALLY DE AND REFERENCES THE CORRESPONDING TRUSS DESIGN DRAWING IN THE SUBMITTAL PACKAGE AND WITH THE SHIPMENT OF THE TRU EACH TRUSS SHALL BE LEGIBLY BRANDED, MARKED, OR OTHERWIS AFFIXED THERE TO THE FOLLOWING INFORMATION WITHIN TWO FE OF THE BOTTOM CORD.

- 45. HANDRAILS SHALL BE 34 INCHES TO 38 INCHES ABOVE THE NOSING
- 46. REQUIRED GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE W THAT ALLOW A 4 INCH DIAMETER SPHERE TO PASS THROUGH. GUA SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW THE PAS DIAMETER SPHERE. THE TRIANGULAR OPENINGS FORMED BY THE BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIR ALLOW THE PASSAGE OF A 6 INCH DIAMETER SPHERE.
- 47. THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION.
- 48. EXHAUST AND INTAKE OPENINGS TERMINATING OUTDOORS SHALL WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WI 1/4" - 1/2" IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGA WEATHER CONDITIONS.
- 49. LANDINGS AT EXTERIOR DOORS SHALL BE EQUAL TO THE WIDTH O HAVE A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36". SLOP LANDINGS SHALL NOT EXCEED 1/4" PER FOOT (2% SLOPE).

			MECHANICAL	
HEPLACES AT THE RIALS. IC SPACE AND THE	50. INSULATION MATERIALS AND FACINGS SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 25 AND A MAXIMUM SMOKE-DEVELOPED INDEX OF 450. EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX OF NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER.	 73. NOTE: VENTING FOR ISLAND FIXTURES SHALL BE DESIGNED PER SECTION 909.0 OF THE 2016 CALIFORNIA PLUMBING CODE. 74. WATER HEATER INSTALLATION REQUIREMENTS: 	91. ALL MECHANICAL PLANS AND SPECIFICATIONS, AS WELL AS COMBUSTION AIR REQUIREMENTS, TO BE SUBMITTED BY THE MECHANICAL CONTRACTOR AND APPROVED PRIOR TO INSTALLATION.	1 1 c. # 5047 31.375.14
	51. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN NEW DWELLING UNITS AND SLEEPING UNITS WHICH HAVE FUEL-BURNING APPLIANCES INSTALLED OR HAVE ATTACHED GARAGES.	a. PROVIDE WATER TIGHT PAN WITH DRAIN TO APPROVED LOCATION. b. RELIEF VALVE MAY NOT DISCHARGE INTO PAN. c. PROVIDE ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT, BUT NOT LESS THAN 30" SOLIARF ACCESS	92. a. PROVIDE ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT, BUT NOT LESS THAN 30"X 30" MINIMUM ACCESS OPENING, AND 30" SQUARE MINIMUM ACCESS PASSAGEWAY.	
IAINWAY IKEAD	CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACKUP. WIRING SHALL BE PERMANENT AND	d. LOCATE WATER HEATER NO FURTHER AWAY THAN 20 FT FROM THE ACCESS OPENING. A MINIMUM 24" WIDE CATWALK SHALL CONNECT THE WATER HEATER TO THE ACCESS.	b. LOCATE EQUIPMENT NO FURTHER THAN 20 FT FROM THE ACCESS OPENING. A MINIMUM 24" WIDE CATWALK SHALL CONNECT THE EQUIPMENT TO THE ACCESS.	.375.1890
IM) IS PROVIDED AT A VAY WHERE THE POINT.	WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED, THE ALARM SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM ACTIVATES ALL OF THE	6. FROVIDE PERMANENT ACCESS LADDER IF PLATFORM IS MORE THAN 8 FT ABOVE FLOOR LEVEL UNLESS ATTIC IS LOCATED ON SINGLE STORY PORTION OF BUILDING. f. PROVIDE ACCESS FLOORING FROM OPENING TO WATER HEATER.	c. PROVIDE 30" WORKING DEPTH, WIDTH AND HEIGHT ALONG THE SERVICE SIDE OF THE EQUIPMENT.	Ph 831
T ANY POINT. T LEAST 8 INCHES	ALARMS IN THE INDIVIDUAL UNIT. SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED TO COMPLY WITH UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED TO COMPLY WITH UL 2075. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 720 AND THE	 PLUMBING INSTALLATION REQUIREMENTS: a. PROVIDE WATER HEATER PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE OF BUILDING OR OTHER APPROVED LOCATION. NO PART OF DRAIN MAY BE INSTALLED WHERE IT WOULD BE SUBJECT TO FREEZING. 	 d. PROVIDE A PERMANENT OUTLET AND LIGHT FIXTURE AT THE EQUIPMENT. LOCATE SWITCH AT THE ACCESS OPENING. 93. A "BATHROOM". WHICH CONTAINS A BATHTUR SHOWER OR TUR/SHOWER 	2
HAN 6 SQUARE FEET. HALL HAVE AN 2 INCHES BEYOND	MANUFACTURER'S INSTALLATION INSTRUCTIONS. REQUIRED CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCA TIONS: 1. OUTSIDE OF FACH SEPARATE SUFERING AREA IN THE IMMEDIATE VICINITY OF THE	 b. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL EXTERIOR HOSE BIBBS AND LAWN SPRINKLER/IRRIGATION SYSTEMS. c. FOR COOLING EQUIPMENT OR COOLING COILS PROVIDE MINIMUM 3/4" CONDENSATE DRAIN LINE TO APPROVED LOCATION. FOR UNITS INSTALLED IN ATTIC OR FURDED. 	COMBINATION, SHALL BE MECHANICALLY VENTILATED WITH AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AND SHALL INCLUDE THE FOLLOWING: HAVE A MINIMUM VENTILATION RATE OF 50 CFM AND BE ENERGY STAR COMPLIANT AND MUST BE	1 33940
	BEDROOMS. 2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.	SPACE, PROVIDE SECONDARY DRAIN PAN AND LINE OR OVERFLOW.	CONTROLLED BY A HOMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HOMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS,	eey, cA §
ACTORY BUILT	52. FACTORY BUILT CHIMNEYS INSTALLED IN DWELLING UNITS WITH SOLID –FUEL-BURNING APPLIANCES SHALL COMPLY WITH TYPE HT REQUIREMENTS OF UL 103 AND SHALL BE	76.	OR IF FAN IS INTEGRAL WITH THE LIGHTING IT SHALL BE POSSIBLE FOR THE LIGHTING TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO	^{s, Inc}
ET ABOVE ANY PART S SHALL HAVE A	CHIMNEY". CHIMNEYS FOR USE WITH OPEN COMBUSTION CHAMBER SHALL COMPLY WITH THE REQUIREMENTS OF UL 103 AND NEED ONLY BE MARKED "RESIDENTIAL TYPE AND BUILDING HEATING APPLIANCE CHIMNEY".	77. IN THE KITCHEN AND DINING AREA A RECEPTACLE SHALL BE PROVIDED FOR EACH COUNTER SPACE WIDER THAN 12" SO THAT NO POINT IS MORE THAN 24" FROM AN OUTLET IN ADDITION TO OUTLETS RENDERED INACCESSIBLE BY STATIONARY	DERATE FOR AN EXTENDED PERIOD. BATHROOM EXHAUST FAN CONTROLS MUST COMPLY WITH ONE OF THE FOLLOWING: 1) ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS. 2) FOR AN EXHAUST FAN WITH AN INTEGRAL LIGHTING SYSTEM. IT SHALL BE	O C Contractor
CTURER'S AND	53. FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.	 APPLIANCES. 78. ALL 120 VOLT RECEPTACLES INSTALLED IN BATHROOMS, OUTDOORS, IN AN UNFINISHED BASEMENT, IN THE GARAGE, IN UNFINISHED ACCESSORY BUILDINGS, AT ALL KITCHEN 	POSSIBLE FOR THE LIGHTING SYSTEM TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD.	General C
MANUFACTURER'S GLASS DOORS NSIONS OF LISTED	54. ALL NAILING FOR FRAMING TO COMPLY WITH 2019 CBC TABLE 2304.10.1 OR CRC TABLE R602.3(1) FASTENING SCHEDULE.	COUNTERTOPS AND WITHIN 6' OF A WET BAR SINK SHALL BE GFCI PROTECTED. 79. AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED	WINDOW TO THE EXTERIOR OR A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING 50 CFM.	
IS OF LISTING AND H SEPARATION	55. WHERE TOP OR SOLE PLATE ARE CUT FOR PIPES, A METAL TIE MINIMUM 0.058 INCHES THICK AND 1 1/2 INCHES WIDE SHALL BE FASTENED ACROSS THE OPENING WITH 6-16d	OUTSIDE, IN BATHROOMS, GARAGES, ATTICS, AND BASEMENTS. 80. FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE SO LABLED.	NOTE:	
HALL BE ANCHORED ETAL STRAPS	56. BEARING AND EXTERIOR WALL DOUBLE TOP PLATES TO BE OFF-SET AT THE END JOINTS	81. A DEDICATED 20 AMP CIRCUIT SHALL BE PROVIDED TO SERVE THE REQUIRED BATHROOM OUTLETS, THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACIES/	SEISMIC FORCE RESISTING SYSTEM, DESIGNATED SEISMIC SYSTEM OR A WIND OR SEISMIC RESISTING COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE RULL DING OFFICIAL	
E FIREBOX A MINIMUM	MIN 48". PROVIDE (8)-16d LAP SPLICE NAILING.57. TRUSSES TO BE CONNECTED TO INTERIOR NON-BEARING WALLS AND BEAMS WITH	LIGHTS/FANS.	AND THE OWNER PRIOR TO THE COMMENCEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON THE SYSTEM OR COMPONENT. THE CONTRACTOR'S STATEMENT OF RESPONSIBILITY SHALL CONTAIN THE FOLLOWING: (1) ACKNOWLEDGEMENT OF AWARENESS OF THE SPECIAL	3
EQUIRED IF THE THE FIREPLACE WILL	TRUSS CLIPS ONLY. 58. RAFTERS SHALL BE NAILED TO ADJACENT CEILING JOIST TO FORM A CONTINUOUS TIE	ELECTRIC GROUND WILL BE UNDER FOOTING. GROUND TO BE 2 – 20" LENGTH #4 BARS RUNNING IN OPPOSITE DIRECTIONS AND TIED TO FOOTING STEEL.	REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. (2) ACKNOWLEDGEMENT THAT CONTROL WILL BE EXERCISED TO OBTAIN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING	3955 *-423-
NNER THAT EMBLY BY PROVIDING	BETWEEN EXTERIOR WALLS WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS. WHEN NOT PARALLEL, RAFTERS SHALL BE TIED TO 1X4 MIN. SIZE CROSS TIES. RAFTER TIES SHALL BE SPACED NOT MORE THAN 4' O.C.		OFFICIAL. (3) PROCEDURES FOR EXERCISING CONTROL WITHIN THE CONTRACTOR'S ORGANIZATION, THE METHOD AND FREQUENCY OF REPORTING AND THE DISTRIBUTION OF THE REPORTS. (4) IDENTIFICATION AND QUALIFICATION OF THE PERSON(S)	ERO CA 9
ID A MEANS OF Y. WATER-RESISTIVE	59. ALL HEADERS AT NEW OPENINGS SHALL BE D.F#1. ALL LUMBER TO BE D.F.#2 OR BETTER UNLESS OTHERWISE SPECIFIED. PER 23-IV-V-1&2. STRUCTURAL LUMBER AS	HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED.	EXERCISING SUCH CONTROL AND THEIR POSITION(S) IN THE ORGANIZATION. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT. SINGLE PHASE, 15 AND 20 AMPERE	H, APN
LES AND BREAKS, VED WATER- G OF ALL EXTERIOR	SHOWN ON PLANS MAY BE SUBSTITUTED W/(2) – 1 3/4" MICROLAMS OR OSB LUMBER WITH EQUAL DEPTH. WOOD IN CONTACT WITH EARTH SHALL BE PRESSURE TREATED.	85. PROVIDE AT LEAST TWO SEPARATE 20 AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, PANTRY, DINING ROOM AND SIMILAR AREAS, WITH NO OTHER OUTLETS ON THE CIRCUITS.	OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS,LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERBUPTER (AFCI) PROTECTED PER CEC 210 12(B)	35 P/ BEAC
APPED NOT LESS	ELEMENTS SHALL BE PRESSURE TREATED OR REDWOOD.	86. PROVIDE AT LEAST ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCE RECEPTACLE.	FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE SO LABLED.	15 BLE
TY OR PENETRATION S. THE FLASHING (R703.4)	 61. MINIMOM CONCRETE COMPRESSIVE STRENGTH SHALL BE 2500 PSTAT 26 DATS. 62. FIREBLOCKING: IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEAL ED DRAFT OPENINGS (POTLEVEDTICAL AND LODIZONTAL) AND 	87. LUMINARIES INSTALLED IN CLOSETS SHALL BE 12 INCHES FROM EDGE OF STORAGE SHELF FOR INCANDESCENT OR LED SURFACE MOUNTED. SURFACE	BATHROOM ALSO NOTE:	PEE 7th
L COVERINGS SHALL E WALL COVERING DOD FRAMING SHALL	TO GOT OF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:	MOUNTED OR RECESSED FLUORESCENT, RECESSED INCANDESCENT OR LED, 6- INCHES. SURFACE MOUNTED FLUORESCENT OR LED PERMITTED IN STORAGE AREA IF LISTED FOR USE.	ALL 125-VOLT, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER- RESISTANT RECEPTACLES PER CEC 406.11	C enil
PLAN, TRUSS PLANS	(1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:			
IUFACTURED TRUSS MP, SIGNATURE, AND DESIGN	1.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS. 1.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.	90. RESIDENTIAL LIGHTING MEASURES, TITLE 24 ADDITIONAL		
E INSTALLED UNTIL AN HE MONTEREY	(2) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.	a) ALL INSTALLED LUMINARIES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED LABELED.		
F THE AGENCY BY A REGISTERED	(3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.	b) OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE BUILDING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND BE CONTROLLED BY A		
AGRAM THAT ESIGNATED TRUSS GS (TO BE INCLUDED	(4) AT OPENINGS AROUND VENTS, PIPES DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, AND WITH APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING ANNUL AR	PHOTOCELL AND MOTION SENSOR, OR BY PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING THE DAYLIGHT HOURS, OR BY ENERGY MANAGEMENT CONTROL SYSTEM.		
JSSES). ISE PERMANENTLY EET OF THE CENTER	SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS. (5) FOR THE FIREBLOCKING OF CHIMNEY AND FIREPLACES. SEE SECTION R1003.19	c) LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED "SUITABLE FOR WET/DAMP LOCATIONS".		ES WA
G OF TREADS	PLUMBING	d) OUTLET BOXES INSTALLED FOR CEILING SUSPENDED FAN SHALL BE LISTED AND MARKED FOR THIS PURPOSE, AND SHALL NOT SUPPORT FANS WEIGHING MORE THAN		
VALKING SURFACE	63. WATER CLOSET COMPARTMENTS SHALL HAVE 30" CLEAR WIDTH AND 24" CLEARANCE IN FRONT OF THE WATER CLOSET.	70 POUNDS. BOXES SUPPORTING FANS WEIGHING MORE THAN 35 POUNDS MUST BE MARKED INSIDE THE BOX TO INCLUDE MAXIMUM WEIGHT TO BE SUPPORTED.		L ER
ARDS ON THE OPEN SSAGE OF A 4-3/8 INCH E RISER, TREAD, AND WAY SHALL NOT	64. WATER HEATERS OVER 4' IN HEIGHT SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE.	e) SCREW BASED LUMINAIRES SHALL MEET ALL THE FOLLOWING: 1) SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS; AND 2) SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE APPENDIX JA8; 3) THE INSTALLED LAMPS SHALL BE MARKED WITH 1A8-2016 OR 1A8-2016-F		NLM ERAI
1 1/4 INCH NOR MORE	65. USE OF SOLDERS MORE THAN TWO-TENTHS OF 1 PERCENT LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEM IS PROHIBITED.	f) LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; SEALED WITH GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CEPTIETED TO COMPLY WITH SECTION 110.0		5 P/
BE PROTECTED	 66. 67. PROVIDE 12" SQUARE (MINIMUM) ACCESS PANEL OR UTILITY SPACE FOR ALL PLUMBING FIXTURES WITH SLIP-JOINT CONNECTIONS. 	AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. JA8-2016-E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL		153
DF THE DOOR AND	68. MAXIMUM WATER FLOW RATES FOR PLUMBING FIXTURES: 1.28 GAL. PER FLUSH AT WATER CLOSETS, 1.8 GPM AT SHOWER HEADS, 1.2 GPM AT LAVATORY FAUCETS, AND 1.8 GPM AT KITCHEN SINK FAUCETS	g) DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8		
-E OF EXTERIOR	 69. PROVIDE PRESSURE VALVE OR THERMOSTATIC MIXING VALVE TO LIMIT WATER TEMPERATURE TO 120 DEGREES F AT TUBS AND SHOWERS. 	(INCLODING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 119(d) AND NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION.		
	70. 2 X 6 WALL FRAMING FOR PLUMBING LINES 3" OR GREATER WHERE REQUIRED. COORDINATE WITH PLUMBING CONTRACTOR.	h) AT LEAST ON LIGHT IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 119(d) THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. (150(k)3)		
	71. PLUMBING VENTS TO TERMINATE 6" ABOVE ROOF AND 36" FROM ANY PROPERTY LINE.	i) TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL LOCATION EXCEPT AT OUTLETS LOCATED MORE THAN 5-1/2 FEET ABOVE THE FLOOR, OUTLETS THAT ARE A		
	a. A REMOVABLE PANEL OF SUFFICIENT DIMENSION SHALL BE PROVIDED TO ACCESS THE PUMP.	PART OF A LUMINAIRE, OUTLETS DEDICATED TO APPLIANCES THAT CANNOT BE EASILY MOVED AND AT OUTLETS LOCATED IN ATTICS.		
	b. THE CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CROWN WEIR OF THE TRAP.	J) PRIOR TO RECEIVING A BUILDING FINAL, A COMPLETED COPY OF THE WS-5R FORM SHALL BE GIVEN TO THE OWNER AND TO THE BUILDING INSPECTOR.		
	C. THE PUMP AND CIRCULATION PIPING SHALL BE SELF-DRAINING TO MINIMIZE WATER RETENTION IN ACCORDANCE WITH STANDARDS REFERENCED IN CPC TABLE 14-1.			:se
	d. SUCTION FITTINGS ON WHIRLPOOL BATHS SHALL COMPLY WITH THE LISTED STANDARDS.			kevision

A0.2

e. A 12X12 ACCESS PANEL OR UTILITY SPACE ARRANGED WITHOUT OBSTRUCTIONS TO MAKE CONCEALED SLIP-JOINT CONNECTIONS ACCESSIBLE FOR FIELD INSPECTION AND REPAIR IS REQUIRED.

FOUND 2" IRON PIPE, "RE707" 88.78 2ICVBs \$ 86.38 85.60 85.40 84.87 61 \$ 84.62 6 84.17 20 -84-83.89 83.52 \$ 83.54 83.26 PARCEL I DOC. #2013034184 83.63 2-PRONG OAK, 18"-24" 82.72×82.65 81.50 3-PRONG 82.47 83 00 83.51 0.62 QAK. 50,00' ×. N 87°14'26" W × 81.41 ×82.47 82.51 81.73 81.26 × ×. 82.36 81.69 81.18 × 82.64 × 81.54 81.98

NOTES:

1. ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
- 3. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. PAVEMENT OF PALMERO WAY AT THE DRIVEWAY ENTRANCE, SHOWN HEREON.
- ELEVATION = 90.00 FEET (APPROX. NAVD88)
- 4. CONTOUR INTERVAL = ONE FOOT.
- 5. TREE TYPES AND TAGS ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT SHOWN.
- 6. FIELDWORK FOR THIS SURVEY WAS COMPLETED ON JUNE 11, 2021.



CSV CRAWLSPACE VENT ICV IRRIGATION CONTROL VALVE ICVB IRRIGATION CONTROL VALVE BOX #123 DENOTES A TREE TAG WITH NUMBER SHOWN (TYP.) ------ DENOTES HEDGE OR LAWN AS SHOWN DENOTES WOOD FENCE ------- DENOTES CHAIN LINK FENCE DENOTES CONC/BRICK WALL

	T()P(DGRA	PHIC	MAP)	
THE BEIN SUR' RAI	PARCEL G A POF /EYOR'S NCHOS" OFFICI	.S DE RTION MAP FILED AL RE	OF THE OF THE OF EL PE IN VOL. ECORDS O	F N DOCUMI LAND SHO SCADERO 3 OF "SU F MONTEF	ENT #201 DWN ON " AND POI RVEYS" A REY COUN	30341 LICEN NT PI T PG. ITY	84 SE NC
	es industriances inter			2.11.22.01.01.01.02.00.00.00.00.00.00		0.4115	
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PEBBL S1	OCKER	(& / JTRA T, SUIT	PREPAR Allaire (L COAS E N-11 Phone: (831 Fax: (831	MONTEREY E D F O R General Y ST SUR MONTEREY, 1) 394-4930 1) 394-4931	Contra VEYORS	ctor: 93940	S
SCALE:	OCKER OCKER ARRIS COUP	(& / JTRA RT, SUIT 10'	PREPAR Allaire C L COAS EN-11 Phone: (831 Fax: (831	MONTEREY E D F O R General Y ST SUR ^Y MONTEREY,) 394–4930 1) 394–4931 . 21–56	Contra VEYORS CALIFORNIA	ctor: 93940 JUNE	200



GENERAL

- 1. CONSTRUCTION CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL(S) HARMLESS FROM ANY AND ALL LIABILITY, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL(S).
- 2. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH:
- A. ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, ORDINANCES, AND RULES, INCLUDING WITHOUT LIMITATION: CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE CODE (CAL-OSHA)
 - CALIFORNIA CODE 4216 PROTECTION OF UNDERGROUND INFRASTRUCTURE
- B. THE 2022 CALIFORNIA BUILDING STANDARDS CODE (CCR TITLE 24), WITH AMENDMENTS ADOPTED BY THE JURISDICTION HAVING AUTHORITY
- C. CALIFORNIA EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- D. THE PROJECT PLANS AND SPECIFICATIONS E. THE 2018 EDITION OF "STANDARD SPECIFICATIONS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)
- F. THE 2018 EDITION OF "STANDARD PLANS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)
- G. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535 AND EROSION CONTROL ORDINANCE #2805
- 3. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL CURRENTLY APPLICABLE SAFETY LAWS OF ALL APPLICABLE JURISDICTIONAL BODIES. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CALIFORNIA AT PHONE (831) 443-3050.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA.
- 5. INTENTION OF GRADING: NEW SINGLE-FAMILY RESIDENCE, DRIVEWAY AND ASSOCIATED SITE WORK
- 6. PROPERTY IS NOT SUBJECT TO INUNDATION OR 100 YEAR FLOOD LEVELS. (FIRM 06053C0304H) 7. ESTIMATED START: TBD , ESTIMATED COMPLETION: TBD.
- 8. SEE ARCHITECTURAL/LANDSCAPE PLANS AND/OR THE PROJECT ARBORIST'S REPORT FOR TREE PROTECTION AND REMOVAL REQUIREMENTS.
- 9. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA -PLANNING, AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER, AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED THE RECOVERY. RMA - PLANNING, THE ARCHAEOLOGIST, AND LAND OWNER SHALL CONSULT WITH THE APPROPRIATE TRIBAL REPRESENTATIVE REGARDING TREATMENT OF THE RESOURCE.

EARTHWORK AND AREA OF DISTURBANCE SUMMARY

- C = 440 CY
- F = 310 CY
- EXPORT = 130 CY
- ESTIMATED AREA OF DISTURBANCE = 0.75 AC
- THE QUANTITIES PRESENTED ABOVE ARE ESTIMATES ONLY, BASED ON THE DIFFERENCE BETWEEN EXISTING GRADE AND SUBGRADE ELEVATIONS AND FINISHED GRADE AND SUBGRADE ELEVATIONS, AS SHOWN ON THE PLANS, AND ARE NOT ADJUSTED FOR CHANGES IN VOLUME DUE TO CHANGES IN SOIL DENSITY.
- 1. OVER-EXCAVATION IS NOT INCLUDED IN THE ABOVE ESTIMATE. CLEARING AND STRIPPING AND REMOVAL OF AC AND PCC PAVEMENTS ARE NOT INCLUDED IN THE ABOVE ESTIMATES. SITE SPOILS SUCH AS FROM UTILITY TRENCHING, FOUNDATIONS, ETC. ARE NOT INCLUDED IN ABOVE ESTIMATES.
- 2. THESE QUANTITIES SHALL BE USED FOR BONDING AND PERMIT PURPOSES ONLY. CONTRACTOR SHALL MAKE HIS/HER OWN SITE VISIT AND QUANTITY TAKE-OFFS AND SHALL BID ACCORDINGLY.
- 3. EARTHWORK VALUES SHOULD BE REEVALUATED DURING THE EARLY STAGES OF SITE GRADING. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING FINAL EARTHWORK QUANTITIES TO HIS/HER SATISFACTION PRIOR TO START OF GRADING OPERATIONS.

SURVEY AND EXISTING CONDITIONS

- 1. TOPOGRAPHY WAS PREPARED BY CENTAL COAST SURVEYORS IN JUNE 2021.
- 2. TOPOGRAPHIC SURVEY WAS PROVIDED BY OTHERS, AND THE ENGINEER MAKES NO CLAIM AS TO ITS ACCURACY.
- 3. BENCHMARK: MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE AC PAVEMENT OF PALMERO WAY AT THE DRIVEWAY ENTRANCE. ELEVATION = 90.00' (APPROX. NAVD88).
- 4. ALL "MATCH" OR "JOIN" CALLOUTS ON THE PLANS SHALL BE FIELD VERIFIED FOR EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IN THE CASE OF ANY FIELD DISCREPANCY.
- 5. A LETTER SHALL BE SUBMITTED FROM A LICENSED SURVEYOR CERTIFYING THAT PAD ELEVATIONS ARE WITHIN 0.1 FEET OF ELEVATIONS STATED ON APPROVED PLANS, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- 6. THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A CURRENT, COMPLETE, AND ACCURATE RECORD OF ALL DEVIATIONS FROM THE WORK PROPOSED IN THESE PLANS AND SPECIFICATIONS, AND A RECORD DRAWING SET SHALL BE PREPARED AND PROVIDED TO THE ENGINEER AT THE COMPLETION OF WORK. CHANGES SHALL NOT BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE DESIGN ENGINEER.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS IN A GENERAL WAY ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK ON SYSTEMS WHICH MAY BE AFFECTED BY THE EXISTING UTILITY'S LOCATION. IT IS THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT
- 8. BOUNDARY INFORMATION SHOWN IS FROM RECORD DATA. A BOUNDARY SURVEY WAS NOT PERFORMED AS A PART OF THIS WORK. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

low what's **below Call** before you dig.

GRADING AND DRAINAGE

- GEOTECHNICAL REPORT ENTITLED:
- PROJECT NO. 21-263-M.
- THE GEOTECHNICAL ENGINEER. OF THE APPROVED GEOTECHNICAL REPORT
- BY THE CONTRACTOR, AT NO COST TO THE OWNER.
- GRADING OR FOUNDATION EXCAVATION.
- THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
- 7. EXCAVATION FOR ANY PURPOSE SHALL NOT REMOVE LATERAL SUPPORT FROM ANY CLSM NEED NOT BE COMPACTED

- ATTENTION OF THE GEOTECHNICAL ENGINEER.
- SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER.
- PROPOSED IMPROVEMENTS.
- BOTTOM EDGE OF THE ADJACENT FOOTING, WALL, OR UTILITY TRENCH.
- TO AT LEAST 90% RELATIVE COMPACTION.
- PLACEMENT OF ANY FILL.
- 16. ENGINEERED FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS,
- AND AT A 10% SLOPE ONTO THE SLOPE.
- FILL/UNDISTURBED SOIL INTERFACE.
- DRY DENSITY
- OF THE LABORATORY OPTIMUM MOISTURE CONTENT FOR THE SOIL.
- 22. ON-SITE NON-ORGANIC SOIL IS GENERALLY ACCEPTABLE FOR USE AS ENGINEERED FILL.
- SOIL SHALL BE FREE OF ORGANICS, DEBRIS, AND OTHER DELETRIOUS MATERIALS.
- FILL. THAN THE NO. 200 SIEVE SHALL NOT CONTAIN ANY GREATLY EXPANSIVE CLAYS AND SHALL
- ENGINEERED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS.
- SOILS ENGINEER SHALL BE IMMEDIATELY NOTIFIED SUCH THAT ADDITIONAL RECOMMENDATIONS MAY BE MADE.
- REPORT SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION.
- PROTECTIVE SAND COVER. THE WATERPROOF MEMBRANE SHOULD BE PLACED OVER A ROCK IS RECOMMENDED TO PREVENT PUNCTURE OF THE MEMBRANE.
- 28. CONCENTRATED STORM WATER RUNOFF FROM THE PROJECT SITE SHALL NOT BE ALLOWED TO DISCHARGE POINTS.

1. SITE GRADING AND EARTHWORK SHALL BE PERFORMED IN CONFORMANCE WITH THE PROJECT

GEOTECHNICAL INVESTIGATION DESIGN PHASE FOR A PROPOSED RESIDENTIAL REMODEL AND ADDITION ON 1535 PALMERO WAY, PEBBLE BEACH, MONTEREY COUNTY, CA, APN 008-423-014, BY BUTANO GEOTECHNICAL ENGINERING, INC. DATED NOVEMBER 2021,

2. ON SITE GRADING AND EARTHWORK, SITE PREPARATION, EXCAVATION, TRENCHING AND COMPACTION SHALL BE OBSERVED AND TESTED BY THE GEOTECHNICAL ENGINEER DESIGNATED BY THE OWNER. ALL GRADING AND EARTHWORK SHALL BE DONE TO THE SATISFACTION OF

3. SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR. ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS

4. SHOULD THE RESULTS OF ANY COMPACTION TEST FAIL TO MEET THE MINIMUM REQUIRED DENSITY AS SPECIFIED ON THESE PLANS OR IN THE GEOTECHNICAL REPORT, THE DEFICIENCY SHALL BE CORRECTED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AT THE CONTRACTOR'S EXPENSE. THE EXPENSE OF RETESTING SUCH AREAS SHALL ALSO BE BORNE

5. NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY

6. ALL SOILS UTILIZED FOR FILL PURPOSES SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. IMPORTED SOILS SHALL BE APPROVED BY

FOUNDATION WITHOUT FIRST UNDERPINNING OR PROTECTING THE FOUNDATION AGAINST SETTLEMENT OR LATERAL TRANSLATION. THE EXCAVATION OUTSIDE THE FOUNDATION SHALL BE BACKFILLED WITH SOIL THAT IS FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS COBBLES AND BOULDERS OR WITH A CONTROLLED LOW-STRENGTH MATERIAL (CLSM). THE BACKFILL SHALL BE PLACED IN LIFTS AND COMPACTED IN A MANNER THAT DOES NOT DAMAGE THE FOUNDATION OR THE WATERPROOFING OR DAMPPROOFING MATERIAL. EXCEPTION:

8. IMPERVIOUS SURFACES ADJACENT TO STRUCTURES SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE STRUCTURE FOR A MINIMUM DISTANCE OF 10 FEET, UNLESS OTHERWISE SHOWN. LANDSCAPE AREAS ADJACENT TO STRUCTURES SHALL SLOPE A MINIMUM OF 5% AWAY FROM THE STRUCTURE FOR A MINIMUM DISTANCE OF 10 FEET, UNLESS OTHERWISE SHOWN.

9. RELATIVE COMPACTION SHALL BE EXPRESSED AS A PERCENTAGE OF THE MAXIMUM DRY DENSITY OF THE MATERIAL AS DETERMINED BY ASTM TEST D-1557. IN-PLACE DENSITY TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM TESTS D-1556 AND D-6938.

10. GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING STRUCTURES, OBSTRUCTIONS, TREES SHOWN TO BE REMOVED, VEGETATION, ORGANIC-LADEN TOPSOIL, LARGE ROOTS, DEBRIS, AND OTHER DELETERIOUS MATERIALS. BURIED SUBSURFACE OBJECTS ENCOUNTERED, OR VOIDS CREATED DURING SITE PREPARATION SHALL BE CALLED TO THE

11. SURPLUS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND

12. SUBGRADE PREPARATION AND ENGINEERED FILL THAT SUPPORTS FOOTINGS, SLABS, PAVEMENTS, AND FLATWORK SHALL EXTEND AT LEAST 2 FEET BEYOND THE LIMITS OF

13. FOOTINGS LOCATED ADJACENT TO OTHER FOOTINGS OR RETAINING WALLS SHALL HAVE THEIR BEARING SURFACES FOUNDED BELOW A 2:1 (H:V) LINE PROJECTED UPWARD FROM THE

14. FOLLOWING CLEARING AND STRIPPING, EXPOSED SUBGRADES IN AREAS TO RECEIVE ENGINEERED FILL, STRUCTURES, PAVEMENTS, CONCRETE SLABS, OR OTHER IMPROVEMENTS SHALL BE SCARIFIED TO A DEPTH OF 12 INCHES, MOISTURE CONDITIONED, AND UNIFORMLY COMPACTED

15. THE GEOTECHNICAL ENGINEER SHALL INSPECT ALL SURFACES TO RECEIVE FILL PRIOR TO THE

MOISTURE CONDITIONED, AND COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION.

17. CUT/FILL SLOPES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2H:1V) UNLESS OTHERWISE APPROVED AT THE TIME OF GRADING BY THE GEOTECHNICAL ENGINEER

18. ALL FILLS PLACED ON SLOPE GRADES 6H:1V OR GREATER SHALL BE PROVIDED WITH A KEYWAY EXCAVATED A MINIMUM OF THREE FEET BELOW GRADE, A MINIMUM OF 6 FEET WIDE

19. WHERE EXISTING GRADE IS AT A SLOPE OF 6H:1V OR STEEPER AND THE DEPTH OF THE FILL EXCEEDS 5 FEET, BENCHING SHALL BE PROVIDED. A TOE KEY SHALL BE CUT A MINIMUM DEPTH OF 3 FEET INTO UNDISTURBED SOILS TO THE INSIDE OF THE FILL'S TOE. THIS KEY SHALL BE A MINIMUM OF 6 FEET WIDE AND SLOPE AT NO LESS THAN 10% INTO THE SLOPE AS THE FILL ADVANCES UP-SLOPE, BENCHES AT LEAST 3 FEET WIDE, OR TWICE THE WIDTH OF THE COMPACTION EQUIPMENT, WHICHEVER IS WIDER, SHALL BE SCARIFIED INTO THE

20. ENGINEERED FILL IN BUILDING AREAS, STRUCTURAL BACKFILL, AND THE UPPER 12" BELOW FLATWORK AND PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 95% OF ITS MAXIMUM

21. ALL RE-COMPACTED AND ENGINEERED FILL SOILS SHALL BE COMPACTED WITHIN 3 PERCENT

NATIVE SOIL USED AS ENGINEERED FILL SHALL MEET THE FOLLOWING REQUIREMENTS:

ROCK OVER 6 INCHES IN ITS MAXIMUM DIMENSION MAY NOT BE USED IN AN ENGINEERED

23. IMPORTED SOIL USED AS GENERAL ENGINEERED FILL SHALL BE CLASSIFIED AS: SAND, GROUP SYMBOL SW, SP, SC OR SM, AS GIVEN IN ASTM 2487-10, "THE CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES." IN ALL CASES THE PORTION FINER

FREE FROM VEGETABLE MATTER AND OTHER DELETERIOUS MATERIALS. THE MATERIAL FOR

24. IN THE EVENT THAT ANY UNUSUAL CONDITIONS ARE ENCOUNTERED DURING GRADING OPERATIONS WHICH ARE NOT COVERED BY THE SOIL INVESTIGATION OR SPECIFICATIONS, THE

25. A "FINAL SOILS LETTER" FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK COMPLETED WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL

26. EXPORT SOIL SHALL BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE COUNTY. CONTRACTOR SHALL NOTIFY GRADING OFFICIAL OF PROPOSED HAUL ROUTE. 27. ON-GRADE SLABS SHOULD BE PLACED OVER A MOISTURE VAPOR BARRIER CONSISTING OF A WATERPROOF MEMBRANE (MOIST STOP, 10 MIL VISQUEEN, OR EQUAL) WITH A 4 INCH

CAPILLARY BREAK CONSISTING OF 4 INCHES OF OPEN GRADE ROCK; ROUND AND SUB-ROUND

DISCHARGE UNCONTROLLED ONTO SLOPING GROUND. ROCK ENERGY DISSIPATERS CONSISTING OF 4" - 6" DIAMETER ROCK OR RUBBLE RIP RAP SHALL BE INSTALLED AT COLLECTION PIPE

29. ALL NEW CUT AND FILL SLOPES AS WELL AS DISTURBED SOIL AREAS MUST BE SEEDED WITH EROSION CONTROL GRASSES OR LANDSCAPE PLANTS FOR EROSION CONTROL.

LEGEND	
100	GROUND CONTOUR
	SUBJECT PROPERTY LINE
	ADJACENT PROPERTY LIN
	EASEMENT LINE
	CENTER LINE
	EX DIRT ROAD
///	EX AC LIMITS
	LIMITS OF GRADING
	SUBDRAIN & PERFORATE
<u> </u>	RETAINING WALL
	CONTROL POINT
● F3P	BENCHMARK
	TAGGED AS NOTED
О ВМ#301	MONUMENT, MARKED AS
Ψ BH-1 + 928.30	BORE HOLE / BORING LC
• 12" OAK	SPUT GRADE
P	
	STUMP OR SNAG (DEAD)
	IREE DRIP LINE
	DRAINAGE PATH
₩ 100.00	CREEK/RIVER FLOW
<u> </u>	WATER SURFACE ELEVATI
	FLUW LINE
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ОН	
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	AND GUY WIRE
Q • ☆ ☆ • ☆ LI	LIGHT, ELECTROLIER
	GAS LINE
	GAS VALVE, IRRIGATION CONTROL VALVE
SD	STORM DRAIN LINE
SDMH RIM: 00.00 INV: 00.00	STORM DRAIN MANHOLE
	STORM DRAIN INLET
o DS	DOWNSPOUT
SS	SANITARY SEWER LINE (C
SSFM	SANITARY SEWER FORCE
SSMH RIM: 00.00 INV: 00.00	SANITARY SEWER MANHO
⊖ ⊖ SSC0	CLEAN OUT
T	UNDERGROUND TELEPHON
W	WATER LINE
\odot	WELL
⊗ wv	WATER VALVE
¢ FDC	FUST INDICATOR VALVE
FH C FH	FIRE HYDRANT
تو با	HOSE RIR
_ C	
$\leq \overline{F} \geq 7$	GUT/FILL LINE
TOW 92.55	TOP OF WALL ELEVATION
\	

ABBREVIATIONS

AGGREGATE BASE

ASPHALT CONCRETE

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PLUS OR MINUS: APPROX

ONTOUR ROPERTY LINE PROPERTY LINE LINE GRADING & PERFORATED PIPE WALL OINT " IRON PIPE. NOTED ICRETE UNDERGROUND MARKED AS NOTED / BORING LOCATION SNAG (DEAD) LINE PATH ER FLOW RFACE ELEVATION 0% OR GREATER SLOPE UTILITY LINE(S) JND ELECTRIC LINE _E SHOWING ARMS CTROLIER IRRIGATION 'ALVE AIN LINE AIN MANHOLE AIN INLET SEWER LINE (GRAVITY) SEWER FORCE MAIN SEWER MANHOLE JND TELEPHONE LINE ATOR VALVE RTMENT CONNECTION ANT ULT

PROX	AREA DRAIN APPROXIMATE
	BEGIN CURVE
CE	BVC ELEVATION
US 1	BOTTOM OF STAIR
:G	CURB AND GUTTER
SW	CABLE IV CURB, GUTTER AND SIDEW/
	CENTERLINE CLASS
R P	CLEAR CORRUGATED METAL PIPE
NC	CLEANOUT CONCRETE
NST NT	CONSTRUCT
MO	DEMOLISH AND DISPOSE OF
). \	DRAIN INLET
•	DOWNSPOUT
)	EXISTING END CURVE
	EXISTING GRADE EXPANSION JOINT
EC EV	ELECTRIC ELEVATION
W	EQUAL EDGE OF TRAVELED WAY
C CF	END VERTICAL CURVE
CS v	EVC STATION
v.	EXISTING
	FACE OF CURB FINISHED FLOOR
	FINISHED GRADE FLOWLINE
	FIRE RISER FINISHED SURFACE
F	GRADE BREAK
S	GB STATION
Т	GAS METER GRATE
	GAS VALVE/VAULT HIGH POINT
RIZ. /	HORIZONTAL INVERT
G	JOINT UTILITY POLE LANDING
-	LINEAR FEET
	LOW POINT
ТСН	MATCH EXISTING GRADE
IX	MAXIMUM MANHOLE
√ .C.	MINIMUM NOT IN CONTRACTON CENT
С.	ON CENTER ORIGINAL GROUND
۹.	PLANTER AREA
	POINT OF CURVATURE
).(.	POINT OF CONNECTION POWER POLE
C C	POINT OF REVERSE CURVA POLYVINYL CHLORIDE
l DF	POINT OF VERTICAL INTERS PRESSURE TREATED DOUG-
2.	RADIUS RELATIVE COMPACTION
P	REINFORCED CONC PIPE
/	RECYCLED WATER
Ĺ	STORM DRAIN
A.	STREET LIGHT SEE LANDSCAPE DETAILS
A	SANITARY SEWER STATION
′ M	SIDEWALK TEMPORARY BENCH MARK
2	TOP OF CURB
D	TOP OF GRATE
I '	TOP OF STAIR
P	TYPICAL
F	UPPER FINISH FLOOR UNDERGROUND
D.N.	UNLESS OTHERWISE NOTED UTILITY POLE
KN R	UNKNOWN VARIES
RT.	VERTICAL WATER
1	WATER METER
Тн	IE FOLLOWING ITEMS SHALL BI
SH SP	ALL BE RETAINED BY THE OW
	FICIAL AND ENGINEER.
1.	VERIFY MATERIALS BELOW SH
A	CHIEVE THE DESIGN BEARING
2. RI	VERIFY EXCAVATIONS ARE EX EACHED PROPER MATERIAL
3. 4	VERIFY USE OF PROPER MAT
0. VI	ERIFY THAT SITE HAS BEEN PR
FI	
7. 9	DRAINAGE INSTALLATION INPO
<u> </u>	DIVINGOL INGTALLATION INPO

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EROSION AND SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES (BMPs) (MATERIALS AND THEIR INSTALLATION) SHALL CONFORM TO ONE OF THE FOLLOWING: THE 2017 EDITION OF THE CALTRANS STORM WATER QUALITY HANDBOOKS PPDG. 1.1

- 1.2. THE 2015 EDITION OF THE CALIFORNIA STORMWATER BMP HANDBOOK PORTAL BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA).
- THE BMPs SHOWN ON THIS WATER POLLUTION CONTROL PLAN SHALL BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AND/OR AS DIRECTED BY THE ENGINEER OR JURISDICTION HAVING AUTHORITY.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM WATER POLLUTION CONTROL ONLY AND IS NOT TO - 3 BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING BMPs PRIOR TO, DURING, AND AFTER STORM
- EVENTS, AND SHALL PROMPTLY CORRECT ANY DEFICIENCIES NOTED. ALL PAVED AREAS SHALL BE KEPT CLEAN OF SOIL AND DEBRIS. REGULAR STREET SWEEPING IS
- REQUIRED. ADDITIONAL STREET SWEEPING MAY BE REQUIRED BY THE ARCHITECT/ENGINEER OR JURISDICTION HAVING AUTHORITY.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. ANY MATERIAL THAT IS TO BE HAULED OFF-SITE SHALL BE COVERED. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- KEEP ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS ON SITE IN CASE IMMEDIATE REPAIRS OR MODIFICATIONS ARE REQUIRED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY **REQUIREMENTS.**
- PROVIDE TEMPORARY "EFFECTIVE SOIL COVER" ON ALL INACTIVE DISTURBED AREAS (AREAS WHICH 10. HAVE NOT BEEN DISTURBED FOR AT LEAST 14 DAYS) PRIOR TO INSTALLATION OF FINAL LANDSCAPING, IF REQUIRED DUE TO PROJECT SCHEDULING. PROVIDE WIND EROSION CONTROL AT ALL TIMES IN ACCORDANCE WITH BEST MANAGEMENT PRACTICE
- WE-1 LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY 12.
- ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION AND WHICH MAY BE RE-USED.

13.

- ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
- PROVIDE SILT FENCE OR LARGE-DIAMETER FIBER ROLL AT CONSTRUCTION SITE PERIMETER WHERE RUNOFF LEAVES THE CONSTRUCTION SITE. PROVIDE INLET PROTECTION AT ALL DRAIN INLETS

MONTEREY COUNTY REQUIREMENTS

- CONTROL ORDINANCE #2806, AND CALIFORNIA BUILDING CODE. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS. INSPECT DRAINAGE DEVICE INSTALLATION. REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPS INSTALLED. AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)
- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
- 7. THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 1 AND APRIL 30. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO
 - PREVENT MOVEMENT DURING WATER FLOW. B. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - C. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT
- ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
- AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE. SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.

BMP OBSERVATION AND MAINTENANCE

- VISUALLY OBSERVE AND MAINTAIN BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:
- A. WEEKLY, AND WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
- C. WITHIN 48 HOURS AFTER EACH STORM EVENT.
- D. DAILY DURING STORM EVENTS
- REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
- SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE DRAWINGS OR SPECIFICATIONS OR BY THE BMP SUPPLIER OR MANUFACTURER. TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
- REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT
- IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
- REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPINDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

WORKER TRAINING

- STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND AT LEAST QUARTERLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO: GOOD HOUSEKEEPING
- MATERIAL MANAGEMENT PRACTICES
- SPILL PREVENTION AND RESPONSE
- LOCATIONS AND FUNCTIONS OF EROSION AND SEDIMENT CONTROL DEVICES
- FINES AND PENALTIES

ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION

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TR-2

TR-3

Stabilized Construction Roadway

Entrance/Outlet Tire Wash

C(The s	ONSTR	UCTION SITE BMP CHECKLIST Ps. below, were considered during design to comply	D L D	. Е
with t respo	the Project's	s storm water runoff requirements. The Contractor is mplementing all BMPs necessary for compliance with	neeri /eyin t	eers.co
the C Preve	onstruction ntion Plan,	General Permit, the project Storm Water Pollution the Project Specifications and these Drawings.	Engi Surv s Court	9.5225 nengin
		EROSION CONTROL BMPs	Civil Lance Anonte	whitso
×	EC-1	Scheduling		
×	EC-2	Preservation of Existing Vegetation		
×	EC-3	Hydraulic Mulch		О С Ш Ш
×	EC-4	Hydroseeding		ШZ
X	EC-5	Soil Binders		
×	EC-6	Straw Mulch		S É
×	EC-7	Geotextiles & Mats	1	
×	EC-8	Wood Mulching	CINEER	×
×	EC-9	Earth Dikes & Drainage Swales	H ENDING	A THE
	EC-10	Slope Drains	P. W	55219 VIL CALIF
	EC-12	Streambank Stabilization	HOLE A	OF C
	EC-13	Reserved	RICH HOIS	
	EC-14	Compost Blankets	13/938	
_	EC-15	Soil Preparation / Roughening		
	EC-16	Non-Vegetative Stabilization (Gravel Blanket)		
		OLDIMENT CONTROL DIVIPS		
×	SE-1	Silt Fence		
×	SE-2	Sediment Basin		
×	SE-3	Sediment Trap		
	SE-4	Check Dam	TAL	
×	SE-5	Fiber Rolls	JBMIT	
×	SE-6	Gravel Bag Berm	NG SL	
E	SE-/	Street Sweeping and vacuuming		
N N	SE-0	Sanu bay barner	D D D	
<u>ح</u>	SE-10	Storm Drain Inlet Protection	EVIS	
	SE-11	Active Treatment Systems (ATS)	L / R /23	
×	SE-12	Manufactured Linear Sediment Controls	NITTA 8/10/ RA	
	SE-13	Compost Socks and Berms	∩BN	
	05.44		S	
ш	SE-14	Biofilter Bags		
	SE-14		rnia	014
	SE-14	Biofilter Bags	alifornia	423-014
	NON-S	Biofilter Bags STORM WATER MANAGEMENT BMPs Water Conservation Practices Dewatering Operations	, California	ES 108-423-014
	SE-14 NON-S NS-1 NS-2 NS-3	Biofilter Bags STORM WATER MANAGEMENT BMPs Water Conservation Practices Dewatering Operations Paving and Grinding Operations	ach, California	DTES PN 008-423-014
	SE-14 NON-S NS-1 NS-2 NS-3 NS-4	Biofilter Bags STORM WATER MANAGEMENT BMPs Water Conservation Practices Dewatering Operations Paving and Grinding Operations Temporary Stream Crossing	Beach, California	NOTES APN 008-423-014
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	SE-14 NON-S NS-1 NS-2 NS-3 NS-4 NS-5 NS-6 NS-7 NS-8 NS-9 NS-10 NS-11 NS-11 NS-12	Biofilter Bags STORM WATER MANAGEMENT BMPs Water Conservation Practices Dewatering Operations Paving and Grinding Operations Temporary Stream Crossing Clear Water Diversion Illicit Connection / Discharge Potable Water / Irrigation Vehicle and Equipment Cleaning Vehicle and Equipment Fueling Vehicle and Equipment Fueling Vehicle and Equipment Maintenance Pile Driving Operations Concrete Curing	Pebble Beach, California	T CONTROL PLAN - NOTES APN 008-423-014
	SE-14 NON-S NS-1 NS-2 NS-3 NS-4 NS-5 NS-6 NS-7 NS-8 NS-7 NS-8 NS-9 NS-10 NS-11 NS-12 NS-13	Biofilter Bags STORM WATER MANAGEMENT BMPs Water Conservation Practices Dewatering Operations Paving and Grinding Operations Paving and Grinding Operations Temporary Stream Crossing Clear Water Diversion Illicit Connection / Discharge Potable Water / Irrigation Vehicle and Equipment Cleaning Vehicle and Equipment Fueling Vehicle and Equipment Fueling Vehicle and Equipment Maintenance Pile Driving Operations Concrete Curing Concrete Finishing	Pebble Beach, California	ENT CONTROL PLAN - NOTES APN 008-423-014
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	SE-14 NON-S NS-1 NS-2 NS-3 NS-4 NS-5 NS-6 NS-7 NS-8 NS-7 NS-8 NS-9 NS-10 NS-10 NS-11 NS-12 NS-13 NS-14 NS-15	Biofilter Bags STORM WATER MANAGEMENT BMPs Water Conservation Practices Dewatering Operations Paving and Grinding Operations Temporary Stream Crossing Clear Water Diversion Illicit Connection / Discharge Potable Water / Irrigation Vehicle and Equipment Cleaning Vehicle and Equipment Fueling Vehicle and Equipment Fueling Vehicle and Equipment Maintenance Pile Driving Operations Concrete Curing Concrete Finishing Material Over Water Demolition Adjacent to Water	Pebble Beach, California	EDIMENT CONTROL PLAN - NOTES APN 008-423-014
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	SE-14 NON-S NS-1 NS-2 NS-3 NS-4 NS-5 NS-6 NS-7 NS-8 NS-9 NS-10 NS-10 NS-11 NS-12 NS-13 NS-14 NS-13 NS-14 NS-13 NS-14 NS-15 NS-16 VM-1 VM-2 VM-3 VM-4 VM-5 VM-3 VM-4 VM-5 VM-6 VM-7 VM-8 VM-9 VM-10	Biofilter Bags	STRETCH RESIDENCE 1535 PALMERO WAY Pebble Beach, California	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN - NOTES APN 008-423-014
	SE-14 NON-S NS-1 NS-2 NS-3 NS-4 NS-5 NS-6 NS-7 NS-8 NS-7 NS-8 NS-10 NS-10 NS-11 NS-12 NS-13 NS-14 NS-15 NS-16 NS-13 NS-14 NS-15 NS-16 VM-1 VM-2 WM-1 VM-2 WM-3 WM-4 VM-5 WM-3 WM-4 WM-5 WM-6 WM-7 WM-8 WM-9 WM-10	Biofilter Bags STORM WATER MANAGEMENT BMPs Water Conservation Practices Dewatering Operations Paving and Grinding Operations Temporary Stream Crossing Clear Water Diversion Illicit Connection / Discharge Potable Water / Irrigation Vehicle and Equipment Cleaning Vehicle and Equipment Fueling Vehicle and Equipment Maintenance Pile Driving Operations Concrete Curing Concrete Finishing Material Over Water Demolition Adjacent to Water Temporary Batch Plants WASTE MANAGEMENT AND ERIALS POLLUTION CONTROL BMPs Material Use Stockpile Management Spill Prevention and Control Solid Waste Management Concrete Waste Management Concrete Waste Management Concrete Waste Management Liquid Waste Management Liquid Waste Management Liquid Waste Management Liquid Waste Management Liquid Waste Management MATERIALS POLLENTION CONTROL BMPS	STRETCH RESIDENCE 1535 PALMERO WAY Pebble Beach, California	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN - NOTES APN 008-423-014
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LEGEND

SYMBOL	BMP #	DESCRIPTION	
)+)+)+)+)+)+)+)+)+	EC-9	EARTH DIKES, DRAINAGE SWALES AND LINED DITCHES	
-0	SE-1, SE-5, SE-6	LINEAR SEDIMENT BARRIER: LARGE-DIAMETER FIBER ROLL, SILT FENCE, OR COMPOST SOCK (CONTRACTOR'S OPTION)	
-0	SE-1	SILT FENCE	
ooo ^o	SE-6	GRAVEL BAG CHECK DAM	Шщ
~SE-7~~	SE-7	STREET SWEEPING	
	SE-10	INLET PROTECTION	
CWM	WM-8	CONCRETE WASTE MANAGEMENT (WASHOUT) AREA	RES
	TC-1, TC-3	STABILIZED CONSTRUCTION ENTRANCE/EXIT OR TIRE WASH	
MSWM	WM-1	MATERIAL STORAGE AND WASTE MANAGEMENT AREA	RET
WM-3	WM-3	TEMPORARY STOCKPILES	
SS	WM-9	SANITARY FACILITIES	JOB NO
	-	DIRECTION OF DRAINAGE	SHEET
	SS-3, SS-4 SS-5, SS-6 SS-7, SS-8	SOIL STABILIZATION (PROVIDE ON ALL DISTURBED SOILS) TEMPORARY STABILIZATION PER CIVIL PLANS PERMANENT STABILIZATION PER LANDSCAPE DRAWINGS	





REVISIONS AND RECORD OF ISSUE:	NO DATE DESCRIPTION						6.	
515 PHC Cali	5 SWII DNE { fornia	FT ST 331.42 Lands	. SAN 33.604 Accepe /	TA C 0 W Archite		CA 950 LJA.C ense 3	060 OM 163	
			1535 PALMERO WA		PEDDLE DEAUN UA, 33	ADN: 008-423-014		
						HOV IM/N	VN 40 23	
						_(C	

0' 8' 16' SCALE: 1/16"=1'-0" NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

32'



(1) CONNECTION OF IRRIGATION SYSTEM SHALL BE DETERMINED IN THE FIELD BY LANDSCAPE CONTRACTOR, CONNECTION SHALL BE TO DOMESTIC WATER LINE FROM RESIDENCE AT THIS APPROXIMATE LOCATION PLUMBER TO PROVIDE 2" STUB-OUT AND GATE VALVE COORDINATE PRIOR TO CONSTRUCTION. MAXIMUM IRRIGATION DEMAND: 18 GPM AT 65

PSI STATIC PRESSURE AT MAINLINE CONNECTION TO DOMESTIC CONTRACTOR TO FIELD VERIFY THE PRESSURE PRIOR TO

CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE IF THE PRESSURE IS DIFFERENT THAN NOTED.

2 BACKFLOW FOR IRRIGATION BY LANDSCAPE CONTRACTOR. REFER TO IRRIGATION LEGEND,

MASTER CONTROL VALVE (LINE SIZE) WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS. REFER TO IRRIGATION LEGEND.

(4) FLOW SENSOR. WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS. REFER TO

(5) IRRIGATION CONTROLLER "C". WALL MOUNT AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION. ELECTRICAL CONTRACTOR TO INSTALL 1.5" CONDUIT WITH PULL CORD FOR 2 -WIRE CABLE.

WIRELESS WEATHER SENSOR AND RAIN SENSOR MOUNT ON EVE OF HOUSE. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO

1. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.

2. UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4"

3. SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

0-6 GPM

7-12 GPM

13-20 GPM 21-32 GPM

33-50 GPM

4. SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

> 0-500 FT 501-1100 FT

1101-2000 FT

2001-3000 FT

5. EACH DRIP ZONE SHALL RECEIVE A SET OF AIR VENT/VACUUM RELIEF VALVE AT THE HIGHS POINT AND FLUSH VALVES AND OPERATION INDICATOR AT FARTHEST

6. CONTRACTOR SHALL INSTALL ALL IRRIGATION PIPING AND DRIPLINE TO GO AROUND ALL UTILITY BOX, LIGHTS, AND SIGNS. (DRAWINGS ARE DIAGRAMMATIC).

7. MAINLINE, LATERAL LINE AND REMOTE CONTROL VALVE MAY BE SHOWN OUTSIDE PLANTER FOR GRAPHIC CLARITY. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED WITHIN PLANTING AREAS. (TYPICAL)

8. LOCATE REMOTE CONTROL VALVE BOXES AWAY FROM PROMINENT, HIGHLY VISIBLE LOCATIONS. CONTACT LANDSCAPE ARCHITECT FOR EXACT LOCATIONS.

CONTRACTOR SHALL INSTALL CHECK VALVES, AS REQUIRED, IN LATERAL LINES WHERE THERE IS AN ELEVATION DIFFERENCE OF 10 FEET.



Walnut Creek, CA 94597 tel 925.939.3985 · · fax 925.932.5671 www.rmairrigation.com





ORIGINAL SHEET SIZE: 24" X 36"

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	PALMERO WAY	PEBBLE BEACH CA. 9395		
정 및 S SHEET TITLE: PROJE	ALE: RAWN BY: TE:		5HOV	WN JC 223

IRRIGATION NOTES

- 1. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- 2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- 3. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- 4. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- 5. IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- 6. IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- 7. INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER. A WRITTEN STATEMENTS SHALL BE PROVIDED BY CONTRACTOR TO THE LANDSCAPE ARCHITECT THAT THE MEETING HAVE TAKING PLACE.
- 9. INSTALL 2-WIRE CABLE ALONG THE MAIN LINE. CONTACT CONTROLLER REPRESENTATIVE FOR A PRE-CONSTRUCTION MEETING.
- 10. INSTALL 2-WIRE CABLE WITHIN 1.25" CONDUIT WITH LONG SWEEPS IN AND OUT OF EACH VALVE BOX. SEAL ALL CONDUIT OPENINGS WITH WATERPROOF FOAM.
- 11. INSTALL A 14"X19" GREY ELECTRICAL PULL BOX EVERY 200' AND AT EVERY CHANGE IN DIRECTION. ONLY SPLICE TWO WIRE CABLE AT THREE WAY WIRE CONNECTIONS.

- 12. IRRIGATION CONTROL WIRES: SOLID COPPER WITH FOR DIRECT BURIAL IN GROUND. SIZE #14AWG WI JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE P7354D. ALL SPLICING SHALL BE MADE WITH 3-M D WATERPROOF SPLICE KIT.
- 13. DECODER GROUNDING SHALL BE PROVIDED EVERY EVERY 8 DECODERS, WHICHEVER IS SMALLER [RAIN [BASELINE, RAIN MASTER] ,750 FEET [TORO), 300 FEE DECODER ONLY (CALSENSE), AT THE CONTROLLER LAST DECODER OR AT THE END OF THE 2 WIRE PATI WITH A 5/8" X 8' COPPER CLAD GROUNDING ROD WIRE TO SURGE DEVICE/DECODER. INCLUDE A SUR AT EACH GROUNDING LOCATION. A SPLIT BOLT CO BE USED TO CONNECT THE SURGE DEVICE TO THE C WITH A DBR/Y-6 WATERPROOF CONNECTOR.
- 14. SPLICING OF JACKETED 2-WIRE IS PERMITTED IN VA ONLY. LEAVE A 24" LONG COIL OF WIRE AT EACH 24" LONG EXPANSION LOOP IN ALL PULL BOXES.
- 15. INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT [HINGED COVER MARKED "IRRIGATION CONTROL V BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VAL MANUFACTURER'S INCLUDE NDS, CARSON OR APPR
- 16. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VA GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AI BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF REC VALVE BOXES PARALLEL TO WALK, CURB, BUILDING FEATURE.
- 17. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM LAWN, HEADER BOARD, BUILDING, OR LANDSCAPE MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX DISTANCE FROM THE WALK, CURB, LAWN, HEADER BUILDING, OR LANDSCAPE FEATURE, AND PROVIDE WALK, CURB, HEADER BOARD, BUILDING, OR LANDS AND INSTALL EACH BOX 12" APART.
- 18. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. GROUND COVER/SHRUB AREAS (AVOID LAWN ARE POSSIBLE).
- 19. THE CONTRACTOR SHALL LABEL CONTROL LINE WIR REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" I.D. TAG, INDICATING IDENTIFICATION NUMBER OF (CONTROLLER AND STATION NUMBER). ATTACH LAB CONTROL WIRE. THE CONTRACTOR SHALL PERMAN ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICA NOTED IN CONSTRUCTION DETAILS.
- 20. FLUSH AND ADJUST IRRIGATION OUTLETS AND NO OPTIMUM PERFORMANCE AND TO PREVENT OVER WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTI CONDITIONS AND THROTTLE THE FLOW CONTROL TO OBTAIN THE OPTIMUM OPERATING PRESSURE F CONTROL ZONE.
- 21. INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR A EQUAL SPRING LOADED CHECK VALVE IN SPRINKLE ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL AND/OR EXCESS WATER.
- 22. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TREES, USE CAUTION TO AVOID INJURY TO TREES A ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJAC WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS SHADE THE SIDE OF THE TRENCH ADJACENT TO THE BURLAP OR CANVAS.
- 23. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AN INSTALLED BACKFLOW PREVENTION DEVICE.
- 24. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE OPERATING PRESSURE SHOWN ON THE IRRIGATION VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION DIFFERENCE BETWEEN THE WATER PRESSURE INDICA DRAWINGS AND THE ACTUAL PRESSURE READING IRRIGATION POINT OF CONNECTION TO THE OWN AUTHORIZED REPRESENTATIVE.
- 25. IRRIGATION DEMAND: REFER TO PLANS.
- 26. PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICA IN LAYOUT OCCUR DURING STAKING AND CONST SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.

			ION LEGEND					
U.L. APPROVAL RE WITH A AND MODEL IS	 27. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5. 28. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR 	SYMBOL	MODEL NUMBER	DESCRIPTION		NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
dκ/ ĭ-Ο	CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.	$\bigcirc \oplus \oplus$	570Z-6P-PRX-COM/ O-T-15FP,15HP,15QP	TORO POP-UP SP SPRINKLER (TURF)	RAY	2.3,1.2,0.6	30	12-15
(500 FEET OR BIRD],600 FEET	29. WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH	$\bullet \widehat{\bullet} \widehat{\bullet}$	570Z-6P-PRX-COM/ O-T-12FP,12HP,12QP	TORO POP-UP SP SPRINKLER (TURF)	RAY	1.5,0.75,.37	30	10-12
ND AT THE	SURPLUS MATERIALS AND EQUIPMENT FROM SITE.	$\diamond \diamond \diamond$	570Z-6P-PRX-COM/ O-T-10FP,10HP,10QP	TORO POP-UP SP SPRINKLER (TURF)	RAY	1,0.5,0.23	30	8-10
#6 COPPER GE ARRESTOR INNECTION TO ROUND WIRE	30. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.	3	HDL-06-12	ON GRADE HDL D WITH 12" O.C. EN RING FOR TREES (3 PER TREE) SEE DET	RIPLINE ITTER DRIP 3 RINGS AIL	0.10	30	TRICKLE
	31. VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO	•	PGV-101G	HUNTER REMOTE	CONTROL V	ALVE		
VE BOXES	INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT		PCZ-101-40	HUNTER REMOTE	CONTROL D	RIP KIT WITH	40 PSI REGU	LATOR
PLICE AND A	PROVIDES ACCEPTABLE LOCATIONS.		WLT-0500-T	NDS SCH 40 BALL	VALVE OR	APPROVED E	QUAL	
OWN, NON ALVE". BOX /E BOX		© ©V	ECO-ID KC OR KSC	HUNTER ECO-IND NDS KSC SERIES (SERIES SPRING CH SIZE)	Cator Heck Valv Ieck Valve	'E FOR UPHILL FOR DOWN	FLOW DIREC HILL FLOW DI	tion or KC Rection (Line
OVED EQUAL.			T-FP600A-LF	NIBCO BRASS BA	II VAIVE (I	NF SI7F)		
N WALK, CURB, LVE BOX FROM THE	"A Landscape Irrigation Audit is require. This Audit must be completed by a Certified Landscape		975XLSEU-1"/PBB-20	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY WITH FREEZE BLANKET.				
ND PROVIDE 12"	Irrigation Auditor, not the designer or installer. The	MV	ICV-	HUNTER MASTER	ALVE-(LINE	SIZE) (NORM	ALLY CLOSED)
OR LANDSCAPE	Department, with Certificate of Completion (Appendix	FS	HC-100-FLOW	HUNTER 1" FLOW	METER (0.3	- 30 GPM)		
N WALK, CURB, FEATURE. AT	(C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape parmit "		HCC-800-PL	HUNTER HCC (54) ENCLOSURE WITH	STATION C	ONTROLLER I	N A PLASTIC V	WALL MOUNTED
AN EQUAL BOARD.	the water Enicient Landscape permit.	-	EZ-1	HUNTER SINGLE STA		DER (1 PER VAL		
2" FROM THE CAPE FEATURE	WATER CONSERVATION STATEMENT RUSSELL D MITCHELL AND ASSOCIATES, INC. (RMA) HAVE COMPLIED	-	ez-dm HC-PLAN-ENTHUSIAST	HUNTER HYDRAWIS	E SOFTWAR			
NSTALL IN AS WHERE	WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.	-	NOT SHOWN ON PLANS	ROUTE TWO WIR WIRE WITH A JAC MODEL IS PAIGE I WITH 3-M DBR/Y	E CABLE TO KETED 2-CO LECTRIC W	ALL REMOTE ONDUCTOR. F IRE P7072D. A ROOF SPLICE	CONTROL VA REFERRED WI ALL SPLICING KITS OR APPR	LVES. SIZE #14AWG RE MAKE AND SHALL BE MADE OVED EQUAL.
E AT EACH POLYURETHANE VALVE EL TO IENTLY STAMP JION AS	JOSE L. CRUZ IRRIGATION CONSULTANT-PROJECT MANAGER	R	WR-CLIK	INSTALL 2 WIRE C BOXES SHALL BE I VALVES. REFER TC WIRELESS RAIN-CI CONTROLLER ENC	ABLE WITHI OCATED EV DETAIL FO IK SENSOR LOSURE. D STATION	n 1.25" SCH ERY 200' NO R INSTALLATIC AND RECIEVE NUMBER	40 ELECTRICA SPLICES ARE ON INSTRUCTI R MOUNTED (l Conduit. Pull Allowed Between Ons. On the
					DL VALVE SI	LE (IIN INCHES)	
ZLES FOR		• •		WATER USE CLAS	SIFICATION	OF ZONE		
PRAY ONTO THE BEST				APPLICATION RA	ſE (IN/HR) c	r DRIPLINE SP	ACING	
NG SITE				AREA (SQ. FT.)	. , .			
DR EACH		for 9			OTE CONT	ROL VALVE		
PPROVED R RISER			– 2IN ———	MAIN LINE:	2" THROU 1120-SCH SCHEDULE	GHOUT: EDULE 40 PVC 40 PVC SOLV	C PLASTIC PIPE /ENT WELD FI	e with Ttings.
O EXISTING				LATERAL LINE:	3/4" AND 1120-SCH SCHEDULE 12" COVE	«. LARGER: EDULE 40 PV(40 PVC SOL ^V R.	C PLASTIC PIPE /ENT WELD FI	E WITH TTINGS.
D (2) INCH AND CENT TO TREE NOT POSSIBLE, TREE WITH WET				DRIPLINE LATERAL LINE:	3/4" AND 1120-SCH SCHEDULE 12" COVE	LARGER: EDULE 40 PVC 40 PVC SOLV R.	C PLASTIC PIPE /ENT WELD FI	E WITH TTINGS.
d testing of				SLEEVING:	SCHEDULE INDICATED ABOVE FC	40 PVC PLAS IN SPECIFICA R PIPE DEPTH	TIC PIPE. COV TIONS OR AS OF COVER.	YER TO BE AS S INDICATED
MINIMUM		PVC LATERA		DRIPLINE REMOTE	CONTROL	/ALVE		
I DRAWINGS. I. REPORT ANY			──┼ ──╢◄	+DRIP ZONE:				
TED ON THE JT THE ER'S L. AS CHANGES	RMA	I SUPPLY I HEADER	EXHAUST HEADER DRIP ZONE EXTENTS	HUNTER HDL SERIE AND CHECK VALV TUBING TO BE INS ACCORDING TO E GPM, 1.25": 11-20 OR 1" SCH 40 FLE EXTEND PVC HEAD FLOW IF REQUIRE	S DRIPLINE E, PART #HI TALLED 4" E DETAILS. SIZI O GPM. ALL (IBLE PVC. U ERS TO THE D. SEE DETA	WITH BUILT IN DL-06-12-250 ELOW GRAD E EXHAUST HE EXHAUST HEA JSE SCH. 40 P ENDS OF ALI LS FOR FURTH	PRESSURE CO -CV. USE PLD E IN A 12" O. ADERS AS FO DERS SHALL E VC SOLVENT DRIP ZONES IER INFORMA	DMPENSATION FITTINGS. C. GRID LLOWS: 1": 0-10 BE 1" SCH 40 PVC WELD FITTINGS. TO BALANCE TION.
UCTION THE	RUSSELL D. MITCHELL & ASSOCIATES, INC.			DRIPLINE REMOTE	CONTROL V	/ALVE		
	<u>Irrigation Consultant:</u> 2760 Camino Diablo Walnut Creek, CA 94597 tel 925.939.3985 •• fax 925.932.5671			APPROXIMATE CC SUPPLY WHEN DR SUPPLY/EXHUST H CONNECTION DET	NNECTION P ZONE IS I EADERS ARE AIL FOR MC	POINT BETWI ESS THAN 3 (NEEDED. REF DRE INFORMA	EEN DRIPLINE GPM AND NC ER TO DRIPLIN TION.	TUBING AND PVC) PVC NE TUBING





REVISIONS AND RECORD OF ISSUE:	NO. DATE DESCRIPTION		63 24/2 CAN		5. I	6.	
51 Pł Ca	5 SWIFT IONE 83 Ilifornia La	[°] ST. SAN 1.423.604 andscape <i>i</i>	TA CF	RUZ C VW.JI	CA 950 LJA.C ense 3	060 OM 163	
	PALMERO WAY	1535 PALMERO WAY			ADN: 008-423-014		
SHEET TITLE.							
S(D) D,	CALE: RAWN ATE:	NBY:	۵۵ ۵	5 SI 8/10	HOV 0/20	VN JC 23	







ORIGINAL SHEET SIZE: 24" X 36"

WATER USE ESTIMATION - 1535 Palmero Way, Pebble Beach CA

WATER TYPE	POTABLE
SITE ETO=	36

7/13/2023

REGULAR LANDSCAPE	E AREAS											
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	SHRUBS	LOW	0.3	DRIP	0.81	0.37	26,131	9,678	216,016	0.66	288.79	70%
2	PERENNIAL BORDER	LOW	0.3	DRIP	0.81	0.37	3,707	1,373	30,645	0.09	40.97	10%
3	LAWN	HIGH	0.8	SPRAY	0.75	1.07	7,541	8,044	179,536	0.55	240.02	20%
						TOTALS	37,379	19,095	426,197	1.31	569.78	100%

SPECIAL LANDSCAPE	AREAS					
HYDROZONE #	HYDROZONE NAME					
		1				0%
		TOTALS	0			0%

	GALLONS/Y	R	458,865		
MAWA	ACRE FEET/	YR	1.41	MAWA FORMULA	
	HCF/YR		613.46	MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR	ESTI
				MAWA = (ETo)(0.62)[(LA x 0.55) + (0.45 x SLA)]	
	GALLONS/Y	R	426,197	ETo = REFERENCE EVAPOTRANSPIRATION	ETo = F
ETWU	ACRE FEET/	YR	1.31	0.45= ET ADJUSTMENT FACTOR	PF = P
	HCF/YR		569.78	LA=LANDSCAPED AREA (SQUARE FEET)	HA = H
				0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)	0.62 = 0
SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT			IE = IRF

			,		
MAWA	ACRE FEET/	ŕ R	1.41	MAWA FORMULA	
	HCF/YR		613.46	MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR	ESTI
				MAWA = (ETo)(0.62)[(LA x 0.55) + (0.45 x SLA)]	
	GALLONS/Y	R	426,197	ETo = REFERENCE EVAPOTRANSPIRATION	ETo = F
ETWU	ACRE FEET/	/R	1.31	0.45= ET ADJUSTMENT FACTOR	PF = P
	HCF/YR		569.78	LA=LANDSCAPED AREA (SQUARE FEET)	HA = H
				0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)	0.62 = 0
SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT			IE = IRF

SITE IRRIGATION		MAWA
EFFICIENCY	SITE PLANT FACTOR	COMPLIANT
79.8%	0.40	YES

ETAF Calculations							
REGULAR LANDSCAPE AREAS							
TOTAL ETAF x AREA 19,095							
TOTAL AREA 37,379							
AVG. ETAF	51.08%						

ETWU FORMULA

IMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR

 $ETWU = ((ETO)(.62)(ETAF \times LA))$

REFERENCE EVAPOTRANSPIRATION

PLANT FACTOR FOR HYDROZONES

HYDROZONE AREA (SQ.FT)

CONVERSION FACTOR (GALLONS/SQ.FT/YR)

RIGATION EFFICIENCY (0.81)-BUBBLER/DRIP IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY



	REVISIONS AND RECORD OF ISSUE:	NO. DATE DESCRIPTION			· · · · · · · · · · · · · · · · · · ·			9
	515 PHC Cali	JO & A SWIF DNE 8: fornia I	NI S T ST 31.42 _ands	L s o : SAN 33.604	IAN CI ITA C I0 W Archit	NEC A T RUZ (//WW.J ect Lic	CA 950 LJA.C ense 3	060 OM 163
						PEBBLE BEACH CA, 93933	ADN: 008-423-014	
-	PROJECT:							
						CALCULATION		
	HS SC DR DA	ALE AW	: N B	SY:	, (AS S 08/1	HOV , 0/20	VN JC 23
						L2	2.	5



N 87

14'26" W

84.29



LEGEND	
	PROPERTY LINE
	SETBACK LINE
	ZONE 1 - SHRUBS
	ZONE 2 - PERENNIAL BORDER
	ZONE 3 - LAWN
	EXISTING TREE LOCATION
#"C	

REVISIONS AND RECORD OF ISSUE:	NO. DATE DESCRIPTION		· E 63 24/2			6.	· U
51 PH Ca	JOI & A 5 SWIFT ONE 83 ifornia La	NIL.J SSO ST. SAN 1.423.604 andscape	IAN CIA	IEC AT RUZ (WW.JI	CA 950 LJA.C	060 OM 163	
	PALMERO WAY	1535 PALMERO WAY					
PROJE							
SHEET TITLE:		CONCEPTUAL PLANTING	DIAN				
SC DF D/	CALE: RAWN	I BY:	A	S SI M 08/10	-10V 1M/N 0/20	VN 10 23	
			l		3.(С	

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

0' 8' 16' SCALE: 1/16"=1'-0"

 $\mathbf{1}$

PLANT SCHEDULE						
	CODE	BOTANICAL NAME		SIZE		BEMARKS
	ARC CAR	ARCTOSTAPHYLOS EDMUNDSII 'CARMEL SUR'	CARMEL SUR LITTLE SUR MANZANITA	1 GAL	LOW	INLIMANKS
	ARC RAD	ARCTOSTAPHYLOS UVA-URSI 'RADIANT'	RADIANT MANZANITA	1 GAL	LOW	
	CEA CAR	CEANOTHUS THYRSIFLORUS VAR. GRISEUS 'CARMEL CREEPER'	BLUEBLOSSOM	1 GAL	LOW	
	COR KAN	CORREA REFLEXA 'KANGAROO ISLAND'	KANGAROO ISLAND AUSTRALIAN FUCHSIA	1 GAL	LOW	
	FRA CAL	FRANGULA CALIFORNICA	CALIFORNIA COFFEEBERRY	1 GAL	LOW	
	LAU NOB	LAURUS NOBILIS	SWEET BAY	1 GAL	LOW	
	OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE'	LITTLE OLLIE OLIVE	1 GAL	VERY LOW	
	PRU ILI	PRUNUS ILICIFOLIA	HOLLY LEAF CHERRY	1 GAL	LOW	
	ACH MIL	ACHILLEA MILLEFOLIUM SPP.	COMMON YARROW	1 GAL	LOW	
	AGA ATT	AGAVE ATTENUATA	FOXTAIL AGAVE	1 GAL	LOW	
	ANI SPP	ANIGOZANTHOS SPP.	KANGAROO PAW	1 GAL	LOW	
	GRE TAM	GREVILLEA LANIGERA 'MT. TAMBORITHA'	MT. TAMBORITHA WOOLLY GREVILLEA	1 GAL	LOW	
	HEL NUM	HELIANTHEMUM NUMMULARIUM	SUNROSE	1 GAL	LOW	
	IRI DOU	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	LOW	
	LAV SPP	LAVANDULA SPP.	LAVENDER	1 GAL	LOW	
	POL MUN	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	LOW	
	ROS BAN	ROSA BANKSIAE	LADY BANKS ROSE	1 GAL	LOW	
	ROS CEC	ROSA X 'CECILE BRUNNER'	CECILE BRUNNER CLIMBING ROSE	1 GAL	LOW	
	TEU CHA	TEUCRIUM CHAMAEDRYS	GERMANDER	1 GAL	LOW	
	THY SER	THYMUS SERPYLLUM	CREEPING THYME	1 GAL	LOW	
	VER DEL	VERBENA LILACINA 'DE LA MINA'	DE LA MINA LILAC VERBENA	1 GAL	LOW	
	VIT ROG	VITIS CALIFORNICA ROGER'S RED	CALIFORNIA WILD GRAPE	1 GAL	LOW	
		ΒΟΤΑΝΙΟΔΙ ΝΑΜΕ				REMARKS
	LAWN	DELTA BLUEGRASS SHADE BLEND		SOD		



NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"


SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	O OF IS
Δ	WALL LIGHT/STEP LIGHT: LUCIFER LIGHTING COMPANY SSL1 BRONZE LAMP: LED, 3W	16	AND RECORD TE DESC
+	PATH LIGHT: AURORALIGHT LPL7 ECLIPSE; 7"D X 19" H. COPPER AND BRASS LAMP: LED, 6W	15	REVISIONS 1. 1. DA 2. 3. 3. 3. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1.
4	DIRECTIONAL PATH LIGHT: AURORALIGHT HSL16 TELLURIDE SOLID BRASS LAMP: LED, 3-12W	5	10. 3/63 * Exp. 9/24/22 *
NOTES	6		
1. DESIO OVEF MAXII	GN INTENTION OF THE SITE LIGHTING IS TO KEE ALL LIGHTING AMBIENT, LOW, EFFICIENT, AND MIZE DARK SKY PRACTICES.	EP THE	JONI L. JANECKI & A S S O C I A T E S 515 SWIFT ST. SANTA CRUZ CA 950
2. ALL F SHIEI	IXTURES TO BE UNOBTRUSIVE, DOWNWARD FA _DED, LED, LOW KELVIN, AND MAXIMUM 15 WAT	ACING, ITS.	PHONE 831.423.6040 WWW.JLJA.C California Landscape Architect License 3
3. ALL L CODE REGU DIREC PERM	IGHTING TO COMPLY WITH CALIFORNIA ENERG E SET FORTH IN THE CALIFORNIA CODE OF JLATIONS TITLE 24 PART 6 AND APPROVED BY T CTOR OF RMA PRIOR TO ISSUANCE OF THE BUI 11T.	θΥ ΉE LDING	
4. LIGH ⁻ SENS	TS TO BE CONTROLLED WITH SWITCHES (S.A.D. ORED LIGHTS.) - NO	
5. LIGH ⁻ PREM	F SOURCE SHALL NOT BE VISIBLE FROM OFF-SI IISES.	TE	
6. THE L SHOV LOCA VERIF	LIGHTING PLAN IS DIAGRAMMATIC AND INTEND V GENERAL FIXTURE LOCATION AND TYPE. EXA TION OF FIXTURE AND TRANSFORMERS SHALL FIED ON SITE WITH LANDSCAPE ARCHITECT.	ED TO .CT . BE	53
7. CON CON INSTA LOCA PHAS	TRACTOR SHALL COORDINATE WITH GENERAL TRACTOR AND ELECTRICAL CONTRACTOR FOR ALLATION OF CONDUIT, SLEEVING, SWITCHING TIONS, AND JUNCTION BOXES DURING OTHER ES OF WORK.		WAY О WAY СА, 939
8. ALL F SPEC	IXTURES TO BE INSTALLED PER MANUFACTURE	Ξ'S	CH (CH (CH))
9. ALL "I OF P/ UNLE	FLUSH" FIXTURES TO BE INSTALLED LEVEL WITH AVING MATERIAL, GRAVEL OR PLANT BED MULC ISS OTHERWISE NOTED.	H TOP CH,	PALMEF 1535 PALM PEBBLE BEA
			PROJECT:
			SCALE: AS SHOW DRAWN BY: MM/M DATE: 08/10/20

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

L4.0



DIRECTIONAL PATH LIGHT



STEALTH SSL1-LED RECESSED LED LUMINAIRE

PERFORMANCE

LIGHTING COMPANY [DATE OF REV: 111017]

PATH LIGHT



REVISIONS AND RECORD OF ISSUE:	A REGENTION DATE DESCRIPTION				- +	5.	6.	
515 PH(Cali	JC & . SWII DNE & fornia	ONI AS FT ST 331.42 Lands	L. J S O 3.604 3.604	LAN CI TA C 0 W	IEC A T RUZ (WW.J ect Lice	CA 950 LJA.C ense 3	060 OM 163	
	PALNERO WAY				reddle deaun ua, yyy	ADN: 008-423-014		
PROJECT:								
P B S SHEET TITLE:	ALE AW TE:	<u>=:</u> N B			S SI M 08/10	HOV IM/N	VN 40 23	
						5.(C	

Existing Basement Level Plan

r & A I I a i r e Lic. # 504797	A 93940 Ph 831.375.1890 Fax 831.375.1480
Stocker General Contractors, Inc.	21 Mandeville Court Monterey, CA
1535 PALMERO PEBBLE BEACH, CA 93953	June 27th, 2023 APN: 008-423-014-000
1535 PALMERO WAY	EXISTING MAIN LEVEL PLAN
Revisions:	
A1.	0

Existing Upper Level Plan

scale: 3/16"=1'-0"

A1	Revisions:	1535 PALMERO WAY	1535 PALMERO PEBBLE BEACH, CA 93953	Stocker &	AIIAIR Lic. # 504797
.1		EXISTING UPPER LEVEL PLAN	June 27th, 2023 APN: 008-423-014-000	21 Mandeville Court Monterey, CA 93940	Ph 831.375.1890 Fax 831.375.1480

Existing Basement Level Plan

LEGEND:

Stocker & Allaire	21 Mandeville Court Monterey, CA 93940 Ph 831.375.1890 Fax 831.375.1480
1535 PALMERO PEBBLE BEACH, CA 93953	June 27th, 2023 APN: 008-423-014-000 ²
1535 PALMERO WAY	EXISTING MAIN LEVEL DEMO PLAN
Revisions:	.2

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1 1

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Existing Upper Level Demo Plan

scale: 3/16"=1'-0"

A1	Revisions:	1535 PALMERO WAY	1535 PALMERO PEBBLE BEACH, CA 93953	Stocker &	A I I a i r e Lic.# 504797
.3		EXISTING UPPER LEVEL DEMO PLAN	OCTOBER 16TH, 2022 APN: 008-423-014-000	21 Mandeville Court Monterey, CA 93940	Ph 831.375.1890 Fax 831.375.1480

000	K SCHED	ULE			AAUAI	DOW SCH	LDOLL			
TAG	WIDTH	HEIGHT	MTL	TYPE	TAG	WIDTH	HEIGHT	SILL HEIGHT	FRAME MTL	TYPE
101	3' - 0"	8' - 0"	WOOD	SWING	Α	6' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
102	7' - 5 3/4"	8' - 0"	WOOD	DBL SWING	в	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
103	7' - 5 3/4"	8' - 0"	WOOD	DBL SWING	С	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
104	7' - 5 3/4"	8' - 0"	WOOD	DBL SWING	D	3' -0 3/4"	5'- 0"	3' - 0"	WOOD	CASEMENT
105	10' - 0"	8' - 0"	WOOD	SLIDING	E	14' - 3"	18' - 0"	0' - 0"	WOOD	FIXED
106	10' - 0"	8' - 0"	WOOD	DBL SWING	F	3' - 5"	5'- 0"	3' - 0"	WOOD	FIXED
107	12' - 0"	8' - 0"	WOOD	SLIDING	G	3' - 0 3/4"	5'- 0"	3' - 0"	WOOD	CASEMENT
108	12' - 0"	8' - 0"	WOOD	SLIDING	н	3' - 0 3/4"	5'- 0"	3' - 0"	WOOD	CASEMENT
109	6' - 0"	8' - 0"	WOOD	DBL SWING	1	2' - 6"	5'- 0"	3' - 0"	WOOD	CASEMENT
110	12' - 0"	8' - 0"	WOOD	SLIDING	J	2' - 0"	5'- 0"	3' - 0"	WOOD	CASEMENT
111	8' - 0"	8' - 0"	WOOD	SLIDING	к	2' - 0"	5'- 0"	3' - 0"	WOOD	CASEMENT
112	12' - 0"	8' - 0"	WOOD	SLIDING	L	3' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
113	4' - 11"	8' - 0"	WOOD	DBL SWING	М	3' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
114	10' - 0"	8' - 0"	WOOD	SLIDING	AA	3' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
115	3' - 0"	8' - 0"	WOOD	SWING	BB	3' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
116	3' - 0"	8' - 0"	WOOD	SWING	CC	4' - 11"	5' - 6'	3' - 0"	WOOD	CASEMENT
117	10' - 0"	8' - 0"	WOOD	SLIDING	DD	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
118	6' - 0"	8' - 0"	WOOD	DBL SWING	EE	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
119	5' - 0"	8' - 0"	WOOD	DBL SWING	FF	3' - 0"	3' - 0"	3' - 9"	WOOD	FIXED
120	6' - 0"	8' - 0"	WOOD	DBL SWING	GG	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
121	3' - 0"	8' - 0"	WOOD	SWING	HH	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
122	3' - 0"	8' - 0"	WOOD	SWING	Ш	3' - 0"	3' - 0"	3' - 9"	WOOD	FIXED
123	8' - 6"	8' - 0"	METAL	GARAGE LIFT	JJ	3' - 0"	3' - 0"	3' - 9"	WOOD	FIXED
124	18' - 0"	8' - 0"	METAL	GARAGE LIFT						
125	5' - 5"	10' - 0"	WOOD	SWING]					
201	12' - 0"	8' - 0"	WOOD	SLIDING						
202	4' - 11"	8' - 0"	WOOD	SWING]					
203	10' - 0"	8' - 0"	WOOD	SLIDING						
204	3' - 0"	8' - 0"	WOOD	SWING						

DOO	R SCHED	ULE			WINI	DOW SCH	EDULE			
TAG	WIDTH	HEIGHT	MTL	TYPE	TAG	WIDTH	HEIGHT	SILL HEIGHT	FRAME MTL	TYPE
101	3' - 0"	8' - 0"	WOOD	SWING	Α	6' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
102	7' - 5 3/4"	8' - 0"	WOOD	DBL SWING	В	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
103	7' - 5 3/4"	8' - 0"	WOOD	DBL SWING	С	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
104	7' - 5 3/4"	8' - 0"	WOOD	DBL SWING	D	3' -0 3/4"	5'- 0"	3' - 0"	WOOD	CASEMENT
105	10' - 0"	8' - 0"	WOOD	SLIDING	Е	14' - 3"	18' - 0"	0' - 0"	WOOD	FIXED
106	10' - 0"	8' - 0"	WOOD	DBL SWING	F	3' - 5"	5'- 0"	3' - 0"	WOOD	FIXED
107	12' - 0"	8' - 0"	WOOD	SLIDING	G	3' - 0 3/4"	5'- 0"	3' - 0"	WOOD	CASEMENT
108	12' - 0"	8' - 0"	WOOD	SLIDING	Н	3' - 0 3/4"	5'- 0"	3' - 0"	WOOD	CASEMENT
109	6' - 0"	8' - 0"	WOOD	DBL SWING	I	2' - 6"	5'- 0"	3' - 0"	WOOD	CASEMENT
110	12' - 0"	8' - 0"	WOOD	SLIDING	J	2' - 0"	5'- 0"	3' - 0"	WOOD	CASEMENT
111	8' - 0"	8' - 0"	WOOD	SLIDING	Κ	2' - 0"	5'- 0"	3' - 0"	WOOD	CASEMENT
112	12' - 0"	8' - 0"	WOOD	SLIDING	L	3' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
113	4' - 11"	8' - 0"	WOOD	DBL SWING	М	3' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
114	10' - 0"	8' - 0"	WOOD	SLIDING	AA	3' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
115	3' - 0"	8' - 0"	WOOD	SWING	BB	3' - 0"	5' - 6'	3' - 0"	WOOD	CASEMENT
116	3' - 0"	8' - 0"	WOOD	SWING	CC	4' - 11"	5' - 6'	3' - 0"	WOOD	CASEMENT
117	10' - 0"	8' - 0"	WOOD	SLIDING	DD	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
118	6' - 0"	8' - 0"	WOOD	DBL SWING	EE	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
119	5' - 0"	8' - 0"	WOOD	DBL SWING	FF	3' - 0"	3' - 0"	3' - 9"	WOOD	FIXED
120	6' - 0"	8' - 0"	WOOD	DBL SWING	GG	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
121	3' - 0"	8' - 0"	WOOD	SWING	HH	5' - 4"	5' - 6'	3' - 0"	WOOD	CASEMENT
122	3' - 0"	8' - 0"	WOOD	SWING	II	3' - 0"	3' - 0"	3' - 9"	WOOD	FIXED
123	8' - 6"	8' - 0"	METAL	GARAGE LIFT	JJ	3' - 0"	3' - 0"	3' - 9"	WOOD	FIXED
124	18' - 0"	8' - 0"	METAL	GARAGE LIFT						
125	5' - 5"	10' - 0"	WOOD	SWING						
201	12' - 0"	8' - 0"	WOOD	SLIDING						
202	4' - 11"	8' - 0"	WOOD	SWING						
203	10' - 0"	8' - 0"	WOOD	SLIDING						
1	1	1	1							

*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

NORTH ELEVATION

scale: 1/4"=1'-0"

Stocker & Allaire	21 Mandeville Court Monterey, CA 93940 Ph 831.375.1890 Fax 831.375.1480
1535 PALMERO PEBBLE BEACH, CA 93953	June 27th, 2023 APN: 008-423-014-000
1535 PALMERO WAY	EXISTING ELEVATIONS
Revisions:	

SECTION C

SCALE: 3/16" = 1'

SECTION B

SECTION D

SCALE: 3/16" = 1'

SCALE: 3/16" = 1'

Allaire	Lic # 504797	831-375-1890
Stocker &	General Contractors, Inc.	21 Mandeville Court, Monterey, CA 93940
1535 PALMERO WAY	PEBBLE BEACH, CA. 93953	JANUARY 26, 2024 APN:008-423-014-000
1535 PALMERO WAY	SECTIONS	
Revisions:		
	\3.5	5

*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

UPPER LEVEL RCP

SCALE: 3/16" = 1'

	scription: Ti	itle 24 Analysis	;			Inpu	ut File Nam	ie: 1535 Pa	almero Way.ri	ibd22x				Calculation De	escription: Tit	le 24 Analysis				In	put File Name:	1535 Palmerc	Way.ribd22x]	
		Project	Name 1535	5 Palmero Way 24 Analysis										Energy U	se Er	Standard Design S ergy (EDR1) (kBtu	ource Star /ft ² -yr)	ndard Desi (EDR2) (kT	gn TDV Energ DV/ft ² -yr)	y Prop Energy	osed Design Sour (EDR1) (kBtu/ft ²	e Propos -yr) (El	ed Design TDV End DR2) (kTDV/ft ² -yr)	ergy Compl Margin	iance (EDR1) I	Compliance Margin (EDR2)	
		Project Lo	cation 1535	5 Palmero Way ble Beach		05			Standar	ds Version 202	22			Space Hea	ting	0		27.	.08		0		29.81	0		-2.73	
		Zij Climate	p code 9395 e Zone 3	53		07		Front Ori	Softwar	re Version Ene	ergyPro 9.2			Space Coo	ling	0		4.	31 81		0		2.81	0		2.86	Notes
		Buildin	g Type Sing	le family	milen	11		N	umber of Dwe	lling Units 1	,			Water Hea	ting	0		7.0	64		0		7.44	0		0.2	1. Gross E 2. Net EU
	Addition	Project Cond. Floor Are	ea (ft ²) ¹²⁴⁸	ltion and/or Alte 8	ration	13			Number of E	of Stories 2				Self Utilization/Fle	exibility												REQUIRED SI
	Existing	cond. Floor Are	ea (ft ²) 5871	9	<u></u>	17	, , ,	Fenes	tration Average Glazing Perce	e U-factor 0.39 entage (%) 26.3	9 32%			Credit Efficiency Com	Inliance					_							Preco Ducts
		ADU Bedroom	Count n/a	ural gas	Щ	21		ADU	Conditioned F	lioor Area n/a				Total		0		41.	.84		0		41.51	0		0.33	Ceiling Floor
NCE R	SULTS					23								Battery	aics				0				0				Insulat Ducts Non-s
,	Building Co	omplies with Cor	mputer Perfo	ormance t require field te	esting and/or ve	rification by a	certified H	ERS rater u	inder the super	vision of a CEC	-approved HF	RS provide	r	Flexibilit	ÿ												HERS FEATU
- 1	This buildin	ng incorporates of	one or more	e Special Feature	s shown below									Indoor Ligh	iting	0		3.	76		0		3.76				The followin detail is prov
														Appl. & Coo	ds	0		10	.89		0		10.89				Indoor Kitche Minin
														Outdoor Lig	hting	0		1	1		0		1				Verifie Fan Ef
tion N	mber: 424-P	2010285336A-000	0-000-00000	000-0000		Registration [Date/Time: •	11/18/2024	. 08:37	HERS F	Provider: CHE	EERS		Registration Nu	ımber: 424-PC	10285336A-000-0	00-0000000-000	0		Registratio	n Date/Time: 11/ [,]	8/2024 08:37	HE	RS Provider: CF			Registratior
docur Jarant Ng En	ent has been ge e, the accuracy orgy Efficiency F COMPLIAI	enerated by Califorr or completeness of y Standards - 202	TIAL PERFC	gy Efficiency Rating on contained in this al Compliance	Services (CHEERS) focument.	Report Versic Schema Versi	on uploaded by on: 2022.0.00 ion: rev 2022	00 20901	not affiliated with	o or related to CHE Report	ERS. Therefore,	CHEERS is no 2024-11-18	ot responsible for, 08:25:01 CF1R-PRF-01-E	NOTICE: This docum and cannot guarante CA Building Ene CERTIFICATE O	ent has been ge ee, the accuracy ergy Efficiency	herated by California f r completeness of the Standards - 2022 f	Home Energy Efficie Information conta Residential Com	Net of the second secon	PLIANCE M	5) using inform Report Ver Schema Ve	ation uploaded by thi sion: 2022.0.000 rsion: rev 202209	01 parties not affil	iated with or related to	CHEERS. Therefore	2024-11-18	ot responsible for, 08:25:01 CF1R-PRF-01-E	NOTICE: This do and cannot guar. CA Building CERTIFICAT
ame on De	1535 Palme scription: Ti	ero Way itle 24 Analysis	;			Calc Inpu	culation Da ut File Nam	te/Time: 2 ne: 1535 Pa	2024-11-18T0 almero Way.r)8:23:54-08:00 ibd22x	0		(Page 4 of 17)	Project Name: Calculation De OPAQUE SURFA	1535 Palme scription: Tit	o Way le 24 Analysis				C: In	lculation Date/ put File Name:	Time: 2024-1 1535 Palmerc	1-18T08:23:54-0) Way.ribd22x	8:00		(Page 5 of 17)	Project Nan Calculation OPAQUE SU
- rEA (1		02		03	04			05	C			07	01 Name	02 Zone	03 Constru	iction Azi	04 imuth C	05 Drientation	06 Gross Area (07 (Window a	nd frailt (8 09 deg) Wall Fxc	eptions St	10 tatus	11 Verified Existing	01 Name
Projec	Name	Conditioned	d Floor Area	a (ft ²) Number	or Dwelling Units	Number of I	Bedrooms	Numbe	r of Zones	Number of Cooling	ventilation Systems	Numl Heat	ber of Water ing Systems	12F-0bw 7	Main Livi	ng R-21 V	Wall	270	Left	555 Aied (0 Door Area	nt2) 9	0 nor	ne Alt	tered	Condition No	12F-0bw :
			, 113		-	5			-				<u> </u>	12F-0bw 8	Zone Main Livi	ng R-21 V	Wall	0	Back	303.4	256.5	9	0 nor	ne Alt	tered	No	12F-0bw 3
01		- 02		03		04	10.3:	0)5	06			07	12F-0bw 9	Main Livi Zone	ng R-21 V	Wall	0	Back	11.07	0	9	0 nor	ne Alt	tered	No	12F-0bw 3
e Na	me Zone	Zone Typ Condition	ed	HVAC System Main Syste	mame Zo	one Floor Area	a (ft ²)	Avg. Ceili	ng Height 9	Water Heatin	ng System 1 Sys 1	SExisting	unchanged	12F-0bw 10	GUEST	R-21	Wall	90	Right	213.03	44	9	0 noi		Vew	n/a	12F-0bw 3
GUES	-	Condition	ed	Guest Syste	:m2	1248		9	9	DHWS	Sys 1		New	12F-0bw 12	GUEST	R-21 V	Wall	0	Back	31.14	0	9	0 noi		lew	n/a	12F-0bw 3
arage	1	Condition	ed	Guest Syste	m2	970			9	DHWS	Sys 1	Existing	g Unchanged	12F-0bw 13 12F-0bw 14	GUEST	R-21 \ R-21 \	Wall	90	Back Right	34.92 236.5	0	9	u nor 0 nor	ie M ne M	vew Vew	n/a No	12F-0bw 3 18A-38
per Z	one	Condition	ed	System 2	5	2215		5	5	DHWS	5y5 1	Existing	; Unchanged	12F-0bw 15 12F-0bw 16	GUEST GUEST	R-21 V	Wall	180 90	Front Right	62.2 60.4	0	9	0 nor 0 nor	ne M	lew lew	No	18A-38 2 18A-38 2
URF	02		03	04	05	06	0	7	08	09	1	.0	11	12F-0bw 17 12F-0bw 18	GUEST	R-21 V	Wall : Wall	270 90	Left Right	317.1 96.57	97.1 64.13	9	0 nor 0 nor	ne M	lew tered	No	18A-38 4
2	Zone	e Cons	struction	Azimuth	Orientation G	Gross Area (ft ²	2) Windo Door Ar	w and ea (ft2)	Tilt (deg)	Wall Excepti	ons Sta	itus 🚶	/erified Existing Condition	12F-0bw 19	Garage	1 R-21	Wall 2	270	Left Back	96.57 151 11	48	9	0 nor	ne Ali	tered tered	No	16A-38 19A-19r
w	Main Liv Zone	R-2	21 Wall	90	Right	360	5	7	90	none	Alte	ered	No	12F-0bw 20	Garage	1 R-21	Wall	90	Right	105.57	68	9	0 nor	ne Ali	tered	No	Interior Sur
w 2	Main Liv Zone	R-2	21 Wall	180	Front	271.53	18	30	90	none	Alte	ered	No	12F-0bw 22 12F-0bw 23	Garage	к-21 V 1 R-21 V	Wall	270	Left	297.36	48.69	9	0 nor	ne Ali	tered	No	
w 3	Iviain Liv Zone Main Liv	ving R-2	21 Wall	270	Left	117	80	0	90	none	Alte	ered	No	12F-0bw 24 12F-0bw 25	Upper Zo Upper Zo	ne R-21 v	Wall Sall	90 180	Right Front	247.5 271.53	33 135.36	9	0 nor	ne Ali	tered tered	No No	0
w 4	Zone Main Liv	ving R-2	21 Wall	180	Front	589.5	301.	315	90	none	Alte	ered	No	12F-0bw 26 12F-0bw 27	Upper Zo Upper Zo	ne R-21 v ne R-21 v	Wall 2 Wall 2	270 180	Left Front	4.5 589.5	0 165.69	9	0 nor 0 nor	ne Ali ne Ali	tered tered	No No	Attic -
w 5	Zone Main Liv	ving	21 Wall	270	Left	204.03	48	715	90	none	Alte	ered	No	12F-0bw 28 12F-0bw 29	Upper Zo Upper Zo	ne R-21 v	Wall :	270 0	Left Back	200.25	9 82.63	9	0 nor 0 nor	ne Alt	tered tered	No	Attic G
W 6	Zone	к-2	21 wali	0	Васк	555.03	204.	/15	90	none	Alte	ered	NO	12F-0bw 30	Upper Zo	ne R-21	Wall 2	270	Left	98.4	0	9	0 nor	ne Ali	tered	No	Attic Opp
on Ni docui uarant ng En	mber: 424-P ent has been ge e, the accuracy rgy Efficiency	2010285336A-000 enerated by Califorrr or completeness of y Standards - 202	0-000-00000 nia Home Energ f the informatio 22 Residentia	00-0000 gy Efficiency Rating : n contained in this i al Compliance	Services (CHEERS) locument.	Registration I Dusing informatic Report Versic Schema Versi	Date/Time: · on uploaded by on: 2022.0.00 ion: rev 2022	11/18/2024 <i>third parties</i> 00 20901	08:37 not affiliated with	HERS F or related to CHE Report	Provider: CHE ERS. Therefore, t Generated: 2	EERS CHEERS is no 2024-11-18	ot responsible for, 08:25:01	Registration Nu NOTICE: This docum and cannot guarante CA Building Ene	imber: 424-P(nent has been ge ee, the accuracy of ergy Efficiency	10285336A-000-0 lerated by California I r completeness of the Standards - 2022 I	00-000000-000 Jome Energy Efficie e information contai Residential Com	0 ency Rating Si ined in this do pliance	iervices (CHEER: ocument.	Registratio 5) <i>using inform.</i> Report Ver Schema Ve	n Date/Time: 11/ tion uploaded by thi sion: 2022.0.000 rsion: rev 202209	8/2024 08:37 d parties not affil D1	HE iated with or related to Re	RS Provider: CH CHEERS. Therefore port Generated:	HEERS 2, CHEERS is no 2024-11-18	ot responsible for, 08:25:01	Registration NOTICE: This do and cannot guar CA Building
TE C ime n De iON	F COMPLIAI 1535 Palme scription: Ti / GLAZING	NCE - RESIDEN ero Way itle 24 Analysis	TIAL PERFC	DRMANCE COM		THOD Calc Inpu	ulation Da ut File Nam	te/Time: 2	2024-11-18TC almero Way.r	08:23:54-08:00 ibd22x	0	(CF1R-PRF-01-E (Page 7 of 17)	CERTIFICATE O Project Name: Calculation De FENESTRATION 01	F COMPLIAN 1535 Palme scription: Tit / GLAZING 02	CE - RESIDENTIA to Way le 24 Analysis 03	AL PERFORMA	NCE COM		ETHOD Ca In 8 09	alculation Date/ put File Name:	Time: 2024-1 1535 Palmerc	1-18T08:23:54-0 9 Way.ribd22x 13	8:00		CF1R-PRF-01-E (Page 8 of 17)	CERTIFICATI Project Nar Calculation FENESTRATI
	02	03	04	05 06	07 08	09 Area	10	11	12	13	14	15	16 Verified	Name	Туре	Surface Orie	entatio Azimu	th Width	Heigh	ult. Area	U-factor U-fa	ctor SHGC	SHGC Source	Exterior	Status	Verified Existing	Name
	Туре	Surface	n	Azimuth (ft)	t (ft) Mult	t. (ft ²)	J-factor	Source	SHGC SH	GC Source	Shading	Status	Existing Condition	ĸ	Window	2F-0bw 10		(#)	τ (π)	(ft ²)	0.39 NE	RC 0.21	NFRC	Bug Screen	New	Condition	
	Window	12F-0bw	Right	90	1	33	0.39	NFRC	0.31	NFRC I	Bug Screen	Altered	No		Window	L2F-0bw 11	Left 270			1 12.5	0.39 NF	RC 0.31	NFRC	Bug Screen	New	NA	EE
	Window	12F-0bw 2	Front	180		60	0.39	NFRC	0.31	NFRC I	Bug Screen	Altered	No	117	Window	12F-0bw 11	Left 270			1 80	0.39 NF	RC 0.31	NFRC	Bug Screen	New	NA	CC 2
	Window	12F-0bw 2	Front	180	1	60	0.39	NFRC	0.31	NFRC I	Bug Screen	Altered	No		Window	L2F-Obw 14 R	ight 90			l 16.5	0.39 NF	RC 0.31	NFRC	Bug Screen	Altered	No	FF
	Window	12F-0bw 3	Left	270	1	80	0.39	NFRC	0.31	NFRC I	Bug Screen	Altered	No	125	Window	L2F-0bw 16 R	light 90			10.5	0.39 NF	RC 0.31	NFRC	Bug Screen	Altered	No	GG
	Window	12F-Ubw 4 12F-0bw 4	ront Front	180	1	96	0.39	NFRC NFRC	0.31	NFRC I	Bug Screen	Altered	NO	114	Window	12F-0bw 17	Left 270			1 80	0.39 NF	RC 0.31	NFRC	Bug Screen	Altered	No	204
	Window	12F-0bw 4	Front	180	1	96	0.39	NFRC	0.31	NFRC	Bug Screen	Altered	No	F	Window	12F-0bw 17	Left 270			1 17.1	0.39 NF	RC 0.31	NFRC	Bug Screen	Altered	No	
		12F-0bw 4	Front	180	1	29.3 1	0.39	NFRC	0.31	NFRC	Bug Screen	Altered	No	H H 2	Window	12F-00W 23	Left 270			15 1 15	0.39 NF	RC 0.31	NFRC	вид Screen Bug Screen	Altered	No	11 II I
	Window	425.01 5	Left	270	1	48	0.39	NFRC	0.31	NFRC	Bug Screen	Altered	No	AA	Window	L2F-0bw 24 R	ight 90			1 16.5	0.39 NF	RC 0.31	NFRC	Bug Screen	Altered	No	
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Name Type Fan Power (Watts/CFM) Name HVAC Fan 1 HVAC Fan 1 HVAC Fan 0.58 HVAC Fan 1-hers-fan HVAC Fan 2 HVAC Fan 3 HVAC Fan 0.58 HVAC Fan 2-hers-fan HVAC Fan 3 HVAC Fan 4 0.58 HVAC Fan 3-hers-fan HVAC FAN SYSTEMS - HERS VERIFICATION 0.58 HVAC Fan 3-hers-fan VAC FAN SYSTEMS - HERS VERIFICATION 0 0.58 HVAC Fan 3-hers-fan Name Verified Fan Watt Draw Required Fan Efficacy (Watts/CFM) 0.58 HVAC Fan 1-hers-fan Required 0.58 0.58 HVAC Fan 3-hers-fan Required 0.58 0.58 OOOR AIR QUALITY (IAQ) FANS	ERTIFICATE O oject Name: alculation De VAC - FAN SYS ⁻	F COMPLIA 1535 Palm scription: 7 TEMS	NCE - RES ero Way Title 24 Ar 01	SIDENTIAL I	PERFORMAI	NCE COMPLIA	NCE METHOD	Calculatio	on Date/ • Name: :	Time: 2024 1535 Palme	-11-18T08 ro Way.ril 03	3:23:54-08 pd22x	3:00		CF1R-PR (Page 16	
HVAC Fan 2 HVAC Fan 3 HI HI <td></td> <td>N</td> <td>C Fan 1</td> <td></td> <td> </td> <td></td> <td></td> <td></td> <td></td> <td>Fan Pow</td> <td>er (Watts/</td> <td>CFM)</td> <td></td> <td>шист</td> <td>Name</td>		N	C Fan 1							Fan Pow	er (Watts/	CFM)		шист	Name	
HVAC Fan 3 HVAC Fan 3 HVAC Fan 3-hers-fan HVAC Fan 3 HVAC Fan 3-hers-fan INAC FAN SYSTEMS - HERS VERIFICATION INAC FAN SYSTEMS - HERS VERIFICATION O 1 O 2 O 3 Name O 2 O 3 Name O 20 O 3 HVAC Fan 1-hers-fan O 20 O 558 HVAC Fan 2-hers-fan Required O 558 HVAC Fan 3-hers-fan Required O 558 HVAC Fan 3-hers-fan Required O 558 O 1 O 2 O 3 HVAC Fan 3-hers-fan Required O 558 VDOOR AIR QUALITY (IAQ) FANS IAQ Pan Type IAQ Fan Type IAQ Fan Type IAQ Fan Type IAQ Recovery Recovery? IAQ Recovery SRE/ASRE Includes Fault Indicator Display? HERS Verification Status <t< td=""><td></td><td>HVA</td><td>C Fan 2</td><td></td><td></td><td></td><td>HVAC Fan</td><td></td><td></td><td></td><td>0.58</td><td></td><td></td><td>HVACI</td><td>an 2-hers-fan</td></t<>		HVA	C Fan 2				HVAC Fan				0.58			HVACI	an 2-hers-fan	
VAC FAN SYSTEMS - HERS VERIFICATION 02 03 01 02 03 HVAC Fan 1-hers-fan Required Fan Watt Draw Required Fan Efficacy (Watts/CFM) HVAC Fan 1-hers-fan Required 0.58 HVAC Fan 3-hers-fan Required 0.58 HVAC Fan 3-hers-fan Required 0.58 NDOOR AIR QUALITY (IAQ) FANS 01 02 03 04 05 06 07 08 09 Dwelling Unit Airflow (CFM) Fan Efficacy (W/CFM) IAQ Fan Type Includes Heat/Energy Recovery? Includes Fault Indicator Display? HERS Verification Status SFam IAQVentRpt 240 0.35 Exhaust No n/a / n/a No Yes		HVA	C Fan 3				HVAC Fan				0.58			HVAC F	an 3-hers-fan	
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Report Version: 2022.0.000 Schema Version: rev 20220901

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Project Name: 1535 P Calculation Description	on: Title 24 Analysis			Input	File Name: 1535 Palr	nero Way.ribd22x		Calculation Description: Tit	tle 24 Analysis		Inpu	t File Name: 15	35 Palmero Way.r	ribd22x		, Calcula	Name: 1535 tion Descript	Palmero Wa 24 ion: Title:
OPAQUE DOORS 01		02	03		04	05	06	OPAQUE SURFACE CONSTRUC	CTIONS 02	03	04	05	06	07	08	BUILDI	IG ENVELOPE -	- HERS VERIF
Name 123	Side	of Building F-Obw 21	Area (f	t ²)	U-factor 0.2	Status	Verified Existing Condition	Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	r U-factor	Assembly Layers	Qualit	01 y Insulation In	stallation (QI
124 11D 2	12	F-0bw 22 F-0bw 23	144	,	0.2 0.5	New Altered	n/a No			Wood Framed					Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood		Not Requi	red
SLAB FLOORS								Attic RoofGUEST	Attic Roofs	Ceiling	2x4 @ 24 in. O. C.	R-19	None / 0	0.059	Siding/sheathing/decking Cavity / Frame: R-13.0 / 2x4 Around Roof Joists: R-6.0 insul.	WATER 0	HEATING SYST	EMS 02
01	02	03	04	05 dge Insul. Edg	06 07 je Insul.	08	09 10			Wood Framed		1			Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood	Na	me Syst	em Type
Name	Zone A	rea (ft ²) P	erimeter (ft) R-	value and R-value and R-value and R-value and R-value R-va	Alue and Carpeted Depth	Fraction Heated	Status Condition	Attic RoofGarage 1	Attic Roofs	Ceiling	2x4 @ 24 in. O. C.	R-19	None / 0	0.059	Siding/sheathing/decking Cavity / Frame: R-13.0 / 2x4 Around Roof Joists: R-6.0 insul.	DHW	Sys 1 Hy	/dronic
22A-pn 22A-ph 2	GUEST	675	91.7967	none	0 805	% No % No	Altered No Altered No			Wood Framed					Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood	WATER	HEATERS	
22A-ph 3	Garage 1	180	38.2468	none	0 809	% No	Altered No	Attic RoofUpper Zone	Attic Roofs	Ceiling	2x4 @ 24 in. O. C.	R-19	None / 0	0.059	Siding/sheathing/decking Cavity / Frame: R-13.0 / 2x4 Around Roof Joists: R-6.0 insul.	01	02	03
		/90	113.415	none	0 805	% NO		R 22 Elect Crawlenace	Floors Over	Wood Framed Flagr	2x8 @ 16 in 0 0	P 22	None / None	0.042	Floor Surface: Carpeted Floor Deck: Wood	Nam	e Element Type	Tank 1
01	02	0	3	04	05	06 07 or / Exterior	08		Crawlspace	wood maneu noor	2.6 @ 10 m. 0. c.	11-22	None / None	0.045	Siding/sheathing/decking Cavity / Frame: R-22 / 2x8	DHW Heate	Gas	Indir
Construction Name	Surface Type	Construct	ion Type	Framing	Total Cavity Co R-value F	ntinuous U-factor R-value	Assembly Layers	R-38 HP Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-28.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board	WATER	HEATING - HEF	AS VERIFICAT
R-21 Wall	Exterior Walls	Wood Fra	med Wall 2x	6 @ 16 in. O. C.	R-21 Noi	ne / None 0.069	Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Exterior Finish: 3 Coat Stucco	R-19 Floor No							Floor Surface: Carpeted Floor Deck: Wood		01 Name	
						(1)	Inside Finish: Gypsum Board Cavity / Frame: R-19 in 5-1/2 in. (R-18) /	Crawlspace	Interior Floors	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.045	Siding/sheathing/decking Cavity / Frame: R-19 / 2x10 Ceiling Below Finish: Gypsum Board	Dł	IW Sys 1 - 1/1	
R-19 Wall	Interior Walls	Wood Fra	med Wall 2x	6 @ 16 in. O. C.	R-19 Noi	ne / None 0.069	2x6 Other Side Finish: Gypsum Board								1	1		
Registration Number: 4	424-P010285336A-000)-000-0000000-00	00	Registration Dat	e/Time: 11/18/2024 08	:37 HE	RS Provider: CHEERS	Registration Number: 424-PC	010285336A-000-000-0	000000-0000	Registration I) ate/Time: 11/18/	2024 08:37	HEF	RS Provider: CHEERS	Registr	ation Number:	: 424-P01028
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roject Name: 1535 F alculation Descriptio	Palmero Way on: Title 24 Analysis			Calcul Input	ation Date/Time: 20 File Name: 1535 Palr	24-11-18T08:23:54-0 nero Way.ribd22x	8:00 (Page 13 of 17)	Project Name: 1535 Palmer Calculation Description: Tit	ro Way tle 24 Analysis		Calc	ulation Date/Til t File Name: 15	me: 2024-11-18T(35 Palmero Way.r	08:23:54-08 ribd22x	3:00 (Page 14 of 17)) Project Calcula	Name: 1535 tion Descript	Palmero Wa ion: Title 24
	SYSTEMS	04		06			10 11 12	HVAC - COOLING UNIT TYPES 01	02	03 0	05	06	5	07	08 09	HVAC -		SYSTEMS
Name System	n Type Heating Un	Heating it Fauipment	Cooling Unit	Cooling Fouipment Fan	Name Distribution	Required	IU II IZ Verified Existing HVAC	Name Syste	em Type Numb	er of Units Efficienc	Metric Efficiency EER/EER2/CE	ER SEER/S	ER2 Zonally	Controlled	Mulit-speed Compressor HERS Verification	- Nar	ne Tyj	pe Desi
Heatin	ng and Heating	Count	Cooling	Count	Air	Туре	Condition System	Cooling Component 2 Centr	ral split AC	1 EER/	EER 11.1	17.	.8 No	t Zonal	Cooling Single Speed Component 2-hers-cool			
Main coo System1 system	oling Componen n other 1	t 1	Component 1	1 HVAG	Fan 1 Distribution System 1	Setback	New No	Cooling	ral split AC	1 FFR/	FFR 11.1	17	8 No	t Zonal	Cooling Single Speed Component	– Ai Distrib	Condi ution spa	tione
Guest Heatin System2 system	ng and Heating bling Componen	t 1	Cooling Component 2	1 HVAC	Fan 2 Distribution	Setback	New No	Component 3							3-hers-cool	Syste	m 2 enti	rely
System 23 coo	ng and Heating	+ 1	Cooling	1 HVA	Fan 3 Distribution	Sethack	New No	HVAC COOLING - HERS VERIFI 01	ICATION 02		03	04		05	06	Ai Distrib Syste	ution ned a	ıditio ۲ attic ۷
system	n other 3		3		System 3			Name Cooling Component	Verified Air	flow Ai	flow Target 350	Verified EER/EE	R2 Ve	rified SEERS	EER2 Verified Refrigerant Charge Not Required			
IVAC - HEATING UNIT 1		02		03		04	05	Cooling Component 2-hers-cool	Require	d	350	Not Required	1	Required	Not Required		01	
Name Heating Compo	nent 1	System Typ		Number of Unit	s	Heating Efficiency	Heating Unit Brand	Cooling Component 3-hers-cool	Require	d	350	Not Required		Required	Not Required		Name	Duct Leak Verificati
Heating Compo	nent 2	Combined hyc	Ironic	1		AFUE - 95	n/a	HVAC - DISTRIBUTION SYSTEM	MS					12			istribution	
Heating Compo	nent 3	Combined hyd	ronic	1		AFUE - 95	n/a		Duct R-v	t Ins. Duct	Surface Area			13	Verified Existing	System	1-hers-dist	Yes
IVAC - COOLING UNIT	TYPES 02	03	04	05	06	07	08 09	Name Type	Design Type Suppl y	Retur Suppl Retur n y n	uppl Retur y n	t Duct Leakage	Verification	Status	Existing Distribution System	System	2-hers-dist	Yes
Name	System Type	Number of Units	Efficiency Metri	Efficiency	Efficiency SEER/SEER2	Zonally Controlled	Mulit-speed Compressor HERS Verification	Air Unconditio Distribution ned crawl	Non-	Cra Cra wl wl	n/a n/a No Bypass	Sealed and	Air Distribution	New	n/a No	System	3-hers-dist	Yes
Cooling Component 1	Central split AC	1	EER/SEER	11.1	17.8	Not Zonal	Single Speed Component	System 1 space	Verified	ce ce	Duct	Tested	System 1-hers-dist					
Registration Number:	424-P010285336A-000	0-000-0000000-00	00	Registration Dat	e/Time: 11/18/2024 08	37 HE	RS Provider: CHEERS	Registration Number: 424-PC	010285336A-000-000-0	000000-0000	Registration I	oate/Time: 11/18/	2024 08:37	HEF	RS Provider: CHEERS	Registr	ation Number:	424-P01028
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alculation Description	on: Title 24 Analysis			Input	File Name: 1535 Palr	nero Way.ribd22x	8.00 (Page 10 01 17)	Calculation Description: Tit	tle 24 Analysis		Inpu	t File Name: 15	35 Palmero Way.r	ibd22x	(Page 17 01 17)			
IVAC - FAN SYSTEMS	01			02		03	04	DOCUMENTATION AUTHOR'S 1. I certify that this Certificate	of Compliance docum	MENT entation is accurate and	complete.							
	Name HVAC Fan 1		1 HV	Type AC Fan	Fan P	ower (Watts/CFM)	Name HVAC Fan 1-hers-fan	Philip Neumann			Docu	ture Date:	ignature:					
	HVAC Fan 2		HV	AC Fan		0.58	HVAC Fan 2-hers-fan	Philip Neumann Energy Des Address:	sign		Signa 11/1	8/2024 HERS Certification H	dentification (If application	able):				
	HVAC Fan 3		HV	AC Fan		0.58	HVAC Fan 3-hers-fan	150 Littlefield Road City/State/Zip:			Phon	2:	(n approx	,				
IVAC FAN SYSTEMS - H	ERS VERIFICATION			02			03	Monterey, CA 93940 RESPONSIBLE PERSON'S DECL	ARATION STATEMENT		4150	807015						
H	Name VAC Fan 1-hers-fan			Verified Fan Watt D Required	raw	Requi	ired Fan Efficacy (Watts/CFM) 0.58	I certify the following under penal 1. I am eligible under Div 2. I certify that the access	ity of perjury, under the la vision 3 of the Business ar	aws of the State of Californi nd Professions Code to acce nce specifications identifies	: ot responsibility for the building on this Certificate of Complia	ng design identified	on this Certificate of C	Compliance.	Part 6 of the California Code of Regulations			
H'	VAC Fan 2-hers-fan VAC Fan 3-hers-fan			Required Required			0.58	3. The building design fe calculations, plans and	atures or system design f d specifications submittee	eatures identified on this Co d to the enforcement agenc	rtificate of Compliance are co for approval with this buildin	nsistent with the inf g permit application	formation provided on	other applica	ble compliance documents, worksheets,			
NDOOR AIR QUALITY (IAQ) FANS		17.					Cynthia Spellacy Company:		- 17		Inthia S	pellacy					
01	02	03	04	05 Includes	06 IAQ Recovery	07	08 09	Stocker & Allaire, Inc.			11/1 Licen	8/2024 se:	-1-					
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Heat/Energy Recovery?	Effectiveness - SRE/ASRE	Includes Fault Indicator Display?	HERS Verification Status	21B Mandeville Ct City/State/Zip:		C	504 Phon	297 e:						
SFam IAQVentRpt	240	0.35	Exhaust	No	n/a / n/a	No	Yes	Monterey, CA 93940			8312	2625918						
								Digitally signed by California Hor this registered document, and in	me Energy Efficiency Rating no way implies Registratio	g Services (CHEERS). This dig on Provider responsibility for	tal signature is provided in orden accuracy of the information	r to secure the conte	nt of					

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	and cannot guarantee, the accuracy or completeness of the information contained in this document.		
、	CA Building Energy Efficiency Standards - 2022 Residential Compliance	Report Version: 2022,0.000	Report Generated: 2024-1/1-18 08:25:01 🔿
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O2 O3 O4 O5 High R-value Spray Foam Insulation Building Envelope Air Leakage CFM50 CFM50 Not Required N/A n/a n/a 03 04 05 06 07 08 09 10 11 stribution Water Heater Number of Solar Heating Compact HERS Water Heater Status Verified 1 1 n/a None n/a DHW Heater 1 No 04 05 06 07 08 09 10 11 pe # n/a None n/a DHW Heater No No 1 11 n/a None n/a DHW Heater No No pe # of 06 07 08 09 10 11 12 13 14 pe # of 1 12 13 14 No No 1 115 TE 0.95 Btu/ht 200000 16 95 n/a Uncondition Ne 1 115 TE 0.95 Btu/ht 200000 16 95 n/a U	.2
Not Required N/A n/a n/a n/a 03 04 05 06 07 08 09 10 11 istribution Water Heater Number of Solar Heating Compact HERS Water Heater Status Verified Existing Type Name Units System Distribution Verification Name (#) Status Condition System 3tandard 1 n/a None n/a DHW Heater Name (#) Name (#) </th <th>.2</th>	.2
03 04 05 06 07 08 09 10 11 stribution Water Heater Number of Solar Heating Compact HERS Water Heater Status Existing Existing Compact HERS Water Heater Status Verified Existing Standard DHW Heater 1 n/a None n/a DHW Heater New NA Image: New York 04 05 06 07 08 09 10 11 12 13 14 pe # of Tank Vol. Heating or Heater Input Type Rated Input Type Input Type Tank Loss or Piow Rate Tank Location Status V t 1 115 TE 0.95 Btu/Hr 200000 16 95 n/a Uncondition New 02 03 04 05 06 07 Registration Date/Time: 11/18/2024 08:37 HERS Provider: CHEERS Not Required N None None Not Required Not Required Not Require	2
stribution Water Heater Type Number of Water Heater 1 Solar Heating System Compact Distribution HERS Verification Water Heater Name (#) Verified Existing Condition Existing System 04 05 06 07 08 09 10 11 12 13 14 04 05 06 07 08 09 10 11 12 13 14 0e # of Units Tank Vol. Heating Fiftciency Efficiency Rated Input Type Tank Nuput Pilot Insulation Revalue Standby Loss of Revolvery Ist Hr. Rocovery Tank Location Status Verified 1 115 TE 0.95 Btu/Hr 200000 16 95 n/a Uncondition Recovery New 02 03 04 05 06 07 Recovery Reight and and milead with or release to Criterios in were recovery Not Required Not Required </th <td></td>	
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2022 CALIFORNIA TITLE 24 SINGLE-FAMILY

	LOW RISE RESIDENTIAL MANDATORY MEASURES
	"NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.
	BUILDING ENVELOPE MEASURES
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 cfm/ft ² or less when tested per NFRC-400 or ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.*
§ 110.6(a)5:	Labeling. Fenestration products must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from TABLES 110.6-A and 110.6-B for compliance and must be caulked and/or weatherstripped. *
§ 110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. A radiant barrier must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs. Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or
§ 150.0(a):	mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.*
§ 150.0(b):	R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 in 2x4 inch wood framing wall or have a U-factor or 0,102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-facotr not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B
§ 150.0(d):	U-factor.*
§ 150.0(f):	for the insulation material alone without facings, no greater than 0.3%; have a water absorption rate, greater than 2.0 perm/inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In Climate Zones 1-16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).
§ 150.0(g)2:	Vapor Retarder. In Climate Zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Penestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*
\$ 150 0(a)	Pireplaces, Decorative Gas Appliances, and Gas Log Measures:
3 130.0(e)	
§ 150.0(e)1A:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)1B:	is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.*
§ 150.0(e)1C:	control.* TITLE 24 RESIDENTIAL MANDATORY MEASURES
	SPACE CONDITIONING, WATER HEATING AND PLUMBING SYSTEM MEASURES
"§ 110.0-§ 110.3:	Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the Energy Commission.*
§ 110.2(a):	TABLE 110.2-K.*
§ 110.2(b):	supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off
§ 110.2(c):	Thermostats. All unitary heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.*
§ 110.3(c)3:	Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating.
§ 110.3(c)6:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (appli- ances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt); and pool and spa heaters.*
§ 150.0(h)1:	ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; SMACNA Residential Comfort System Installation Standards Manual; or ACCA Manual J using design conditions specified in § 150.0(h)2.
§ 150.0(h)3A:	Clearances. Installed air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 feet from the outlet of any dryer vent.
§ 150.0(h)3B:	Liquid Line Drier. Installed air conditioner and heat pump systems must be equipped with liquid line filter driers if required, as specified by manufacturer's instructions.
§ 150.0(j)1:	piping must be insulated as specified in § 609.11 of the California Plumbing Code. *
§ 150.0(j)2A:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment' maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must
§ 150.0(n)1:	designate a space at least 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2" higher than the base of the water heater
§ 150.0(n)3:	the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials,

	TITLE 24 RESIDENTIA
	DUCTS AND FANS MEASURES
§ 110.8(d)3:	Ducts. Insulation installed on an existing California Mechanical Code (CMC). If a c customer, in writing, that the insulation m
§ 150.0(m)1:	CMC Compliance. All air-distribution sys ANSI/SMACNA-006-2006 HVAC Duct C supply-air and return-air ducts and plenu conditioned space as confirmed through require insulation. Connections of metal fastened. Openings must be sealed with applicable UL requirements, or aerosol s mesh or tape must be used to seal open air handler support platforms, and plenur sheet metal, duct board or flexible duct n support platforms may contain ducts; duc these spaces must not be compressed.
§ 150.0(m)2:	Factory-Fabricated Duct Systems. Factor requirements for duct construction, conn components must not be sealed with clo combination with mastic and draw bands
§ 150.0(m)3:	Field-Fabricated Duct Systems. Field-fab for: pressure-sensitive tapes, mastics, se
§ 150.0(m)7:	Backdraft Dampers. All fan systems that the building must have backdraft or auto
§ 150.0(m)8:	automatic or readily accessible, manually combustion inlet and outlet air openings
§ 150.0(m)9:	moisture, equipment maintenance, and v service. For example, protected by alumi insulation must be protected as above or shielding from solar radiation.
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inn inner core and outer vapor barrier.
§ 150.0(m)11:	Duct System Sealing and Leakage Test. to supply conditioned air to an occupiabl confirmed through field verification and d Reference Residential Appendix RA3.1
§ 150.0(m)12:	Air Filtration. Space conditioning systems systems must have MERV 13 or equivale inch depth or can be one inch if sized pe meet the requirements in §150.0(m)12. F grilles must use gaskets, sealing, or othe air from bypassing the filter. *
§ 150.0(m)13:	Space Conditioning System Airflow Rate supply cooling must have a hole for the p static pressure probe in the supply plenu capacity, and an air-handling unit fan effi 0.58 watts per CFM for all others. Small per ton of nominal cooling capacity, and verification testing is required in accorda
§150.0(o)1:	REQUIREMENTS FOR VENTILATION Requirements for Ventilation for Indoor A ASHRAE Standard 62.2., Ventilation an to the amendments specified in § 150.0(
§ 150.0(o)1B:	Central Fan Integrated (CFI) Ventilation to provide the whole- dwelling unit ventila must be installed on the ventilation duct(system when the damper(s) is closed an have controls that track outdoor air ventil for compliance with §150.0(o)1C.
§150.0(o)1C:	Whole-Dwelling Unit Mechanical Ventilat detached dwelling units, and attached dv units, occupiable spaces, public garages specified in § 150.0(o)1Ci-iii.
§ 150.0(o)1G:	Local Mechanical Exhaust. Kitchens and kitchens must have demand- controlled e kitchens and bathrooms can use demand Airflow must be measured by the installe
§ 150.0(o)1H&I:	Airflow Measurement and Sound Ratings required per § 150.0(o)1C must be meas device at the fan's inlet or outlet terminal Whole-Dwelling unit ventilation systems the minimum airflow rate required by §15
§ 150.0(o)2:	Field Verification and Diagnostic Testing airflow and sound rating, and HRV and E Residential Appendix RA3.7. Vented ran RA3.7.4.3 to confirm if it is rated by HVI requirements per §150.0(o)1G
	POOL AND SPA EQUIPMENT MEASU
§ 110.4(a):	Certification by Manufacturers. Any pool of the following: compliance with the App switch mounted outside of the heater tha setting; a permanent weatherproof plate resistance heating. *
§ 110.4(b)1:	Piping. Any pool or spa heating equipme filter and the heater, or dedicated suctior future solar heating.
§ 110.4(b)2:	Covers. Outdoor pools or spas that have
§ 110.4(b)3:	Directional inlets and time switches for p pool water, and a time switch that will all off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa hea
§ 150.0(p):	Pool Systems and Equipment Installation

LIFURINIA IIILE 24 SINULE-F
TIAL MANDATORY MEASURES
ng space-conditioning duct must comply with § 604.0 of the a contractor installs the insulation, the contractor must certify to the n meets this requirement.
system ducts and plenums must meet CMC §§ 601.0-605.0 and t Construction Standards Metal and Flexible 3rd Edition. Portions of enums must be insulated to R-6.0 or higher; ducts located entirely in gh field verification and diagnostic testing (RA3.1.4.3.8) do not tal ducts and inner core of flexible ducts must be mechanically ith mastic, tape, or other duct-closure system that meets the ol sealant that meets UL 723. The combination of mastic and either penings greater than 1/4", If mastic or tape is used. Building cavities, nums designed or constructed with materials other than sealed ct must not be used to convey conditioned air. Building cavities and ducts installed in
ctory-fabricated duct systems must comply with applicable nnections, and closures; joints and seams of duct systems and their cloth back rubber adhesive duct tapes unless such tape is used in nds.
fabricated duct systems must comply with applicable requirements , sealants, and other requirements specified for duct construction.
hat exchange air between the conditioned space and the outside of utomatic dampers.
ventilating systems serving conditioned space must have either ally operated dampers in all openings to the outside, except gs and elevator shaft vents.
st be protected from damage, including that due to sunlight, d wind. Insulation exposed to weather must be suitable for outdoor uminum, sheet metal, painted canvas, or plastic cover. Cellular foam e or painted with a coating that is water retardant and provides
inner core flex duct must have a non-porous layer between the
est. When space conditioning systems use forced air duct systems able space, the ducts must be sealed and duct leakage tested, as d diagnostic testing, in accordance with § 150.0(m)11and .1
ems with ducts exceeding 10 feet and the supply side of ventilation valent filters. Filters for space conditioning systems must have a two per Equation 150.0-A. Clean-filter pressure drop and labeling must 2. Filters must be accessible for regular service. Filter racks or ther means to close gaps around the inserted filters to and prevents
ate and Fan Efficacy. Space conditioning systems that use ducts to be placement of a static pressure probe, or a permanently installed enum. Airflow must be \geq 350 CFM per ton of nominal cooling efficacy \leq 0.45 watts per CFM for gas furnace air handlers and \leq all duct high velocity systems must provide an airflow \geq 250 CFM and an air-handling unit fan efficacy \leq 0.62 watts per CFM. Field dance with Reference Residential Appendix RA3.3. *
and Acceptable Indoor Air Quality in Residential Buildings subject .0(o)1.
on Systems. Continuous operation of CFI air handlers is not allowed ntilation airflow required per §150.0(o)1C. A motorized damper(s) act(s) that prevents all airflow through the space conditioning duct andcontrolled per §150.0(o)1Biii&iv. CFI ventilation systems must intilation run time, and either open or close the motorized damper(s)
ilation for Single-Family Detached and townhouses . Single-family I dwelling units not sharing ceilings or floors with other dwelling ges, or commercial spaces must have mechanical ventilation airflow
and bathrooms must have local mechanical exhaust; nonenclosed ed exhaust system meeting requirements of §150.0(o)1Giii,enclosed and-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. aller per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi. *
ngs of Whole-Dwelling Unit Ventilation Systems. The airflow easured by using a flow hood, flow grid, or other airflow measuring nals/grilles per Reference Residential Appendix RA3.7. ns must be rated for sound per ASHRAE 62.2 §7.2 at no less than §150.0(o)1C.
ing. Whole-Dwelling Unit ventilation airflow, vented range hood d ERV fan efficacy must be verified in accordance with Reference range hoods must be verified per Reference Residential Appendix VI or AHAM to comply with the airflow rates and sound
SURES bool or spa heating system or equipment must be certified to have all Appliance Efficiency Regulations and listing in MAEDbS; an on-off that allows shutting off the heater without adjusting the thermostat ate or card with operating instructions; and must not use electric
ment must be installed with at least 36 inches of pipe between the tion and return lines, or built-in or built-up connections to allow for
ave a heat pump or gas heater must have a cover.
r pools. Pools must have directional inlets that adequately mix the allow all pumps to be set or programmed to run only during
neaters must not have a continuously burning pilot light.

on. Residential pool systems or equipment must meet the

specified requirements for pump sizing, flow rate, piping, filters, and valves.*

Notice of the second		TITLE 24 RESIDENTIAL MANDATORY MEASURES		TITLE 24 RESIDENTIAL MANDATORY MEASURES		בור. 831
 Min Min Min Min Min Min Min Min Min Min				SOLAR READY BUILDINGS	ص ا	FAX
<pre>max in the second second</pre>	110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.*	§ 110.10(a)1:	Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system		.1890
Image: Property of the second sec	50.0(k)1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and linen		installed, must comply with the requirements of § 110.10(b) through § 110.10(e).		331.375
mm Processor proceso	50.0(k)1B:	closets with an efficacy of at least 45 lumens per watt. Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*		Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The	త	8 Hd
min min	50.0(k)1C:	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.	§110.10(b)1A	solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. *		3940
a. mathematical is a finite one state of the control i	150.0(k)1D:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires			Ð	/, CA 9;
max <td>50.0(k)1E:</td> <td>Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control, low voltage wiring, or fan speed control</td> <td>§ 110.10(b)2:</td> <td>Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.</td> <td></td> <td>Monterey</td>	50.0(k)1E:	Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control, low voltage wiring, or fan speed control	§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.		Monterey
Image	50.0(k)2A:	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § $150.0(k)$. *	§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*		vonu au ville Court
min min	50.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *	§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height		Mandev
Num information control co	50.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.		of the solar zone, measured in the vertical plane.*		gn ed gn gn sis
mm immediation immedia	.50.0(k)11:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed	§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.		ution only. Designation on the contract of the
MARKE Inter statutes are transmissional transm	50.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A	§ 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating	eumar 5 6 9	93940 or coordina cal contrae be enginee o be used al specificat
winter day lateret and off **winter daywinter day	50.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems. * Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to		systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.	ergy engy	terey, CA terey, CA wings are a mechani t party to ument is t trefinic
Windows Instruction	50.0(k)2A:	be manually turned on and off. * Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k).	§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.	P P P T T T T T T C T	Mon1 Dra
SNUM:: Control for the stand of the s	50.0(k)2F:	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.	§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.		, , , , , , , , , , , , , , , , , , ,
Advy: is concrete should correct, in attraction, googes, havey note: unity prome and exist in demands in the intervention of a coole optic concrete should correct in the intervention of a coole optic concrect and coole optic concre	i0.0(k)2C:	Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(k)2A.			RESC - 2	ζ Σ
Bio Algo Dimmarks. Lighting in habitable spaces (e.g., Lvmg nooms, diming coolins, ktobass, and bestrooms) must have medialy accounting LED light source in lines spaces must conjug with habitable spaces (e.g., lvmg nooms, diming coolins, ktobass, and bestrooms) must have medialy accounting LED light source in lines spaces must conjug with habitable spaces (e.g., lvmg nooms, diming coolins, ktobass, and bestrooms) must have medialy accounting LED light source in lines spaces must conjug with habitable spaces (e.g., lvmg nooms, diming coolins, ktobass, and bestrooms) must have medialy accounting LED light source in lines spaces must conjug with habitable spaces (e.g., lvmg nooms, diming coolins, ktobass, and bestrooms) must have medialy accounting LED light source in lines spaces must conjug with habitable spaces (e.g., lvmg nooms, diming coolins, ktobass, and bestrooms) must have medialy accounting LED light source in lines spaces must conjug with habitable spaces. Image-and interast spaces (e.g., lvmg nooms, diming coolins, ktobass, and bestrooms) must have have a meanal action and have a format action and have a meanal action and have a format action and have a meanal action and have a format action and have a meanal action and have a format action and have a meanal action and have a format action and have a formatal action and have a format action and have action ac	50.0(k)2E:	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.	§ 110.10(e)2:	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".	20 CYP	
S00(k)XL: Independent cortrols. Integrated lighting of exhausts fans shall be controlled independently from the fans. Lighting under catalands or takewis, glipting in display catalands, and switched outlets must be controlled independently from the fans. S00(k)XL: Residential Outdoor Lighting. For single-tamily readantial buildings, outdoor lighting permanently mounded to a statewist building and permanently mounded to address signs must either comply with § 140.8 ar 50.00/List Internally illuminated address signs must either comply with § 140.8 ar 50.00/List Internally illuminated address signs must either comply with § 140.8 ar 51.00/List Internally illuminated address signs must either comply with § 140.8 ar 51.00/List Internally illuminated address signs must either comply with § 140.8 ar 51.00/List Internally illuminated address signs must either comply with § 140.8 ar 51.00/List Internally illuminated address signs must either comply with § 140.8 ar 51.00/List Internally illuminated address signs must either comply with § 140.8 ar 51.00/L	50.0(k)2F:	Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall- mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.	§ 150.0(s)	Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle	15 15	ТЕРОГГ
Residential Outdoor Lighting, or to single-family residential buildings, outdoor lighting permanently Heat Pump Space Heater Reddy, Systems using gas or propane furnaces to serve individual dwelling dwith 3° of the Turnace with control or not astronemical time code. An energy management control system that provides the specified control functionality and meets all associated as the state of the permanently during installed with 3° of the furnace with control or not astronemical time code. An energy management control system that provides the specified control functionality and meets all associated as the state of the permanently matched as the state of the permanently control functionality and meets all associated as the permanently matched as the permanent	50.0(k)2K:	Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.		outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source		
S0.0(k): Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power. Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 2400 branch circuit wing installed within 3" of the cooktop with oricuit conductors rated at least 50 amps with the blank cover identified as "2400" ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 2400" use." SI 50.0(u) Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 2400 branch circuit wing installed within 3" of the dedicated unobstructed 2400 branch circuit wing installed within 3" of the dyer location with plank cover identified as "2400" ready." and a reserve main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 2400" use." SI 50.0(u) Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve identified as "2400" ready." and a reserve main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 2400" use." SI 50.0(u) Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve identified as "2400" ready." and a reserve main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 2400" use." SI 50.0(u) SI 50.0(u) <td>150.0(k)3A:</td> <td>Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.</td> <td>§ 150.0(t)</td> <td>Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."</td> <td></td> <td>NRFS STR</td>	150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.	§ 150.0(t)	Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."		NRFS STR
Image: Second content of the conten	150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.	§ 150.0(u)	Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."	S S M	/ MFAS
NOTE: NEW REQUIREMENTS TO THE 2022 MANDATORY MEASURES			§ 150.0(v	Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use.") CYPR	VATOR'
				NOTE: NEW REQUIREMENTS TO THE 2022 MANDATORY MEASURES	152(
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TITLE-24 MANDATORY MEASURES NO SCALE

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California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

AIA

				Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is
Y N/A RESPON. PARTY		4 106 4 2 New multifamily dwellings, botels and motels and new residential parking facilities	Y N/A RESPON. PARTY	construction in accordance with the California Electrical Code.
		When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for approach the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2.		4.106.4.2.4 Identification.
	SECTION SUT GENERAL	whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the numbers of complying with any		future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the	applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2		4.106.4.2.5 Electric Vehicle Ready Space Signage.
	application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.	4 106 4 2 1 Multifemily development prejects with loss than 20 dwelling units; and botels and motels with loss		Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its
	301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to	than 20 sleeping units or guest rooms.		successor(s).
	additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the	this section.		4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.
	specific area of the addition or alteration.	1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, aball he electric vabials abarring appage (E) (appage) appable of supporting future Lavel 2		When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or
	The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section	EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical electrical panel service capacity and electrical electrical panel service capacity and electrical		altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.
	4.106.4.3 for application.	EVs at all required EV spaces at a minimum of 40 amperes.		
	Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.	The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code		EV charging.
	Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or	Exceptions:		2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.
	improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate	1 When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number		DIVISION 4.2 ENERGY EFFICIENCY
	of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and	of EV capable spaces.		4.201 GENERAL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy
	other important enactment dates.	2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces the number of EV capable spaces required may be reduced by a number equal to the number of		Commission will continue to adopt mandatory standards.
	301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of	EV chargers installed.		DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION
	buildings, or both. Individual sections will be designated by banners to indicate where the section applies	Notes:		4.303 INDOOR WATER USE
	high-rise buildings, no banner will be used.	a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.		urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3,
	SECTION 302 MIXED OCCUPANCY BUILDINGS	b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or		anu 4.505.4.4. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conservin
	302 1 MIXED OCCUPANCY BUILDINGS In mixed occupancy buildings, each portion of a building	EV chargers are installed for use.		plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final percent approval by the local building department. See Civil
	shall comply with the specific green building measures applicable to each specific occupancy.	2.EV Ready . Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per		Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates
	1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable	dwelling unit when more than one parking space is provided for use by a single dwelling unit.		4 303 1 1 Water Closets The effective flush volume of all water closets shall not exceed 1.28 gallons per
	2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with	Exception: Areas of parking facilities served by parking lifts.		flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets
	Chapter 4 and Appendix A4, as applicable.	4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.		Note : The effective flush volume of dual flush toilets is defined as the composite, average flush volume
	DIVISION 4.1 PLANNING AND DESIGN	the number of aweiling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.		of two reduced flushes and one full flush.
	ADDREVIATION DEFINITIONS: HCD Department of Housing and Community Development	1.EV Capable . Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be cleated unbide charging areases (5) (arease) area the formula of the statement of		4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.
	BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety	EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical avetam including any on site distribution transformer(s) have sufficient equations including any on site distribution transformer(s) have sufficient equations in the electrical service capacity and electrical		4.303.1.3 Showerheads.
	USHPD Office of Statewide Health Planning and Development	EVs at all required EV spaces at a minimum of 40 amperes.		4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8
	AA Additions and Alterations	The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code		gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
		Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of		4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one
		parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required		showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only
	RESIDENTIAL MANDATORY MEASURES	Notes:		allow one shower outlet to be in operation at a time.
	SECTION 4.102 DEFINITIONS	a Construction documents shall show locations of future FV spaces.		Note : A hand-held shower shall be considered a showerhead.
	4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)	b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or		4.303.1.4 Faucets.
	FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar	EV chargers are installed for use.		not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
	pervious material used to collect or channel drainage or runoff water.	2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per		4 303 1 4 2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory
	WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also	dwelling unit when more than one parking space is provided for use by a single dwelling unit.		faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.
	used for perimeter and inlet controls.	Exception: Areas of parking facilities served by parking lifts.		4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver
	4.100 SITE DEVELOP WENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize pegative effects on the site and adjacent areas. Preservation of slopes	Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or quests.		more than 0.2 gallons per cycle.
	management of storm water drainage and erosion controls shall comply with this section.	When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required		4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not
	4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre	an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers		to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.
	or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent	shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall		Note: Where complying faucets are unavailable, aerators or other means may be used to achieve
	property, prevent erosion and retain soil runoff on the site.	have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.		reduction.
	 Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system, collection point, gutter or similar 	4.106.4.2.2.1 Electric vehicle charging stations (EVCS).		When installed, shall meet the requirements in the <i>California Code of Regulations</i> , Title 20 (Appliance Efficiency Regulations). Sections 1605 1 (b)(4) Table H-2. Section 1605 3 (b)(4)(A), and Section 1607
	disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.	Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.		(d)(7) and shall be equipped with an integral automatic shutoff.
	3. Compliance with a lawfully enacted storm water management ordinance.	Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable		FOR REFERENCE ONLY: The following table and code section have been reprinted from the <i>California</i> <i>Code of Regulations</i> . Title 20 (Appliance Efficiency Regulations) Section 1605.1 (h)(4) and Section
	Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.	requirements.		1605.3 (h)(4)(A).
	(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)	4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options:		TABLE H-2
	4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will	1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Cade. Chapter 114, to allow upo of the EV observes from the accessible parking appaar		
	water include, but are not limited to, the following:	The charging space shall be located on an accessible route, as defined in the California Building Cade		STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY
	 Swales Water collection and disposal systems 	Chapter 2, to the building.		
	 French drains Water retention gardens 	Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section		[spray force in ounce force (ozf)] MAXIMUM FLOW RATE (gpm)
	 Other water measures which keep surface water away from buildings and aid in groundwater recharge. 	4.106.4.2.2.1.2, Item 3.		Product Class 1 (≤ 5.0 ozf) 1.00
	Exception : Additions and alterations not altering the drainage path.	4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:		Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)1.20
	4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections	1.The minimum length of each EV space shall be 18 feet (5486 mm).		Product Class 3 (> 8.0 ozf) 1.28
	4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the <i>California Electrical Code</i> , Article 625.	2.The minimum width of each EV space shall be 9 feet (2743 mm).		Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(of)]
	Exceptions:	3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aide chall be permitted are identified and the minimum distance of the TV and the second statement of the SV and the second statement of the second sta		4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial
	infrastructure are not feasible based upon one or more of the following conditions: 1.1. Where there is no local utility nower supply or the local utility is upply of a supply adaquate	alsie. A 3-100 (1924 min) whe minimum alsie shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).		buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the
	power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional	a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.		California Plumbing Code.
	local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.	4.106.4.2.2.1.3 Accessible EV spaces.		4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 4704.4 of the <i>California Plumbing Code</i> .
	 Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 	In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV readv		
		spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.		THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A
	4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway	4.106.4.2.3 EV space requirements.		TABLE - MAXIMUM FIXTURF WATER USF
	shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the	1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall		FIXTURE TYPE FLOW RATE
	proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere	originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the		
	208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.	raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device		
	Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is	Installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.		LAVATORY FAUCETS (RESIDENTIAL)
	Instance in close proximity to the proposed location of an $\perp v$ charger at the time of original construction in accordance with the California Electrical Code.	Exception. A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.		LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS 0.5 GPM @ 60 PSI
	4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPARLE". The received termination	2 Multiple EV spaces required. Construction documents shall indicate the recovery termination point and the		KITCHEN FAUCETS 1.8 GPM @ 60 PSI
	location shall be permanently and visibly marked as "EV CAPABLE".	location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperade of installed or future recentacles or EVSE raceway method(s), wiring schematics and		METERING FAUCETS 0.2 GAL/CYCLE
		electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground enclosed inaccessible or in		WATER CLOSET 1.28 GAL/FLUSH
		concerned areas and spaces shall be installed at the time of original construction		UKINALS 0.125 GAL/FLUSH

F		Y = YES N/A = NOT APPLICABLE RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)	A I C Lic. # 50479721	<pre>< 831.375.1480</pre>
Y 1	N/A RESPON. PARTY	4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS . Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. NOTES:	A I 6	331.375.1890 FA)
		 The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/ 	৵	Hd
		EFFICIENCY 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in		940
		sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.	Ð	9y, CA 93
		 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions: 	D C K ontractors, Inc.	Court Montere
		 Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. 	S t C	Mandeville
		 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 		Design diffied aliffied design acture acture imum timate ecting
		 Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). Identify diversion facilities where the construction and demolition waste material collected will be taken. Identify construction methods employed to reduce the amount of construction and demolition waste generated. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both 	Veumann • Design 915 Pneumann.com 2A 93940	e for coordination only. I mical contractor or qu to be engineer of recora to be used to convey ited specifications, manuf a equipment sizing found a equipment sizing found are provided for mit y: they do not represent u "ontractor to verify con intual load calculations ref itruction.
		4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.	Dhilip P Energy <i>1</i> 15.680.7(Monterey, C	Drawings ar build mechu third party document is intent. Techn references at document o guidance onl selections. C and supply f finished cons
		Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.		
		 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square fort of the building area. shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 	RESS , CA 9395	3-521-005-000
		 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4 Notes: 	520 CYPI E BEACH	3, APN: 00
		 Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). 	PEBBL	SEPTEMBER (2023
		 4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: Directions to the owner or occupant that the manual shall remain with the building throughout the 		
		 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. 		
		 d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 	YPRESS	SREEN
		 Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. Information about state solar energy and incentive programs available. A copy of all special inspections verifications required by the enforcing agency or this code. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. Information and/or drawings identifying the location of grab bar reinforcements. 	1520 C	CAL 0
		4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.		
		Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.		
		DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL	04-12-24	
		 4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) 	VISIONS: RMIT	
		AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.	ISSUE-RE	
		COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.	GR	2.0
		DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.		

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

	MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum chan	ge in weight of ozone formed by add	ng a	
	compound to the "Base Reactive Organic Gas (ROG) Mixture" per we hundredths of a gram (g O ³ /g ROC).	sight of compound added, expressed	to	
	Note: MIR values for individual compounds and hydrocarbon solvents and 94701.	are specified in CCR, Title 17, Section	ons 94700	
	MOISTURE CONTENT. The weight of the water in wood expressed in	n percentage of the weight of the ove	n-dry wood.	
	PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR	for all ingredients in a product subjec	t to this	
	article. The PWMIR is the total product reactivity expressed to hundre product (excluding container and packaging).	oths of a gram of ozone formed per g	iram of	
	PEACTIVE OPGANIC COMPOLIND (POC) Any compound that has	the notential once emitted to contrib	aute to	
	ozone formation in the troposphere.			
	VOC. A volatile organic compound (VOC) broadly defined as a chemi with vanor pressures greater than 0.1 millimeters of mercury at room	cal compound based on carbon chair	ns or rings cally contain	
	hydrogen and may contain oxygen, nitrogen and other elements. See	CCR Title 17, Section 94508(a).		
_	 4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent	sealed-combustion type. Any installe	d	
	woodstove or pellet stove shall comply with U.S. EPA New Source Pe	erformance Standards (NSPS) emissi ied to meet the emission limits. Woo	on limits as dstoves	
	pellet stoves and fireplaces shall also comply with applicable local ord	linances.	,	
╡	4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF ME	CHANICAL EQUIPMENT DURING		
	CONSTRUCTION. At the time of rough installation, during storage or startup of the heating, cooling and ventilating equipment, all duct and	n the construction site and until final other related air distribution compone	ent	
	openings shall be covered with tape, plastic, sheet metal or other met reduce the amount of water, dust or debris which may enter the syste	hods acceptable to the enforcing age m.	ncy to	
_	4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materia	als shall comply with this section.		
_	4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, seala	ant and caulks used on the project sh	all meet the	
	requirements of the following standards unless more stringent management district rules apply:	ocal or regional air pollution or air qua	ality	
	1. Adhesives, adhesive bonding primers, adhesive prim	ers, sealants, sealant primers and ca	ulks	
	shall comply with local or regional air pollution contro applicable or SCAQMD Rule 1168 VOC limits, as sho	o or air quality management district ru own in Table 4.504.1 or 4.504.2, as a	nes where pplicable.	
	Such products also shall comply with the Rule 1168 compounds (chloroform, ethylene dichloride, methyle	promibilion on the use of certain toxic ene chloride, perchloroethylene and cified in Subacetica O below		
	tricioroetnyiene), except for aerosol products, as spe	cilied in Subsection 2 below.	de (in	
	2. Aerosol adnesives, and smaller unit sizes of adhesive units of product, less packaging, which do not weigh then 16 fluid european about the size of adhesive the size of adhesive and smaller units adhesive the size of adhesive adhesive adhesive adhesive adhesive adhesive adhesive adhesive adhesive adhesive the size of adhesive adhesive adhesive adhesive adhesive adhesive adhesive adhesive adhesive adhesive the size of adhesive adhes	es, and sealant or caulking compound more than 1 pound and do not consis	us (in st of more	
	prohibitions on use of certain toxic compounds, of Ca	alifornia Code of Regulations, Title 17	, , ,	
	4 504 2 2 Painte and Coatinge Architectural points and coating	ngs shall comply with VOC limits in T	able 1 of	
-	the ARB Architectural Suggested Control Measure, as shown in	n Table 4.504.3, unless more stringer	nt local limits	
	listed in Table 4.504.3 shall be determined by classifying the co- coating based on its closs, as defined in subsections 4.21.4.3	bating as a Flat, Nonflat or Nonflat-Hig 6, and 4,37 of the 2007 California Air	gh Gloss Resources	
	Board, Suggested Control Measure, and the corresponding Fla Table 4 504 3 shall apply	t, Nonflat or Nonflat-High Gloss VOC	limit in	
╡	4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and c	coatings shall meet the Product-weigh	nted MIR	
-	Limits for ROC in Section 94522(a)(2) and other requirements, compounds and ozone depleting substances in Sections 9452	including prohibitions on use of certa $2(e)(1)$ and $(f)(1)$ of <i>California Code</i> c	in toxic	
	Regulations, Title 17, commencing with Section 94520; and in a	areas under the jurisdiction of the Bay	/ Area Air Regulation	
	8, Rule 49.		regulation	
	4.504.2.4 Verification. Verification of compliance with this sec	tion shall be provided at the request o	of the	
	 4.504.2.4 Verification. Verification of compliance with this sec enforcing agency. Documentation may include, but is not limite	tion shall be provided at the request or the tequest or the following:	of the	
	 4.504.2.4 Verification. Verification of compliance with this second enforcing agency. Documentation may include, but is not limited 1. Manufacturer's product specification. 2. Field verification of on-site product containers. 	tion shall be provided at the request e ed to, the following:	of the	
	 4.504.2.4 Verification. Verification of compliance with this second enforcing agency. Documentation may include, but is not limited. 1. Manufacturer's product specification. 2. Field verification of on-site product containers. 	tion shall be provided at the request end to, the following:	of the	
	 4.504.2.4 Verification. Verification of compliance with this second enforcing agency. Documentation may include, but is not limited. 1. Manufacturer's product specification. 2. Field verification of on-site product containers. TABLE 4.504.1 - ADHESIVE VOC LIMITED.	tion shall be provided at the request on the following:	of the	
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	 4.504.2.4 Verification. Verification of compliance with this second of compliance with the second of complete term of co	tion shall be provided at the request of the following:	of the	
	4.504.2.4 Verification. Verification of compliance with this second of complete the complete second of complete the complete second of complete secon	tion shall be provided at the request of the following:	of the	
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	4.504.2.4 Verification. Verification of compliance with this sec enforcing agency. Documentation may include, but is not limite 1. Manufacturer's product specification. 2. Field verification of on-site product containers. TABLE 4.504.1 - ADHESIVE VOC LIMI (Less Water and Less Exempt Compounds in Grame ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES WOOD FLOORING ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES COVE BASE ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE SINGLE-PLY ROOF MEMBRANE ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADMESIVE DENVED FOR PLACTOR	tion shall be provided at the request of the following: IT _{1.2} s per Liter) VOC LIMIT 50 50 50 150 60 50 65 50 50 50 50 50 50 50 50 50 5	of the	
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TABLE 4.504.2 - SEALANT VOC LIN	ΙΙΤ
(Less Water and Less Exempt Compounds in Gra	ms per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

ARCHITECTURAL COATINGS _{2,3}	
GRAMS OF VOC PER LITER OF COATING, LESS COMPOUNDS	S WATER & LESS EXEMPT
COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS

SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

Y	N/A	RESPON. PARTY			
			TABLE 4.504.5 - FORMALDEHYDE LI	MITS₁	
			MAXIMUM FORMALDEHYDE EMISSIONS IN PAR	TS PER MILLION	
			PRODUCT	CURRENT LIMIT	
				0.05	
			HARDWOOD PLYWOOD COMPOSITE CORE	0.05	
			MEDIUM DENSITY FIBERBOARD	0.09	
			THIN MEDIUM DENSITY FIBERBOARD2	0.13	
			1. VALUES IN THIS TABLE ARE DERIVED FROM	THOSE SPECIFIED	
			BY THE CALIF. AIR RESOURCES BOARD, AIR TO MEASURE FOR COMPOSITE WOOD AS TESTED WITH ASTM E 1333. FOR ADDITIONAL INFORMA CODE OF REGULATIONS, TITLE 17, SECTIONS 9 93120.12.	DXICS CONTROL IN ACCORDANCE TION, SEE CALIF. 13120 THROUGH	
			2. THIN MEDIUM DENSITY FIBERBOARD HAS A THICKNESS OF 5/16" (8 MM).	MAXIMUM	
			DIVISION 4.5 ENVIRONMENTAL QUAL 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior Department of Public Health, "Standard Method for the Testing and Eva from Indoor Sources Using Environmental Chambers," Version 1.2, Jan California Specification 01350) See California Department of Public Health's website for certification pro- https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages	LITY (continued shall meet the requirement: luation of Volatile Organic C uary 2017 (Emission testing ograms and testing labs.	s of the California Chemical Emissions method for
			4.504.3.1 Carpet cushion. All carpet cushion installed in the built	ding interior shall meet the ı	requirements of the
			California Department of Public Health, "Standard Method for the Chemical Emissions from Indoor Sources Using Environmental C (Emission testing method for California Specification 01350)	Testing and Evaluation of \ hambers," Version 1.2, Jan	/olatile Organic uary 2017
			https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHI B/IAQ	/Pages/VOC aspx.	105.
			4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the re	quirements of Table 4.504.	1.
			4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is	installed , at least 80% of f	 floor area receiving
			resilient flooring shall meet the requirements of the California Department Testing and Evaluation of Volatile Organic Chemical Emissions from Inc Version 1.2, January 2017 (Emission testing method for California Spec	nt of Public Health, "Standa loor Sources Using Environ ification 01350)	rd Method for the mental Chambers,"
			hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Page	s/VOC.aspx.	
			4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particl composite wood products used on the interior or exterior of the buildings formaldehyde as specified in ARB's Air Toxics Control Measure for Comby or before the dates specified in those sections, as shown in Table 4.5	eboard and medium density s shall meet the requiremen posite Wood (17 CCR 9312 504.5	/ fiberboard its for 20 et seq.),
			4.504.5.1 Documentation. Verification of compliance with this set by the enforcing agency. Documentation shall include at least one	ection shall be provided as a e of the following:	requested
			 Product certifications and specifications. Chain of custody certifications. Product labeled and invoiced as meeting the Composit CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting the PS-1 o Wood Association, the Australian AS/NZS 2269, Europ 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency. 	e Wood Products regulatior r PS-2 standards of the Eng ean 636 3S standards, and	ו (see jineered I Canadian CSA
			4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the C	California Building Standard	's Code.
			4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundation California Building Code, Chapter 19, or concrete slab-on-ground floors California Residential Code, Chapter 5, shall also comply with this sector	is required to have a vapor required to have a vapor re on.	retarder by etarder by the
			4.505.2.1 Capillary break. A capillary break shall be installed in following:	compliance with at least on	e of the
			 A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or a vapor barrier in direct contact with concrete and a con shrinkage, and curling, shall be used. For additional in ACI 302.2R-06. Other equivalent methods approved by the enforcing and content of the second s	larger clean aggregate sha ncrete mix design, which wi formation, see American Co gency.	all be provided with Il address bleeding, oncrete Institute,
			3. A slab design specified by a licensed design profession	nal.	
			4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building shall not be installed. Wall and floor framing shall not be enclosed when moisture content. Moisture content shall be verified in compliance with	materials with visible signs the framing members exce the following:	of water damage ed 19 percent
			 Moisture content shall be determined with either a probe-type moisture verification methods may be approved by the enforc found in Section 101.8 of this code. Moisture readings shall be taken at a point 2 feet (610 mm) to of each piece verified. 	4 feet (1219 mm) from the	grade stamped end
			 At least three random moisture readings shall be performed o acceptable to the enforcing agency provided at the time of ap 	n wall and floor framing with proval to enclose the wall	n documentation and floor framing.
			Insulation products which are visibly wet or have a high moisture conten enclosure in wall or floor cavities. Wet-applied insulation products shall recommendations prior to enclosure.	t shall be replaced or allowe follow the manufacturers' d	ed to dry prior to rying
			4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanicall following:	y ventilated and shall comp	ly with the
			 Fans shall be ENERGY STAR compliant and be ducted to ter Unless functioning as a component of a whole house ventilati humidity control. 	minate outside the building. on system, fans must be co	ntrolled by a
			 a. Humidity controls shall be capable of adjustment betwee equal to 50% to a maximum of 80%. A humidity control adjustment. b. A humidity control may be a separate component to the integral (i.e., built-in) 	en a relative humidity range I may utilize manual or auto e exhaust fan and is not req	e less than or omatic means of uired to be
			 For the purposes of this section, a bathroom is a room tub/shower combination. Lighting integral to bathroom exhaust fans shall comply 	which contains a bathtub, si with the <i>California Energy</i>	hower or <i>Code.</i>
			4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heat sized, designed and have their equipment selected using the following r	ing and air conditioning sys	stems shall be
			 The heat loss and heat gain is established according to ANSI/ Load Calculation), ASHRAE handbooks or other equivalent d Duct systems are sized according to ANSI/ACCA 1 Manual D ASHRAE handbooks or other equivalent design software or n Select heating and cooling equipment according to ANSI/ACC 	ACCA 2 Manual J - 2011 (F esign software or methods. - 2014 (Residential Duct Sy nethods. CA 3 Manual S - 2014 (Resignation)	Residential ystems), dential
			Exception: Use of alternate design temperatures necessary to e	nsure the system functions	are

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

N/A RESPON PARTY

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

N/A RESPON. PARTY

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

- 1. State certified apprenticeship programs.
- 2. Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
 Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
 Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors.
- 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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3 2 .'		CALGREEN		Drawings are for coordination only. Design build mechanical contractor or qualified third party to be engineer of record. This document is to be used to convey design intent. Technical specifications, manufacture intent. Technical specifications, manufacture	Mandeville Court Monterey, CA 93940	PH 831.375.1890 FAX 831.375.1480
1			SEPTEMBER 3, APN: 008-521-005-000 2023	references and equipment string form in this document are provided for minimum guidance only: they do not represent ultimate selections. Contractor to verify conditions and supply final load calculations reflecting finished construction.		

MECHANICAL	KEYED	NOTES

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- 1. VENTILATION EXHAUST TERMINATIONS SHALL BE NO LESS THAN 3 FEET FROM OPENINGS TO THE BUILDING
- 2. TYPICAL SENSOR THERMOSTAT CONTROLLER LOCATION IN WALL SENSORS TO BE PLACED ON INTERIOR WALLS OUT OF DRAFT OR DIRECT SUNLIGHT AWAY FROM HEAT SOURCES SUCH AS HIGH VOLTAGE DIMMERS 48-50" ABOVE FINISHED FLOOR THERMOSTATS OR DIGITAL CONTROLS TO BE PLACE 60" ABOVE FINISHED FLOOR OR AT CONVENIENT HEIGHT FOR OCCUPANTS VISIBILITY ADA COMPLIANT APPLICATIONS REQUIRE PLACEMENT AT NO MORE THAN 48" FROM FINISHED FLOOR WITH FRONT ACCESS
- 3. BATHROOM EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: 1.ENERGY STAR BATH FAN PANASONIC WHISPER GREEN FV-05-11VK1 VARIABLE SPEED FAN - SET TO 5 ACH (TYP OR EQUAL) PROVIDE CONDENSATION CONTROL FV-CSVK1

2.UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. A.HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.

B.A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN). [CG 4.506.1] VENTING EXTERIOR TERMINATIONS TO BE MINIMUM OF 36" FROM ANY BUILDING OPENING

- 4. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE. CPC SECTION 408.3
- 5. 301.4 ELECTRICAL CONNECTIONS. EQUIPMENT REGULATED BY THIS CODE REQUIRING ELECTRICAL CONNECTIONS OF MORE THAN 50 VOLTS SHALL HAVE A POSITIVE MEANS OF DISCONNECT ADJACENT TO AND IN SIGHT FROM THE EQUIPMENT SERVED. A 120 VOLT RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET (7620 MM) OF THE EQUIPMENT FOR SERVICE AND MAINTENANCE PURPOSES.
- 6. DYER VENT SHALL BE A MINIMUM OF 4" EXHAUSTED TO THE OUTSIDE OF BUILDING. LENGTH LIMITATIONS. UNLESS OTHERWISE PERMITTED OR REQUIRED BY DRYER MANUFACTURER'S INSTRUCTION AND APPROVED BY THE AUTHORITY HAVING JURISDICTION, DOMESTIC DRYER MOISTURE EXHUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET [4267 MM] INCLUDING TWO 90 DEGREE [1.57 RAD] ELBOS. A LENGTH OF 2 FEET [610 MM] SHALL BE DEDUCTED FOR EACH 90 DEGREE IN EXCESS OF TWO. FOR LENGTHS BEYOND THIS MAXIMUM PROVIDE MECHANICAL DUCT BOOSTER FAN. PROVIDE BACKDRAFT DAMPER PER CA ENERGY CODE 150(M)7 AND PROVISIONS OF CMC 504.3 PROVIDE 100 SQ.IN. MAKEUP AIR OPENING FOR DOMESTIC DRYERS
- 7. GAS APPLIANCES CONNECTED TO A PIPING SYSTEM SHALL HAVE AN ACCESSIBLE, APPROVED MANUAL SHUTOFF VALVE WITH A NO [DISPLACEABLE VALVE MEMBER, OR A LISTED GAS CONVENIENCE OUTLET, INSTALLED WITHIN 6 FEET OF THE EQUIPMENT IT SERVES. WHERE A CONNECTOR IS USED, THE VALVE SHALL BE INSTALLED UPSTREAM OF THE CONNECTOR. A UNION OR FLANGED CONNECTION SHALL BE PROVIDED DOWNSTREAM FROM THIS VALVE TO PERMIT REMOVAL OF CONTROLS. SHUTOFF VALVES SERVING DECORATIVE GAS APPLIANCES SHALL BE PERMITTED TO BE INSTALLED IN FIREPLACES IF LISTED FOR SUCH USE. (CPC 1211.5)
- 8. RANGE HOOD TO OUTSIDE PROVIDE THE LARGER OF; a. 5 ACH [ASHRAE 62.2 SECTION 4.6.5] b. 1 CFM PER 100 Btu/h BASED ON CAPACITY OF GAS APPLIANCES IN KITCHEN
- INSTALL AS PER REQUIREMENTS OF CMC 504.2 AND CMC TABLE 403.7
 AS PER CALGREEN CODE -4.503.1 FIREPLACES. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATION THEY ARE CERTIFIED TO MEET THE EMISSION LIMTS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

MECHANICAL LEGEND AND GENERAL NOTES . RETURN AIR GRILLES AND REGISTERS SHOWN AS BOOT SIZE OR OPEN AREA REQUIRED. SIZE SHOWN REPRESENTS SIZING OF 350 FPM WITH A MINIMUM OF 50% OPEN AREA REGISTER STYLE. SUPPLY REGISTERS REPRESENTED AS 500 FPM MIN.50% OPEN AREA STYLE REGISTER/DIFFUSER NOTE; REGISTER MAY APPEAR GRAPHICALLY SIZED IN ELEVATION VIEW. DUCT SIZES AND ROUTING SHOWN SCHEMATICALLY - V.I.F. WITH ARCHITECT FOR FINAL LOCATION. SIZING SHOWN AS ROUND AND CAN BE SIZED TO RECTANGULAR EQUIVALENT. DUCT SIZNG SHOWN REPRESENTS .06" W.C. OF STATIC. IN FLEXIBLE DUCT WITH NO COMPRESSION. SUBCONTRACTOR MAY ADJUST TO FIT FRAMING CONDITIONS BUT MAINTAINING DUCT VELOCITY BELOW SMACNA STANDARDS AND AVAILABLE STATIC PRESSURE OF AIR HANDLER. SEE "LOW PRESSURE DUCT SIZING CHART" M 0.1 NOTE: FINAL STATIC PRESSURE AND AIRFLOW OF SYSTEM TO MEET THE HERS TESTING REQUIREMENTS FOR CFM PER TON AND WATTS PER CFM AS INDICATED IN PERMIT CF-1R. PROPERLY SEAL ANY PENETRATIONS THROUGH FIRE AND/OR SMOKE RATED PARTITIONS WITH U.L. APPROVED METHODS AND MATERIALS. PROJECT REQUIRES VOLUNTARY AND MANDATORY HERS INSPECTIONS. SEE CF-1R AND SCHEDULE ON M 0.1 FOR APPLICABLE INSPECTIONS <u>1</u> 1 G. REGISTER LEGEND: LSW-LOW SIDE WALL HSW-HIGH SIDE WALL, C-CEILING F-FLOOR M-MILLWORK TK-TOE KICK

MAIN FLOOR HVAC

1/4"=1'

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	1520 CYPRESS	MAIN FLOOR HVAC	
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M 1.1

UPPER FLOOR HVAC

NO SCALE

BALL VALVE	WALL STUD	ACCESS PANEL
	FLOW METERS SUPPLY MANIFOLD	2X6 FRAMING ALLOWS FLUSH ALCESS PANEL 2X4 WALL ACCESS ALLOWS FLUSH MANIFOLD AND ACCESS
ADAPTER TO PEX OR	TRIMMER - RIP 1/2" FOR PLYWOOD BALKING	ON TOP OF WALL FINISH
COPPER	BALANCING VALVE	HANKEDLE BRATVET
PEX OR COPPER	RETURN MANIFOLD	1/2" PLYWOOD BACKING
	COMPRESSION OR PRESSFIT FITTING - COMPATIBLE WE TUBING MER REQUIREMENTS	TH SUBFLOOR
PURGE/FILL VALVE		JOIST/SLAB
+	SLAB OR THE FLOAT	ZTOPPING
1 000	FLOOR JOISTS/SLAB	

NUMBER OF LOOPS	PART NUMBER	DEPTH INCHES	WIDTH INCHES	OVERAL WIDTH WITH FITTINGS	CLEAR HEIGHT
2	A2610200	3.46	8.4	14	36
3	A2610300	3.46	10.34	16	36
4	A2610400	3.46	12.28	18	36
5	A2610500	3.46	14.22	20	36
6	A2610600	3.46	16.16	22	36
7	A2610700	3.46	18.10	24	36
8	A2610800	3.46	20.04	26	36
10	A2611000	3.46	23.92	28	36
12	A2612000	3.46	27.90	30	36

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	1520 CYPRESS PEBBLE BEACH, CA 93953		SEPTEMBER 3, APN: 008-521-005-000 2023
	1520 CYPRESS	MAIN LEVEL RADIANT PLAN	
ISSUE-REVISIONS:	BLDG. PLERMIT 04-12-24		
	Μ	2.0	

NO SCALE

UP	OPUNOR TROFLOW MANIFULD FRAMMING DIMENSIONS CLEAR INTERIOR DIMENSIONS						
NUMBER OF LOOPS	PART NUMBER	Depth inches	width inches	OVERAL WIDTH WITH FITTINGS	CLEAR HEIGHT		
2	A2610200	3.46	8.4	14	36		
3	A2610300	3.46	10.34	16	36		
4	A2610400	3.46	12.28	18	36		
5	A2610500	3.46	14.22	20	36		
6	A2610600	3.46	16.16	22	36		
7	A2610700	3.46	18.10	24	36		
8	A2610800	3.46	20.04	26	36		
10	A2611000	3.46	23.92	28	36		
12	A2612000	3.46	27.90	30	36		

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2.1			LIPPER FLOOR RADIANT		Drawings are for coordination only. Design build mechanical contractor or qualified third party to be engineer of record. This document is to be used to convey design intent. Technical specifications, manufacture intent. Technical specifications, manufacture	Mandeville Court Monterey, CA 93940	PH 831.375.1890 FAX 831.375.1480
				SEPTEMBER 3, APN: 008-521-005-000 2023	references and equipments is the provided for minimum guidance only: they do not represent ultimate selections. Contractor to verify conditions and supply final load calculations reflecting finished construction.		

GENERAL STRUCTURAL NOTES

SCOPE OF WORK: RENOVATION OF EXISTING 2-STORY BUILDING AND RECONSTRUCTION OF 1-STORY NORTH WING

GOVERNING CODE: THE STRUCTURAL DESIGN OF BUILDING COMPONENTS DESCRIBED ON THESE DRAWINGS IS IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE

LIMITATIONS: THE SEISMIC LATERAL FORCE RESISTING SYSTEM SHOWN ON THESE DRAWINGS IS INTENDED PRIMARILY TO SAFEGUARD AGAINST MAJOR FAILURES AND LOSS OF LIFE, NOT TO LIMIT DAMAGE, MAINTAIN FUNCTION, OR PROVIDE FOR EASY REPAIR TO NEW OR REHABILITATED BUILDINGS.

1. GENERAL

MATERIALS AND WORKMANSHIP TO CONFORM TO THE BUILDING CODE DEFINED ABOVE AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

- A. THESE NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED. WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN THE NOTES, DRAWINGS, OR SPECIFICATIONS, CONTACT THE ENGINEER FOR CLARIFICATION.
- B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE. COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BEFORE COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED. DO NOT SCALE DRAWINGS.
- C. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, USE SIMILAR DETAILS OF CONSTRUCTION, SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER.
- D. DETAILS NOTED AS "TYPICAL" IN THEIR TITLE OR ON SHEETS TITLED "TYPICAL DETAILS" APPLY TO SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED. SUCH DETAILS ARE NOT NOTED AT EACH LOCATION THAT THEY OCCUR.
- E. ALL ELEMENTS INDICATED ON THE DRAWINGS SHALL BE ASSUMED "NEW" UNLESS OTHERWISE NOTED.
- F. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING, BUT NOT LIMITED TO: a) SAFETY OF THE PERSONS AND PROPERTY b) MEANS AND METHODS OF CONSTRUCTION. c) COMPLIANCE WITH APPLICABLE CAL/OSHA REQUIREMENTS AND GUIDELINES,

THE CONTRACTOR SHALL BRACE OR SHORE THE CONSTRUCTION AS REQUIRED TO PROVIDE A SAFE AND TRUE STRUCTURE. WHERE BRACING OR SHORING IS INDICATED IN THE DRAWINGS, IT IS DONE SO ONLY AS A COURTESY TO THE CONTRACTOR AND SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO COORDINATE THE WORK WITH THE AFOREMENTIONED PROVISIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

2. SUBMITTALS

- A. SUBMIT ELECTRONIC PORTABLE DOCUMENT FORMAT (PDF) COPY OF REQUIRED SUBMITTALS TO OWNER'S REPRESENTATIVE FOR REVIEW. THE ENGINEER SHALL HAVE 15 WORKING DAYS FROM DATE OF RECEIPT TO COMPLETE AND RETURN THE SUBMITTAL REVIEW.
- B. SHOP DRAWINGS, MILL CERTIFICATES, AND/OR OTHER RELEVANT CERTIFICATIONS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL **BEFORE FABRICATION, FOR THE FOLLOWING ITEMS:**
- 1) STRUCTURAL AND MISCELLANEOUS STEEL
- a. MILL CERTIFICATIONS FOR ALL STEEL AND ALL FASTENERS. b. SHOP DRAWINGS INCLUDING AT A MINIMUM ASTM MATERIAL DESIGNATIONS, MEMBER SIZES, SIZES AND TYPES OF WELDS
- SIZES AND TYPES OF BOLTS, AND DIMENSIONS, c. WELD PROCEDURE SPECIFICATIONS FOR EACH TYPE OF WELD TO BE USED AND PRODUCT DATA FOR WELDING FILLER METAL.
- ONLY SUBMIT RELEVANT WPS FORMS. d. MANUFACTURER'S PRODUCT DATA FOR PRIMER AND FINISH PAINT
- INCLUDING COLOR CHARTS. e. CONTRACTOR SHALL ESTABLISH AND VERIFY REQUIRED TOP OF STEEL
- (T.O.S.) ELEVATIONS, WHETHER INDICATED ON THE DRAWINGS OR NOT, ÀGAINST ARCHITECTURAL FINISHED FLOOR AND ROOF ELEVATIONS, AND THE STRUCTURAL DETAILS. INCLUDING ANY SPECIFIED OFFSET OR PRE-CAMBER. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- 2) REINFORCING STEEL a. MATERIAL CERTIFICATES FOR REINFORCING STEEL.
- 3) PREFABRICATED TRUSSES
- a. FRAMING DRAWINGS AND CALCULATIONS STAMPED AND SEALED BY A REGISTERED CIVIL OR STRUCTURAL ENGINEER IN THE STATE OF CALIFORNIA TO THE ENGINEER AND THE BUILDING DEPARTMENT FOR REVIEW.
- 4) CAST-IN-PLACE CONCRETE AND SHOTCRETE
- a. MIX DESIGNS FOR EACH TYPE OF CONCRETE ON THE PROJECT INCLUDING RESULTS OF SLUMP, COMPRESSION, AND OTHER PROJECT SPECIFIC CRITERIA
- b. MATERIAL CERTIFICATES
- c. PROPOSED CONSTRUCTION AND CONTROL JOINT LOCATIONS d. CURING MATERIALS AND METHODS

5) UNDERSLAB VAPOR-BARRIER

3. SPECIAL INSPECTION REQUIREMENTS AND TESTING

- A. PROVIDE SPECIAL INSPECTIONS AND TESTING FOR ALL ITEMS AS REQUIRED BY THE GOVERNING JURISDICTION.
- B. THE OWNER SHALL BE RESPONSIBLE FOR RETAINING AN INDEPENDENT, QUALIFIED INSPECTOR AND/OR TESTING LAB TO PERFORM ALL REQUIRED TESTING AND SPECIAL INSPECTIONS.
- C. IF INITIAL TESTS OR INSPECTIONS MADE BY THE OWNER'S TESTING AGENCY REVEAL THAT ANY PORTION OF THE WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, ADDITIONAL TESTS, INSPECTIONS, AND NECESSARY REPAIRS WILL BE MADE AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER OF NON-CONFORMING WORK. THIS NOTIFICATION SHALL SPECIFICALLY ADDRESS THE NON-CONFORMING WORK AND SHALL BE SEPARATE FROM THE SPECIAL INSPECTION REPORTS.
- D. SPECIAL INSPECTION REPORTS SHALL BE SENT TO THE ENGINEER AT THE TIME OF COMPLETION FOR REVIEW OF CONFORMANCE WITH THE REQUIREMENTS OF THE STRUCTURAL DRAWINGS.
- E. THE CONTRACTOR SHALL NOTIFY THE TESTING LAB A MINIMUM OF 48 HOURS PRIOR TO TIME OF INSPECTION.

- F. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED AND/OR TESTED BY THE TESTING LAB:
- 1) CONCRETE:
- a. SAMPLE AND TEST CONCRETE AS FOLLOWS: 1 FABRICATE SPECIMENS FOR STRENGTH TESTS PER ACI 318. 2 PERFORM SLUMP AND AIR CONTENT TESTS.
- **3 DETERMINE TEMPERATURE OF THE CONCRETE**
- b. REINFORCING STEEL
- 1 PLACEMENT 2 OBTAIN AND REVIEW MILL TEST REPORTS.
- c. CONCRETE PLACEMENT (CONTINUOUS INSPECTION).
- d. CAST-IN-PLACE ANCHOR BOLTS. e. CURING TEMPERATURE AND TECHNIQUES AND DURATION.
- f. REVIEW MIX DESIGN FOR EACH CLASS OF CONCRETE.
- 2) ALL STRUCTURAL WELDING INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
- PARTIAL PENETRATION WELDS, GROOVE WELDS AND PLUG WELDS, INCLUDING WELDING OF REINFORCEMENT.
- b. CONTINUOUS INSPECTION OF ALL FILLET WELDS EXCEEDING 5/16". c. PERIODIC VISUAL INSPECTION OF THE FOLLOWING ITEMS:
- 1 SINGLE-PASS FILLET WELDS NOT EXCEEDING 5/16".

3) POST INSTALLED ANCHORS.

- 4) STRUCTURAL WOOD a. PERIODIC SPECIAL INSPECTION FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM, INCLUDING WOOD SHEAR WALLS, SHEAR PANELS AND HOLD-DOWNS.
- 5) ALL EXCAVATIONS AND EARTH FORMS SHALL BE INSPECTED BY THE LOCAL BUILDING INSPECTOR AND INSPECTED BY THE GEOTECHNICAL ENGINEER AND/OR ENGINEER PRIOR TO PLACING REINFORCING STEEL.

4. STRUCTURAL OBSERVATIONS

- A. STRUCTURAL OBSERVATIONS WILL BE UNDERTAKEN BY PERSONNEL UNDER THE SUPERVISION OF THE ENGINEER OF RECORD. STRUCTURAL OBSERVATIONS ARE SEPARATE FROM THE SPECIAL INSPECTION REQUIREMENTS OUTLINED ABOVE
- B. THE PURPOSE OF STRUCTURAL OBSERVATIONS IS TO REVIEW THE OVERALL PROGRESS OF CONSTRUCTION AND ASCERTAIN ITS GENERAL COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THESE GENERAL NOTES. AND OTHER SPECIFICATIONS, WHERE APPLICABLE. OBSERVATIONS WILL BE NOTED IN REGULAR SITE REPORTS ISSUED TO THE OWNER'S REPRESENTATIVE.
- C. UNLESS OTHERWISE AGREED UPON, THE ENGINEER OF RECORD SHALL BE ENGAGED TO PROVIDE, AT MINIMUM, A LEVEL OF CONSTRUCTION INVOLVEMENT NEEDED TO OBSERVE THE FOLLOWING AT SIGNIFICANT MILESTONES DURING THE CONSTRUCTION PROCESS:
 - 1) FOUNDATION REINFORCEMENT AND CONSTRUCTION 2) STRUCTURAL STEEL AND WOOD FRAMING 3) LATERAL FORCE RESISTING ELEMENTS
- THAT EFFECT SHALL BE MADE PRIOR TO THE START OF CONSTRUCTION.
- D. THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 3 DAYS PRIOR TO TIME OF OBSERVATION AND PROVIDE ACCESS FOR THE OBSERVATIONS.
- E. AN OWNER'S REPRESENTATIVE MAY BE DESIGNATED, BY THE OWNER'S SPECIFIC AUTHORIZATION PRIOR TO THE START OF CONSTRUCTION, WHO WILL HAVE THE AUTHORITY TO REQUEST ADDITIONAL ENGINEER INVOLVEMENT OUTSIDE OF THE NORMAL DUTIES ASSOCIATED WITH STRUCTURAL OBSERVATION.

5. DESIGN BASIS

- A. CONSTRUCT IN CONFORMANCE WITH THE BUILDING CODE NOTED ABOVE. B. DESIGN LIVE LOADS (PSF): ROOF 20
- FLOOR DECK/BALCONY 60 ATTIC 10 (NO STORAGE PERMITTED)
- C. DESIGN DEAD LOADS (PSF): FLOOR 20 BALCONY 25
- ROOF 15
- D. EARTHQUAKE DESIGN DATA 1) SEISMIC IMPORTANCE FACTOR, I: 1.0 2) RISK CATEGORY: II
- 3) USGS MCEr SPECTRAL RESPONSE ACCELERATIONS
- i. Ss = 1.273 g ii. S1 = 0.481 c
- 4) SITE CLASS: [
- 5) ASCE 7 DESIGN SPECTRAL RESPONSE COEFFICIENTS: i. SDS = $0.849 \, \text{g}$
- 6) SEISMIC DESIGN CATEGORY: D
- 8) RESPONSE MODIFICATION FACTOR, R: 6.5
- 10) ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE PROCEDURE
- E. WIND: 1) RISK CATEGORY:
- 2) BASIC WIND SPEED:
- 3) WIND DIRECTIONALITY FACTOR, Kd: 0.85 4) EXPOSURE CATEGORY TYPE:
- 5) TOPOGRAPHIC FACTOR, Kzt: 10 6) ENCLOSURE CLASSIFICATION: ENCLOSED
- 7) INTERNAL PRESSURE COEFF (GCpi): ±0.18
- F. FOUNDATIONS:
- 1) SPREAD/STRIP FOOTING: 2000 PSF 2) COEFFICIENT OF FRICTION: 0.3

6. FOUNDATION, FILL, AND SITE WORK

- FOUNDATION DESIGN IS BASED ON A GEOTECHNICAL REPORT PREPARED BY BUTANO GEOTECHNICAL ENGINEERS, DATED NOVEMBER 2021
- A. EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL FOUNDATIONS SHALL BE POURED WITHOUT THE USE OF SIDE FORMS WHEREVER POSSIBLE. IF THE TRENCHES CANNOT STAND, FULLY FORM SIDES TO DIMENSIONS SHOWN.
- B. DO NOT ALLOW WATER TO STAND IN TRENCHES. IF BOTTOMS OF TRENCHES BECOME SOFTENED DUE TO RAIN OR SLURRY OR OTHER WATER BEFORE CONCRETE IS CAST, EXCAVATE SOFTENED MATERIAL AND REPLACE WITH PROPERLY COMPACTED BACKFILL OR CONCRETE AT NO COST TO OWNER.
- C. FOR SHALLOW FOUNDATIONS, THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10-PERCENT SLOPE). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTING OR WHERE THE SURFACE OF
- D. AREAS TO RECEIVE FILL SHOULD BE SCARIFIED, CLEARED OF ORGANICS, MOISTURE-CONDITIONED. AND COMPACTED TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION. THE COMPACTED SUBGRADE SHOULD EXTEND 2-FEET LATERALLY OF ANY PROPOSED IMPROVEMENTS.

g. REVIEW THE TICKET OF EACH BATCH OF CONCRETE DELIVERED.

a. CONTINUOUS INSPECTION FOR ALL BUTT WELDS, COMPLETE AND

ADDITIONAL ENGINEER INVOLVEMENT MAY BE DESIRED. ANY AGREEMENT TO

7) BASIC SEISMIC-FORCE RESISTING SYSTEM: PLYWOOD SHEARWALLS 9) SEISMIC RESPONSE COEFFICIENT, Cs (AT STRENGTH LEVEL): 13.1% G

91 MPH

THE GROUND SLOPES MORE THAN ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL.

7. UNDER-SLAB VAPOR BARRIER

- A. VAPOR BARRIER MUST HAVE THE FOLLOWING MATERIAL QUALITIES: 1) WVTR LESS THAN 0.008 AS TESTED BY ASTM E96. 2) ASTM (E) 1745 CLASS A (PLASTICS).
- B. ACCEPTABLE PRODUCTS:
- 1) STEGO WRAP (15 MIL) VAPOR BARRIER BY STEGO INDUSTRIES. 2) W.R. MEADOWS PREMOULDED MEMBRANE WITH PLASMATIC CORE.

C. INSTALLATION & PREPARATION OF SUBSOIL FOR VAPOR BARRIER SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND ASTM E1643-11.

8. CONCRETE

- A. EXCEPT WHERE NOTED OTHERWISE ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS. UNLESS OTHERWISE NOTED, COMPLY WITH CONSTRUCTION TOLERANCES AS SPECIFIED IN ACI 117 "SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS".
- B. REINFORCE ALL CONCRETE, INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING AND SECURELY TIE PRIOR TO PLACING CONCRETE.
- C. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150 TYPE I OR II.
- D. CONCRETE SHALL BE HARDROCK CONCRETE AND CONFORM TO ALL REQUIREMENTS OF ASTM C-33, UNLESS OTHERWISE NOTED. FLY ASH SHALL COMPLY WITH ASTM C618; SLAG SHALL COMPLY WITH ASTM C989. PROPORTION CONCRETE IN ACCORDANCE WITH ACI 211.1. INCLUDING ANY REQUIRED ADMIXTURES. CONCRETE SHALL SATISFY THE FOLLOWING PROPERTIES:

LOCATION	MIN. STRENGTH @ 28 DAYS PSI	MAX. AGGREGATE SIZE - INCHES	MAX. SLUMP INCHES	MAX. W/CM RATIO
FOUNDATIONS, SLAB-ON-GRADE	3000	3/4"	4	0.50
MISCELLANEOUS	3000	3/8"	4	0.50

9. REINFORCING STEEL

- A. ALL REINFORCING STEEL BARS, UNLESS OTHERWISE NOTED, SHALL CONFORM WITH THE LATEST STANDARD SPECIFICATIONS FOR DEFORMED BILLET STEEL FOR CONCRETE REINFORCEMENT, ASTM DESIGNATION A615 AND SHALL BE MINIMUM GRADE 60.
- B. SUITABLE DEVICES (DOBIES, CHAIRS, ETC.) OF SOME STANDARD MANUFACTURE SHALL BE USED TO HOLD REINFORCEMENTS IN ITS TRUE HORIZONTAL AND VERTICAL POSITIONS. THESE DEVICES SHALL BE SUFFICIENTLY RIGID AND NUMEROUS TO PREVENT DISPLACEMENT OF THE REINFORCING DURING PLACING OF CONCRETE. ALL SUCH DEVICES HAVE PRIOR APPROVAL FROM THE ARCHITECT AND ENGINEER.
- C. LAP SPLICE ALL BARS IN CONCRETE PER STANDARD DETAILS SCHEDULE, USING LAP TYPE "TOP" UNLESS OTHERWISE NOTED. WHEN LAPPING BARS OF DIFFERENT SIZES, USE THE LAP LENGTH OF THE LARGER BAR.
- D. HOOK DISCONTINUOUS ENDS OF REINFORCING STEEL PER TYPICAL DETAIL, UNLESS OTHERWISE NOTED.
- E. DETAIL ACCORDING TO THE LATEST ACI STANDARD 315, MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. PLACE REINFORCEMENT PER ACI 301. "SPECIFICATION FOR STRUCTURAL CONCRETE", UNLESS OTHERWISE NOTED.
- F. REBAR SHALL ONLY BE BENT ONCE, REBAR SHALL NOT BE BENT AND STRAIGHTENED FOR CONSTRUCTION UNLESS EXPLICITLY NOTED ON THE CONSTRUCTION DOCUMENTS.
- G. MAINTAIN COVERAGE TO FACE OF BARS, INCLUDING SLEEVES AND PENETRATIONS, AS FOLLOWS, UNLESS OTHERWISE NOTED: a. 3 INCHES WHERE CONCRETE IS DEPOSITED AGAINST EARTH EXCEPT
- SLAB-ON-GRADE. b. 2 INCHES FOR FORMED CONCRETE WHICH IS EXPOSED TO EARTH OR WEATHER FOR #6 BAR THROUGH #18 BAR. REDUCED TO 1-1/2 FOR
- #5 BAR. W31 OR D31 WIRE AND SMALLER. c. 1-1/2 INCHES FOR SLAB-ON-GRADE.

10.NON-SHRINK GROUT

- A. NON-SHRINK GROUT SHALL ACHIEVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS (F'c) OF 7.000 PSI.
- B. NON-SHRINK GROUT SHALL COMPLY WITH ONE OF THE FOLLOWING.
- 1) DRY PACK NON-SHRINK GROUT SHALL BE EUCLID CHEMICAL COMPANY'S "EUCO-NS". L&M CRYSTEX. MASTER BUILDERS' "MASTERFLOW 713". SIMPSON'S "FX-228", OR FIVE STAR GROUT
- 2) WHERE HIGH FLUIDITY OR INCREASED PLACING TIME IS REQUIRED, USE EUCLID CHEMICAL COMPANY'S "EUCO HI-FLOW GROUT" OR MASTER BUILDERS' "MASTERFLOW 928".
- C. COMPLY WITH MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND

11.FRAMING LUMBER

REQUIREMENTS.

- A. ALL FRAMING LUMBER (EXCEPT REDWOOD) SHALL BE GRADED PER WCLIB GRADING RULES NO. 17. REDWOOD FRAMING SHALL BE GRADED PER THE REDWOOD INSPECTION SERVICE "STANDARD SPECIFICATIONS FOR GRADES OF CALIFORNIA **REDWOOD LUMBER.**"
- B. ALL FRAMING LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF INSTALLATION.
- C. ALL POSTS AND BEAMS SHALL BE DOUGLAS FIR, #1.
- D. ALL FLOOR AND ROOF JOISTS SHALL BE DOUGLAS FIR, #1.
- E. ALL STUDS, PLATES, ETC., SHALL BE DOUGLAS FIR, CONSTRUCTION GRADE.
- F. ENGINEERED WOOD PRODUCTS MAY BE USED AS SUBSTITUTES FOR SAWN LUMBER UPON REQUEST BY THE CONTRACTOR AND APPROVAL FROM THE ARCHITECT AND ENGINEER OF RECORD. CONTRACTOR SHALL SUBMIT MANUFACTURER'S TESTING REPORTS FOR APPROVAL.

Stocker & Allaire 12. ENGINEERED WOOD PRODUCTS (EWP) General Contractors, Inc. A. ALL ENGINEERED WOOD PRODUCTS (EWP) SUPPLIED ON THIS PROJECT SHALL BE 21 MANDEVILLE COURT MONTEREY, CA 93940 SUPPLIED BY ONE MANUFACTURER. B. ALL MICROLLAM LVL FRAMING MEMBERS SHALL BE FABRICATED BY TRUS JOIST office@stockerallaire.com WITH THE FOLLOWING ALLOWABLE STRESSES: Fb = 2600 PSI, Fv = 285 PSI, (831) 375-1890 E = 2,000,000 PSI. MOISTURE CONTENT AT THE TIME OF FABRICATION SHALL NOT EXCEED 9%. C. ALL PARALLAM PSL FRAMING MEMBERS SHALL BE FABRICATED BY TRUS JOIST WITH THE FOLLOWING ALLOWABLE STRESSES: Fb = 2900 PSI, Fv = 290 PSI, E = 2,200,000 PSI. MOISTURE CONTENT AT THE TIME OF FABRICATION SHALL NOT EXCEED 9%. D. FIELD NOTCHING AND BORING OF LVL MEMBERS IS NOT ALLOWED UNLESS APPROVED BY ENGINEER. ■ STRUCTURAL ENGINEER 13.PLYWOOD (PW) HALTERMAN ENGINEERING A. EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK P.O. BOX 370084 OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS MONTARA, CA 94037 OF THE LATEST EDITION OF THE U.S. PRODUCT STANDARD PS-1. PLYWOOD GRADE SHALL CONFORM TO CD-X FOR PLYWOOD, UNLESS OTHERWISE NOTED. 415-676-9390 B. WHERE PLYWOOD IS PERMANENTLY EXPOSED TO WEATHER, IT SHALL BE EXTERIOR www.haltermanengineering.com TYPE, OTHERWISE, PANEL SHEATHING SHALL BE EXPOSURE 1, PLYWOOD TO BE CC GRADE AT LOCATIONS EXPOSED TO WEATHER; CC OR CD GRADE ELSEWHERE. STAMP C. PANELS TO BE 5-PLY MINIMUM, EXCEPT 3/8" PANELS TO BE 3-PLY MINIMUM. D. PLYWOOD SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN FOR COMMENT & PERPENDICULAR TO JOISTS AND RAFTERS, PLYWOOD AT FLOORS SHALL **COORDINATION - NOT** BE GLUED TO FRAMING BELOW (USE SOLVENT BASED GLUE COMPLYING WITH ASTM D3498 AND VOLATILE ORGANIC COMPOUND (VOC) LIMITS PER CALGREEN). LN-950 FOR CONSTRUCTION BY LIQUID NAILS OR APPROVED EQUIVALENT, UNLESS OTHERWISE SPECIFIED BY THE ARCHTIECT. PROVIDE RING-SHANK NAILS AT FLOOR AND ROOF SHEATHING. ALTERNATELY, PROVIDE WSNTL SCREWS (#9x2.5") @ 6" O.C. U.O.N.; SCREWS SHALL BE INSTALLED W/IN 10-MINUTES OF APPLYING ADHESIVE. E. PLYWOOD SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL EDGES WITH A MINIMUM OF 3X BLOCK AND/MEMBERS. PROJECT NAME / LOCATION ALL NAILING SHALL HAVE 3/8 INCH EDGE DISTANCE FOR FRAMING, BLOCKING AND PLYWOOD EDGES. USE SMOOTH-SHANK NAILS FOR PLYWOOD WALL SHEATHING. F. PROVIDE 1/8" GAP BETWEEN PANELS UNLESS OTHERWISE NOTED. **14.ROUGH CARPENTRY** A. FOR SCHEDULE OF MINIMUM NAILING TABLE 2304.10.1 OF THE 2022 CBC 16d VINYL COATED SINKERS MAY BE SUBSTITUTED FOR 16d BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS. B. SILLS AND LEDGERS ON CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED DOUGLAS FIR. SILLS AND LEDGERS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND A FASTENER NO FURTHER THAN 9 INCHES FROM END OF EACH PIECE, UNLESS OTHERWISE NOTED. C. PLACE JOISTS WITH CROWN UP. \mathbf{O} \mathbf{O} D. RE-TIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS. Φ σ E. WHEN METAL CONNECTORS, ANCHORS OR FASTENERS ITEMS ARE EXPOSED TO WEATHER AND/OR PRESSURE TREATED LUMBER THE METAL ITEMS ARE TO BE Ε C OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHTS FOR ZINC-COATED \mathbf{m} FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A153. SEE ADDITIONAL COATING REQUIREMENTS AS NOTED IN THE PRESSURE TREATMENT SECTION. σ F. DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS UNLESS NOTED OTHERWISE. 0 G. BLOCK ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS WITH MINIMUM S 2x SOLID BLOCKING. BLOCK AND BRIDGE ROOF JOISTS AT 10 FEET AND \mathcal{O} FLOOR JOISTS AT 8 FEET UNLESS OTHERWISE NOTED Ð S H. 2x JOISTS SHALL BE SISTERED (VERTICAL NAIL LAMINATED) WITH SDWS 0.220x3 MIN. LENGTH AT 6" O.C. IN (2) ROWS STAGGERED UNLESS OTHERWISE NOTED. I. ALL POSTS LOCATED OVER WOOD WALLS SHALL HAVE A POST OF EQUAL OR GREATER SIZE LOCATED IN THE WALL DIRECTLY BELOW UNLESS OTHERWISE NOTED J. THE STRUCTURAL DESIGN ASSUMES THAT ALL FLOORS AND ROOFS ARE CONSTRUCTED AND LOADED WITH FINISHES (OR EQUIVALENT WEIGHT) FOR A MINIMUM OF SEVEN (7) DAY PRIOR TO THE TIME OF DOOR AND WINDOW INSTALLATION. K. ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON STRONG-TIE'S STANDARD FASTENERS INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. ■ ISSUE / REVISION L. ALL STRUCTURAL WOOD WALLS SHALL BE FRAMED WITH 2x6 MINIMUM STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED. DATE No. DESCRIPTION M. PRE-DRILL HOLES AS REQUIRED TO PREVENT SPLITTING OF WOOD. PERMIT SET 06-10-24 15.PRESSURE TREATMENT A. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH A.W.P.A. STANDARD U1, WITH A PRESERVATIVE AND RETENTION SUITABLE FOR THE APPLICATION (SEE BELOW). ALL CUT ENDS SHALL ALSO BE FIELD TREATED WITH A PRESERVATIVE. AS AN ALTERNATE, CONTRACTOR MAY USE REDWOOD OF EQUIVALENT STRENGTH PROPERTIES AS THOSE SHOWN ABOVE, AND AN APPROVED PRIMER. THE FOLLOWING USE CATEGORIES SHALL BE REQUIRED BASED ON THE APPLICATION: 1) UC1 – INTERIOR DRY 2) UC2 – INTERIOR DAMP 3) UC3A – EXTERIOR ABOVE GROUND – PROTECTED 4) UC3B – EXTERIOR ABOVE GROUND - UNPROTECTED 5) UC4A – GROUND CONTACT, GENERAL USE D. WHEN METAL CONNECTOR, ANCHOR OR FASTENER ITEMS ARE IN CONTACT WITH PRESSURE TREATED LUMBER AND/OR CORROSIVE ENVIRONMENTS THE CONTRACTOR SHALL USE CORROSION RESISTANT METAL ITEMS AS NOTED: SCALE AS NOTED IF PRINT SIZE IS 1) WHEN LUMBER IS TREATED WITH CHROMATED COPPER ARSENATE (CCA-C) 24"x36" OR DOT SODIUM ARSENATE (SBX) THE METAL ITEMS SHALL HAVE A MINIMUM G90 (0.90 OZ/SQFT) ZINC COATING OR ENGINEER APPROVED PROJECT No. 23059.01 EQUIVALENT 2) WHEN LUMBER IS TREATED WITH ALKALINE COPPER QUAT (ACQ-C OR ACQ-D), COPPER AZOLE (CBA-A OR CA-B) OR OTHER BORATE (NON-DOT) TREATMENT THE METAL ITEMS SHALL HAVE A MINIMUM G185 DRAWING TITLE (1.85 OZ/SQFT) ZINC COATING OR ENGINEER APPROVED EQUIVALENT 3) WHEN LUMBER IS TREATED WITH OTHER TREATMENTS (NOT AMMONIACAL COPPER ZINC ARSENATE (ACZA) SEE 4 BELOW) OR IS EXPOSED TO CORROSIVE ENVIRONMENTS NOT LIST ABOVE THE METAL ITEMS SHALL BE **GENERAL NOTES** TYPE 316L STAINLESS STEEL OR ENGINEER APPROVED EQUIVALENT. 4) AMMONIACAL COPPER ZINC ARSENATE (ACZA) IS NOT PERMITTED UNLESS APPROVED BY THE ENGINEER. 5) CONTRACTOR IS TO CONFIRM LUMBER PRESSURE TREATMENT TYPE PRIOR TO PURCHASE OF METAL ITEMS.

16.STRUCTURAL STEEL

ASTM A1085 (Fy = 50 KSI).

- A. STRUCTURAL STEEL SHALL CONFORM TO FOLLOWING ASTM DESIGNATIONS, UNLESS OTHERWISE NOTED:
- 1) PLATES AND BARS, INCLUDING DOUBLER PLATES, CONTINUITY PLATES.
- BASE PLATES, GUSSET PLATES, AND SHEAR TABS: ASTM A572 GRADE 50. 2) WIDE FLANGES (W): ASTM A992 (Fy = 50 KSI).
- 3) MISCELLANEOUS (M), AMERICAN STANDARD (S), CHANNEL (C), MISCELLANEOUS CHANNEL (MC), AND ANGLES (L): ASTM A36 (Fy = 36
- KSI). 4) RECTANGULAR HSS: ASTM A500, Gr. C (Fy = 46 KSI), OR
- B. STRUCTURAL FASTENERS INCLUDING BOLTS, THREADED RODS, AND ANCHOR RODS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS, UNLESS OTHERWISE NOTED.
- 1) ERECTION, GROUTED, AND TIMBER CONNECTION BOLTS: ASTM A307
- WITH WELDABILITY SUPPLEMENT S1 GRADE A. 2) THREADED RODS: ASTM A36.
- 3) ANCHOR RODS AND ANCHOR BOLTS: ASTM F1554 GRADE 36.
- 4) NUTS SHALL COMPLY WITH ASTM A563. 5) WELDED THREADED STUDS SHALL BE NELSON TYPE CPL OR CFL FLUX-LOADED AS MANUFACTURED BY NELSON (OR APPROVED EQUAL). STUDS SHALL BE MADE FROM COLD-WORKED LOW CARBON STEEL COMFORMING TO ASTM A108 GRADES 1010-1020 W/ MINIMUM TENSILE STRENGTH OF 61 KSI. STUD WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1-10.
- C. ALL STRUCTURAL STEEL MEMBERS EXPOSED TO WEATHER OR CALLED OUT AS HOT DIP GALVANIZED (HDG) ON PLAN OR STRUCTURAL STEEL MEMBERS LOCATED IN EXTERIOR ENVIRONMENTS SHALL BE HDG IN ACCORDANCE WITH ASTM A 123. ANY MEMBER THAT HAS HAD ITS HDG COATING DAMAGED OR REMOVED DURING TRANSPORT OR ERECTION SHALL HAVE ITS COATING REPAIRED USING ZRC GALVILITE REPAIR COMPOUND OR EQUAL. REPAIR GALVANIZING AFTER WELDING IN ACCORDANCE WITH ASTM A780.
- D. PAINT STEEL (EXCEPT GALVANIZED STEEL AND PORTIONS TO BE ENCASED IN CONCRETE) WITH ONE COAT OF PRIMER STANDARD TNEMEC P10-99 OR EQUIVALENT SUBJECT TO ENGINEER'S APPROVAL. ALTERNATES WILL BE CONSIDERED UPON REQUEST AND SUBMISSION OF THE MANUFACTURER'S SPECIFICATIONS.
- E. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST AISC 'SPECIFICATIONS' FOR DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- F. WELDING SHALL CONFORM TO THE LATEST EDITION OF THE ANSI/AWS D1.1 STRUCTURAL WELDING CODE. USE E70XX ELECTRODES.

17.EPOXY GROUTING OF DOWELS, REBAR AND ANCHOR BOLTS

- A. INSTALLATION OF POST-INSTALLED DOWELS, REBAR AND ANCHOR BOLTS (EPOXY ANCHORS) SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MPII). WHERE THERE IS A CONFLICT BETWEEN THESE NOTES AND THE MPII, SEE MPII FOR CLARIFICATION.
- B. EPOXY ANCHORS SHALL MEET THE REQUIREMENTS OF ACI 355.4 AND THE FOLLOWING INSTALLATION REQUIREMENTS, UNLESS OTHERWISE NOTED.
- 1) MINIMUM AGE OF CONCRETE: 21 DAYS 2) CONCRETE TEMPERATURE RANGE: 50-80 DEGREES FAHRENHEIT 3) MOISTURE CONDITION OF CONCRETE: DRY
- C. EPOXY GROUTING WILL BE USED IN ALL LOCATIONS WHERE EITHER ALL-THREAD ROD OR REBAR ARE BEING EMBEDDED INTO EXISTING CONCRETE.
- D. IN CONCRETE, HOLES SHALL BE DRILLED WITH ROTARY HAMMER UNLESS NOTED OTHERWISE.
- E. UNLESS OTHERWISE NOTED, EPOXY TYPES SHALL BE AS FOLLOWS: FOR DOWELS AND REBAR IN CONCRETE, EPOXY SHALL BE: a. HILTI HIT-RE 500 V3
- FOR ANCHOR BOLTS IN CONCRETE, EPOXY SHALL BE a. SIMPSON SET-XP b. HILTI HIT-HY 200
- 1) WHEN INSTALLING ANCHORS, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS.
- 2) IF REINFORCEMENT IS ENCOUNTERED DURING DRILLING, ABANDON AND SHIFT THE HOLE LOCATION TO AVOID THE REINFORCEMENT. PROVIDE A MINIMUM OF 2 ANCHOR DIAMETERS OR 1 INCH, WHICHEVER IS LARGER, OF SOUND CONCRETE BETWEEN THE DOWEL AND THE ABANDONED HOLE. FILL THE ABANDONED HOLE WITH NON-SHRINK GROUT. IF THE ANCHOR OR DOWEL MAY NOT BE SHIFTED AS NOTED, THE ENGINEER WILL DETERMINE A NEW LOCATION.
- 3) LOCATE EXISTING REINFORCEMENT AND CONFIRM FINAL ANCHOR LOCATIONS PRIOR TO FABRICATING PLATES, MEMBERS, OR OTHER STEEL ASSEMBLIES ATTACHED WITH ANCHORS.

ELEVATION

KEYNOTE TAG

<u>REVISIONS</u>

- SHFF

SECTION

SECTION

A.B.

GENERAL SYMBOLS

ANCHOR BOLT

ADD'L ADDITIONAL ADJ. ADJACENT A.F.F. ARCHITECTURAL FINISHED FLOOR APPROX. APPROXIMATE ARCH. BLDG. ARCHITECT BUILDING BLKG. BLOCKING BM. B.N. BEAM BOUNDARY NAILING B.O. BOTTOM OF BETWEEN BTWN. CENTERLINE Ċ.F. CUBIC FEET C.I.P. CAST IN PLACE C.J. CONSTRUCTION JOINT CLR. CLEAR CMU CONCRETE MASONRY UNIT COL. COLUMN CNTRSNK. COUNTER SUNK COLL. COLLECTOR CONCRETE CONC. COND. CONDITION CONN. CONNECTION CONT. CONTINUOUS DBL. DET. DOUBLE DETAIL DIA. Ø DIAMETER DIAPH. DIAPHRAGM DIM. DIMENSION DN. DOWN DWG. DRAWING (E) EA. EXISTING EACH E/E EACH END E/F EACH FACE ELEVATION EL. EMB. EMBEDMENT E.N. EDGE NAILING EQUAL EQ. EQUIVALENT EQUIV. E/S EACH SIDE E/W EACH WAY EXT. EXTERIOR FDN. FOUNDATION FIN. FLR. FINISH FLOOR F.N. F.S. FT. FTG. GA. FIELD NAILING FAR SIDE FEET FOOTING GAUGE GALV. GALVANIZED G.L. GRID LINE GLB HD H.D.G. HDR. GLUED LAMINATED BEAM HOLDOWN HOT DIP GALVANIZED HEADER HORIZ. HORIZONTAL HT. HSS HEIGHT

LONG. LONGITUDINAL

	957 INDUSTRIAL ROAD STE C SAN CARLOS CA 94070 T 650.851.8810 F 650.851.8832
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LLV LONG LEG VERTICAL DETAIL ELEVATION LLV LONG LEG VERTICAL LV LEVEL LV LEVEL LV LAMINATED VENEER LUMBER LV LIGHT WEIGHT MAX. MAXIMUM MB. MACHINE BOLT MECH. MECHANICAL MIN. MINIMUM MB. MACHINE BOLT MECH. MECHANICAL MIN. MINIMUM MIS. MISCELLANEOUS MTL. METAL N.S. NEAR SIDE N.S. NEAR SIDE N.S. NEAR SIDE N.S. NEAR SIDE N.S. NOTTO SCALE N.W. NORMAL WEIGHT O.C. ON CENTER OPNG. OPENING PAR. PARALLEL PERP. PEEPENDICULAR PL. PLATE MIN. MINIMUM MB. ELEVATION S.C. DI SEE ARCHITECTURAL DRAWINGS S.C.D. SEE CIVIL DRAWINGS S.C.D. SEE CIVICATIONS S.M. SIMILAR S.G. SLABON GRADE S.T.G. STANDARD S.T.F. STIFFENER	Isas Palmero Was Permit Set
SYM. SYMMETRIC T&B TOP AND BOTTOM T&G TONGUE AND GROOVE THK. THICK THR'D THREADED	Scale AS NOTED
THRU THROUGH T.O. TOP OF TRNSV. TRANSVERSE TYP. TYPICAI	HE PROJECT NO: 23059.01
U.O.N UNLESS OTHERWISE NOTED VERT. VERTICAL V.I.F. VERIFY IN FIELD W/ WITH WD. WOOD W/O WITHOUT W.P. WORKING POINT	GENERAL NOTES & ABBREVIATIONS
WI. WEIGHT	Title

ABBREVIATIONS

HOLLOW STRUCTURAL STEEL

N.T.S.

S0.2

BAR D Е Е SIZE (BEND Ø) 90° BEND 135° BEND 1 1/2" 2 1/4" #3 3" 2" 3" 3" #4 2 1/2" 3 3/4" 3 3/4" #5 4 1/2" 9" 4 1/2" #6 5 1/4" 10 1/2" 5 1/4" #7 12" 6" 6" #8

REINF., U.O.N. —

1. db = BAR DIAMETER 2. EITHER OPTION A OR OPTION B IS ACCEPTABLE FOR USE IN ALL COLS. & BMS. 3. THE CAP TIE IN OPTION B MUST HAVE THE 90° HOOK ALTERNATED IN ADJACENT TIES

3 S1.1A

SEISMIC STIRRUP / TIE SCHEDULE

N.T.S.

N.T.S.

LAP SPLICE / DEVELOPMENT SCHEDULE

- NOTES:

Ls STRAIGHT LAP OFFSET									
	CLASS	B TENSION	N LAP SPLI	CE FOR GI	RADE 60 R	EINFORCI		S)	
BAR	f'c=2	f'c=2500 PSI		f'c=3000 PSI		f'c=4000 PSI		f'c≥5000 PSI	
SIZE	ТОР	OTHER	ТОР	OTHER	тор	OTHER	тор	OTHER	
#3	31"	23"	29"	22"	25"	19"	22"	17"	
#4	42"	32"	38"	29"	33"	25"	29"	23"	
#5	51"	39"	47"	36"	41"	31"	36"	28"	
#6	61"	47"	56"	43"	49"	37"	44"	34"	
#7	90"	69"	82"	63"	71"	54"	64"	49"	
#8	101"	78"	94"	72"	81"	62"	73"	56"	
#9	114"	88"	105"	81"	91"	70"	82"	63"	
#10	130"	100"	118"	91"	102"	79"	92"	71"	
#11	143"	110"	131"	101"	114"	87"	102"	78"	

3. NORMAL WEIGHT CONCRETE

1. db = BAR DIAMETER 2. UNCOATED BARS

NOTES:

	100	
BAR SIZE	D (BEND ø)	
#3	2 1/4"	
#4	3"	
#5	3 3/4"	
#6	4 1/2"	
#7	5 1/4"	
#8	6"	
#9	9 1/2"	
#10	10 1/4"	
#11	11 1/2"	
#14	17"	
#18	22 3/4"	

10 1/2" 3 1/2" 14" 12" 11" 12" 4" 16" 14" 12" 14" 5" 18" 15" 14" 15 1/2" 5 1/2" 20" 17 16" 17" 6" 22" 19" 17" 29" 20 1/2" 7" 38" 33" 27 1/2" 9 1/2" 50" 39" 43"

4. MULTIPLY HOOK DEVELOPMENT LENGTH BY 1.33 FOR LIGHTWEIGHT CONCRETE 5. DO NOT FIELD BEND REINFORCEMENT PARTALLY EMBEDDED IN CONCRETE

STANDARD HOOK DIM. / DEVELOPMENT SCHED.

N.T.S.

1. THIS TABLE CONTAINS MIN. LENGTHS FOR LAP SPLICES & BAR DEVELOPMENT NOT OTHERWISE SPECIFIEDON THESE DRAWINGS THESE LENGTHS MAY BE REDUCED IN CERTAIN SITUATIONS, SUBJECT TO PRIOR REVIEW & APPROVAL OF THE ENGINEER 2. SPLICE LENGTHS ARE FOR NORMAL WEIGHT CONC. W/ GRADE 60 REINF.

3. SPLICE LENGTHS ARE FOR UNCOATED BARS 4. USE "TOP" FOR WALL BOUNDARIES & WHEN MORE THAN 12" OF FRESH CONC. IS PLACED BELOW SPLICE, "OTHER" FOR ALL OTHER SITUATIONS

5. PROVIDE MIN. COVER PER GENERAL NOTES, BUT NOT LESS THAN 1x BAR DIAMETER

NO SCALE

21 MA MON office (831)	ANDEVILLE COURT TEREY, CA 93940 @stockerallaire.com 375-1890	
office (831) STR HALT P.O. F MON 415-6 www. STA CC FC	@stockerallaire.com @stockerallaire.com 375-1890 UCTURAL ENGINEERI SOX 370084 TARA, CA 94037 76-9390 haltermanengineering MP FOR COMM ORDINATIO OR CONSTR	ER ING J.com ENT & DN - NOT UCTION
	1535 Palmero Way	Pebble Beach, CA
∎ ISSI	JE / REVISION	
No. -	DESCRIPTION PERMIT SET	06-10-24
∎ SCA	LE	AS NOTED
	IF	PRINT SIZE IS 24"x36"
∎ PRC	JECT No.	23059.01
■ DRA	WING TITLE PICAL CO DETAI	NCRETI LS

S1.1B

- MANUFACTURER'S INSTRUCTIONS, FILL ALL HOLES U.O.N.

- 2. USE LARGEST HANGER ALLOWED FOR FRAMING MEMBER.

1. ALL HANGERS BY SIMPSON OR APPROVED EQUIVALENT. INSTALL PER

- 3. HANGER MAY BE SLOPED UP TO 45°

N.T.S.

N.T.S.

- PROVIDE CTS OR 12 GAx1 1/2" WIDE (MIN.)

STRAP TIE @ EA. NOTCHED PLATE (2 STRAPS @ NOTCHED

DBL. TOP PLATE) W/ 4-

- DRILL NEAT HOLE @ CENTERLINE OF

(2) 1/4"ø MAX. @ 2x4 PL (4) 1/4" ø MAX. @ 2x6 PL

1" = 1'-0"

PLATES

<u>NOTE:</u> FLOOR JOISTS LOCATED UNDER PLUMBING WALL SHALL BE DOUBLED (U.O.N.) & SPACED TO GIVE PROPER

CLEARÁNCE FOR PIPING

10d MIN., E/E, EA. STRAP

NOTES:

8

S1.2A

NOTES:

7

- 1. CEILING JOISTS SHALL BE DOUG FIR #1 U.O.N.

TYPICAL CEILING JOIST SCHEDULE

CJ SIZE & SPACING

MEMBER

2x ROOF RAFTER

DBL. 2x ROOF RAFTER

LVL ROOF RAFTER

2x FLOOR JOIST

LVL OR DBL. LVL

FLOOR JOIST

4x OR 6x BEAM

GLULAM OR PSL

BEAM

- 2. CEILING JOISTS DESIGNED TO SUPPORT DRYWALL AND INSULATION. IF AREA OVER CEILING JOISTS

- WILL BE USED FOR STORAGE CONTACT ENGINEER FOR ALTERNATE CEILNG JOIST SIZES.

2x4 @ 24" O.C.	6'-6"
2x6 @ 24" O.C.	10'-0"
2x8 @ 24" O.C.	13'-6"
2x10 @ 24" O.C.	16'-6"
2x12 @ 24" O.C.	19'-6"

MAX SPAN

HANGER

FACE MOUNT

LUS OR U³

HU³

HU³

LUS OR U

HU

HU

HHUS

TOP FLANGE

JB OR HUTF³

HUTF³

LBV³

LB OR JB

LBV

BA

HB

4'-0" MIN. TO FIRST TOP PLATE SPLICE

-

TYP. EA.

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≣₽

M IN

6" MIN._____

E/E

DIRECTION

	HEADER SIZE						
MAX ²	SUPPORTING ROOF			MAX ²	HEADERS @ INTERIOR WALLS		
SPAN "W"	HDR SIZE	BEARING STUDS	KING STUDS	SPAN "W"	HDR SIZE	BEARING STUDS	KING STUDS
4'-0"	4x6 OR 6x6	2x	2x	4'-0"	4x8 OR 6x8	2x	2x
6'-0"	4x8 OR 6x8	2x	DBL. 2x	6'-0"	4x8 OR 6x8	2x	DBL. 2x
8'-0"	4x8 OR 6x8	2x	DBL. 2x	8'-0"	4x10 OR 6x10	DBL. 2x	DBL. 2x

<u>NOTES:</u> 1. MATCH DEPTH OF WALL FRAMING 2. SEE TYPICAL FRAMING @ DOORS & WINDOWS ELEVATION FOR HDR. SPAN 3. USE DBL. 2x KING STUD MIN. @ ALL DOORS U.O.N.

GRADE REDWOOD. IF 7db MIN./12" MAX. DIM. W/ HD THEN MEASURE FROM CENTERLINE HD A.B.
 SILL BOLTS SHALL BE 5/8" Ø L-BOLTS W/ 7" EMB. INTO FTG. (BELOW SLAB

WHERE OCCURS) @ 4'-0" MAX. SPACING

4 S1.2A TYP. SILL BOLTING LAYOUT

NAILING SCHEDULE	
CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER, TOE NAIL	(3) 8d
2. BRIDGING TO JOIST, TOE NAIL E/E	(2) 8d
3. 1" x 6" SUBFLOOR OR LESS TO EA. JOIST, FACE NAIL	(2) 8d
4. WIDER THAN 1" x 6" SUBFLOOR TO EA. JOIST, FACE NAIL	(3) 8d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	(2) 16d
6. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL SOLE PLATE TO JOIST, AT BRACED WALL PANELS	16d @ 16" O.C. (3) 16d @ 16" O.C.
7. TOP PLATE TO STUD, END NAIL	(2) 16d
8. STUD TO SOLE PLATE	(4) 8d TOE NAIL OR (2) 16d END NAIL
9. DOUBLE STUDS, FACE NAIL	16d @ 24" O.C.
10. DOUBLE TOP PLATES, FACE NAIL DOUBLE TOP PLATES, LAP SPLICE (PARTITION)	16d @ 16" O.C. (8) 16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	(3) 8d
12. RIM JOIST TO TOP PLATE, TOE NAIL	8d @ 16" O.C.
13. TOP PLATES, LAP AND INTERSECTIONS, FACE NAIL	(2) 16d
14. CONTINUOUS HEADER, TWO PIECES	16d @ 16" O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOE NAIL	(3) 8d
16. CONTINUOUS HEADER TO STUD, TOE NAIL	(4) 8d
17. CEILING JOISTS, LAP OVER PARTITIONS, FACE NAIL	(3) 16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3) 16d MIN. SEE 2010 (TABLE 2308.10.4.1
19. RAFTER TO PLATE, TOE NAIL	(3) 8d
20.1" DIAGONAL BRACE TO EA. STUD & PLATE, FACE NAIL	(2) 8d
21.1" x 8" SHEATHING OR LESS TO EA. BEARING, FACE NAIL	(2) 8d
22.WIDER THAN 1" x 8" SHEATHING TO EA. BEARING, FACE NAIL	(3) 8d
23.BUILT-UP CORNER STUDS	16d @ 24" O.C.
24.BUILT-UP GIRDER & BEAMS	20d @ 32" O.C. FACE N T&B STAGG. ON OPP. SIDES & (2) 20d FACE N AT ENDS AND SPLICES
25.2" PLANKS, FACE NAIL	16d @ EACH BEARING
26.COLLAR TIE TO RAFTER, FACE NAIL	(3) 10d
27.JACK RAFTER TO HIP	(3) 10d TOE NAIL (2) 16d FACE NAIL
28.ROOF RAFTER TO 2x RIDGE BEAM	(2) 16d TOE NAIL (2) 16d FACE NAIL
	(3) 16d
29.JOIST TO BAND JOIST, FACE NAIL	
29.JOIST TO BAND JOIST, FACE NAIL 30.LEDGER STRIP, FACE NAIL AT EACH JOIST	(3) 16d
29.JOIST TO BAND JOIST, FACE NAIL 30.LEDGER STRIP, FACE NAIL AT EACH JOIST 31.WOOD STRUCTURAL PANELS SUBFLOOR, ROOF & WALL SHEATHING (TO FRAMING)	(3) 16d 10d
29.JOIST TO BAND JOIST, FACE NAIL 30.LEDGER STRIP, FACE NAIL AT EACH JOIST 31.WOOD STRUCTURAL PANELS SUBFLOOR, ROOF & WALL SHEATHING (TO FRAMING) 32.PANEL SIDING (TO FRAMING)	(3) 16d 10d 8d
29.JOIST TO BAND JOIST, FACE NAIL 30.LEDGER STRIP, FACE NAIL AT EACH JOIST 31.WOOD STRUCTURAL PANELS SUBFLOOR, ROOF & WALL SHEATHING (TO FRAMING) 32.PANEL SIDING (TO FRAMING) 33.FIBERBOARD SHEATHING	(3) 16d 10d 8d 8d

HOLES & NOTCHES IN STUDS & JOIST

N.T.S.

1" = 1'-0"

1" = 1'-0"

■ STRUCTURAL ENGINEER HALTERMAN ENGINEERING P.O. BOX 370084 MONTARA, CA 94037 415-676-9390 www.haltermanengineering.com STAMP FOR COMMENT & **COORDINATION - NOT** FOR CONSTRUCTION PROJECT NAME / LOCATION Way 4 \bigcirc ach almero Φ M bble Ω S 53 Pet ■ ISSUE / REVISION DATE No. DESCRIPTION 06-10-24 PERMIT SET SCALE AS NOTED IF PRINT SIZE IS 24"x36" PROJECT No. 23059.01 DRAWING TITLE **TYPICAL WOOD** DETAILS

Stocker & Allaire

General Contractors, Inc.

21 MANDEVILLE COURT MONTEREY, CA 93940

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S1.2A

	HOLDOWN TO CONCRETE SCHEDULE								
HOLDOWN	MIN. END	POST SIZE		STEM/CURB MIN.	MIN. EMBEDMENT	CAPACITY (LBS.)			
SIZE	2x4 WALL	2x6 WALL	SIMPSON ANCHOR BOLT	WIDTH "W"	"D1"				
HDU2-SDS2.5	4x4	4x6	SB5/8x24	6"	1'-6"	3075			
HDU4-SDS2.5	4x4	4x6	SB5/8x24	6"	1'-6"	4565			
HDU5-SDS2.5	4x4	4x6	SB5/8x24	6"	1'-6"	5645			
HDU8-SDS2.5	4x6	6x6	SB7/8x24	8"	1'-6"	7870			
HDU11-SDS2.5	4x8	6x8	SB1x30	8"	2'-0"	11,175			

NOTES:

7

- 1. REFER TO THE PLANS FOR HOLDOWN SIZE AND HOLDOWN POST SIZES. POST SIZE INDICATED ON PLAN SHALL BE USED UNLESS IT IS SMALLER THAN MIN. POST SIZE INDICATED IN SCHEDULE.
- 2. FOR HOLDDOWN ASSEMBLIES, USE SIMPSON HOLDOWNS OR APPROVED EQUAL. ALL HARDWARE (ALL THREAD ROD, COUPLERS, WASHERS, NUTS) IN CONTACT WITH CONCRETE TO BE HOT DIPPED GALVANIZED. 3. BOLTS THROUGH FLOOR AND EMBEDDED IN FOUNDATION SHALL BE F1554 STEEL, GRADE A36, ALL THREAD.
- 4. HOLDOWNS SHALL NOT BE SUBSTITUTED FOR SILL PLATE ANCHOR BOLTS.
- 5. EMBEDMENT PER MANUFACTURER'S REQUIREMENTS. IF REQUIRED EMBEDMENT IS DEEPER THAN FOOTING THEN FOOTING SHALL BE LOCALLY DEEPENED TO PROVIDE 3" CLR. BETWEEN ANCHOR AND SOIL. DIMENSION IS TAKEN FROM TOP OF REBAR TIE NOT TOP OF FOOTING.
- 6. USE STANDARD STEEL FOR THE SIMPSON PRE-ASSEMBLED ANCHOR BOLTS AND OVERSIZE PENETRATION IN P.T. SILL PLATE 1/4". 7. HOLDOWN ANCHOR BOLT NUT SHOULD BE FINGER TIGHT PLUS 1/3 TO 1/2 TURN WITH HAND WRENCH.
- 8. POST SIZE INDICATED ON PLAN SHALL BE USED UNLESS IT IS SMALLER THAN MIN. POST SIZE INDICATED IN SCHEDULE.

— P.T. 3x SILL PLATE w/ 5/8"Ø ANCHOR BOLTS AT SPACING PER SHEAR WALL SCHEDULE

TOP OF (E) CONCRETE 8" WIDE MIN. STEM WALL OR FOOTING

TOP OF (E) CONCRETE CURB WHERE OCCURS TOP OF (E) CONCRETE WALL OR FOOTING

JOISTS OR ROOF JOIST

FIELD OR NAILING (F.N.) —

EDGE NAILING (E.N.)

DIAPHRAGM BOUNDARY NAILING (B.N.) -

4'x8' PLYWOOD SHEETS W/ FACE GRAIN PERPENDICULAR TO JOIST, U.O.N. PLACE IN A STAGGERED PATTERN TYP., U.O.N.

2	T
S1.2B	@

JOIST

ON PLAN

(F.N.) –

(E.N.) -

(B.N.) -

HOLDOWN TO EXISTING CONCRETE SCHEDULE							
HOLDOWN	MIN. END	POST SIZE	THREADED	EMBEDMENT	DIRECT TENSION TEST		
SIZE	2x4 WALL	2x6 WALL	WALL ROD (2) DEPTH "D"		LOAD (LB) (3)		
HDU2	4x4	4x6	5/8"Ø	10"	7,690		
HDU4	4x4	4x6	5/8"Ø	16"	11,420		
HDU5	4x4	4x6	5/8"Ø	16"	14,120		
HDU8	4x6	6x6	7/8"Ø	18"	19,680		
HDQ2	4x6	6x6	7/8"Ø	21"	23,080		
HDU11	4x8	6x8	1"Ø	24"	27,940		
HDU14	4x8	6x8	1"Ø	24"	35,980		

NOTES: 1. SPECIAL INSPECTION IS REQUIRED FOR THE INSTALLATION OF HOLDOWN ANCHORS IN CONCRETE WITH EPOXY. SEE EPOXY MANUFACTURER'S REQUIREMENTS FOR EPOXY ANCHOR INSTALLATION, SPECIAL INSPECTION, AND TESTING REQUIREMENTS.

- 2. THREADED ROD ANCHOR BOLTS SHALL BE F1554 GRADE 36.
- 3. IF SPECIAL INSPECTION OF BOLT INSTALLATION IN CONCRETE IS NOT PROVIDED, THEN PROVIDE DIRECT TENSION TEST AS FOLLOWS:
- a. APPLICABILITY: AN INDEPENDENT TESTING COMPANY HIRED BY THE OWNER SHALLTENSION TEST HOLDOWN EPOXY ANCHORS.
- b. TEST LOADS: DIRECT TENSION TEST TO DIRECT TENSION TEST LOAD LISTED IN THE TABLE ABOVE.
- c. TEST FREQUENCY: TEST ALL ANCHORS.
- d. TEST ACCEPTANCE CRITERIA: TEST ANCHORS WITH A HYDRAULIC RAM/JACK AND MAINTAIN THE TEST LOAD FOR A MINIMUM 5 MINUTES. ANCHORS SHALL EXHIBIT NO DISCERNABLE MOVEMENT DURING THE TENSION TEST AS EVIDENCED BY LOOSENING OF THE WASHER UNDER THE NUT. THE DISTANCE BETWEEN THE ANCHOR AND TEST APPARATUS SUPPORT SHALL NOT BE LESS THAN 75% OF THE EMBEDMENT DEPTH.

(1) **S1.2B**

TYP., U.O.N.





NOTE: 1. CONNECTIONS INDICATED W/ LETTERS ARE DEFINED IN S.W. SCHED.





SHEAR WALL INTERSECTION

1" = 1'-0"











EDGE NAILING AT HORZ. & VERT. EDGES STAGGER NAILS W/ NAILS FROM ADJACENT PANELS

LEAVE 1/16" GAP **BETWEEN PANEL** EDGES, TYP.

BLKG. CENTERED ON HORIZ. PLYWOOD JOINTS

VERT. PLYWOOD JOINTS TO BE CENTERED ON STUDS

END POST & -HOLDOWN PER HOLDOWN SCHEDULE WHERE OCCURS

SILL PLATE PER S.W. SCHED. SILL PLATE SHALL BE PTDF WHEN IN CONTACT WITH CONC.

2 S1.2E

MARK	ED NAII (E.N. a NO
6	10d @
4	10d @
3	10d @
2	10d @
$\begin{pmatrix} 6 \\ 6 \end{pmatrix}$	10d @ 6'
4 4	10d @ 4'

NOTES:

- 1. USE 1/2" CDX PLYWD

- GALVANIZED.



4

S1.2E

OPENING REINF. @ WOOD S.W.



TYPICAL PLYWD. SHEAR WALL ELEV.

EDGE RIM CONN. SILL PL CONN. AILING N.) SEE FDN. ANCHOR SPACING (SIMP SPACING (SIMP. CAPACITY A35, LTP4 OR SPACING. SEE SDWS 0.220 x 6) OTE 2 d)NOTE 4 (PLF) LS50) SEE NOTE 5 @ 6" O.C. 310 18" O.C. 16" O.C. 48" O.C. 48" O.C.) 4" O.C. 460 12" O.C. 12" O.C. 600 8" O.C. 32" O.C.) 3" O.C. 10" O.C. 770 2 2" O.C. 8" O.C. 24" O.C. 8" O.C. 6" O.C. B/S 620 8" O.C. 32" O.C. 12" O.C. 920 6" O.C. 24" O.C. " O.C. B/S 8" O.C.

2. E.N. ACROSS ALL PANEL EDGES, FIELD NAILING IS 12" O.C. ALL NAILS ARE COMMON WIRE NAILS, MAY USE 10d SHORTS (2 1/8" MIN. LENGTH) W/ FULL HEADS.

3. ALL MEMBERS RECEIVING E.N. INCLUDING SILL PLATE SHALL BE 3x AS A MIN. NAILING SHALL BE STAGGERED. EXCEPTION: WHERE PLYWOOD IS APPLIED TO ONLY ONE SIDE OF WALL AND NAIL SPACING IS 6" O.C. MEMBERS RECEIVING EDGE NAILING CAN BE 2x.

4. ALL FDN. ANCHOR BOLTS ARE %"Ø L-BOLTS W/ A 2" HOOK OR ALL THREAD ROD WITH A NUT, WASHER AND NUT ON THE EMBEDDED END. WHEN SHEAR WALLS ARE LOCATED ON (E) CONCRETE 5/10 ALL THREAD ROD WITH SIMPSON SET-XP EPOXY MAY BE USED. ANCHORS SHALL HAVE A MIN. EMBEDMENT OF 7", A MIN. EDGE DISTANCE OF 1³/₄" AND SHALL HAVE A 3" SQ. x 3 GA. PLATE WASHER AT THE SILL. CONTRACTOR MAY USE BP%-3 OR BPS%-3 SIMPSON WASHERS. PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) WITH SHEATHING. WHERE WALL IS GREATER THAN 2x4 AND SHEATHING OCCURS ON BOTH SIDES, ANCHOR BOLTS SHALL BE STAGGERED. A.B. & WASHER SHALL BE HOT DIPPED

5. SILL CONNECTION IS FOR WOOD TO WOOD CONNECTION ONLY, TYP. BTWN. FLOORS. WHERE SPACING IS CLOSER THAN 8" O.C. RIM OR RIM BLOCKING SHALL BE 31/2" MIN WIDTH AND FASTENERS SHALL BE STAGGERED. SDS 1/4 x 6 MAY BE USED IN LIEU OF SDWS 0.220 x 6 AT CONTRACTOR'S DISCRETION.

SHEAR WALL SCHEDULE



1" = 1'-0"

N.T.S.



SHEET NOTES:

1. ALL FOUNDATIONS/EXCAVATIONS SHALL BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACING OF REINFORCING STEEL. FOUNDATIONS SHALL EXTEND TO COMPETENT MATERIAL BELOW.

2. SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS AND DIMENSIONS NOT NOTED, CURB LOCATIONS AND HEIGHTS, SLOPE OF ELEMENTS, LOCATIONS OF NON-STRUCTURAL WALLS, ETC.

- 3. SEE OTHER DRAWINGS FOR WATERPROOFING AND DRAINAGE DETAILS.
- SEE TYPICAL DETAIL SHEETS FOR DETAILS NOT SPECIFICALLY REFERENCED: CONCRETE TYPICAL DETAILS: S1.1 SERIES WOOD TYPICAL DETAILS: S1.2 SERIES STEEL TYPICAL DETAILS: S1.3 SERIES

5. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

- 6. U.O.N., WOOD STUD WALLS SHALL BE: A) 2x6 STUDS @ 16" O.C. @ GROUND FLOOR B) 2x4 STUDS @ 16" O.C. @ 2ND FLOOR
- 7. PROVIDE PLYWD SHEAR TO ALL EXTERIOR WALLS W/ TYPE 6 U.O.N., NOTE THAT WHERE NEW PLYWOOD SHEATING IS SPECIFIED AT EXISTING WALLS TO REMAIN, IF EXISTING WALLS ARE DETERMINED IN THE FIELD (DURING CONSTRUCTION WHEN THE EXISTING FRAMING IS EXPOSED) TO HAVE SUFFICIENT LATERAL STRENGTH, THEN SOME SHEATHING REQUIREMENTS MAY BE REDUCED, SUBJECT TO REVIEW BY THE ENGINEER.
- 8. WHERE CONTINUOUS COIL STRAPS ARE SPECIFIED, PROVIDE CONTINUOUS JST OR 2x BLKG.
- 9. U.O.N., FLOOR DIAPHRAGM SHALL BE 3/4" PLWD W/ 2x BLKG @ PANEL EDGES. NAILING SHALL BE AS FOLLOWS:
 10d @ 6" O.C. BOUNDARY AND EDGE NAILS, & @ 12" O.C. FIELD NAILING U.O.N., ROOF DIAPHRAGM SHALL BE 5/8" PLWD W/ 2x BLKG @ PANEL EDGES. NAILING SHALL BE AS FOLLOWS:
 10d @ 6" O.C. BOUNDARY AND EDGE NAILS, & @ 12" O.C. FIELD NAILING
- 10. AS NOTED IN GENERAL NOTES, PROVIDE JSTS UNDER ALL PARALLEL WALLS OR PROVIDE BLOCKING UNDER PERPINDICULAR WALL

LEGEND:

	STRUCTURAL CONC. WALL
	STRUCTURAL STUD WALL
¥	STRUCTURAL WALL BELOW
, 	BEAM
	STL BM MOMENT CONNECTION
HDR (A) OR (B)	HEADER ABOVE (A) OR BELOW (B)
<u>}</u>	SIMPSON STRAP, CS16 4-FT LONG MIN., U.O.N.
·	SHEAR WALL SHEATHING
ŚW	SHEAR WALL MARK, SEE SCH. 1/ S1.2E
4'-0"	MIN. SHEAR WALL LENGTH
STAF STAF	
Τσ	POST/ COLUMN ABOVE (TAGGED)
ΙO	POST/ COLUMN BELOW
1	
T	JOIST FRAMING
*	
• #	HOLDOWN, SEE SCHEDULE AND DTL 7/ S1.2B
	FOOTING
WSWH24x10	SIMPSON STRONG WALL
L_	IOIST HANGER SEE TYPICAL DETAIL
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L	HIDDEN FLANGE JOIST HANGER
×	INVERTED JOIST HANGER
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HOLDOWN TY	MARK
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STRUCTURAL EN	IGINEER
HALTERMAN ENGI P.O. BOX 370084 MONTARA, CA 940 415-676-9390	NEERING 37
www.haltermanengin	neering.com
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	1535 Palmero Way	Pepple Beach, CA
ISSI	UE / REVISION DESCRIPTION	DATE
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SC4	lle IF P	AS NOTED RINT SIZE IS 24"x36"



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STRUCTURAL ENGINEERING HALTERMAN ENGINEERING P.O. BOX 370084 MONTARA, CA 94037 415-676-9390 www.haltermanengineering.c STAMP FOR COMME FOR COMME FOR CONSTRU	om
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Stocker & Allaire





3/16" = 1'-0"

		General Contractors, Inc. 21 MANDEVILLE COURT MONTEREY, CA 93940
	LEGEND:	office@stockerallaire.com
		(831) 375-1890
	STRUCTURAL CONC. WALL	
کـــــز ۲۲	STRUCTURAL STUD WALL	
	BEAM	
HDR (A) OR (B)	HEADER ABOVE (A) OR BELOW (B) SEE TYPICAL DETAIL	■ STRUCTURAL ENGINEER HALTERMAN ENGINEERING
<u>}</u>	SIMPSON STRAP, CS16 4-FT LONG MIN., U.O.N.	P.O. BOX 370084 MONTARA, CA 94037
(SW)	SHEAR WALL SHEATHING	415-676-9390
4'-0"	MIN. SHEAR WALL LENGTH	www.naitermanengineering.com
-1#/ 1#/		■ STAMP
T D	POST/ COLUMN ABOVE (TAGGED)	
IO	POST/ COLUMN BELOW	COORDINATION - NOT
		FOR CONSTRUCTION
	JOIST FRAMING	
#	HOLDOWN, SEE SCHEDULE AND DTL 7/ S1.2B	■ PROJECT NAME / LOCATION
	FOOTING	
WSWH24x10	SIMPSON STRONG WALL	
L F	JOIST HANGER, SEE TYPICAL DETAIL	
C	HIDDEN FLANGE JOIST HANGER	
Ø	INVERTED JOIST HANGER	
		Palmer e Bead
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	(E) 2X4 VERTICAL @ 4' O.C.	SCALE SCAL SCAL SCALE SCALE SCALE SCALE SCALE SCA
	(E) 2X4 VERTICAL @ 4' O.C.	

HOUSE CEILING AND **ROOF FRAMING** PLAN

S2.3

<u>NOTES:</u> 1. THIS IS THE EXPECTED ROOF TRUSS LAYOUT BASED ON LIMITED OBSERVATIONS. CONTRACTOR TO CONFIRM THAT EXISTING TRUSSES MATCH THIS SKETCH.

← (E) CONT 2x6 BOTTOM CHORD @ 4' O.C.

EXISTING ROOF FRAMING DETAIL

3/8" = 1'-0"

└─ (E) 2x4 TRUSS DIAGONAL @ 4' O.C.