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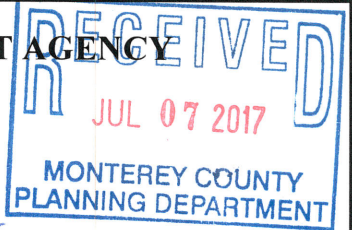
FILE #:

PIN 170572



**MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY
PLANNING**

168 West Alisal, 2nd Floor, Salinas, CA 93901
Telephone: (831) 755-5025 Fax: (831) 757-9516
<http://www.co.monterey.ca.us/planning>



PIN 170572

INLAND DESIGN APPROVAL APPLICATION FORM

ASSESSOR'S PARCEL NUMBER: 015-522-008-000

PROJECT ADDRESS: 24980 OUTLOOK DR. CARMEL CA 93923

PROPERTY OWNER: MAL SCHWARTZ & LAURA TRYON Telephone: C/O ARCHITECT
Address: C/O ARCHITECT Fax: _____
City/State/Zip: _____ Email: _____

APPLICANT: STUDIO CARVER ARCHITECTS Telephone: 831-624-2304
Address: PO BOX 2684 Fax: 831-624-0364
City/State/Zip: CARMEL, CA 93921 Email: robert@studiocarver.com

AGENT: _____ Telephone: _____
Address: _____ Fax: _____
City/State/Zip: _____ Email: _____

Mail Notices to: Owner Applicant Agent
(Check only one)

PROJECT DESCRIPTION: (Attach Scope of Work) Remodel of an (E) ^{2,670}~~2,848~~ sf single story residence and the construction of a 355 addition with skylight. Scope of work also includes the replacement of exterior siding, doors, and windows. Proposed grading will include the import of ~~1440~~ ^{102.3} cu yds of fill. 4 fruit trees are proposed and 2 planters for herb garden. ~~ADD 350 SF DECK~~

MATERIALS TO BE USED: Composition roofing, James Hardie siding, aluminum doors & windows
See sheet A2.3 & A3.3 for images
Addition of Patio on Grade 1236 SF

COLORS TO BE USED: Composition roofing to match existing, woodstock brown siding, bronze anodized aluminum doors and windows.

I acknowledge that I will need a building permit and must comply with the Monterey County Building Ordinance and that this approval is for design of the structures and compliance with zoning regulations only. For properties served by Onsite Wastewater Treatment System (OWTS), the Environmental Health Bureau (EHB) will not review this application but may need to require redesign of the project in the subsequent construction permit application to address impacts related to the existing OWTS or future standby area. A project redesign may require a subsequent Design Approval application and additional fees.

PROPERTY OWNER/AGENT SIGNATURE: Robert Carver DATE: 7-7-17
Dennis Peterson 9/29/17

FOR DEPARTMENT USE ONLY

ZONING: LDR/B-6-D-S-RAZ AREA PLAN: CARMEL VALLEY MASTER PLAN
ADVISORY COMMITTEE: CARMEL VALLEY MP RELATED PERMITS: _____
PLANNER: _____
WITHIN ARCH BUFFER ZONE? YES NO ON SEPTIC SYSTEM (OWTS)? YES NO
LEGAL LOT: CARMEL VIEWS NO 2 TRACK 628 YES NO DOES THIS CORRECT A VIOLATION? YES NO

FINDINGS:
 The project is consistent with the 2010 General Plan, the applicable Area Plan, and meets the regulations in Title 21 (Zoning Ordinance-Inland); and
 The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property because: Minor change from existing exterior footprint. Re-designed to avoid further encroachment into setback. Colors are earthtone to blend w/ surroundings

DECISION: OVER-THE-COUNTER ADMINISTRATIVE
ACTION: APPROVED DENIED
CONDITIONS: ATTACHED NONE
APPROVED BY: Cheryl Ku DATE: 10/17/17
COPY TO APPLICANT: IN PERSON OR MAILED DATE: 10/17/17

COLOR SAMPLES FOR PROJECT FILE NO. _____

SEE SHEET A2.3 & A3.3

Materials: _____ Colors: _____
Description: _____

SEE SHEET A2.3 & A3.3

Materials: _____ Colors: _____
Description: _____

SEE SHEET A2.3 & A3.3

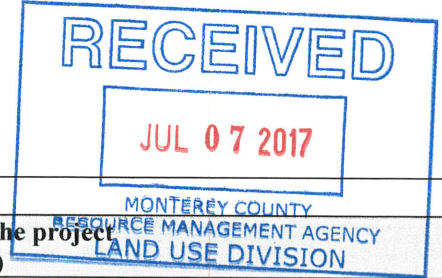
Materials: _____ Colors: _____
Description: _____



GENERAL PLAN POLICY CONSISTENCY CHECKLIST
FOR DESIGN APPROVALS (Inland Only)

To be completed by Applicants

LAND USE DESIGNATION: LDR/B-6-D-S-RAZ
APN: 015-522-008-000
PLANNING NUMBER: PIN170572
AREA PLAN: [] Cachagua Area Plan, [] Carmel Valley Master Plan, [] Central Salinas Valley Area Plan, [] Fort Ord Master Plan, [] Greater Monterey Peninsula Area Plan, [] Greater Salinas Area Plan, [] North County Area Plan, [] South County Area Plan, [] Toro Area Plan, [] Agriculture & Winery Corridor Plan
PROJECT DESCRIPTION: INTERIOR REMODEL WITH NEW SIDING, DOORS & WINDOWS. 355 SF ADDITION IN COURTYARD WITH SKYLIGHT.



Please answer each question based on the description of the project (see back of questionnaire for policy references)

The project is for: [X] Residential use [] Commercial use [] Agricultural use [] Public or Quasi-Public use [] Industrial use
The project proposes a cell-site, telcom (digital) communication facility/site? [] Yes [X] No
The project includes the construction of a new structure? [] Yes [X] No
The project includes the enlarging, altering, repairing, moving, improving, or removing of existing structures? If "yes", describe CONSTRUCTION OF A 355 SF ADDITION TO A SINGLE FAMILY RESIDENCE
The project includes demolition work? If "yes", describe DEMOLITION OF INTERIOR WALLS.
Project includes the use of roofing materials that are different in type and/or color from the original materials? [] Yes [X] No
Project includes replacement and/or repair of (50%) or more of the exterior walls of a structure? [] Yes [X] No
Project includes historical structure or a structure more than fifty (50) years old? [] Yes [X] No
Project includes an accessory structure(s)? If "yes", describe:
Project includes the placement of a manufactured home, mobile home, modular or prefabricated unit? [] Private property [] Park installation (mobile home park)
Project includes retaining walls? [] Yes [X] No
Project involves new, change or modifications to existing utilities and/or power lines? [] Yes [X] No
Project is change or modification to an approved application. [] Yes [X] No
Does the project propose a lot line adjustment or subdivision? [] Yes [X] No
Does the project include subdivision creating five or more lots, or new commercial/industrial use that creates intensity equal to or greater than five residences? [] Yes [X] No
Is the project located near an incorporated area (City)? [] Yes [X] No
Is the project located within a Community Area or Rural Center? [] Yes [X] No
Is the project located within 1/4 mile of a public airport? [] Yes [X] No
Is this the first residence on a property? [] Yes [X] No
Does the project propose a secondary unit? [] Yes [X] No
Would native vegetation be removed with this project? [] Yes [X] No
Would proposed development occur within 100 feet a creek/drainage (including seasonal) or river? [] Yes [X] No
Does the project propose any tree removal? If "yes" Type Size Number
Project includes grading, dirt importation, dirt removal, and/or drainage changes. [X] Yes [] No
Would the project be connected to an existing well or private water system? [] Yes [X] No
The project includes constructing, enlarging, altering, repairing, moving, improving or removing a well. [] Yes [X] No
Project is associated with a new or improvements to a water system. water system number of connections
Does the project include a new individual or existing wastewater system (e.g. septic)? [] Yes [X] No
The project includes constructing, enlarging, altering, repairing, moving, improving or removing a septic tank/system? [] Yes [X] No
Does the project propose development on slopes over 25%? [] Yes [X] No
Is the project 50 feet from a bluff? [] Yes [X] No
Project is located within 100 feet of seasonal or permanent drainage, lake, marsh, ocean, pond, slough, stream, wetlands. If "yes", describe
Does the project include cultivation of land that is currently not cultivated? [] Yes [X] No
Does the project propose non-agricultural uses adjacent to agricultural uses? [] Yes [X] No
Is the project located within the winery corridor? [] Yes [X] No
Would any portion of the proposed development be visible from a public road, designated vista point, or public park? If yes, is it located on a slope or near the top of a hill? [] Yes [] No
Does the project propose or require affordable housing? [] Yes [X] No
Does the project require a General Plan Amendment? [] Yes [X] No
Is the project located within a Special Treatment Area? [] Yes [X] No
Is the project located within a Study Area? [] Yes [X] No
Project involves or includes an existing or proposed trail or easement. [] Yes [X] No

I, the undersigned, have authority to submit application for a permit on the subject property. I have completed this questionnaire accurately based on the proposed project description. It is my interpretation that the project is consistent with the 2010 Monterey County General Plan. I understand that Monterey County may require project changes or some other permit/entitlement if the project is found to be inconsistent with any General Plan policy.

Signature [Handwritten Signature]

Date 7.7.17.

Print Name: ROBERT CARVER, AIA

Staff Use Only

BASED ON REVIEW OF THE PROJECT DESCRIPTION PROPOSED, THE PROJECT IS:

- CONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN
 INCONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN

NOTES / COMMENTS:



PLANNER:

PLANNING TEAM:

DATE:

POLICY REFERENCE BASED ON TOPIC

| | |
|--|--|
| GENERAL PLAN AMENDMENT | LU-1.7, LU-2.18, LU-2.19, LU-2.21, LU-2.23, LU-2.24, LU-2.27, LU-2.29, LU-6.5, LU-9.6 thru LU-9.8, GS-1.11, CSV-1.4, PS-3.1, OS-5.20, OS-8.6, |
| WITHIN CITY SPHERE OF INFLUENCE OR MEMORANDUM OF UNDERSTANDING | LU-2.14 THRU LU-2.19, AG-1.12, GS-1.14 |
| COMMUNITY AREAS | LU-1.8, LU-1.19, LU-2.3, LU-2.10 thru LU-2.12, LU-2.20 thru LU-2.27, LU-2.29, LU-9.5, C-1.1, OS-3.6, OS-5.17, OS-8.6, OS-9.2, OS-10.10, T-1.7, AWCP-3.4A, NC-1.5, GS-1.1, GS-1.13, AG-1.3, AG-1.4, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, PS-11.14, S-2.5, S-5.17, S-6.4, S-6.5, |
| RURAL CENTERS | LU-1.8, LU-1.19, LU-2.3, LU-2.11, LU-2.12, LU-2.26 thru LU-2.32, OS-5.17, OS-9.2, OS-10.10, T-1.7, T-1.8, AWCP-3.4A, NC-1.5, GS-1.13, AG-1.3, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, S-5.17, S-6.5, |
| SPECIAL TREATMENT AREAS | T-1.4, T-1.8, GS-1.1 thru GS-1.3, GS-1.10, GS-1.12, GMP-1.6 thru GMP-1.9, CSV-1.1, CSV-1.3, CSV-1.5 thru CSV-1.7, CV-1.22, CV-1.23, CV-1.25, CV-1.27, CACH-1.5, |
| STUDY AREAS | GS-1.7, GS-1.11, CSV-1.4, CV-1.26 |
| WINERY CORRIDOR | AG-4.1 thru AG-4.5, AWCP |
| DEVELOPMENT OUTSIDE COMMUNITY AREAS OR RURAL CENTERS | LU-1.19, S-2.7, OS-3.6 |
| DEVELOPMENT ON SLOPES OVER 25% | LU-9.5, OS-3.5, OS-3.6, OS-3.9, S-1.2, CV-2.9, CV-6.2, CV-6.4, CV-6.5, FOMP-A-6, GMP-4.1, GS-1.1, GS-3.1, NC-1.3, NC-3.9, NC-3.10, T-3.6 |
| CONVERSION TO AGRICULTURE | OS-3.5, OS-5.22, AG-1.6, AG-1.7, AG-1.12, AG-2.9, AG-3.3, NC-3.10, NC-3.11, CV-6.2, CV-6.4, |
| ROUTINE AND ON-GOING AG ACTIVITIES | AG-3.1 thru AG-3.3 |
| NON-AG ADJACENT TO AG USES | LU-1.5, LU-2.8, AG-1.2, AG-2.8, CV-6.1, GS-1.1, T-1.8 |
| AGRICULTURE (F, PG, & RG) | LU-3.1, LU-3.2, 6.0 – AGRICULTURE ELEMENT |
| FARM WORKER HOUSING | AG-1.6 |
| AG EMPLOYEE HOUSING | AG-1.7 |
| AG SUPPORT FACILITIES | AG-2.1 thru AG-2.9 |
| RURAL RESIDENTIAL (LDR, RDR, & RC) | LU-2.34 thru LU-2.37 |
| URBAN RESIDENTIAL (HDR & MDR) | LU-2.33 |
| COMMERCIAL (LC, HC, & VPO) | LU-4.1 thru LU-4.8, ED-2.3, ED-4.2 |
| INDUSTRIAL (AI, LI, & HI) | LU-5.1 thru LU-5.9, ED-2.3, ED-4.2 |
| PUBLIC / QUASI PUBLIC (PQP) | LU-6.1 thru LU-6.5 |
| AFFORDABLE HOUSING | LU-1.19, LU-2.11 thru LU-2.13, LU-2.23, LU-2.28, T-1.7, T-1.8, NC-1.5, GS-1.13, GMP-1.9, FOMP-H-1.1, FOMP-C.3, CV-1.6, CV-1.27 |
| SECONDARY UNITS | LU-2.10, CV-1.6, GS-1.13, NC-1.5, T-1.7, PS-1.1 |
| SUBDIVISION | LU-1.7, LU-9.3 thru LU-9.5, AG-1.3, NC-1.5, AWCP-3.5.A, T-1.5, T-1.7, GS-1.13, CV-1.6, CV-1.7, PS-1.1, PS-3.2, PS-3.9, PS-3.19, PS-4.9, PS-4.13, PS-11.10, S-1.7, S-2.7, S-4.10, S-4.27, S-6.7, OS-1.5, OS-1.10, OS-6.5, OS-7.5, OS-8.4, |
| LOT LINE ADJUSTMENT | LU-1.14 thru LU-1.16 |
| OFF-SITE ADVERTISING | LU-1.10 |
| EXTERIOR LIGHTING | LU-1.13 |
| LANDSCAPING | OS-5.6, OS-5.14 |
| TREE REMOVAL | OS-5.9, OS-5.10, OS-5.25, PS-12.10, CACH-3.4, CV-3.11, FOMP-C-1, FOMP-C-2.1 thru FOMP-C-2.5, GMP-3.3, GMP-3.5, GS-1.5, GS-1.8, GS-3.3, NC-3.4, T-3.7. |
| CIRCULATION (e.g. roads, transportation) | Chapter 2.0 |

EXISTING PROPERTY PHOTOS



SOUTH ELEVATION - OUTLOOK DRIVE



SOUTH ELEVATION



WEST ELEVATION



EAST COURTYARD ELEVATION

ARCHITECTURAL ABBREVIATIONS

| | | | |
|--|--|---------------------------------------|-------------------------------------|
| & AND | E EAST | JAN JANITOR | R RADIUS / RISER |
| * ANGLE | (E) EXISTING | JT. JOINT | RA RETURN AIR |
| @ AT | EA EACH | L ANGLE | R.D. ROOF DRAIN |
| * DIAMETER | E.J. EXPANSION JOINT | LB. POUND | REF. REFRIGERATOR |
| 2CP 2 COAT PLASTER | EL ELEVATION | LG. LONG LENGTH | REINF. REINFORCED |
| 3CP 3 COAT PLASTER | ELEC. ELECTRICAL | LAM. LAMINATE | RES. RESIN |
| AB. AGGREGATE BASE | ELEV. ELEVATOR | LAV. LAVATORY | REV. REVISED(O/N) |
| A.B.T. ANCHOR BOLT | EMER. EMERGENCY | LLH LONG LEG HORZ. | REQD. REQUIRED |
| AC. AIRCONDITIONER | E.M.R. ELEVATOR MACHINE RM. | LLV LONG LEG VERT. | RM. ROOM |
| ACD. ACCESS DOOR | ENCL. ENCLOSURE, ENCLOSED | LT(G) LIGHTING | R.O. ROUGH OPENING |
| ACT. ACOUSTIC TILE | ENGR. ENGINEER | LVR. LOUVER | S SOUTH |
| AD. AREA DRAIN | ENTR. ENTRANCE | S.F.B. SOUND ATTENUATION FIRE BLANKET | SC. SEALED CONCRETE SOLID CORE |
| A.D.A. AMERICANS WITH DISABILITIES ACT | EQ. EQUAL | SCH. SCHEDULE | SCP. SKIM COAT PLASTER |
| ADJ. ADJUSTABLE | EQP. EQUIPMENT | SC. SCHEDULE | SEC. SECTION |
| A.F.F. ABOVE FINISH FLOOR | EST. ESTIMATE | MECH. MECHANICAL | S.F. SQUARE FEET |
| AL. ALUMINUM | EX. EXISTING | MEMB. MEMBRANE | SHT. SHEET |
| ANOD. ANODIZED | EXH. EXHAUST | MEZZ. MEZZANINE | SIG. SOUND INSULATING GLASS |
| A.P. ACCESS PANEL | EXP. EXPANSION | MFR. MANUFACTURER | SIM. SIMILAR |
| ARCH. ARCHITECTURAL | EXT. EXTERIOR | MHL. MAN HOLE | SIP. Structural Insulated Panel |
| AVG. AVERAGE | F.A.I. FRESH AIR INTAKE | MIN. MINIMUM | S.J. SCORED JOINT |
| BO. BOARD | F.D. FLOOR DRAIN | MISC. MISCELLANEOUS | S.M. MOUNTED |
| BITUM. BITUMINOUS | FDN. FOUNDATION | M.O. MASONRY OPENING | SPKR. SPEAKER |
| BLDG. BUILDING | F.E. FIRE EXTINGUISHER | MTD. MOUNTED | SQ. SQUARE |
| BLK. BLOCKING | FF. FINISH FLOOR OR FINISHED FACE | MTG. MEETING | S.S. STAINLESS STEEL |
| BM. BEAM | F.G. FINISH GRADE | MTL. METAL | SMI. SEE MANUFACTURERS INSTRUCTIONS |
| B.M. BENCH MARK | F.G.L. FIBERGLASS | N. NORTH | SEE ENGINEERING DRAWINGS |
| B.O. BOTTOM OF | F.H. FIRE HYDRANT, FLAT HEAD | NAT. NATURAL | SEE STRUCTURAL DRAWINGS |
| BR. BRASS | F.H.C. FIRE HOSE CABINET | N.I.C. NOT IN CONTRACT | ST. STONE TILE / STONE |
| BRK. BRICK | FIN. FINISH | NO. NUMBER | STL. STEEL |
| B.S. BOTH SIDES | FL. FLUORESCENT | NOM. NOMINAL | STD. SOUND TRANSMISSION COEFFICIENT |
| BSMT. BASEMENT | F.O. FACE OF | NRC. NOISE REDUCTION | STR. STANDARD |
| B.U.R. BUILT-UP ROOF | F.O.C. FACE OF CONC. | O.C. ON CENTER | STOR. STORAGE |
| CAB. CABINET | F.O.M. FACE OF MASONRY | O.D. OUTSIDE DIAMETER | STRUC. STRUCTURAL |
| CAP. CAPACITY | F.O.S. FACE OF STUD | O/O. OVER | SUSP. SUSPENDED |
| CAT. CATALOG | F.P. FIRE PROOFING | O.C. ON CENTER | SW. STAINED WOOD |
| C.C.F.I. CLOSED CELL FOAM INSULATION | FR. FRAME / FIRE RATED | O.S. OUTSIDE DIAMETER | T. TREAD |
| C.B. CATCH BASIN | F.S. FULL SIZE/SCALE | OFF. OFFICE | T.B. TILE BACKER BOARD |
| CE. CEDAR | FT. FOOT/FEET | O.H. OPPOSITE HAND | T.C. TERRA COTTA |
| CEM. CEMENTITIOUS | FTG. FOOTING | OPG. OPENING | TEL. TELEPHONE |
| CER. CERAMIC | FXTR. FIXTURE | OPP. OPPOSITE | TEMP. TEMPORARY |
| CFM. CUBIC FEET/MIN. | GA. GAUGE | OVHD. OVERHEAD | TERR. TERRACE |
| C.I. CAST IRON | GALV. GALVANIZED | PERF. PERFORATED | T&G. TONGUE AND GROOVE |
| C.L. CENTERLINE | G.C. GENERAL CONTRACTOR | PL. PLATE | THK. THICK |
| CLG. CEILING | GENL. GENERAL | PLAS. PLASTER | THRU. THROUGH |
| CLOS. CLOSET | GENL. GENERAL | PLBG. PLUMBING | TMPO. TEMPERED |
| CLR. CLEAR | GFI. GROUND FAULT CIRCUIT INTERRUPTER | PLY. PLYWOOD | (T) TEMPERED |
| CLW. CLEAR FINISH WOOD | G.I. GALVANIZED IRON | PLG. PANNELLING | T.O.P. TOP OF PLATE |
| C.J. CONTROL JOINT | GL. GLASS | PLY. PLYWOOD | T.O.S. TOP OF SLAB |
| CMU. CONC. MASONRY UNIT | GUM. GLUE/M | PM. PERF. MTL. | T.O.W. TOP OF WALL |
| CNTR. COUNTER | GLZ. GLAZING | POL. POLISHED | T.S.S. TOP OF STRUCTURAL STEEL |
| C.O. CLEANOUT | GMT. GLASS MOSIAC TILE | PR. PAIR | TYP. TYPICAL |
| CONF. CONFERENCE | GR. GRADE | PT. PAINTED | TZ. TERRAZZO |
| COL. COLUMN | GT. GLASS TILE | PTH. PARTITION | UNF. UNFINISHED |
| COMM. COMMUNICATION | GWB. GYPSUM WALL BOARD | PW. PAINTED WOOD | UNO. UNLESS NOTED OTHERWISE |
| CONC. CONCRETE | GYP. GYPSUM | QT. QUARRY TILE | UPD. UPHOLSTERED |
| CONST. CONSTRUCTION | HC. HOLLOW CORE | QTY. QUANTITY | V. VENTILATION |
| CONT. CONTINUOUS | HD(R). HEAD(ER) | | VERT. VERTICAL |
| CORR. CORRIDOR | HDWD. HARDWOOD | | VEST. VESTIBULE |
| CPT. CARPET | HDWR. HARDWARE | | V.F. VERIFY IN FIELD |
| CRS. COURSE | H.H. HOLLOW MTL. | | V.R. VENEER PLASTER |
| CT. CERAMIC TILE | HORZ. HORIZONTAL | | V.P. VENETIAN PLASTER |
| CTR. CENTER | HR. HOUR | | W. WIDE WIDTH |
| CW. COLD WATER | H.S. HEADED STUD | | W(O) WITH (OR WITHOUT) |
| | HT. HEIGHT | | WA. WALNUT |
| | HTG. HEATING | | W.C. WATER CLOSET |
| | HTR. HEATER | | WD. WOOD |
| | HVAC. HEATING VENTILATION & AIR CONDITIONING | | WOW. WINDOW |
| | HW. HOT WATER | | WLP. WALL PAPER |
| | | | W.P. WATERPROOFING |
| | | | WT. WEIGHT |
| | | | W.R.B. WATER RESISTIVE BARRIER |
| | | | YD. YARD |

SHEET INDEX

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| | |
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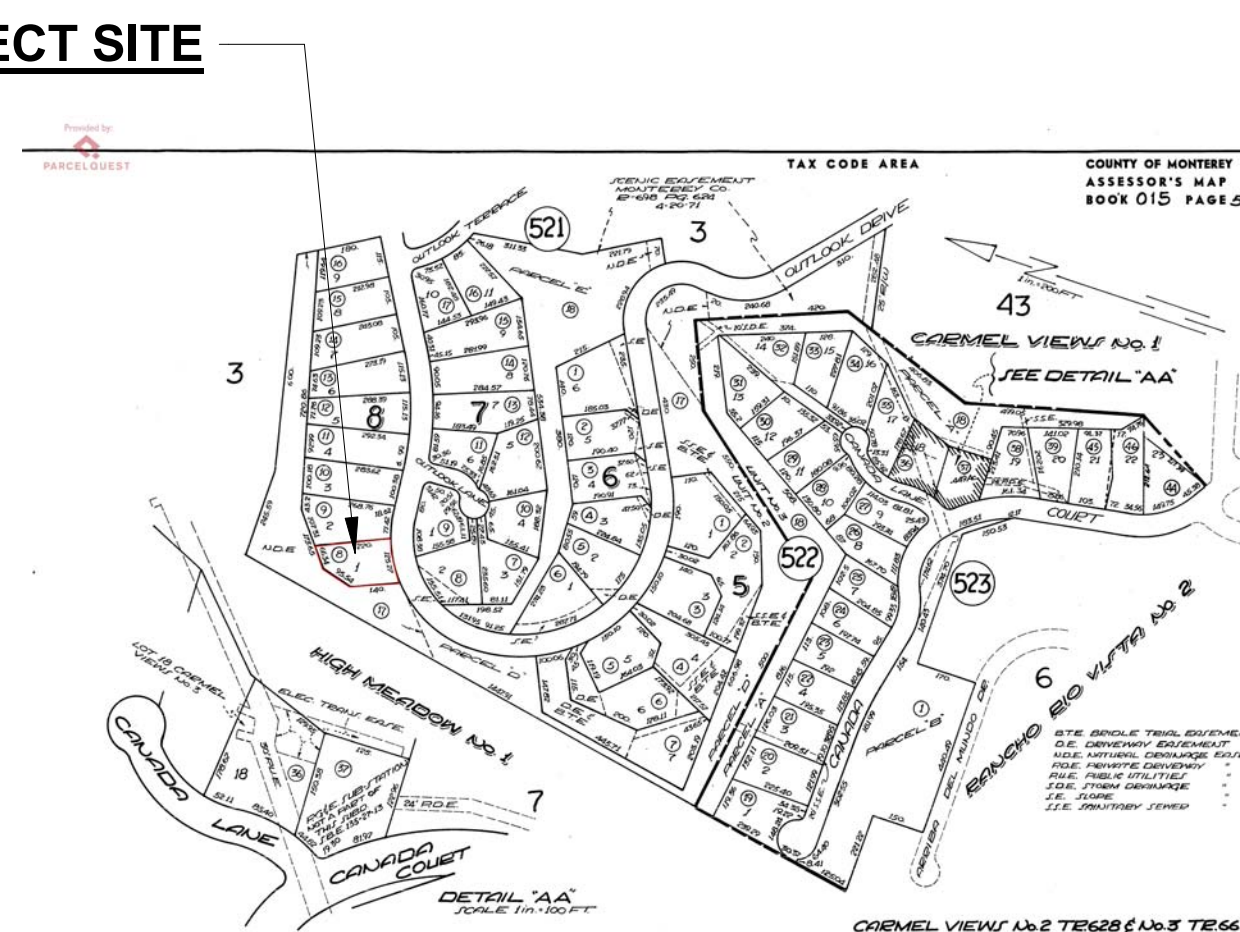
SCOPE OF WORK

REMODEL OF AN (E) 2,645 SF SINGLE STORY RESIDENCE AND THE CONSTRUCTION OF A 355 SF ADDITION WITH SKYLIGHT. SCOPE OF WORK ALSO INCLUDES THE REPLACEMENT OF EXTERIOR SIDING, DOORS, AND WINDOWS. PROPOSED GRADING WILL INCLUDE THE IMPORT OF 14.48 CU YDS OF FILL. 4 FRUIT TREES ARE PROPOSED AND PLANTERS FOR HERB GARDEN.

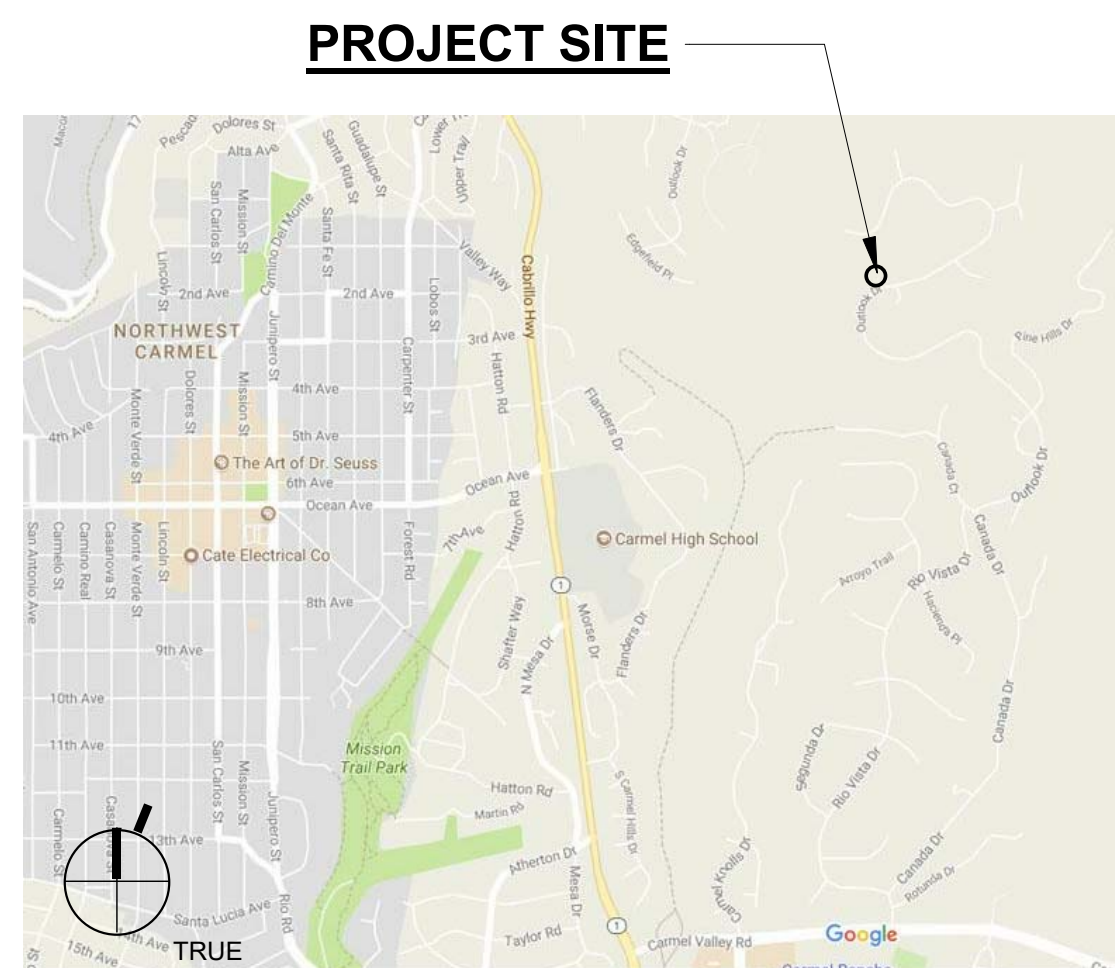
PROJECT TEAM

| | |
|------------------|---|
| OWNER | MAL SCHWARTZ & LAURA TRYON C/O ARCHITECT |
| ARCHITECT | STUDIO CARVER ARCHITECTS P.O. Box 2684, Carmel, CA 93921 Phone: (831) 624-2304 Fax: (831) 624-0364 E-mail: Robert@StudioCarver.com Contact: Robert Carver, AIA, LEED AP |
| SURVEYOR | MONTEREY BAY ENGINEERS, INC. 607 Charles Ave. Suite B Seaside, CA 93955 Phone: (831) 899-7899 Fax: (831) 899-7879 E-mail: mbayengr@mbay.net |

PARCEL MAP



VICINITY MAP



PROJECT INFORMATION

| | |
|--|---|
| PROPERTY ADDRESS | 24980 OUTLOOK DR., CARMEL, CA 93923 |
| APN | 015-522-008-000 |
| ZONING | LDR/B-6-D-S-RAZ |
| GENERAL PLAN LAND USE DESIGNATION | RESIDENTIAL |
| TYPE OF CONSTRUCTION | TYPE V-B |
| OCCUPANCY GROUP | R-3 / SINGLE FAMILY RESIDENCE U / GARAGE |
| WILDLAND URBAN INTERFACE AREA (ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2016 CBC) | YES |
| AVERAGE NATURAL GRADE | ELEV. = 98' - 5" |
| ALLOWED HEIGHT LIMIT ABOVE A.N.G | 30' - 0" ELEV. = 128' - 5" |
| (E) HEIGHT ABOVE A.N.G. | 13' - 6" ELEV. = 111' - 11" |
| (P) HEIGHT ABOVE A.N.G | 14' - 0" ELEV. = 112' - 5" |

BUILDING AREA

| | | |
|---------------------------------|-------|----|
| (E) BUILDING AREA: | | |
| (E) RESIDENCE & GARAGE | 2,670 | SF |
| (E) DECKS (24" abv grade) | 176 | SF |
| (P) ADDITION | | |
| PROPOSED ADDITION | 355 | SF |
| REMODELED BUILDING AREA: | | |
| REMODELED RESIDENCE & GARAGE | 3,025 | SF |

LOT COVERAGE

| | |
|-------------------------------|--------------------------|
| LOT SIZE | .57651 ACRES (25,113 SF) |
| ALLOWABLE LOT COVERAGE | 25% OR 6,278 SF |
| (E) LOT COVERAGE: | |
| (E) RESIDENCE & GARAGE | 2,670 SF |
| (E) DECKS (24" abv grade) | 176 SF |
| TOTAL | 2,846 SF OR 11.3% |
| NEW LOT COVERAGE | |
| REMODELED RESIDENCE & GARAGE | 3,025 SF |
| EXISTING & NEW DECKS | 0 SF |
| TOTAL | 3,025 SF OR 12% |

GRADING ESTIMATES

| | |
|---------------------------|----------------|
| GRADING CUT | 23.82 CU.YDS. |
| GRADING FILL | 126.12 CU.YDS. |
| GRADING NET IMPORT | 102.3 CU.YDS. |

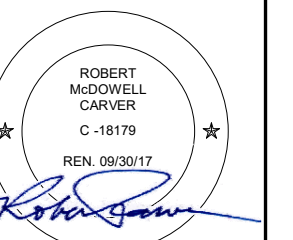
MISCELLANEOUS

| | |
|----------------------------|----------------------|
| WATER SOURCE | CAL AM |
| SEWER SYSTEM | CAWD |
| TREES TO BE REMOVED | 0 |
| REQUIRED PARKING | 2 SPACES |
| EXISTING PARKING | 4 SPACES (1 COVERED) |

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**ARCHITECTURAL
COVER SHEET**

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Job: 1713

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9/29/2017

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Carmel Highlands/Cypress Fire Protection Districts

Date: 9/5/2017 Project Address: 24980 Outlook Dr., Carmel CA 93923 Owner Name: Malvin Schwartz & Laura Tryon

Assessor's Parcel Number: 015-522-008-000 Permit Number: PLN170572

We are in the process of reviewing construction plans for the above project and need your assistance. The Pebble Beach Community Services District has adopted Section 102.1 Subsection 5 of the Monterey Fire Code Amendments of the 2013 California Fire Code. This section requires residential sprinklers to be installed in major remodels and additions. If the project meets the requirement of this section, the entire residence must have a residential sprinkler system installed.

Section 102.1 Subsection 5 Monterey Fire Code Amendments of the 2013 California Fire Code

Existing structures Alterations and repairs. All new work performed in alterations and/or repairs to existing structures shall comply with the current provisions of this Chapter. When alterations and/or repairs result in the removal, alteration, modification, replacement of fifty percent or more of the external walls of a building, or result in the removal, modification, replacement and/or repair of fifty percent or more of the existing internal structural and/or non-structural framework, independently or in combination thereof, within a five year period, the entire building shall be made to conform to the current provisions of this Chapter. The determination under this section of the requirement for upgrading an existing structure to full conformance with current provisions of this Chapter shall be at the sole discretion of the Fire Code Official.

COMMENTARY: This section is for all projects involving structural modifications. The following "formula" has been agreed upon by the Fire Districts Committee of the Monterey County Fire Prevention Officers Association:

Table with 3 columns: STEP, ACTION, LINEAR FEET. It lists 7 steps for determining the length of walls to be replaced or removed during a remodel.

I attest that the measurements and calculations stated above for this project are true and correct.

Completed by:

Printed Name: Robert Carver Signature: Representing Firm: Studio Carver Architects

Certification/License Number Phone Number 831.622.7837 E-mail robert@studiocarver.com

FIRE DEPT. NOTES

- 1. (FIRE007) - DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED...
2. (FIRE008) - ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FEET FROM THE ROADWAY...
3. (FIRE011) - ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241...
4. (FIRE014) - FOR DEVELOPMENT OF STRUCTURES TOTALING LESS THAN 3,000 SQUARE FEET ON A SINGLE PARCEL...
5. (FIRE015) - A FIRE HYDRANT OR FIRE VALVE IS REQUIRED. THE HYDRANT OR FIRE VALVE SHALL BE 18 INCHES ABOVE GRADE...
6. (FIRE019) - MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES...
7. (FIRE022) - THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S)...
8. (FIRE025) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED IN LIEU OF SMOKE ALARMS...
9. (FIRE027) - ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS A ROOF CONSTRUCTION.

GENERAL NOTES

- 1. SPECIAL INSPECTIONS, BY GEOTECH ENGINEER, ARE REQUIRED FOR EXISTING SITE SOIL CONDITIONS, FILL PLACEMENT AND LOAD-BEARING REQUIREMENTS...
2. DEVELOPMENT AND RELATED CONSTRUCTION ACTIVITIES SUCH AS SITE CLEANING, GRADING, SOIL REMOVAL OR PLACEMENT WHICH CAUSES A PERMANENT CHANGE TO EXISTING SITE CONDITIONS ARE PROHIBITED ON SLOPES GREATER THAN OR EQUAL TO 30%...
3. THE SLOPE OF CUT AND FILL SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE...
4. FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIALS...
5. ALL FILL MATERIAL SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557...
6. A 'FINAL SOILS LETTER' FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK COMPLETED WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION...
7. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR...
8. ANY DISCREPANCIES / QUESTIONS SHALL BE REFERRED TO ARCHITECT VIA A WRITTEN R.F.I...
9. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS...
10. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SCHEDULE THE WORK TO EXPEDITE COMPLETION OF THE WORK...
11. DIMENSIONS ARE TO THE BUILDING GRID LINES OR THE FACE OF CONCRETE/ FACE OF STUD UNLESS OTHERWISE NOTED...
12. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION...
13. CALIFORNIA BUILDING STANDARDS CODE, 2016 EDITION: AS APPLICABLE, ALL MATERIALS, WORKMANSHIP, AND METHODS SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE...
14. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE...
15. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION...
16. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED...
17. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE...
18. SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE...
19. NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION...
20. NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES...
21. ALL HOSES USED FOR ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE...
22. GLAZING USED IN DOORS, PANELS OF SHOWER AND TUB ENCLOSURES AND GLASS GUARD RAILS SHALL BE FULLY TEMPERED GLASS OR LAMINATED SAFETY GLASS...
23. SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT OF 72" ABOVE DRAIN INLET...
24. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST M6-1R...
25. IN ADDITION TO THE REQUIRED PRESSURE OR COMBINATION PRESSURE AND TEMPERATURE RELIEF VALVE...
26. THE CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTION TO AVOID GALVANIC REACTION IN ALL METAL COMPONENTS...
27. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW FOR CASEWORK, MILLWORK, STRUCTURAL STEEL, STAIRS AND OTHER ITEMS...
28. ALL MATERIALS TO BE NEW...
29. IN ADDITION TO THE DEMOLITION SPECIFICALLY SHOWN, CONTRACTOR SHALL CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND WORK TO PROCEED...
30. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR CASEWORK, FIXTURES, ELECTRICAL ITEMS, RESTROOM ACCESSORIES...
31. CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS INCLUDING THE BUILDING PERMIT.

PLUMBING NOTES

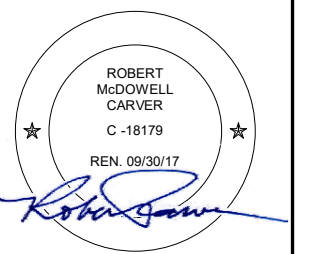
- 1. ALL PLUMBING FIXTURES ARE REQUIRED TO BE LISTED BY AN ACCEPTABLE NATIONALLY RECOGNIZED TESTING LABORATORY.
2. PER CPC 2016, MAXIMUM PLUMBING FIXTURE FLOW RATES SHALL BE:
TOILET 1.28 GAL
SINK FAUCET 1.5 GPM
SHOWER VALVE 2.0 GPM
KITCHEN FAUCET 1.8 GPM
DISHWASHER 2.0 GPM
CLOTHES WASHER 2.0 GPM
3. THIS IS A PARTIAL LIST OF PRIMARY PLUMBING FIXTURES, AND IS NOT INTENDED AS A COMPREHENSIVE LIST OF ALL PLUMBING FIXTURES...
4. SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE...
5. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE...
6. PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE SPECIFIED PERFORMANCE REQUIREMENTS OF SECTION 4.303.3 OF CGCS.
7. EXTERIOR HOSE BIBS: PROVIDE ANTI-SIPHON DEVICE AT ALL HOSE BIBS...

CAL GREEN NOTES

- 1. MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED...
2. AT THE TIME OF FINAL INSPECTION, AN 'OPERATION AND MAINTENANCE MANUAL' SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGSC SECTION 4.410.1.
3. LOW VOC ADHESIVES, SEALANTS, PAINTS, COATINGS, CARPET SYSTEMS, LOW FORMALDEHYDE WOOD, LOW VOC RESILIENT FLOORING SHALL COMPLY WITH CGSC SECTION 4.504...
4. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED...
A. MOISTURE CONTENT MUST BE VERIFIED IN COMPLIANCE WITH ALL OF THE FOLLOWING:
a. MOISTURE CONTENT MUST BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT TYPE MOISTURE METER.
b. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 TO 4 FEET FROM THE GRADE STAMPED END TO BE VERIFIED;
c. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO INSPECTOR...

SCHWARTZ TRYON REMODEL

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ARCHITECTURAL GENERAL NOTES

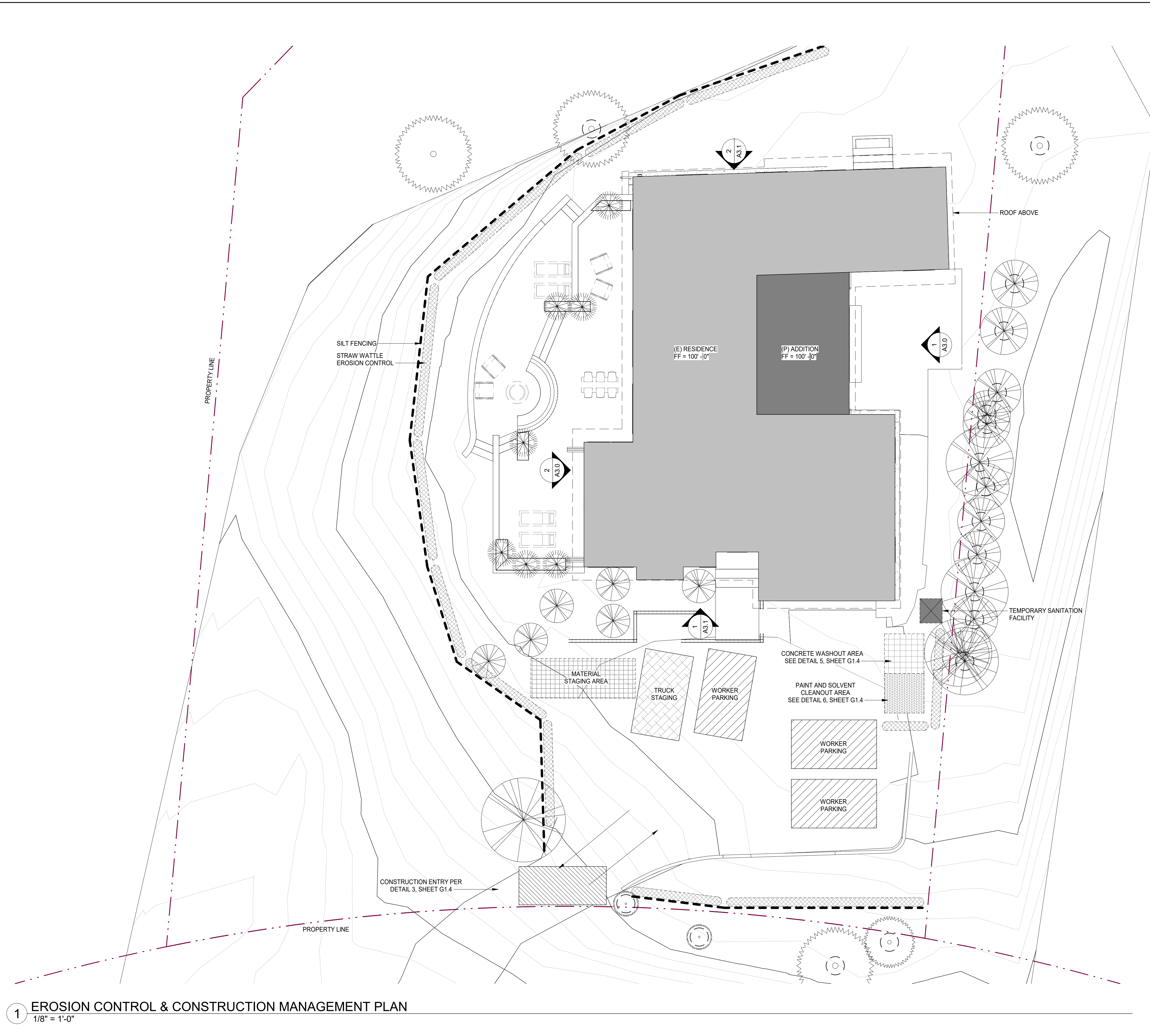
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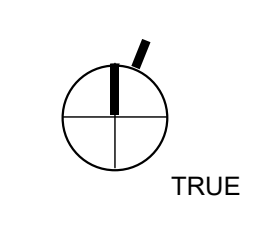
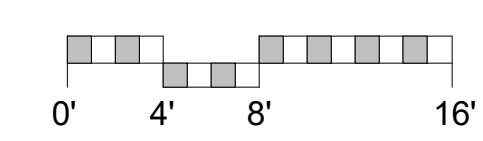


CONSTRUCTION MANAGEMENT NOTES:

1. DURATION OF CONSTRUCTION IS ESTIMATED TO BE 12-18 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
2. WORK SHALL BE PERFORMED ON WEEKDAYS BETWEEN THE HOURS OF 7 AM AND 7 PM AND ON SATURDAYS FROM 8 AM TO 6 PM. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR).
3. TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING HIGHWAY 1 VIA WESTON RIDGE RD.
4. THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
5. EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS PRIOR TO THE START OF CONSTRUCTION.
6. STERILE STRAW WATTLES SHALL BE PLACED BEFORE AND DURING RAIN STORM EVENTS TO CONTAIN STORM WATER AND EROSION DURING CONSTRUCTION.
7. ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES.
8. SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
9. USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
10. CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
11. DUST CONTROL MEASURES WILL BE IMPLEMENTED INCLUDING THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE.
12. ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 231.14.

STORMWATER DRAINAGE LEGEND

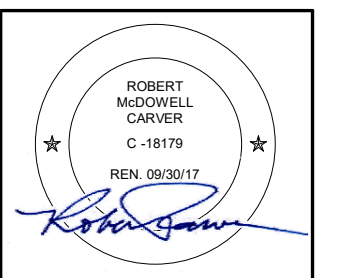
- CONSTRUCTION ENTRY
- WORKER PARKING
- EQUIPMENT PARKING AND MATERIAL STAGING AREA
- TRUCK STAGING
- PAINT AND SOLVENT CLEANOUT AREA
- CONCRETE WASHOUT AREA
- TREE AND ROOT PROTECTION MEASURES PER ARBORIST
- STRAW WATTLE EROSION CONTROL
- TRAFFIC
- SILT FENCE



1 EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN
1/8" = 1'-0"

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**ARCHITECTURAL
EROSION
CONTROL /
CONSTRUCTION
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EROSION CONTROL NOTES:

EROSION AND SEDIMENT CONTROL MEASURES

- THE FACILITIES SHOWN ON THE EROSION CONTROL PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.
- APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTER SEEDING. ANCHOR STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.
- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE, BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER, 2) BLOWN STRAW, 3) TACKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.

EMPLOYEE TRAINING

- STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - SPILL PREVENTION AND RESPONSE;
 - LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
 - GOOD HOUSEKEEPING;
 - FINES AND PENALTIES;
 - MATERIAL MANAGEMENT PRACTICES.

OBSERVATION AND MAINTENANCE

- VISUALLY OBSERVE AND MAINTAIN BMPs AS FOLLOWS:
 - INSPECT BMPs:
 - WEEKLY, AND
 - WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
 - WITHIN 48 HOURS AFTER EACH STORM EVENT.
 - REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
 - SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SLUMP IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
 - TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
 - REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
 - REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACK WALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

NON-STORM WATER DISCHARGES

- NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
- MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
- HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
 - FIRE HYDRANT FLUSHING,
 - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
 - PIPE FLUSHING AND TESTING,
 - WATER TO CONTROL DUST,
 - UNCONTAMINATED GROUND WATER FROM DEWATERING,
 - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
- THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
 - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
 - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
 - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
 - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
 - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
 - THE DISCHARGE IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS
 - THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT
- IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

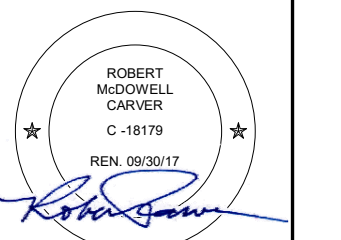
- ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
- THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 15 AND APRIL 15.
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
 - RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 - CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, AN IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.
- ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS SHALL CONSIST OF:
 - EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SLOPE STABILIZATION MATERIAL.
 - PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES OR OTHER VEGETATION, PURSUANT TO THE "COUNTY'S LANDSCAPE CRITERIA", WHEN THE PROJECT IS COMPLETED.
 - MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION, ON SLOPES LESS THAN 20%, TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.
- GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA HALL BE PLANTED UNDER THE PROVISIONS OF SECTION 16.08.340 TO CONTROL ROSION. (MCC 16.08.300 C.1)
- NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION. (MCC 6.08.300 C.2)
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)
- LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION REMOVAL SHALL BE KEPT TO THAT AMOUNT NECESSARY FOR BUILDING, ACCESS AND CONSTRUCTION AS SHOWN ON THE APPROVED EROSION CONTROL PLAN.
- THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL. (MCC 16.08.310 D)

EROSION CONTROL MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- STRAW BALE INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FOOT.

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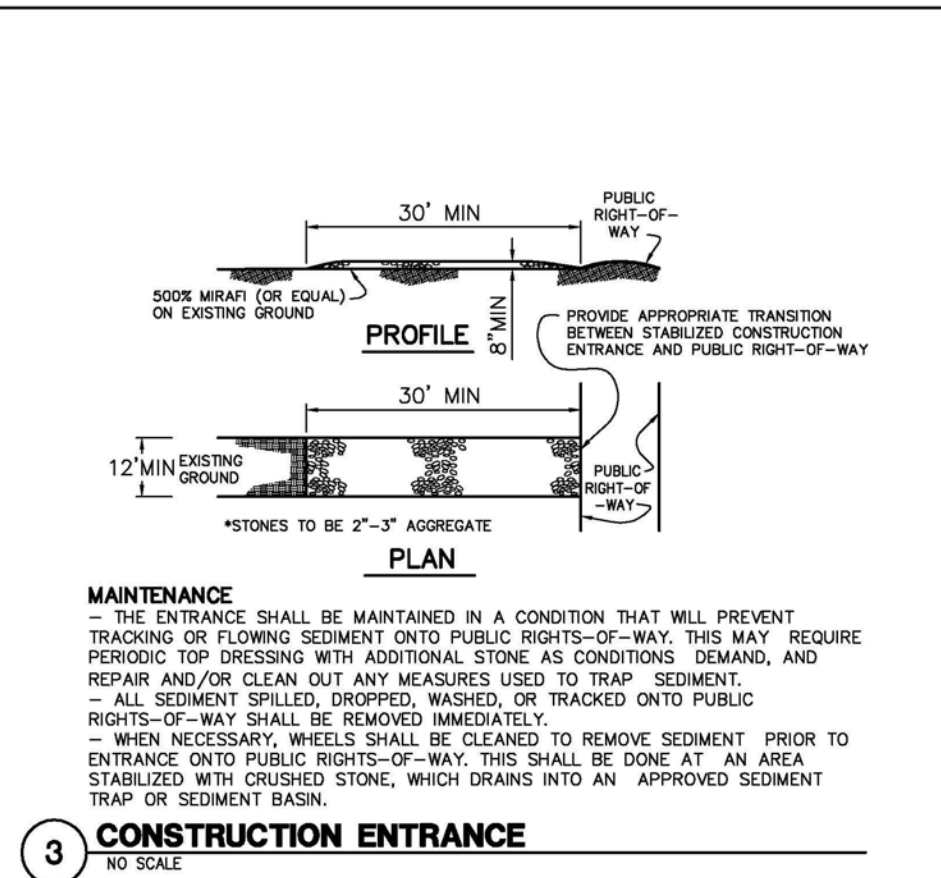
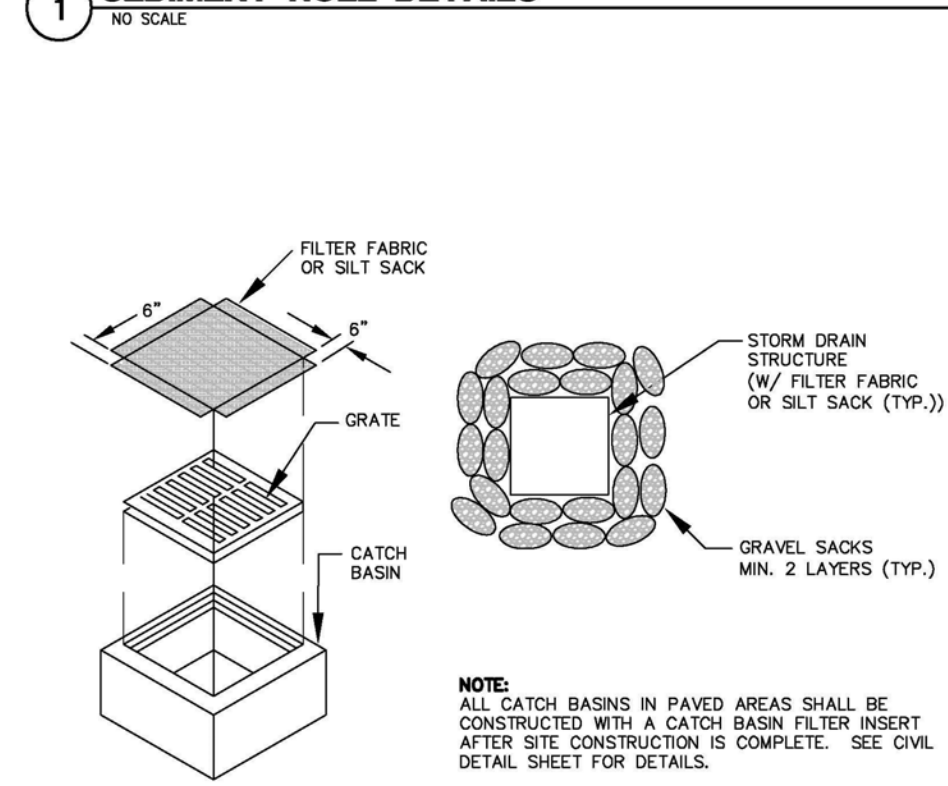
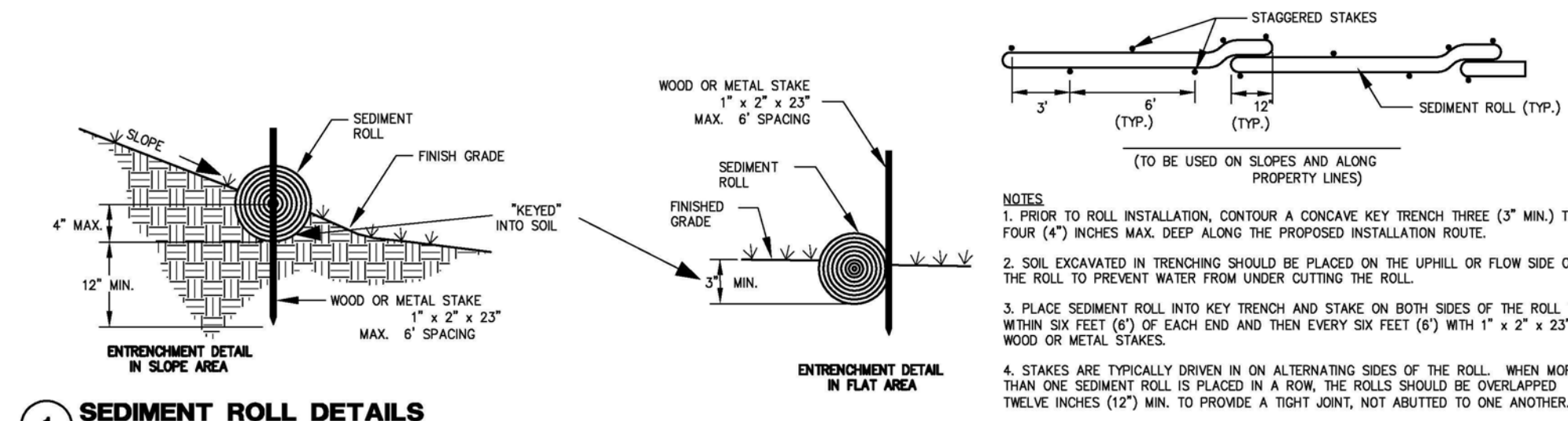
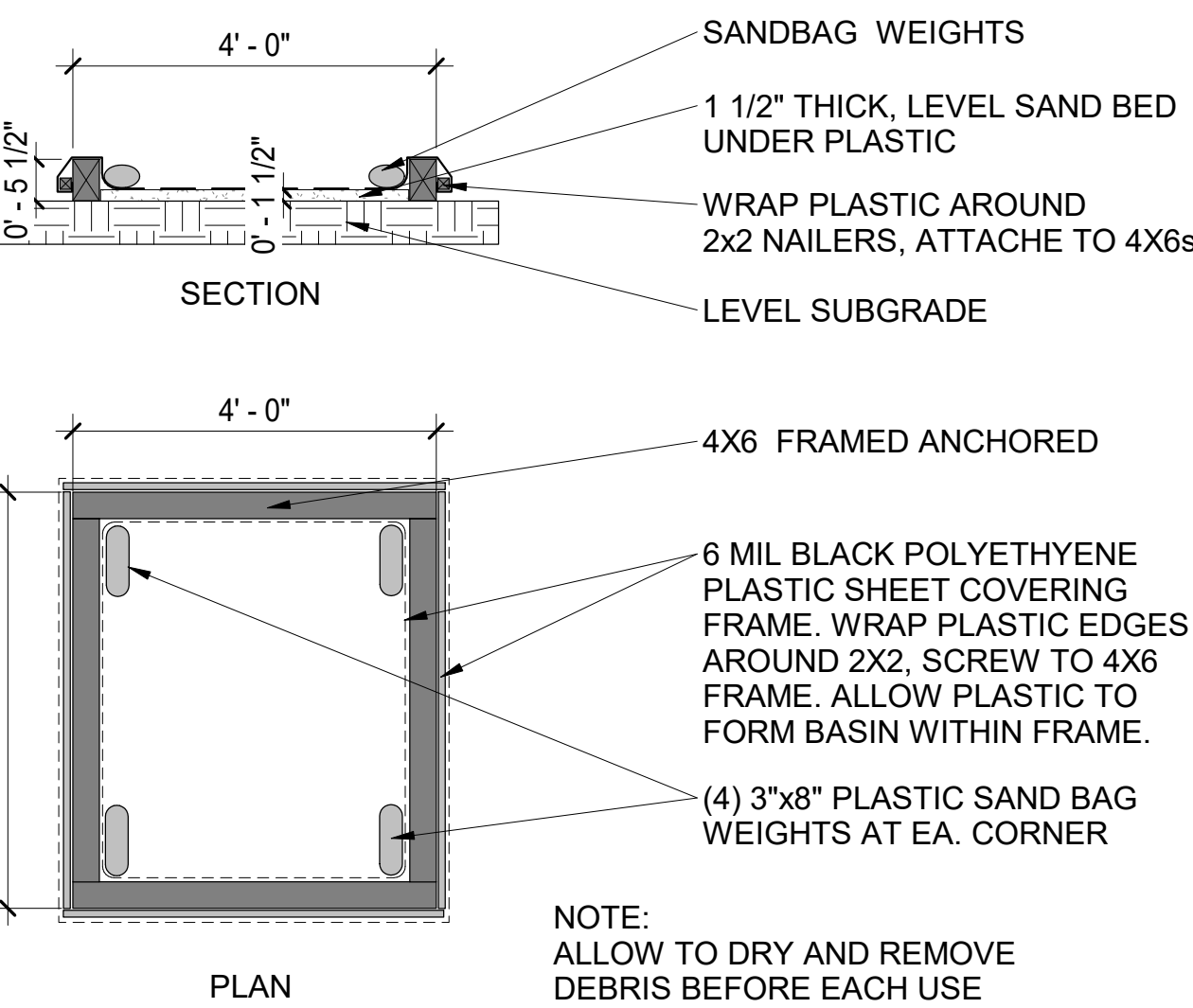


△ REVISION #

ARCHITECTURAL EROSION CONTROL / CONSTRUCTION MGMT NOTES

Scale: 1/2" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

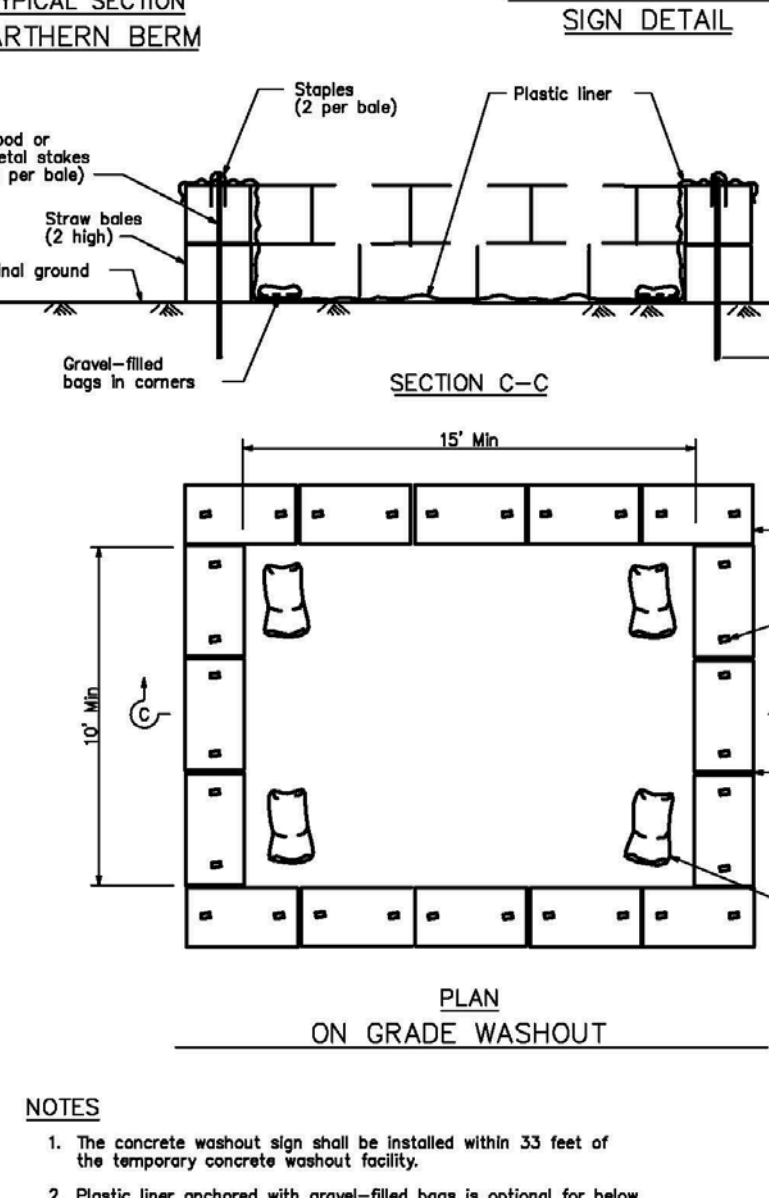
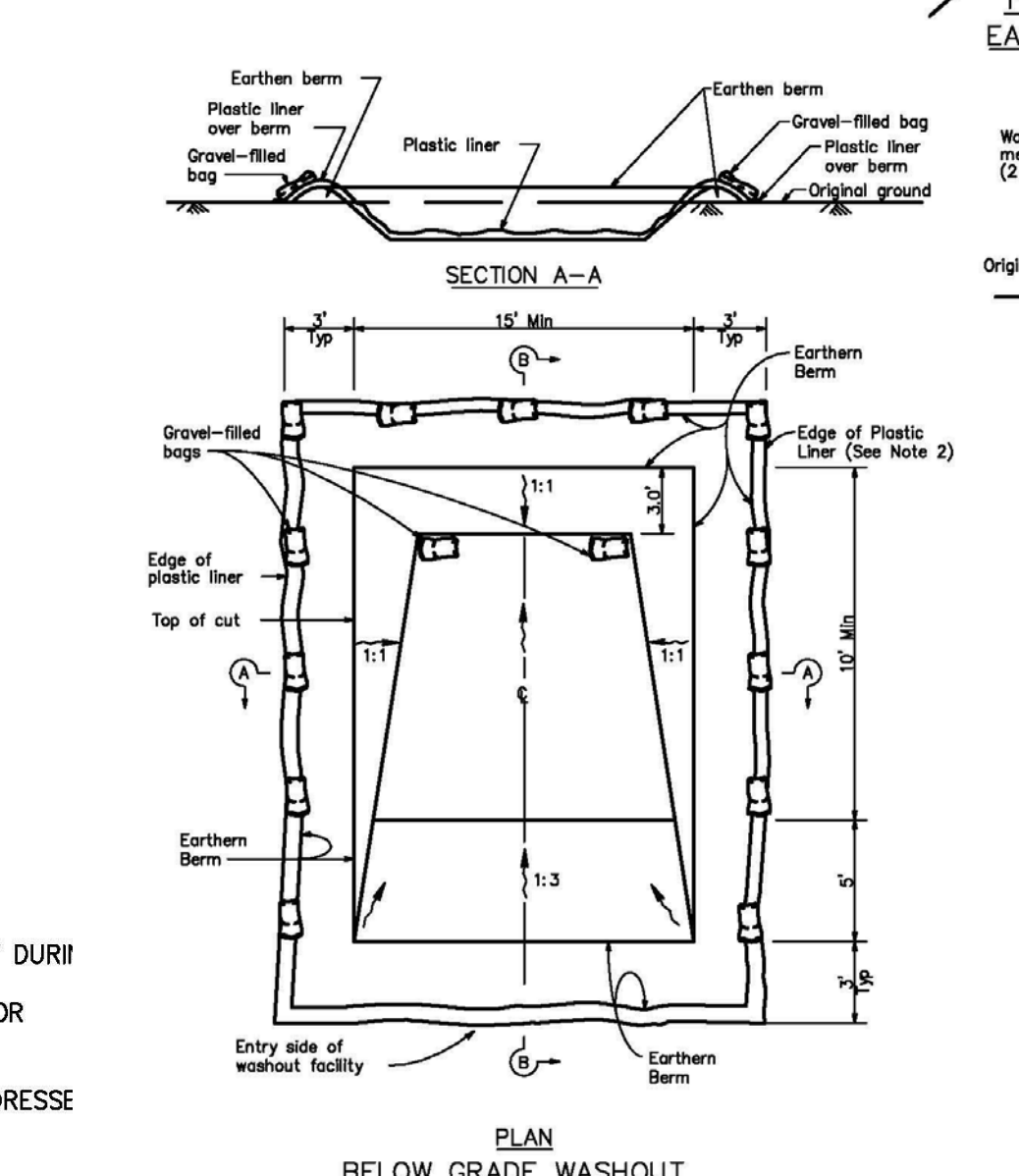
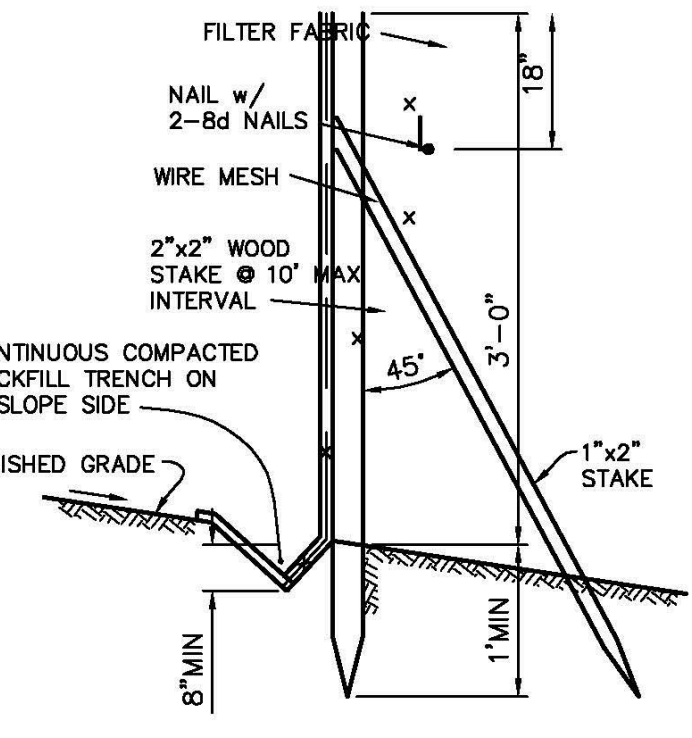
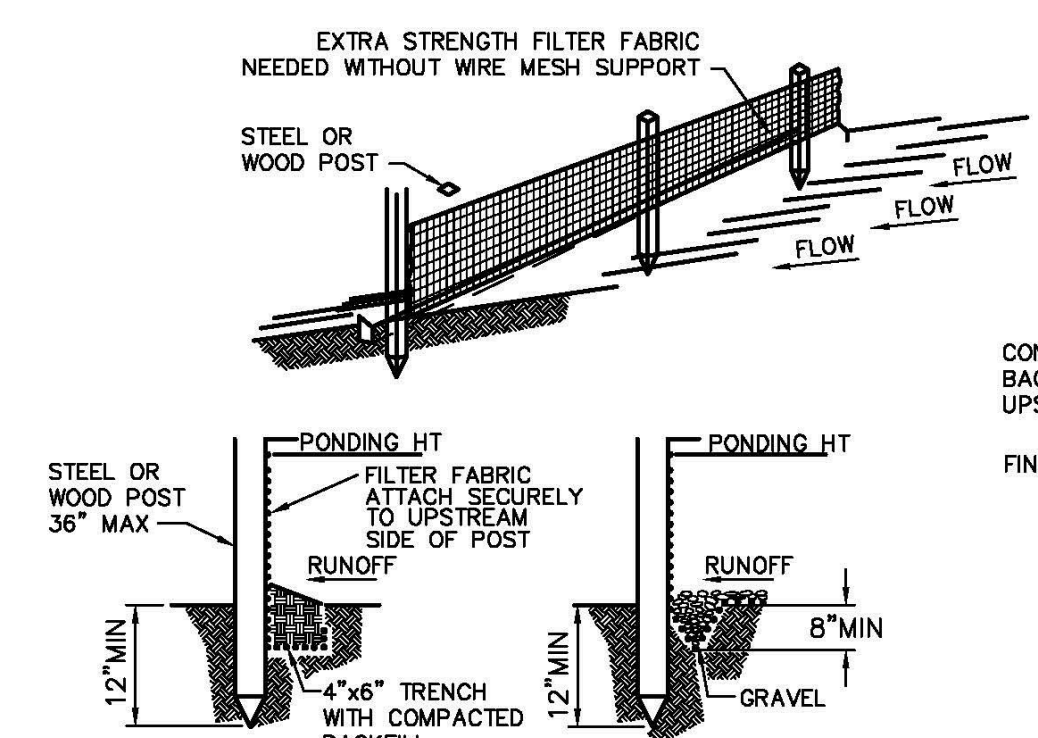
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6 PAINT AND SOLVENT CLEANOUT AREA
1/2" = 1'-0"

2 FABRIC INLET PROTECTION
NO SCALE

3 CONSTRUCTION ENTRANCE
NO SCALE



STANDARD DETAIL
TRENCH WITH NATIVE BACKFILL

ALTERNATE DETAIL
TRENCH WITH GRAVEL

MAINTENANCE
SILT FENCE AND FILTER BARRIERS SHALL BE INSPECTED DURING AND IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE DURING THE TIME THE FENCE OR BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDDED.
- SILT BULGES MUST BE REMOVED WHEN BULGES DEVELOP IN THE FENCE REGARDLESS OF DEPTH OF DEPOSITION.

SILT FENCE DETAIL
N.T.S.
NOTE: STRAW WATTLES MAY BE PLACED IN LIEU OF FILTER FABRIC.

BELOW GRADE WASHOUT

NOTES
1. The concrete washout sign shall be installed within 33 feet of the temporary concrete washout facility.
2. Plastic liner anchored with gravel-filled bags is optional for below grade concrete washout installations.

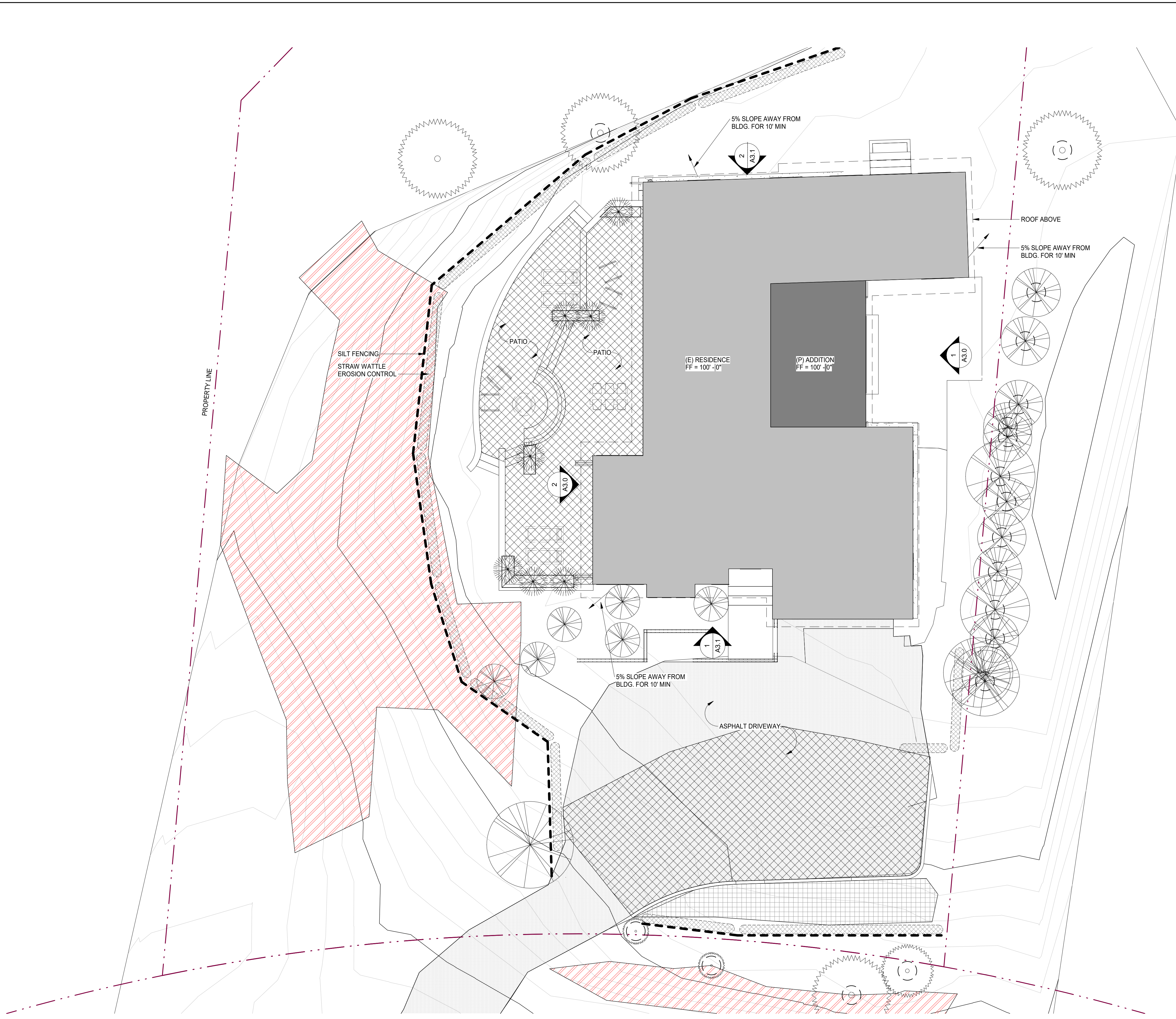
4 SILT FENCE DETAIL
NO SCALE

2 SILT FENCE DETAIL
NO SCALE

5 CONCRETE WASHOUT AREA
NO SCALE

NOT FOR CONSTRUCTION

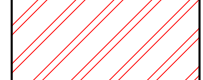
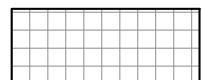
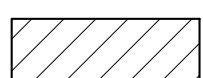

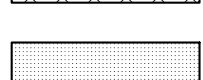
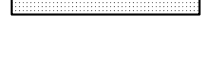


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GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".
4. ALL GRADING WORK SHALL CONFORM TO THE GEOTECHNICAL REPORT DATED 03/29/2017, PREPARED BY GRICE ENGINEERING.
5. TOPOGRAPHY WAS PREPARED BY MONTEREY BAY ENGINEERS, INC.
6. THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS AS REFERENCE ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.

LEGEND:

-  30% SLOPE OR GREATER
-  MAN-MADE SLOPE 30% OR GREATER
-  PROPOSED CUT
-  PROPOSED FILL
-  ASPHALT DRIVEWAY
-  WATER FLOW
-  SILT FENCING
-  STRAW WATTLE

GRADING ESTIMATES:

| | |
|--------------------|---------------|
| GRADING CUT | 3.44 CU.YDS. |
| GRADING FILL | 17.93 CU.YDS. |
| GRADING NET IMPORT | 14.48 CU.YDS. |

1 GRADING / SLOPE / DRAINAGE PLAN
1/8" = 1'-0"

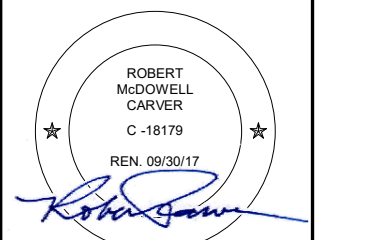
0' 4' 8' 16'

TRUE

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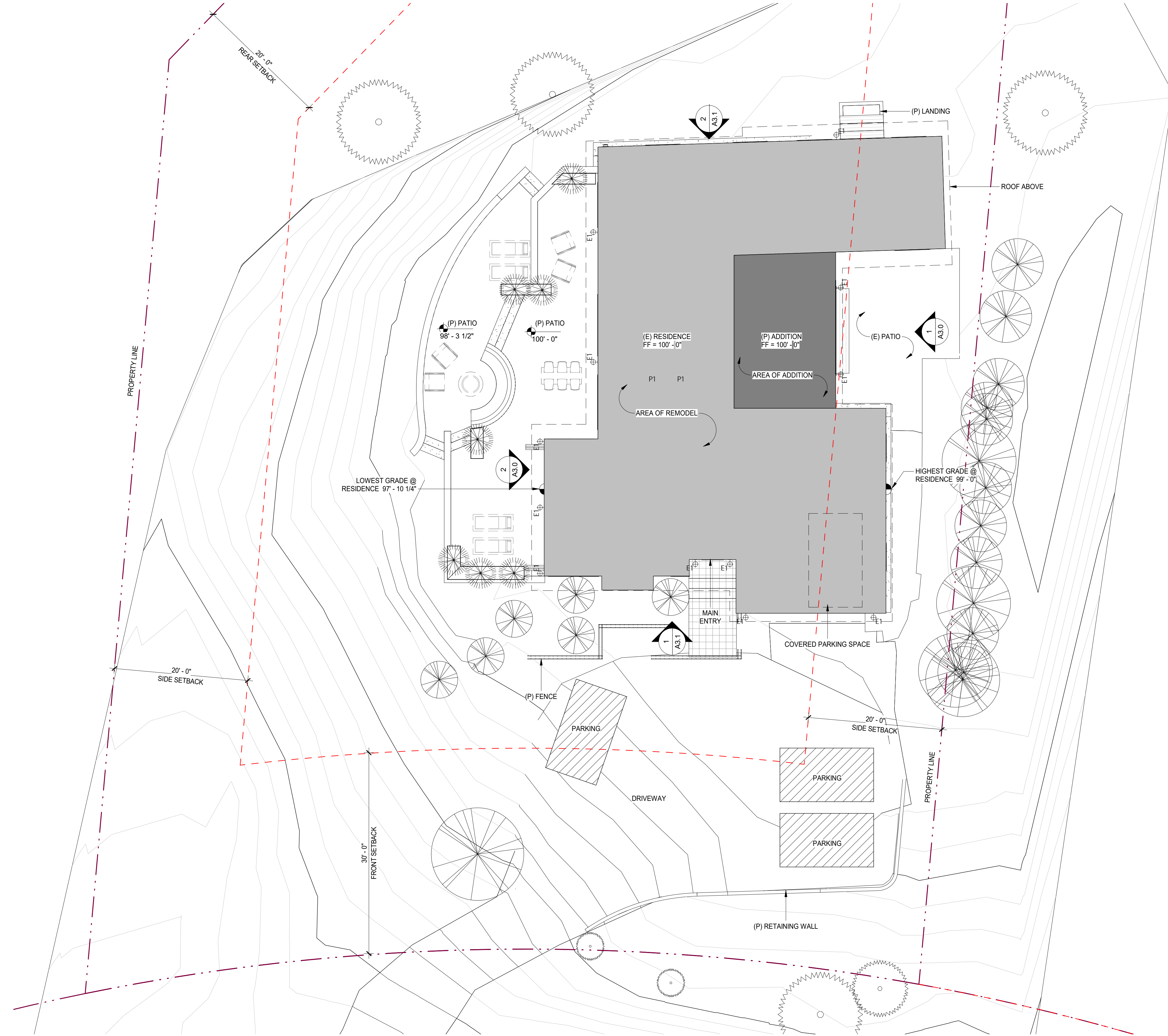
△ REVISION #

**ARCHITECTURAL
GRADING/SLOPE
MAP & DRAINAGE
PLAN**

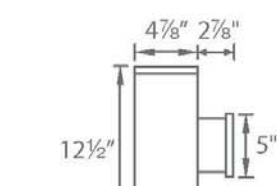
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@ 24x36
Drawn By: DP
Job: 1713

G1.5
9/29/2017

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TUBE ARCHITECTURAL DS-WD05-U WAC LIGHTING
Ultra Narrow Beam LED Wall Mounts Responsible Lighting®



Fixture Type:
Catalog Number:

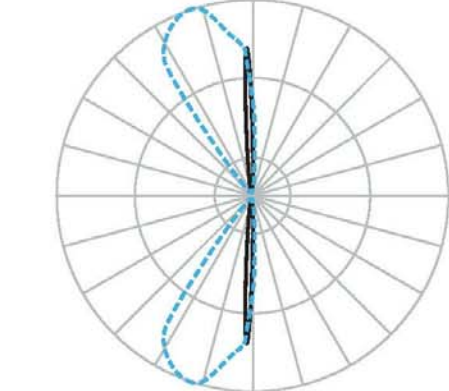
Project:
Location:

SPECIFICATIONS
Input: 120V - 277VAC 50/60Hz
Dimming: 0-10V Dimming; 100%-20%
EVL 100%-10% (120V only)
Standards: IP65 rated, ETL & cETL wet location listed
Operating Temp: -40°C to 40°C

PRODUCT DESCRIPTION
Precision engineering using the latest energy efficient LED technology with a built-in ultra narrow beam precision optics. An appealing cylindrical profile perfect for accent lighting.

- FEATURES**
- High performance facade LED wall mount light
 - Can be mounted upwards or downwards
 - Solid aluminum construction
 - 80,000 hour rated life
 - 5 year warranty

PHOTOMETRY
Read 0.2 footcandle at 15 feet distance



ORDERING NUMBER

| Distribution | Diameter | Watt | Beam | Color Temp. | CB | Lumens | CBCP | Light Direction | Finish | | | | |
|--------------|----------|------|------|-------------|----|--------|--------|-----------------|--------|-------|---|------------------|-------------|
| Double | DS-WD | 05 | 5" | 2700K | U | 27 | 2700lm | 85 | 125x2 | 180x2 | B | Towards the wall | BK Black |
| | | | | 3000K | U | 30 | 3000lm | 85 | 145x2 | 180x2 | B | Towards the wall | WT White |
| | | | | 3500K | U | 35 | 3500lm | 85 | 150x2 | 180x2 | B | Towards the wall | RZ Bronze |
| | | | | 4000K | U | 40 | 4000lm | 85 | 155x2 | 180x2 | B | Towards the wall | GH Graphite |

DS-WD05-U B

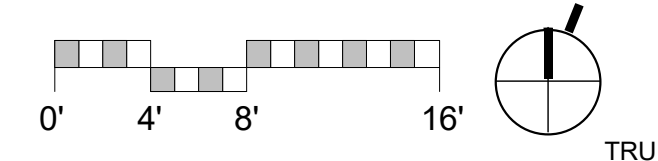
Example: DS-WD05-U30B-WT

wacighting.com Phone (800) 526-2588 Fax: (800) 526-2585
 Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
 Central Distribution Center 1600 Distribution Ct Lubbock Springs, GA 30022
 Western Distribution Center 1750 Anshuld Avenue Ontario, CA 91760

EXTERIOR LIGHTING FIXTURES

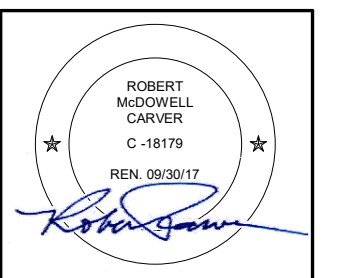
EXTERIOR ULTRA NARROW BEAM LED WALL MOUNTED LIGHT QUANTITY = 12

1 PROPOSED SITE PLAN
1/8" = 1'-0"



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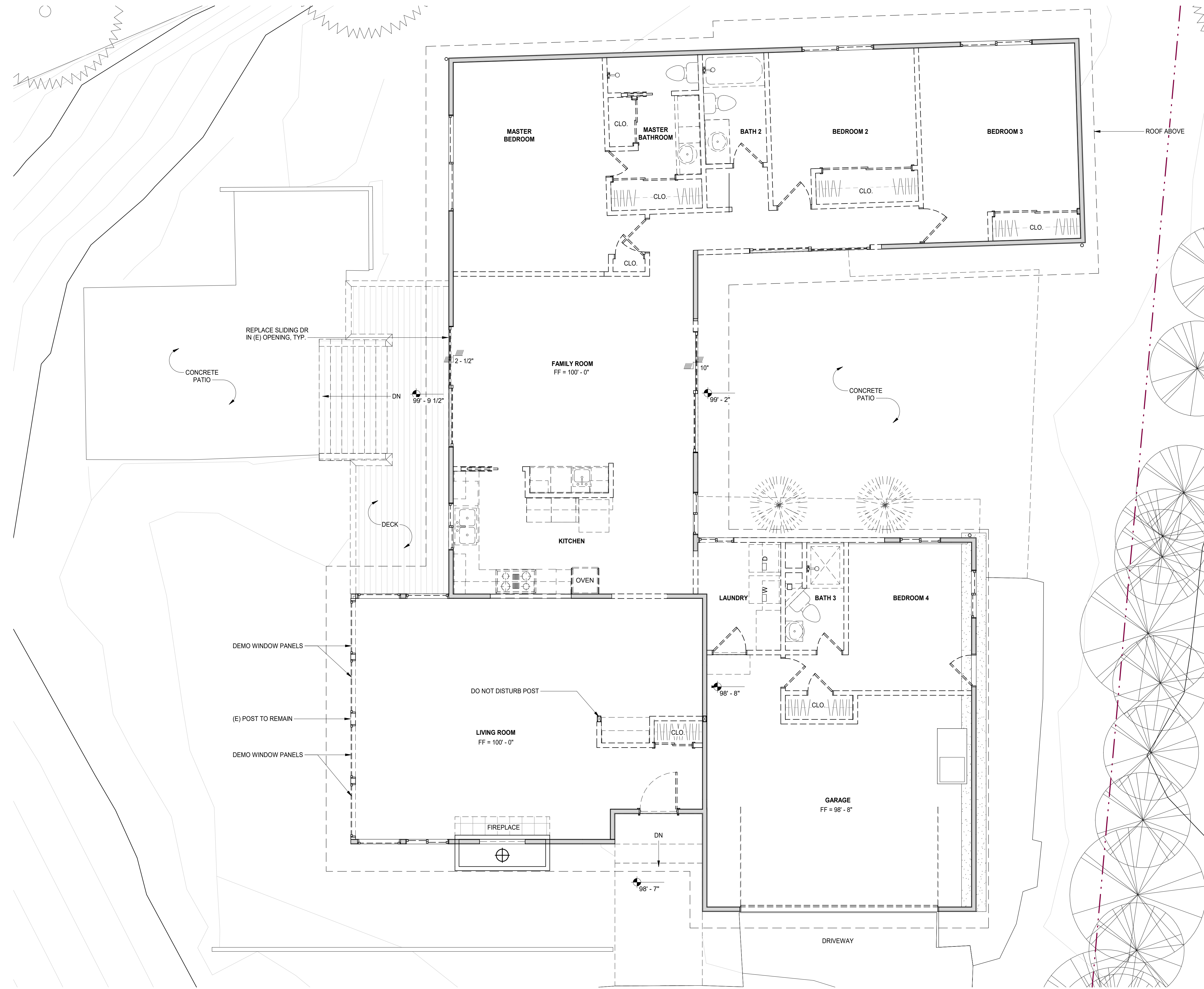
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ARCHITECTURAL SITE PLAN

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Drawn By: DP
Job: 1713

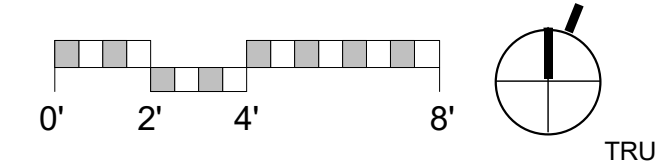
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DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING DOOR TO BE DEMOLISHED



1 LEVEL 1 - DEMOLITION
1/4" = 1'-0"

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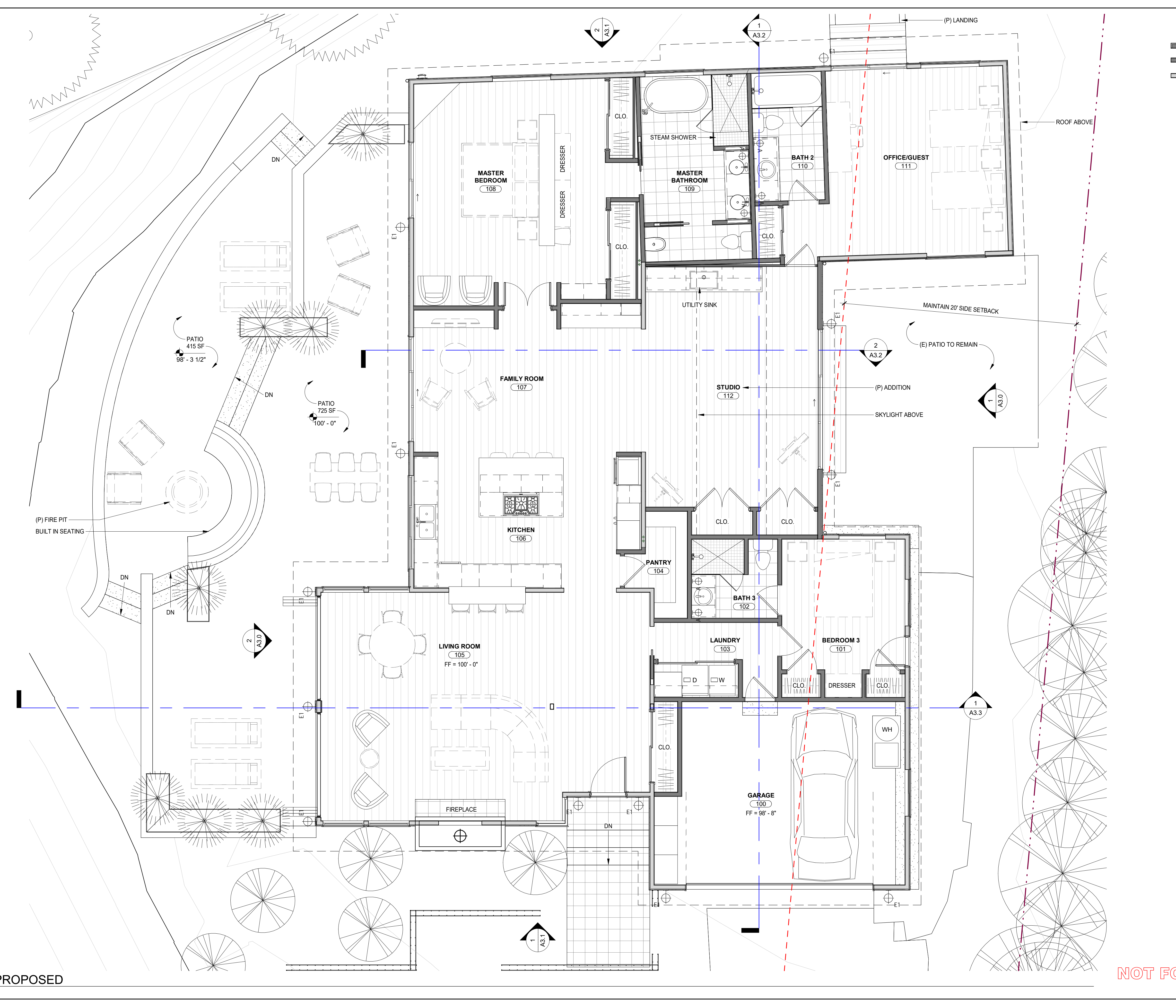
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EXISTING/DEMO
FLOOR PLAN**

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

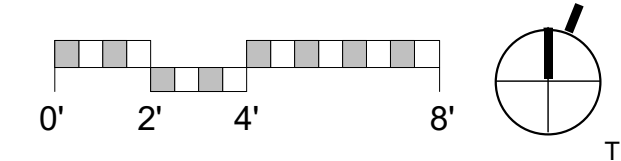
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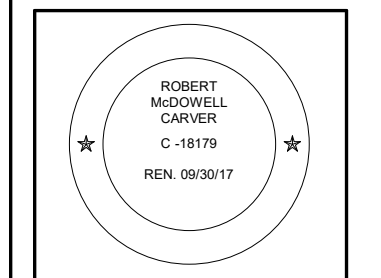
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING WALL TO REMAIN



1 LEVEL 1 - PROPOSED
1/4" = 1'-0"

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**ARCHITECTURAL
PROPOSED
FLOOR PLAN**

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

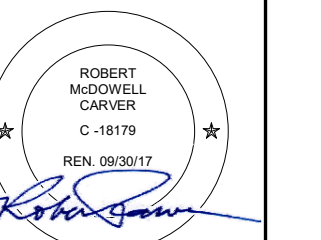
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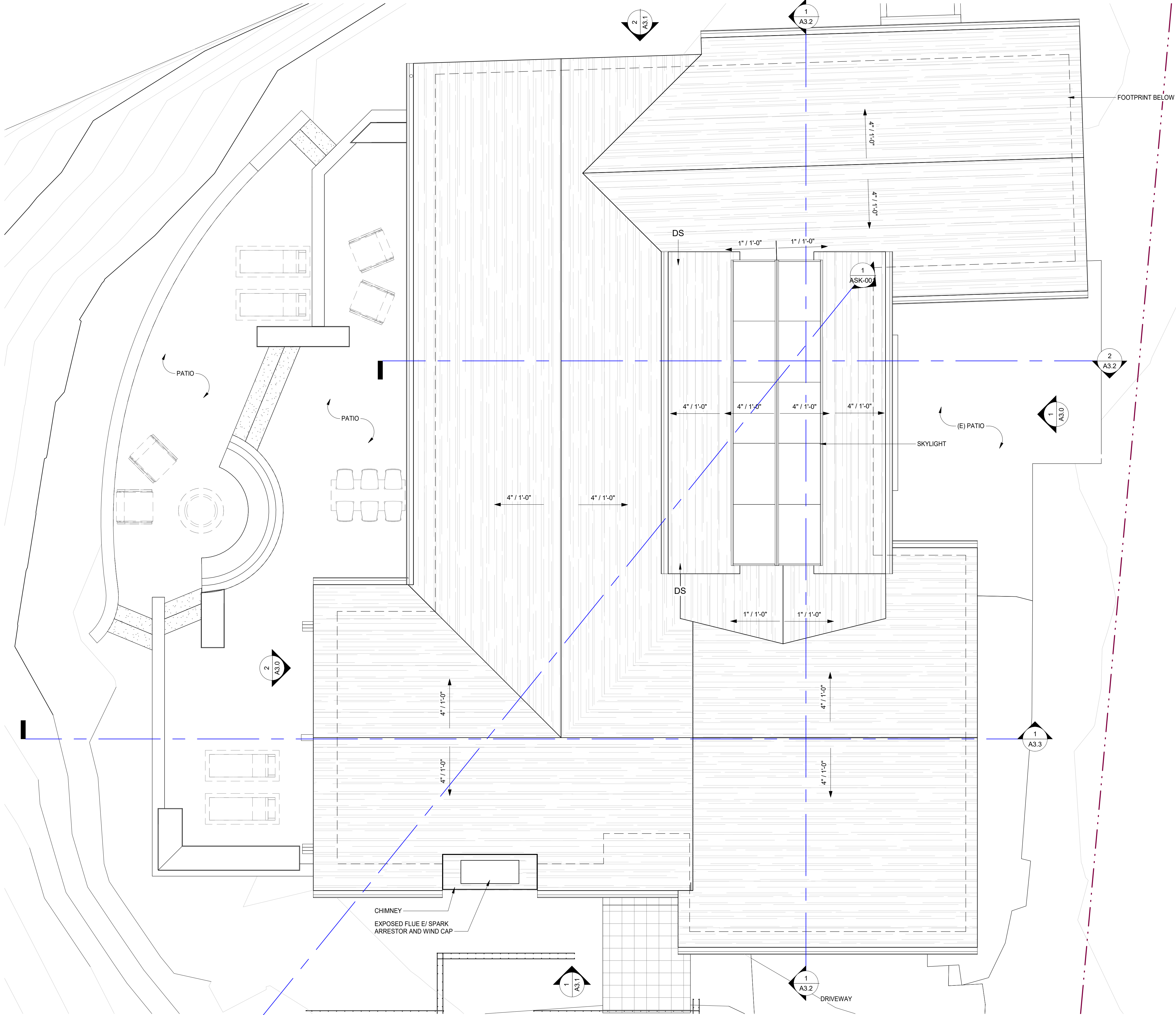
△ REVISION #

ARCHITECTURAL
PROPOSED
ROOF PLAN

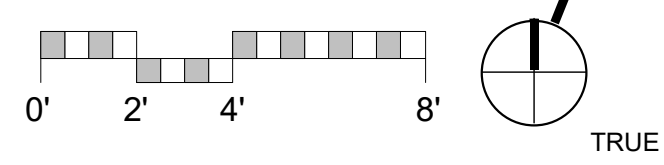
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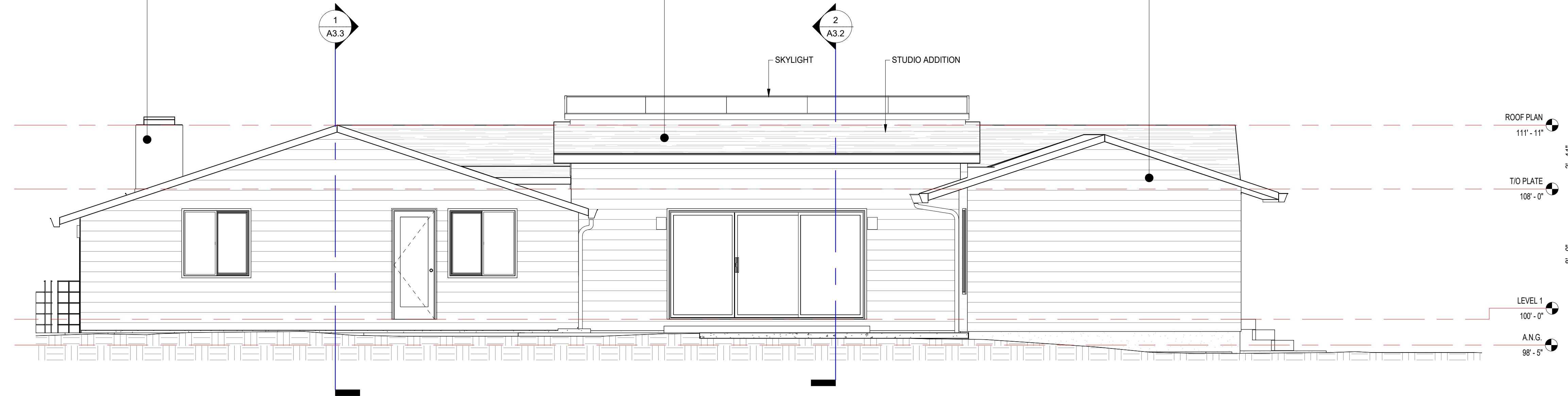
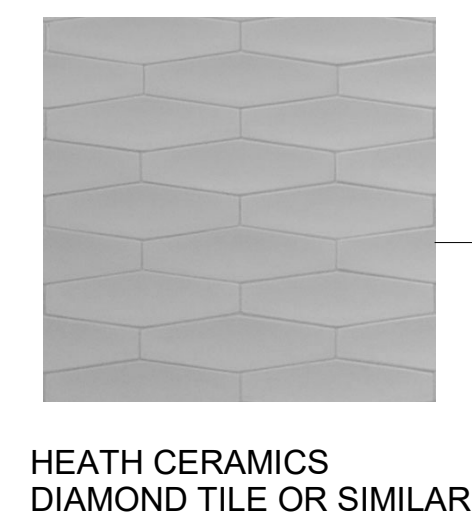


1 (P) ROOF PLAN
1/4" = 1'-0"

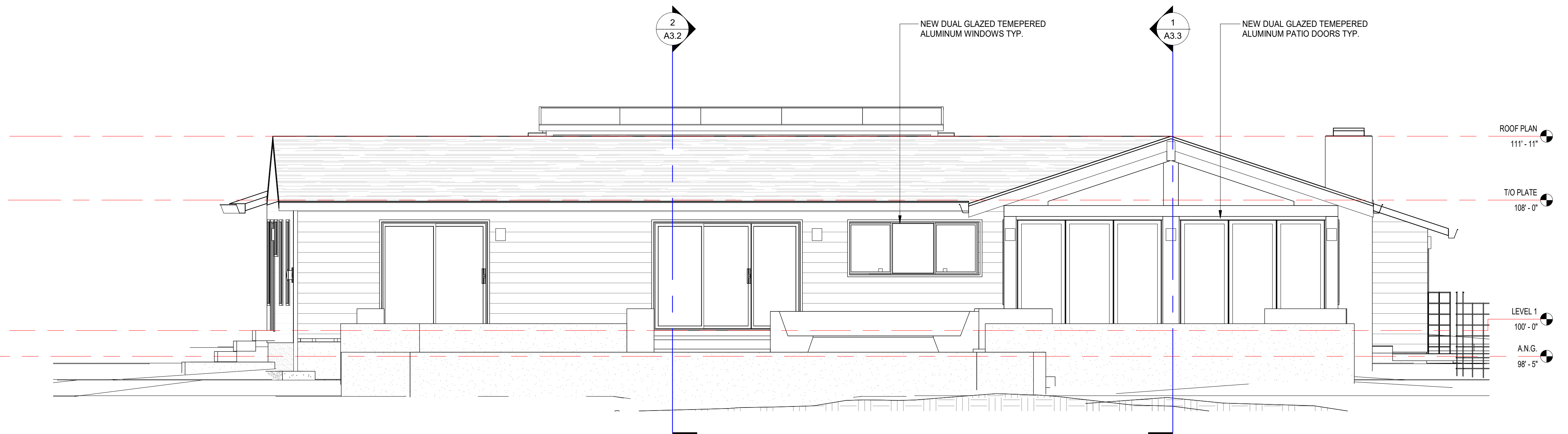


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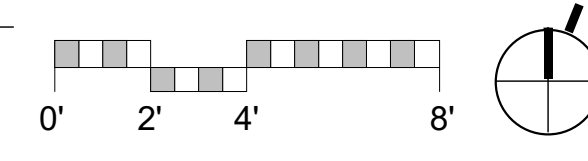
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1 (P) EAST ELEVATION
1/4" = 1'-0"



2 (P) WEST ELEVATION
1/4" = 1'-0"



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**ARCHITECTURAL
EXTERIOR
ELEVATIONS**

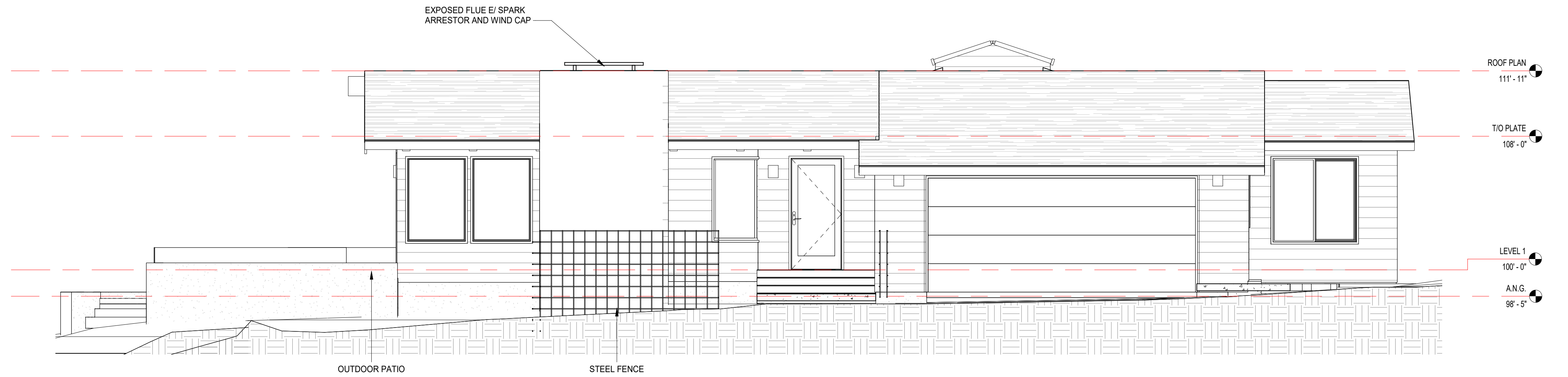
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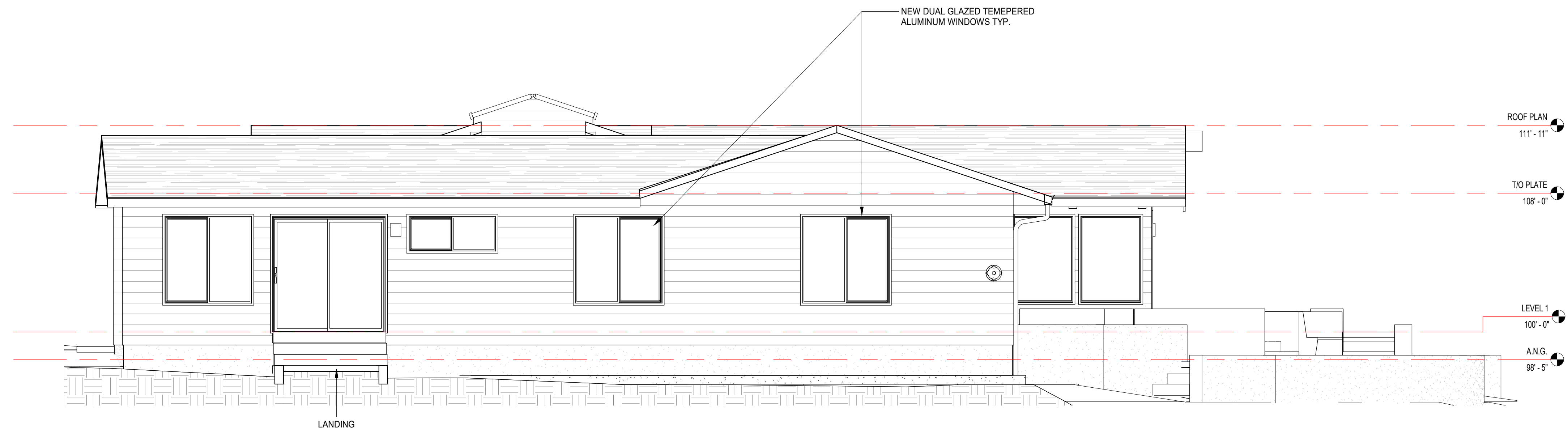
9/29/2017

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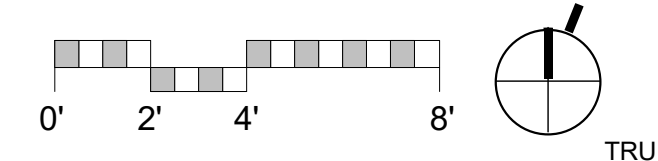
Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 (P) SOUTH ELEVATION
1/4" = 1'-0"



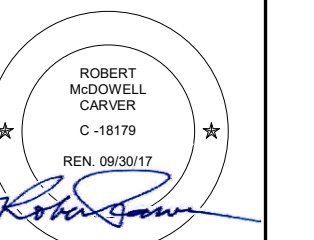
2 (P) NORTH ELEVATION
1/4" = 1'-0"



NOT FOR CONSTRUCTION

SCHWARTZ TRYON REMODEL

24980 OUTLOOK DR.,
CARMEL, CA 93923



PLANNING
DEPARTMENT
SUBMITTAL

PO BOX 2884 -
CARMEL CA 93921 - USA
T:831.622.7837 - F:831.624.0364
WWW.STUDIOCARVER.COM

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ARCHITECTURE + PLANNING + INTERIOR DESIGN



△ REVISION #

ARCHITECTURAL
EXTERIOR
ELEVATIONS

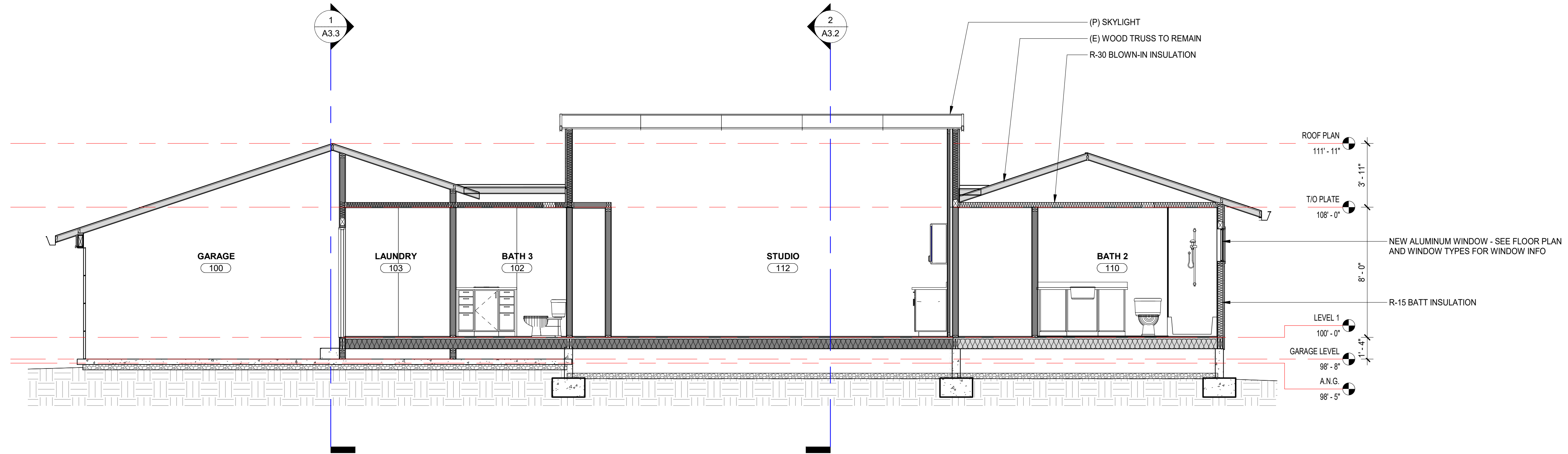
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

A3.1

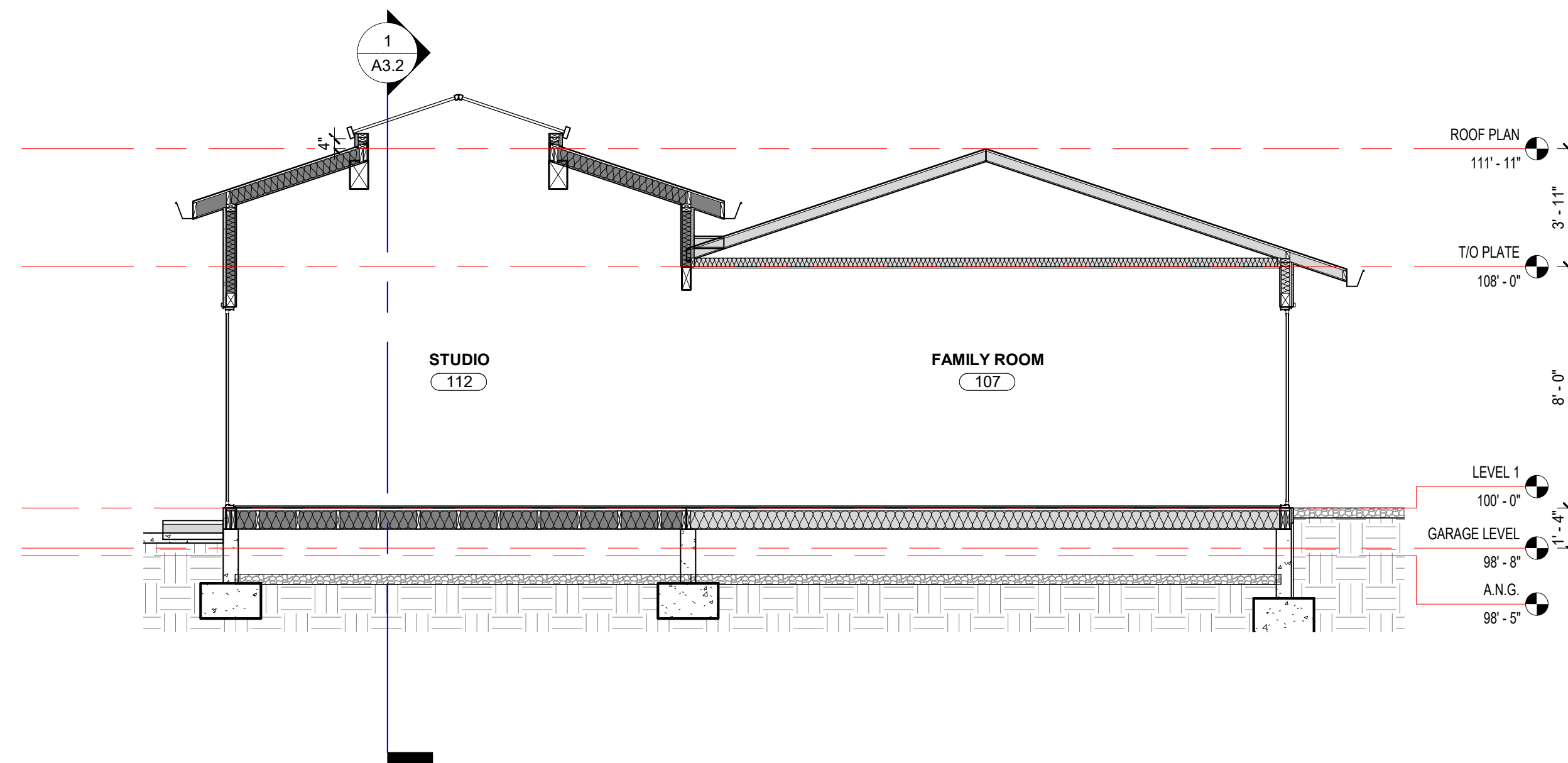
9/29/2017

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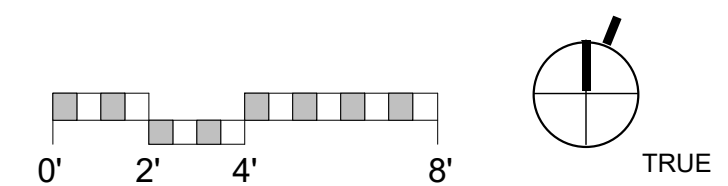
Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 N/S SECTION
1/4" = 1'-0"



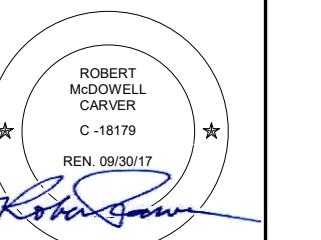
2 E/W SECTION
1/4" = 1'-0"



NOT FOR CONSTRUCTION

**SCHWARTZ
TRYON
REMODEL**

24980 OUTLOOK DR.,
CARMEL, CA 93923



PLANNING
DEPARTMENT
SUBMITTAL

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△ REVISION #

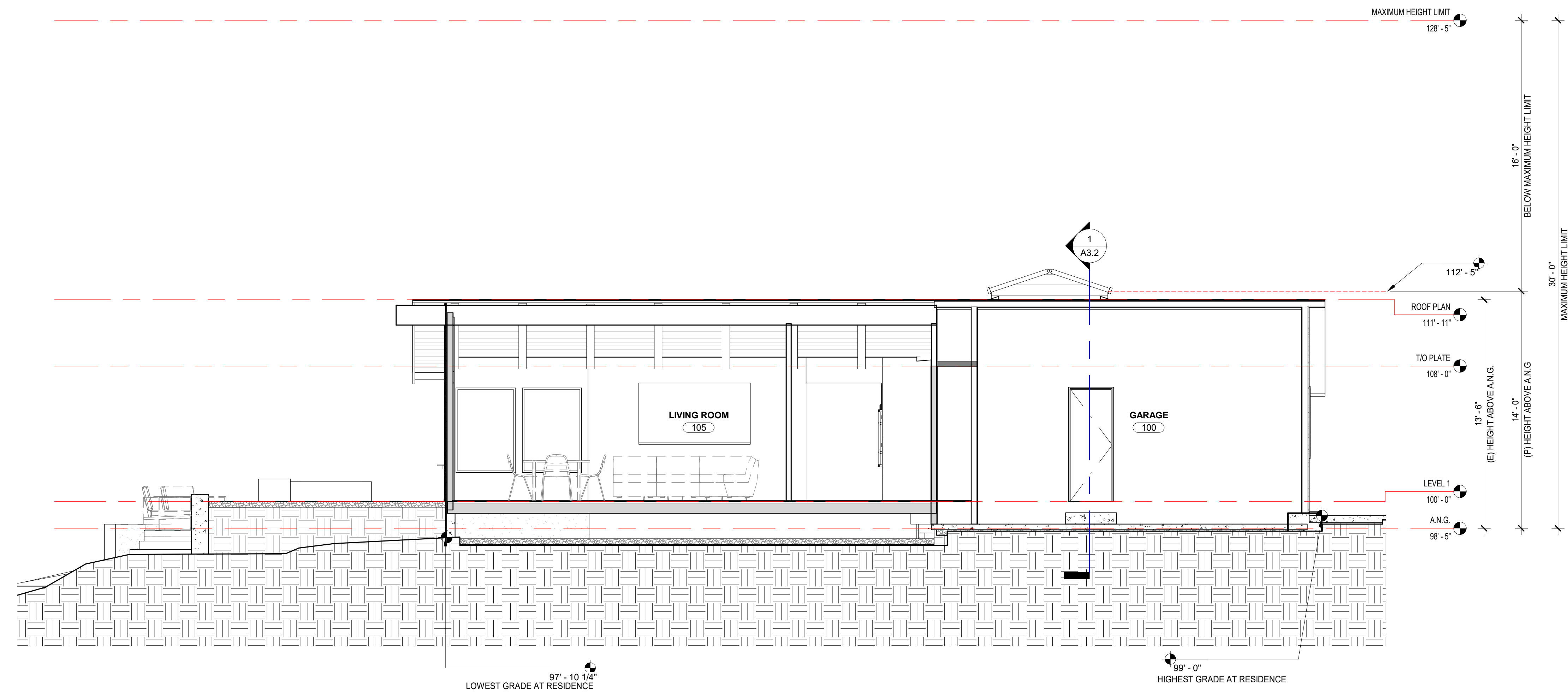
ARCHITECTURAL
BUILDING
SECTIONS

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

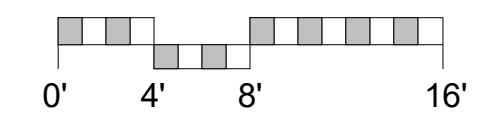
A3.2
9/29/2017

9/29/2017 10:16:10 AM

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. This is to the plans and specifications remains with the architect without prejudice. Visual records with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

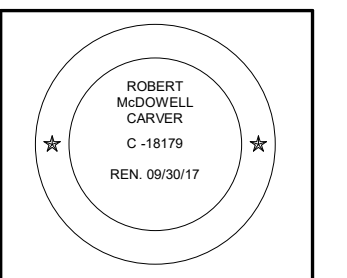


1 AVERAGE NATURAL GRADE SECTION
1/4" = 1'-0"



NOT FOR CONSTRUCTION

**SCHWARTZ
TRYON
REMODEL**
24980 OUTLOOK DR.,
CARMEL, CA 93923



PLANNING
DEPARTMENT
SUBMITTAL

PO BOX 2884
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△ REVISION #

**ARCHITECTURAL
BUILDING
SECTIONS**

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 1713

A3.3
9/29/2017

9/29/2017 10:16:22 AM

RECEIVED

MAY 14 2019

FILE #: DA190154



**MONTEREY COUNTY
RESOURCE MANAGEMENT AGENCY**

LAND USE & COMMUNITY DEVELOPMENT | PUBLIC WORKS & FACILITIES | PARKS
1441 Schilling Place, South 2nd Floor
Salinas, California 93901-4527

**MONTEREY COUNTY
RESOURCE MANAGEMENT AGENCY**

(831)755-4800
www.co.monterey.ca.us/rma

INLAND DESIGN APPROVAL APPLICATION FORM

ASSESSOR'S PARCEL NUMBER: 015-522-008-000

PROJECT ADDRESS: 24980 Outlook Drive, Carmel, CA

PROPERTY OWNER: Schwartz/Tryon Telephone: _____
Address: 24980 Outlook Drive Fax: _____
City/State/Zip: Carmel, CA 93923 Email: _____

APPLICANT: **Matt Hanner/ Carmel Building & Design** Telephone: **(831) 626-8606**
Address: PO Box 2201 Fax: **(831) 626-8607**
City/State/Zip: Carmel, CA 93921 Email: matth@carmelbuilding.com

AGENT: _____ Telephone: _____
Address: _____ Fax: _____
City/State/Zip: _____ Email: _____

Mail Notices to: Owner Applicant Agent
(Check only one)

PROJECT DESCRIPTION: (Attach Scope of Work) Install new 10' x 12' Tuff Shed Garden Shed.

MATERIALS TO BE USED: Grooved wood siding, composite shingles

COLORS TO BE USED: Walls and trim to be Delicate White, Shingles to be Desert Tan

I acknowledge that I will need a building permit and must comply with the Monterey County Building Ordinance and that this approval is for design of the structures and compliance with zoning regulations only. For properties served by Onsite Wastewater Treatment System (OWTS), the Environmental Health Bureau (EHB) will not review this application but may need to require redesign of the project in the subsequent construction permit application to address impacts related to the existing OWTS or future standby area. A project redesign may require a subsequent Design Approval application and additional fees.

PROPERTY OWNER/AGENT SIGNATURE: _____ DATE: 5/16/19

FOR DEPARTMENT USE ONLY

ZONING: LDR 1B-6-D-S-RAZ AREA PLAN: Carmel Valley Master Plan
ADVISORY COMMITTEE: Carmel Valley Advisory RELATED PERMITS: _____
PLANNER: Maric Isabel Sanchez
WITHIN ARCH BUFFER ZONE? YES NO ON SEPTIC SYSTEM (OWTS)? YES NO
LEGAL LOT: _____ YES NO DOES THIS CORRECT A VIOLATION? YES NO

FINDINGS:

- The project is consistent with the 2010 General Plan, the applicable Area Plan, and meets the regulations in Title 21 (Zoning Ordinance-Inland); and
- The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property because: Consistent with neighborhood character.

DECISION: OVER-THE-COUNTER ADMINISTRATIVE
ACTION: APPROVED DENIED
CONDITIONS: ATTACHED NONE
APPROVED BY: Maric Isabel Sanchez DATE: 5/14/19
COPY TO APPLICANT: IN PERSON OR MAILED DATE: 5/14/19

DA190154



**GENERAL PLAN POLICY CONSISTENCY CHECKLIST
FOR DESIGN APPROVALS (Inland Only)
To be completed by Applicants**

| | | |
|---|--|---|
| LAND USE DESIGNATION: LD2 | APN: 015-522-008-000 | PLANNING NUMBER: DA190154 |
| AREA PLAN: <input type="checkbox"/> Cachagua Area Plan <input checked="" type="checkbox"/> Carmel Valley Master Plan <input type="checkbox"/> Central Salinas Valley Area Plan <input type="checkbox"/> Fort Ord Master Plan <input type="checkbox"/> Greater Monterey Peninsula Area Plan <input type="checkbox"/> Greater Salinas Area Plan <input type="checkbox"/> North County Area Plan <input type="checkbox"/> South County Area Plan <input type="checkbox"/> Toro Area Plan <input type="checkbox"/> Agriculture & Winery Corridor Plan | PROJECT DESCRIPTION: 120 sq ft shed. | <div style="border: 2px solid blue; padding: 5px; text-align: center;"> <p style="font-size: 2em; color: blue; margin: 0;">RECEIVED</p> <p style="color: red; margin: 5px 0;">MAY 14 2019</p> <p style="color: blue; margin: 0;">Monterey County RMA</p> </div> |

DA190154

| Please answer each question based on the description of the project (see back of questionnaire for policy references) | |
|--|--|
| | The project is for: <input checked="" type="checkbox"/> Residential use <input type="checkbox"/> Commercial use <input type="checkbox"/> Agricultural use <input type="checkbox"/> Public or Quasi-Public use <input type="checkbox"/> Industrial use |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | The project proposes a cell-site, telcom (digital) communication facility/site? |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | The project includes the construction of a new structure? |
| <input type="checkbox"/> Yes <input type="checkbox"/> No | The project includes the enlarging, altering, repairing, moving, improving, or removing of existing structures? If "yes", describe |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | The project includes demolition work? If "yes", describe |
| <input type="checkbox"/> Yes <input type="checkbox"/> No | Project includes the use of roofing materials that are different in type and/or color from the original materials? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project includes replacement and/or repair of (50%) or more of the exterior walls of a structure? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project includes historical structure or a structure more than fifty (50) years old? |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Project includes an accessory structure(s)? If "yes", describe: 10' x 12' non habitable shed |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project includes the placement of a manufactured home, mobile home, modular or prefabricated unit? <input type="checkbox"/> Private property <input type="checkbox"/> Park installation (mobile home park) |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project includes retaining walls? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project involves new, change or modifications to existing utilities and/or power lines? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project is change or modification to an approved application. |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose a lot line adjustment or subdivision? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project include subdivision creating five or more lots, or new commercial/industrial use that creates intensity equal to or greater than five residences? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located near an incorporated area (City)? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within a Community Area or Rural Center? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within 1/4 mile of a public airport? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is this the first residence on a property? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose a secondary unit? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Would native vegetation be removed with this project? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Would proposed development occur within 100 feet a creek/drainage (including seasonal) or river? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose any tree removal? If "yes" Type _____ Size _____ Number _____ |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project includes grading, dirt importation, dirt removal, and/or drainage changes. |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Would the project be connected to an existing well or private water system? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | The project includes constructing, enlarging, altering, repairing, moving, improving or removing a well. |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project is associated with a new or improvements to a water system. _____ water system _____ number of connections |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project include a new individual or existing wastewater system (e.g. septic)? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | The project includes constructing, enlarging, altering, repairing, moving, improving or removing a septic tank/system? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose development on slopes over 25%? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project 50 feet from a bluff? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project is located within 100 feet of seasonal or permanent drainage, lake, marsh, ocean, pond, slough, stream, wetlands. If "yes", describe |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project include cultivation of land that is currently not cultivated? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose non-agricultural uses adjacent to agricultural uses? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within the winery corridor? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Would any portion of the proposed development be visible from a public road, designated vista point, or public park? If yes, is it located on a slope or near the top of a hill? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose or require affordable housing? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project require a General Plan Amendment? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within a Special Treatment Area? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within a Study Area? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Project involves or includes an existing or proposed trail or easement. |

I, the undersigned, have authority to submit application for a permit on the subject property. I have completed this questionnaire accurately based on the proposed project description. It is my interpretation that the project is consistent with the 2010 Monterey County General Plan. I understand that Monterey County may require project changes or some other permit/entitlement if the project is found to be inconsistent with any General Plan policy.

Signature:

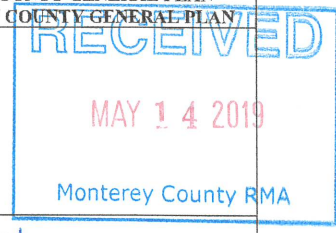
Date: 5/10/19

Print Name: Matt Hanner/ Carmel Building & Design

It is unlawful to alter the substance of any official form or document of Monterey County.

DA Request Form Inland Only Rev. 07/17/17

| | | |
|--|---|---|
| Staff Use Only | | |
| BASED ON REVIEW OF THE PROJECT DESCRIPTION PROPOSED, THE PROJECT IS: | <input checked="" type="checkbox"/> CONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN | <input checked="" type="checkbox"/> INCONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN |
| NOTES / COMMENTS: <i>Consistent with neighborhood character.</i> | | |
| PLANNER: <i>Maria Isabel Sanchez</i> | PLANNING TEAM: | DATE: <i>5/14/19</i> |



DA190154

| POLICY REFERENCE BASED ON TOPIC | |
|--|--|
| GENERAL PLAN AMENDMENT | LU-1.7, LU-2.18, LU-2.19, LU-2.21, LU-2.23, LU-2.24, LU-2.27, LU-2.29, LU-6.5, LU-9.6 thru LU-9.8, GS-1.11, CSV-1.4, PS-3.1, OS-5.20, OS-8.6, |
| WITHIN CITY SPHERE OF INFLUENCE OR MEMORANDUM OF UNDERSTANDING | LU-2.14 THRU LU-2.19, AG-1.12, GS-1.14 |
| COMMUNITY AREAS | LU-1.8, LU-1.19, LU-2.3, LU-2.10 thru LU-2.12, LU-2.20 thru LU-2.27, LU-2.29, LU-9.5, C-1.1, OS-3.6, OS-5.17, OS-8.6, OS-9.2, OS-10.10, T-1.7, AWCP-3.4A, NC-1.5, GS-1.1, GS-1.13, AG-1.3, AG-1.4, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, PS-11.14, S-2.5, S-5.17, S-6.4, S-6.5, |
| RURAL CENTERS | LU-1.8, LU-1.19, LU-2.3, LU-2.11, LU-2.12, LU-2.26 thru LU-2.32, OS-5.17, OS-9.2, OS-10.10, T-1.7, T-1.8, AWCP-3.4A, NC-1.5, GS-1.13, AG-1.3, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, S-5.17, S-6.5, |
| SPECIAL TREATMENT AREAS | T-1.4, T-1.8, GS-1.1 thru GS-1.3, GS-1.10, GS-1.12, GMP-1.6 thru GMP-1.9, CSV-1.1, CSV-1.3, CSV-1.5 thru CSV-1.7, CV-1.22, CV-1.23, CV-1.25, CV-1.27, CACH-1.5, |
| STUDY AREAS | GS-1.7, GS-1.11, CSV-1.4, CV-1.26 |
| WINERY CORRIDOR | AG-4.1 thru AG-4.5, AWCP |
| DEVELOPMENT OUTSIDE COMMUNITY AREAS OR RURAL CENTERS | LU-1.19, S-2.7, OS-3.6 |
| DEVELOPMENT ON SLOPES OVER 25% | LU-9.5, OS-3.5, OS-3.6, OS-3.9, S-1.2, CV-2.9, CV-6.2, CV-6.4, CV-6.5, FOMP-A-6, GMP-4.1, GS-1.1, GS-3.1, NC-1.3, NC-3.9, NC-3.10, T-3.6 |
| CONVERSION TO AGRICULTURE | OS-3.5, OS-5.22, AG-1.6, AG-1.7, AG-1.12, AG-2.9, AG-3.3, NC-3.10, NC-3.11, CV-6.2, CV-6.4, |
| ROUTINE AND ON-GOING AG ACTIVITIES | AG-3.1 thru AG-3.3 |
| NON-AG ADJACENT TO AG USES | LU-1.5, LU-2.8, AG-1.2, AG-2.8, CV-6.1, GS-1.1, T-1.8 |
| AGRICULTURE (F, PG, & RG) | LU-3.1, LU-3.2, 6.0 – AGRICULTURE ELEMENT |
| FARM WORKER HOUSING | AG-1.6 |
| AG EMPLOYEE HOUSING | AG-1.7 |
| AG SUPPORT FACILITIES | AG-2.1 thru AG-2.9 |
| RURAL RESIDENTIAL (LDR, RDR, & RC) | LU-2.34 thru LU-2.37 |
| URBAN RESIDENTIAL (HDR & MDR) | LU-2.33 |
| COMMERCIAL (LC, HC, & VPO) | LU-4.1 thru LU-4.8, ED-2.3, ED-4.2 |
| INDUSTRIAL (AI, LI, & HI) | LU-5.1 thru LU-5.9, ED-2.3, ED-4.2 |
| PUBLIC / QUASI PUBLIC (POP) | LU-6.1 thru LU-6.5 |
| AFFORDABLE HOUSING | LU-1.19, LU-2.11 thru LU-2.13, LU-2.23, LU-2.28, T-1.7, T-1.8, NC-1.5, GS-1.13, GMP-1.9, FOMP-H-1.1, FOMP-C.3, CV-1.6, CV-1.27 |
| SECONDARY UNITS | LU-2.10, CV-1.6, GS-1.13, NC-1.5, T-1.7, PS-1.1 |
| SUBDIVISION | LU-1.7, LU-9.3 thru LU-9.5, AG-1.3, NC-1.5, AWCP-3.5.A, T-1.5, T-1.7, GS-1.13, CV-1.6, CV-1.7, PS-1.1, PS-3.2, PS-3.9, PS-3.19, PS-4.9, PS-4.13, PS-11.10, S-1.7, S-2.7, S-4.10, S-4.27, S-6.7, OS-1.5, OS-1.10, OS-6.5, OS-7.5, OS-8.4, |
| LOT LINE ADJUSTMENT | LU-1.14 thru LU-1.16 |
| OFF-SITE ADVERTISING | LU-1.10 |
| EXTERIOR LIGHTING | LU-1.13 |
| LANDSCAPING | OS-5.6, OS-5.14 |
| TREE REMOVAL | OS-5.9, OS-5.10, OS-5.25, PS-12.10, CACH-3.4, CV-3.11, FOMP-C-1, FOMP-C-2.1 thru FOMP-C-2.5, GMP-3.3, GMP-3.5, GS-1.5, GS-1.8, GS-3.3, NC-3.4, T-3.7. |
| CIRCULATION (e.g. roads, transportation) | Chapter 2.0 |

MONTEREY COUNTY
RESOURCE MANAGEMENT AGENCY
Planning Services



1441 Schilling Place, Salinas, CA 93901
831-755-5025
<http://www.co.monterey.ca.us/rma>

Design Approval Permit

File Number: DA190154
Owner Name: SCHWARTZ MAL
Project Address: 24980 OUTLOOK DR, CARMEL, CA 93923
Primary APN: 015-522-008-000
Coastal Zone: No
Date of Approval: 05/14/2019
Project Description: Design Approval to allow a 120 square foot, 8 foot high storage shed. Colors to consist of "Delicate white" and "Desert tan". Materials to consist of wood and composite shingles. The property is located at 24980 Outlook Drive, Carmel (Assessor's Parcel Number 015-522-008-000), Carmel Valley Master Plan

Findings

- Finding:** The project is consistent with the 2010 Monterey County General Plan, the applicable Area Plan, and meets the regulations in Title 21 (Zoning Ordinance-Inland).

Evidence: CONSISTENT WITH THE SITE DEVELOPMENT STANDARDS OF THE ZONING DISTRICT IN WHICH IT IS LOCATED
- Finding:** The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and insures visual integrity without imposing undue restrictions on private property;

Evidence: COLORS AND MATERIALS ARE CONSISTENT WITH THE NEIGHBORHOOD CHARACTER

This permit is approved subject to the Conditions of Approval attached as Exhibit A.

Approved By: MARIA ISABEL SANCHEZ

Designee of Director of Planning

Approved Date: 05/14/2019

Exhibit A
Conditions of Approval for Design Approval
DA190154

1. DESIGN APPROVAL - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

EXTERIOR PAINT COLOR "DELICATE WHITE"

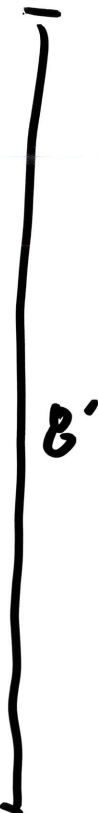
DA190154



TR-800 - 10' wide by 12' long

*Prices based on installation zip code: 93923

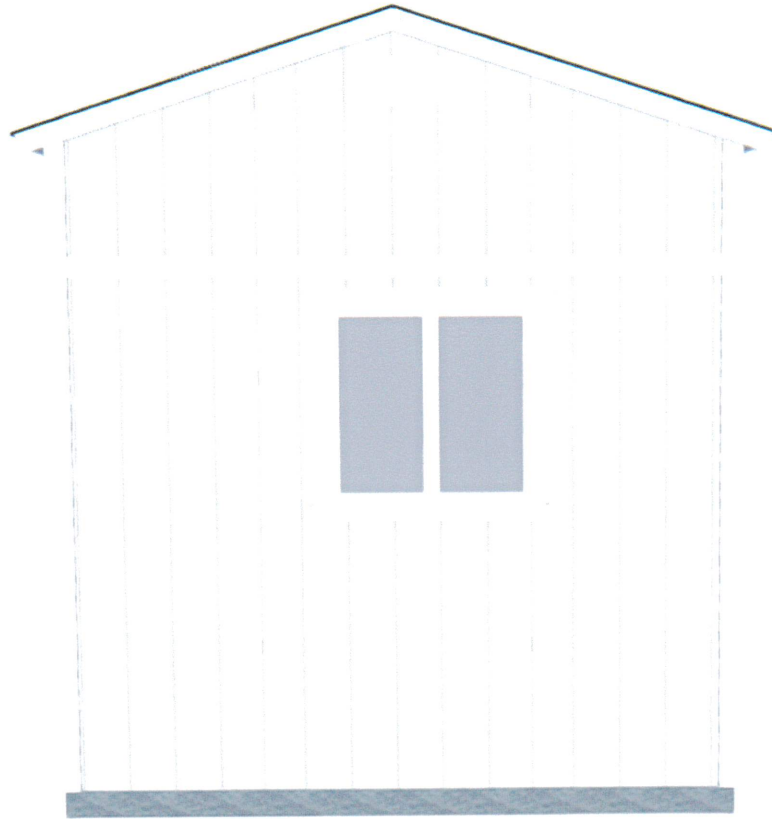
WEST ELEVATION



TR-800 - 10' wide by 12' l.c.

*Prices based on installation zip code: 93923

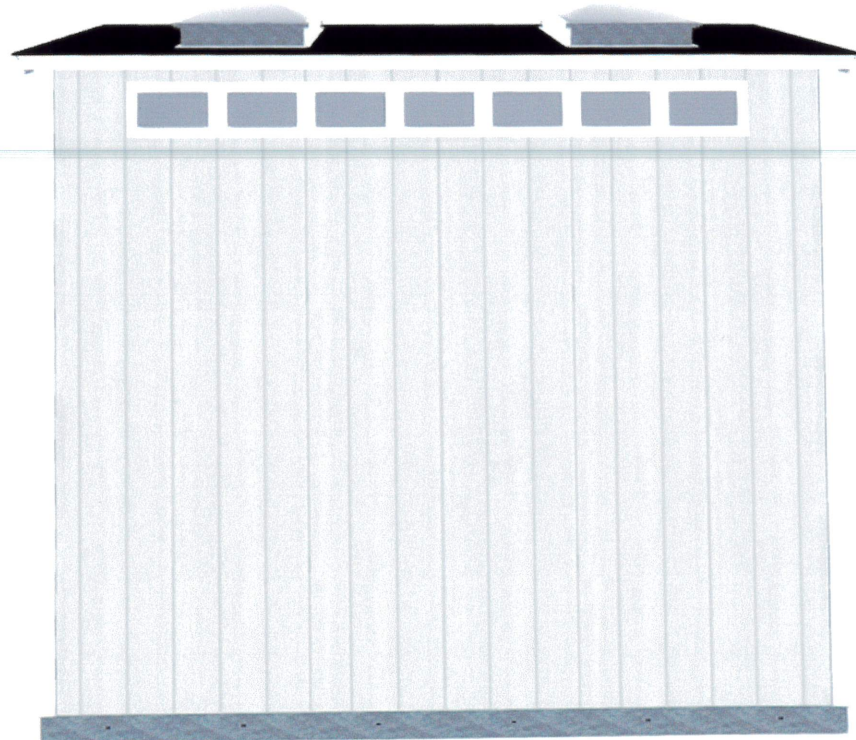
NORTH ELEVATION



TR-800 - 10' wide by 12' long

*Prices based on installation zip code: 93923

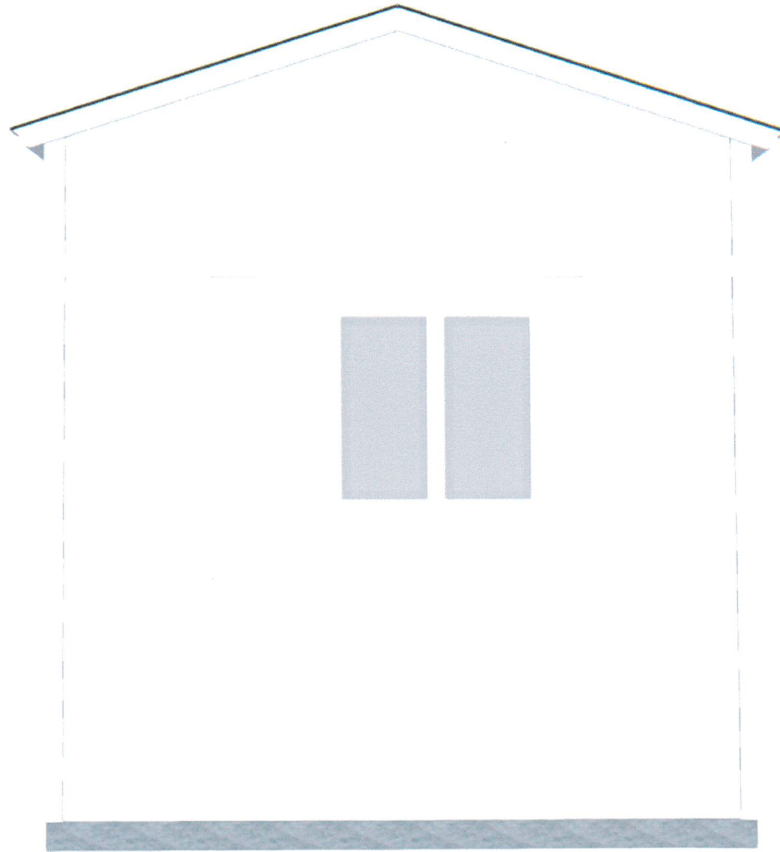
EAST ELEVATION



TR-800 - 10' wide by 12' long

*Prices based on installation zip code: 93923

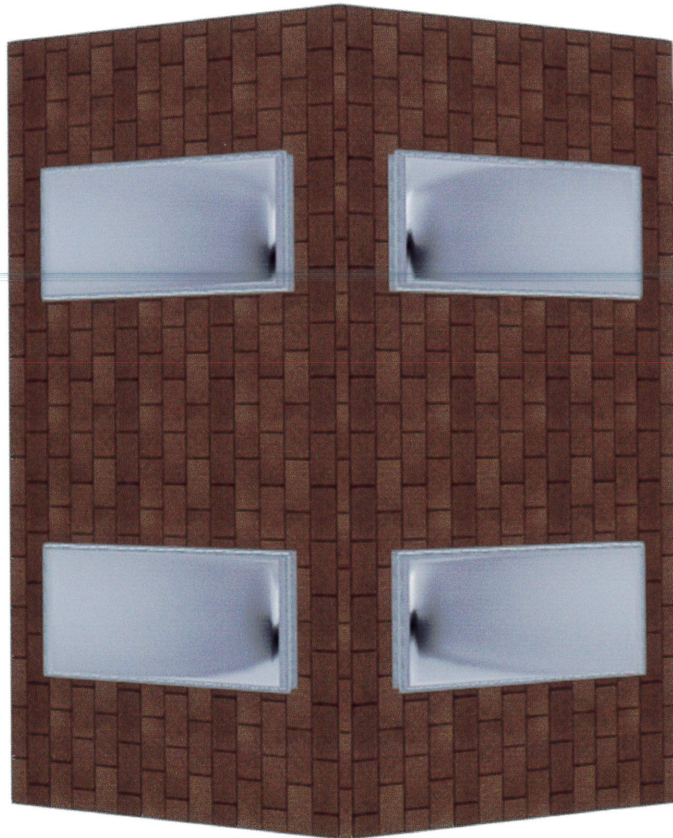
SOUTH ELEVATION



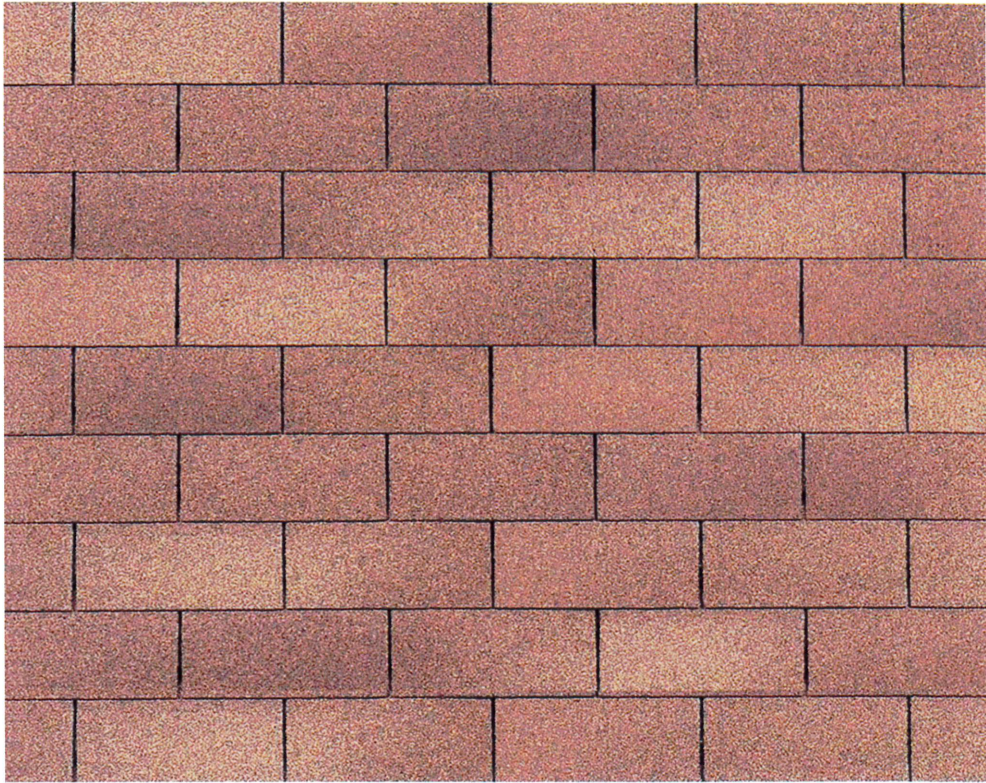
TR-800 - 10' wide by 12' long

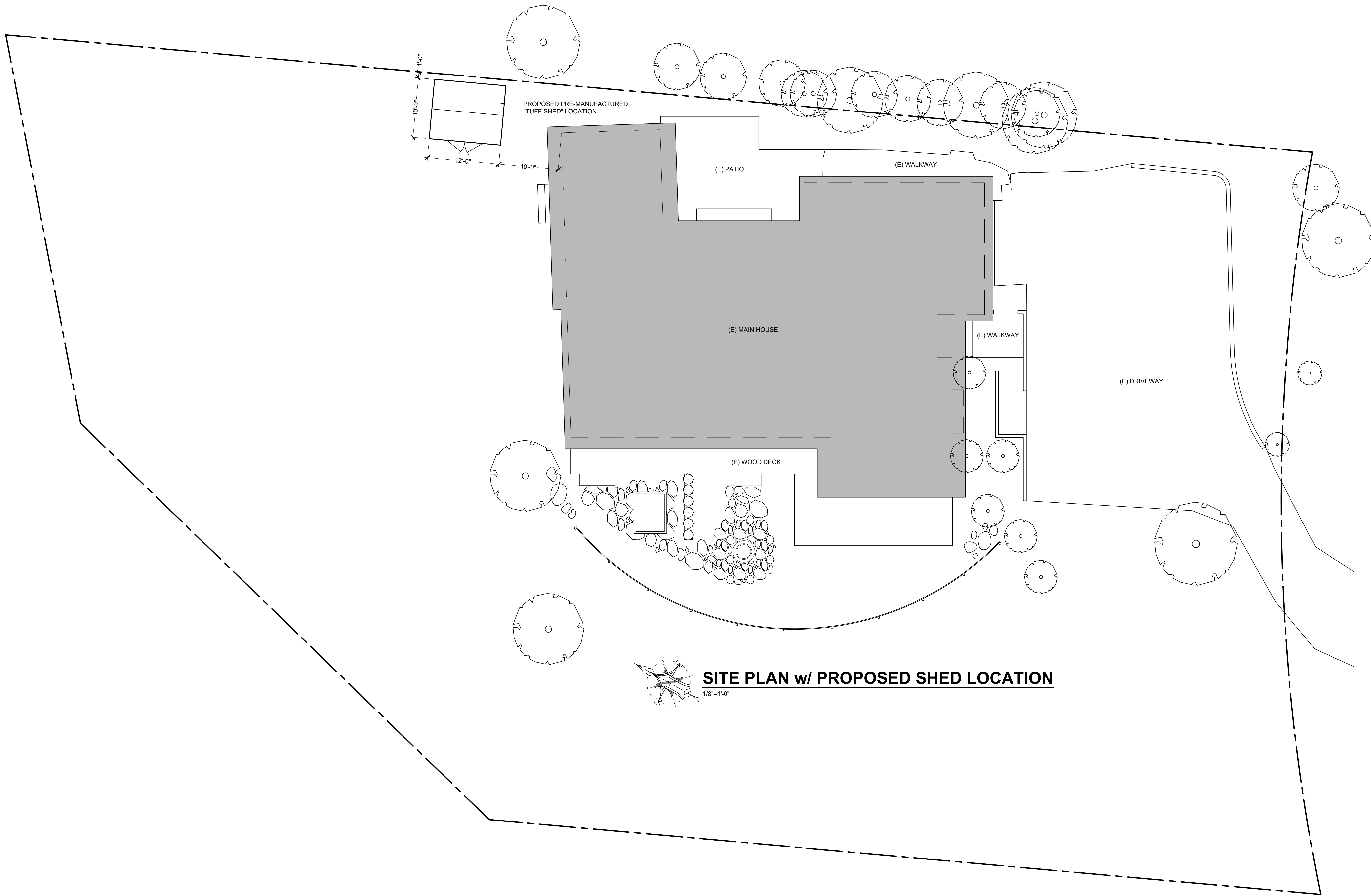
*Prices based on installation zip code: 93923

ROOF



SHENGLES "DESERT TAN"





SITE PLAN w/ PROPOSED SHED LOCATION

PO Box 2201
 Carmel, CA 93921
 p. 831.626.8606
 f. 831.626.8607
 info@carmelbuilding.com

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|-----------|------------|
| DATE: | 05-13-19 |
| SCALE: | SCALE: TMK |
| DRAWN BY: | TMK |
| REVISION: | |

PROPOSED SITE PLAN

SCHWARTZ-TRYON
 24980 OUTLOOK DR.
 CARMEL, CA 93923
 APN: 015-522-008

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