

ARROWS INDICATE PUBLIC ACCESS ROUTE DURING CONSTRUCTION. CONTRACTOR MUST PROVIDE FOR SAFE PUBLIC ACCESS TO THE BUILDING ENTRANCE DURING THE ENTIRE DURATION OF CONSTRUCTION DURING THE FOLLOWING PUBLIC LIBRARY HOURS:
 WEEKLY TUESDAY & THURSDAY
 10:00 AM - 1:30 PM & 2:30 PM - 6 PM

(E) CONCRETE STAIR TO REMAIN
 (E) GATE TO REMAIN
 (E) SHED TO REMAIN
 (E) ELECTRICAL METER TO REMAIN
 (E) LIGHT POLE TO REMAIN

PROPERTY LINE
 (E) PER HYDRANT, WATER & GAS METERS
 (E) STAIR TO REMAIN
 (E) PICKET FENCE TO REMAIN

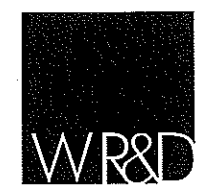
CONTRACTOR TO PROVIDE LOCKABLE SINGLE 3'-0" WIDE GATE FOR PUBLIC ACCESS TO BUILDING
 (E) CONCRETE WALK TO REMAIN
 INDICATES ADDITIONAL SAFETY FENCING AS REQUIRED TO SAFELY ISOLATE ACCESSIBLE ROUTE FROM WORK AREA.

CONTRACTOR TO PROVIDE 6'-0" WIDE DOUBLE GATE FOR CONSTRUCTION ACCESS
 CONTRACTOR TO PROVIDE 6'-0" HIGH CHAIN LINK CONSTRUCTION FENCE (LINE OF LIMIT OF WORK)

LOCATION OF PROJECT SIGN
 CONTRACTOR TO PROVIDE 6'-0" WIDE DOUBLE GATE FOR CONSTRUCTION ACCESS

(E) C.I.L. FENCE TO REMAIN

CONTRACTOR'S EXTERIOR STAGING / STORAGE AREA SHOWN DASHED (MAX. THREE SPOTS) (MAY BE FENCED AT CONTRACTOR'S OPTION)



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**PORTER - VALLEJO MANSION
 BUILDING REPAIR - 2011**

MONTEREY COUNTY
 28 BISHOP STREET
 PAJARO CA. 95076

JOB NO: 10159
 PRINT DATE: 3.6.2012
 PLOT DATE: 3.6.2012
 DRAWN BY: F.A.
 CHECKED BY: F.D./C.B.
 SET ISSUED:
 50% C.D.'s 3.29.11
 100% C.D./CLIENT REVIEW 5.3.11
 BUILDING DEPT. SET 6.2.11
 HRRB COMMENTS 1.10.12
 HRRB COMMENTS 3.06.12

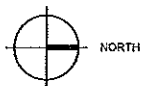
SHEET NAME:
SITE PLAN

SHEET NO.:

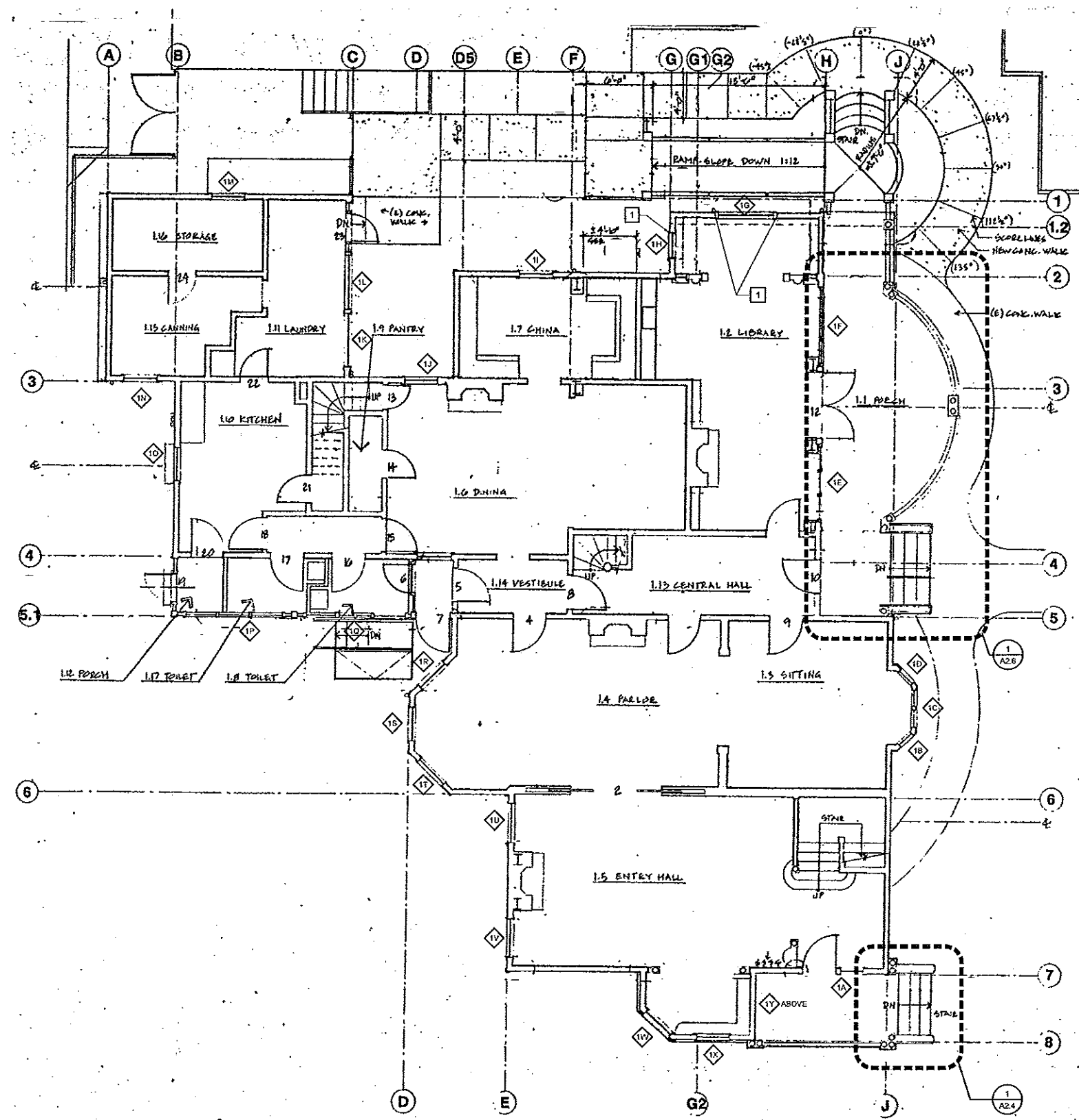
A1.1

FILE NAME: 10159A11

SITE PLAN
 SCALE: 3/32"=1'-0"



APN# 117-923-013



1 FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 NORTH

FLOOR PLAN KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1 REMOVE EXISTING DETERIORATED EXTERIOR WINDOW TRIM AND REPLACE WITH NEW PAINT GRADE REDWOOD TRIM TO MATCH EXISTING. APPLY EXTERIOR PRIMER TO ALL SIX (6) SIDES OF TRIM BEFORE INSTALLING. PAINT TRIM WITH MINIMUM OF TWO (2) COATS OF EXTERIOR PAINT MATCHING EXISTING BUILDING TRIM COLOR AND SHEEN. APPLY EXTERIOR CAULK WITH UV INHIBITORS TO ALL EXPOSED TRIM EDGES.



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GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL (E) CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS & FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH, U.O.N.
- EXISTING WALLS WERE CONSTRUCTED WITH OTHER PERMITS AND/OR CONTRACTS. FIELD VERIFY CONSTRUCTION AND WIDTH PRIOR TO FABRICATION OF COMPONENTS WHICH REQUIRE THE WIDTH OF THE WALL TO BE SET.
- PROTECT ALL EXISTING ITEMS FROM DAMAGE.
- CONTRACTOR TO COORDINATE WITH PROPERTY MANAGER AND TENANT(S) ON CONSTRUCTION SCHEDULE AND HOURS OF CONSTRUCTION.
- CONTRACTOR SHALL ALLOW FOR ALL PATCHING AND FINISH OF EXISTING WALLS AS REQUIRED.
- THE CONTRACTOR IS TO TREAT ALL NEWLY CUT ENDS OF NEW AND EXISTING WOOD WITH EXTERIOR PRIMER (FOR WOOD TO RECEIVE PAINT) OR WOOD PRESERVATIVE (FOR UNFINISHED WOOD).

FLOOR PLAN LEGEND

- INDICATES EXISTING INTERIOR WALL TO REMAIN. PROTECT FROM DAMAGE. TYPICAL THROUGHOUT
- INDICATES EXISTING DOOR. PROTECT FROM DAMAGE. TYPICAL THROUGHOUT
- INDICATES ENLARGED PLAN. REFER TO REFERENCED DETAIL FOR DIMENSIONS
- INDICATES EXISTING WINDOW. REFER TO WINDOW SCHEDULE. SHIT, A2.7, FOR REQUIRED REPAIRS (IF ANY)

APN# 117-323-013

**PORTER - VALLEJO MANSION
 BUILDING REPAIR - 2011**

MONTEREY COUNTY
 28 BISHOP STREET
 PAJARO CA. 95076

JOB NO:
10159
 PRINT DATE:
 PLOT DATE: 3.6.2012
 DRAWN BY: F.A.
 CHECKED BY: F.D./C.B.
 SET ISSUED:

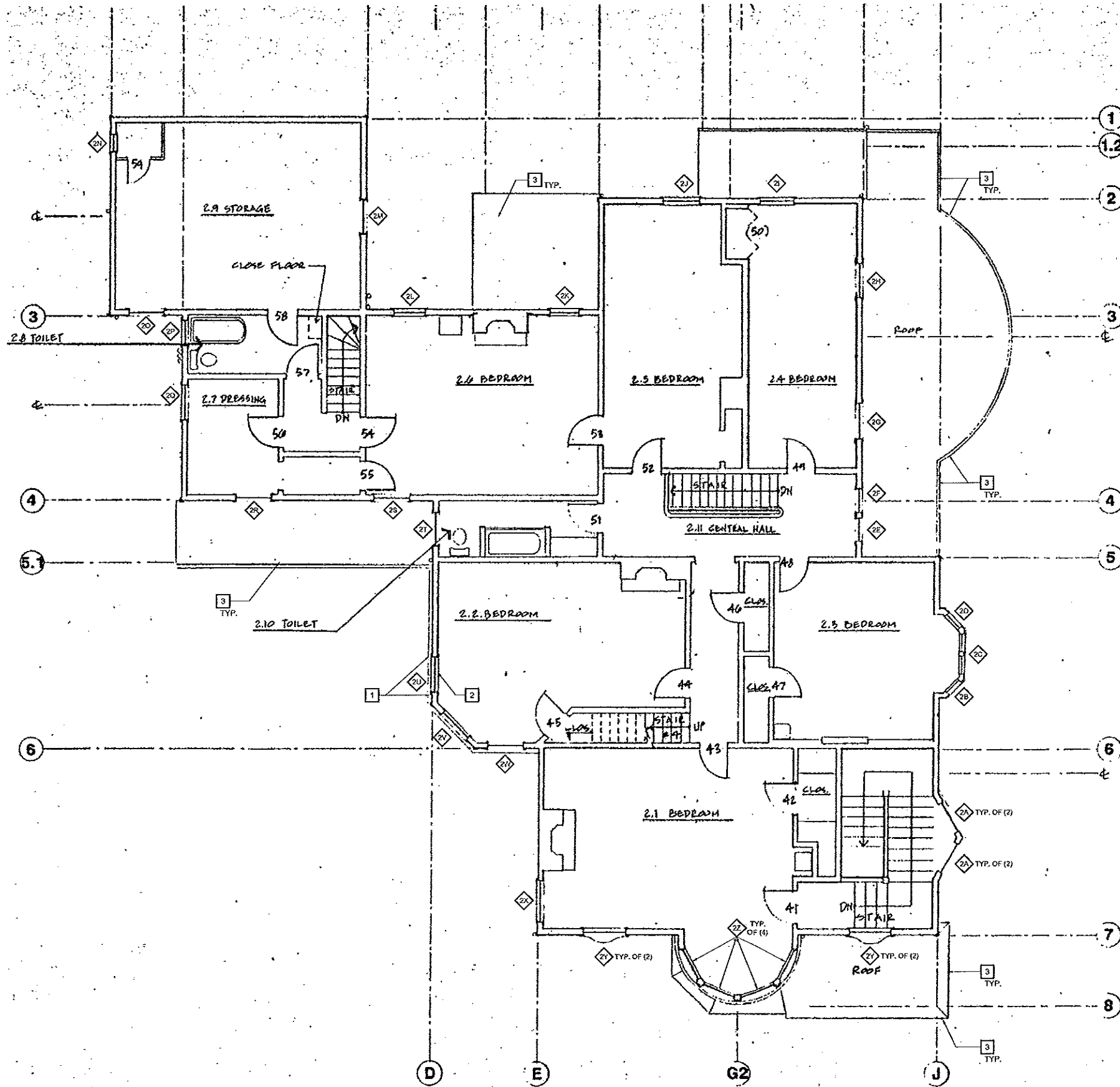
50% C.D.	3.29.11
100% C.D./CLIENT REVIEW	5.3.11
BUILDING DEPT. SET	6.2.11
HRRB COMMENTS	1.10.12
HRRB COMMENTS	3.06.12

SHEET NAME:
FIRST FLOOR PLAN

SHEET NO.:

A2.1

FILE NAME: 10159A21



1 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0" NORTH

FLOOR PLAN KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 REMOVE EXISTING DETERIORATED EXTERIOR WINDOW TRIM AND REPLACE WITH NEW PAINT GRADE REDWOOD TRIM TO MATCH EXISTING. APPLY EXTERIOR PRIMER TO ALL SIX (6) SIDES OF TRIM BEFORE INSTALLING. PAINT TRIM WITH MINIMUM OF TWO (2) COATS OF EXTERIOR PAINT MATCHING EXISTING BUILDING TRIM COLOR AND SHEEN. APPLY EXTERIOR CAULK WITH UV INHIBITORS TO ALL EXPOSED TRIM EDGES.
 - 2 REMOVE EXISTING DAMAGED INTERIOR PLASTER BELOW BOTTOM SILL OF WINDOW AND 12" ON EACH SIDE OF EXISTING WINDOW. CAREFULLY REMOVE EXISTING INTERIOR WOOD TRIM AT EXISTING WINDOW, AND CAULK AROUND EXISTING WINDOW FRAME AS REQUIRED FOR WATERTIGHTNESS. APPLY A STRIP OF COMPRESSIBLE FOAM TAPE (WHITE) BETWEEN THE EXISTING BOTTOM SASH AND SILL AND THE TOP SASH AND THE WINDOW HEAD PER PRODUCT INSTRUCTIONS. WEATHERSTRIP BETWEEN SASHES AND BETWEEN THE SASH AND JAMB WITH V-SHAPED POLYPROPYLENE WEATHERSTRIPPING. PROVIDE NEW PLASTER OR GYPSUM WALL BOARD AROUND WINDOW, FINISHED AND PAINTED TO MATCH ORIGINAL INTERIOR WALL SURFACE. REPAIR/REFINISH INTERIOR WOOD TRIM AS NEEDED, AND INSTALL AT WINDOW.
 - 3 REPAIR AND SEAL EXISTING WOOD GUTTERS AND FLUSH ALL EXISTING METAL DOWNSPOUTS TO ELIMINATE LEAKS AND ENSURE POSITIVE DRAINAGE, TYPICAL AT ALL ROOFS. WHERE GUTTER JOINTS HAVE SEPARATED, APPLY FIBERGLASS TAPE AND BUILD OVER WITH 'GIT-ROT' LOW-VISCOSITY EPOXY. REPAIR DAMAGED WOOD WITH IN GUTTERS AS NEEDED WITH 'GIT-ROT' LOW-VISCOSITY EPOXY. CAULK JOINTS AND SEAL ALL INTERNAL GUTTER SURFACES WITH PENETRATING MARINE OIL FINISH. WATER TEST EACH GUTTER TO CLIENT'S SATISFACTION.

GENERAL NOTES

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2. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH, U.O.I.L.
3. EXISTING WALLS WERE CONSTRUCTED WITH OTHER PERMITS AND/OR CONTRACTS. FIELD VERIFY CONSTRUCTION AND WIDTH PRIOR TO FABRICATION OF COMPONENTS WHICH REQUIRE THE WIDTH OF THE WALL TO BE SET.
4. PROTECT ALL EXISTING ITEMS FROM DAMAGE.
5. CONTRACTOR TO COORDINATE WITH PROPERTY MANAGER AND TENANT(S) ON CONSTRUCTION SCHEDULE AND HOURS OF CONSTRUCTION.
6. CONTRACTOR SHALL ALLOW FOR ALL PATCHING AND FINISH OF EXISTING WALLS AS REQUIRED.
7. THE CONTRACTOR IS TO TREAT ALL NEWLY CUT ENDS OF NEW AND EXISTING WOOD WITH EXTERIOR PRIMER (FOR WOOD TO RECEIVE PAINT) OR WOOD PRESERVATIVE (FOR UNFINISHED WOOD).

FLOOR PLAN LEGEND

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- INDICATES EXISTING DOOR, PROTECT FROM DAMAGE, TYPICAL THROUGHOUT
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- INDICATES EXISTING WINDOW, REFER TO WINDOW SCHEDULE, SHT. A2.7, FOR REQUIRED REPAIRS (IF ANY)



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PORTER - VALLEJO MANSION
BUILDING REPAIR - 2011
MONTEREY COUNTY
28 BISHOP STREET
PAJARO CA. 95076

JOB NO: 10159
PRINT DATE:
PLOT DATE: 3.5.2012
DRAWN BY: F.A.
CHECKED BY: F.D./C.B.
SET ISSUED:
50% C.D.'s 3.29.11
100% C.D. & CLIENT R.V.W. 5.3.11
BUILDING DEPT. SET 6.2.11
HRRB COMMENTS 1.10.12
HRRB COMMENTS 3.06.12

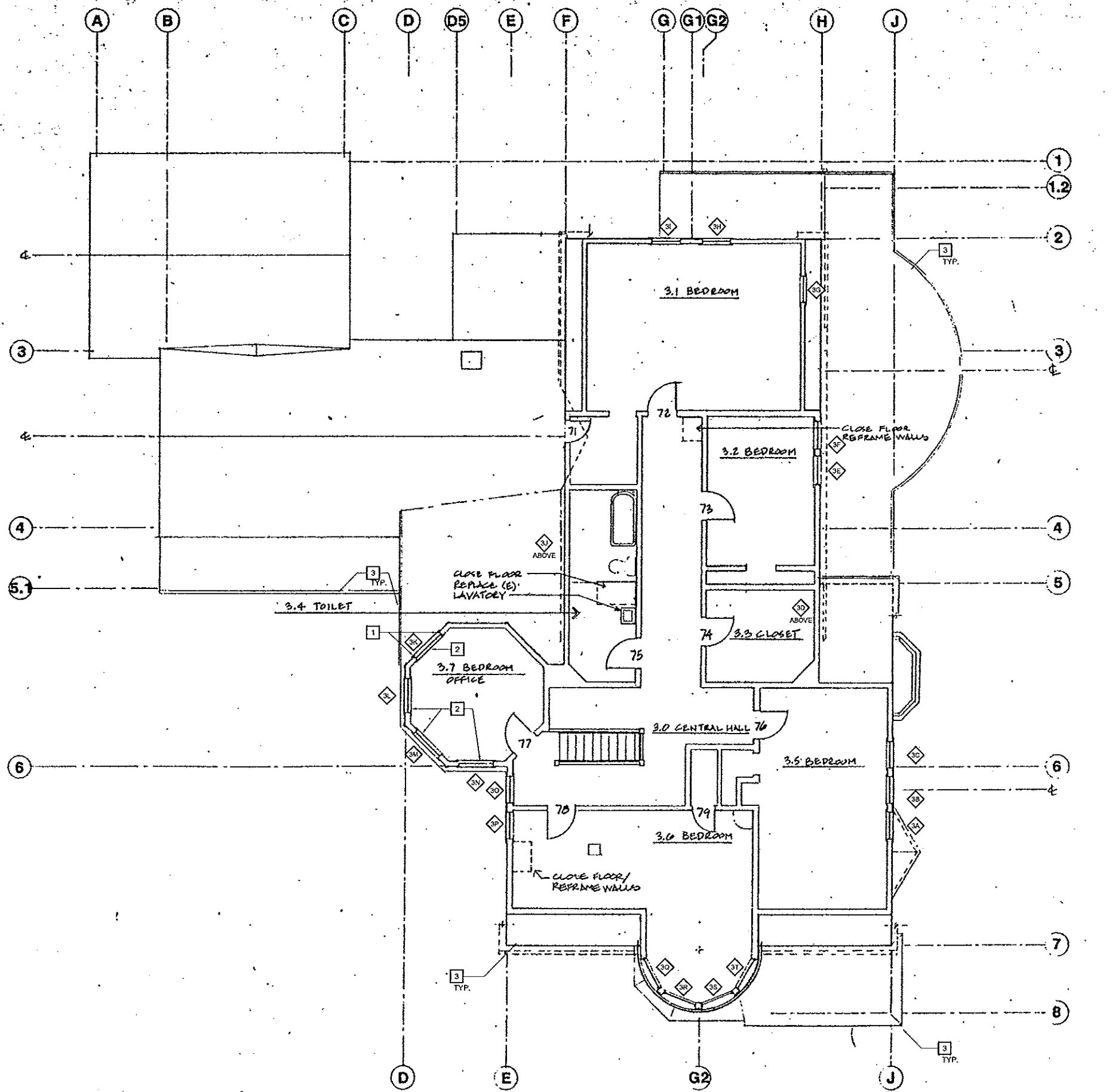
SHEET NAME:
SECOND FLOOR PLAN

SHEET NO.:

A2.2

FILE NAME: 10159A22

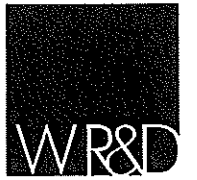
APN# 117-322-013



1 THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

FLOOR PLAN KEY NOTES

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AP# 117-328-013

GENERAL NOTES

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**PORTER - VALLEJO MANSION
BUILDING REPAIR - 2011**
MONTEREY COUNTY
28 BISHOP STREET
PAJARO CA, 95076

FLOOR PLAN LEGEND

- INDICATES EXISTING INTERIOR WALL TO REMAIN. PROTECT FROM DAMAGE, TYPICAL THROUGHOUT
- INDICATES EXISTING DOOR. PROTECT FROM DAMAGE, TYPICAL THROUGHOUT
- INDICATES ENLARGED PLAN. REFER TO REFERENCED DETAIL FOR DIMENSIONS
- INDICATES EXISTING WINDOW. REFER TO WINDOW SCHEDULE. SHY, A2.7, FOR REQUIRED REPAIRS (IF ANY)

JOB NO.:
10159
PRINT DATE:
PLOT DATE: 3.8.2012
DRAWN BY: F.A.
CHECKED BY: F.D.J.C.B.

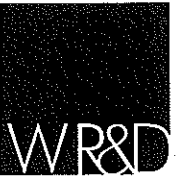
SET ISSUED:
50% C.D.'s 3.29.11
100% C.D. & CLIENT REV. 5.3.11
BUILDING DEPT. SET 6.2.11
HRRB COMMENTS 1.10.12
HRRB COMMENTS 3.06.12

SHEET NAME:
THIRD FLOOR PLAN

SHEET NO.:

A2.3

FILE NAME: 10159A23



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PORTER - VALLEJO MANSION BUILDING REPAIR - 2011
MONTEREY COUNTY
28 BISHOP STREET
PAJARO CA. 95076

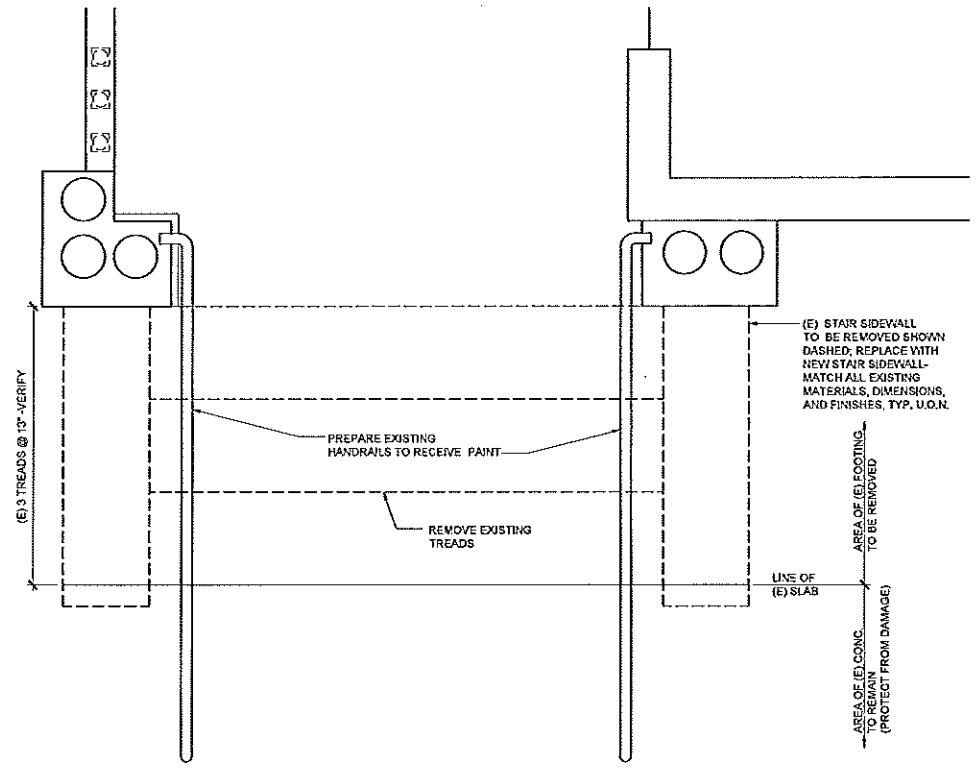
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 BUILDING DEPT. SET 6.2.11
 HRRB COMMENTS 1.10.12
 HRRB COMMENTS 3.06.12

SHEET NAME: LIBRARY STAIR DETAILS

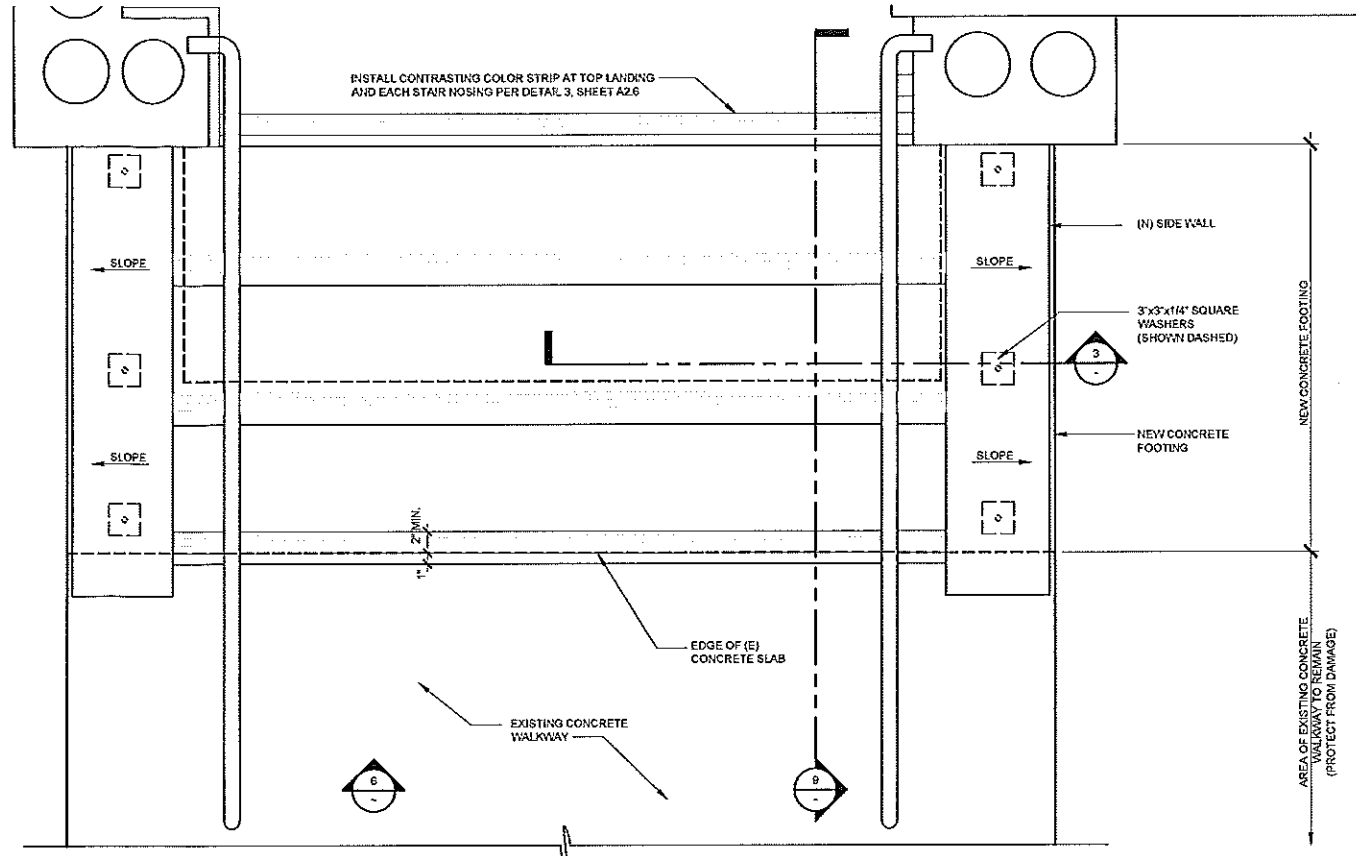
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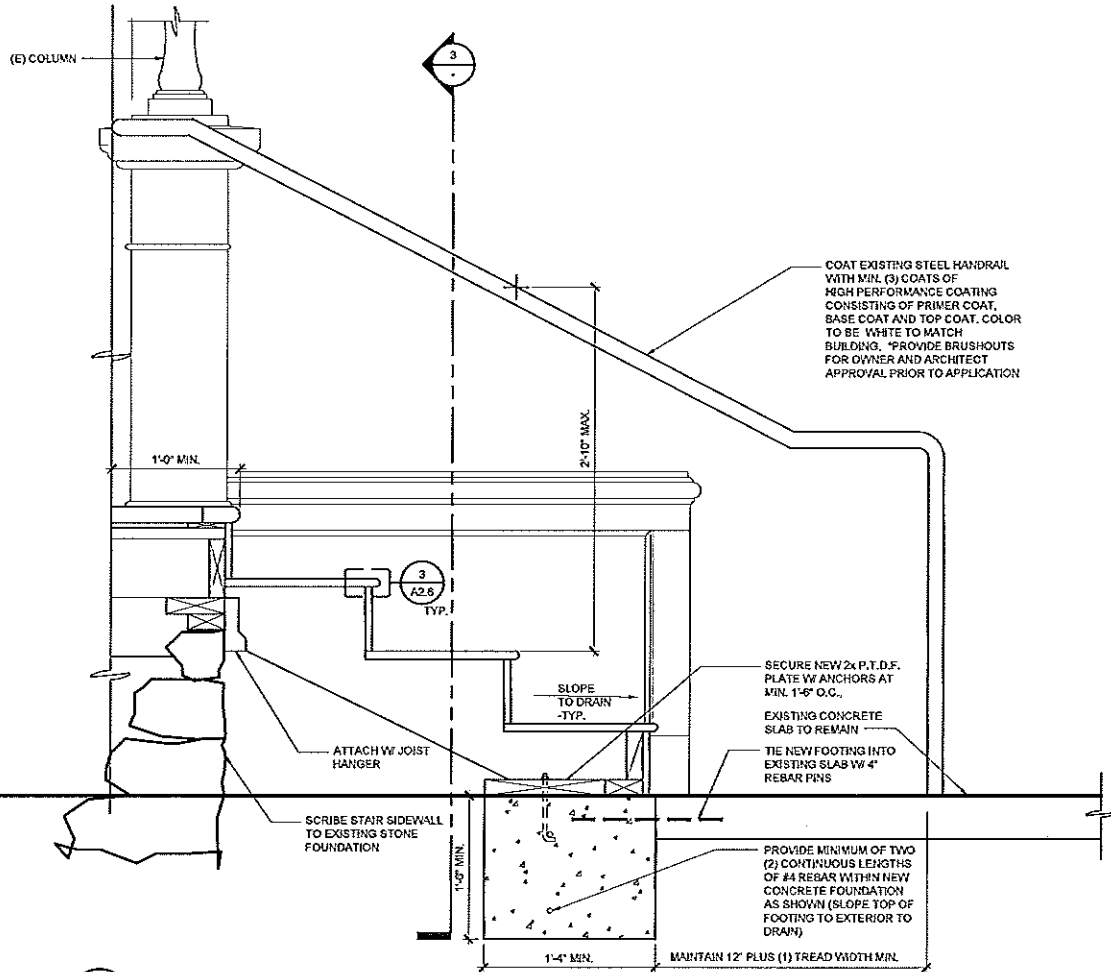
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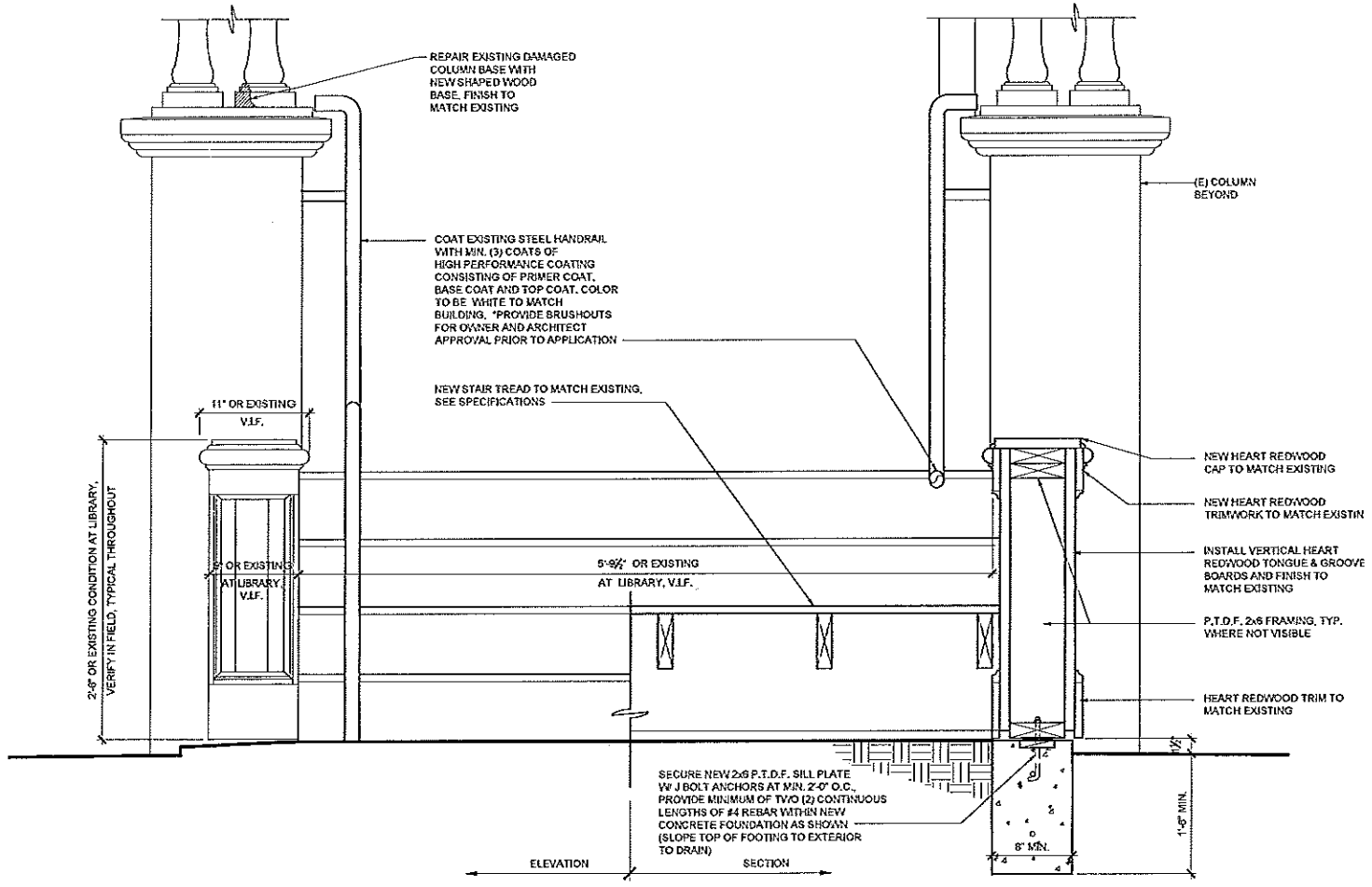
8 EXISTING / DEMOLITION NORTH EAST STAIR PLAN
SCALE: 1" = 1'-0"



1 PROPOSED LIBRARY STAIR PLAN
SCALE: 1 1/2" = 1'-0"



9 LIBRARY STAIRS SECTION
SCALE: 1 1/2" = 1'-0"



6 LIBRARY STAIR/HANDRAIL FRONT ELEVATION
SCALE: 1 1/2" = 1'-0"

3 LIBRARY HANDRAIL SECTION
SCALE: 1 1/2" = 1'-0"

APIN# 117-323-013



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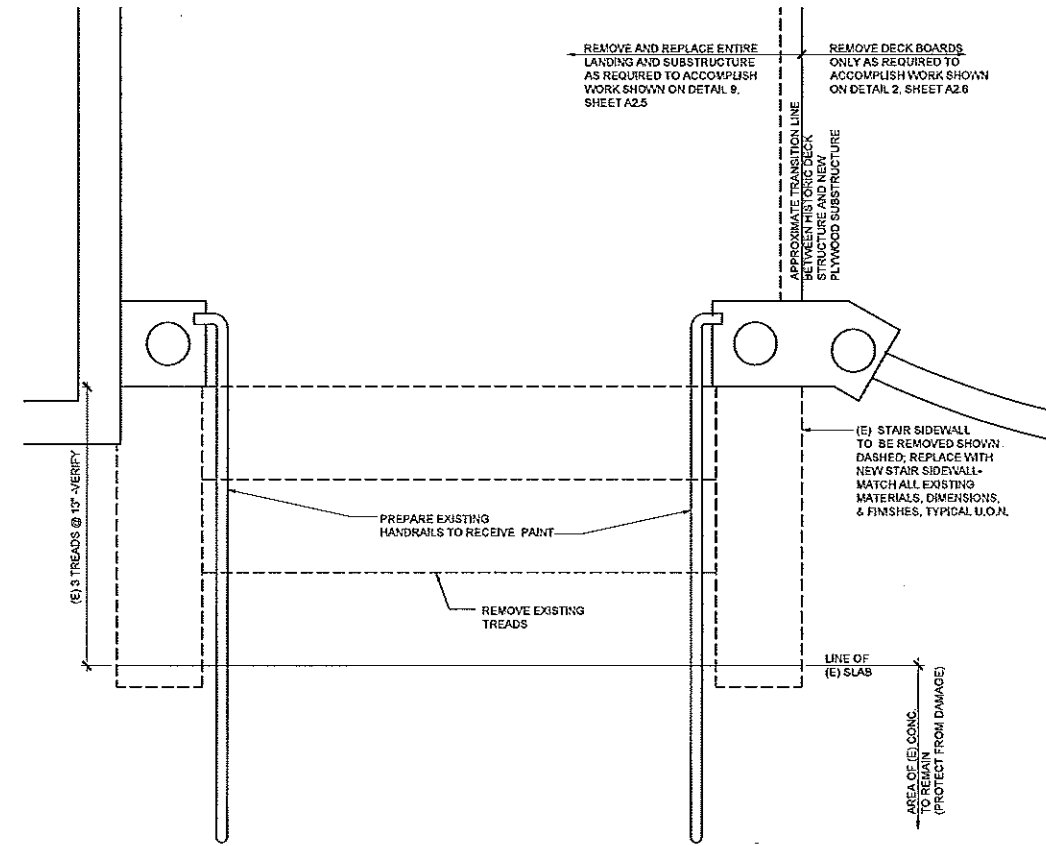
PORTER - VALLEJO MANSION
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29 BISHOP STREET
PAJARO CA, 95076

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100% C.D./CLIENT REVIEW: 5.3.11
BUILDING DEPT. SET: 6.2.11
HRRB COMMENTS: 1.10.12
HRRB COMMENTS: 3.06.12

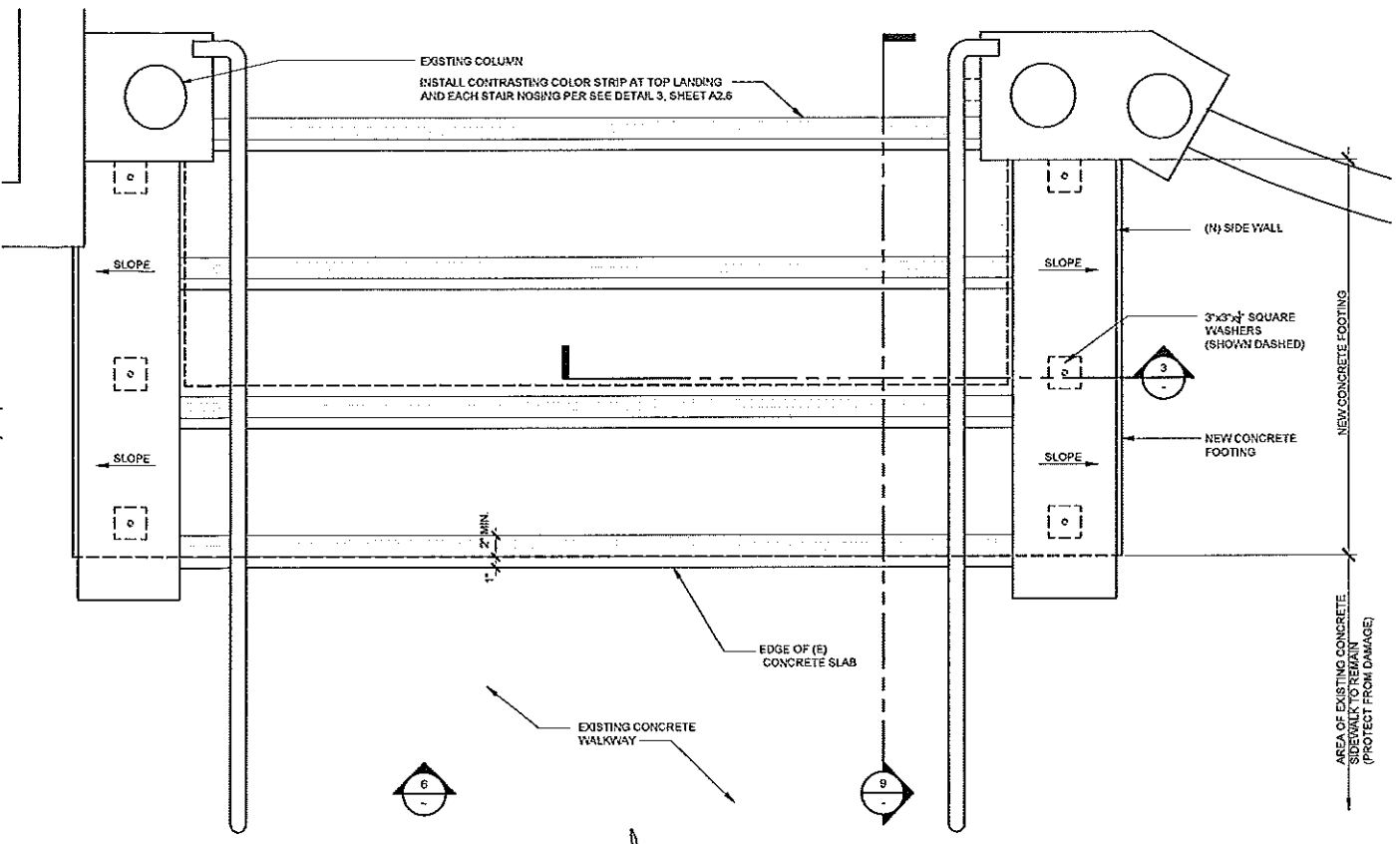
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MAIN PORCH STAIR
SHEET NO.:

A2.5
FILE NAME: 10159.A25

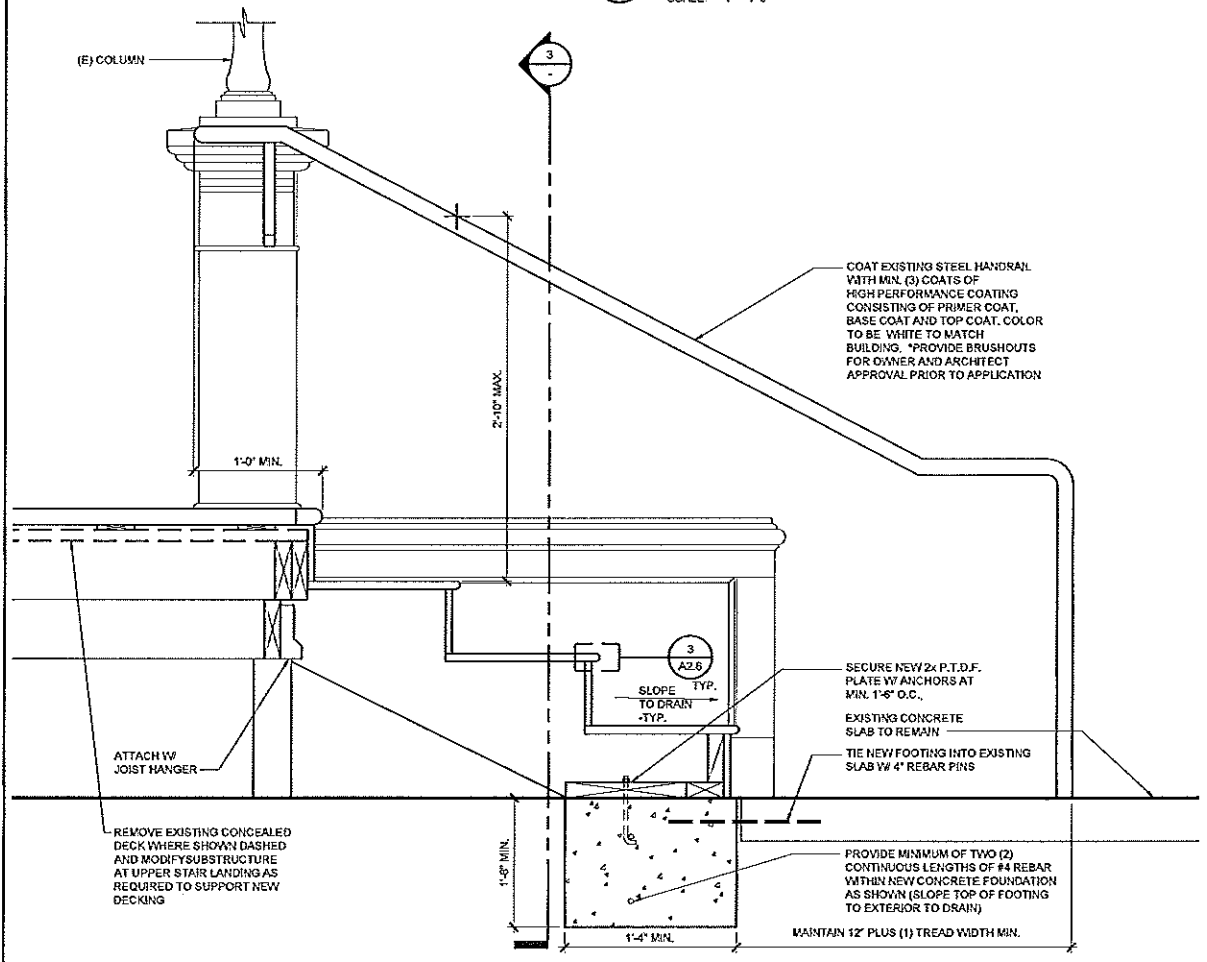
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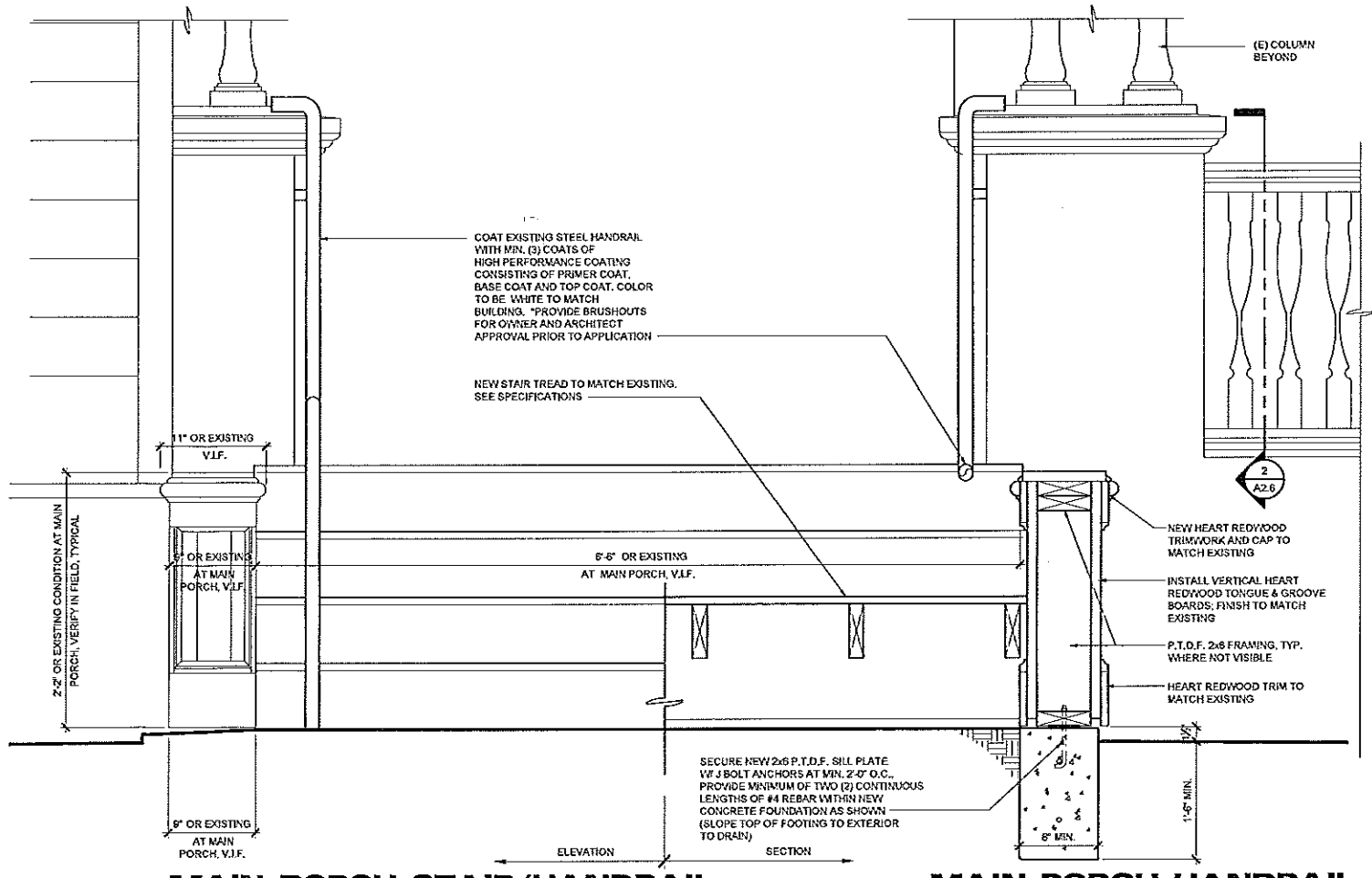
8 EXISTING / DEMOLITION MAIN PORCH STAIR PLAN
SCALE: 1" = 1'-0"



5 PROPOSED MAIN PORCH STAIR PLAN
SCALE: 1 1/2" = 1'-0"

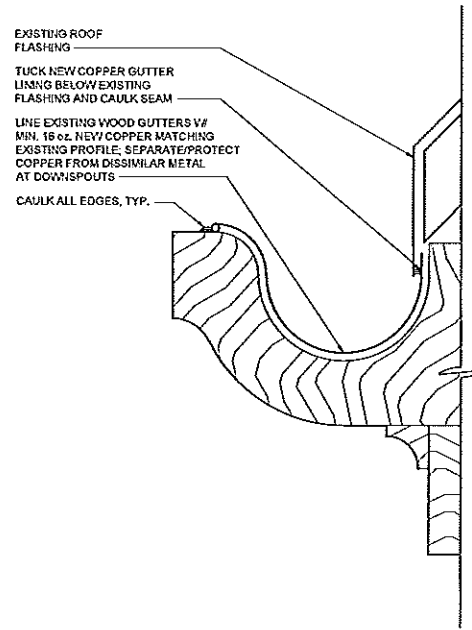


9 MAIN PORCH STAIRS SECTION
SCALE: 1 1/2" = 1'-0"

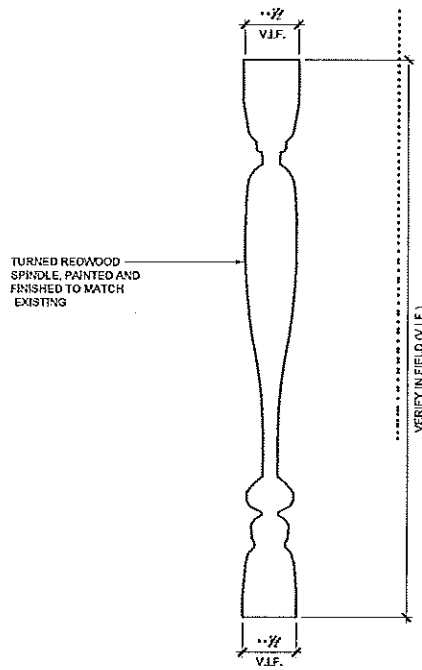


6 MAIN PORCH STAIR/HANDRAIL FRONT ELEVATION
SCALE: 1 1/2" = 1'-0"

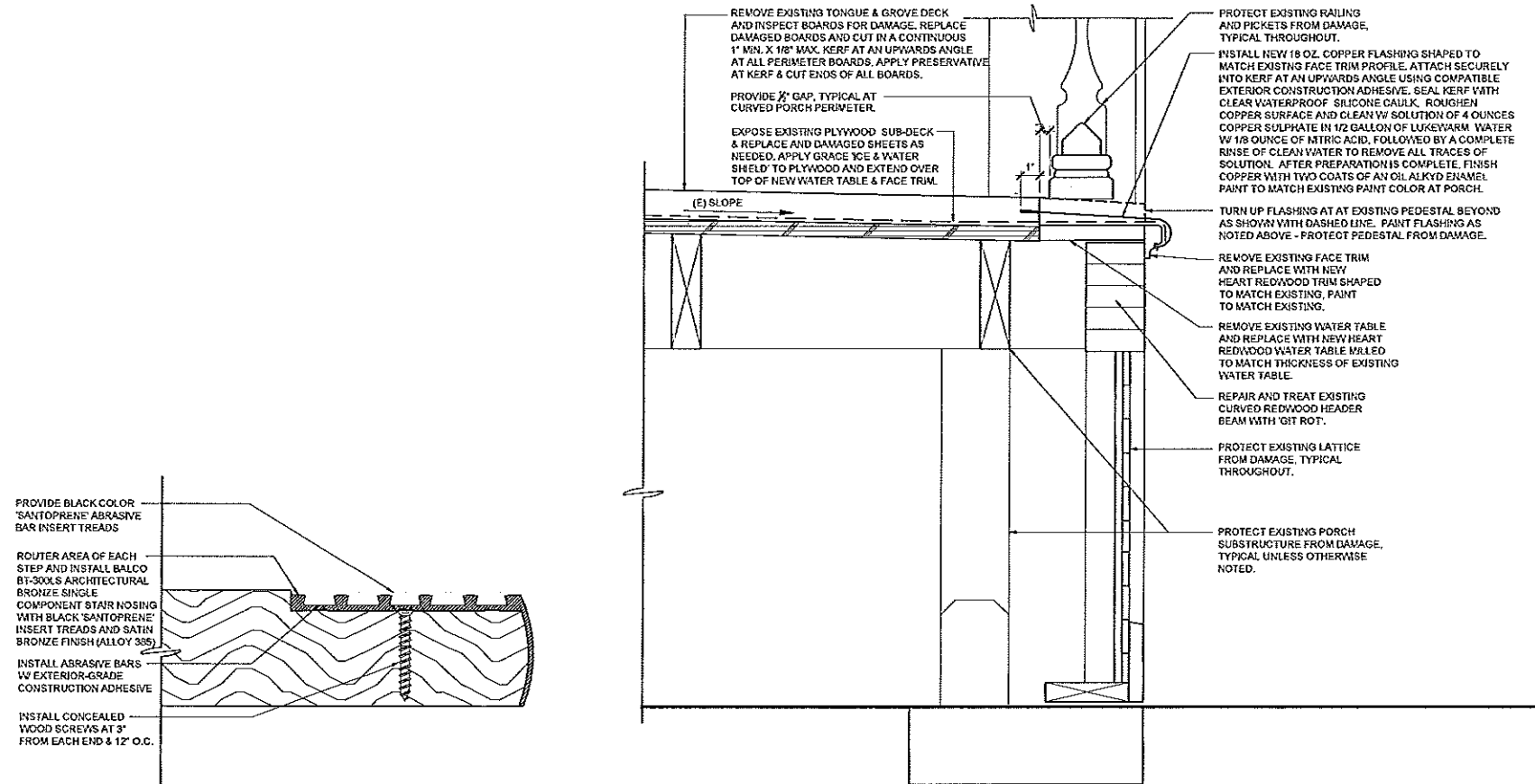
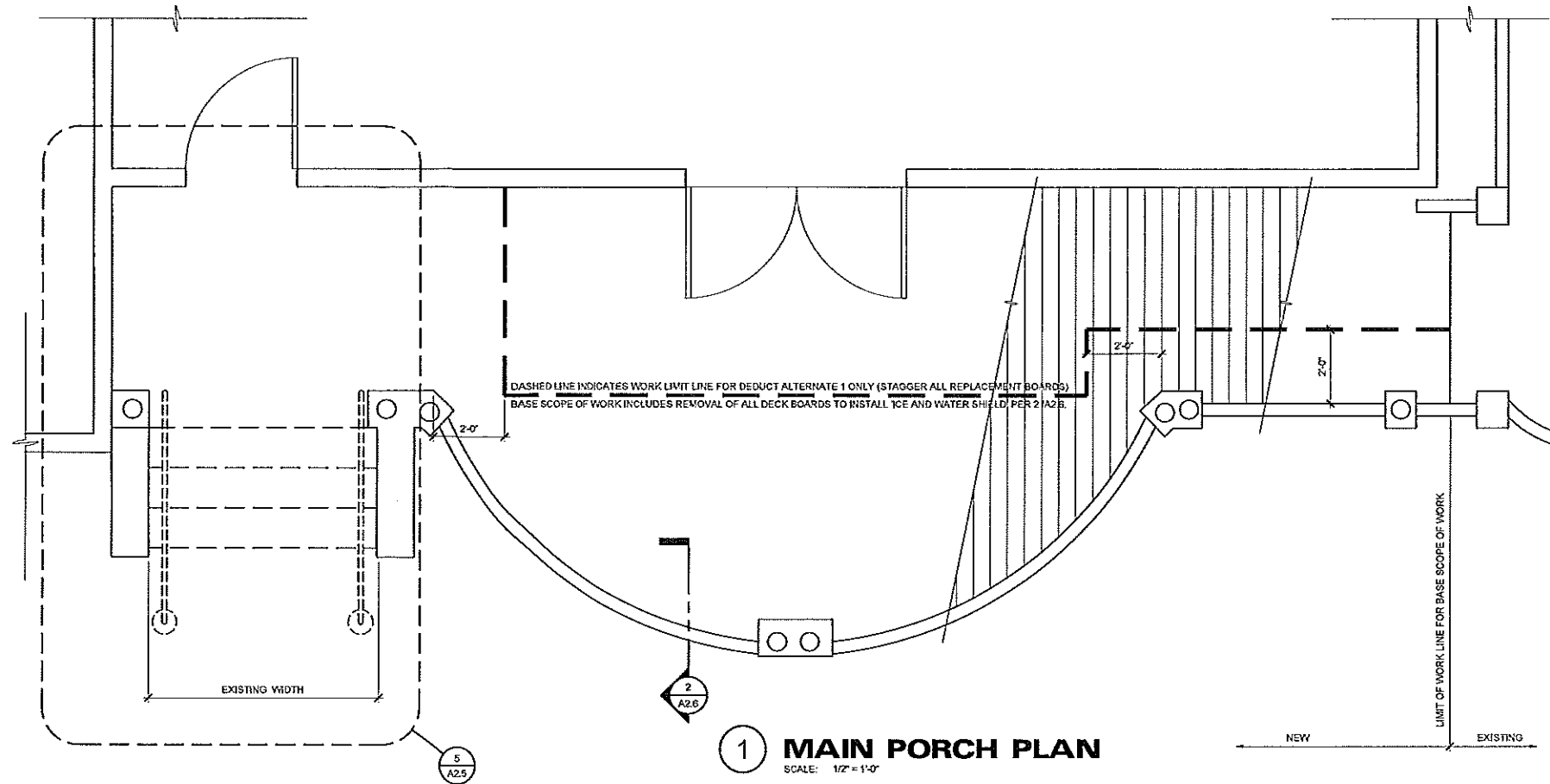
3 MAIN PORCH HANDRAIL SECTION
SCALE: 1 1/2" = 1'-0"



4 EXISTING GUTTER PROFILE (FOR ADD ALTERNATE 1)
SCALE: FULL SIZE

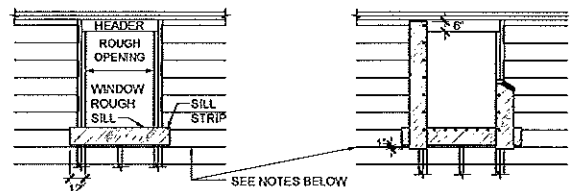


5 SPINDLE DETAIL (FOR ADD ALTERNATE 2)
SCALE: 1" = 1'-0"

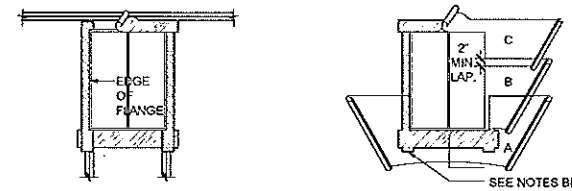


3 TYPICAL STAIR NOSING W/ CONTRASTING STRIP
SCALE: FULL SIZE

2 MAIN PORCH SECTION
SCALE: 3" = 1'-0"



- ATTACH SILL STRIP OF FLASHING MATERIAL AT LEAST TWELVE INCHES (12") WIDE WITH THE TOP EDGE EVEN AND LEVEL WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST TWELVE INCHES (12") BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FLASHING MATERIAL WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT POWER-DRIVEN STAPLES.
- AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS (SIDE OF OPENING) AT LEAST TWELVE INCHES (12") WIDE WITH INSIDE EDGE OF FLASHING FLUSH WITH EDGE OF ROUGH WINDOW OPENING. START JAMB STRIPS ONE INCH (1") BELOW THE SILL STRIP AND EXTEND JAMB STRIPS SIX INCHES (6") ABOVE THE LOWER EDGE OF THE HEADER (TOP OF WINDOW OPENING).



- APPLY A CONTINUOUS BEAD OF SEALANT TO THE BACK SURFACES OF THE WINDOW FLANGE. THEN PLACE THE WINDOW INTO THE ROUGH OPENING WITH FLANGES OVER THE INSTALLED FLASHING STRIPS. AFTER THE WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FLASHING AT LEAST TWELVE INCHES (12") WIDE.
- STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING (SHOWN IN DIAGRAM ABOVE AS SHORT DASH LINES). INSTALL SUCCEEDING COURSES OF WATER RESISTANT PAPER (B, C, ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

NOTES: USE "MOISTOP" FLASHING BY FORTIFIBER CORP., OR APPROVED EQUAL FOR FLASHING MATERIAL. CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT. WHERE SHEET METAL FLASHING IS INDICATED, INSTALL MINIMUM 26 GAUGE GALVANIZED IRON FLASHING UNLESS MORE STRINGENT FLASHING REQUIREMENTS ARE LISTED IN EITHER THE DRAWINGS OR THE SPECIFICATIONS.

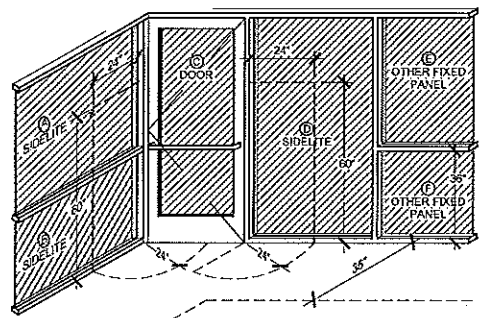
ADDITIONAL NOTES: SECTION 1405.4 OF THE CBC REQUIRES THAT FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL.

SINCE METHODS OF FLASHING ARE NOT SPECIFIED IN THE CODE, TECHNIQUES ILLUSTRATED HERE ARE PROVIDED AS THE REQUIRED METHOD FOR FLASHING OF METAL FRAMES IN WOOD FRAME EXTERIOR WALL CONSTRUCTION WHEN THE EXTERIOR WALL FINISH IS APPLIED OVER BUILDING PAPER OR FELT. THESE PROCEDURES CANNOT BE USED FOR APPLICATION TO WEATHERPROOF PANEL TYPE SIDING. SPECIAL ATTENTION MUST BE PAID IN ALL CASES TO THE MANUFACTURER'S RECOMMENDATIONS.

LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT BUILDING PAPER BENEATH WIRE LATH FOR PORTLAND AND CEMENT PLASTER, SHALL BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICES NOR THE WIRE BACKINGS SHALL COVER OR PENETRATE THE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER WIRE BACKING.

1 WINDOW FLASHING INSTALLATION

1 REQUIRED FLASHING DETAILS FOR WINDOW REPAIR AREAS
SCALE: N.T.S.



REQUIREMENTS:
A, B & D TO BE SAFETY GLAZED IF THEY MEET THE %WUTWO%U FOLLOWING CONDITIONS FOR SIDELITES:

- NEAREST EDGE OF GLAZING IS WITHIN A 24" ARC OF EITHER VERT. EDGE OF DOOR IN CLOSED POSITION.
 - BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 - C REPRESENTS A DOOR REQUIRING SAFETY GLAZING.
- E, F REQUIRE SAFETY GLAZING WHEN %WUALL FOUR%U OF THE FOLLOWING CONDITIONS ARE MET:
- EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ. FT.
 - EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR.
 - EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES IS WITHIN 36" HORIZONTALLY OF THE GLAZING.

ADDITIONAL NOTES:
1. ALL GLASS / GLAZING SHALL COMPLY WITH ALL REQUIREMENTS IDENTIFIED WITHIN CHAPTER 24 OF THE 2007 EDITION OF THE CALIFORNIA BUILDING CODE.
2. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE OR DRAIN INLET.
3. SAFETY GLAZING SHALL BE PROVIDED IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.

2 SAFETY GLAZING
SCALE: N.T.S.

WINDOW SCHEDULE CONT.

WINDOW NUMBER	TYPE	SIZE		OBSERVED CONDITION(S)				NOMINAL HEAD HEIGHT (A.F.F.)	NOTES
		WIDTH (V.I.F.)	HEIGHT (V.I.F.)	HEAD	LEFT JAMB	RIGHT JAMB	SILL		
34	FIXED	2'-4"	2'-0"	OK	OK	OK	OK	5'-4"	
35	DOUBLE HUNG	2'-4"	3'-6"	OK	OK	OK	OK	7'-0"	
36	FIXED	2'-4"	2'-0"	OK	OK	OK	OK	5'-4"	
37	CASEMENT	2'-6"	1'-8"	OK	OK	OK	OK	6'-4"	
38	DOUBLE HUNG	2'-8"	4'-0"	OK	OK	OK	OK	7'-0"	
39	DOUBLE HUNG	2'-8"	4'-0"	OK	OK	OK	OK	7'-0"	
40	CASEMENT	2'-6"	1'-8"	OK	OK	OK	OK	6'-4"	
41	DOUBLE HUNG	2'-8"	3'-10"	OK	OK	OK	OK	7'-0"	
42	DOUBLE HUNG	2'-8"	3'-10"	OK	OK	OK	OK	7'-0"	
43	CASEMENT	2'-6"	1'-8"	OK	OK	OK	OK	6'-5"	
44	DOUBLE HUNG	2'-10"	3'-10"	X	X	X	X	6'-0"	REPLACE ALL EXTERIOR AND INTERIOR TRIM
45	DOUBLE HUNG	2'-10"	3'-10"	X	X	X	X	6'-0"	REPAIR PER KEY NOTE 2, SHT. A2.3
46	DOUBLE HUNG	2'-10"	3'-10"	X	X	X	X	6'-0"	REPAIR PER KEY NOTE 2, SHT. A2.3
47	DOUBLE HUNG	2'-4"	3'-4"	OK	OK	X	X	7'-0"	LEAK AT INTERIOR BOTTOM LEFT
48	FIXED	1'-10"	2'-4"	OK	OK	OK	OK	6'-0"	
49	DOUBLE HUNG	2'-6"	4'-0"	OK	OK	OK	OK	5'-4"	
50	DOUBLE HUNG	2'-6"	4'-0"	OK	OK	OK	OK	5'-4"	
51	DOUBLE HUNG	2'-6"	4'-0"	OK	OK	OK	OK	5'-4"	

WINDOW NOTES

- ALL HARDWARE, FRAME FINISH AND COMPANION HARDWARE SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.
- ALL REPLACEMENT WINDOWS SHALL BE MANUFACTURED TO FIT EXACT WINDOW OPENINGS.
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE APPROVED SAFETY GLASS AND COMPLY W/SECTION 2406 OF THE CURRENT EDITION OF THE C.B.C. ALL GLAZING SHALL BE SAFETY GLAZED WHEN LOCATED WITHIN 60" OF THE WALKING SURFACE OR WITHIN 24" HORIZONTAL DISTANCE FROM ANY DOOR. A CERTIFICATE MUST ACCOMPANY ALL GLAZING PRODUCTS STATING THAT THE PRODUCTS CONFIRM WITH APPLICABLE CONSUMER PRODUCT SAFETY STANDARDS.
- ALL ROUGH OPENING DIMENSIONS SHALL BE FIELD VERIFIED, WINDOW FRAME AND GLAZING SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLAN AND INTERIOR / EXTERIOR ELEVATIONS FOR VERIFICATION OF QUANTITY AND LOCATIONS OF WINDOW TYPES.
- DIRECTION OF WINDOW OPERATION SHOWN ON INTERIOR / EXTERIOR ELEVATIONS BY ARROW FOR SLIDING WINDOW AND DASHED LINE FOR SWINGING WINDOW.

WINDOW AND WINDOW TREATMENT SCHEDULE

WINDOW NUMBER	TYPE	SIZE		OBSERVED CONDITION(S)				NOMINAL HEAD HEIGHT (A.F.F.)	NOTES
		WIDTH (V.I.F.)	HEIGHT (V.I.F.)	HEAD	LEFT JAMB	RIGHT JAMB	SILL		
52	FIXED	1'-8"	3'-0"	OK	OK	OK	OK	7'-0"	
53	DOUBLE HUNG	1'-4"	7'-0"	OK	OK	OK	OK	5'-0"	
54	DOUBLE HUNG	3'-4"	7'-0"	OK	OK	OK	OK	5'-0"	
55	DOUBLE HUNG	1'-4"	7'-0"	OK	OK	OK	OK	5'-0"	
56	FIXED	6'-8"	6'-8"	OK	OK	OK	OK	8'-6"	
57	FIXED	6'-8"	6'-8"	OK	OK	OK	OK	8'-6"	
58	DOUBLE HUNG	5'-0"	6'-4"	X	CAULK	CAULK	CAULK	8'-6"	REPLACE 3/4" X 6" WOOD TRIM AT HEAD AND CAULK ALL SIDES
59	DOUBLE HUNG	2'-6"	5'-8"	CAULK	CAULK	CAULK	X	8'-6"	REPLACE 3/4" X 6" WOOD TRIM AT SILL AND CAULK ALL SIDES
60	DOUBLE HUNG	3'-0"	5'-10"	OK	OK	OK	OK	8'-0"	
61	DOUBLE HUNG	3'-0"	7'-0"	OK	OK	OK	OK	9'-0"	
62	FIXED	4'-6"	3'-2"	OK	OK	OK	OK	7'-0"	
63	FIXED	4'-6"	3'-2"	OK	OK	OK	OK	7'-0"	
64	DOUBLE HUNG	2'-10"	5'-8"	X	OK	OK	OK	9'-0"	(E) WINDOW HEAD TRIM EXTREMELY WEATHERED, SAND DOWN OR REPLACE
65	DOUBLE HUNG	2'-8"	5'-10"	X	OK	OK	OK	9'-6"	REPLACE (E) WOOD TRIM AT WINDOW HEAD
66	DOUBLE HUNG	2'-4"	5'-10"	OK	OK	OK	OK	9'-6"	
67	FIXED/CASEMENT	7'-10"	5'-8"	OK	OK	OK	OK	7'-6"	
68	FIXED/CASEMENT	7'-10"	5'-8"	OK	OK	OK	OK	7'-6"	
69	DOUBLE HUNG	2'-10"	6'-8"	OK	OK	OK	OK	8'-0"	
70	DOUBLE HUNG	2'-10"	6'-8"	OK	OK	OK	OK	8'-0"	
71	DOUBLE HUNG	2'-10"	6'-8"	OK	OK	OK	OK	8'-0"	
72	DOUBLE HUNG	3'-6"	5'-0"	OK	OK	OK	OK	9'-6"	
73	DOUBLE HUNG	3'-6"	5'-0"	OK	OK	OK	OK	9'-6"	
74	DOUBLE HUNG	3'-0"	5'-4"	OK	OK	OK	OK	8'-6"	
75	DOUBLE HUNG	3'-0"	4'-8"	OK	OK	OK	OK	8'-6"	
76	FIXED	3'-0"	1'-6"	OK	OK	OK	OK	6'-6"	
77	FIXED	3'-4"	1'-10"	OK	OK	OK	OK	2'-10"	TYPICAL OF (2)
78	DOUBLE HUNG	1'-8"	5'-8"	OK	OK	OK	OK	5'-10"	
79	DOUBLE HUNG	3'-6"	5'-6"	OK	OK	OK	OK	5'-10"	
80	DOUBLE HUNG	1'-8"	5'-8"	OK	OK	OK	OK	5'-10"	
81	CASEMENT	1'-10"	1'-10"	OK	OK	OK	OK	4'-2"	
82	CASEMENT	1'-10"	1'-10"	OK	OK	OK	OK	4'-2"	
83	DOUBLE HUNG	2'-10"	5'-2"	OK	OK	OK	OK	5'-10"	
84	DOUBLE HUNG	2'-10"	5'-2"	OK	OK	OK	OK	5'-10"	
85	DOUBLE HUNG	2'-10"	5'-10"	OK	X	X	OK	6'-0"	REPLACE ROTTED WOOD TRIM AND JAMBS
86	DOUBLE HUNG	2'-10"	5'-10"	OK	X	OK	OK	6'-0"	REPLACE ROTTED WOOD TRIM AND JAMBS
87	DOUBLE HUNG	2'-10"	5'-10"	OK	?	OK	?	6'-0"	INVESTIGATE LEFT TRIM PIECE AND SILL FOR ROT
88	DOUBLE HUNG	2'-10"	5'-10"	OK	OK	OK	OK	6'-0"	
89	DOUBLE HUNG	2'-10"	7'-0"	X	OK	OK	OK	7'-4"	DAYLIGHT BETWEEN TOP & BOTTOM BASH - REPAIR / ADJUST WINDOW
90	FIXED	1'-2"	1'-8"	X	OK	OK	OK	5'-10"	WINDOW TRIM WEATHERED, SAND DOWN AND REPAINT
91	DOUBLE HUNG	2'-8"	5'-10"	OK	OK	OK	OK	7'-0"	
92	CASEMENT	1'-10"	3'-0"	OK	OK	OK	OK	7'-0"	
93	DOUBLE HUNG	2'-4"	5'-10"	OK	OK	X	OK	8'-0"	INTERNAL LEAK AT LOWER RIGHT HAND SIDE - CAULK WEATHERED SILL
94	DOUBLE HUNG	2'-10"	5'-8"	OK	OK	OK	OK	6'-0"	
95	DOUBLE HUNG	2'-10"	5'-8"	OK	OK	OK	OK	6'-0"	
96	DOUBLE HUNG	2'-10"	6'-8"	OK	OK	OK	X	7'-0"	REPLACE SILL AND SILL TRIM
97	DOUBLE HUNG	3'-4"	7'-0"	OK	X	OK	X	7'-8"	REPLACE ROTTED SILL, INSTALL NEW SIDE TRIM WHERE MISSING
98	DOUBLE HUNG	3'-4"	7'-0"	OK	OK	OK	OK	7'-8"	
99	DOUBLE HUNG	3'-4"	7'-0"	OK	OK	OK	OK	7'-8"	
100	DOUBLE HUNG	3'-6"	5'-8"	OK	OK	OK	OK	8'-0"	
101	FIXED	3'-4"	1'-10"	OK	OK	OK	OK	7'-4"	TYPICAL OF (2)
102	DOUBLE HUNG	3'-4"	4'-3"	OK	OK	OK	OK	6'-0"	TYPICAL OF (4)



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AP# 117-925-013

PORTER - VALLEJO MANSION
BUILDING REPAIR - 2011
MONTEREY COUNTY
29 BISHOP STREET
PAJARO CA 95076

JOB NO: 10159
PRINT DATE:
PLOT DATE: 3.6.2012
DRAWN BY: F.A.
CHECKED BY: F.D.J.C.B.
SET ISSUED:
50% C.D. 3.29.11
100% C.D. CLIENT R.W.W. 5.3.11
BUILDING DEPT. SET 6.2.11
HRRB COMMENTS 1.10.12
HRRB COMMENTS 3.06.12

SHEET NAME:
WINDOW SCHEDULES

SHEET NO:
A2.7
FILE NAME: 10159-227