

# **County of Monterey**

Thyme Conference Room  
1441 Schilling Place, 2nd Floor  
Salinas, CA 93901



## **Meeting Agenda - Final**

**Thursday, February 26, 2026**

**9:30 AM**

**County of Monterey Zoning Administrator**

**FEE SCAM ALERT: Be aware of a fake invoice scam, if you receive an unexpected invoice related to a county project, call the County Permit Center at 831-755-5025 to confirm its authentic.**

**ALERTA DE ESTAFA DE TARIFAS: Tenga cuidado con las estafas de facturas falsas, si recibe una factura inesperada relacionada con un proyecto del condado, llame al Centro de Permisos del Condado al 831-755-5025 para confirmar su autenticidad.**

**The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Zoning Administrator alternative actions on any matter before it.**

**In addition to attending in person, public participation will be available by ZOOM and/or telephonic means:**

**PLEASE NOTE: IF THE ZONING ADMINISTRATOR IS PRESENT IN PERSON, PUBLIC PARTICIPATION BY ZOOM IS FOR CONVENIENCE ONLY AND IS NOT REQUIRED BY LAW. IF THE ZOOM FEED IS LOST FOR ANY REASON, THE MEETING MAY BE PAUSED WHILE A FIX IS ATTEMPTED BUT THE MEETING MAY CONTINUE AT THE DISCRETION OF THE ZONING ADMINISTRATOR.**

**You may participate through ZOOM. For ZOOM participation please join by computer audio at:**

**<https://montereycty.zoom.us/j/92771458150?from=addon>**

**OR to participate by phone call any of these numbers below:**

- + 1 669 900 6833 US (San Jose)
- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

**Enter this Meeting ID number 927 7145 8150 when prompted.**

**PUBLIC COMMENT: Please submit your comment (limited to 250 or less) to the Clerk at [zahearingcomments@countyofmonterey.gov](mailto:zahearingcomments@countyofmonterey.gov). In an effort to assist the Clerk in identifying the agenda item relating to your public comment please indicate in the Subject Line, the meeting body (i.e. Zoning Administrator Agenda) and item number (i.e. Item No. 10). Your comment will be placed into the record at the meeting.**

**Public Comment Prior to Wednesday at 5:00 PM will be distributed to the Zoning Administrator via email.**

**Public Comment submitted during the meeting can be submitted at any time and every effort will be made to read your comment into the record, but some comments may not be read due to time limitations. Comments received after the agenda item will be made part of the record if received prior to the end of the meeting.**

**ALTERNATIVE FORMATS:** If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

**INTERPRETATION SERVICE POLICY:** The County of Monterey Zoning Administrator invites and encourages the participation of Monterey County residents at its meetings. If you require the assistance of an interpreter, please contact the County of Monterey Housing and Community Development Department located in the County of Monterey Government Center, 1441 Schilling Place, 2nd Floor South, Salinas - or by phone at (831) 755-5025. The Clerk will make every effort to accommodate requests for interpreter assistance. Requests should be made as soon as possible, and at a minimum 24 hours in advance of any meeting.

**La medida recomendada indica la recomendación del personal en el momento en que se preparó la agenda. Dicha recomendación no limita las acciones alternativas del Administrador de Zonificación sobre cualquier asunto que se le haya sometido.**

**Además de asistir en persona, la participación del público estará disponible por ZOOM y/o medios telefónicos:**

**TENGA EN CUENTA: SI EL ADMINISTRADOR DE ZONIFICACIÓN ESTÁ PRESENTE EN PERSONA, LA PARTICIPACIÓN PÚBLICA DE ZOOM ES SOLO POR CONVENIENCIA Y NO ES REQUERIDA POR LA LEY. SI LA TRANSMISIÓN DE ZOOM SE PIERDE POR CUALQUIER MOTIVO, LA REUNIÓN PUEDE PAUSARSE MIENTRAS SE INTENTA UNA SOLUCIÓN, PERO LA REUNIÓN PUEDE CONTINUAR A DISCRECIÓN DEL ADMINISTRADOR DE ZONIFICACIÓN.**

**Puede participar a través de ZOOM. Para la participación de ZOOM, únase por computadora en:**

**[https://montereycty.zoom.us/j/927 7145 8150](https://montereycty.zoom.us/j/92771458150)**

**O para participar por teléfono, llame a cualquiera de estos números a continuación:**

**+ 1 669 900 6833 US (San Jose)**

- + 1 346 248 7799 US (Houston)
- + 1 312 626 6799 US (Chicago)
- + 1 929 205 6099 US (New York)
- + 1 253 215 8782 US
- + 1 301 715 8592 US

Presione el código de acceso de reunión: 927 7145 8150 cuando se le solicite.

**COMENTARIO PÚBLICO:** Por favor envíe su comentario (limitado a 250 palabras o menos) al personal de la reunión del Administrador de Zonificación al correo electrónico:

zahearingcomments@co.monterey.ca.us. En un esfuerzo por ayudar al personal, indique en la línea de asunto, la audiencia de la reunión (por ejemplo, Administrador de Zonificación) y el número de la agenda (por ejemplo, el No. de agenda 10). Su comentario se incluirá en el registro de la reunión del Administrador de Zonificación.

Los comentarios públicos recibidos antes de las 5:00 p.m. el miércoles antes de la reunión del Administrador de Zonificación del Condado de Monterey se distribuirán por correo electrónico.

El comentario público enviado durante la reunión se puede enviar en cualquier momento y se hará todo lo posible para leer su comentario en el registro, pero algunos comentarios pueden no leerse debido a limitaciones de tiempo. Los comentarios recibidos después del tema de la agenda se incluirán en el registro si se reciben antes de que finalice la junta.

**FORMATOS ALTERNATIVOS:** Si se solicita, la agenda se pondrá a disposición de las personas con discapacidad en formatos alternativos apropiados, según lo exige la Sección 202 de la Ley de Estadounidenses con Discapacidades de 1990 (42 USC Sec. 12132) y las reglas y regulaciones federales adoptadas en implementación de la misma. Para obtener información sobre cómo, a quién y cuándo una persona con una discapacidad que requiere una modificación o adaptación para participar en la reunión pública puede hacer una solicitud de modificación o adaptación relacionada con la discapacidad, incluidas las ayudas o servicios auxiliares, o si tiene alguna pregunta sobre cualquiera de los temas enumerados en esta agenda, llame al Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey al (831) 755-5025.

**POLÍZA DE SERVICIO DE INTERPRETACIÓN:** El Administrador de Zonificación del Condado de Monterey invita y apoya la participación de los residentes del Condado de Monterey en sus reuniones. Si usted requiere la asistencia de un intérprete, por favor comuníquese con el Departamento de Vivienda y Desarrollo Comunitario localizado en el Centro de Gobierno del Condado de Monterey, (County of Monterey Government Center), 1441 Schilling Place, segundo piso sur, Salinas – o por teléfono al (831) 755-5025. La asistente hará el esfuerzo para acomodar los pedidos de asistencia de un intérprete. Los pedidos se deberán hacer lo más pronto posible, y a lo mínimo 24 horas de anticipo para cualquier reunión.

**NOTE:** All agenda titles related to numbered items are live web links. Click on the title to be

**directed to corresponding Staff Report.**

**9:30 A.M - Call to Order****ROLL CALL**

Mike Novo, Zoning Administrator  
Representative from Environmental Health  
Representative from Public Works  
Representative from Environmental Services

**PUBLIC COMMENT**

This is a time set aside for the public to comment on a matter that is not on the agenda.

**AGENDA ADDITIONS, DELETIONS AND CORRECTIONS**

The Zoning Administrator Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Zoning Administrator as provided in Sections 54954.2 of the California Government Code.

**ACCEPTANCE OF MINUTES**

- A. Acceptance of the February 12, 2026, County of Monterey Zoning Administrator Meeting Minutes.

**Attachments:**     [Draft Minutes 02-12-26](#)

**9:30 A.M. - SCHEDULED ITEMS**

1. PLN240024 - S T C RENEWALS AND SERVICES LTD Public hearing to consider the after-the-fact installation of a 5,000-gallon water tank for the purposes of providing emergency service to fire protection district within 100-feet of an environmentally sensitive habitat area.

Project Location: as adjacent to 37013 Palo Colorado Canyon Road, Carmel, Big Sur Coast Land Use Plan, Coastal Zone

Proposed CEQA Action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2

**Attachments:**     [Staff Report](#)  
                          [Exhibit A - Project Data Sheet](#)  
                          [Exhibit B - Draft Resolution](#)  
                          [Exhibit C - Biological Report](#)  
                          [Exhibit D - Big Sur Coast LUAC Minutes \(February 10, 2026\)](#)  
                          [Exhibit E - Vicinity Map](#)

2. PLN250023 - RONDA RD INVESTMENTS LLC

Public hearing to consider action on a 1,374 square foot addition to an existing 9,930 square foot single family dwelling with an attached garage and associated site improvements; and Reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet.

Project Location: 3950 Ronda Rd, Pebble Beach, CA 93953

Proposed CEQA action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2.

**Attachments:**     [Staff Report](#)  
                          [Exhibit A - Draft Resolution](#)  
                          [Exhibit B - Vicinity Map](#)

3. PLN250233 - CRONIN MARY & MATTHEW TRS

Public hearing to consider an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 25CE00699.

Project Location: 17420 Cachagua Road, Carmel Valley, CA 93924

Proposed CEQA Action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

**Attachments:**     [Staff Report](#)  
                          [Exhibit A - Draft Resolution](#)  
                          [Exhibit B - Vicinity Map](#)

**4. PLN240095 - RUSSELL CAROL TR**

Public hearing to consider action on an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00504.

Project Location: 503 Corral de Tierra Rd, Salinas, CA 93908

Proposed CEQA Action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301, and find that none of the exceptions to the exemptions listed in section 15300.2 can be made.

**Attachments:**     [Staff Report](#)  
                          [Exhibit A - Draft Resolution](#)  
                          [Exhibit B - Vicinity Map](#)  
                          [Exhibit C - Public Comments](#)

**5. PLN240091 - CEGLAR JUSTIN & SARAH TRS**

Public hearing to consider action on an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00505.

Project Location: 505 Corral de Tierra Rd, Salinas, CA 93908

Proposed CEQA Action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301, and find that none of the exceptions to the exemptions listed in section 15300.2 can be made.

**Attachments:**     [Staff Report](#)  
                          [Exhibit A - Draft Resolution](#)  
                          [Exhibit B - Vicinity Map](#)  
                          [Exhibit C - Public Comments](#)

- 6. PLN250321 - CHOUINARD JOSEPH L & LEON CARMEN E TRS  
Public hearing to consider action on an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 22CE00333.  
Project Location: 24576 Portola Road, Carmel  
Proposed CEQA Action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

**Attachments:**     [Staff Report](#)  
                          [Exhibit A - Draft Resolution](#)  
                          [Exhibit B - Vicinity Map](#)

- 7. PLN250366 - PUCZYNSKI SHARON TR & COHN CRAIG TR  
Public hearing to consider action on a Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer.  
Project Location: 24571 Portola Road, Carmel  
Proposed CEQA Action: Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

**Attachments:**     [Staff Report](#)  
                          [Exhibit A - Draft Resolution](#)  
                          [Exhibit B - Vicinity Map](#)

**OTHER MATTERS**

**ADJOURNMENT**



# County of Monterey

**Item No.A**

## Board Report

Board of Supervisors  
Chambers  
168 W. Alisal St., 1st Floor  
Salinas, CA 93901

**Legistar File Number: MIN 26-006**

**February 26, 2026**

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Minutes

Acceptance of the February 12, 2026, County of Monterey Zoning Administrator Meeting Minutes.

# **County of Monterey**

Thyme Conference Room  
1441 Schilling Place, 2nd Floor  
Salinas, CA 93901



## **Meeting Minutes - Draft**

**Thursday, February 12, 2026**

**9:30 AM**

**County of Monterey Zoning Administrator**

**9:30 A.M - CALL TO ORDER**

**Mike Novo called the meeting to order at 9:30 a.m.**

**ROLL CALL**

**Mike Novo, Zoning Administrator  
Kyler Asato, Environmental Health  
Bora Akkaya and Arlen Blanca, Public Works  
Jess Barreras, Environmental Services**

**PUBLIC COMMENT**

**None**

**AGENDA ADDITIONS, DELETIONS AND CORRECTIONS**

**Clerk Armida Estrada informed the Zoning Administrator that there was correspondence for the following items:**

**Agenda Item #1 PLN250211, Agenda Item #2 PLN250170, and Agenda Item #3 PLN240379, which was distributed to the Zoning Administrator and all interested parties.**

**ACCEPTANCE OF MINUTES**

Acceptance of the January 29, 2026, County of Monterey Zoning Administrator Meeting Minutes.

**The Zoning Administrator accepted the January 29, 2026, County of Monterey Zoning Administrator Meeting minutes.**

**9:30 A.M. - SCHEDULED ITEMS**

- 1. PLN250211 - MASON JOHN E & CHERYL L TRS**  
Public hearing to consider a Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer.  
**Project Location:** 789 Salinas Monterey Hwy, Salinas, 93908  
**Proposed CEQA action:** Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2.

**Jordan Evans-Pollockow, Project Planner, presented the item.**

**Applicant Representative: John Mason, applicant**

**Public Comment: None**

**The Zoning Administrator asked staff and the applicant about access to the site, with concerns for safety from visitors not knowing the area. He asked whether there was a left turn lane and the answer was no. After discussion the Zoning Administrator found that the project is Categorical Exempt pursuant**

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**to CEQA Guidelines Section 15301; and approved a Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer. The Zoning Administrator included some non-substantive changes to the resolution.**

**2. PLN250170 - DIVAKARUNI RENUKA S TR**

Public hearing to consider action on a Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer.

**Project Location:** 1063 Mission Road, Pebble Beach, 93953

**Proposed CEQA Action:** Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

**Jade Mason, Project Planner, presented the item.**

**Public Comment: Nicolas Divakaruni, applicant; Zoe, neighbor, Anonymous, neighbor, and Ruth Klein, neighbor.**

**The Zoning Administrator found that the project is Categorical Exempt pursuant to CEQA Guidelines section 15301 and no exceptions under section 15300.2 apply; and approved a Use Permit for a Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer. The Zoning Administrator included some non-substantive changes to the resolution.**

**3. PLN240379 - LESSER MICHAEL B & MC GARR BONNIE J TRS**

Public hearing to consider a change of use of an Accessory Dwelling Unit, previously known as a caretaker's unit, to a second single-family dwelling unit, and to allow the use of the residential property for a Commercial Vacation Rental for transient lodging for a period of 30 calendar days or fewer.

**Project Location:** 32829 East Carmel Valley Rd, Carmel Valley, CA 93924

**Proposed CEQA Action:** Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

**Jordan Evans-Polockow, Project Planner, presented the item.**

**Public Comment: Bonnie McGarr and Mike Blesser, applicants.**

**The Zoning Administrator found that the project is Categorical Exempt pursuant to CEQA Guidelines Section 15301 and no exceptions under section 15300.2 apply; and approved a Combined Development Permit consisting of an Administrative Permit to allow a second single family dwelling by changing the use of an existing Accessory Dwelling Unit, previously known as a caretaker's unit and a Use Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer. The Zoning Administrator included some non-substantive changes to the resolution.**

**OTHER MATTERS**

None

**ADJOURNMENT**

The meeting was adjourned at 10:46 a.m.



# County of Monterey

## Item No.1

### Board Report

Board of Supervisors  
Chambers  
168 W. Alisal St., 1st Floor  
Salinas, CA 93901

Legistar File Number: ZA 26-015

February 26, 2026

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

**PLN240024 - S T C RENEWALS AND SERVICES LTD** Public hearing to consider the after-the-fact installation of a 5,000-gallon water tank for the purposes of providing emergency service to fire protection district within 100-feet of an environmentally sensitive habitat area.

**Project Location:** as adjacent to 37013 Palo Colorado Canyon Road, Carmel, Big Sur Coast Land Use Plan, Coastal Zone

**Proposed CEQA Action:** Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2

#### RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution:

1. Finding the project exempt from CEQA pursuant to CEQA Guidelines Section 15301, existing structures, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit consisting of:
  1. Coastal Administrative Permit and Design Approval to allow the after-the-fact installation of a 5,000-gallon water tank for the purpose of providing emergency service to fire protection district; and
  2. Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat.

A draft resolution, including findings and evidence, is attached for consideration (**Exhibit B**). Staff recommends approval subject to 2 conditions.

#### PROJECT INFORMATION:

**Project Owner:** S T C Renewals and Services Ltd

**APN:** 418-031-019-000

**Zoning:** Rural Density Residential, 40 acres per unit, Design Control Overlay (Coastal Zone)  
[RDR/40-D (CZ)]

**Parcel Size:** 1.48 acres (64,468.8 sq. ft.)

**Flagged and Staked:** No

#### SUMMARY/DISCUSSION:

The property is located as adjacent to 37013 Palo Colorado Canyon Road, Carmel, and is subject to the policies of the Big Sur Coast Land Use Plan. The project involves an after-the-fact installation of a 5,000-gallon water tank in a pre-existing stonewall enclosure on a concrete pad. The water tank is for the exclusive use of the Mid-Coast Fire Brigade for fire suppression. The site is a vacant parcel located within 100 feet of an environmentally sensitive habitat (ESHA), so a Coastal Development Permit is required to allow construction within 100 feet of ESHA. This project was previously

scheduled for the January 29, 2026, Zoning Administrator Hearing. However, the hearing was continued to allow staff further time to provide findings and evidence.

Based on staff's analysis, the proposed project is consistent with applicable goals and policies in the 1982 Monterey County General Plan (General Plan), policies in the Big Sur Coast Land Use Plan (BSC LUP), regulations and development standards contained in the Monterey County Coastal Implementation Plan, Part 3 (CIP) and Title 20 Zoning Ordinance (Title 20).

*Cultural Resources:*

The Monterey County Geographic Informational System (GIS) identifies the project site is located within an area of high sensitivity for cultural resources. As there was no ground disturbance or site alteration caused by the installation of the water storage tank, an Archaeological Report Waiver application was submitted.

*Environmentally Sensitive Habitat Area (ESHA):*

The location of the water storage tank is approximately 45 feet from Palo Colorado Creek. BSC LUP identifies vegetation within 150 feet of a riparian corridor as environmentally sensitive habitat area. The Biological Report (LIB250351) identified no special status species on or near the project area. The water storage tank was installed within an existing stonewall enclosure upon a concrete pad. There was no ground disturbance and no site alteration done for the tank installation. The report concluded that there were no significant impacts to native vegetation.

*Design Review:*

Pursuant to MCC Chapter 20.44, the proposed project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The water storage tank is similar in every aspect to other water storage tanks located on parcels adjacent to Palo Colorado Canyon Road. It is forest green, and cylindrical in shape with a rounded top.

The property is not located in an area where the Local Coastal Program requires visual public access (Chapter 3.2, Scenic Resources, Big Sur Coast Land Use Plan). The property is located east, or landward, of Highway 1. The project site is not visible from the coast or a public viewing area. The proposed development as conditioned is consistent with Big Sur Coast Land Use Plan Policy 3.2.4 and will not detract from the natural beauty of the canyon or redwood forestation. The project proposal uses the existing bridge and entryway connecting to Palo Colorado Canyon Road and an existing stonewall enclosure with concrete pad for the foundation of the water storage tank. The proposed colors and materials will blend with the surrounding environment. As proposed, the project would not result in any visual impacts, and the project is consistent with the applicable visual resource and public access policies of the Big Sur Coast Land Use Plan.

*Development Standards:*

The property is zoned for rural density residential use, which allows development of water system facilities which include water storage tanks as principally allowed uses subject to the granting of a Coastal Administrative Permit pursuant to MCC Section 20.16.040.J. The project proposal is for the

after-the-fact installation of a 5,000-gallon water storage tank in an existing stonewall enclosure with concrete pad. The project meets development standards pertaining to lot coverage, height, and the front, rear and side setbacks. The project uses the existing stonewall enclosure and concrete pad. Using the existing enclosure requires no site disturbance or grading, thereby better meeting the policies and goals of the Big Sur Implementation Plan and other Big Sur goals and policies by minimizing development impacts to the site.

LUAC:

The project was referred to the Big Sur Land Use Advisory Committee (LUAC) for review (**Exhibit D**). The LUAC reviewed the project at a duly noticed public meeting on February 10, 2026, at which all persons had the opportunity to be heard. The LUAC recommended putting a sign on the tank designating it clearly as for “fire suppression only.” The LUAC voted 5 - 0 (5 ayes) to support the project with the recommendation for the sign.

CEQA:

The project is categorically exempt from environmental review pursuant to Section 15301 of the CEQA Guidelines, “Existing Facilities.” This project qualifies for a Class 1 exemption because it includes the permitting of an existing structure and will not result in any adverse impacts to the surrounding environmental resources as defined in the CEQA Guidelines. All of the necessary reports have been obtained and have concluded that it is unlikely the project would impact archaeological resources, forest resources or visual impacts. There are no exceptions pursuant to Section 15300.2. The project does not involve a designated historical resource. The project does not involve the removal of trees or major vegetation. Therefore, the proposed development is consistent with the parameters of this Class 1 exemption. There are no exceptions pursuant to Section 15300.2. No evidence of significant adverse environmental effects was identified during staff review of the development application. There is no cumulative impact without any prior successive projects of the same type in the same place, over time. There is no significant effect on the environment due to unusual circumstances. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known historical resources are found in the geotechnical or archaeological reports, which may cause a substantial adverse change in the significance of a historical resource. The project site is not within an officially designated highway area, as a state scenic highway.

OTHER AGENCY INVOLVEMENT:

The following County agencies or departments reviewed this project:

- HCD-Engineering Services
- HCD-Environmental Services
- Environmental Health Bureau
- Mid Coast Fire Brigade
- California Coastal Commission

Prepared by: Benjamin Moulton, Assistant Planner

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Project Data Sheet

Exhibit B - Draft Resolution, including:

- Site Plan, Floor Plans, Elevations & Colors and Materials

- Recommended Conditions of Approval

Exhibit C - Biological Report

Exhibit D - Big Sur Coast LUAC Minutes (February 10, 2026)

Exhibit E - Vicinity Map

cc: Front Counter Copy; California Coastal Commission; Mid-Coast Fire Brigade;  
HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau;  
Benjamin Moulton, Planner; Jacquelyn M. Nickerson, Principal Planner; S T C RENEWALS AND  
SERVICES LTD, Property Owner; Brittney Schloss, Agent; Big Sur Coast LUAC; The Open  
Monterey Project; LandWatch (Executive Director); Planning File PLN240024



## Zoning Administrator

Legistar File Number: ZA 26-015

February 26, 2026

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

**PLN240024 - S T C RENEWALS AND SERVICES LTD** Public hearing to consider the after-the-fact installation of a 5,000-gallon water tank for the purposes of providing emergency service to fire protection district within 100-feet of an environmentally sensitive habitat area.

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### RECOMMENDATION:

It is recommended that the Zoning Administrator adopt a resolution:

1. Finding the project exempt from CEQA pursuant to CEQA Guidelines Section 15301, existing structures, and there are no exceptions pursuant to Section 15300.2; and
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Based on staff's analysis, the proposed project is consistent with applicable goals and policies in the 1982 Monterey County General Plan (General Plan), policies in the Big Sur Coast Land Use Plan (BSC LUP), regulations and development standards contained in the Monterey County Coastal Implementation Plan, Part 3 (CIP) and Title 20 Zoning Ordinance (Title 20).

Cultural Resources:

The Monterey County Geographic Informational System (GIS) identifies the project site is located within an area of high sensitivity for cultural resources. As there was no ground disturbance or site alteration caused by the installation of the water storage tank, an Archaeological Report Waiver application was submitted.

Environmentally Sensitive Habitat Area (ESHA):

The location of the water storage tank is approximately 45 feet from Palo Colorado Creek. BSC LUP identifies vegetation within 150 feet of a riparian corridor as environmentally sensitive habitat area. The Biological Report (LIB250351) identified no special status species on or near the project area. The water storage tank was installed within an existing stonewall enclosure upon a concrete pad. There was no ground disturbance and no site alteration done for the tank installation. The report concluded that there were no significant impacts to native vegetation.

Design Review:

Pursuant to MCC Chapter 20.44, the proposed project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The water storage tank is similar in every aspect to other water storage tanks located on parcels adjacent to Palo Colorado Canyon Road. It is forest green, and cylindrical in shape with a rounded top.

The property is not located in an area where the Local Coastal Program requires visual public access (Chapter 3.2, Scenic Resources, Big Sur Coast Land Use Plan). The property is located east, or landward, of Highway 1. The project site is not visible from the coast or a public viewing area. The proposed development as conditioned is consistent with Big Sur Coast Land Use Plan Policy 3.2.4 and will not detract from the natural beauty of the canyon or redwood forestation. The project proposal uses the existing bridge and entryway connecting to Palo Colorado Canyon Road and an existing stonewall enclosure with concrete pad for the foundation of the water storage tank. The proposed colors and materials will blend with the surrounding environment. As proposed, the project would not result in any visual impacts, and the project is consistent with the applicable visual resource and public access policies of the Big Sur Coast Land Use Plan.

Development Standards:

The property is zoned for rural density residential use, which allows development of water system facilities which include water storage tanks as principally allowed uses subject to the granting of a Coastal Administrative Permit pursuant to MCC Section 20.16.040.J. The project proposal is for the

after-the-fact installation of a 5,000-gallon water storage tank in an existing stonewall enclosure with concrete pad. The project meets development standards pertaining to lot coverage, height, and the front, rear and side setbacks. The project uses the existing stonewall enclosure and concrete pad. Using the existing enclosure requires no site disturbance or grading, thereby better meeting the policies and goals of the Big Sur Implementation Plan and other Big Sur goals and policies by minimizing development impacts to the site.

LUAC:

The project was referred to the Big Sur Land Use Advisory Committee (LUAC) for review (**Exhibit D**). The LUAC reviewed the project at a duly noticed public meeting on February 10, 2026, at which all persons had the opportunity to be heard. The LUAC recommended putting a sign on the tank designating it clearly as for “fire suppression only.” The LUAC voted 5 - 0 (5 ayes) to support the project with the recommendation for the sign.

CEQA:

The project is categorically exempt from environmental review pursuant to Section 15301 of the CEQA Guidelines, “Existing Facilities.” This project qualifies for a Class 1 exemption because it includes the permitting of an existing structure and will not result in any adverse impacts to the surrounding environmental resources as defined in the CEQA Guidelines. All of the necessary reports have been obtained and have concluded that it is unlikely the project would impact archaeological resources, forest resources or visual impacts. There are no exceptions pursuant to Section 15300.2. The project does not involve a designated historical resource. The project does not involve the removal of trees or major vegetation. Therefore, the proposed development is consistent with the parameters of this Class 1 exemption. There are no exceptions pursuant to Section 15300.2. No evidence of significant adverse environmental effects was identified during staff review of the development application. There is no cumulative impact without any prior successive projects of the same type in the same place, over time. There is no significant effect on the environment due to unusual circumstances. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known historical resources are found in the geotechnical or archaeological reports, which may cause a substantial adverse change in the significance of a historical resource. The project site is not within an officially designated highway area, as a state scenic highway.

OTHER AGENCY INVOLVEMENT:

The following County agencies or departments reviewed this project:

- HCD-Engineering Services
- HCD-Environmental Services
- Environmental Health Bureau
- Mid Coast Fire Brigade
- California Coastal Commission

Prepared by: Benjamin Moulton, Assistant Planner

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Project Data Sheet

Exhibit B - Draft Resolution, including:

- Site Plan, Floor Plans, Elevations & Colors and Materials

- Recommended Conditions of Approval

Exhibit C - Biological Report

Exhibit D - Big Sur Coast LUAC Minutes (February 10, 2026)

Exhibit E - Vicinity Map

cc: Front Counter Copy; California Coastal Commission; Mid-Coast Fire Brigade;  
HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau;  
Benjamin Moulton, Planner; Jacquelyn M. Nickerson, Principal Planner; S T C RENEWALS AND  
SERVICES LTD, Property Owner; Brittney Schloss, Agent; Big Sur Coast LUAC; The Open  
Monterey Project; LandWatch (Executive Director); Planning File PLN240024

# Exhibit A

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# EXHIBIT A

## Project Information for PLN240024

**Application Name:** S T C Renewals And Services LTD  
**Location:** Next to 37013 Palo Colorado Rd,  
**Applicable Plan:** Carmel Coast-Big Sur **Primary APN:** 418-031-019-000  
**Advisory Committee:** Big Sur Coast Advisory Committee **Coastal Zone:** Yes  
**Permit Type:** Combined Development Permit **Final Action Deadline (884):**  
**Environmental Status:** Categorical Exemption  
**Zoning:** RDR/40-D(CZ) **Land Use Designation:** Rural Residential

### Project Site Data:

**Lot Size:** 64468.8 **Coverage Allowed:** 25%  
**Existing Structures (sf):** 0 **Coverage Proposed:** 0.18%  
**Proposed Structures (sf):** 56.75 **Height Allowed:** 30 FT  
**Total Sq. Ft.:** **Height Proposed:** 13 FT  
**Special Setbacks on Parcel:** N **FAR Allowed:** N/A  
**FAR Proposed:**

### Resource Zones and Reports:

**Seismic Hazard Zone:** RELATIVELY STABLE AREAS **Soils Report #:**  
**Erosion Hazard Zone:** High **Biological Report #:** LIB250351  
**Fire Hazard Zone:** Very High **Forest Management Rpt. #:**  
**Flood Hazard Zone:** X (unshaded) **Geologic Report #:**  
**Archaeological Sensitivity:** High **Archaeological Report #:**  
**Visual Sensitivity:** None **Traffic Report #:**

### Other Information:

**Water Source:** Private Well **Grading (cubic yds.):** 0  
**Water Purveyor:** N/A **Sewage Disposal (method):** N/A  
**Fire District:** Mid-Coast Fire Brigade 0 **Sewer District Name:** N/A  
**Tree Removal:**

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# Exhibit B

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## DRAFT RESOLUTION

### Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**S T C RENEWALS AND SERVICES LTD (PLN240024)**

**RESOLUTION NO. 26-**

Resolution by the Monterey County Zoning

Administrator:

- 1) Finding the project exempt from CEQA pursuant to CEQA Guidelines Section 15301, the permitting of existing facilities, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit consisting of:
  - a. Coastal Administrative Permit and Design Approval to allow the after-the-fact installation of a 5,000-gallon water tank for the purpose of providing emergency service to fire protection district; and
  - b. Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat area.

[PLN240024, S T C RENEWALS AND SERVICES LTD, as adjacent to 37013 Palo Colorado Road, Carmel, Big Sur Coast Land Use Plan, Coastal Zone (APN: 418-031-019-000)]

**The S T C RENEWALS AND SERVICES LTD application (PLN240024) came on for public hearing before the Monterey County Zoning Administrator on January 29, 2026, and February 26, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

#### FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 1982 Monterey County General Plan (General Plan);
  - Big Sur Coast Land Use Plan (BSC LUP);
  - Monterey County Coastal Implementation Plan, Part 3 (CIP);
  - and
  - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located next to 37013 Palo Colorado Road, Big Sur (Assessor's Parcel Number 418-031-019-000), Big Sur Coast Land Use Plan. The parcel is zoned RDR/40-D (CZ) [Rural Density Residential, 40 acres per unit, Design Control Overlay (Coastal Zone)]. Title 20 section 20.16.040.J allows for small water systems, which include water storage tanks as a principal use allowed subject to the granting of a Coastal Administrative Permit. The proposed after-the-fact water storage tank is installed in an enclosure on a concrete slab upon which a former shed was located on a vacant parcel. The water storage tank was installed when the local fire agency, the Mid Coast Fire Brigade, made it a condition prior to final inspection of a new single-family dwelling on a neighboring parcel under the same ownership. The subject parcel was chosen for siting the water tank because the existing enclosure with concrete slab made for a suitable installation platform that precluded further development impacts. Therefore, the project is an allowed land use for this site.
- c) Development Standards. The development standards for the Rural Density Residential (RDR) zoning district are identified in Monterey County Code (MCC) Section 20.16.060. Required setbacks in the RDR district for main structures are 30 feet (front), and 20 feet (rear and side). The proposed water storage tank is 34 feet from the front property line adjacent to Palo Colorado Canyon Road; approximately 39 feet from the eastern side property line; approximately 100 feet from the western side property line; and several hundred feet from the rear northern property line. Maximum allowed height is 30 feet. The proposed height of the water tank is approximately 13 feet. The allowed site coverage maximum in the RDR district is 25%. The property is approximately 1.48 acres (64,468.8 square feet), which would allow a maximum site coverage of approximately 16,117.2 square feet. The concrete foundation is approximately 114 square feet, or 0.18% site coverage. Therefore, as proposed, the project meets all required development standards.
- d) Design. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The 13-foot-high tank will be forest green to blend in with the surrounding forested area. The tank does not create any new visible structures within the Critical Viewshed (BSC LUP Policy 3.2.2). Distance, topography, and vegetation effectively screen the proposed development from Highway 1. The project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- e) Public Access: No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.145.150 of the Monterey

County Coastal Implementation Plan (Part 3) can be demonstrated. The project site features coastal or shoreline frontage. Furthermore, the proposed project does not interfere with any form of historic public use or trust rights. Therefore, the project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code). See Finding 9 below.

- f) Cultural Resources. County records identify that the project site is within an area of high sensitivity for cultural resources. The Big Sur Coast Land Use Plan requires that impacts to archaeological resources be avoided or minimized to the extent feasible. Consistent with BSC LUP Key Policy 3.11.1, the scope of the project is minimized to avoid ground disturbance. No ground disturbance, grading, or imported fill was needed to install the water storage tank in the existing enclosure with concrete slab.
- g) Environmentally Sensitive Habitat Areas (ESHA): The project site is located in lower Palo Colorado Canyon, an area characterized by a narrow, steep canyon with intermittent redwood forestation. Palo Colorado Creek courses through the bottom of Palo Colorado Canyon and is adjacent to the project parcel. This area is specifically identified as a plant habitat within the Big Sur Coast Environmentally Sensitive Habitat Resource Map. The development is within 100 feet of this area and therefore requires a Coastal Development Permit pursuant to Section 20.16.030.E. BSC LUP Policy 3.3.2.2 states that field surveys by qualified individuals shall be conducted to determine locations of sensitive habitats and recommend measures to ensure its protection. In accordance with CIP section 20.145.040.A.1.b, a biological report was prepared for the project (Nedeff LIB250351). The report described a mix of plant species characterized by mostly non-native garden plants and occasional native species. No special status species were found on or near the project area. The report notes that as the site was previously disturbed by the presence of the shed, the installation of the water tank had no impact to significant vegetation or native soil, consistent with BSC LUP General Policy 3.3.2.4 which limits disturbances of vegetation and land to only what is necessary for structural improvements themselves. CIP section 20.145.040.B.4 requires development proposals to reduce impacts to habitat by modifying siting, location, bulk, size, and other methods, to ensure habitat's long-term maintenance. No excavation, grading, or site alteration occurred, and no biological impacts were associated with the tank installation. Therefore, the project proposal is consistent BSC LUP and CIP Part 3.
- h) Stream Setback: Monterey County Coastal Implementation Plan, Part 3, Big Sur Coast, Section 20.145.040.C.1.d requires all development set 150 feet back from stream banks unless a biological survey indicates a reduced setback is sufficient to protect against impacts from development. The development is for an after-the-fact 5,000-gallon water tank installation in an existing enclosure on a concrete slab that has been previously disturbed. The project site is approximately 45 feet from the center line of Palo Colorado Creek. The report notes that as the tank installation occurred within the stonewall enclosure on an existing

concrete pad, there were no subsequent impacts from development. The proposed project does not cause further encroachment within the stream setback and does not propose or cause any alterations to the stream bank or stream course.

- i) **LUAC:** The project was referred to the Big Sur Coast Land Use Advisory Committee (LUAC) for review. This application did warrant referral to the LUAC because it involves development requiring CEQA review and a Design Review subject to review by the Planning Commission. The LUAC, at a duly-noticed public meeting on February 10, 2026, voted unanimously, 5 – 0, to approve the project with the recommendation to attach a sign designating the tank for “fire suppression only.”
- j) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning Department for the proposed development found in Project File PLN240024.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD - Planning Department, Mid-Coast Volunteer Fire Brigade, HCD - Public Works Department, Environmental Services, the Monterey County Environmental Health Bureau, and the California Coastal Commission.
  - b) Staff identified potential impacts to biological resources, and water supply reliability / safety considerations. The following report has been prepared:

- Biological Assessment. Prepared by Nicole Nedeff, Consulting Ecologist, July 29, 2025. (LIB250351)

The report indicates that the site is suitable for the proposed residential use. County staff has independently reviewed this report and concurs with their conclusions.

- c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning Department for the proposed development found in Project File PLN240024.

**3. FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the HCD-Planning Department, Mid-Coast Volunteer Fire Brigade, HCD-Public Works Department, HCD-Environmental Services, and the Environmental Health Bureau in addition to the California Coastal Commission. The respective agencies had recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare

of persons either residing or working in the neighborhood. Those recommendations were integrated into the project.

- b) The project includes the after-the-fact installation of a 5,000-gallon water storage tank. It will be used exclusively for fire suppression. The tank does not propose any additional connections.
- c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning Department for the proposed development found in Project File PLN240024.

**4. FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD - Planning Department and Building Services Department records and is not aware of any violations existing on the subject property.
  - b) The project planner conducted a site inspection on January 10, 2026 to verify that the project on the subject parcel conforms to the plans and ordinances listed above. No violations were observed during the site inspection.
  - c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN240024.

**5. FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The proposed project involves installation of a 5,000-gallon water tank.
  - b) Pursuant to Section 20.44, Title 20 (Coastal Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
  - c) The proposed exterior colors and materials are compatible with the rural-density residential setting and other similar structures in the general vicinity. The color of the water tank is matte forest green. The size of the water tank is comparable with the scale of similar structures found in Palo Colorado Canyon.
  - d) Based on the evidence described above, the proposed structure and uses are consistent with the surrounding character (i.e., structural design features, colors, materials, and finishes) and scale of development in the vicinity. As proposed, the project is consistent with and sustains the character found in a residential community
  - f) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN240024.

6. **FINDING:** **CEQA** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the permitting of existing facilities.
  - b) The proposed project qualifies for a Class 1 exemption because the project involves an existing water storage tank that was installed prior to acquiring a permit for use by the fire service.
  - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact. The subject property is located within 100 feet of environmentally sensitive habitat and is in a high archeological sensitivity area; however, due to the siting of the storage tank within an existing stonewall enclosure and upon an existing concrete slab, there will be no ground disturbance or vegetation removal: the project would not result in significant impacts to resources (see Finding No.1, Evidences “f,” “g,” and “h.”).
  - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN240024.
7. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.145.150 of the Monterey County Coastal Implementation Plan (Part 3) can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning Department for the proposed development found in Project File PLN240024.
8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20, section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
  - b) Coastal Commission. Section 20.86.080.A.1, A.2, and A3 of the Monterey County Zoning Ordinance (Title 20). The project is subject to

appeal by/to the California Coastal Commission because it involves development within 100 feet of environmentally sensitive habitat.

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project exempt from CEQA pursuant to CEQA Guidelines Section 15301, existing structures, and there are no exceptions pursuant to Section 15300.2; and
2. Approve Combined Development Permit consisting of:
  - a. Coastal Administrative Permit and Design Approval to allow after-the-fact installation of a 5,000-gallon water tank for the purpose of providing emergency service to fire protection district; and
  - b. Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat area.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions which are incorporated herein by reference.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of February 2026.

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

**NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240024

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development permit (PLN240024) consists of: 1) a Coastal Administrative Permit and Design Approval to allow installation of a 5,000 gallon water tank for the purpose of providing emergency service to fire protection district; and 2) a Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat area. The property is located next to the parcel at 37013 Palo Colorado Road, Carmel (Assessor's Parcel Number 418-031-019-000), Big Sur Coast Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

**2. PD002 - NOTICE PERMIT APPROVAL**

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit (Resolution Number \_\_\_\_\_) was approved by the Zoning Administrator for Assessor's Parcel Number 418-031-019-000 on February 26, 2026. The permit was granted subject to 2 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

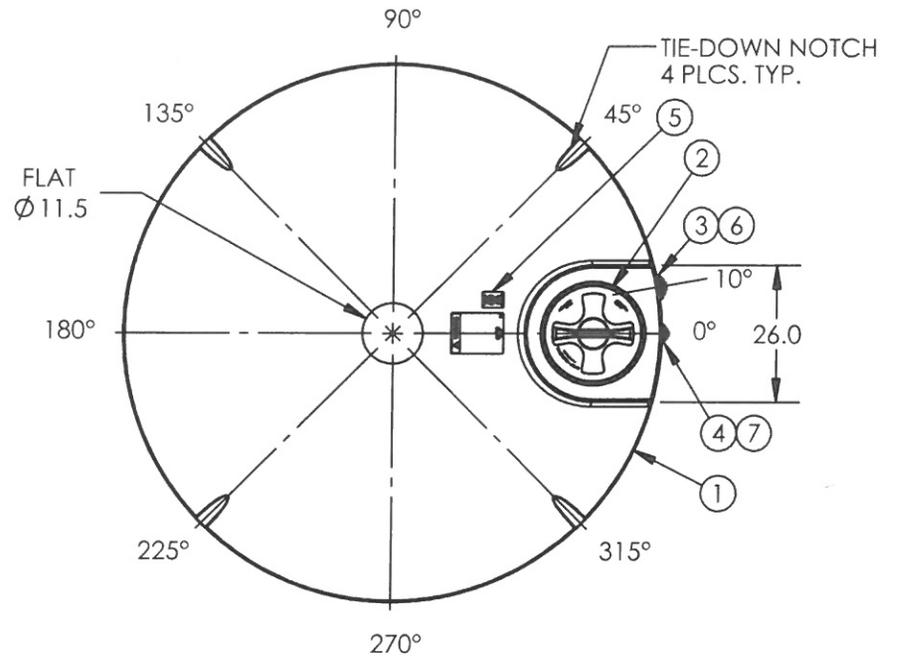
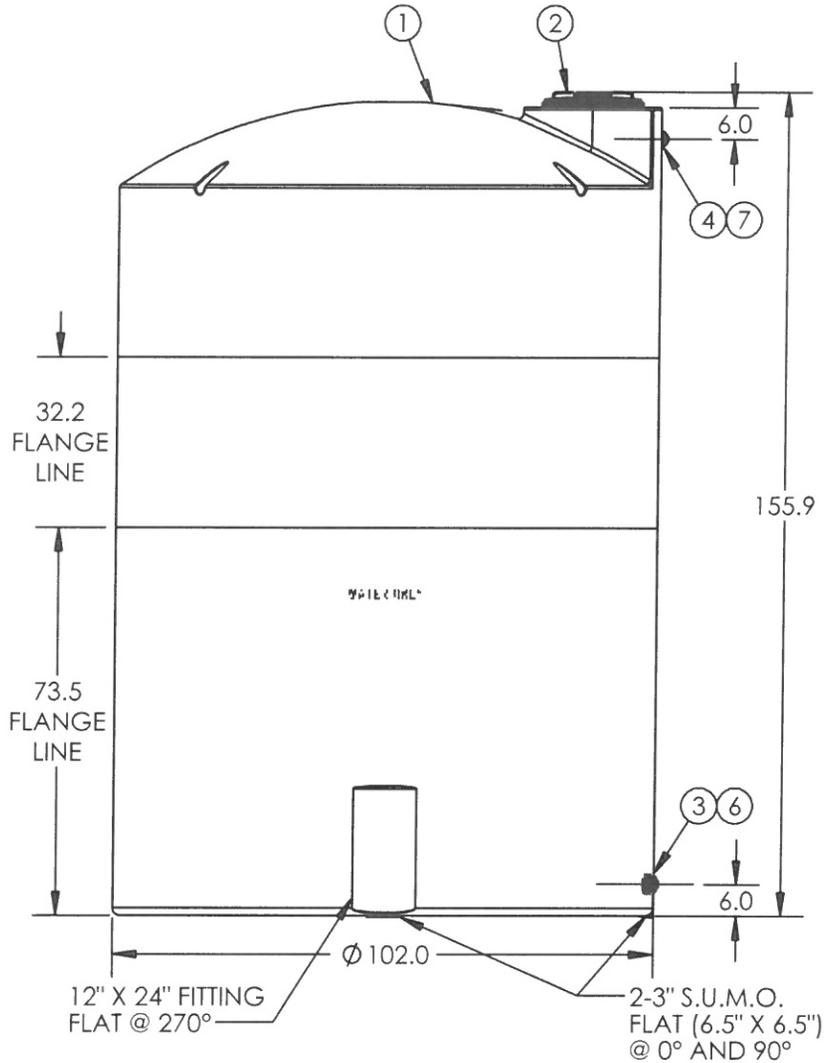
Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.









|   |   |              |   |
|---|---|--------------|---|
| 7 | 1 | 64149        | 1-1/2" NPT PLUG                         |
| 6 | 1 | 60021        | 2" NPT PLUG                             |
| 5 | 1 | 99700231     | DECAL NSF MARK - WATER TKS              |
| 4 | 1 | 63931        | FTG PP 1-1/2IN ECO-BH EPDM TXT          |
| 3 | 1 | 60405        | FTG PP 2IN BH EPDM TXT                  |
| 2 | 1 | 34700087     | ASM MANWAY 18IN PE W/4IN VENT W/TIE SII |
| 1 | 1 | 1002000W__02 | ASM TK 5000VDT X 102 WATER NH NOMW      |

| ITEM NO.  | QTY. | PART NUMBER                         | DESCRIPTION                       |
|---|------|-------------------------------------|-----------------------------------|
| DO NOT SCALE  |      | DRAWN BY                            | TITLE                             |
| STATUS: <b>Released</b>   |      | IGG                                 | <b>ASM TK 5000VDT X 102 WATER</b> |
| © SNYDER INDUSTRIES INC., 2016  |      | <b>SNYDER INDUSTRIES, INC.</b>      | REVISION <b>A</b>                 |
| ALL DIMENSIONS, DESIGNS, AND INFORMATION ON THIS PRINT MUST BE CONSIDERED PROPRIETARY TO SNYDER INDUSTRIES, INC. AND MAY NOT BE USED, COPIED, OR DISTRIBUTED WITHOUT WRITTEN PERMISSION OF AN OFFICER (OR HIS AGENT) OF THE FIRM. |      | (402) 467-5221<br>www.snydermet.com | SHEET 1 OF 1                      |
| PART NO. <b>1002000W__03</b>  |      | ENG. ID. <b>D006282</b>             |                                   |

\*ALL EXTERNAL PIPING MUST BE INDEPENDENTLY SUPPORTED.  
 \*ONLY BASE FITTINGS TO BE LEFT INSTALLED AT TIME OF SHIPMENT PER SII PROCEDURE.  
 ALL DIMENSIONS ARE IN INCHES, NOMINAL, & SUBJECT TO CHANGE WITHOUT NOTICE.  
 ALL DIMENSIONS ON ROTATIONAL MOLDED PARTS ARE SUBJECT TO A ± 3% TOLERANCE.

# Exhibit C

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## BIOLOGICAL LETTER REPORT – PLN 240024

DATE: July 29, 2025  
FROM: Nicole Nedeff, Consulting Ecologist, [nikki@ventanaview.net](mailto:nikki@ventanaview.net), (831) 320-9463  
SUBJECT: Biotic Survey/Assessment “Letter Report”, APN 418-031-019-000  
Owner: Sanford Colb, 37013 Palo Colorado Road, Big Sur, CA 93923

In April 2025, I was contacted by Permit Facilitator Brittney Schloss and retained to conduct a focused habitat assessment at the site of a 5000-gallon water tank installation on APN 418-031-019. The tank site is on a 1.48-acre vacant Assessor’s Parcel adjacent to APN 418-031-018, 37013 Palo Colorado Road. The parcel is zoned RDR/40-D (CZ). The water tank will provide emergency service for the local fire protection district and will store non-potable water pumped from a private well.

A Biotic Survey/Habitat Assessment was needed according to the “County of Monterey Application Checklist for Land Use and Development”, dated January 31, 2024, and signed by Project Planner Ben Moulton. A less intensive “Letter Report” evaluating biotic conditions at the tank site was subsequently deemed appropriate for this project, per email correspondence received by Ms. Schloss from Mr. Moulton on July 23, 2025. Figure 1 depicts the tank site on a portion of the topographic site plan surveyed by Rasmussen Land Surveying and prepared for Mr. Colb by Studio Schicketanz, July 2025.

I conducted a focused habitat assessment of the tank site and vicinity on May 16, 2025. Floristic field survey methods utilized during the on-site habitat assessment of the project area conformed to protocols outlined by the California Department of Fish and Wildlife (November 2009). The statewide survey protocols were developed to facilitate a comprehensive, consistent and systematic approach for the identification of natural communities and special status plants and wildlife in project areas.

Prior to the field survey on May 16, 2025, California Department of Fish and Wildlife - California Natural Diversity Database (CNDDDB) RareFind computer print-outs and BIOS maps were consulted for the area around the project site in the Palo Colorado region of northern Big Sur. CNDDDB database information displays a known location of the uncommon maple-leaved sidalcea (*Sidalcea malachroides*) along Palo Colorado Creek downstream of the subject parcel. CNDDDB also documents numerous special status plants and animals associated with Coastal Scrub, Central Maritime Chaparral, Redwood Forest, Riparian and Aquatic habitats in the general Palo Colorado Canyon area. No special status plants or animals occur on or near the project area.

The water tank had already been installed at the time of my site visit. The water tank is located on a level bench under the canopy of Redwood Forest habitat approximately 45 lineal feet from the center line of Palo Colorado Creek. Setback zones within 150 feet of the top of stream banks are considered Environmentally Sensitive Habitat Areas in the California Coastal Zone, as are Redwood Forest and Riparian habitats (Big Sur Coast Land Use Plan, 1985/1986).

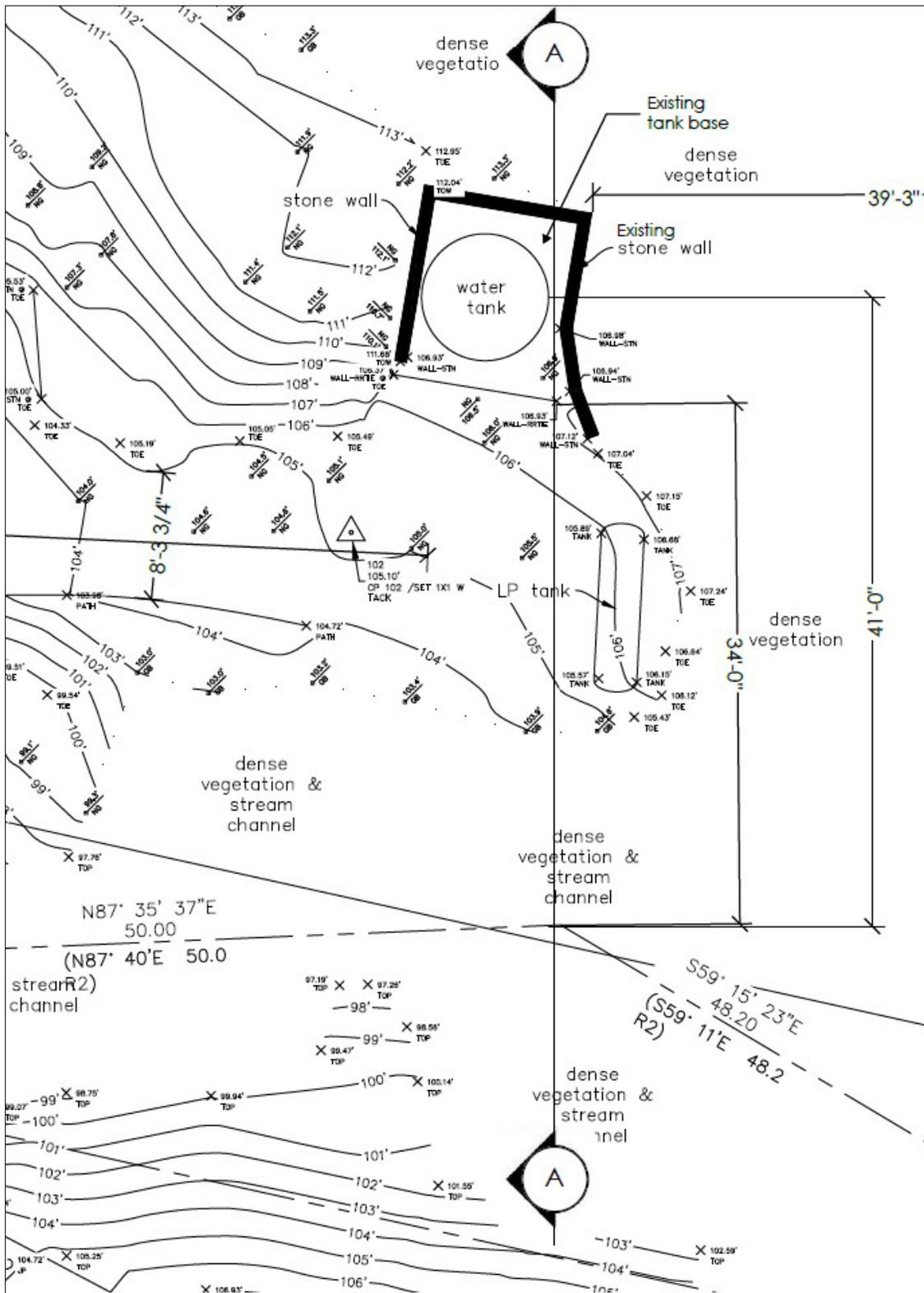


Figure 1 – A portion of the site plan by Rasmussen Land Surveying, July 2025.

The tank site is on level terrain accessed via a bridge and driveway at 37013 Palo Colorado Road. The tank is approximately 10-feet tall and 6-feet wide and is placed on a pre-existing, level pad veneered with drain rock. The outer edge of the pad is framed in pressure-treated wood within a pre-existing, three-sided enclosure cut into the edge of a small terrace below slopes exceeding 25 percent. The tank enclosure is flanked on the sides and back by pre-existing concrete and stone masonry walls. Figure 2 is a photograph of the tank installation.



Figure 2 - Water tank on APN 418-031-019, May 16, 2025.

The tank site is surrounded by mostly non-native and horticultural garden plants, with occasional native species, including poison oak, bracken fern, sword fern, redwood sorrel, Douglas iris, thimbleberry, big-leaved maple, coast redwood and other plants typical of Redwood Forest habitat. No vegetation or soil was disturbed to install the water tank.

**The tank is located at a site that was previously disturbed and it does not appear that any significant vegetation or native soil was impacted during installation. No excavation, grading or site alteration occurred for the placement of the water tank. There were no biological impacts associated with the installation of the tank in the pre-existing enclosure.**

Please contact me at (831) 320-9463 or [nikki@ventanaview.net](mailto:nikki@ventanaview.net) if I can elaborate on my site evaluation or any of the information in this Biological Letter Report.

A handwritten signature in blue ink that reads "Nikki Nedeff". The signature is written in a cursive style and is centered on the page.

References cited:

California Natural Resources Agency, Department of Fish and Wildlife. 2009. Protocols for Surveying and Evaluating Impacts to Special Status Native Plant Populations and Natural Communities. November 24, 2009. Sacramento, CA.

California Natural Diversity Database (CNDDDB), Biogeographic Data Branch, Department of Fish and Wildlife. Web-based mapping and element occurrence data, May 2025.



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# Exhibit D

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**MINUTES**  
**Big Sur Land Use Advisory Committee**  
**February 10, 2026**

1. Meeting called to order by 2/10/25 at 10:03 am

2. Roll Call

**Members Present:**

Trey Kropp, Marcus Foster, Dave Smiley, John Wilson, John Grigsby, Christina DiPaci

**Members Absent:**

None

3. Approval of Minutes:

A. January 27, 2026 minutes

Motion: \_\_\_\_\_ (LUAC Member's Name)

Second: \_\_\_\_\_ (LUAC Member's Name)

Ayes: \_\_\_\_\_

Noes: \_\_\_\_\_

Absent: \_\_\_\_\_

Abstain: \_\_\_\_\_

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

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5. Scheduled Item(s)

PLN240024 - S T C RENEWALS AND SERVICES LTD

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

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B) Announcements

Code Enforcement within Monterey County – How to report to county code violations. Look into Accela preemptively. Look up in Legistar. Submit public records request.

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**LUAC members will receive Notice of Hearing of projects that we reviewed.**

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**LUAC Secretary will keep records for 3 years. Create [BigSurLUAC@gmail.com](mailto:BigSurLUAC@gmail.com) account so we can share with LUAC Members**

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7. Meeting Adjourned: 10:47 am

Minutes taken by: Christina DiPaci

# Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Housing & Community Development  
1441 Schilling Place 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

Advisory Committee: Big Sur LUAC

1.                   **Project Name:** STC RENEWALS AND SERVICES LTD  
                       **File Number:** PLN240024  
                       **Project Location:** 37013 PALO COLORADO RD, CARMEL, CA 93923  
**Assessor's Parcel Number(s):** 418-031-018-000  
                       **Project Planner:** BENJAMIN MOULTON  
                       **Area Plan:** BIG SUR COAST LAND USE PLAN, COASTAL ZONE  
**Project Description:** INSTALLATION OF A 5,000-GALLON WATER TANK FOR FIRE SERVICE USE.

Was the Owner/Applicant/Representative present at meeting?    YES   X   NO       

(Please include the names of those present)

Harper Olson, Brittany Schloss (project agent)

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Was a County Staff/Representative present at meeting?   Mary Israel   (Name)

**PUBLIC COMMENT:**

| Name | Site Neighbor? |    | Issues / Concerns<br>(suggested changes) |
|------|----------------|----|--|
|      | YES            | NO |  |
|      |                |    |  |
|      |                |    |  |
|      |                |    |  |
|      |                |    |  |
|      |                |    |  |

**LUAC AREAS OF CONCERN**

| Concerns / Issues<br>(e.g. site layout, neighborhood compatibility; visual impact, etc) | Policy/Ordinance Reference<br>(If Known) | Suggested Changes -<br>to address concerns<br>(e.g. relocate; reduce height;<br>move road access, etc) |
|---|--|--|
| How will people know that this tank is available to use for fire suppression?           |  | Sign on the tank "Fire Suppression Only" & Size of the tank  |
|   |  |  |
|   |  |  |

**ADDITIONAL LUAC COMMENTS**

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**RECOMMENDATION:**

Motion by: Marcus Foster (LUAC Member's Name)

Second by: John Grigsby (LUAC Member's Name)

       Support Project as proposed

  X   Support Project with changes

       Continue the Item

Reason for Continuance: \_\_\_\_\_

Continue to what date: \_\_\_\_\_

Ayes: Unanimous

Noes: \_\_\_\_\_

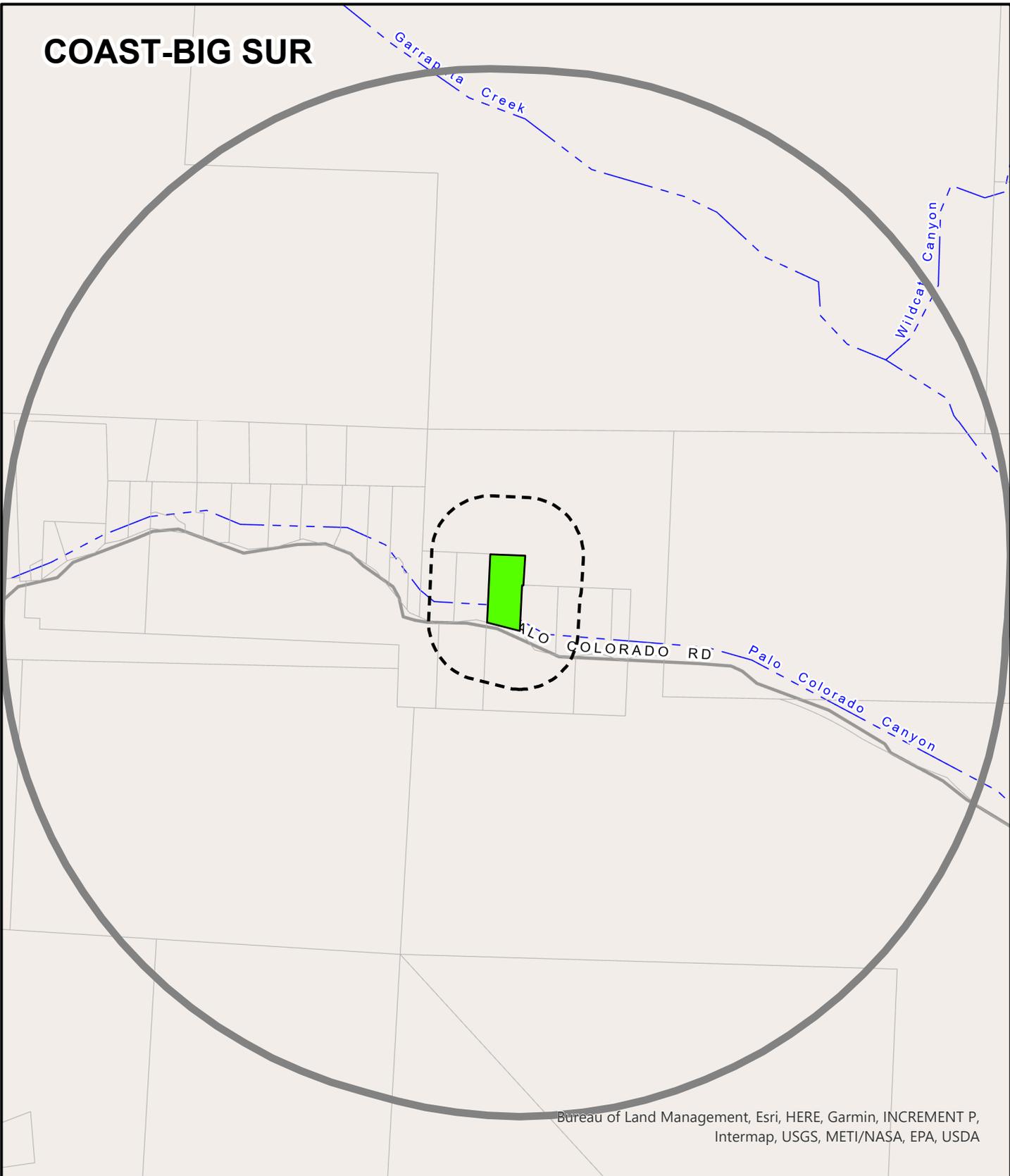
Absent: \_\_\_\_\_

Abstain: \_\_\_\_\_

# Exhibit E

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# COAST-BIG SUR



**APPLICANT:** S T C RENEWALS AND SERVICES LTD

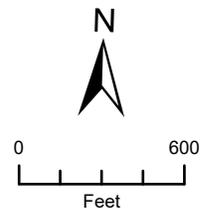
**APN:** 418031019000

**FILE #** PLN240024

 Project Site

 300 FT Buffer

 2500 FT Buffer



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# County of Monterey

## Item No.2

### Board Report

Board of Supervisors  
Chambers  
168 W. Alisal St., 1st Floor  
Salinas, CA 93901

Legistar File Number: ZA 26-014

February 26, 2026

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

#### **PLN250023 - RONDA RD INVESTMENTS LLC**

Public hearing to consider action on a 1,374 square foot addition to an existing 9,930 square foot single family dwelling with an attached garage and associated site improvements; and Reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet.

**Project Location:** 3950 Ronda Rd, Pebble Beach, CA 93953

**Proposed CEQA action:** Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to Section 15300.2.

#### RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a resolution to:

- a. Find the project qualifies for a Class 1 Categorical Exemption from CEQA Guidelines Section 15301, and none of the exceptions from Section 15300.2 apply to the project; and
- b. Approve a Combined Development Permit consisting of:
  1. Coastal Administrative Permit and Design Approval to allow a 1,374 square foot addition to an existing 9,930 square foot single family dwelling with an attached garage and associated site improvements; and
  2. Coastal Development Permit to allow the Reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 7 conditions of approval.

#### PROJECT INFORMATION

**Agent:** Anthony Lombardo & Associates

**Property Owner:** Ronda RD Investments LLC

**APN:** 008-222-024-000

**Parcel Size:** 87,125.12 square feet, 2 acres

**Zoning:** Low Density Residential, 1.5 acres per unit with a design control, Coastal Zone, or "LDR/1.5-D (CZ)"

**Plan Area:** Del Monte Forest Land Use Plan, Coastal Zone

**Flagged and Staked:** Yes

**Project Planner:** Jordan Evans-Polockow, Assistant Planner

Evans-PolockowJ@countyofmonterey.gov , (831)783-7065

SUMMARY/DISCUSSION

The project site is located at 3950 Ronda Rd, Pebble Beach, CA 93953, within the Del Monte Forest Land Use Plan. The proposed project includes construction of 1,374 square foot addition to an existing 9,390 square foot single family dwelling with an attached garage and associated site improvements; and reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet. The associated site improvements include a 220 square foot loggia, as well as the replacement and addition of guest parking to driveway with permeable pavers.

All necessary public facilities are available to the subject property. Sewer service will be provided by Pebble Beach Community Services District (PBCSD). The PBCSD wastewater collection and treatment system has adequate remaining capacity for sewage disposal. The subject parcel is located outside of any identified FEMA Flood Zones, floodways, and recharge areas. No graywater/rainwater catchment systems are proposed as part of the project. Potable water will be provided by the California American Water Company using water credits purchased from Pebble Beach Company (PBC). A water entitlement from the Monterey Peninsula Water Management District was included in the application for the subject property for domestic water use. The proposed development will not be visible from a scenic corridor or major common public viewing area due to location, topography, and intervening development and vegetation.

Based on staff's analysis, the proposed project is consistent with the policies and regulations pertaining to zoning uses and any other applicable provisions of the 1982 Monterey County General Plan (General Plan), Del Monte Forest Land Use Plan (DMF LUP), Del Monte Forest Coastal Implementation Plan (DMF CIP), and applicable sections of the Monterey County Inland zoning ordinance (Title 20).

*Land Use*

The subject parcel is zoned as a Low Density Residential with 1.5 acres per unit and a Design Control Overlay in the Coastal Zone, or "LDR/1.5-D(CZ)". This zoning district allows the first single-family dwelling and accessory structures subject to the granting of discretionary planning permits pursuant to section 20.14.040. Title 20.70.120.A exempts the additions, maintenance or alternation to existing single-family dwellings except if on properties located between the sea and the first public road paralleling the sea that would result in an increase of 10% or more of the internal floor area of an existing structure. The project would result in a 1,374 square foot addition to an existing 9,390 square foot single family dwelling, more than 10% of the existing internal floor area. Therefore, the proposed development is subject to the granting of a Coastal Administrative Permit in this case.

The proposed project is consistent with all but one of the applicable development standards for LDR zoning. The height of the existing single-family dwelling is considered legal nonconforming with a height of 33 feet nine inches at natural grade. The applicant does not propose to adjust the height of any portion of the existing structure but proposes an addition at a height of 29 feet 5 inches from the average natural grade. Title 20 section 20.68.040.A allows for the enlargement, extension or reconstruction of a nonconforming structure, nonconforming to height in this case, only if such work conforms to all the regulations of the zoning district. The maximum allowed height for LDR is 30 feet and the proposed height is to be at 29.5 feet. Therefore, the proposed addition would comply with the

maximum height limitation for this zoning district.

The single-family dwelling will continue to meet the setbacks of over 70 feet (front), over 80 feet (side), and over 20 feet (rear), with the only setbacks that change with the proposed development are the side left and rear. The property is allowed a maximum of 15% site coverage and as proposed, the site coverage will be 10.44%. The maximum allowed floor area ratio (FAR) is 17.5% and as proposed, the FAR will be 12.71%.

The proposed site was evaluated in a Geotechnical Report (County of Monterey Library No. LIB250327), prepared by Grice Engineering, citing that no features or conditions were observed to suggest landsliding or erodible slopes have or will occur above or below the project site. The Geotechnical Report states that there are no significant geotechnical hazards at the site that would prohibit the proposed use.

For the above reasons, staff believes the proposed project better achieves and is consistent with the goals, policies, and objectives of the County of Monterey General Plan and Del Monte Forest Land Use Plan, minimizes erosion and drainage concerns, and minimizes any risk to public health and safety.

*Pescadero Watershed & Driveway (Legal non-conforming)*

DMF LUP Figure 2b identifies the subject property to within the Pescadero, Carmel Bay Area of Special Biological Significance watershed. DMF LUP Policy 77, implemented by CIP Section 20.147.030.A.1, states that any new residential development within this area shall be limited to an impervious surface coverage of 9,000 square feet, including both structural and other impervious surface coverage. The subject property is currently legal non-conforming with this regulation, having an existing impervious coverage of 16,115 square feet. The applicant proposes replacing the driveway and adding additional guest parking, resulting in a decrease of impervious surfaces by 5,742 square feet. The proposed development includes the removal of 7,116 square feet of impervious driveway and a proposed addition to the main dwelling of 1,374 square feet. The proposed development will total to 10,373 square feet of impervious coverage for the whole scope of work and thus will be reducing the legal non-conforming land use to be closer to conformity with the maximum allowed impervious coverage listed DMF LUP Policy 77 and in CIP section 20.147.030. Title 20 section 20.68.040.B (legal non-conforming) states that land uses may be changed to a use of a similar or more restricted nature, subject to a Coastal Development Permit in each case. The subject property proposes to come into more conformance with the required policy and regulations by proposing an overall net decrease of impervious surfaces from 16,115 square feet to 10,373 square feet.

DMF LUP Policy 1 and DMF CIP Section 20.147.090.A.2 state that any new development shall be sited to minimize runoff, site disturbance, erosion and sedimentation to support this key policy, which includes development of new residential driveways to minimize surface length and width and provide simple and direct access through the use of permeable materials. The attached plans (**Exhibit A**) illustrate two access points of impermeable surface, both of which are proposed to be demolished and replaced with permeable materials. Based on the topography, configuration of the lot and existing vegetation, the proposed driveways and parking area are consistent with the outlined regulations. The proposed development has also been conditioned to ensure that measures are in place for the protected trees surrounding the replacement of the driveway and addition. As configured, the development achieves the policy goal of providing simple and direct access to the property, minimizes

vegetation removal on the project site, and provides the minimum required parking for the single-family dwelling.

Visual Resources and Design Review

The property is identified on DMF LUP Figure 3 as being within the viewshed from Point Lobos, but not 17 Mile Drive. Staking and flagging was required as outlined DMF CIP section 20.147.070.A.1 which was not visible from Point Lobos. Additionally, existing topography and vegetation screen the subject property from both Highway 1 and Point Lobos. Consistent with the DMF LUP Policy 53 and DMF CIP section 20.147.070.B.3, the project has been designed, sited and conditioned in a manner to ensure minimal visibility from any scenic area. Therefore, as designed, sited, and conditioned, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity as outlined in the DMF LUP, DMF CIP and Title 20. Per staff's site visit, the proposed development will also not be visible from Point Lobos or 17 Mile Drive due to intervening development and existing trees, and that it is consistent due to existing screening and will not be visible therefore consistent with policies. Additionally, the proposed development is subject to the regulations of the Design Control "D" zoning district outlines in Chapter 20.44, which establishes design review requirements to assure protection of the public viewshed and neighborhood character.

The proposed addition will be consistent with the to the Tower French Electric-style existing single-family dwelling, with a warm light-beige stucco-clad exterior with some decorative applied half-timbering, Carmel stone veneer & segmental arched door under a high conical roof and prominent high conical roof. The proposed colors and materials for the proposed addition to the existing single-family dwelling are consistent with the surrounding neighborhood character and will not detract from the immediate surrounding neighborhood character.

CEQA:

California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts minor alterations of existing public or private structures that will not result in an increase of more than 2,500 square feet. The proposed project involves the construction of a 1,374 square foot addition to an existing 9,390 square foot single family dwelling with an attached garage and associated site improvements, as well as reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet. The project does not involve the removal of trees or major vegetation. Therefore, the proposed development is consistent with the parameters of this Class 1 exemption. There are no exceptions pursuant to Section 15300.2. No evidence of significant adverse environmental effects was identified during staff review of the development application. There is no cumulative impact without any prior successive projects of the same type in the same place, over time. There is no significant effect on the environment due to unusual circumstances. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known historical resources are found in the geotechnical or archaeological reports, which may cause a substantial adverse change in the significance of a historical resource. The project site is not within an officially designated highway area, as a state scenic highway. Finally, as described above, the project will not result in substantial erosion or contribute to runoff, which would alter or exceed the capacity of a drainage system.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services  
Environmental Health Bureau  
HCD-Environmental Services  
Pebble Beach Community Service District

Prepared by: Jordan Evans-Polockow, Assistant Planner, x7065  
Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:  
- Recommended Conditions of Approval  
- Site Plans  
Exhibit B - Vicinity Map

cc: Front Counter Copy; Del Monte Forest Community Service District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Polockow, Planner; Jacquelyn M. Nickerson, Principal Planner; Ronda Road Investment LLC, Owner; Anthony Lombardo & Associates, Agent; Del Monte Forest Land Use Advisory Committee; The Open Monterey Project (Molly Erickson); Laborers International Union of North America (Lozeau Drury LLP); Christina McGinnis, Keep Big Sur Wild; LandWatch; Planning File PLN250023



## Zoning Administrator

Legistar File Number: ZA 26-014

February 26, 2026

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

### **PLN250023 - RONDA RD INVESTMENTS LLC**

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**APN:** 008-222-024-000

**Parcel Size:** 87,125.12 square feet, 2 acres

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**Plan Area:** Del Monte Forest Land Use Plan, Coastal Zone

**Flagged and Staked:** Yes

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*Pescadero Watershed & Driveway (Legal non-conforming)*

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DMF LUP Policy 1 and DMF CIP Section 20.147.090.A.2 state that any new development shall be sited to minimize runoff, site disturbance, erosion and sedimentation to support this key policy, which includes development of new residential driveways to minimize surface length and width and provide simple and direct access through the use of permeable materials. The attached plans (**Exhibit A**) illustrate two access points of impermeable surface, both of which are proposed to be demolished and replaced with permeable materials. Based on the topography, configuration of the lot and existing vegetation, the proposed driveways and parking area are consistent with the outlined regulations. The proposed development has also been conditioned to ensure that measures are in place for the protected trees surrounding the replacement of the driveway and addition. As configured, the development achieves the policy goal of providing simple and direct access to the property, minimizes

vegetation removal on the project site, and provides the minimum required parking for the single-family dwelling.

Visual Resources and Design Review

The property is identified on DMF LUP Figure 3 as being within the viewshed from Point Lobos, but not 17 Mile Drive. Staking and flagging was required as outlined DMF CIP section 20.147.070.A.1 which was not visible from Point Lobos. Additionally, existing topography and vegetation screen the subject property from both Highway 1 and Point Lobos. Consistent with the DMF LUP Policy 53 and DMF CIP section 20.147.070.B.3, the project has been designed, sited and conditioned in a manner to ensure minimal visibility from any scenic area. Therefore, as designed, sited, and conditioned, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity as outlined in the DMF LUP, DMF CIP and Title 20. Per staff's site visit, the proposed development will also not be visible from Point Lobos or 17 Mile Drive due to intervening development and existing trees, and that it is consistent due to existing screening and will not be visible therefore consistent with policies. Additionally, the proposed development is subject to the regulations of the Design Control "D" zoning district outlines in Chapter 20.44, which establishes design review requirements to assure protection of the public viewshed and neighborhood character.

The proposed addition will be consistent with the to the Tower French Electric-style existing single-family dwelling, with a warm light-beige stucco-clad exterior with some decorative applied half-timbering, Carmel stone veneer & segmental arched door under a high conical roof and prominent high conical roof. The proposed colors and materials for the proposed addition to the existing single-family dwelling are consistent with the surrounding neighborhood character and will not detract from the immediate surrounding neighborhood character.

CEQA:

California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts minor alterations of existing public or private structures that will not result in an increase of more than 2,500 square feet. The proposed project involves the construction of a 1,374 square foot addition to an existing 9,390 square foot single family dwelling with an attached garage and associated site improvements, as well as reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet. The project does not involve the removal of trees or major vegetation. Therefore, the proposed development is consistent with the parameters of this Class 1 exemption. There are no exceptions pursuant to Section 15300.2. No evidence of significant adverse environmental effects was identified during staff review of the development application. There is no cumulative impact without any prior successive projects of the same type in the same place, over time. There is no significant effect on the environment due to unusual circumstances. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. No known historical resources are found in the geotechnical or archaeological reports, which may cause a substantial adverse change in the significance of a historical resource. The project site is not within an officially designated highway area, as a state scenic highway. Finally, as described above, the project will not result in substantial erosion or contribute to runoff, which would alter or exceed the capacity of a drainage system.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

- HCD-Engineering Services
- Environmental Health Bureau
- HCD-Environmental Services
- Pebble Beach Community Service District

Prepared by: Jordan Evans-Polockow, Assistant Planner, x7065  
Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

- Exhibit A - Draft Resolution including:
- Recommended Conditions of Approval
  - Site Plans
- Exhibit B - Vicinity Map

cc: Front Counter Copy; Del Monte Forest Community Service District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jordan Evans-Polockow, Planner; Jacquelyn M. Nickerson, Principal Planner; Ronda Road Investment LLC, Owner; Anthony Lombardo & Associates, Agent; Del Monte Forest Land Use Advisory Committee; The Open Monterey Project (Molly Erickson); Laborers International Union of North America (Lozeau Drury LLP); Christina McGinnis, Keep Big Sur Wild; LandWatch; Planning File PLN250023

# Exhibit A

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**RONDA RD INVESTMENTS LLC (PLN250023)**

### RESOLUTION NO. 26-

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301; and
- 2) Approving a Combined Development Permit consisting of:
  - a. Coastal Administrative Permit and Design Approval to allow a 1,374 square foot addition to an existing 9,390 square foot single family dwelling with an attached garage and associated site improvements; and
  - b. Coastal Development Permit to allow the reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet.

[RONDA RD INVESTMENTS LLC, 3950 Ronda Rd, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APN: 008-222-024-000)]

**The RONDA RD INVESTMENTS LLC application (PLN250023) came on for a public hearing before the County of Monterey Zoning Administrator on February 26<sup>th</sup>, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:**

### FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 1982 Monterey County General Plan (General Plan);
  - Del Monte Forest Land Use Plan (DMF LUP);
  - Del Monte Forest Coastal Implementation Plan (DMF CIP); and
  - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The subject property is located at 3950 Ronda Rd, a private road, in Pebble Beach subject to the Del Monte Forest Land Use Plan. The parcel is already developed with the existing 9,390 square foot single-family dwelling, 117 square foot shed, a 255 square foot barn, and 7716 square feet of driveway. The application does not include the shed or barn. On January 29<sup>th</sup>, 2026, the applicant submitted an application seeking to construct a 1,374 square foot addition to an existing 9,390 square foot single family dwelling with an attached garage and associated site improvements, as well as reduce the site's legal non-conforming land use within the Pescadero Watershed Coverage from 16,115 square feet to 10,373 square feet.
- c) Allowed Use. The subject parcel is zoned Low Density Residential with 1.5 acres per unit and a Design Control Overlay in the Coastal Zone, or "LDR/1.5-D(CZ)". LDR zoning allows for the establishment of the first single-family dwelling as a principally allowed use subject to the granting of a Coastal Administrative Permit pursuant to Title 20 section 20.14.040.A dwellings except if on properties located between the sea and the first public road parallelling the sea that would result in an increase of 10% or more of the internal floor area of an existing structure. The project would result in a 1,374 square foot addition to an existing 9,390 square foot single family dwelling, more than 10% of the existing internal floor area. Therefore, the proposed development is subject to the granting of a Coastal Administrative Permit in this case. The Design Control overlay requires the granting of a Design Approval for all structures as further discussed in evidence "e" below. The proposed project includes construction modifications of a 1,374 square foot addition to an existing 9,390 square foot single family dwelling with an attached garage and associated site improvements; and Reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet. The associated site improvements include a 220 square foot loggia, as well as the replacement and addition of guest parking and driveway with permeable pavers. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property (87,125.12 square feet, or 2 acres), APN: 008-222-024-000, is identified and shown in its current configuration as "3-A" on a Record of Survey recorded to document the division of Lot 3, Block 157-D of the Unofficial Map of Pebble Beach (Volume X3 of Surveys Page 173), recorded on October 15, 1964. Therefore, the County recognizes this lot as a legal lot of record.
- e) Legal Nonconforming/Development Standards. The project meets all required development standards for Low Density Residential zoning district, which are identified in Title 20 section 20.14.060. The LDR zoning district allows a maximum height of 30 feet for main structures, and the single-family dwelling addition will comply with the current height regulations at 29 feet 5 inches. The existing single-family dwelling was built in 1926, prior to the adoption of existing site development standards for the LDR zoning district, thereby making the

site legal nonconforming as to main structure height. Title 20.70.120.A.040 exempts the additions, maintenance or alternation to legal nonconforming single-family dwelling only as to height and yard regulations, may be permitted if the enlargement, extension, reconstruction or structural alteration conforms to all the regulations of the district in which they are located. Therefore, the proposed development is subject to the granting of a Coastal Administrative Permit in this case. The project scope includes construction modifications of a 1,374 square foot addition to an existing 9,390 square foot single family dwelling with an attached garage and associated site improvements. Therefore, the construction of the addition to the single-family dwelling would not increase or intensify the legal non-conforming status. The proposed project meets all other required development standards for the LDR zoning district, including setback, site coverage, and FAR as outlined in Title 20 Section 20.14.060.

Pursuant to Title 20 section 20.14.030, the required setbacks in the LDR zoning district are 30 feet (front), 20 feet (side), and 20 feet (rear). The single-family dwelling will continue to meet the setbacks of over 70 feet (front), over 80 feet (side), and over 20 feet (rear), with the only setbacks that change with the proposed development are the side left and rear. The LDR zoning district allows for a maximum building site coverage of 15% and a maximum floor area ratio of 17.5%. The project will result in a building site coverage of 10.44% and a floor area ratio of 12.71%. Therefore, the project meets all required development standards.

- f) Design/Neighborhood and Community Character. The project site and surrounding area are designated as being within a Design Control District or “D” overlay subject to the regulations outlined in Title 20 Chapter 20.44, which is intended to regulate the location, size, configuration, materials, and color of structures to assure protection of the public viewshed and the neighborhood character. The proposed addition will be consistent with the to the Tower French Electric-style existing single-family dwelling, with a warm light-beige stucco-clad exterior with some decorative applied half-timbering, Carmel stone veneer & segmental arched door under a high conical roof and prominent high conical roof. The proposed colors and materials for the proposed addition on the existing single-family dwelling are consistent with the surrounding neighborhood character and will not detract from the immediate surrounding neighborhood character. Condition No. 4 has been applied to require the installation of down-lit unobtrusive exterior lighting. DMF LUP Figure 3 identifies the subject property to be within the public viewshed when viewed from Point Lobos, a public viewing area pursuant to DMF LUP Policy 47. Although the subject property is identified to be within the viewshed from Point Lobos, the proposed development is not visible from public access areas and vista points, or along ridgelines. Staking and flagging was required as outlined DMF CIP section 20.147.070.A.1 which was not not visible from Point Lobos. Additionally, existing topography and vegetation screen the subject property from both Highway 1 and Point Lobos. Consistent with

the DMF LUP Policy 53 and DMF CIP section 20.147.070.B.3, the project has been designed, sited and conditioned in a manner to ensure minimal visibility from any scenic area. Therefore, as designed, sited, and conditioned, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity as outlined in the DMF LUP, DMF CIP and Title 20.

- g) (Legal-Nonconforming) Pescadero Watershed Coverage Limitation. The property currently has a legal non-conforming impervious coverage within the Pescadero Watershed. Pursuant to section 20.68.020 of the Coastal Zoning Ordinance, a Coastal Development Permit has been applied to this project to allow legal non-conforming land use. Therefore, the proposed project coverage for the Pescadero Watershed will be reducing the legal non-conforming land use to be closer to conformity with the maximum allowed impervious coverage (See Finding 3).
- h) Cultural Resources. The Monterey County Geographic Information System (GIS) identifies the subject property to a high archaeological sensitivity. Pursuant to DMF CIP Part 5 section 20.147.080.B.1, a Phase I Archaeological Survey (County of Monterey Library No. LIB250326) was prepared. The survey found no indicators of culturally significant materials on site. There is no evidence that any cultural resources would be disturbed by this project. The potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- i) Geotechnical/Geologic Hazards. The project site is in an area of known geological hazard. According to the prepared Geotechnical Report which includes an Geologic Hazards Assessment (County of Monterey Library No. LIB250327), this site is suitable for the residential use this project proposes, there are no geological or seismic hazards that would preclude this property from being developed, and the proposed development is adequately setback from the known fault trace. See Finding 2, evidence "c".
- j) Historical Resources. The property contains an existing structure over 50 years of age that was constructed by the owner's family in the early 1900's. Pursuant to General Plan section CIP Part 5 20.147.080.B.1, a Phase One Historical Assessment Evaluation (County of Monterey Library No. LIB250328) was conducted. The assessment deemed that the subject property is not considered a historic resource as defined by the California Environmental Quality Act (CEQA). Therefore, the project will not impact any historical resources.
- k) Land Use Advisory Committee (LUAC) Review. County staff referred the project to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on January 15<sup>th</sup>, 2026, resulting in a 7-0 vote made by the LUAC.
- l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250023.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to archaeological resources, biological resources, and soils. The following reports have been prepared:
    - “Phase I Archaeological Assessment Report” (County of Monterey Library No. LIB250326) prepared by Susan Morley, M.A., RPA and Brenna Wheelis, B.A., Marina, CA, March 2025.
    - “Geotechnical & Geological Hazards Report” (County of Monterey Library No. LIB250327) prepared by Lawrence E. Grice, P.E, Salinas, CA, March 2025.
    - “Historic Report – Helen Hughes House” (County of Monterey Library No. LIB250328) prepared by Kent Seavey, Pacific Grove, CA, July 2025.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. All development shall be in accordance with these reports.
  - c) An updated Geological and Geotechnical Report (County of Monterey Library No. 250327) was prepared for this project, where the qualified civil engineer made multiple recommendations for the development, including that all foundations be embedded into granite bedrock, all loose and disturbed soils be processed as engineered fill with the minimum depth to include all soils above the granite bedrock, and the base of all excavations and over excavations are to be inspected by the soils engineer prior to further processing. In addition, subsurface dispersal system may not be used to mitigate surface drainage and erosion control. All recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16 section 16.08.110.D.
  - d) Staff conducted a site inspection on February 6<sup>th</sup>, 2026, to verify that the site is suitable for this use.
  - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250023.
3. **FINDING:** **LEGAL-NONCONFORMING SITE COVERAGE (DEL MONTE FOREST WATERSHEDS)** – The project limits structural and impervious surface coverage in order to reduce runoff within the Pescadero, Seal Rock Creek, and Sawmill Gulch Watersheds and some

smaller unnamed watersheds that drain into the Carmel Bay Area of Special Biological Significance (ASBS).

- EVIDENCE:**
- a) The subject property is located within the Pescadero Watershed (Area of Drainage of Carmel Area A.S.B.S). DMF LUP Policy 77, implemented by CIP Section 20.147.030.A, states that new residential development within the Pescadero Watershed is limited to a maximum of 9,000 square feet of site coverage, including both structural and other impervious surface coverage. The existing development on the parcel has square feet of 16,115 impervious coverage and proposes to decrease this by 5,742 square feet.
  - b) The applicant proposes replacing the driveway and adding additional guest parking, resulting in a decrease of impervious surfaces by 5,742 square feet. The proposed development includes the removal of 7,116 square feet of impervious driveway and a proposed addition to the main dwelling of 1,374 square feet. The proposed development will total to 10,373 square feet of impervious coverage for the whole scope of work and thus will be reducing the legal non-conforming land use to be closer to conformity with the maximum allowed impervious coverage listed DMF LUP Policy 77 and in CIP section 20.147.030. Title 20 section 20.68.040.B (legal non-conforming) states that land uses may be changed to a use of a similar or more restricted nature, subject to a Coastal Development Permit in each case. The subject property proposes to come into more conformance with the required policy and regulations by proposing an overall net decrease of impervious surfaces from 16,115 square feet to 10,373 square feet.
  - c) DMF LUP Policy 1 and DMF CIP Section 20.147.090.A.2 state that any new development shall be sited to minimize runoff, site disturbance, erosion and sedimentation to support this key policy, which includes development of new residential driveways to minimize surface length and width and provide simple and direct access through the use of permeable materials. The existing driveway has two access points of impermeable surface, both of which are proposed to be demolished and replaced with permeable materials. Based on the topography, configuration of the lot and existing vegetation, the proposed driveways and parking area are consistent with the outlined regulations. The proposed development has also been conditioned to ensure that measures are in place for the protected trees surrounding the replacement of the driveway and addition. As configured, the development achieves the policy goal of providing simple and direct access to the property, minimizes vegetation removal on the project site, and provides the minimum required parking for the single-family dwelling.
  - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN250023.

- 4. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the

neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) All necessary public facilities are available to the subject property. Domestic water and sewage services are currently, and will continue to be, provided by California American Water Company (Cal Am) and the Pebble Beach Community Services District. Sewer service will be provided by the Pebble Beach Community Services District (PBCSD). The PBCSD wastewater collection and treatment system has adequate remaining capacity for sewage disposal, which then transfers wastewater to the Carmel Area Wastewater District treatment facility. Potable water is provided by Cal Am.
  - c) Staff conducted a site inspection on February 6, 2026, to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250023.

**5. FINDING: NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and are not aware of any violations existing on subject property.
  - b) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250023.

**6. FINDING: CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts minor alterations of existing public or private structures that will not result in an increase of more than 2,500 square feet.
  - b) The project proposes 1,374 square foot addition to an existing 9,390 square foot single family dwelling with an attached garage and associated site improvements, as well as reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet. Therefore, the proposed development qualifies as a Class 1 Categorical Exemption pursuant to section 15301 of the CEQA Guidelines.

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because no feature or condition of the project distinguishes it from the exempt class. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The historical report concluded that the existing main residence has no historical significance or integrity. The Phase I archaeological report concluded that there will be no impact on archaeological resources with the implementation of the project. Construction of the proposed residential development will neither create nor significantly contribute to geologic instability or geologic hazards, and the project will not lead to an unacceptable level of risk to life and property. See Finding Nos. 2 and 3 and supporting evidence. There is no substantial evidence to support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a significant cumulative impact.
- d) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250023.

- 7. FINDING: PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP Section 20.147.130, can be demonstrated.
  - b) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
  - c) The subject project site is not identified as an area where the Local Coastal Program requires visual public access but is identified to be within the Point Lobos Viewshed (Figure 3, Visual Resources, in the DMF LUP).
  - d) As proposed, the development project will not interfere with visual access from or to 17-Mile Drive and nearby designated vista points. The proposed development is consistent with DMF LUP Policies 123 and 137 and will not block significant public views towards the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity. As proposed, the project is consistent with the applicable visual resource and public access policies of the DMF LUP.
  - e) The staff completed a site inspection on February 6<sup>th</sup>, 2026, to verify that the proposed project would not impact public access. The project planner also reviewed plans to verify that the proposed development

will not impact public access or visual resources/access. See evidence “d” above. See also Finding No. 1 and supporting evidence.

- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250023.

**8. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and Coastal Commission.

**EVIDENCE:** a) Board of Supervisors. Section 21.80.040.D of the Monterey County Zoning Ordinance (Title 20) allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of the Planning Commission.  
Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development that is permitted in the underlying zone as a conditional use.

### **DECISION**

**NOW, THEREFORE,** based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301;
2. Approve the Combined Development Permit consisting of:
  - a. Coastal Administrative Permit and Design Approval to allow a 1,374 square foot addition to an existing 9,390 square foot single family dwelling with an attached garage and associated site improvements;
  - b. Coastal Development Permit to allow the reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of February 2026.

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION-MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250023

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit (PLN250023) allows for a 1) Coastal Administrative Permit and Design Approval to allow a 1,374 square foot addition to an existing 9,930 square foot single family dwelling with an attached garage and associated site improvements; and 2) Coastal Development Permit to allow the Reduction in a legal non-conforming land use, Pescadero Watershed Coverage, from 16,115 square feet to 10,373 square feet. The property is located at 3950 Ronda Rd, Pebble Beach (Assessor's Parcel Number 008-222-024-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Coastal Administrative Permit and Design Approval (Resolution Number \_\_\_\_\_) was approved by the Zoning Administrator for Assessor's Parcel Number 008-222-024-000 on February 26th, 2026. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.  
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

#### 5. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

## 6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 7. PD041 - HEIGHT VERIFICATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

**PLANNING INFO.**

- PROPERTY OWNER: RONDA RD INVESTMENT, LLC  
3950 RONDA ROAD  
PEBBLE BEACH, CA 93953
- PROJECT ADDRESS: 3950 RONDA ROAD  
PEBBLE BEACH, CA 93953
- PROJECT SCOPE:
  - 427 SF INTERIOR REMODEL AND 1,154 SF ADDITION TO MAIN LEVEL OF EXISTING SINGLE-FAMILY RESIDENCE
  - NEW 220 SF PRIVATE COVERED LOGGIA
  - REPLACE (E) ASPHALT DRIVEWAY WITH NEW CONCRETE PERMEABLE PAVER AND NEW GUEST PARKING
  - ALL COLORS AND MATERIALS TO MATCH EXISTING RESIDENCE.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N.: 008-222-024
- ZONE: LDR/1.5-D(CZ)
- STORIES: TWO
- MAX. BLDG. HT.: 30 FT
- GRADING: 100 CY CUT | 5 CY FILL, SEE CIVIL PLANS
- TREE REMOVAL: NONE
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE: 2022 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE & 2022 CALIFORNIA ENERGY CODE
- LOT AREA: 87,125.12 SF (2.0 Ac.)
- LOT COVERAGE CALCULATIONS:

|                      | EXISTING | PROPOSED ADDITION | PROPOSED REMOVAL | PROPOSED TOTAL |
|----------------------|----------|-------------------|------------------|----------------|
| MAIN BUILDING        | 5788     | 1374              | 0                | 7162           |
| SHED(S)/BARN         | 412      | 0                 | 0                | 412            |
| TERRACE              | 1440     | 0                 | 0                | 1440           |
| COLUMNS/ STONE WALLS | 80       | 0                 | 0                | 80             |
| TOTAL                | 7720     | 1374              | 0                | 9094           |

- LOT COVERAGE ALLOWED: 13,068.77 SF (15%)
- LOT COVERAGE PROPOSED: 9,094 SF (10.44%)
- PESCADERO CALCULATIONS:

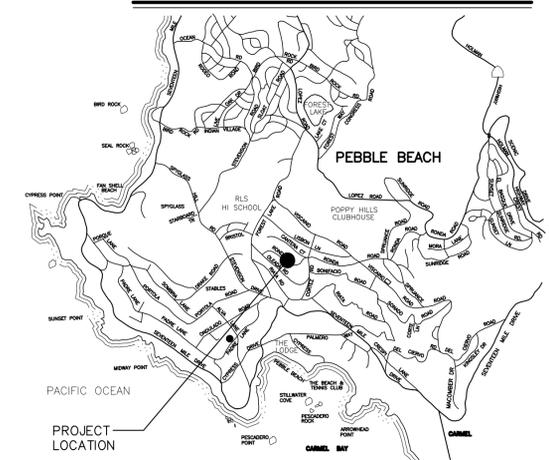
|                      | EXISTING | PROPOSED ADDITION | PROPOSED REMOVAL | PROPOSED TOTAL |
|----------------------|----------|-------------------|------------------|----------------|
| MAIN BUILDING        | 5788     | 1374              | 0                | 7162           |
| SHED(S)/BARN         | 412      | 0                 | 0                | 412            |
| DRIVEWAY             | 7116     | 0                 | -7116            | 0              |
| TERRACE              | 1440     | 0                 | 0                | 1440           |
| WALKWAYS/STEPS       | 1279     | 0                 | 0                | 1279           |
| COLUMNS/ STONE WALLS | 80       | 0                 | 0                | 80             |
| TOTAL                | 16115    | 1374              | -7116            | 10373          |

- PESCADERO COVERAGE ALLOWED: 9,000 SF
- PESCADERO COVERAGE PROPOSED: 10,373 SF (11.9%)
- F.A.R. CALCULATIONS:

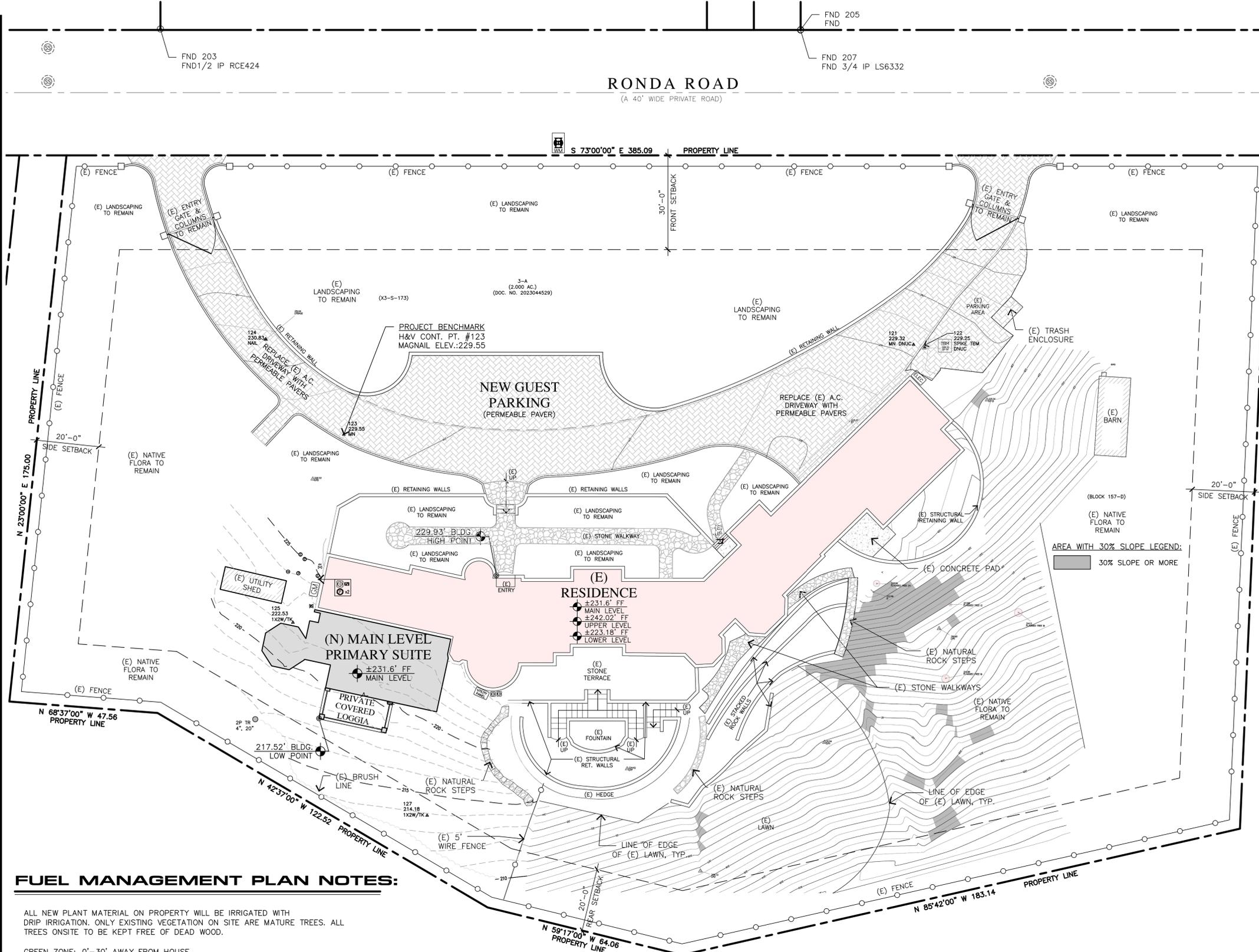
|               | EXISTING | PROPOSED ADDITION | PROPOSED TOTAL |
|---------------|----------|-------------------|----------------|
| MAIN BUILDING | 4248     | 1154              | 5402           |
| UPPER LEVEL   | 3039     | 0                 | 3039           |
| LOWER LEVEL   | 1269     | 0                 | 1269           |
| GARAGE        | 834      | 0                 | 834            |
| TOTAL         | 9390     | 1154              | 10544          |

- F.A.R. ALLOWED: 15,246.9 SF (17.5%)
- F.A.R. PROPOSED: 10,544 SF (12.71%)

**VICINITY MAP**



**RONDA ROAD**  
(A 40' WIDE PRIVATE ROAD)

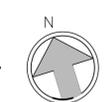


**FUEL MANAGEMENT PLAN NOTES:**

- ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ONSITE TO BE KEPT FREE OF DEAD WOOD.
- GREEN ZONE:** 0'-30' AWAY FROM HOUSE.
- GUIDELINES AS FOLLOWS:**
- ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"
  - MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH
  - MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD
  - TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY
  - TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND
  - REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL
  - REMOVE ALL CUT MATERIAL FROM THE AREA
  - MAINTAIN SCREEN OVER CHIMNEY OUTLET
- MANAGEMENT ZONE:** 30' - 100' AWAY FROM HOUSE.
- GUIDELINES AS FOLLOWS:**
- KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND
- EMERGENCY VEHICLE ACCESS:**  
VEHICLE ACCESS FROM RONDA ROAD.

**SITE PLAN**

1/16"=1'-0"



**JUN A. SILLANO, AIA**  
**IDG**  
ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE  
PACIFIC GROVE CA.  
93950

PH (831) 646-1261  
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WEB idg-inc.net

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**STAMPS:**

PROJECT/CLIENT:  
**BALESTRERI RESIDENCE**

PROJECT ADDRESS:  
**3950 RONDA ROAD  
PEBBLE BEACH, CA  
93953**

APN: 008-222-024

DATE: JANUARY 15, 2025  
APPLICATION REQUEST

REVISIONS:

- APRIL 8, 2025  
PLANNING SUBMITTAL

**SITE PLAN**

SHEET NO.  
**A1.0**



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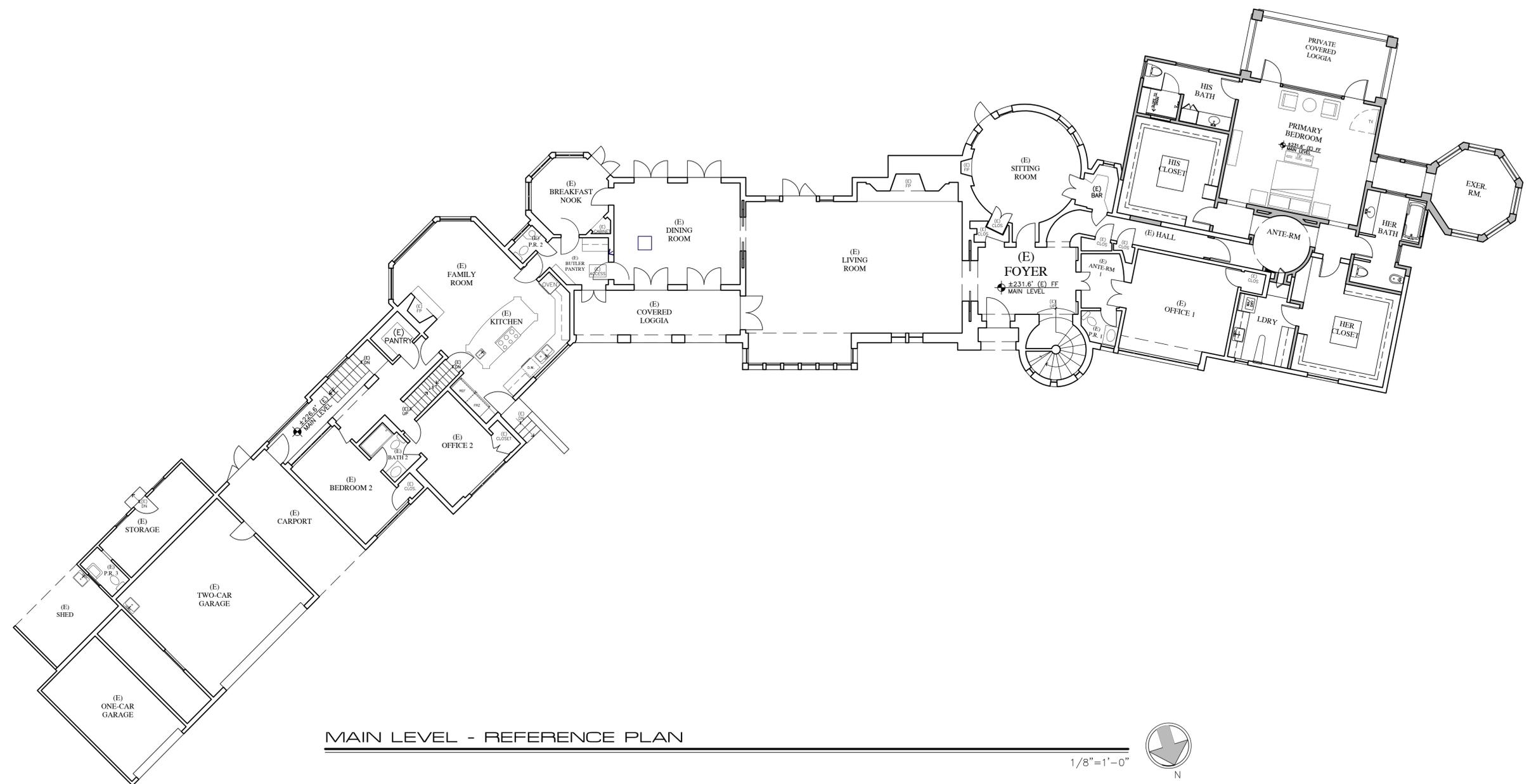
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**MAIN LEVEL  
PLAN**

SHEET NO.

**A2.0**



MAIN LEVEL - REFERENCE PLAN

1/8" = 1'-0"



**WALL LEGEND**

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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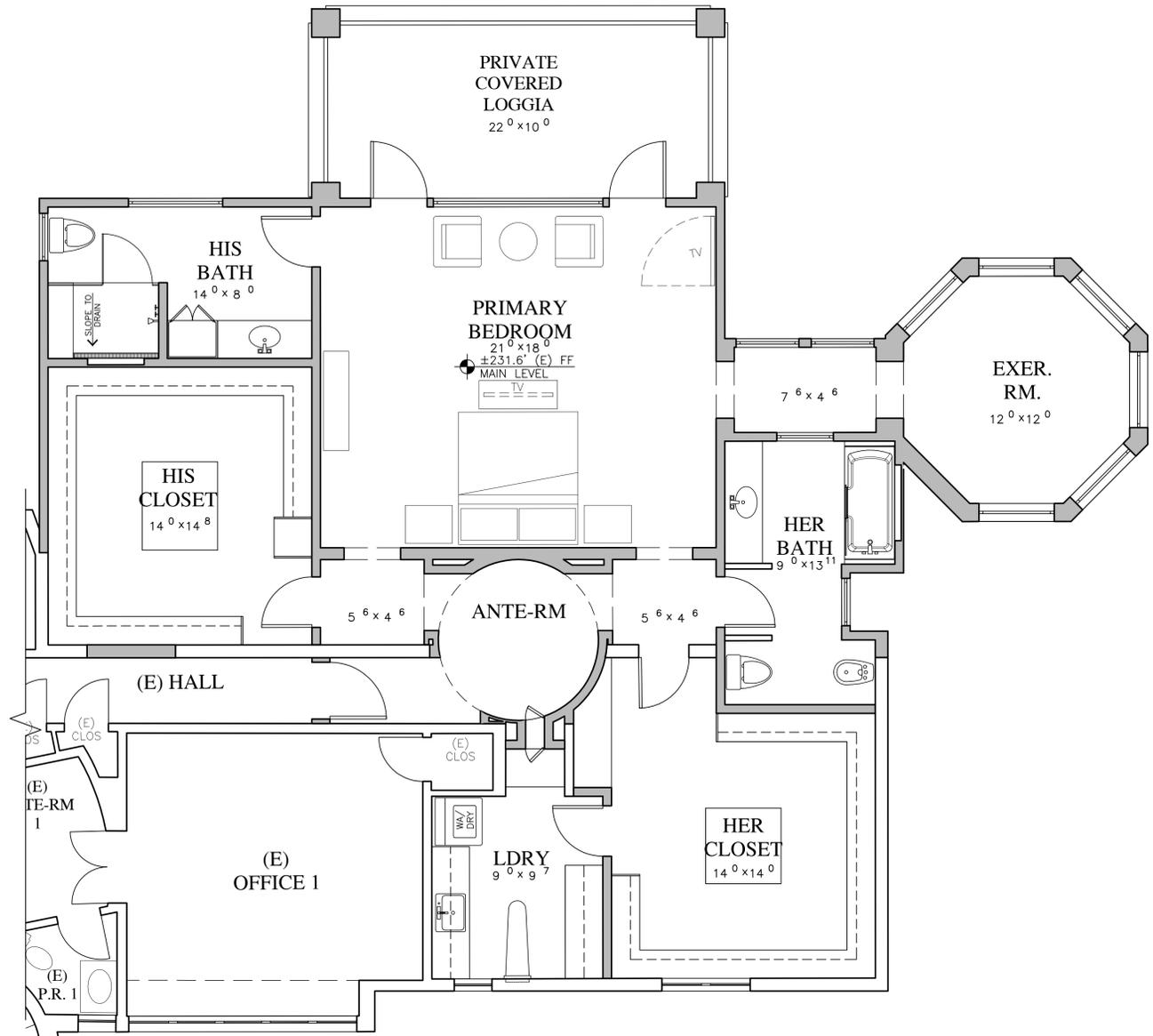
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**MAIN LEVEL  
PARTIAL PLAN**

SHEET NO.

**A2.1**



MAIN LEVEL REMODEL AND ADDITION - PARTIAL PLAN



**WALL LEGEND**

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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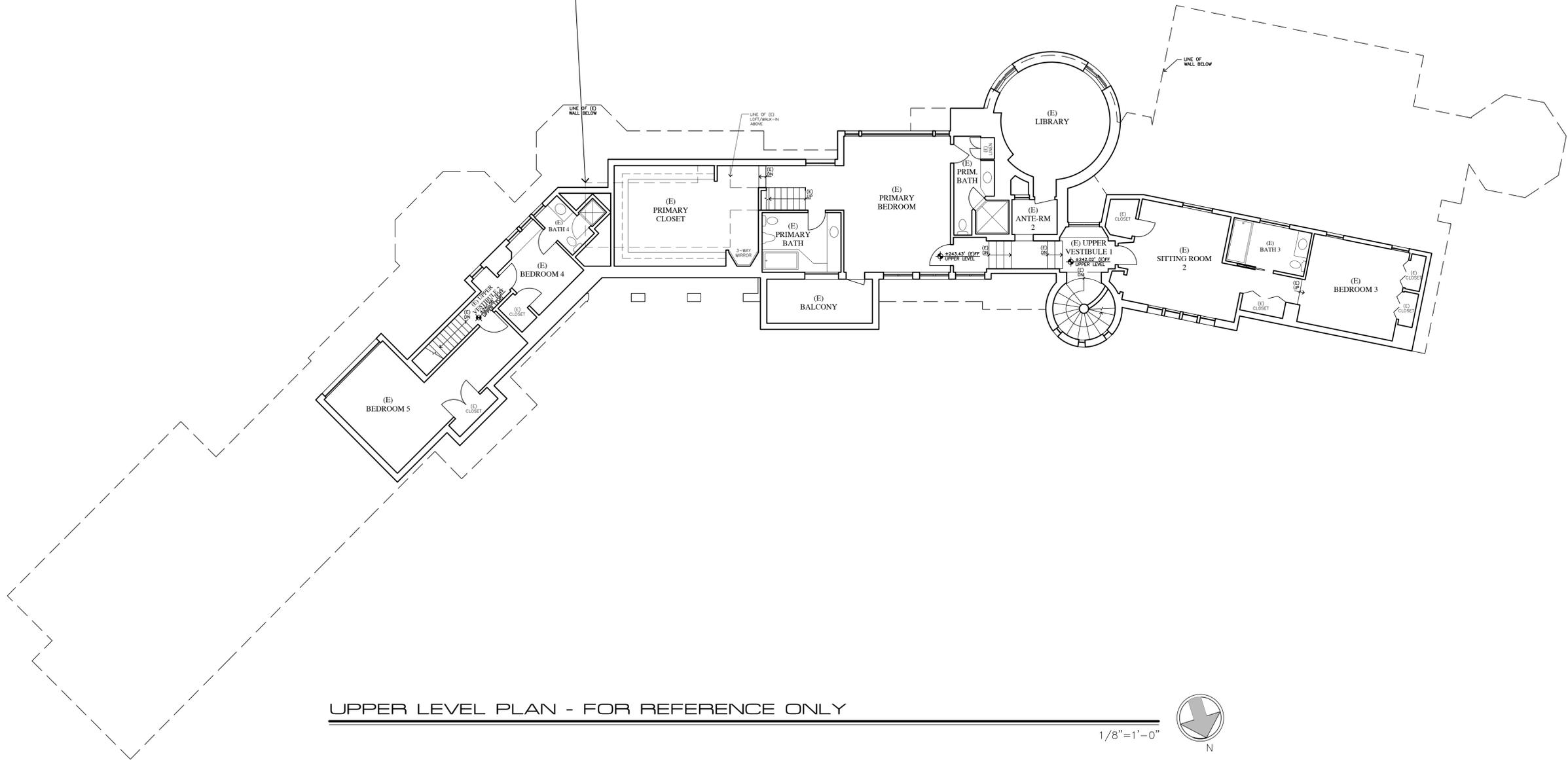
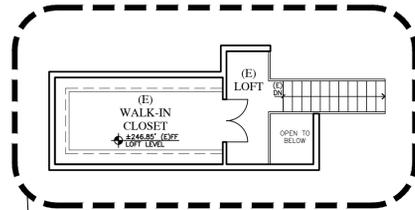
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**UPPER LEVEL  
PLAN**

SHEET NO.

**A3.0**



UPPER LEVEL PLAN - FOR REFERENCE ONLY

1/8"=1'-0"



**WALL LEGEND**

— 2X EXISTING WALL TO REMAIN

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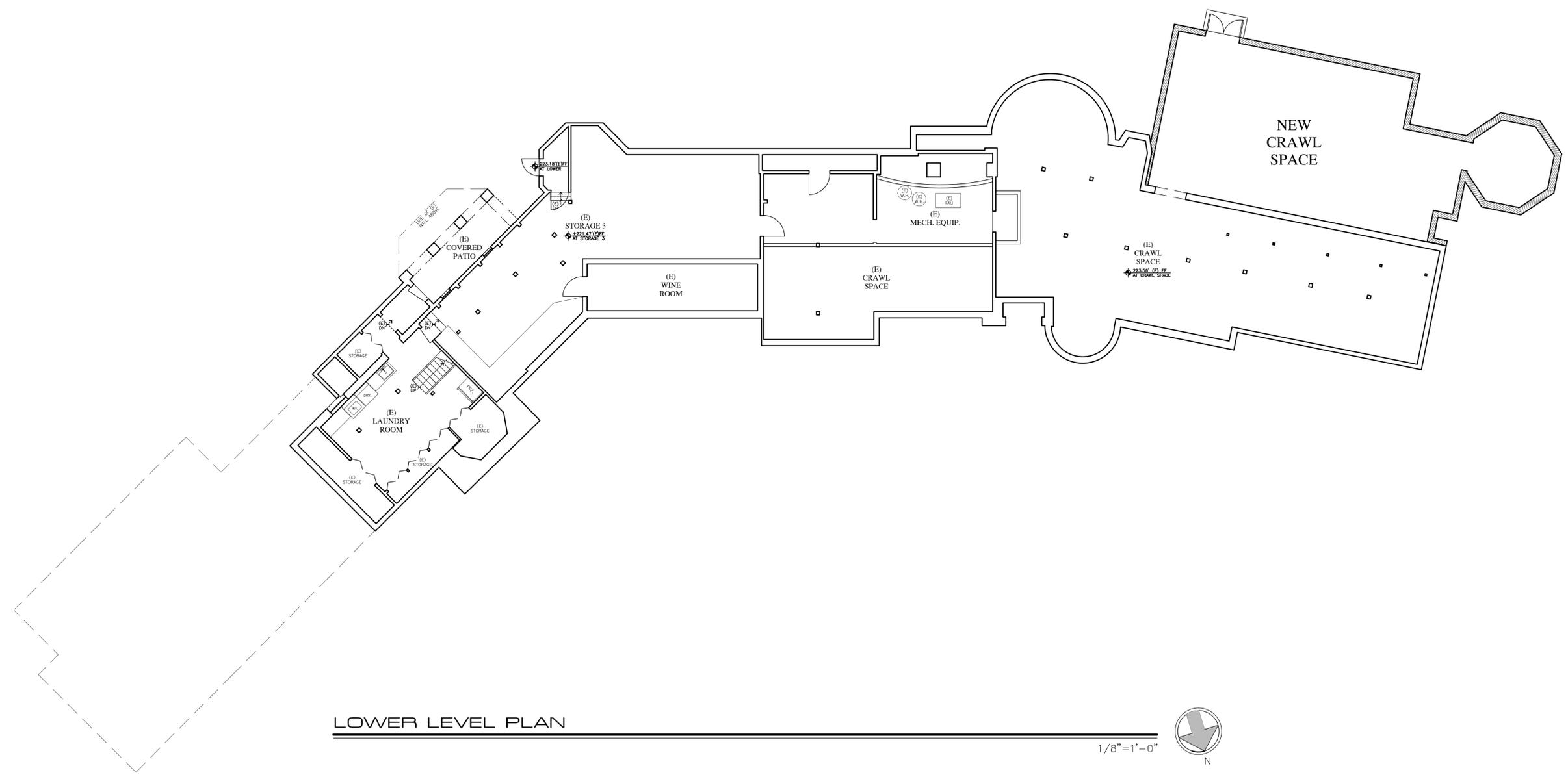
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**LOWER LEVEL  
PLAN**

SHEET NO.

**A4.0**



**LOWER LEVEL PLAN**

1/8"=1'-0"



**WALL LEGEND**

— 2X EXISTING WALL TO REMAIN

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RESIDENCE**

PROJECT ADDRESS:

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93953**

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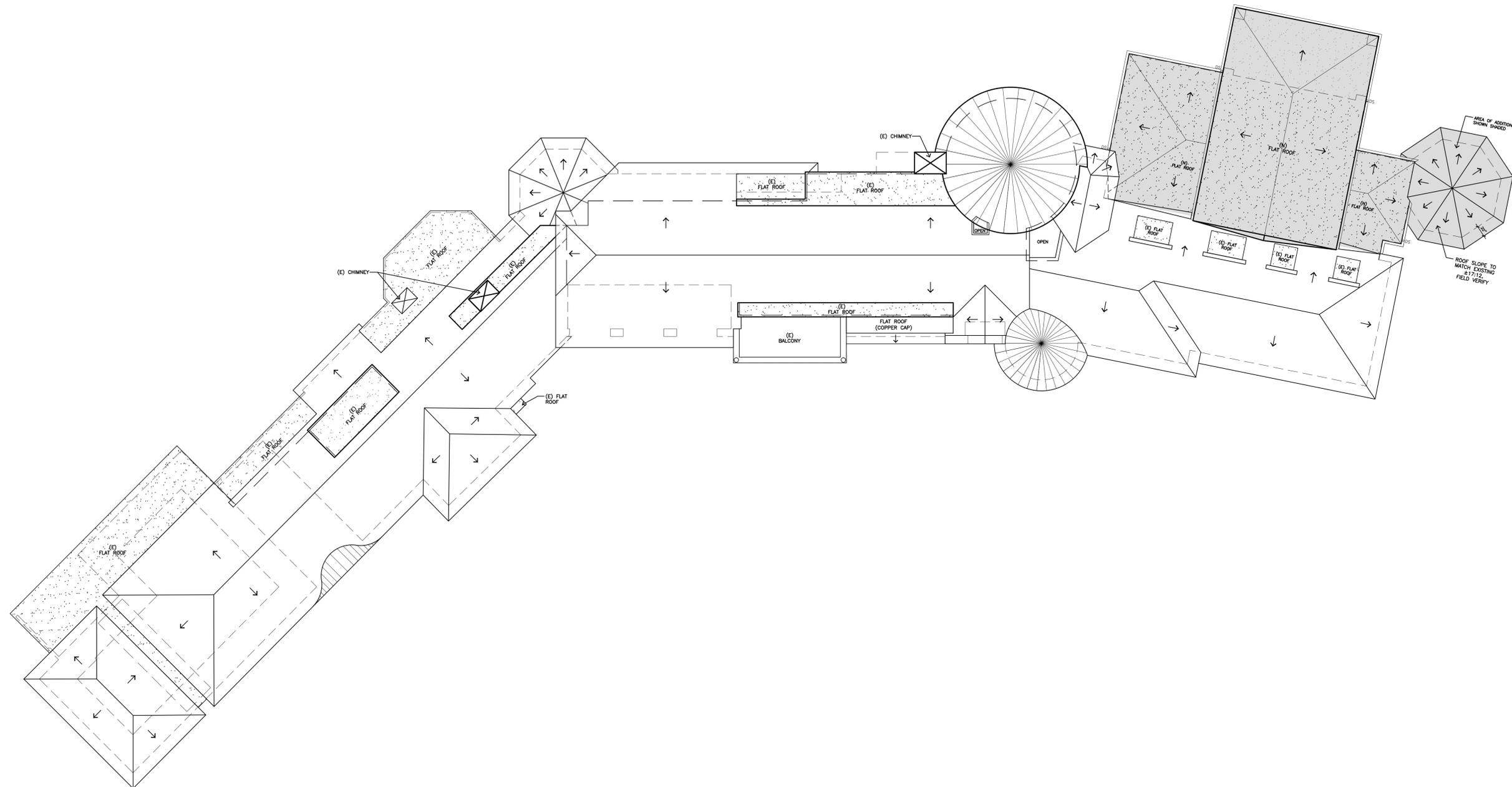
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**ROOF PLAN  
REFERENCE**

SHEET NO.

**A5.0**



**ROOF REFERENCE PLAN**

1/8" = 1'-0"



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STAMPS:

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**BALESTRERI  
RESIDENCE**

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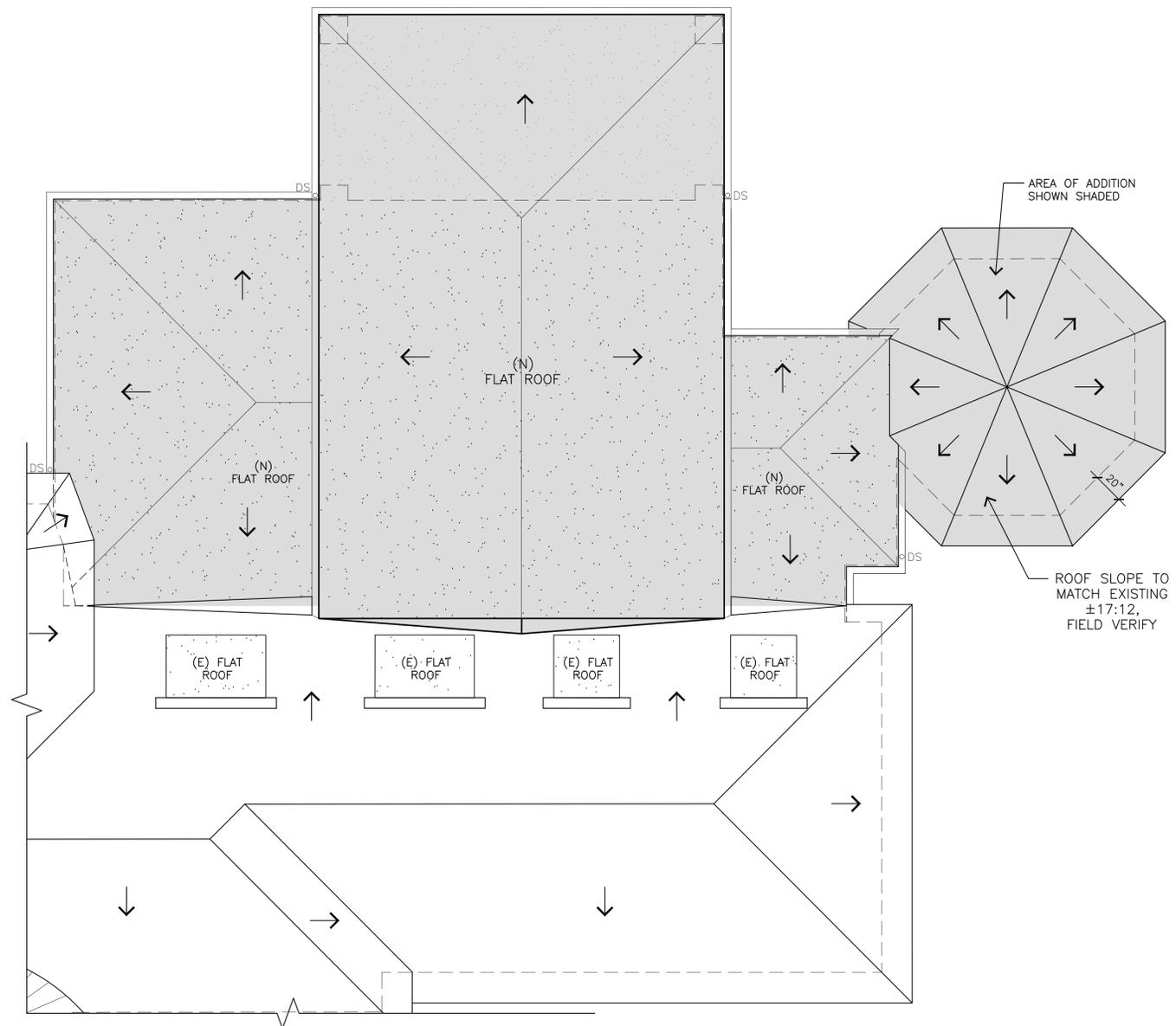
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**ROOF PLAN  
PARTIAL**

SHEET NO.

**A5.1**



**ROOF PLAN - PARTIAL**

1/4" = 1'-0"



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STAMPS:

PROJECT/CLIENT:

**BALESTRERI  
RESIDENCE**

PROJECT ADDRESS:

**3950 RONDA ROAD  
PEBBLE BEACH, CA  
93953**

APN: 008-222-024

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**ELEVATIONS**

SHEET NO.

**A6.0**

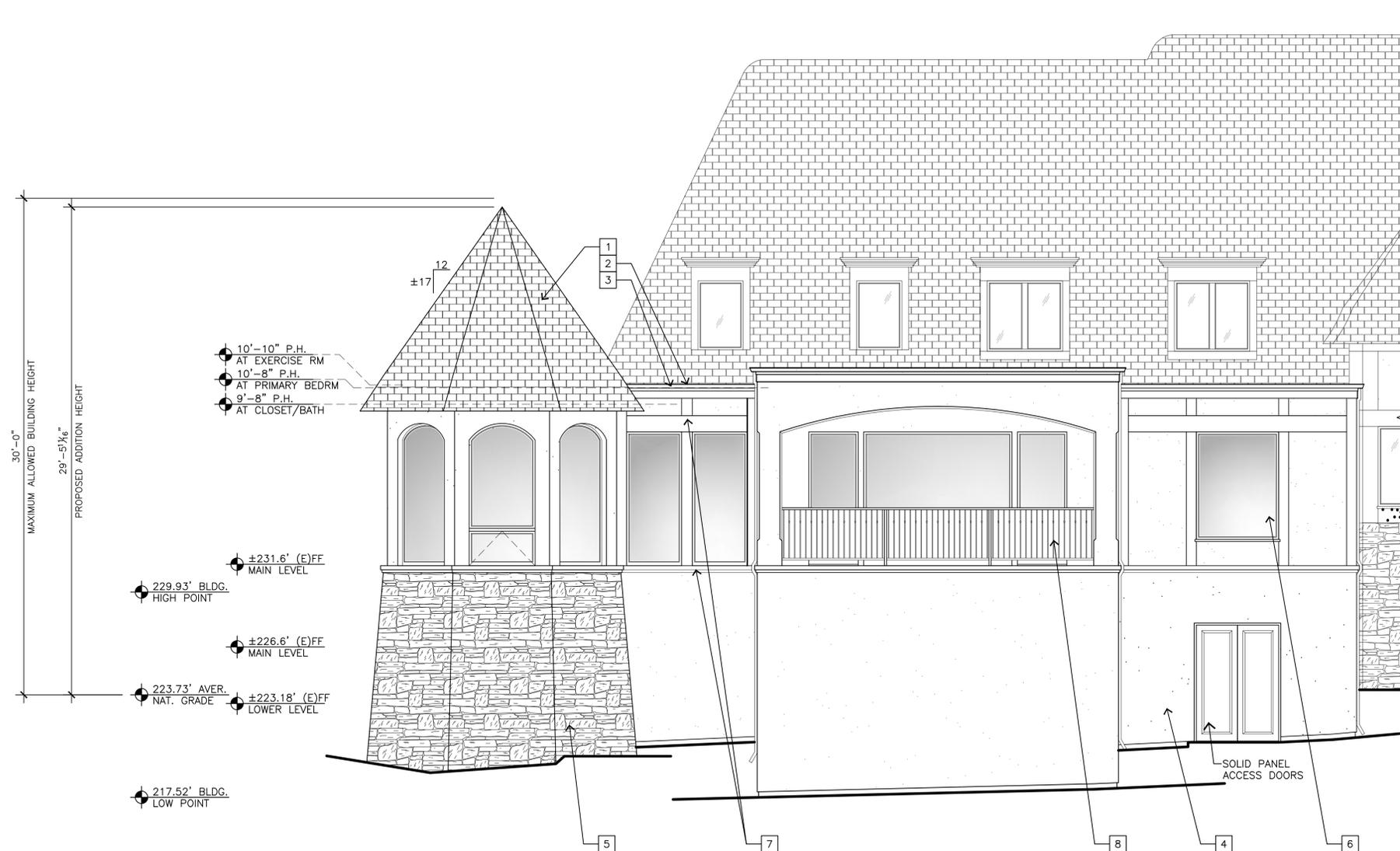


**SOUTH ELEVATION - FOR REFERENCE (FLATTENED)**

3/32"=1'-0"

**EXTERIOR FINISH LEGEND**

- 1 CLASS 'A' ROOF, MATCH EXISTING
- 2 FLAT ROOFING SYSTEM, CERTAINTEED FLINTLASTIC 3-PLY MODIFIED BITUMEN ROOF SYSTEM OR APPROVED EQUAL
- 3 5" COPPER O.G. GUTTERS AND 2X3 DOWNSPOUTS, MATCH EXISTING
- 4 3/8" THICK PAINTED EXTERIOR STUCCO SIDING, MATCH EXISTING
- 5 RANDOM STONE VENEER, MATCH EXISTING
- 6 METAL-CLAD EXTERIOR DOORS AND WINDOWS, MATCH EXISTING - LOEWEN OR EQUAL
- 7 2X PAINTED CEDAR SILL, TRIM, MOULDING, AND SURROUND, MATCH EXISTING
- 8 PAINTED GALVANIZED WROUGHT IRON 1/2" SQ. PICKET WITH DECORATIVE KNUCKLE, 1 1/2" SQ. POST, AND SHAPED TOP RAIL.



**SOUTH - PARTIAL ELEVATION**

1/4"=1'-0"

DISCLAIMER:  
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STAMPS:

PROJECT/CLIENT:

**BALESTRERI RESIDENCE**

PROJECT ADDRESS:

**3950 RONDA ROAD  
PEBBLE BEACH, CA  
93953**

APN: 008-222-024

DATE: JANUARY 15, 2025  
APPLICATION REQUEST

REVISIONS:

|   |               |                    |
|---|---------------|--------------------|
| △ | APRIL 8, 2025 | PLANNING SUBMITTAL |
| △ |               |                    |
| △ |               |                    |
| △ |               |                    |
| △ |               |                    |
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ELEVATIONS

SHEET NO.

**A6.1**

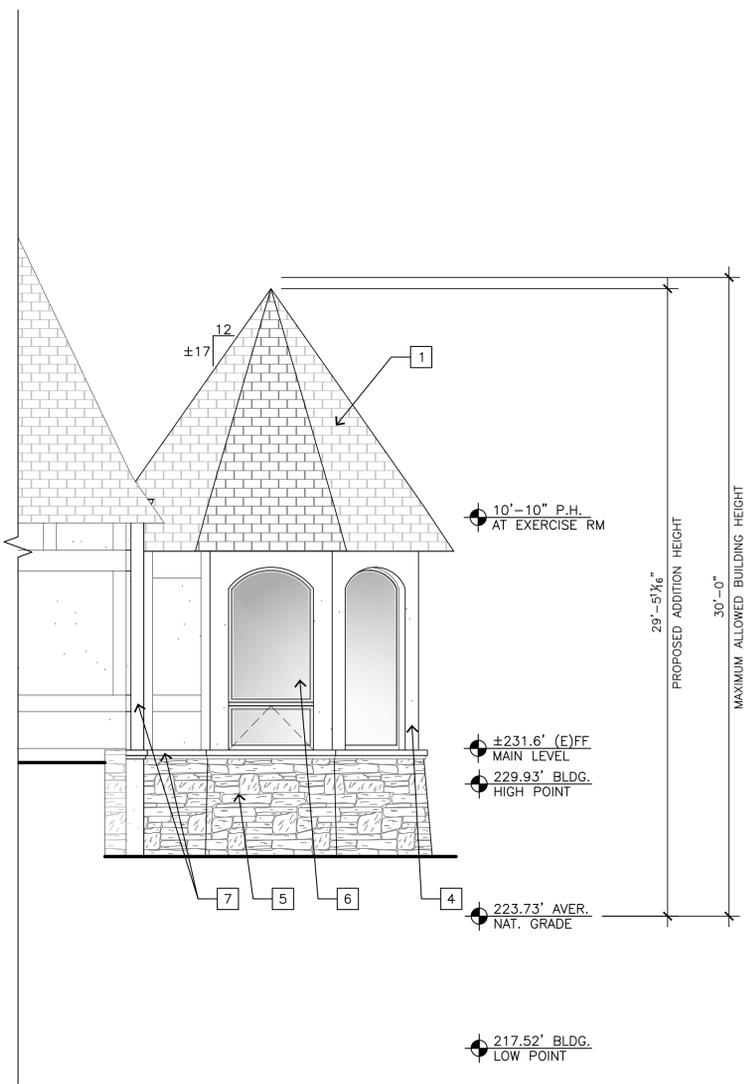


**NORTH ELEVATION - FOR REFERENCE (FLATTENED)**

3/32"=1'-0"

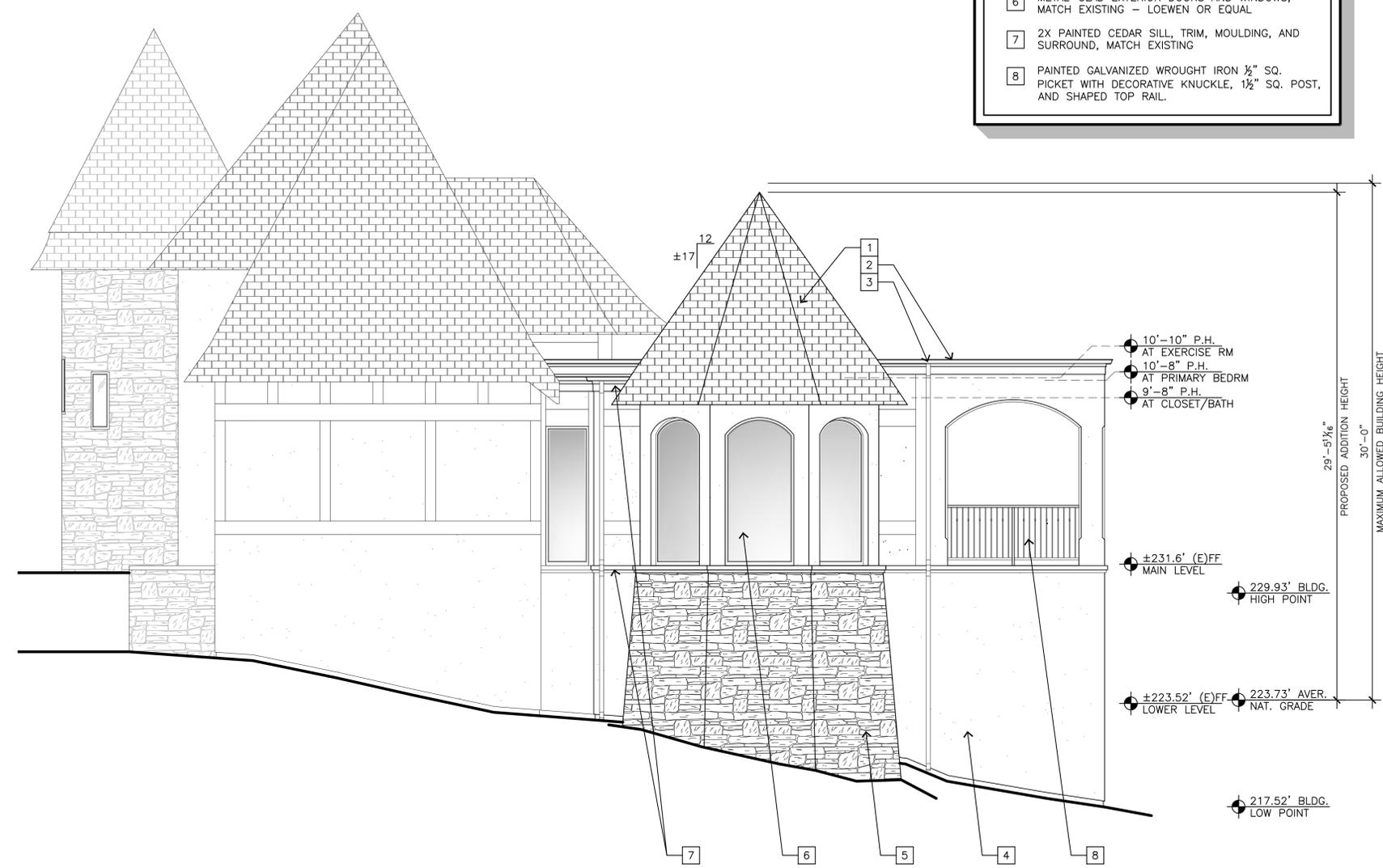
**EXTERIOR FINISH LEGEND**

- 1 CLASS 'A' ROOF, MATCH EXISTING
- 2 FLAT ROOFING SYSTEM, CERTAINTED FLINTLASTIC 3-PLY MODIFIED BITUMEN ROOF SYSTEM OR APPROVED EQUAL
- 3 5" COPPER O.G. GUTTERS AND 2X3 DOWNSPOUTS, MATCH EXISTING
- 4 7/8" THICK PAINTED EXTERIOR STUCCO SIDING, MATCH EXISTING
- 5 RANDOM STONE VENEER, MATCH EXISTING
- 6 METAL-CLAD EXTERIOR DOORS AND WINDOWS, MATCH EXISTING - LOEWEN OR EQUAL
- 7 2X PAINTED CEDAR SILL, TRIM, MOULDING, AND SURROUND, MATCH EXISTING
- 8 PAINTED GALVANIZED WROUGHT IRON 1/2" SQ. PICKET WITH DECORATIVE KNUCKLE, 1 1/2" SQ. POST, AND SHAPED TOP RAIL.



**NORTH - PARTIAL ELEVATION**

1/4"=1'-0"



**EAST ELEVATION**

1/4"=1'-0"

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93953**

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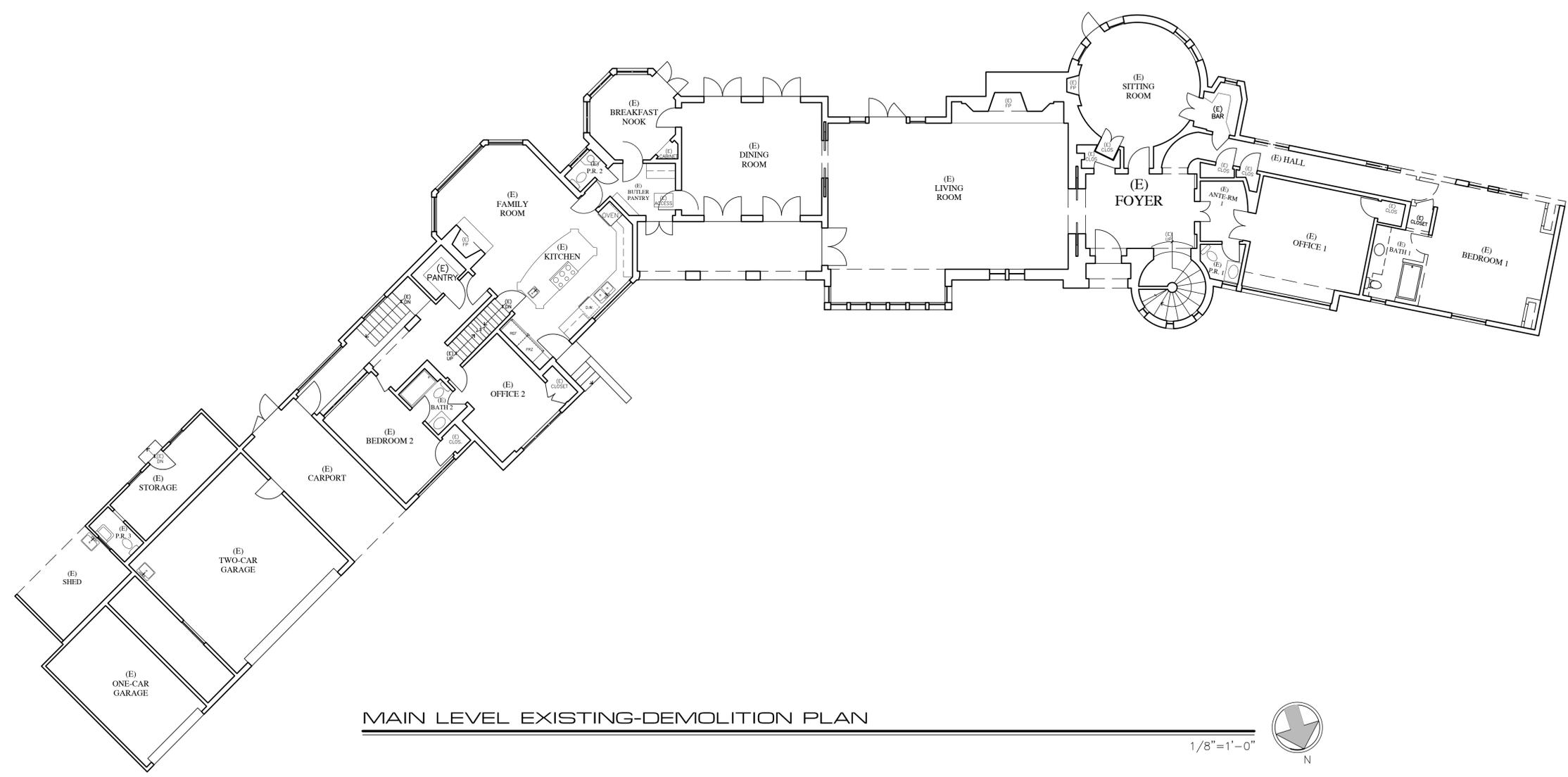
REVISIONS:

|   |                    |
|---|--------------------|
| ▲ | APRIL 8, 2025      |
| ▲ | PLANNING SUBMITTAL |
| ▲ |                    |
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| ▲ |                    |
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| ▲ |                    |

**MAIN LEVEL  
EXIST / DEMO**

SHEET NO.

**D1.0**



**MAIN LEVEL EXISTING-DEMOLITION PLAN**

1/8"=1'-0"



**WALL LEGEND**

- 2X EXISTING WALL TO REMAIN
- (E) DOOR OR WINDOW TO BE REMOVED
- 2X EXISTING WALL TO BE REMOVED

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93953**

APN: 008-222-024

DATE: JANUARY 15, 2025

APPLICATION REQUEST

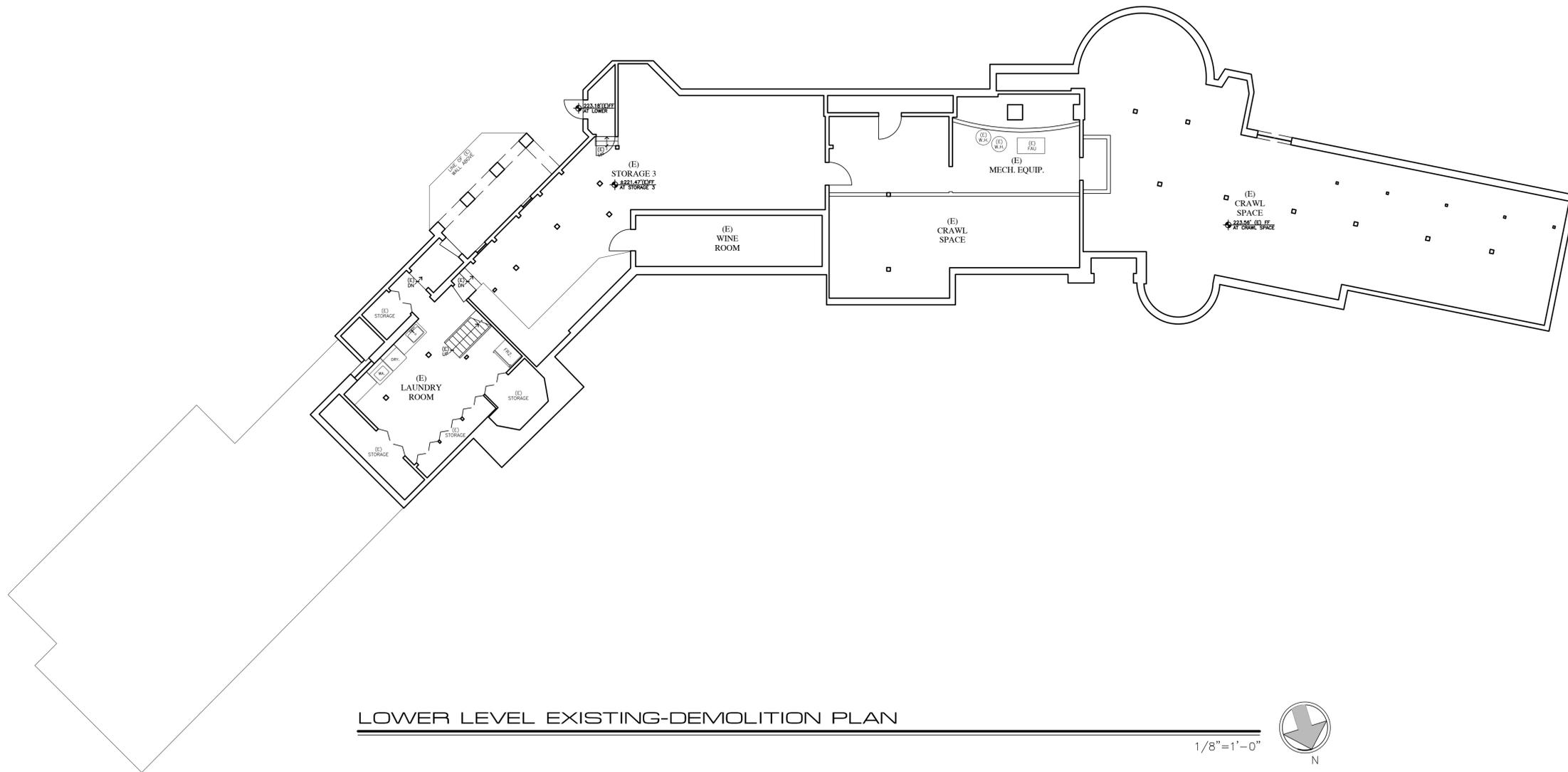
REVISIONS:

- ▲ APRIL 8, 2025  
PLANNING SUBMITTAL
- ▲
- ▲
- ▲
- ▲
- ▲

**LOWER LEVEL  
EXIST / DEMO**

SHEET NO.

**D2.0**



**LOWER LEVEL EXISTING-DEMOLITION PLAN**

1/8"=1'-0"



**WALL LEGEND**

- 2X EXISTING WALL TO REMAIN
- (E) DOOR OR WINDOW TO BE REMOVED
- 2X EXISTING WALL TO BE REMOVED

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93953**

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- ▲ APRIL 8, 2025
- ▲ PLANNING SUBMITTAL
- ▲
- ▲
- ▲
- ▲

**EXISTING  
ELEVATIONS**

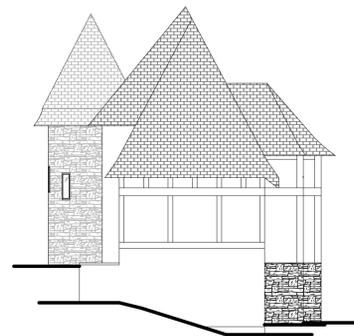
SHEET NO.

**D3.0**



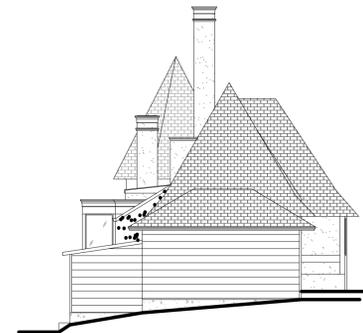
**EXISTING NORTH ELEVATION - FLATTENED**

3/32"=1'-0"



**EAST ELEVATION**

3/32"=1'-0"



**WEST ELEVATION**

3/32"=1'-0"

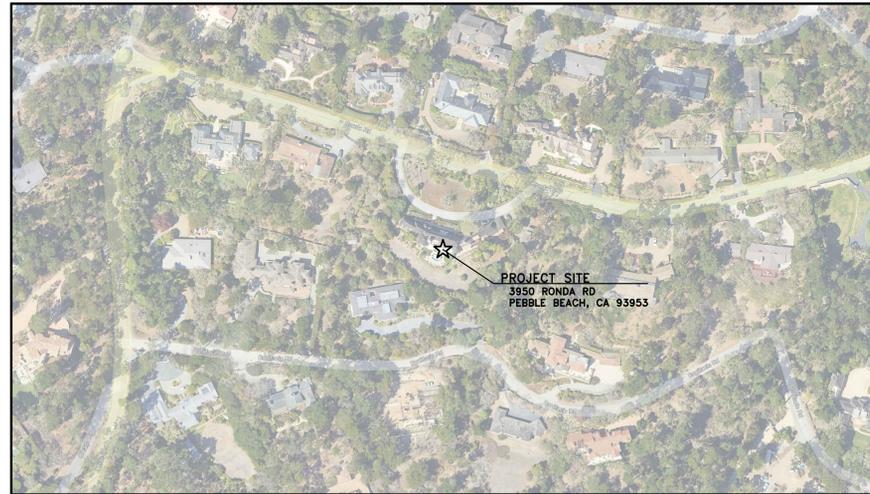


**EXISTING SOUTH ELEVATION - FLATTENED**

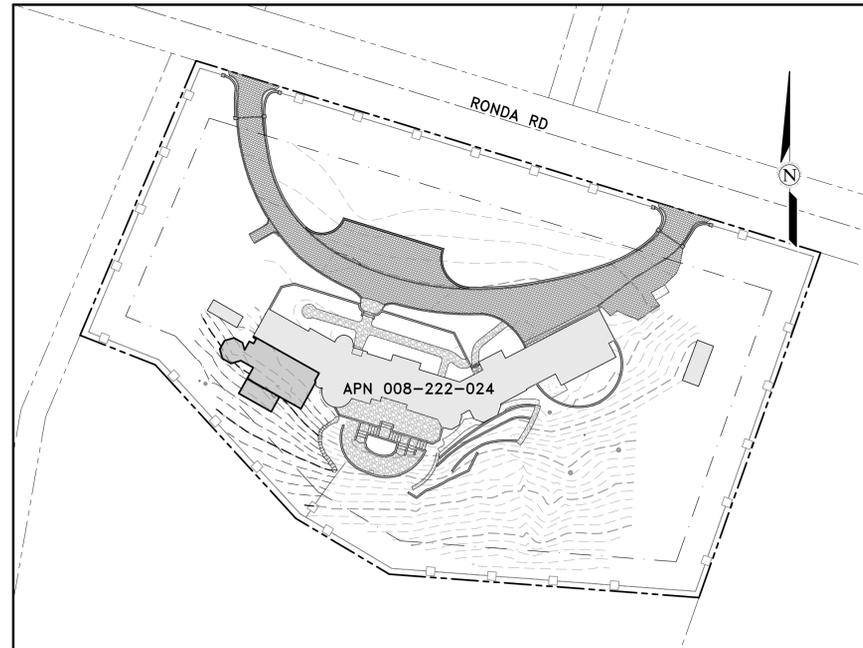
3/32"=1'-0"

# GRADING, DRAINAGE, AND EROSION CONTROL PLAN

OF  
**THE BALESTRERI RESIDENCE**  
 APN: 008-222-024  
 PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



**VICINITY MAP**  
NOT TO SCALE



**LOT OVERVIEW**  
SCALE: 1" = 50'

**GENERAL NOTES:**

- 1) PROJECT DESIGN IS BASED ON INFORMATION OBTAINED FROM THE ARCHITECTURAL PLANS FOR THE BALESTRERI RESIDENCE PREPARED BY IDG, DATED 03/07/2025; AND THE TOPOGRAPHIC MAP FOR THE SITE PREPARED BY LANDSET ENGINEERS, DATED 02/21/2025.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUBSURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

**GRADING & DRAINAGE NOTES:**

- 1) ALL GRADING SHALL CONFORM TO THE LATEST AUTHORITY HAVING JURISDICTION GRADING ORDINANCE AND EROSION CONTROL ORDINANCE; THE RECOMMENDATIONS FOUND IN THE PROJECT'S SOIL ENGINEERING INVESTIGATION; THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS; THE GOVERNING PUBLIC AGENCIES; THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC); AND THESE PLANS.
- 2) SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL. MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- 3) NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 4) THERE ARE APPROXIMATELY 100 CUBIC YARDS OF CUT AND 5 CUBIC YARDS OF FILL TOTAL WITH A NET EXCESS OF 95 CUBIC YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. ARE NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOILS REPORT AND BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT.
- 5) EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL ENGINEER.
- 7) PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10' PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- 8) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO DO SO AND FOR USE IN GRADING OPERATIONS.
- 9) A COPY OF ALL COMPACTION TESTS AND THE FINAL GRADING REPORT SHALL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- 11) ROOF DRAINAGE SHALL BE ACCOMPLISHED BY THE USE OF GUTTERS AND DOWNSPOUTS. THE DOWNSPOUTS SHALL BE CONNECTED TO RAINWATER LEADERS AND TIED INTO THE STORM DRAIN SYSTEM AS SHOWN ON THE SITE UTILITY PLAN. DOWNSPOUTS THAT ARE NOT CONNECTED TO A RAINWATER LEADER SHALL OUTLET ONTO SPLASH BLOCKS OR AN APPROVED ALTERNATIVE. SPLASH BLOCKS MAY BE UNNECESSARY IF THE DOWNSPOUT OUTLETS DIRECTLY ONTO AN IMPERVIOUS SURFACE THAT IS PROPERLY GRADED AWAY FROM FOUNDATIONS. RAINWATER LEADERS SHALL BE CONSTRUCTED WITH 4" SDR35 PVC PIPE. UNDER NO CIRCUMSTANCES SHALL A RAINWATER LEADER BE CONNECTED TO A SUBDRAIN LINE.
- 12) SURFACE RUNOFF SHALL BE COLLECTED BY A SYSTEM OF SWALES AND DRAINS. CAPTURED STORMWATER SHALL BE PIPED TO A DISPERSION TRENCH AS SHOWN ON THE SITE UTILITY PLAN. STORM DRAIN LINES SHALL DRAIN BY GRAVITY AND BE SLOPED AT A MINIMUM OF 2% TO AN OUTLET, WHERE A 2% SLOPE IS IMPRACTICAL, PIPES SHALL BE SLOPED AT NO LESS THAN 1%. STORM DRAIN LINES SHALL HAVE A MINIMUM COVER OF 12" AND SHALL BE CONSTRUCTED WITH SDR35 PVC PIPE, SIZED AS INDICATED.
- 13) TRENCH DRAINS SHALL BE NOS CHANNEL DRAINS, SIZED AS INDICATED ON THE SITE UTILITY PLAN. FLAT-BOTTOMED CHANNELS SHOULD BE SLOPED AT A MINIMUM OF 0.5% TO AN OUTLET IN ORDER TO ENSURE PROPER DRAINAGE AND PREVENT STANDING WATER IN THE TRENCH. ANY CHANNEL SLOPED AT LESS THAN 0.5% SHALL HAVE OUTLETS SPACED AT NO MORE THAN 10'. GRATES AND CHANNELS SHALL HAVE A LOAD RATING GREATER THAN OR EQUAL TO THE EXPECTED LOADING IN THE INSTALLATION AREA. ALL TRENCH DRAINS SHALL BE SURROUNDED BY A MINIMUM OF 4" OF CONCRETE. TRENCH DRAINS SHOULD BE SIZED TO HANDLE THE PEAK RUNOFF RATE PRODUCED BY A 10-YEAR DESIGN STORM.
- 14) SUBSURFACE WATER BEHIND ANY RETAINING WALLS SHALL BE CONTROLLED BY THE INSTALLATION OF SUBDRAINS. SUBDRAIN LINES SHALL BE CONSTRUCTED WITH PERFORATED 4" SDR35 PVC PIPE PLACED WITH THE HOLES FACING DOWNWARD. COLLECTED WATER SHALL DRAIN TO DAYLIGHT AT A MINIMUM SLOPE OF 1% AS SHOWN ON THE SITE UTILITY PLAN. PIPES CARRYING SURFACE WATER OR ROOF WATER SHALL NOT UNDER ANY CIRCUMSTANCES OUTLET INTO A SUBDRAIN LINE. THE SYSTEM OF SUBDRAINS SHALL REMAIN INDEPENDENT OF THE SURFACE STORM DRAIN SYSTEM.
- 15) UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MINIMUM RELATIVE COMPACTION.
- 16) ALL WORK IS SUBJECT TO APPROVAL BY THE AUTHORITY HAVING JURISDICTION PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- 17) SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR ARE REQUIRED DURING FILL PLACEMENT TO ENSURE PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- 18) THE LOCATION, HEIGHT, AND PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- 19) STOP WORK WITHIN 50 METERS (165') OF UNCOVERED RESOURCE AND CONTACT THE AUTHORITY HAVING JURISDICTION RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

**LEGEND:**

|        |                             |   |                              |   |                           |
|--------|-----------------------------|---|------------------------------|---|---------------------------|
| --- -- | PROPERTY BOUNDARY           | ▒ | EXISTING RESIDENCE FOOTPRINT | ■ | CATCH BASIN               |
| ---    | SETBACK                     | ▒ | PROPOSED BUILDING FOOTPRINT  | ⊠ | JUNCTION BOX              |
| ---    | MAJOR CONTOUR (5' INTERVAL) | ▒ | ASPHALT CONCRETE             | ⊞ | DOWNSPOUT W/ SPLASH BLOCK |
| ---    | MINOR CONTOUR (1' INTERVAL) | ▒ | CONCRETE                     | ⊞ | DISPERSION TRENCH         |
| ▒      | RETAINING WALL              | ▒ | DECOMPOSED GRANITE           | ○ | TREE                      |
| → → →  | SWALE FLOW LINE             | ▒ | PERMEABLE PAVERS             |   |                           |
| → → →  | STORM DRAIN PIPE            | ▒ | STONE                        |   |                           |
| → → →  | RAINWATER LEADER            | ▒ | WATER                        |   |                           |
| → → →  | SUBDRAIN LINE               |   |                              |   |                           |

**ABBREVIATIONS:**

|      |                               |      |                             |        |                          |
|------|-------------------------------|------|-----------------------------|--------|--------------------------|
| ±    | = PLUS OR MINUS; APPROXIMATE  | EVC  | = END OF VERTICAL CURVE     | PL     | = PROPERTY LINE          |
| ∅    | = DIAMETER                    | EW   | = EACH WAY                  | POC    | = POINT OF CONNECTION    |
| AB   | = AGGREGATE BASE              | EX   | = EXISTING                  | PVC    | = POLYVINYL CHLORIDE     |
| ABAN | = ABANDON                     | FC   | = FLUSH CURB                | RC     | = RELATIVE COMPACTION    |
| AC   | = ASPHALT CONCRETE            | FD   | = FIRE DEPARTMENT           | RES    | = RESIDENCE              |
| AD   | = AREA DRAIN                  | FF   | = FINISHED FLOOR            | RM     | = ROOM                   |
| ADD  | = ADDITION                    | FG   | = FINISHED GRADE            | RND    | = ROUND                  |
| ADU  | = ACCESSORY DWELLING UNIT     | FL   | = FLOWLINE                  | RW     | = RETAINING WALL         |
| BC   | = BEGINNING OF CURVE          | FM   | = FORCE MAIN                | RWL    | = RAINWATER LEADER       |
| B.E. | = BUILDING ENVELOPE           | FP   | = FINISHED PAD              | SD     | = STORM DRAIN            |
| BLDG | = BUILDING                    | GAR  | = GARAGE                    | SF     | = SQUARE FEET            |
| BOT  | = BOTTOM                      | GB   | = GRADE BREAK               | SG     | = SUBGRADE               |
| BSMT | = BASEMENT                    | GR   | = GRATE                     | SO     | = SQUARE                 |
| BVC  | = BEGINNING OF VERTICAL CURVE | HDPE | = HIGH-DENSITY POLYETHYLENE | SS     | = SANITARY SEWER         |
| CB   | = CATCH BASIN                 | HP   | = HIGH POINT                | STA    | = STATION                |
| CF   | = CUBIC FEET                  | HT   | = HEIGHT                    | STN    | = STONE                  |
| CL   | = CENTERLINE                  | INV  | = PIPE INVERT               | STP    | = STEP                   |
| CO   | = CLEANOUT                    | JB   | = JUNCTION BOX              | SUBD   | = SUBDRAIN               |
| CONC | = CONCRETE                    | JT   | = JOINT TRENCH              | TBR    | = TO BE REMOVED          |
| CY   | = CUBIC YARDS                 | LF   | = LINEAR FEET               | TD     | = TRENCH DRAIN           |
| DG   | = DECOMPOSED GRANITE          | LP   | = LOW POINT                 | TW     | = TOP OF WALL            |
| DK   | = DECK                        | MAX  | = MAXIMUM                   | TYP    | = TYPICAL                |
| DS   | = DOWNSPOUT                   | MIN  | = MINIMUM                   | U.N.O. | = UNLESS NOTED OTHERWISE |
| DWY  | = DRIVEWAY                    | OC   | = ON-CENTER                 | VC     | = VERTICAL CURB          |
| EC   | = END OF CURVE                | OUT  | = OUTLET                    | VIF    | = VERIFY IN FIELD        |
| EG   | = EXISTING GROUND             | PCC  | = PORTLAND CEMENT CONCRETE  | W/O    | = WITH                   |
| ELEV | = ELEVATION                   | PERF | = PERFORATED                | W/O    | = WITHOUT                |
| ESMT | = EASEMENT                    | PERM | = PERMEABLE                 | WD     | = WOOD                   |

**INDEX TO SHEETS**

|          |                                 |
|----------|---------------------------------|
| SHEET C1 | COVER SHEET                     |
| SHEET C2 | GRADING & DRAINAGE PLAN         |
| SHEET C3 | GRADING SECTIONS & DETAILS      |
| SHEET C4 | UTILITY PLAN                    |
| SHEET C5 | CONSTRUCTION DETAILS            |
| SHEET C6 | EROSION & SEDIMENT CONTROL PLAN |
| SHEET C7 | CONSTRUCTION MANAGEMENT PLAN    |

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

**GEOTECHNICAL INSPECTION SCHEDULE**

| Inspection Item:                              | Who will conduct the inspection: | When the Inspection is to be completed:           | Inspection completed by: | Date completed: |
|---|----------------------------------|---|--------------------------|-----------------|
| Site stripping and clearing                   | GEOTECH ENGINEER                 | Beginning of Project                              |                          |                 |
| Subexcavation, fill placement, and compaction | GEOTECH ENGINEER                 | Throughout grading operations                     |                          |                 |
| Foundation Excavations                        | GEOTECH ENGINEER                 | Prior to placement of forms and reinforcing steel |                          |                 |
| Surface and subsurface drainage improvements  | GEOTECH ENGINEER                 | Prior to trench backfill operations               |                          |                 |
| Utility trench compaction                     | GEOTECH ENGINEER                 | During backfill operations                        |                          |                 |
| Retaining wall backfill compaction            | GEOTECH ENGINEER                 | During backfill operations                        |                          |                 |
| Baseroack subgrade compaction                 | GEOTECH ENGINEER                 | Prior to pavement installation                    |                          |                 |

**STORMWATER CONTROL NOTES:**

- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRW) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) THIS PROJECT SHALL IMPLEMENT THE FOLLOWING STRATEGIES: MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS; LIMIT CLEARING AND GRADING OF NATIVE VEGETATION; MINIMIZE IMPERVIOUS SURFACES AND LEAVE THE REMAINING LAND IN A NATURAL UNDISTURBED STATE; MINIMIZE STORMWATER RUNOFF BY DIRECTING RUNOFF FROM PATIOS, PORCHES, AND DRIVEWAYS ONTO VEGETATED AREAS AND DIRECTING ROOF RUNOFF INTO AN INFILTRATION SYSTEM SAFELY AWAY FROM BUILDING FOUNDATIONS AND FOOTINGS, CONSISTENT WITH THE CALIFORNIA BUILDING CODE.

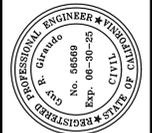
**CONTACT INFORMATION:**

**OWNER:**  
 TED BALESTRERI  
 3950 RONDA RD  
 PEBBLE BEACH, CA 93953

**ARCHITECT:**  
 JUN SILLANO  
 IDG  
 721 LIGHTHOUSE AVE  
 PACIFIC GROVE, CA 93950

**SITE LOCATION:**  
 3950 RONDA RD  
 PEBBLE BEACH, CA 93953

**"COVER SHEET"**  
**GRADING, DRAINAGE, AND EROSION CONTROL PLAN**  
 OF  
**THE BALESTRERI RESIDENCE**  
 A.P.N.: 008-222-024  
 PEBBLE BEACH, CALIFORNIA  
 TED BALESTRERI

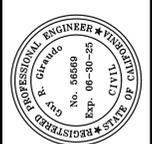
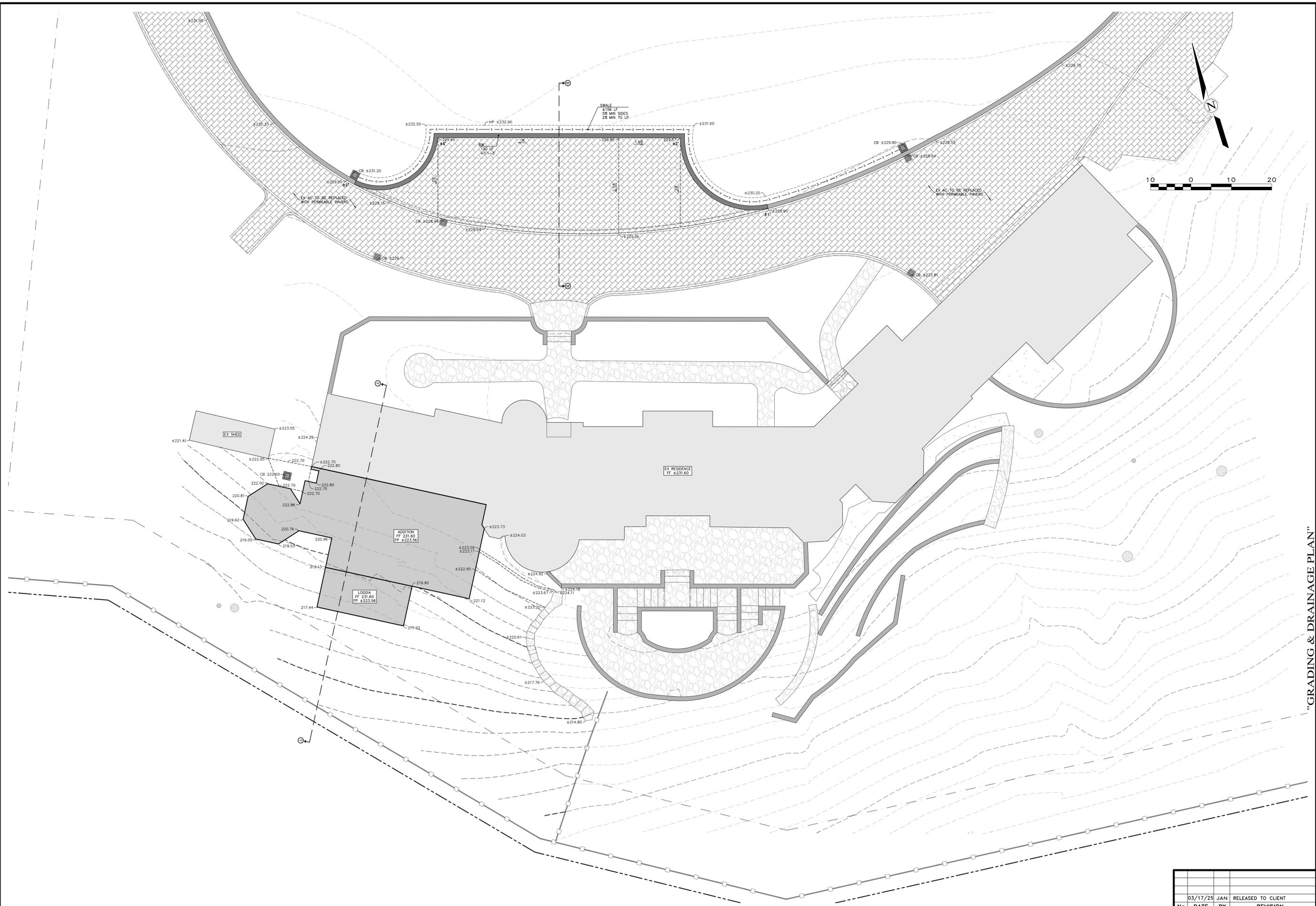


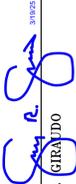
APPROVED BY:  
  
 TED BALESTRERI  
 CIVIL ENGINEER  
 LANDSET ENGINEER



SCALE: AS SHOWN  
 DATE: MAR 2025  
 JOB No. 2873-02

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| SHEET | <b>C1</b> |     |                    |
| OF    | 7 SHEETS  |     |                    |
| No.   | DATE      | BY  | REVISION           |
|       | 03/17/25  | JAN | RELEASED TO CLIENT |



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 GUY R. GIRARDO

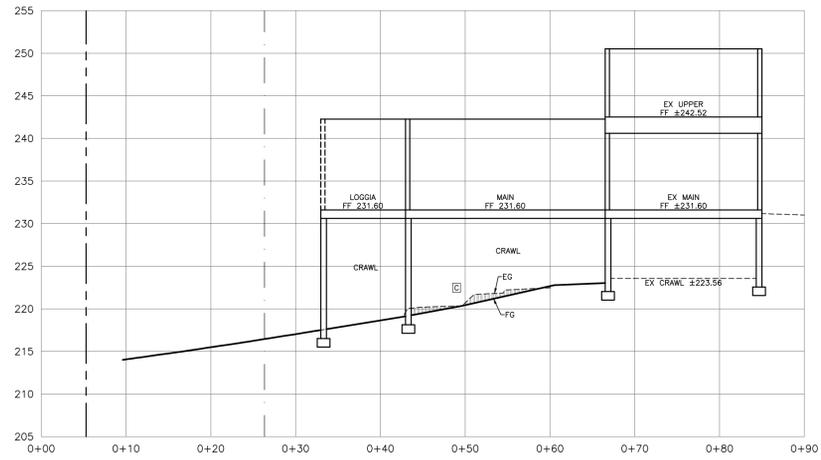


"GRADING & DRAINAGE PLAN"  
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
 OF  
 THE BALESTRERI RESIDENCE  
 A.P.N.: 008-222-024  
 PEBBLE BEACH, CALIFORNIA  
 PREPARED BY  
 TED BALESTRERI

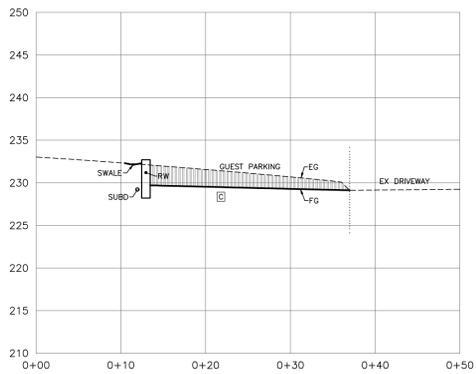
SCALE: 1" = 10'  
 DATE: MAR 2025  
 JOB No. 2873-02

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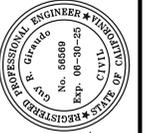
SHEET **C2**  
 OF 7 SHEETS



SECTION A-A  
SCALE: 1"=10' H&V



SECTION B-B  
SCALE: 1"=10' H&V



APPROVED BY:  
*Guy R. Granado*  
GUY R. GRANADO



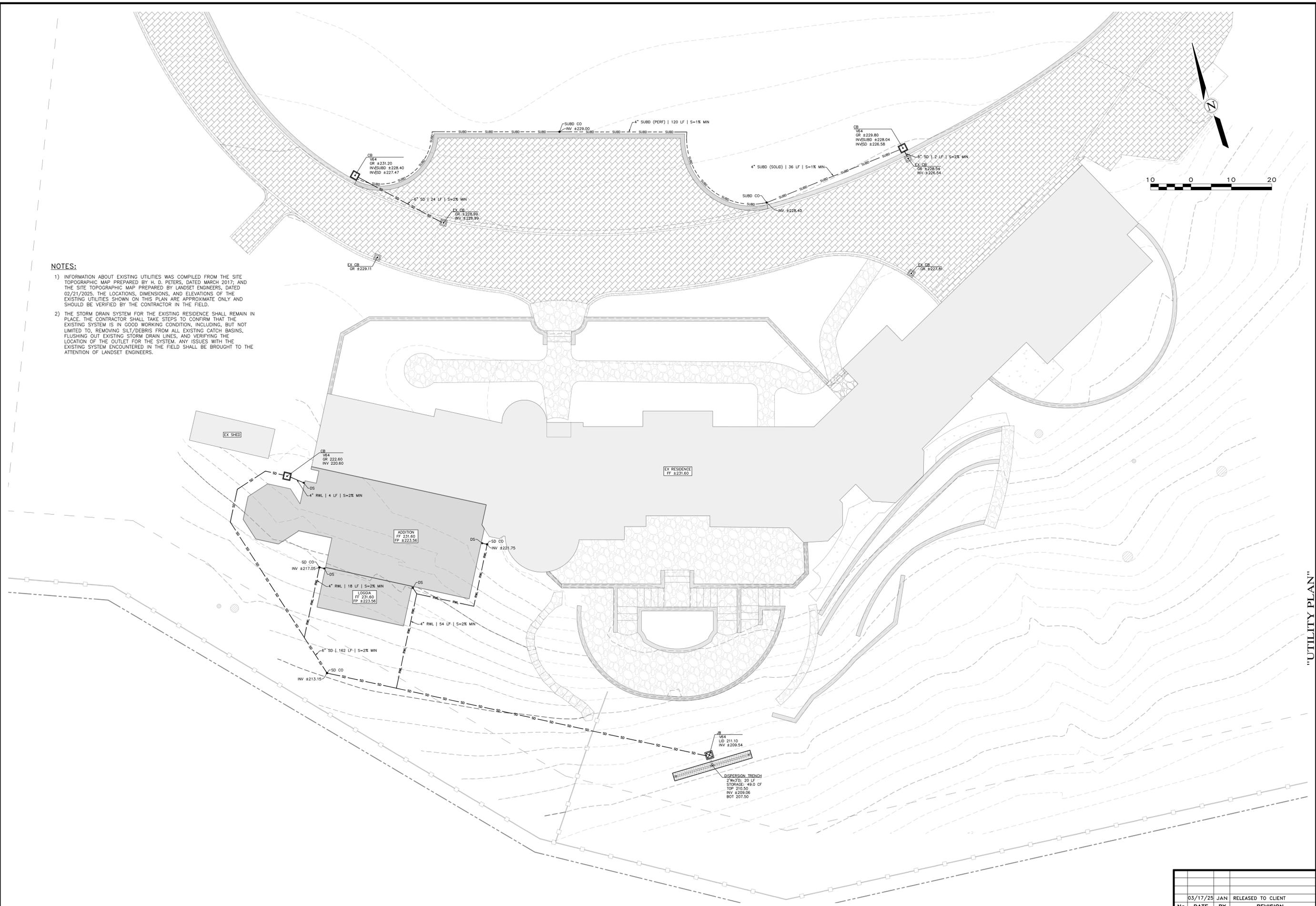
"GRADING SECTIONS & DETAILS"  
GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
OF  
THE BALESTRERI RESIDENCE  
A.P.N.: 008-222-024  
PEBBLE BEACH, CALIFORNIA  
TED BALESTRERI

SCALE: AS SHOWN  
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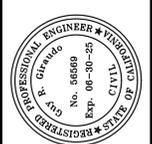
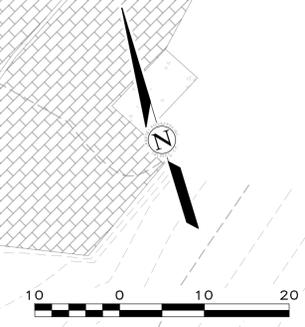
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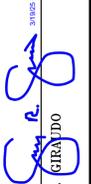
OF 7 SHEETS



**NOTES:**

- 1) INFORMATION ABOUT EXISTING UTILITIES WAS COMPILED FROM THE SITE TOPOGRAPHIC MAP PREPARED BY H. D. PETERS, DATED MARCH 2017; AND THE SITE TOPOGRAPHIC MAP PREPARED BY LANDSET ENGINEERS, DATED 02/21/2025. THE LOCATIONS, DIMENSIONS, AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
- 2) THE STORM DRAIN SYSTEM FOR THE EXISTING RESIDENCE SHALL REMAIN IN PLACE. THE CONTRACTOR SHALL TAKE STEPS TO CONFIRM THAT THE EXISTING SYSTEM IS IN GOOD WORKING CONDITION, INCLUDING, BUT NOT LIMITED TO, REMOVING SILT/DEBRIS FROM ALL EXISTING CATCH BASINS, FLUSHING OUT EXISTING STORM DRAIN LINES, AND VERIFYING THE LOCATION OF THE OUTLET FOR THE SYSTEM. ANY ISSUES WITH THE EXISTING SYSTEM ENCOUNTERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF LANDSET ENGINEERS.



APPROVED BY:  
  
 GUY R. GIRARDO

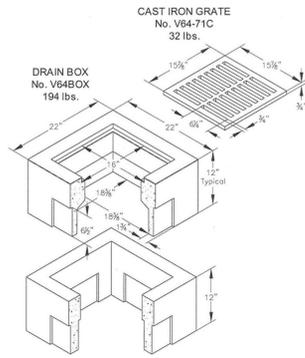


**"UTILITY PLAN"**  
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
 OF  
 THE BALESTRERI RESIDENCE  
 A.P.N.: 008-222-024  
 PEBBLE BEACH, CALIFORNIA  
 TED BALESTRERI

SCALE: 1" = 10'  
 DATE: MAR 2025  
 JOB No. 2873-02

| No. | DATE | BY | RELEASED TO CLIENT | REVISION |
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SHEET **C4**  
 OF 7 SHEETS

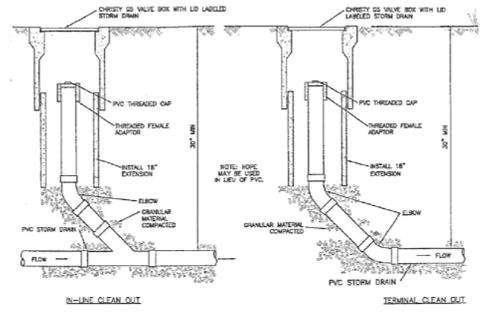


This concrete drain box has a cast in galvanized frame and is specifically engineered for drainage in medium areas such as parking lots, school grounds, walkways, etc. Its design permits fast grouting material to "lock in" and from there, knock-outs accommodate up to 8" O.D. pipe. Approximate dimensions and weight shown. Also available in bolt down.

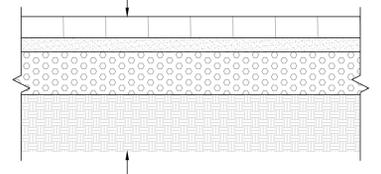
| Ordering Code | Item      | Approx. Weight | Description                                       |
|---------------|-----------|----------------|---|
| V64BBOX       | DRAIN BOX | 194            | V64 Drain Box (19 1/2" x 19 1/2") - 12 per pallet |
| V64-71C       | GRATE     | 32             | Cast iron   |
| V64X12        | EXTENSION | 152            | 12" Reinforced concrete - 12 per pallet           |

|   |   |   |
|---|---|---|
| <br>Oldcastle Precast®<br>Enclosure Solutions<br>www.oldcastle.com<br>Phone: (800) 488-7019 Fax: (800) 488-8804<br>Copyright © 2008 Oldcastle Precast | <b>V64 DRAIN BOX</b><br>18-3/8" x 18-3/8"<br>File # V64_202<br>Old Cat. # 2008-0008 | <b>V64 DRAIN BOX</b><br>18-3/8" x 18-3/8"<br>File # V64_202<br>Old Cat. # 2008-0008 |
|   |   |   |

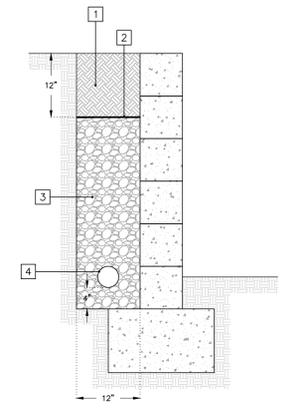
1 CHISTRY V64 CATCH BASIN



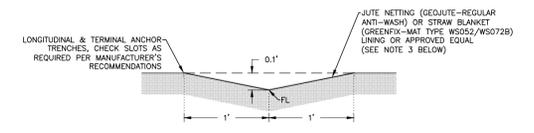
2 G5 STORM DRAIN CLEANOUT



3 PAVEMENT SECTION (PAVERS)



4 SUBDRAIN BEHIND RETAINING WALL



- LONGITUDINAL SLOPE SHALL NOT BE LESS THAN 1% OR GREATER THAN 20%.
- THE SWALE SHALL BE REVEGETATED WITH NATIVE GRASSES BY A HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
- IF THE SWALE DOES NOT HAVE ADEQUATE GROWTH ESTABLISHED PRIOR TO THE ONSET OF THE WINTER SEASON, OCTOBER 15, IT SHALL BE LINED WITH JUTE NETTING OR STRAW BLANKETS AND PROPERLY SECURED (ANCHORED AND FASTENED) AS OUTLINED PER THE MANUFACTURER'S GUIDELINES AND SPECIFICATIONS IN ORDER TO FUNCTION PROPERLY AND PREVENT ACCELERATED EROSION.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH AND/OR SILTATION.
- GRADED SWALE SHALL BE PROOF-ROLLED AND/OR MECHANICALLY COMPACTED TO MINIMUM 85% RELATIVE COMPACTION.

5 EARTH SWALE

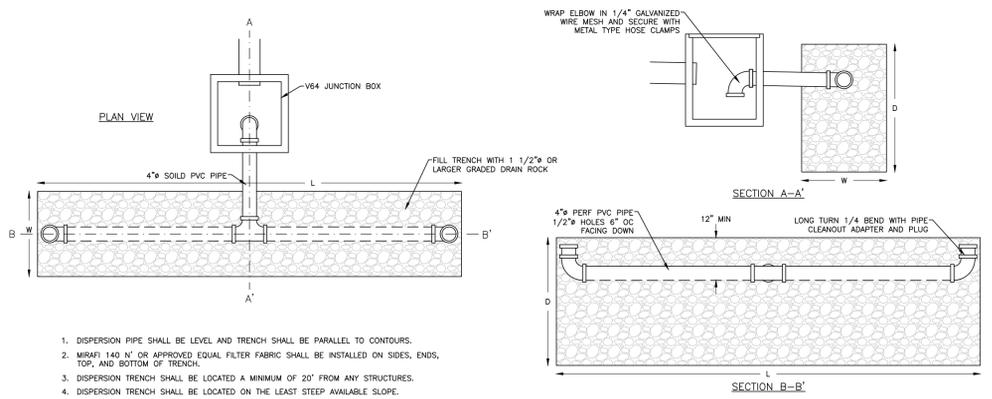
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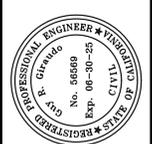


- DISPERSION PIPE SHALL BE LEVEL AND TRENCH SHALL BE PARALLEL TO CONTOURS.
- MIRAF 140 N' OR APPROVED EQUAL FILTER FABRIC SHALL BE INSTALLED ON SIDES, ENDS, TOP, AND BOTTOM OF TRENCH.
- DISPERSION TRENCH SHALL BE LOCATED A MINIMUM OF 20' FROM ANY STRUCTURES.
- DISPERSION TRENCH SHALL BE LOCATED ON THE LEAST STEEP AVAILABLE SLOPE.
- DISPERSION TRENCH SHALL BE LOCATED AWAY FROM AND BELOW SEPTIC FIELDS.

11

12

13 DISPERSION TRENCH



APPROVED BY:  
  
 GUY R. GIRARDINO

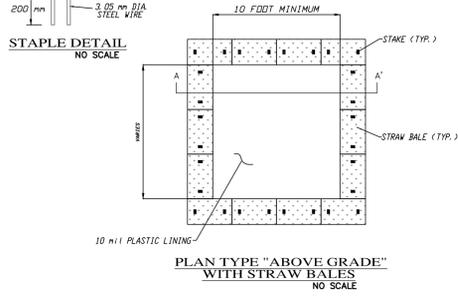
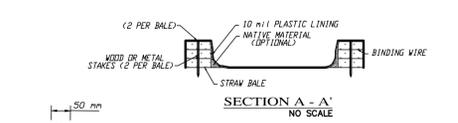
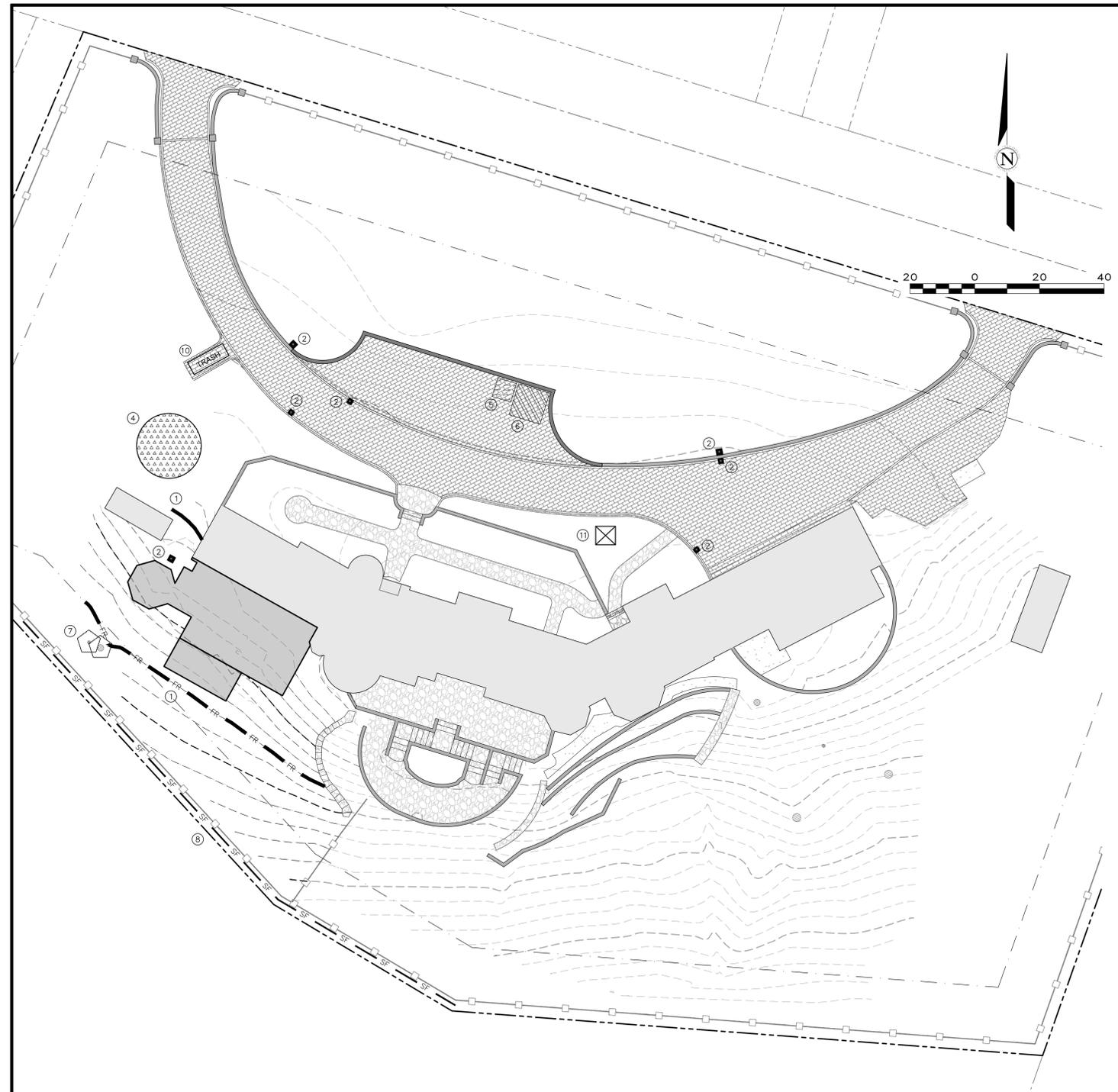


"CONSTRUCTION DETAILS"  
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
 OF  
 THE BALESTRERI RESIDENCE  
 A.P.N.: 008-222-024  
 PEBBLE BEACH, CALIFORNIA  
 TED BALESTRERI

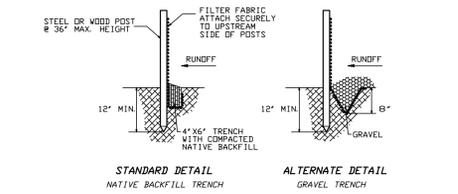
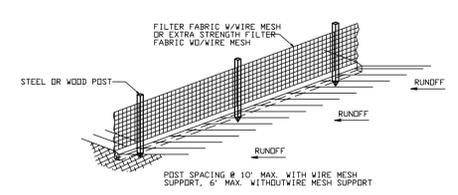
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SHEET **C5**  
 OF 7 SHEETS

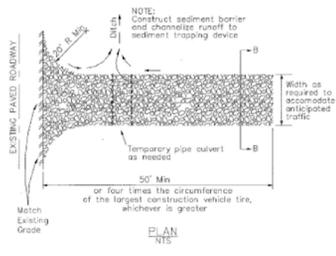
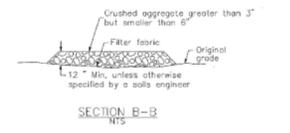
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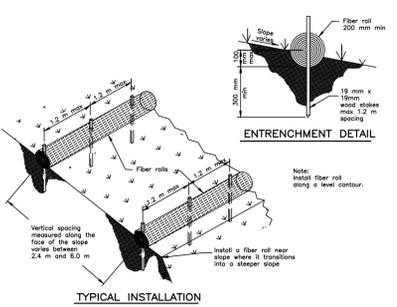
CONCRETE WASHOUT  
NOT TO SCALE



SILT FENCE  
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE



FIBER ROLL  
NOT TO SCALE

**EROSION & SEDIMENT CONTROL NOTES:**

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE AUTHORITY HAVING JURISDICTION EROSION CONTROL ORDINANCE.
- 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
- 7) VEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUHRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 10) SEEDING AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
- 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH AUTHORITY HAVING JURISDICTION GRADING AND EROSION CONTROL REGULATIONS.
- 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE AUTHORITY HAVING JURISDICTION TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH THE AUTHORITY HAVING JURISDICTION DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15TH, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

**BMP LEGEND:**

- 1) FR: FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 2) □: DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 3) [Pattern]: STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- 4) [Pattern]: STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- 5) [Pattern]: CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- 6) [Pattern]: CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 7) [Pattern]: TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- 8) [Pattern]: SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYS INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.
- 9) [Pattern]: GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- 10) [Pattern]: WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- 11) [Pattern]: SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

**DETAILS**  
NOT TO SCALE

**Material Delivery and Storage WM-1**

**Categories**  
EC Erosion Control  
SE Sediment Control  
TC Tracking Control  
WE Wind Erosion Control  
NS Non-Stormwater Management Control  
WM Waste Management and Materials Pollution Control

**Legend:**  
☑ Primary Category  
☒ Secondary Category

**Targeted Constituents**  
Sediment ☑  
Nutrients ☑  
Trash ☑  
Metals ☑  
Bacteria ☑  
Oil and Grease ☑  
Organics ☑

**Potential Alternatives**  
None

**Description and Purpose**  
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

**Solid Waste Management WM-5**

**Categories**  
EC Erosion Control  
SE Sediment Control  
TC Tracking Control  
WE Wind Erosion Control  
NS Non-Stormwater Management Control  
WM Waste Management and Materials Pollution Control

**Legend:**  
☑ Primary Objective  
☒ Secondary Objective

**Targeted Constituents**  
Sediment ☑  
Nutrients ☑  
Trash ☑  
Metals ☑  
Bacteria ☑  
Oil and Grease ☑  
Organics ☑

**Potential Alternatives**  
None

**Description and Purpose**  
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

**Hazardous Waste Management WM-6**

**Categories**  
EC Erosion Control  
SE Sediment Control  
TC Tracking Control  
WE Wind Erosion Control  
NS Non-Stormwater Management Control  
WM Waste Management and Materials Pollution Control

**Legend:**  
☑ Primary Objective  
☒ Secondary Objective

**Targeted Constituents**  
Sediment ☑  
Nutrients ☑  
Trash ☑  
Metals ☑  
Bacteria ☑  
Oil and Grease ☑  
Organics ☑

**Potential Alternatives**  
None

**Description and Purpose**  
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

**Sanitary/Septic Waste Management WM-9**

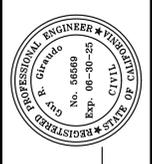
**Categories**  
EC Erosion Control  
SE Sediment Control  
TC Tracking Control  
WE Wind Erosion Control  
NS Non-Stormwater Management Control  
WM Waste Management and Materials Pollution Control

**Legend:**  
☑ Primary Category  
☒ Secondary Category

**Targeted Constituents**  
Sediment ☑  
Nutrients ☑  
Trash ☑  
Metals ☑  
Bacteria ☑  
Oil and Grease ☑  
Organics ☑

**Potential Alternatives**  
None

**Description and Purpose**  
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.



APPROVED BY:  
**GUY R. GRANADO**  
Professional Engineer & Architect  
No. 86689  
Exp. 08-30-25  
State of California

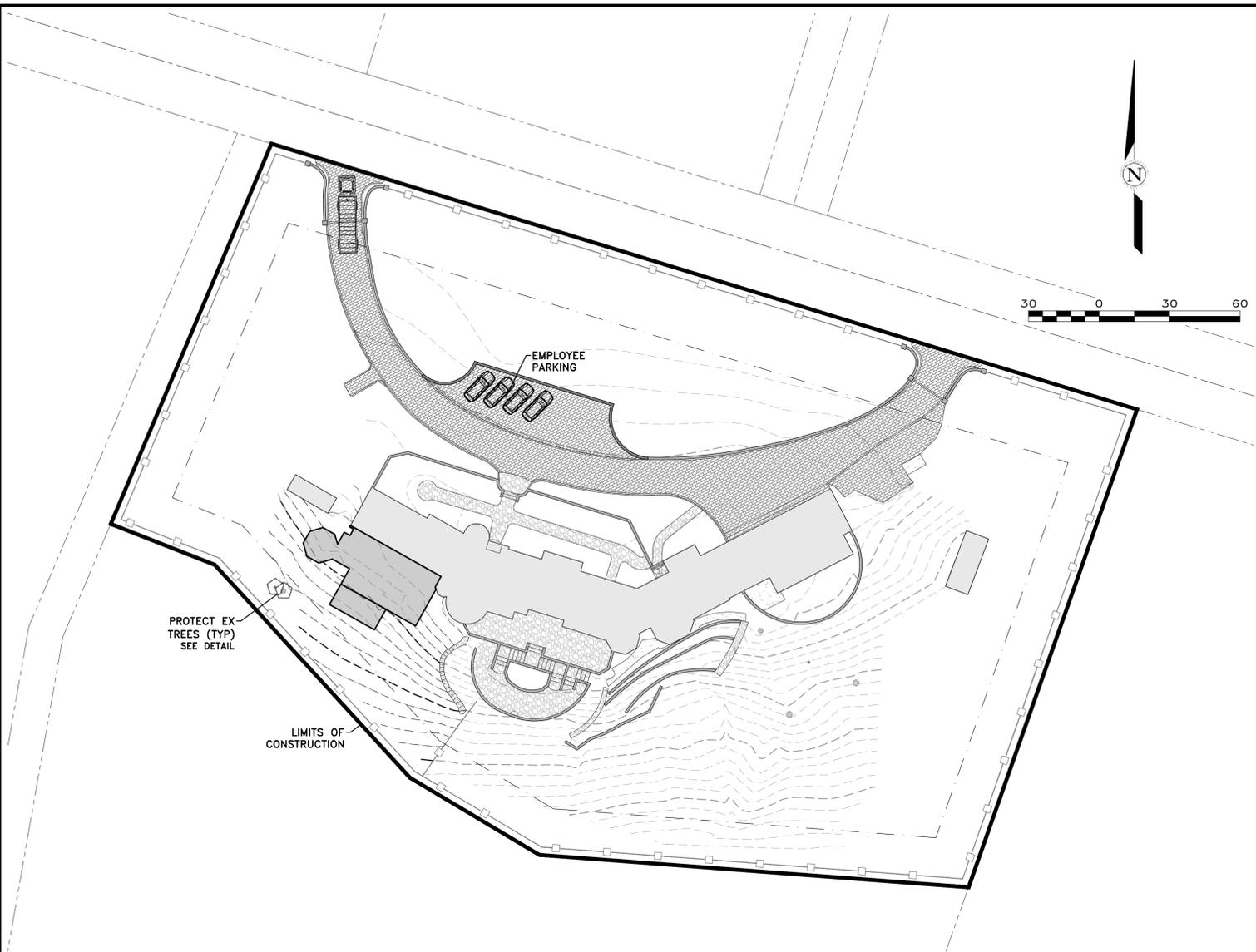


**"EROSION & SEDIMENT CONTROL PLAN"**  
**GRADING, DRAINAGE, AND EROSION CONTROL PLAN**  
OF  
**THE BALESTRERI RESIDENCE**  
A.P.N.: 008-222-024  
**PEBBLE BEACH, CALIFORNIA**  
TED BALESTRERI

SCALE: 1" = 20'  
DATE: MAR 2025  
JOB No. 2873-02

|     |          |     |                    |
|-----|----------|-----|--------------------|
| No. | DATE     | BY  | REVISION           |
|     | 03/17/25 | JAN | RELEASED TO CLIENT |

SHEET **C6** OF 7 SHEETS



**SITE GRADING:**  
THE PROPOSED GRADING INCLUDES APPROXIMATELY 100 CY OF CUT & 5 CY OF FILL.

**CONSTRUCTION STAGING:**

- A. MOBILIZE, CLEAR AND GRUB
- B. SITE GRADING
- C. UTILITY INSTALLATION
- D. CONSTRUCT STRUCTURE
- E. INSTALL PAVERS AND LANDSCAPING
- F. SITE CLEANING, PUNCH LIST

MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY. SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

**HAUL ROUTES:**  
HAUL TRUCKS SHALL BACK ONTO THE SITE FROM RONDA RD. HAUL TRUCKS WILL EXIT THE SITE, HEADING EAST ON RONDA RD. THEY WILL THEN FOLLOW THE ROUTE SHOWN IN DETAIL B, FROM RONDA RD TO SUNRIDGE RD TO 17 MILE DR TO CA HWY 68 TO CA HWY 1. FLAGGERS SHALL BE STATIONED ON RONDA RD AS TRUCKS BACK FROM THE PUBLIC RIGHT-OF-WAY ONTO THE SITE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE EASEMENT/DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

**TRUCK STAGING AREA:**  
VEHICLES OR TRUCKS SHALL NOT QUEUE ON RONDA RD. TRUCKS SHALL QUEUE OFFSITE AND WILL BE DIRECTED TO APPROACH THE SITE BY ONSITE PERSONNEL VIA RADIO OR PHONE.

**EMPLOYEE PARKING:**  
EMPLOYEES SHALL PARK ON SITE WHENEVER POSSIBLE. EMPLOYEES SHALL CARPOOL WHENEVER POSSIBLE. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

**LIMITS OF CONSTRUCTION:**  
ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

**NUMBER OF EMPLOYEES ONSITE PER DAY:** APPROXIMATELY 10-20

**NUMBER OF TRUCK TRIPS/DAY:** 4

**AMOUNT OF GRADING/DAY:** 80 C.Y.

**HOURS OF OPERATION/DAY:** 8

**DAYS OF OPERATION:** MONDAY THROUGH FRIDAY

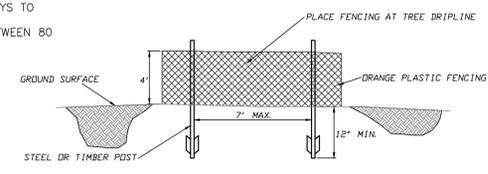
**TIME OF OPERATION:** 8:00 AM - 4:30 PM

**PROJECT SCHEDULING:** PROJECTED START DATE IS JANUARY 1, 2026. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

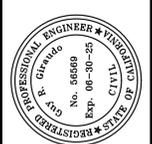
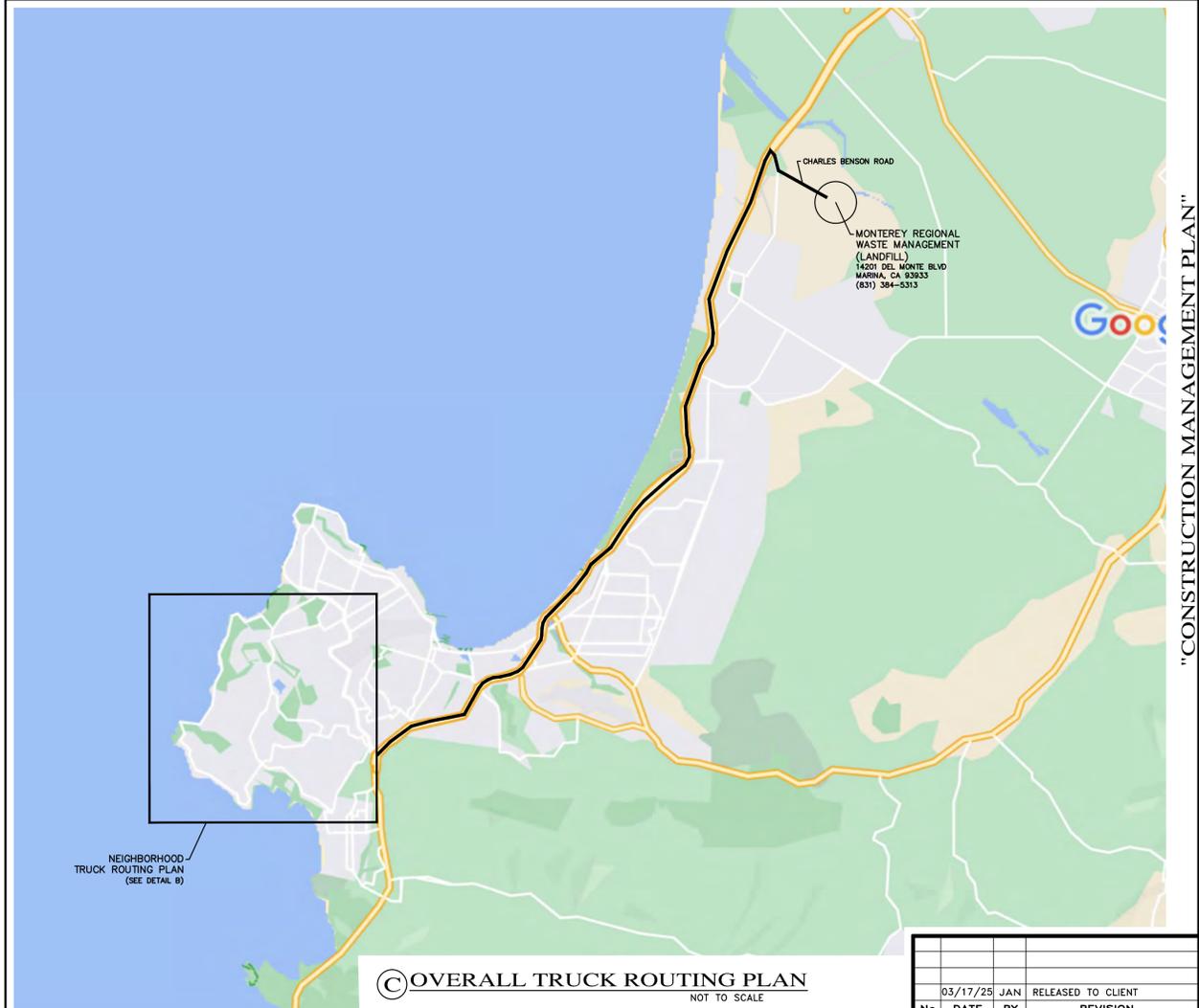
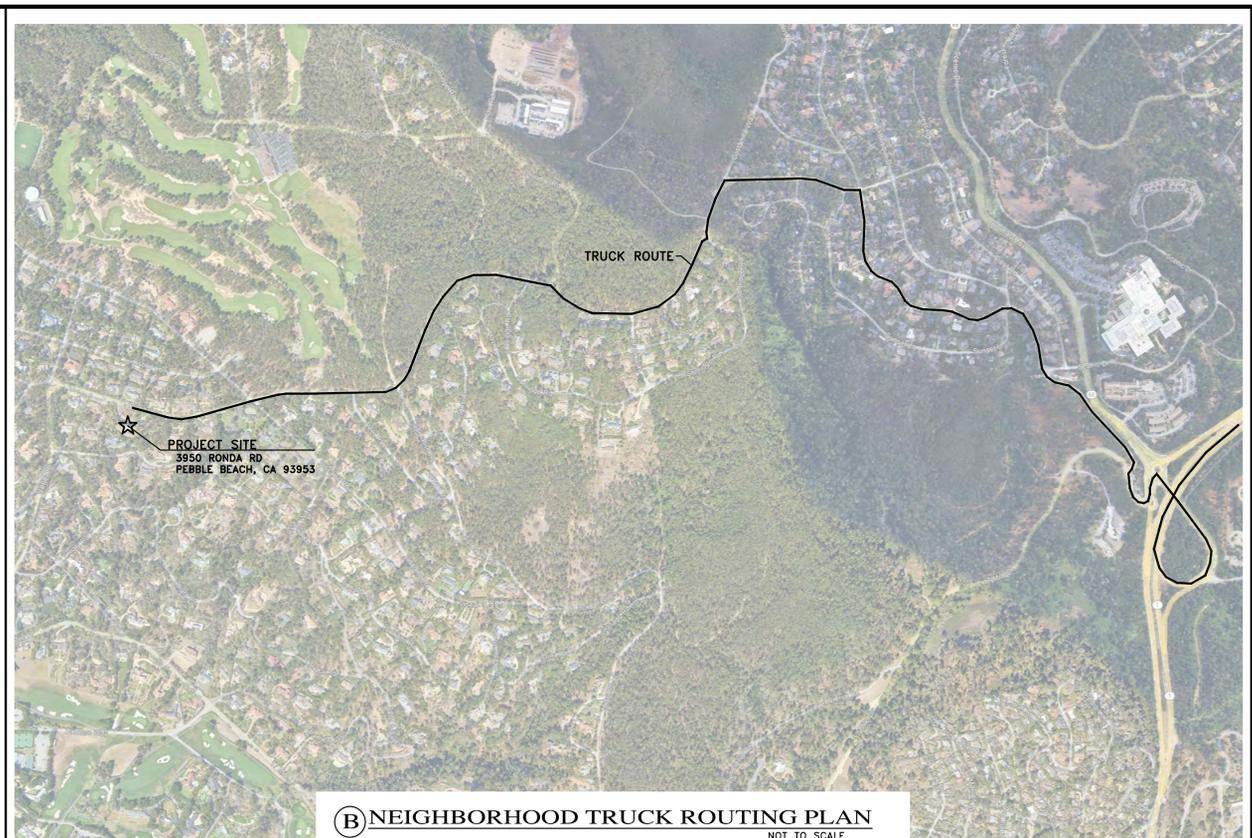
**TRUCK TRIP GENERATION CHART:**

| CATEGORY                        | NO. OF TRUCK TRIPS | TOTAL DAYS |
|---------------------------------|--------------------|------------|
| DEMOLITION                      | 4                  | 5          |
| GRADING & SOIL REMOVAL (EXPORT) | 8                  | 2          |
| ENGINEERING MATERIALS (IMPORT)  | -                  | -          |
| <b>TOTALS</b>                   | <b>12</b>          | <b>7</b>   |

- TRUCK TRIP GENERATION NOTES:**
- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 4 TRUCK LOADS PER DAY.
  - THERE ARE APPROXIMATELY 95 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
  - GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
  - THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.



**ESA FENCING**  
NOT TO SCALE



APPROVED BY:  
*Guy R. Grandino*  
GUY R. GRANDINO



"CONSTRUCTION MANAGEMENT PLAN"  
GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
OF  
THE BALESTRERI RESIDENCE  
A.P.N.: 008-222-024  
PEBBLE BEACH, CALIFORNIA  
TED BALESTRERI

SCALE: 1" = 30'  
DATE: MAR 2025  
JOB No. 2873-02

| No.      | DATE | BY                 | REVISION |
|----------|------|--------------------|----------|
| 03/17/25 | JAN  | RELEASED TO CLIENT |          |
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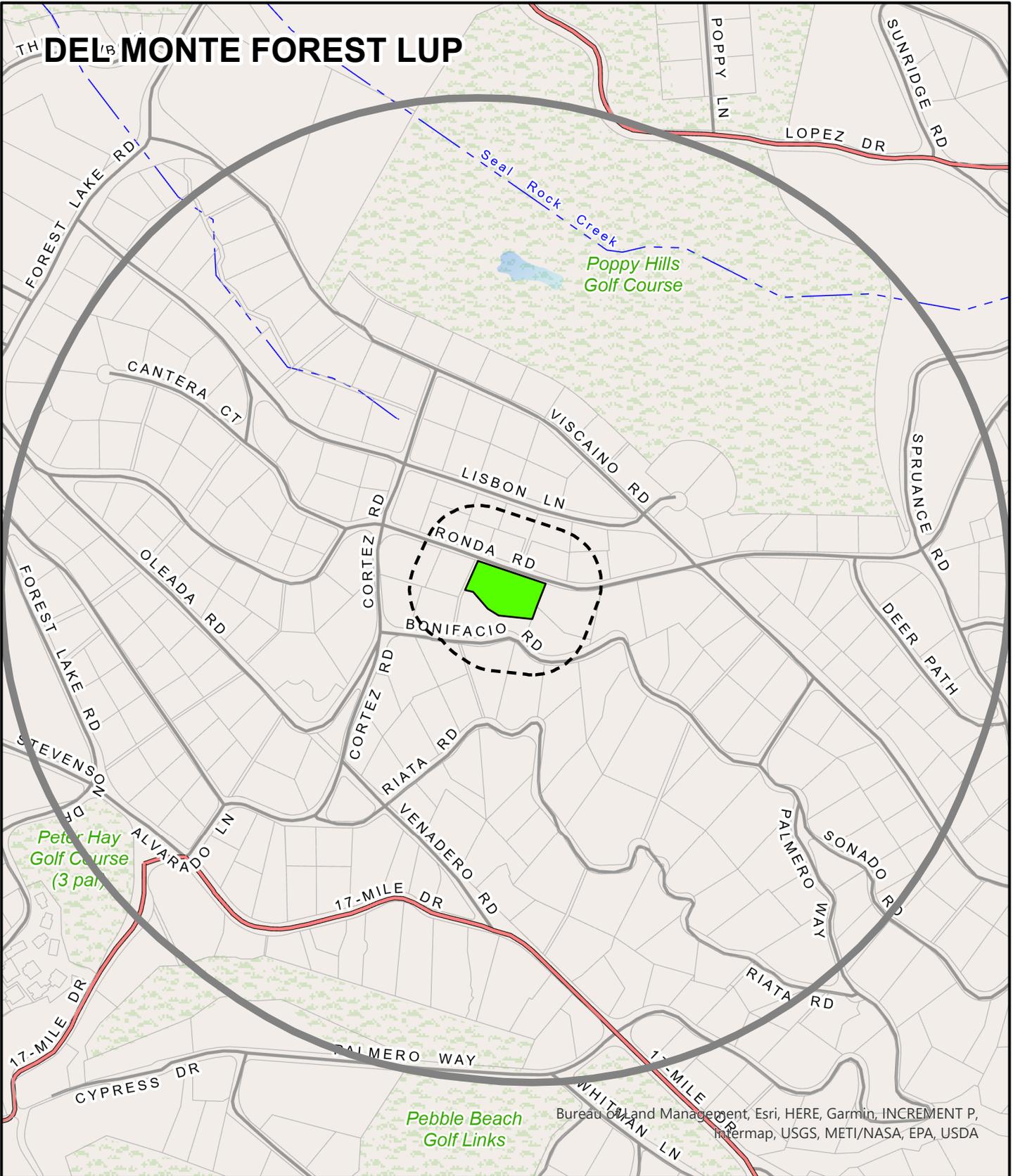
SHEET **C7**  
OF 7 SHEETS

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# Exhibit B

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# DEL MONTE FOREST LUP



**APPLICANT:** RONDA RD INVESTMENTS LLC

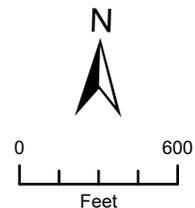
**APN:** 008222024000

**FILE #** PLN250023

 Project Site

 300 FT Buffer

 2500 FT Buffer



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# County of Monterey

**Item No.3**

## Board Report

Board of Supervisors  
Chambers  
168 W. Alisal St., 1st Floor  
Salinas, CA 93901

**Legistar File Number: ZA 26-013**

**February 26, 2026**

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

### **PLN250233 - CRONIN MARY & MATTHEW TRS**

Public hearing to consider an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 25CE00699.

**Project Location:** 17420 Cachagua Road, Carmel Valley, CA 93924

**Proposed CEQA Action:** Find the project Categorically Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

### RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a Resolution:

- a. Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made; and
- b. Approving an after-the-fact Use Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 25CE00699.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 9 conditions of approval.

### PROJECT INFORMATION

**Property Owner:** CRONIN MARY & MATTHEW TRS

**APN:** 417-091-018-000

**Parcel Size:** 19.08 acres

**Zoning:** Rural Density Residential with a maximum gross density of twenty (20) acres per 1 unit, or "RDR/20"

**Plan Area:** Cachagua Area Plan

**Flagged and Staked:** Not Applicable

**Project Planner:** Marlene Garcia, Assistant Planner

garciam19@countyofmonterey.gov ; 831-755-5114

### SUMMARY/DISCUSSION:

The project is located at 17420 Cachagua Road, a county-maintained road, in Carmel Valley subject to the Cachagua Area Plan. On January 23, 2026, the applicant submitted an application seeking to use their existing single-family dwelling located in a residentially developed neighborhood.

The subject property is an existing 1,800 square foot single family dwelling with an attached 324 square foot garage converted into a laundry room and storage space. The single-family dwelling has 4 bedrooms, 3 bathrooms, and a kitchen. The Applicant/Owner is proposing that the residence be occupied by a maximum of 9 people overnight and 14 people during daytime hours at the property at a time.

The property is served by a private well, which has been verified by the County of Monterey Health Bureau Environmental Health Division to satisfy the bacteriological and acute inorganic primary drinking water standards. The onsite septic system will be sufficient to provide sewer treatment for the dwelling. The property will retain its solid waste services to Waste Management, a waste management company. If approved, the granting of this Combined Development Permit would allow the establishment of the 4th permitted vacation rental in the Cachagua Area Plan out of a maximum of 20 Use Permits that may be issued at any given time pursuant to Title 21 Section 21.64.290.F.3.b.

Based on staff's analysis, the proposed project is consistent with the policies and regulations pertaining to the policies and regulations of the 2010 County of Monterey General Plan (General Plan), Cachagua Area Plan (CAP), Monterey County Code Title 7 Chapter 7.120, Monterey County Code Chapter 16.80, and the Monterey County Zoning Ordinance (Title 21).

#### *Land Use*

The parcel is zoned Rural Density Residential, with a maximum gross density of twenty (20) acres per 1 unit or "RDR/20". Title 21 Section 21.16.050.rr allows for the establishment of Commercial Vacation Rental use subject to the granting of a Use Permit. Title 21 Section 21.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer.

The property complies with Title 21 Section 21.64.290.F.5 in that it has been demonstrated that the response time for County emergency services for fire and emergency medical are adequate pursuant to the requirements of the 2010 County of Monterey General Plan Safety Element PS-1safe.1 and Table PS-1. Adequate is defined as 5-8 minutes within Community Areas, Community Plans, and Sphere of Influence, 12 minutes within Rural centers, and 45 minutes for all other areas. The subject property does not fall under any of the specified categories; therefore, it is subject to the 45 minutes for all other areas. Cachagua Fire Protection District is 7 minutes away, and 43 minutes to the Community Hospital of the Monterey Peninsula, which provide 24-hour emergency medical and fire response services for structural coverage. Staff incorporated **Condition No. 6** to ensure that the guests are provided with information on the response time for emergency medical and fire services and that contact information for these services is provided to all guests as a part of the informational notice posted within six feet of the front door (**Exhibit A**).

Parking requirements outlined in Title 21 Sections 21.64.290.F.6 and 21.58.040 require that a Single-Family Detached residential dwelling unit have 2 spaces/unit, which this application complies with as illustrated in the attached plans.

The subject property complies with the limitation on the number of Commercial Vacation Rentals per legal lot requirements of Title 21 Section 21.64.290.F.7, which allows one Commercial Vacation

Rental per legal lot of record. The subject property will be the only Commercial Vacation Rental on the legal lot of record. The owner of the subject property complies with the ownership requirements of Title 21 Section 21.64.290.F.10, wherein the owner of the subject property is allowed to have an ownership interest in one Commercial Vacation Rental within unincorporated Monterey County. The owners of the property do not have an ownership interest in other already operating Commercial Vacation Rentals in unincorporated Monterey County, and this would be their first and only Commercial Vacation Rental in unincorporated Monterey County.

As detailed in the draft resolution (**Exhibit A**), the Applicant/Owner has provided evidence of compliance with the applicable requirements. The designated Property Manager for the Commercial Vacation Rental, Adrian Gomez, resides at 37200 Nason Road #40, Carmel Valley, 93924, approximately a 2.4-mile drive from the subject property. Mr. Gomez's contact information will be provided to the guests of the property, and Mr. Gomez will be available 24/7 to respond to guest or neighborhood questions or concerns, and have the ability to arrive within thirty minutes. Mr. Gomez's contact information will be provided to guests as a part of the informational notice posted within six feet of the front door as required pursuant to Title 7 Section 7.120.040.L.

The property has a maximum occupancy of 9 overnight guests and 14 daytime guests. The proposed occupancy does not exceed the limits set forth in the California Uniform Housing Code and the requirements enumerated in Title 7 Section 7.120.070.C, which limit the maximum overnight occupancy to two persons per bedroom plus one and not counting infants (zero to twelve months), with a not to exceed total maximum overnight occupancy of 10 overnight guests, regardless of the number of bedrooms in the property.

To ensure the proposed use will not affect the residential character of the neighborhood, the following two conditions have been incorporated. Condition No. 4 has been incorporated to ensure that the property will not be an event venue and Condition No. 5 to ensure that the property will remain in compliance with the regulations for Vacation Rentals in Title 7 Chapter 7.120, Title 21 section 21.64.290 and the Conditions of Approval. Additionally, the proposed Commercial Vacation Rental is subject to Monterey County's Noise Ordinance (Chapter 10.60), which prohibits loud or unreasonable noise between the hours of 9:00PM and 7:00AM. In accordance with Title 21 section 21.64.280.D.2.h, if the property is found to be in violation of the approved operations plan or conditions of approval attached to this Use Permit, the permit may be revoked for non-compliance.

#### *Access*

The subject property is accessed by a county-maintained road, therefore no further documentation or condition is required of the applicant.

#### *Violations*

Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is aware of a violation existing on subject property which will be corrected with the approval of this application. The applicant submitted an application for a Use Permit to allow transient use of a residential property for remuneration to bring their property into compliance with the Monterey County Code.

CEQA:

The project qualifies as a categorical exemption from environmental review pursuant to CEQA Guidelines section 15301. This exemption applies to the operation of existing private structures, involving negligible or no expansion of an existing use. The Applicant/Owner proposes to use a residential single-family dwelling for transient lodging where the term of occupancy, possession, or tenancy of the property by the person entitled to such occupancy, possession, or tenancy for a period of 30 consecutive calendar days or fewer. This project does not propose or authorize any additional exterior development and/or expansion of the existing structure currently on the project site.

The subject property will be limited to one rental contract at any given time. All facilities, as planned and approved, have been confirmed by County agencies to be adequate for this use. Therefore, the proposed use is consistent with the CEQA Guidelines Section 15301. None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. Additionally, there will be no significant effect on the environment due to unusual circumstances. Further, there is no evidence that “the cumulative impact of successive projects of the same type in the same place, over time is significant.” Additionally, an action is a “project” only when it is either “directly undertaken by any public agency,” “supported, in whole or in part” by financial or other forms of assistance from a public agency, or involves the issuance of an entitlement by a public agency (Public Resources Code, § 21065).

The County prepared a FEIR for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR analyzed the project for environmental impacts and did not identify any significant or unavoidable impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. This Commercial Vacation Rental does not exceed the cap on Commercial Vacation Rentals in the Cachagua Area Plan as it allows a maximum of twenty (20) and if approved, this would be the fourth (4) Commercial Vacation Rental in this area. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts.

OTHER AGENCY INVOLVEMENT

None

Prepared by: Marlene Garcia, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans and Floor Plans
- Operations Plan
- Home Inspection Checklist

Exhibit B - Vicinity Map

cc: Front Counter Copy; Jacquelyn M. Nickerson, Principal Planner; Cronin Mary & Matthew TRS, Property Owners; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250233.



## Zoning Administrator

Legistar File Number: ZA 26-013

February 26, 2026

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

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Prepared by: Marlene Garcia, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

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- Home Inspection Checklist

Exhibit B - Vicinity Map

cc: Front Counter Copy; Jacquelyn M. Nickerson, Principal Planner; Cronin Mary & Matthew TRS, Property Owners; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250233.

# Exhibit A

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**CRONIN MARY & MATTHEW TRS (PLN250233)**

### RESOLUTION NO. 26-

Resolution by the County of Monterey Zoning  
Administrator:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and no exceptions under section 15300.2 apply; and
- 2) Approving an after-the-fact Use Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 25CE00699.

[PLN250233 CRONIN MARY & MATTHEW TRS, 17420 Cachagua Road, Carmel Valley, CA 93924, Carmel Valley Area Plan (APN: 417-091-018-000)]

**The CRONIN MARY & MATTHEW TRS application (PLN250233) came on for a public hearing before the County of Monterey Zoning Administrator on February 26, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:**

### FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 2010 County of Monterey General Plan (General Plan);
    - Cachagua Area Plan;
    - Monterey County Code Chapter 7.120; and
    - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) Project Scope. The site is developed with an existing 1,800 square foot single family dwelling inclusive of four bedrooms, three bathrooms, and a kitchen. On January 23, 2026, the applicant submitted an application seeking to use their existing single-family dwelling as a Commercial

Vacation Rental.

- c) Allowed Use. The property is located at 17420 Cachagua Road, Carmel Valley within the Cachagua Area Plan (APN: 417-091-018-000). The parcel is zoned Rural Density Residential with a maximum gross density of twenty (20) acres per 1 unit, or “RDR/20”. Title 21 Section 21.16.050.rr allows for the Commercial Vacation Rental use subject to the granting of a Use Permit. Title 21 Section 21.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer. Therefore, the proposed use is allowable.
- d) Lot Legality. The subject parcel (Assessor’s Parcel Number 417-091-018-000) is shown in its current configuration as 20.1 acre parcel, being identified as a portion of 285 acre parcel in Volume 15, Page 80 of a Record of Survey map. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Land Use Advisory Committee (LUAC). This project was not referred to the Cachagua Advisory Committee LUAC for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 15-043, this application did not warrant referral to the LUAC as it does not fall within the LUAC review guidelines.
- f) Business License. Condition No. 7 requires that the applicant obtain a Business License and provide documentation to prove that they comply with all of the requirements of the Business License pursuant to Title 7 Section 7.02.060. The subject property is required as conditioned to ensure that they always have an active Business License.
- g) Vacation Rental Operation License. Condition No. 8 requires that the applicant obtain a Vacation Rental Operation License and provide documentation to prove that they comply with all of the requirements of the Vacation Rental Operation License pursuant to Title 7 Chapter 7.120. The subject property is required as conditioned to ensure that they always have an active Vacation Rental Operation License.
- h) Transient Occupancy Tax. Condition No. 9 requires that the applicant register with the County of Monterey Treasurer-Tax Collector to pay Transient Occupancy Tax pursuant to Title 5 Chapter 5.40 and must pay Transient Occupancy Tax on all applicable rent received from transient occupancy of their residential property as a Commercial Vacation Rental. The subject property is required as conditioned to ensure payment of Transient Occupancy Tax to the County of Monterey Treasurer-Tax Collector is made pursuant to Title 5 Chapter 5.40.
- i) Adequate Emergency Response Time. Condition No. 6 requires that the applicants notify the guests of the average response time for emergency fire and medical services and the address and phone number of those services. The subject property complies with Title 21 Section 21.64.290.F.5, adequate emergency response times for fire and emergency medical. The submitted Operations Plan includes contact information for County emergency services for fire and emergency medical. The property complies with adequate public facilities and services requirements pursuant to the 2010 County of Monterey General Plan Safety Element Policy PS-1.1 and Table PS-1. Response times are

within 40-45 minutes of structural coverage from the Community Hospital of The Monterey Peninsula, which provides 24-hour emergency medical services, and within 7 minutes of structural coverage from the Cachagua Fire Protection District, within its response area. Additionally, the applicant has demonstrated compliance with the regulations for a property manager, Adrian Gomez, residing at 37200 Nason Road #40, Carmel Valley 93924, to be available 24/7 and able to arrive within 30 minutes. The subject property complies with the requirement to provide contact information for County emergency services for fire and emergency medical. The contact information is included as required in the informational signage that must be posted within six feet of the front door.

- j) Parking. Title 21 Section 21.64.290.F.6 requires that Commercial Vacation Rentals provide parking in compliance with Title 21 Section 21.58.040. Title 21 Section 21.58.040 establishes the minimum required parking spaces. A single-family dwelling requires two parking spaces. As proposed, the property can accommodate up to eight total cars for occupants, which exceeds the requirements of Title 21 Section 21.58.040.
- k) One Commercial Vacation Rental Per Legal Lot of Record. The subject legal lot of record complies with Title 21 Section 21.64.290.F.7 as this is the only Commercial Vacation Rental on the legal lot of record (APN: 417-091-018-000).
- l) Ownership Interest in One Commercial Vacation Rental in the Unincorporated Monterey County. The trustees of the legal lot of record comply with Title 21 Section 21.64.290.F.8 and do not have any ownership interest in any other Commercial Vacation Rentals in the unincorporated Monterey County. This application before the Zoning Administrator would be the first and only ownership interest the applicants would have in a Commercial Vacation Rental in the unincorporated Monterey County.
- m) Permit Expiration. Condition No. 5 applies a 7-year expiration to the granting of this Use Permit, pursuant to Title 21 Sub-Section 21.64.290.F.12.a. The purpose of this expiration is to provide adequate on-going review of the approved use of the residential property as a Commercial Vacation Rental. Prior to its expiration, the owner/applicant shall file an extension in accordance with Title 21 Section 21.74.110, which requires submittal of the request at least 30 days prior to the expiration date. The appropriate authority to consider this extension shall be the Zoning Administrator. This subsequent review will ensure: 1) the use continues to meet the standards of Title 21 and 2) an opportunity for Planning staff's review for on-going compliance with the conditions of approval.
- n) Access. The subject property is accessed by a county-maintained road, therefore no further documentation or condition is required of the applicant.
- o) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250233.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.
- EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning and Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250233.
3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:** a) The project was reviewed by HCD-Planning and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Potable water for the property is, and will continue to be, provided by private well. Necessary public facilities will continue to be provided by the current providers. The sewer utility bills were provided to determine the property has adequate water and sewage management to serve the proposed vacation rental.
- c) Solid waste (garbage) collection service is and will continue to be provided by Waste Management.
- d) The residence is connected to an existing Onsite Wastewater Treatment System (OWTS). A performance evaluation on the OWTS, dated June 22, 2025 was provided. Based on the evidence provided, Environmental Health Bureau staff reviewed and approved on October 2, 2025, that the OWTS was in good working order and functioning properly.
- e) To address emergency situations, the attached Operations Plan includes an evacuation map which is placed in a location that is easy to access by renters.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250233.
4. **FINDING:** **VIOLATIONS** – The subject property shall comply with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. A violation exists on the property and approval of this permit would abate said violation.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is aware of a violation existing on subject property which will be corrected with the approval of this Use Permit. On January 8, 2026, an inquiry letter from HCD-Code Compliance was sent to the property owner stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the property into compliance. The applicant submitted a request for a Use Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 25CE00699 to bring their property into compliance with the Monterey County Code on January 23, 2026. No additional complaints have been received.
  - b) The violation (Code Enforcement No. 25CE00699) will be abated upon granting of this permit and brings the subject property into compliance.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250233.

- 5. FINDING: CEQA (Exempt)** – The project qualifies for a Class 1 categorical exemption pursuant to CEQA Guidelines section 15301 and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301, categorically exempts the leasing of existing private structures, involving negligible or no expansion of existing or former use.
  - b) The project proposed to allow the use of an existing residential property for transient lodging for a period of 30 calendar days or fewer. The project would not expand the residence nor would it allow any additional occupancy beyond what is allowed for the existing residence. Therefore, the project fits the criteria of the exemption.
  - c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project, as discussed in subsequent Evidence “d” through “i”.
  - d) Class 1 exemptions are not qualified for an exception by their location.
  - e) The County prepared a FEIR for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR analyzed the project for environmental impacts and did not identify any significant or unavoidable impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts.

- f) The County's regulatory process of Use Permits for the use of an existing residential property for transient lodging allows the County to regulate such uses in a way that would prevent adverse cumulative impacts to the surrounding environment. Consistent with the Findings and Purpose in Monterey County Ordinance Number 5422 Section 1.F, the requirement for a Use Permit for Commercial Vacation Rental activities ensures that the impact of such leasing activities can be appropriately evaluated.

The County prepared a FEIR for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR analyzed the project for environmental impacts and did not identify any significant or unavoidable impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts. Further, Title 21 Section 21.64.290 establishes caps on the maximum amount of Use Permits for Commercial Vacation Rentals to ensure that the potential cumulative effects of Commercial Vacation Rentals are minimized. The granting of this Use Permit will allow the establishment of the 4th permitted vacation rental in the Cachagua Area Plan out of a maximum of 20 Use Permits that may be issued at any given time pursuant to Title 21 Section 21.64.290.F.3.b. The project is consistent with all the criteria in Title 21 Section 21.64.290 and, therefore, would not contribute to a cumulative effect.

- g) There are no unusual circumstances related to the project that would create the reasonable possibility of a significant effect.
- h) The project would not result in damage to scenic resources within view of State Scenic Highway. The nearest designated State Scenic Highway is Highway 68, which is approximately 18 to 20 miles north of the property. The project also does not propose any physical changes that would damage scenic resources: no construction, exterior alterations to structures, land alteration, or vegetation (or tree) removal are proposed.
- i) The project is not located on a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government code.
- j) The project would not damage any historical resources.
- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250233.

6. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** a) Planning Commission. Pursuant to Title 21 Section 21.80.040.B, an appeal of the Zoning Administrator’s decision for this project may be made to the Planning Commission by any public agency or person aggrieved by their decision.

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project, allowing the use of an existing residential property for transient lodging, qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301, and no exceptions under section 15300.2 apply; and
- 2) Approve an after-the-fact Use Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 25CE00699.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions, which are incorporated herein for reference.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of February 2026,

---

Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

**NOTES**

1. This permit does not authorize any development and only authorizes the use of the residential property as transient lodging.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250233

### 1. PD001(B) - SPECIFIC COMMERCIAL VACATION RENTAL USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This after-the-fact Use Permit (PLN250233) for a Commercial Vacation Rental to allow the use of the property for transient lodging for a period of 30 consecutive calendar days or fewer and abate Code Enforcement Violation No. 25CE00699. This property is located at 17420 Cachagua Road, Carmel Valley (Assessor's Parcel Number 417-091-018-000), Cachagua Area Plan. This rental allows an unlimited number of transient lodging rentals of up to 30 calendar days per 12-month period. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD. Any use not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (HCD - Planning).

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002(B) - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state: "A Use Permit (Resolution Number XX-XXX) was approved by the Zoning Administrator for Assessor's Parcel Number 417-091-018-000 on February 26, 2026. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with County of Monterey HCD." Proof of recordation of this notice shall be furnished to the Director of HCD prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

### 4. PD008 - NO EVENTS ALLOWED

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 21 Section 21.64.290.A, to protect the residential character of the neighborhood on an ongoing basis, the property shall be rented for only transient residential-related use. The property shall not be rented to either transient or short-term occupants for the purpose of holding a corporate or private event unless the County approves a separate entitlement to allow such events on the property. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** On an on-going basis, the property shall only be rented for transient residential-related use.

### 5. PD009 - PERMIT LIMITATION OF THE USE OF THE RESIDENTIAL PROPERTY AS A COMMERCIAL VACATION RENTAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This permit shall be valid for 7 years from the date of permit approval which is MONTH DAY, YEAR, unless an extension is filed with County of Monterey HCD – Planning at least 30 days prior to the expiration of the permit. Approval of this Use Permit is limited to 7 years to provide an adequate, on-going review of the approved use of the Residential Property as a Commercial Vacation Rental.

The owner/operator shall file an application for extension of the permit in accordance with the Monterey County Code Title 21 Sections 21.74.110 and 21.64.290.F.12.b.

**Compliance or Monitoring Action to be Performed:** The applicant shall commence and operate the authorized use in accordance with County codes and State regulations and to the satisfaction of the HCD-Chief of Planning. Any request for a Use Permit extension must be received by HCD-Planning at least 30 days prior to the expiration date.

## 6. PD010 - SIGNAGE FOR ADEQUATE EMERGENCY RESPONSE TIME

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** To protect the occupants of the Commercial Vacation Rental, applicants must demonstrate and post in the Informational Interior Signage that the response times for County emergency services for fire and emergency medical will be adequate pursuant to the 2010 County of Monterey General Plan Safety Element Policy PS-1.1 and Table PS-1. (Monterey County Code Title 21 Section 21.64.290.F.5).

**Compliance or Monitoring Action to be Performed:** On an on-going basis the applicant shall notify occupants of the Commercial Vacation Rental of the average response time for emergency fire and medical services and describe the onsite fire protection systems. This information shall be provided to all occupants in the Informational Interior Signage and shall satisfy all requirements pursuant to Monterey County Code Title 7 Section 7.120.040.L.

## 7. PD018 - BUSINESS LICENSE REGISTRATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.02.060.C, Owner/Operator is required to obtain a business license from the County of Monterey Treasurer-Tax Collector. This business license shall be active and renewed annually for the term of this Use Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on an annual basis, the Owner/Operator shall provide proof that the property has been registered with the Monterey County Treasurer-Tax Collector.

## 8. PD031 - VACATION RENTAL OPERATION LICENSE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Chapter 7.120, applicants are required to obtain a Vacation Rental Operation License from the County of Monterey HCD. This Vacation Rental Operation License shall be active and renewed annually for the term of this Use Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use, HCD will issue the applicant a Vacation Rental Operation License.

## 9. PD053 - TOT REGISTRATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.120.040.C, Owner/Operator is required to register for Transient Occupancy Tax (TOT) with the County of Monterey Treasurer Tax Collector. The applicant's Transient Occupancy Tax Certificate shall be active for the term of this Use Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on a quarterly basis, the Owner/Operator shall pay Transient Occupancy Tax to the Monterey County Treasurer-Tax Collector pursuant to Monterey County Code Title 5 Chapter 5.40.

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# Monterey County Commercial Rental Property Documentation

## Property Address:

17420 Cachagua Rd  
Carmel Valley CA 93924

Owners Name: CRONIN

## Contact Information:

Matthew Cronin  
565 Euclid Ave  
Berkeley CA 94708  
[Matt.cronin7931@gmail.com](mailto:Matt.cronin7931@gmail.com)  
650-440-9584

## Property Details:

APN #: 417-091-018-000  
TOT #: 001985  
Parcel Size: 19.08 Acres  
Zoning: RDR/20  
Tax Rate Area: 060-125

## Home Details:

1,800 sf, 4 beds, 3 baths

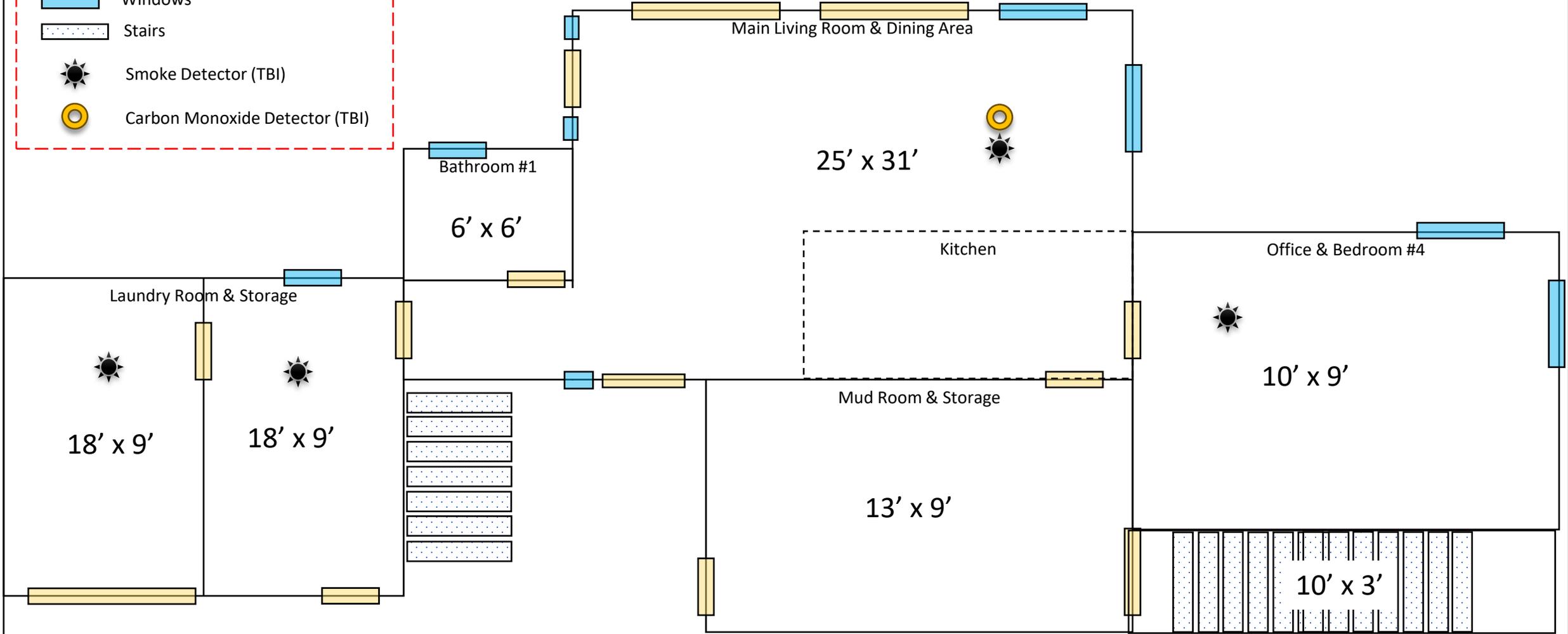
# Vacation Rental Operation Table of Contents

- Floor Plan Schematics
- Site Plan Schematics
- Evacuation Maps
- Site Survey
- Nearest Fire Station and Emergency Room
- Waste Management Invoice
- Septic System Inspection
- Documents Required/Next Steps Q&A

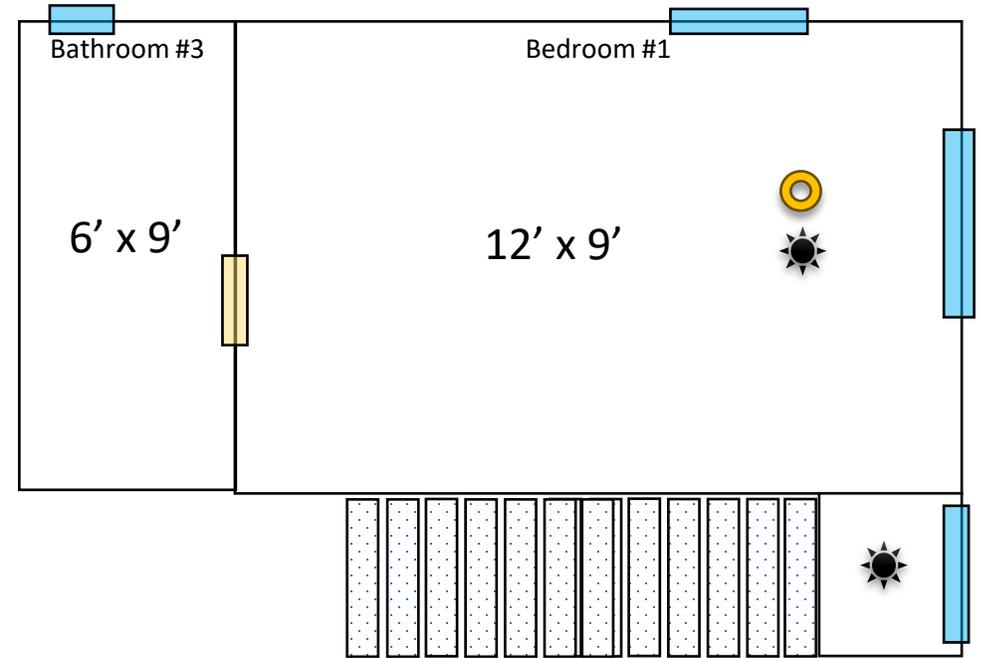
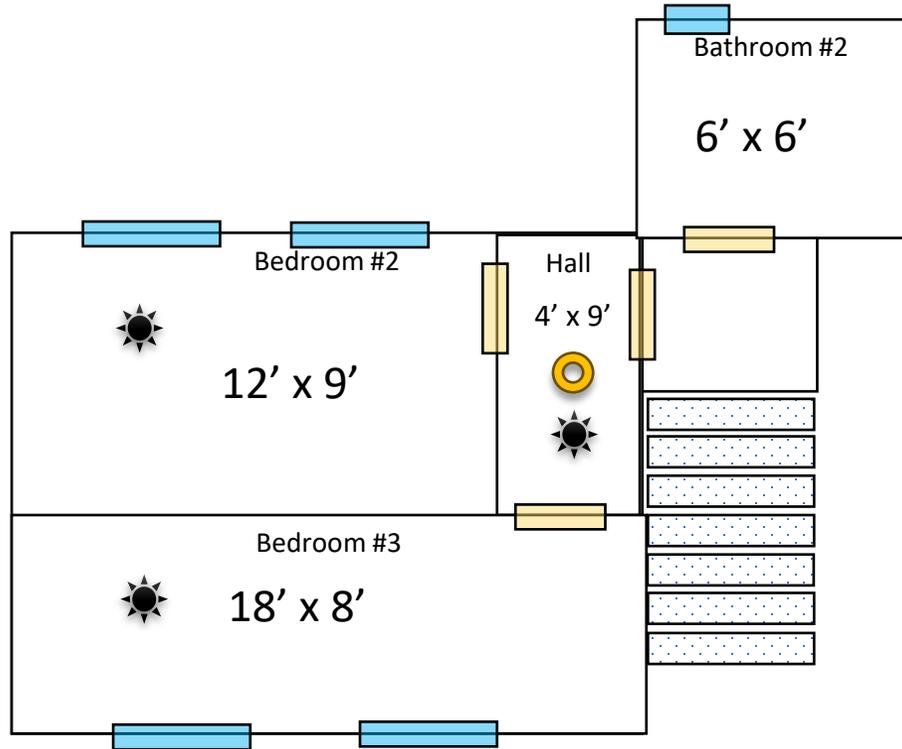
# Ground Floor Plan – Schematic

1,800 total sf

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-  Windows
-  Stairs
-  Smoke Detector (TBI)
-  Carbon Monoxide Detector (TBI)

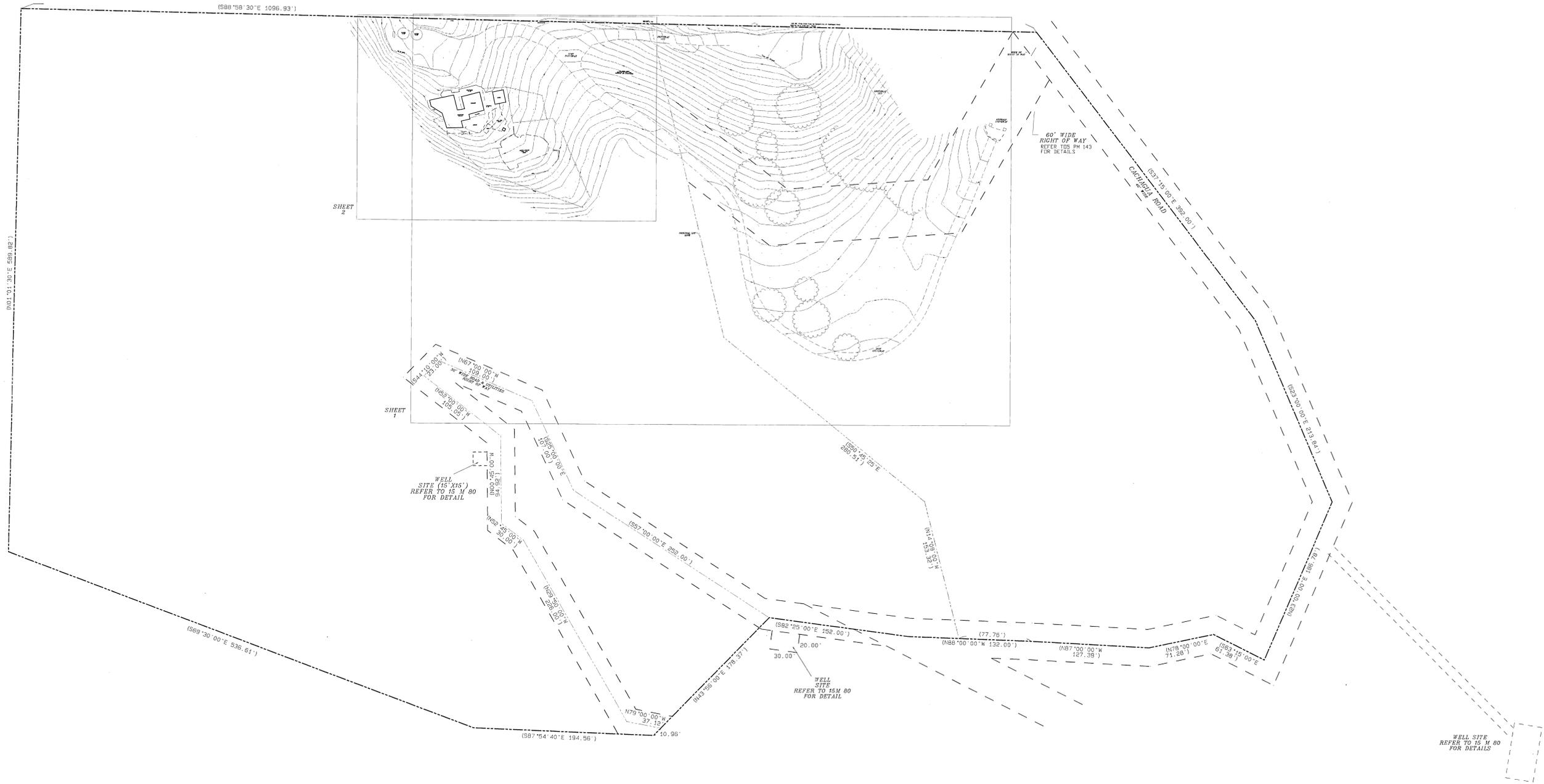


# Second Floor Plan – Schematic





SITE OVERVIEW



WARD SURVEYING  
 1729 SEABRIGHT AVE. SUITE A  
 SANTA CRUZ, CA. 95062  
 (831) 425-5005

ROSE ESTATE  
 17420 CACHAGUA ROAD  
 CACHAGUA, CALIFORNIA

REVISIONS

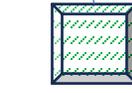
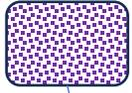
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SHEET  
 3  
 OF 3

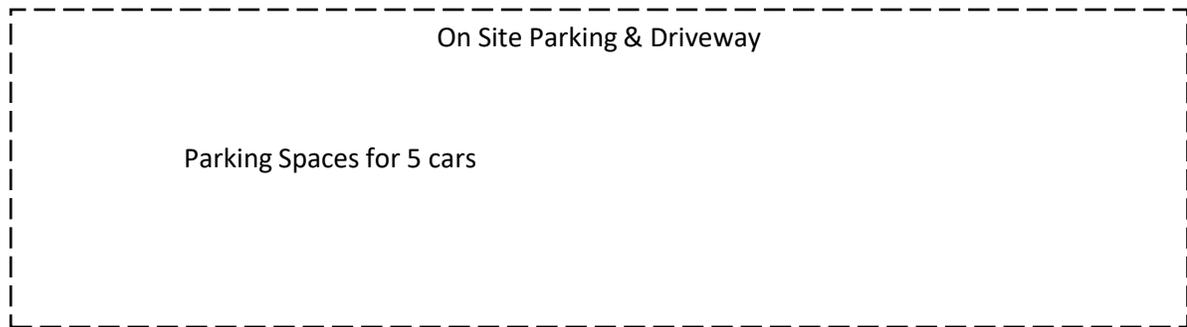
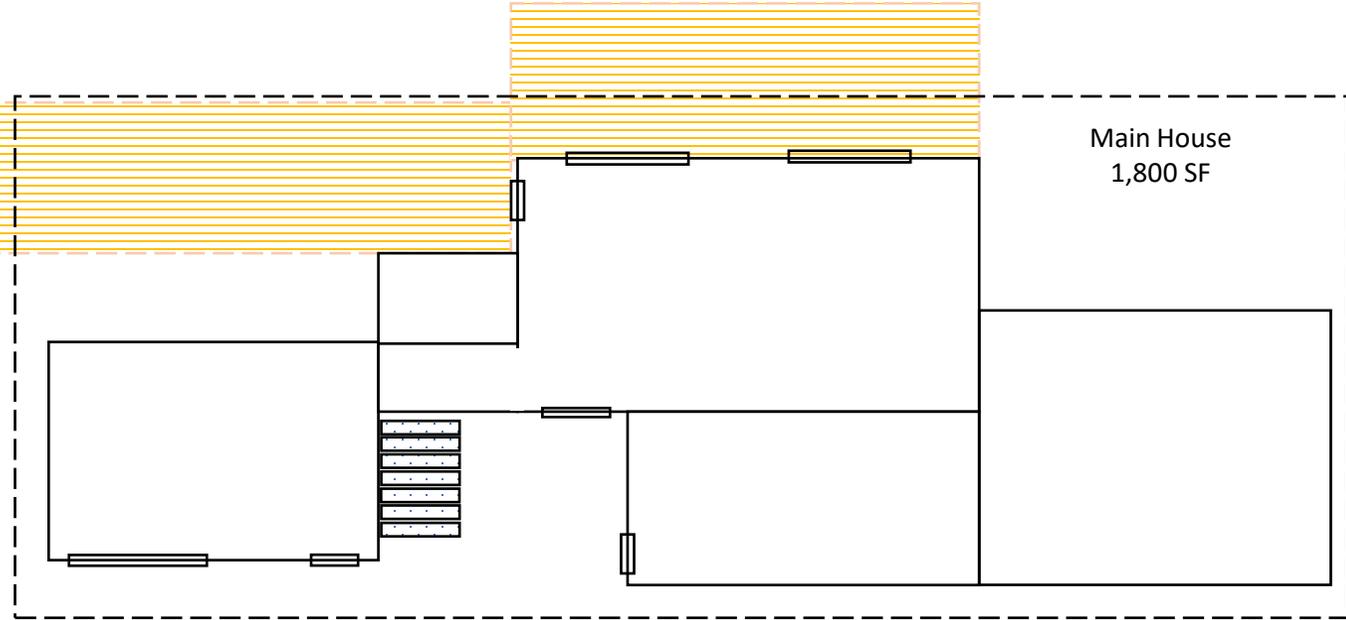
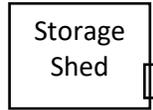
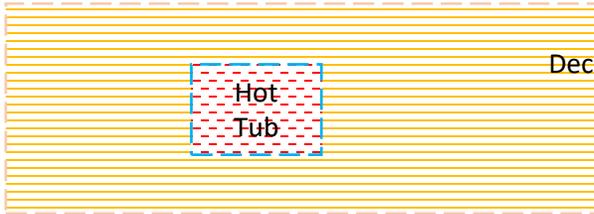
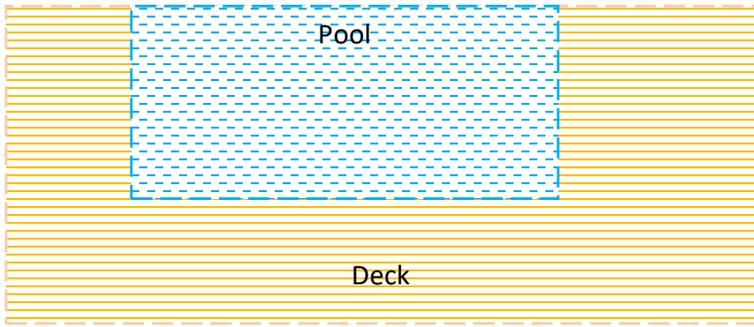


# Site Plan Schematic – Total Property 19.08 Acres

Septic Leech Field



Septic Tank



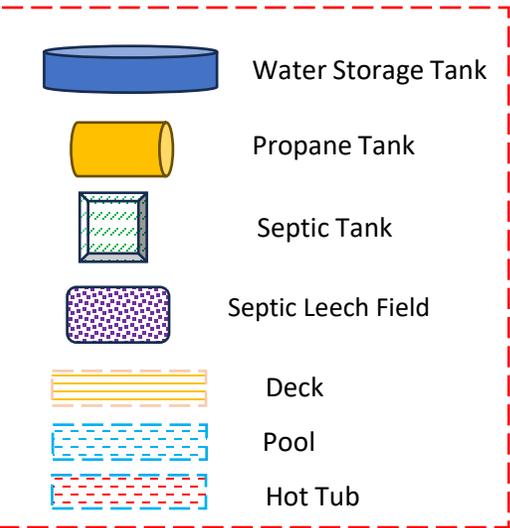
Propane Tank



Water Storage Tank



141



Water Storage Tank

Propane Tank

Septic Tank

Septic Leech Field

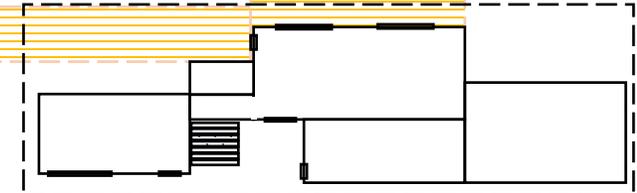
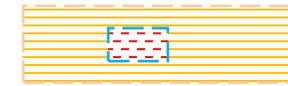
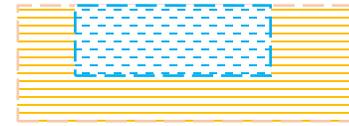
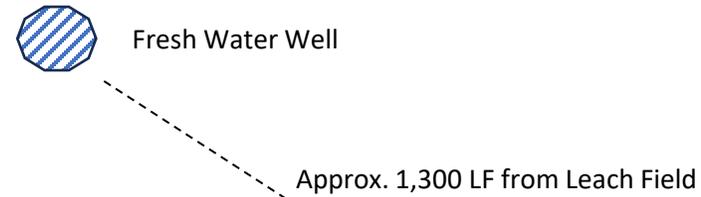
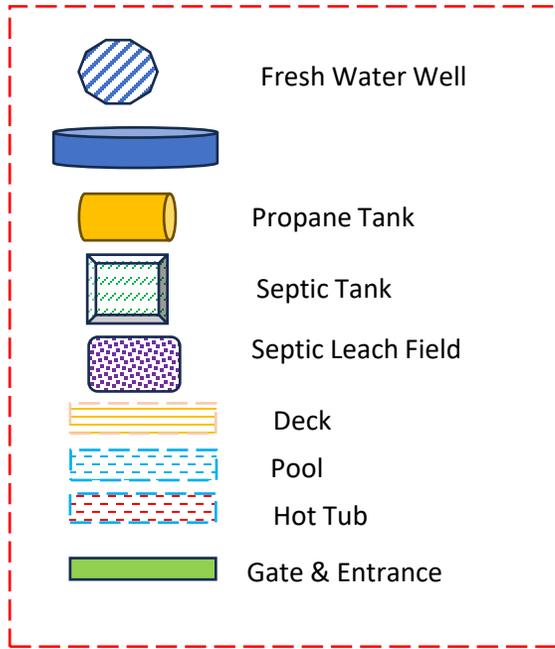
Deck

Pool

Hot Tub

# Site Plan Schematic – 17420 Cachagua Rd Carmel Valley

Total Property 19.08 Acres



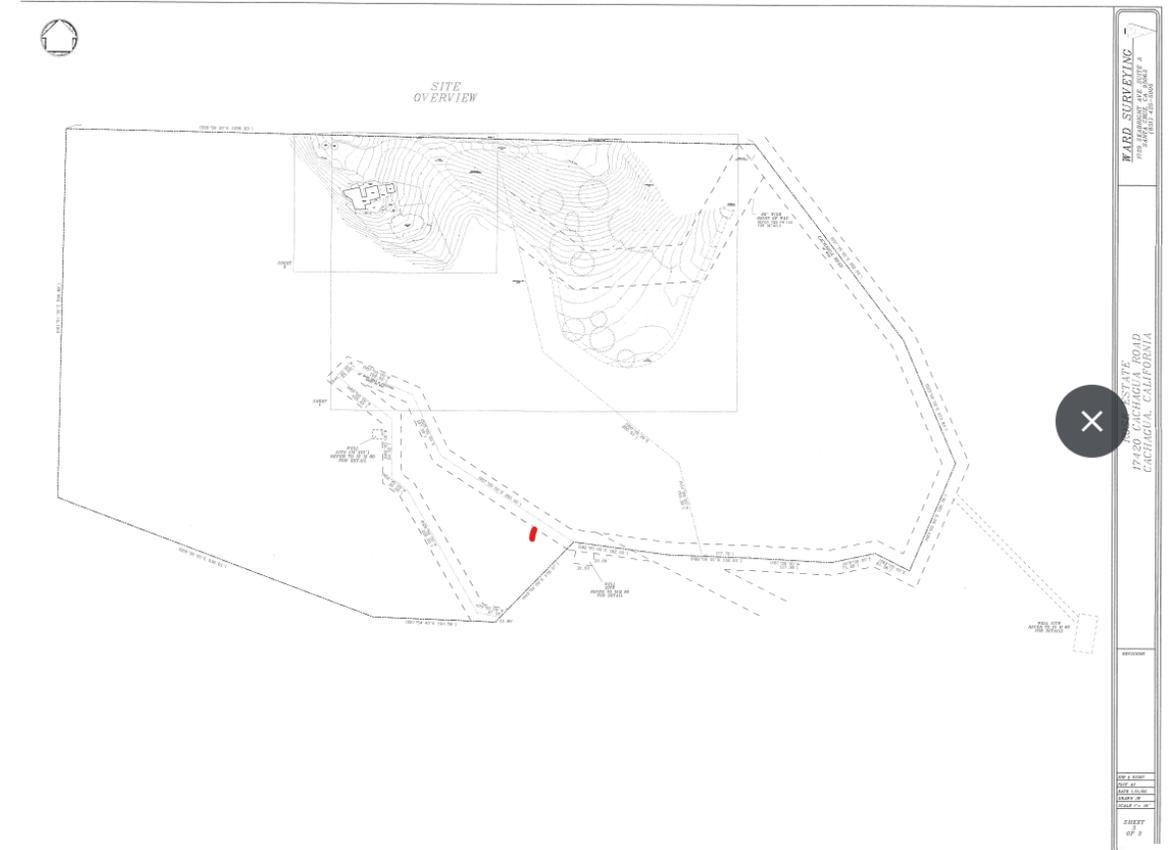
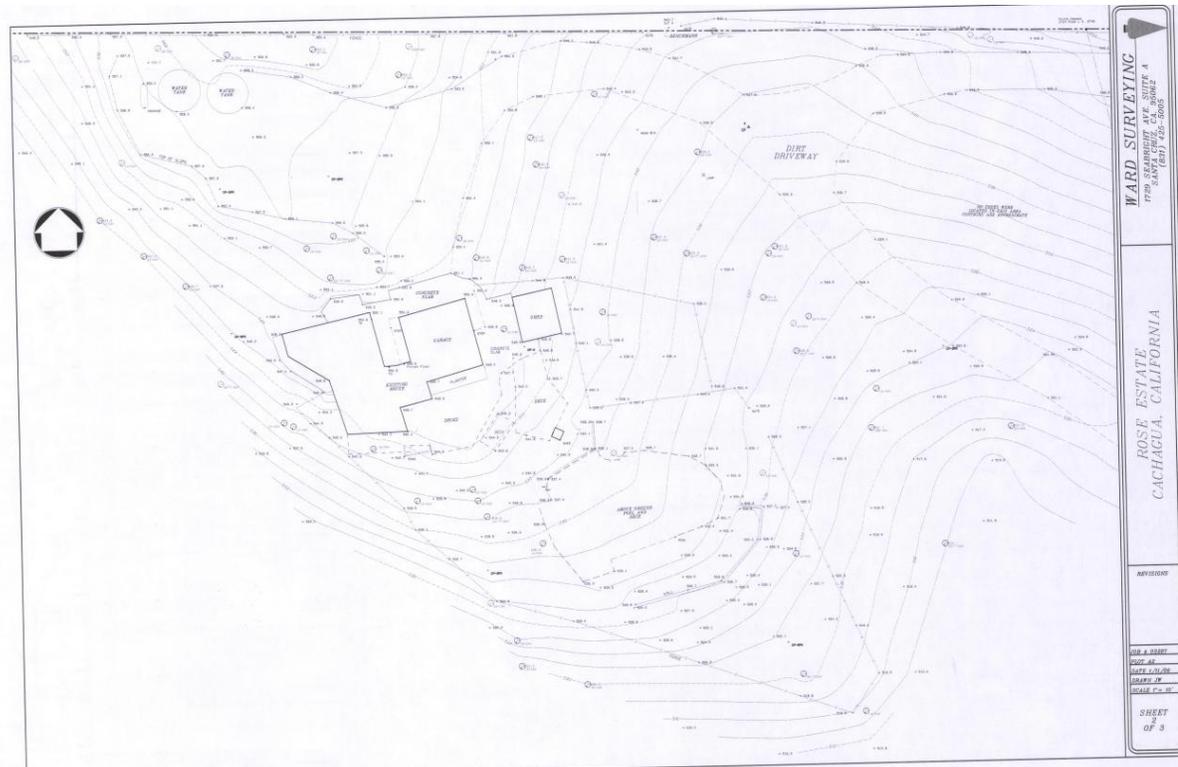
Driveway

Gate & Entrance

❖ Full Site Survey are found in a separate file included in the vacation rental submittal

# Evacuation Maps, Fire Station & Emergency Room Locations

- Site survey PDF's are found in a separate file included in the vacation rental submittal

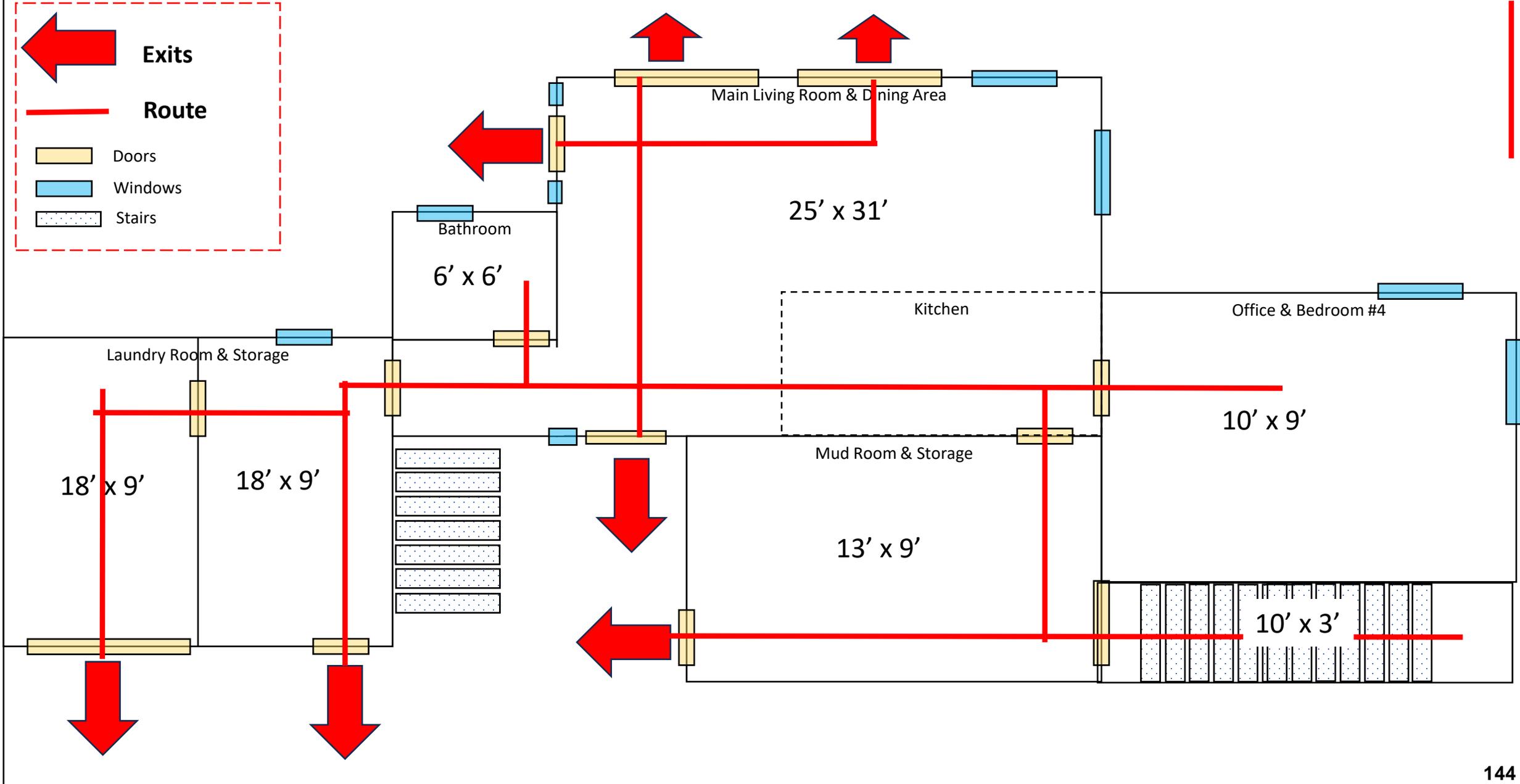


# Evacuation Map First Floor

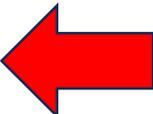
**Exits** (indicated by red arrows)

**Route** (indicated by red lines)

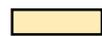
- Doors (yellow rectangle)
- Windows (blue rectangle)
- Stairs (dotted pattern)



# Second Floor Evacuation Routes

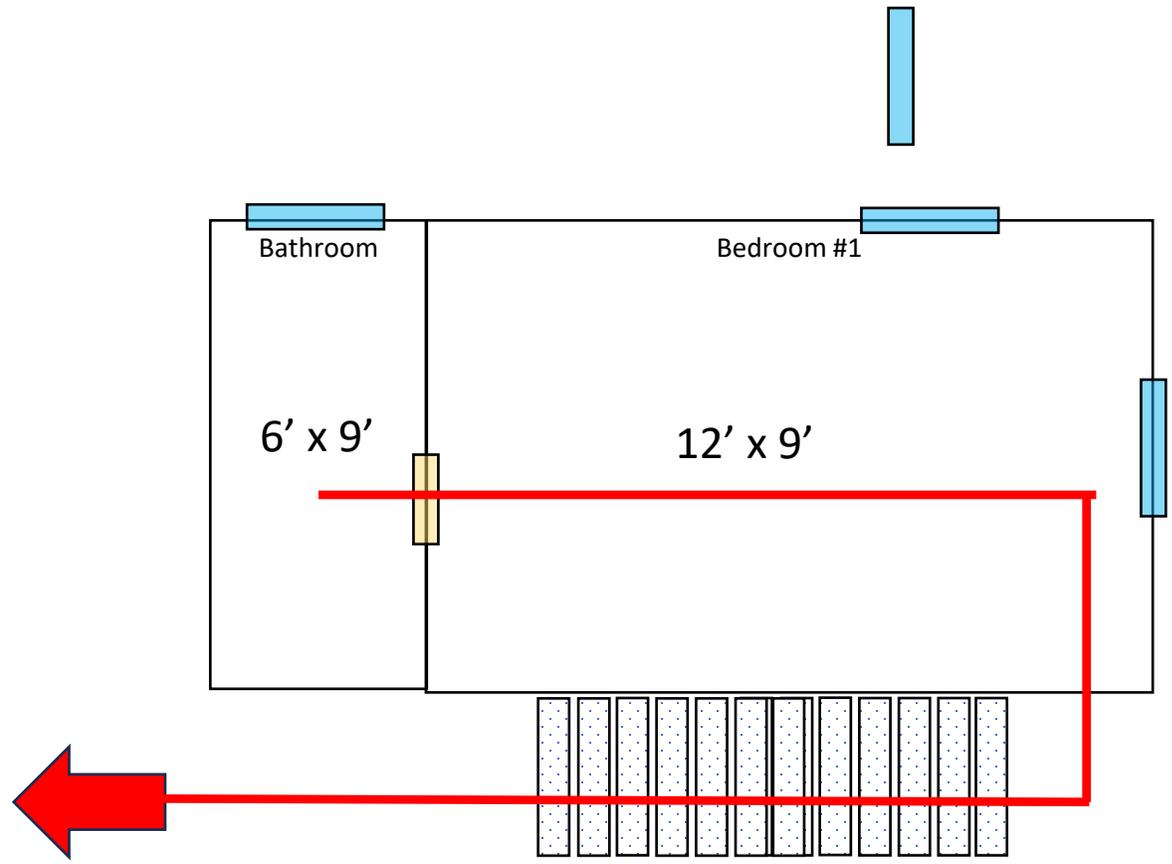
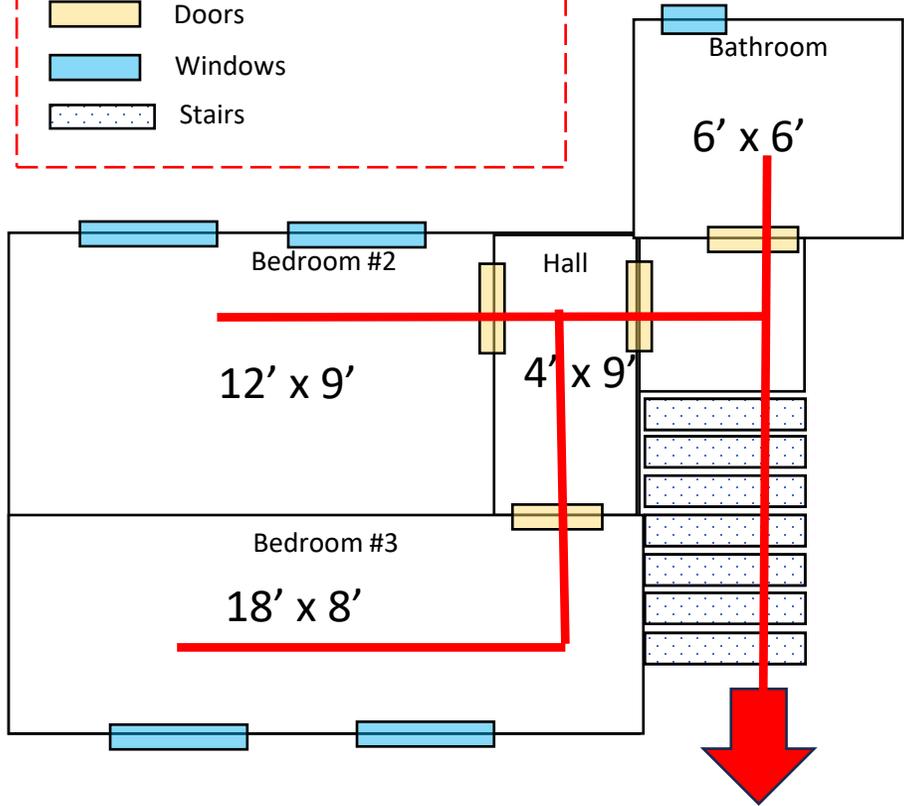
 Exits

 Route

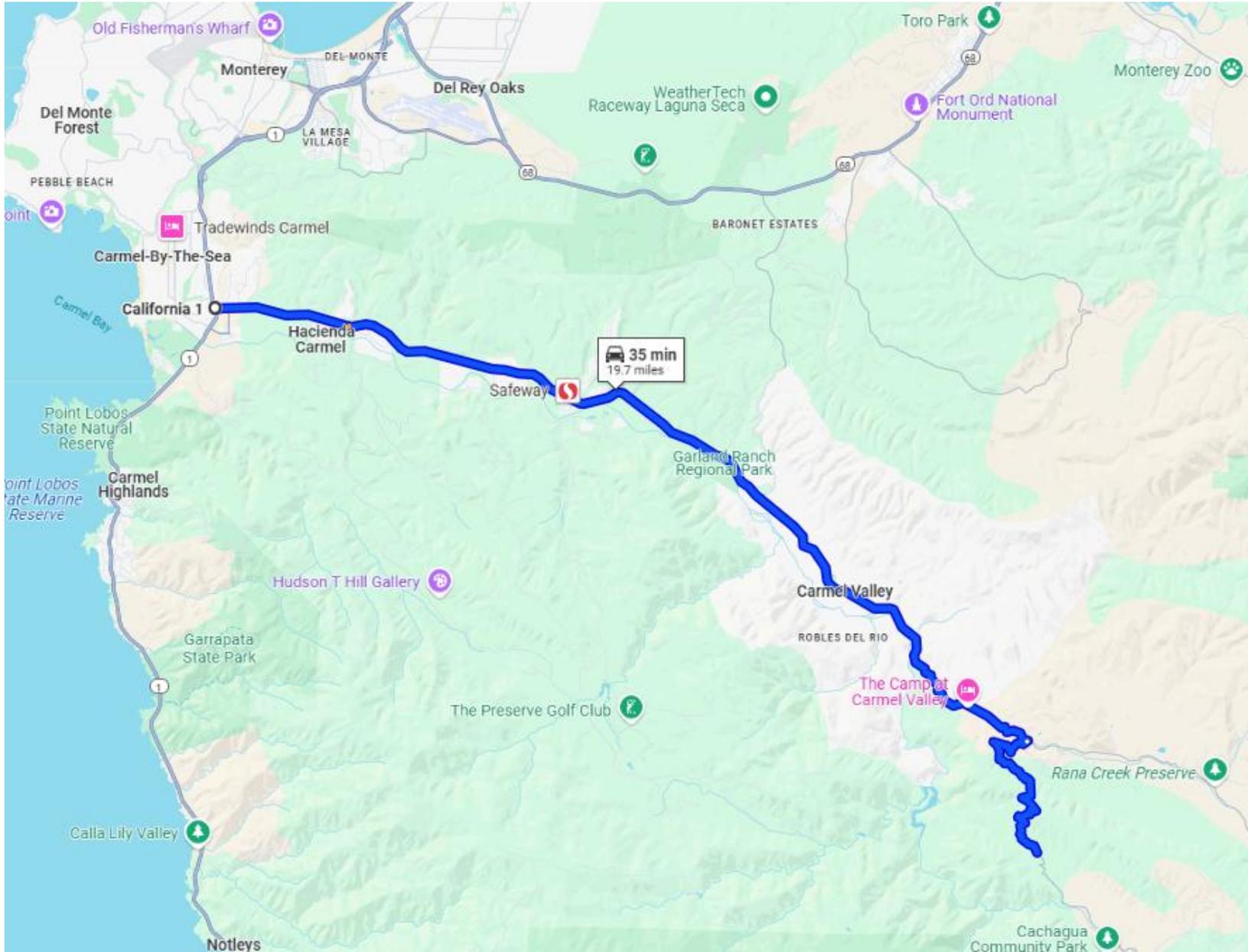
 Doors

 Windows

 Stairs

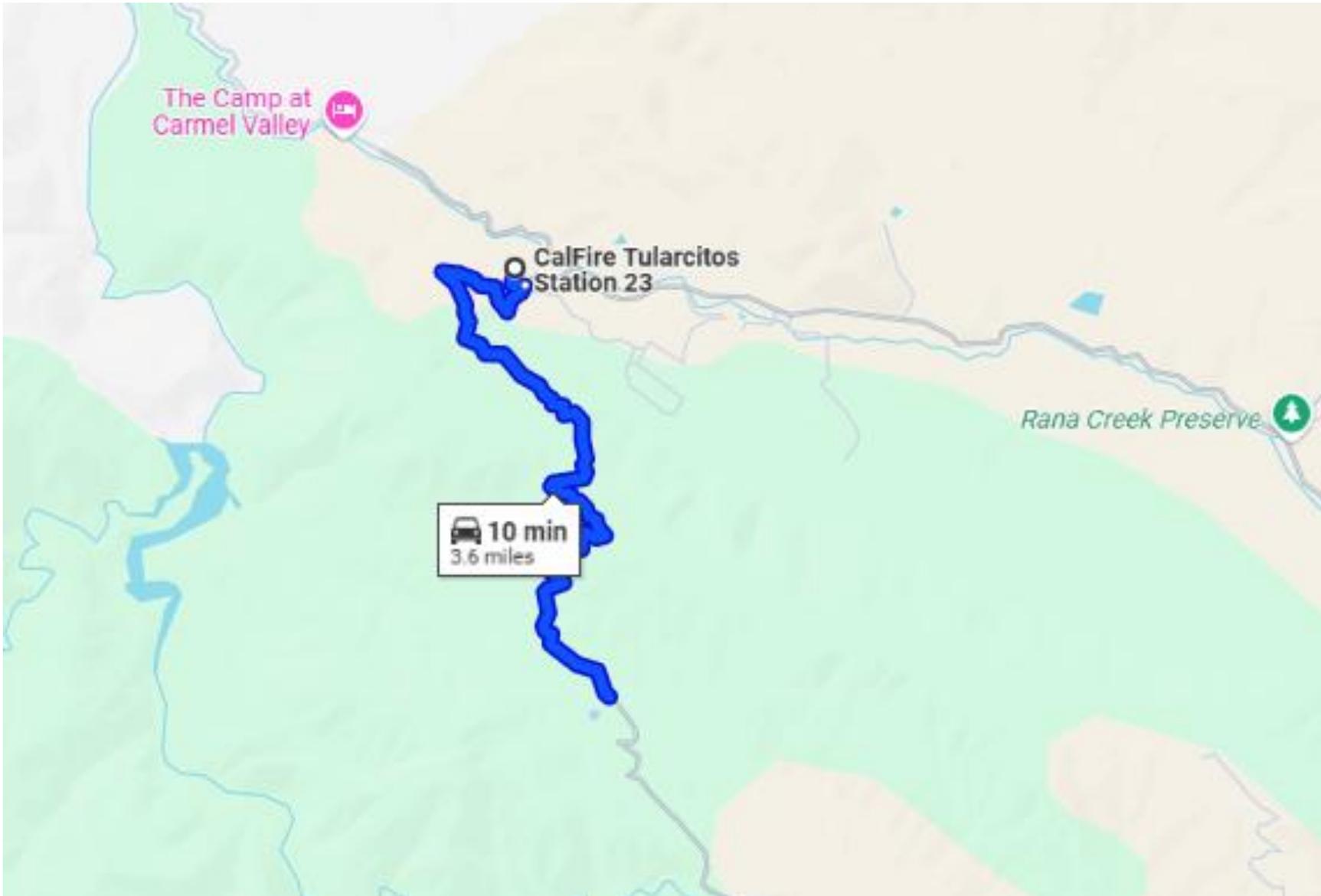


# Evacuation Map to Nearest Highway



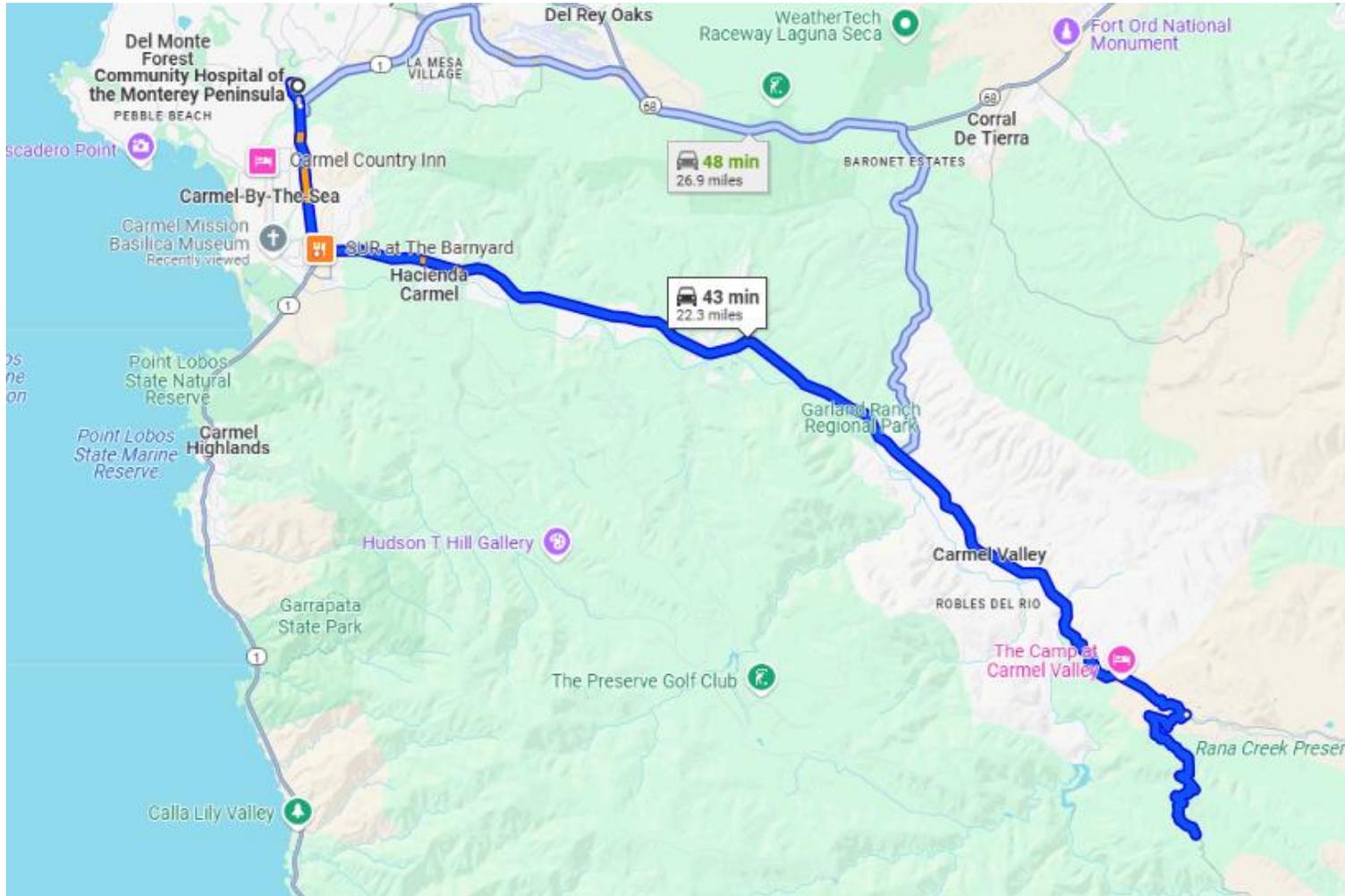
Evacuation Route to Highway 1

## Location of Nearest Fire Station



**CalFire Tularcitos Station 23**

## Location of Nearest Emergency Room



**Community Hospital of The Monterey Peninsula**



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## Vacation Rental Home Inspection Checklist

### Property Information

- Vacation Rental Address and Unit/Suite/Apt # 17420 Cachagua Rd, Carmel valley 93924
- Total number of bedrooms 4
- Total number of onsite parking spaces (e.g. garage, driveway) 8

### Interior Inspection

- Beds are located in approved Bedrooms, in compliance with the Building Code at the time of construction, with appropriate ingress and egress.
- Every sleeping room has a functional smoke alarm.
- Every hallway with a sleeping room has a functional smoke alarm. Every floor has a functional carbon monoxide alarm.
- All built-in kitchen appliances operate properly and space for food storage, preparation, and serving are in good and safe condition. All electrical outlets in kitchen and bathrooms are Ground Fault Circuit Interrupter (GFCI) protected.
- Water heater is properly strapped, adequately vented, and temperature and pressure relief valves are drained to outside.
- Other heating equipment is in safe operating condition and placed in an approved location.
- There is at least one readily accessible class A fire extinguisher located in the home that has been serviced annually by a certified fire extinguisher company.
- The building conforms to the applicable state building and fire codes at the time the building was constructed.

### Exterior Inspection

- There is no evidence of infestation, garbage, and debris at the site.
- The property has active garbage pick-up service.
- If a garage is present, it is only used as a garage and only non-combustible flooring exists. Driveway, if present, is open and accessible to vehicles.
- Property is in an overall safe and sanitary condition.
- Water heater is properly strapped, adequately vented, and temperature and valves are drained to outside. Other heating equipment is in safe operating condition and placed in an approved location.

### Home Inspection Results

- Passed
- Failed

Remarks/Observations:



**Home Inspector Certification**

*Under penalty of perjury, the undersigned certifies that the information on this form is based on an actual site inspection of the property and is complete and accurate.*

Home Inspector or General Contractor Name & Acknowledgement:

- California Contractors State License Board License Classification Type B
- California Contractors State License Board License Classification Type B-2
- California Contractors State License Board License Classification Type C-47
- California Real Estate Inspection Association
- American Society of Home Inspectors
- International Code Council
- International Association of Certified Home Inspectors

Please check the relevant certification agency and write your License/Certification number below:

Date: 7.30.2025 CA LIC# 877020

Click 'Print' at the top of this page and save as a PDF.



1441 Schilling Place

South 2nd Floor

Salinas, CA 93901

831-755-5025

Sitemap

Contact Us



**From:** [Matthew Cronin](#)  
**To:** [Garcia, Marlene](#); [Mary Cronin](#)  
**Subject:** PLN250233 - Septic and Property Manager  
**Date:** Tuesday, January 27, 2026 9:25:13 AM  
**Attachments:** [Cost of Septic Pump and Inspection July 2025.pdf](#)  
[Septic Inspection - 17420 Cachagua.pdf](#)

---

**This Message Is From an External Sender**

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

Hi Marlene,

Attached are two documents that show the name of the company that works on our septic system, 831 Plumbing. The property manager who oversees our property is Adrian Gomez, his address is; 37200 Nason Rd#40, Carmel Valley Ca 93924.

Please let me know if this is all the information you need.

Thanks for your help,  
MC



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310657 10/23/2024 10:14:14 AM

## Vacation Rental Operations Plan

# County of Monterey Housing and Community Development



Planning - Building - Housing  
1441 Schilling Place, South 2<sup>nd</sup> Floor  
Salinas, California 93901-4527  
(831) 755-5025

### Vacation Rental Operations Plan

#### Vacation Rental Type

COMMERCIAL RENTAL

#### Number of Non-hosted Rentals Per Year:

30 DAYS 200 characters

#### Fire Station Name and Address

CAL FIRE TULARCITOS 23, 16650 CACHAGUA RO

Street Number and Name

CARMEL VALLEY

CA

City

State/Province/Region

93924

Postal/ZIP Code

#### Fire Station Phone

(831) 659-2624

#### Police Station Name and Address

CARMEL POLICE DEPT, JUNIPERO AVE + 4<sup>TH</sup> AVE

Street Number and Name

CARMEL

CA

City

State/Province/Region

93923

Postal/ZIP Code

#### Police Station Phone

(831) 624-6403

#### Hospital Emergency Room Name and Address

COMMUNITY HOSPITAL OF MONTELEY, 23625 HOLMAN HWY

Street Number and Name

MONTELEY

CA

City

State/Province/Region

93940

Postal/ZIP Code

**Hospital Phone**

**24-hour Clinic Name and Address**

Street Number and Name

City

State/Province/Region

Postal/ZIP Code

**24-hour Clinic Phone**

**Number of employees who will maintain the Vacation Rental (such as landscape services, housekeeping services, management services, etc.):**

200 characters

**Submit the following documents:**

- Evacuation Maps.
- Most recent bill for waste services.
- Most recent bill for public sewer services.
- Most recent water bill or water test.
- On-site Parking Plan (if not included as a part of the Site Plan or Floor Plan).

**NOTE: Upon completion, please click the "Print Form" button and save this form to your computer as a PDF and upload it into your [Accla Citizen Access](#) account. Upon entering your email address and clicking "Submit", you will receive an emailed confirmation of your form.**

**Completion of this form does not start the application process, all necessary forms must be uploaded to your Accla account.**

**If you chose another language, completed this form, and would like to save a copy of this form in that language, please click the "Print Form" button and save this form as a PDF before clicking "Submit".**

To receive a copy of your submission, please fill out your email address below and submit.

Email Address

I'm not a robot

reCAPTCHA  
Privacy - Terms

[Review](#)

[Print Form](#)

1441 Schilling Place

South 2nd Floor

Salinas, CA 93901

831-755-5025

[Sitemap](#)

[Contact Us](#)



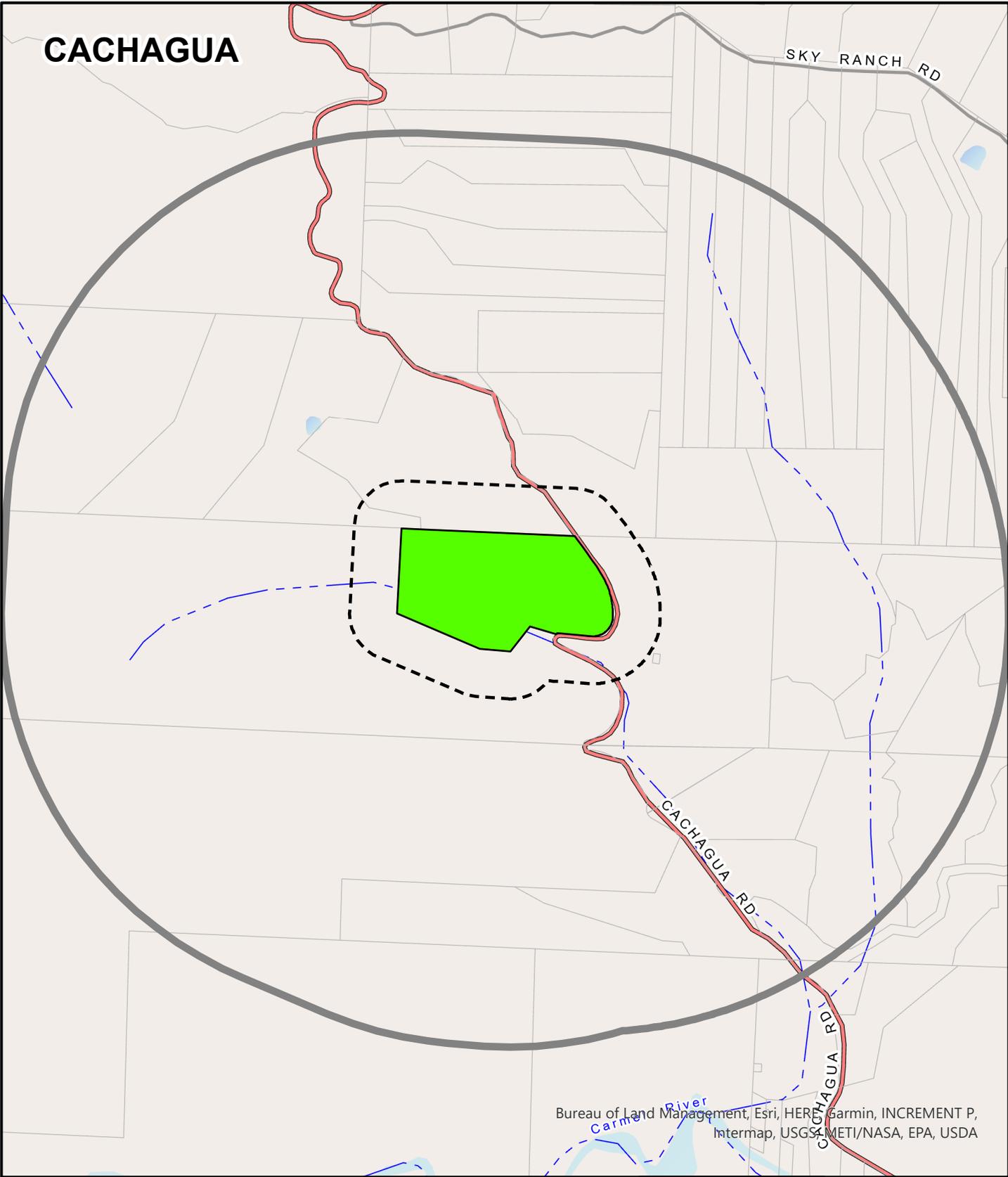
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# Exhibit B

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# CACHAGUA

SKY RANCH RD



Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

**APPLICANT:** CRONIN MARY & MATTHEW TRS

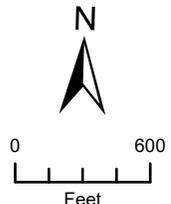
**APN:** 417091018000

**FILE #** PLN250233

 Project Site

 300 FT Buffer

 2500 FT Buffer



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# County of Monterey

**Item No.4**

## Board Report

Board of Supervisors  
Chambers  
168 W. Alisal St., 1st Floor  
Salinas, CA 93901

**Legistar File Number: ZA 26-012**

**February 26, 2026**

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

### **PLN240095 - RUSSELL CAROL TR**

Public hearing to consider action on an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00504.

**Project Location:** 503 Corral de Tierra Rd, Salinas, CA 93908

**Proposed CEQA Action:** Find the project Categorically Exempt pursuant to CEQA Guidelines section 15301, and find that none of the exceptions to the exemptions listed in section 15300.2 can be made.

### RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a Resolution:

- a. Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in section 15300.2 can be made; and
- b. Approving an after-the-fact Use Permit for Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00504.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to eight conditions of approval.

### PROJECT INFORMATION

**Agent:** Anna Russell

**Property Owner:** RUSSELL CAROL TR

**APN:** 416-452-040-000

**Parcel Size:** 9.48 acres

**Split-Zoned:** Resource Conservation, 1 units per lot, 10 acre minimum with Design Control overlay and Resource Conservation, 1 units per lot, 10 acre minimum, Design Control with Visual Sensitivity overlay or "RC/10-D|RC/10-VS."

**Plan Area:** Toro Area Plan

**Flagged and Staked:** Not Applicable

**Project Planner:** Kyle Benalcazar, Assistant Planner

benalcazark@countyofmonterey.gov; 831-784-5716

SUMMARY/DISCUSSION:

The project is located at 503 Corral de Tierra Rd, a County-owned and maintained road, in the Toro Area of the unincorporated area of the County of Monterey. On March 29, 2024, the Owner, Anna Russell, submitted an application seeking to use their existing single-family dwelling located in a resource conservation neighborhood as a vacation. The existing single-family dwelling, known as the “Vineyard House” is 1,616 square feet with three bedrooms, two bathrooms, and a kitchen. The Owner is proposing a maximum occupancy of seven guests overnight, 11 guests during daytime hours, and a maximum of five contractors on site at any time (three cleaning crew and two landscape crew). The property is served by a private well, which has been verified by the County of Monterey Environmental Health Bureau (EHB) to satisfy the bacteriological and acute inorganic primary drinking water standards, and the onsite septic system will be sufficient to provide sewer treatment for the dwelling. The property will retain its solid waste services to USA Waste of California, a waste management company. Presently, only one commercial vacation rental has been permitted in the Toro Area Plan under the County’s current regulations pursuant to Title 21, Section 21.64.290. If approved, the granting of this Use Permit would allow the establishment of the second permitted short-term vacation rental in the Toro Area Plan out of 173 Use Permits that may be issued at any given time, pursuant to Title 21, Section 21.64.290.F.3.d.

Based on staff’s review of the planning application materials, the property complies with all rules and regulations pertaining to zoning uses and other applicable the 2010 County of Monterey General Plan (General Plan), Toro Area Plan (TAP), Monterey County Code Title 7 Chapter 7.120 (Title 7), and the Monterey County Inland Zoning Ordinance (Title 21).

*Land Use*

The parcel is split zoned Resource Conservation, one unit per lot, 10 acre minimum with a small portion to the northwest corner of the property having a Design Control overlay and the remainder of the parcel having a Visual Sensitivity overlays or “RC/10-D|RC/10-VS.” Title 21 Section 21.36.050.JJ allows for the Commercial Vacation Rental use subject to the granting of a Use Permit. Title 21 Section 21.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer.

The parcel is located on Corral De Tierra, a Scenic Highway Corridor, and is in the Critical Viewshed in a visually sensitive area of the Toro Area Plan. However, the project also does not propose any physical changes that would have any potential to impact scenic resources: no construction, exterior alterations to structures, land alteration, or vegetation (or tree) removal are proposed.

The property complies with Title 21, Section 21.64.290.F.5 in that it has been demonstrated that the response time for County emergency services for fire and emergency medical are adequate pursuant to the requirements of the 2010 County of Monterey General Plan Safety Element PS-1.1 and Table PS-1. The subject property is within a 15-minute drive from the Monterey County Regional Fire Station 3 and a 24-minute drive from Salinas Valley Health Medical Center, which provides 24-hour emergency medical and fire response services. County Staff incorporated **Condition No. 5** to ensure that the guests are provided with information on the response time for emergency medical and fire services and that contact information for these services is provided to all guests as a part of the informational notice posted within six feet of the front door (**Exhibit A**).

Parking requirements outlined in Title 21 Sections 21.64.290.F.6 and 21.58.040 requires that a Single-Family Detached residential dwelling unit have two spaces/unit. The application includes three parking spaces, which exceeds the minimum requirements.

The subject property complies with the limitation on the number of Commercial Vacation Rentals per legal lot requirements of Title 21 Section 21.64.290.F.7, which only allows one Commercial Vacation Rental per legal lot of record. The subject property will be the only Commercial Vacation Rental on the legal lot of record. The owner of the subject property complies with the ownership requirements of Title 21 Section 21.64.290.F.10, wherein the owner of the subject property is only allowed to have an ownership interest in one Commercial Vacation Rental within unincorporated Monterey County. The owner of the property does not have an ownership interest in other already operating Commercial Vacation Rentals in unincorporated Monterey County, and this would be their first and only Commercial Vacation Rental in unincorporated Monterey County.

As detailed in the draft resolution (**Exhibit A**), the Owner has provided evidence of compliance with the applicable requirements. The designated Property Manager for the Commercial Vacation Rental, Anna Russell, resides at 100 Robley Road, Salinas, CA 93908, approximately 5 miles (15 minutes) from the subject property. Ms. Russell's contact information will be provided to the guests of the property, and Ms. Russell will be available 24/7 to respond to guest or neighborhood questions or concerns, and have the ability to arrive within thirty minutes. Ms. Russell's contact information will be provided to guests as a part of the informational notice posted within six feet of the front door as required pursuant to Title 7 Section 7.120.040.L.

The property has a maximum occupancy of seven overnight guests, 11 daytime guests, and five contractors. The proposed occupancy does not exceed the limits set forth in the California Uniform Housing Code and the requirements enumerated in Title 7 Section 7.120.070.C, which limit the maximum overnight occupancy to two persons per bedroom plus one and not counting infants (zero to 12 months), with a not to exceed total maximum overnight occupancy of 10 overnight guests, regardless of the number of bedrooms in the property.

To ensure the proposed use will not affect the residential character of the neighborhood, the following two conditions have been incorporated. Condition No. 3 has been incorporated to ensure that the property will not an event venue and Condition No. 4 to ensure that the property will remain in compliance with the regulations for Vacation Rentals in Title 7 Chapter 7.120, Title 21 section 21.64.290 and the Conditions of Approval. Additionally, the proposed Commercial Vacation Rental is subject to Monterey County's Noise Ordinance (Chapter 10.60), which prohibits loud or unreasonable noise between the hours of 9:00PM and 7:00AM. In accordance with Title 21 section 21.64.280.D.2.h, if the property is found to be in violation of the approved operations plan or conditions of approval attached to this Use Permit, the permit may be revoked for non-compliance.

#### *Violations*

On April 13, 2022, an inquiry letter from HCD-Code Compliance was sent to the property owner stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the

property into compliance. The applicant submitted a request for a Use Permit for an after-the-fact Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 21CE00504 to bring their property into compliance with the Monterey County Code on March 29, 2024. No additional complaints have been received.

CEQA:

The project qualifies as a categorical exemption from environmental review pursuant to CEQA Guidelines section 15301. This exemption applies to the operation of existing private structures, involving negligible or no expansion of an existing use. The Owner proposes to use a residential single-family dwelling for transient lodging where the term of occupancy, possession, or tenancy of the property by the person entitled to such occupancy, possession, or tenancy for a period of 30 consecutive calendar days or fewer. This project does not propose or authorize any additional exterior development and/or expansion of the existing structure currently on the project site.

The subject property will be limited to one rental contract at any given time. All facilities, as planned and approved, have been confirmed by County agencies to be adequate for this use. Therefore, the proposed use is consistent with the CEQA Guidelines section 15301. None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. Additionally, there would be no significant effect on the environment due to unusual circumstances. Further, there is no evidence that “the cumulative impact of successive projects of the same type in the same place, over time is significant.” Additionally, an action is a “project” only when it is either “directly undertaken by any public agency,” “supported, in whole or in part” by financial or other forms of assistance from a public agency, or involves the issuance of an entitlement by a public agency (Public Resources Code, § 21065).

The County prepared a Final Environmental Impact Report (FEIR) for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR analyzed the project for environmental impacts and did not identify any significant or unavoidable impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. This commercial vacation rental does not exceed the cap on commercial vacation rentals in the Toro Area Plan. It would be the second approved commercial vacation rental in the Toro Area Plan. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

Environmental Health Bureau

Prepared by: Kyle Benalcazar, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans and Floor Plans
- Operations Plan
- Home Inspection Checklist

Exhibit B - Vicinity Map

Exhibit C - Public Comments

cc: Front Counter Copy; Environmental Health Bureau; Jacquelyn M. Nickerson, Principal Planner, Fiona Jensen, Principal Planner, Anna Russell, Property Manager; Carol Russell, Owner; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN240095.



## Zoning Administrator

Legistar File Number: ZA 26-012

February 26, 2026

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

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benalcazark@countyofmonterey.gov; 831-784-5716

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Parking requirements outlined in Title 21 Sections 21.64.290.F.6 and 21.58.040 requires that a Single-Family Detached residential dwelling unit have two spaces/unit. The application includes three parking spaces, which exceeds the minimum requirements.

The subject property complies with the limitation on the number of Commercial Vacation Rentals per legal lot requirements of Title 21 Section 21.64.290.F.7, which only allows one Commercial Vacation Rental per legal lot of record. The subject property will be the only Commercial Vacation Rental on the legal lot of record. The owner of the subject property complies with the ownership requirements of Title 21 Section 21.64.290.F.10, wherein the owner of the subject property is only allowed to have an ownership interest in one Commercial Vacation Rental within unincorporated Monterey County. The owner of the property does not have an ownership interest in other already operating Commercial Vacation Rentals in unincorporated Monterey County, and this would be their first and only Commercial Vacation Rental in unincorporated Monterey County.

As detailed in the draft resolution (**Exhibit A**), the Owner has provided evidence of compliance with the applicable requirements. The designated Property Manager for the Commercial Vacation Rental, Anna Russell, resides at 100 Robley Road, Salinas, CA 93908, approximately 5 miles (15 minutes) from the subject property. Ms. Russell's contact information will be provided to the guests of the property, and Ms. Russell will be available 24/7 to respond to guest or neighborhood questions or concerns, and have the ability to arrive within thirty minutes. Ms. Russell's contact information will be provided to guests as a part of the informational notice posted within six feet of the front door as required pursuant to Title 7 Section 7.120.040.L.

The property has a maximum occupancy of seven overnight guests, 11 daytime guests, and five contractors. The proposed occupancy does not exceed the limits set forth in the California Uniform Housing Code and the requirements enumerated in Title 7 Section 7.120.070.C, which limit the maximum overnight occupancy to two persons per bedroom plus one and not counting infants (zero to 12 months), with a not to exceed total maximum overnight occupancy of 10 overnight guests, regardless of the number of bedrooms in the property.

To ensure the proposed use will not affect the residential character of the neighborhood, the following two conditions have been incorporated. Condition No. 3 has been incorporated to ensure that the property will not an event venue and Condition No. 4 to ensure that the property will remain in compliance with the regulations for Vacation Rentals in Title 7 Chapter 7.120, Title 21 section 21.64.290 and the Conditions of Approval. Additionally, the proposed Commercial Vacation Rental is subject to Monterey County's Noise Ordinance (Chapter 10.60), which prohibits loud or unreasonable noise between the hours of 9:00PM and 7:00AM. In accordance with Title 21 section 21.64.280.D.2.h, if the property is found to be in violation of the approved operations plan or conditions of approval attached to this Use Permit, the permit may be revoked for non-compliance.

#### *Violations*

On April 13, 2022, an inquiry letter from HCD-Code Compliance was sent to the property owner stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the

property into compliance. The applicant submitted a request for a Use Permit for an after-the-fact Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 21CE00504 to bring their property into compliance with the Monterey County Code on March 29, 2024. No additional complaints have been received.

CEQA:

The project qualifies as a categorical exemption from environmental review pursuant to CEQA Guidelines section 15301. This exemption applies to the operation of existing private structures, involving negligible or no expansion of an existing use. The Owner proposes to use a residential single-family dwelling for transient lodging where the term of occupancy, possession, or tenancy of the property by the person entitled to such occupancy, possession, or tenancy for a period of 30 consecutive calendar days or fewer. This project does not propose or authorize any additional exterior development and/or expansion of the existing structure currently on the project site.

The subject property will be limited to one rental contract at any given time. All facilities, as planned and approved, have been confirmed by County agencies to be adequate for this use. Therefore, the proposed use is consistent with the CEQA Guidelines section 15301. None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. Additionally, there would be no significant effect on the environment due to unusual circumstances. Further, there is no evidence that “the cumulative impact of successive projects of the same type in the same place, over time is significant.” Additionally, an action is a “project” only when it is either “directly undertaken by any public agency,” “supported, in whole or in part” by financial or other forms of assistance from a public agency, or involves the issuance of an entitlement by a public agency (Public Resources Code, § 21065).

The County prepared a Final Environmental Impact Report (FEIR) for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR analyzed the project for environmental impacts and did not identify any significant or unavoidable impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. This commercial vacation rental does not exceed the cap on commercial vacation rentals in the Toro Area Plan. It would be the second approved commercial vacation rental in the Toro Area Plan. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

Environmental Health Bureau

Prepared by: Kyle Benalcazar, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans and Floor Plans
- Operations Plan
- Home Inspection Checklist

Exhibit B - Vicinity Map

Exhibit C - Public Comments

cc: Front Counter Copy; Environmental Health Bureau; Jacquelyn M. Nickerson, Principal Planner, Fiona Jensen, Principal Planner, Anna Russell, Property Manager; Carol Russell, Owner; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN240095.

# Exhibit A

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**RUSSELL CAROL TR (PLN240095)**

### **RESOLUTION NO. 26-**

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and no exceptions under section 15300.2 apply; and
- 2) Approving an after-the-fact Use Permit for Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00504.

[PLN240095 RUSSELL CAROL TR, 503  
CORRAL DE TIERRA RD, SALINAS, CA 93908,  
TORO AREA PLAN (APN: 416-452-040-000)]

**The RUSSELL CAROL TR application (PLN240095) came on for a public hearing before the County of Monterey Zoning Administrator on February 26, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

### **FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 2010 County of Monterey General Plan;
  - Toro Area Plan (TAP);
  - Monterey County Code Chapter 7.120; and
  - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.  
b) Project Scope. The project is located at 503 Corral de Tierra Rd, a County-maintained road, in Toro subject to the Toro Area Land Use Plan. On March 29, 2024, the applicant submitted an application seeking to use their existing single-family dwelling, known as the “Vineyard” located in a residentially developed neighborhood as a Commercial Vacation Rental.

- Allowed Use. The property is located at 503 Corral de Tierra Rd,
- c) Salinas, within the Toro Area Plan (APN: 416-452-040-000). The parcel is split zoned Resource Conservation, one unit per lot, 10 acre minimum with a small portion to the northwest corner of the property having a Design Control overlay and the remainder of the parcel having a Visual Sensitivity overlays or “RC/10-D|RC/10-VS.” The RC zoning allows the use of Residential Property as a commercial vacation rental, subject to the granting of a Use Permit pursuant to Title 21, Section 21.36.050.JJ. Therefore, the proposed use is allowable.
  - d) Lot Legality. The subject property (9.48 acres in size), APN: 416-452-040-000, as shown in its current size and configuration on Document #432000034 on the Parcel Map Volume 22, Page 20. Therefore, the County recognizes the property as a legal lot of record.
  - e) Land Use Advisory Committee (LUAC) Review. This project was not referred to the Toro Land Use Advisory Committee for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 15-043, this application did not warrant referral to the LUAC as it does not fall within the LUAC review guidelines.
  - f) Vacation Rental Operation License. Condition No. 7 requires that the applicant obtain a Vacation Rental Operation License and provide documentation to prove that they comply with all of the requirements of the Vacation Rental Operation License pursuant to Title 7 Chapter 7.120. The subject property is required as conditioned to ensure that they always have an active Vacation Rental Operation License.
  - g) Business License. Condition No. 6 requires that the applicant obtain a Business License and provide documentation to prove that they comply with all of the requirements of the Business License pursuant to Title 7 section 7.02.060. The subject property is required as conditioned to ensure that they always have an active Business License.
  - h) Transient Occupancy Tax. Condition No. 8 requires that the applicant register with the County of Monterey Treasurer-Tax Collector to pay Transient Occupancy Tax pursuant to Title 5 Chapter 5.40 and must pay Transient Occupancy Tax on all applicable rent received from transient occupancy of their residential property as a commercial vacation rental. The subject property is required as conditioned to ensure payment of Transient Occupancy Tax to the County of Monterey Treasurer-Tax Collector is made pursuant to Title 5 Chapter 5.40.
  - i) Adequate Emergency Response Time. Condition No. 5 requires that the applicants notify the guests of the average response time for emergency fire and medical services and the address and phone number of those services. The subject property complies with Title 21 section 21.64.290.F.5, adequate emergency response times for fire and emergency medical. The submitted Operations Plan includes contact information for County emergency services for fire and emergency medical. The property complies with adequate public facilities and services requirements pursuant to the 2010 County of Monterey General Plan Safety Element Policy PS-1.1 and Table PS-1. The subject property is within a 15-minute drive from the Monterey County Regional Fire Station 3 and a 24-minute drive from Salinas Valley Health Medical Center, which provide 24-hour emergency medical and

fire response services. Additionally, the applicant provided the property manager, Anna Russell, residing at 100 Robley Rd, Salinas, CA 93908 will be available 24/7 to respond within the 30 minutes to any concerns on the property. The subject property complies with the requirement to provide contact information for County emergency services for fire and emergency medical. The contact information is included as required in the informational signage that must be posted within six feet of the front door.

- j) Parking. Title 21 section 21.64.290.F.6 requires that commercial vacation rentals provide parking in compliance with Title 21 section 21.58.040. Title 21 section 21.58.040 establishes the minimum required parking spaces. A single-family dwelling requires two parking spaces. As proposed, the property can accommodate up to three total cars for occupants and employees, which exceeds the requirements of Title 21 section 21.58.040.
- k) One Commercial Vacation Rental Per Legal Lot of Record. The subject legal lot of record complies with Title 21 section 21.64.290.F.7 as this is the only Commercial Vacation Rental on the legal lot of record (APN: 416-452-040-000).
- l) Ownership Interest in One Commercial Vacation Rental in the Unincorporated Monterey County. The trustees of the legal lot of record comply with Title 21 Section 21.64.290.F.8 and do not have any ownership interest in any other Commercial Vacation Rentals in the unincorporated Monterey County. This application before the Zoning Administrator would be the first and only ownership interest the applicants would have in a Commercial Vacation Rental in the unincorporated Monterey County.
- m) Permit Expiration. Condition No. 4 applies a 7-year expiration to the granting of this Use Permit, pursuant to Title 21 Sub-Section 21.64.290.F.12.a. The purpose of this expiration is to provide adequate on-going review of the approved use of the residential property as a Commercial Vacation Rental. Prior to its expiration, the owner/applicant shall file an extension in accordance with Title 21 Section 21.74.110, which requires submittal of the request at least 30 days prior to the expiration date. The appropriate authority to consider this extension shall be the Zoning Administrator. This subsequent review will ensure: 1) the use continues to meet the standards of Title 21 and 2) an opportunity for Planning staff's review for on-going compliance with the conditions of approval.
- n) Access. The property has access through Corral de Tierra Road, a County owned and maintained public road, and therefore is not required to comply with regulations outlined in Title 16 Chapter 16.80, which regulates private roads in Monterey County.

**2. FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

**EVIDENCE:** a) The project has been reviewed for site suitability by HCD-Planning and HCD-Environmental Services. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no

indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240095.

**3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning and HCD-Environmental Services. The property is served by a private well, which has been verified by the County of Monterey Health Bureau Environmental Health Division to satisfy the bacteriological and acute inorganic primary drinking water standards, and the onsite septic system will be sufficient to provide sewer treatment for the dwelling. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary infrastructure is in place to serve the use, as discussed in subsequent Evidence “c” through “f”.
  - c) The property has road access to Corral De Tierra Rd Road, a County owned and maintained public road.
  - d) The residence is connected to an existing Onsite Wastewater Treatment System (OWTS). A performance evaluation on the OWTS was provided to Environmental Health Bureau (EHB) and was subsequently deemed complete on September 22, 2025. Based on the evidence provided, EHB found that the OWTS was in good working order and functioning properly and that the system was installed in the form and manner as required by the County on June 4, 2024, satisfying the requirements of Title 21 section 21.64.290.F.8-9.
  - e) Solid waste (garbage) collection service is and will continue to be provided by USA Waste of California.
  - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240095.

**4. FINDING: VIOLATIONS** – The subject property is not in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is aware of one current violation existing on the subject property for a commercial vacation rental (Code Enforcement Case 21CE00504). On April 13, 2022, an inquiry letter from HCD-Code Compliance was sent to the property owner stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the property into compliance. The applicant submitted a request for an after-the-fact Use Permit for a Commercial

Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 21CE00504 to bring their property into compliance with the Monterey County Code on March 29, 2024. No additional complaints have been received.

- b) The violation (Code Enforcement No. 21CE00504) will be abated upon granting of this permit and brings the subject property into compliance.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240095.

- 5. FINDING: CEQA (Exempt)** – The project qualifies for a Class 1 categorical exemption pursuant to CEQA Guidelines section 15301 and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301, categorically exempts the leasing of existing private structures, involving negligible or no expansion of existing or former use.
  - b) The project proposed to allow the use of an existing residential property for transient lodging for a period of 30 calendar days or fewer. The project would not expand the residence, nor would it allow any additional occupancy beyond what is allowed for the existing residence. Therefore, the project fits the criteria of the exemption.
  - c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project, as discussed in subsequent Evidence “d” through “i”.
  - d) Class 1 exemptions do not qualify for an exception based on location.
  - e) The County’s regulatory process of Use Permits for the use of an existing residential property for transient lodging allows the County to regulate such uses in a way that would prevent adverse cumulative impacts to the surrounding environment. Consistent with the Findings and Purpose in Monterey County Ordinance Number 5422 section 1.F, the requirement for a Use Permit for commercial vacation rental activities ensures that the impact of such leasing activities can be appropriately evaluated.

The FEIR analyzed the project for environmental impacts and did not identify any significant or unavoidable impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts. Further, Title 21 section 21.64.290 establishes caps on the maximum amount of Use Permits for commercial vacation rentals to ensure that the potential cumulative effects of commercial vacation rentals are minimized. The granting of Use Permit would allow the establishment of the 2<sup>nd</sup>

permitted vacation rental in the Toro Area Plan out of a maximum of 173 Use Permits that may be issued at any given time pursuant to Title 21 Section 21.64.290.F.3.b. The project is consistent with all the criteria in Title 21 section 21.64.290 and, therefore, would not contribute to a cumulative effect.

- f) There are no unusual circumstances related to the project that would create the reasonable possibility of a significant effect.
- g) The parcel is located on Corral De Tierra, a Scenic Highway Corridor, and is in the Critical Viewshed in a visually sensitive area of the Toro Area Plan. However, the project also does not propose any physical changes that would have any potential to impact scenic resources: no construction, exterior alterations to structures, land alteration, or vegetation (or tree) removal are proposed.
- h) The project is not located on a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government Code.
- i) The project would not damage any historical resources.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240095.

- 6. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** Planning Commission. Pursuant to Title 21 section 21.80.040.B, an appeal of the Zoning Administrator’s decision for this project may be made to the Planning Commission by any public agency or person aggrieved by their decision.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project, allowing the use of an existing residential property for transient lodging, qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301, and no exceptions under section 15300.2 apply; and
- 2) Approving an after-the-fact Use Permit for Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00504.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions, which are incorporated herein for reference.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of February, 2026.

---

Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. This permit does not authorize any development and only authorizes the use of the residential property as transient lodging.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240095

### 1. PD001(B) - SPECIFIC COMMERCIAL VACATION RENTAL USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This After-the-fact Use Permit (PLN240095) for a Commercial Vacation Rental that allows the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00504. This property is located at 503 Corral de Tierra Rd, Salinas (Assessor's Parcel Number 416-452-040-000), Toro Area Plan. This rental allows an unlimited number of transient lodging rentals of up to 30 calendar days per 12-month period. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD. Any use not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (HCD - Planning).

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Use Permit for an after-the-fact Commercial Vacation Rental (Resolution Number \_\_\_\_\_) was approved by Zoning Administrator for Assessor's Parcel Number 416-452-040-000 on February 26, 2026. The permit was granted subject to eight conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD008 - NO EVENTS ALLOWED

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 21 Section 21.64.290.A, to protect the residential character of the neighborhood on an ongoing basis, the property shall be rented for only transient residential-related use. The property shall not be rented to either transient or short-term occupants for the purpose of holding a corporate or private event unless the County approves a separate entitlement to allow such events on the property. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** On an on-going basis, the property shall only be rented for transient residential-related use.

### 4. PD009 - PERMIT LIMITATION OF THE USE OF THE RESIDENTIAL PROPERTY AS A COMMERCIAL VACATION RENTAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This permit shall be valid for 7 years from the date of permit approval which is February 26, 2026, unless an extension is filed with County of Monterey HCD – Planning at least 30 days prior to the expiration of the permit. Approval of this Use Permit is limited to 7 years to provide an adequate, on-going review of the approved use of the Residential Property as a Commercial Vacation Rental.

The owner/operator shall file an application for extension of the permit in accordance with the Monterey County Code Title 21 Sections 21.74.110 and 21.64.290.F.12.b.

**Compliance or Monitoring Action to be Performed:** The applicant shall commence and operate the authorized use in accordance with County codes and State regulations and to the satisfaction of the HCD-Chief of Planning. Any request for a Use Permit extension must be received by HCD-Planning at least 30 days prior to the expiration date.

### 5. PD010 - SIGNAGE FOR ADEQUATE EMERGENCY RESPONSE TIME

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** To protect the occupants of the Commercial Vacation Rental, applicants must demonstrate and post in the Informational Interior Signage that the response times for County emergency services for fire and emergency medical will be adequate pursuant to the 2010 County of Monterey General Plan Safety Element Policy PS-1.1 and Table PS-1. (Monterey County Code Title 21 Section 21.64.290.F.5).

**Compliance or Monitoring Action to be Performed:** On an on-going basis the applicant shall notify occupants of the Commercial Vacation Rental of the average response time for emergency fire and medical services and describe the onsite fire protection systems. This information shall be provided to all occupants in the Informational Interior Signage and shall satisfy all requirements pursuant to Monterey County Code Title 7 Section 7.120.040.L.

## 6. PD018 - BUSINESS LICENSE REGISTRATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.02.060.C, Owner/Operator is required to obtain a business license from the County of Monterey Treasurer-Tax Collector. This business license shall be active and renewed annually for the term of this Use Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on an annual basis, the Owner/Operator shall provide proof that the property has been registered with the Monterey County Treasurer-Tax Collector.

## 7. PD031 - VACATION RENTAL OPERATION LICENSE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Chapter 7.120, applicants are required to obtain a Vacation Rental Operation License from the County of Monterey HCD. This Vacation Rental Operation License shall be active and renewed annually for the term of this Use Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use, HCD will issue the applicant a Vacation Rental Operation License.

## 8. PD053 - TOT REGISTRATION

**Responsible Department:** Planning

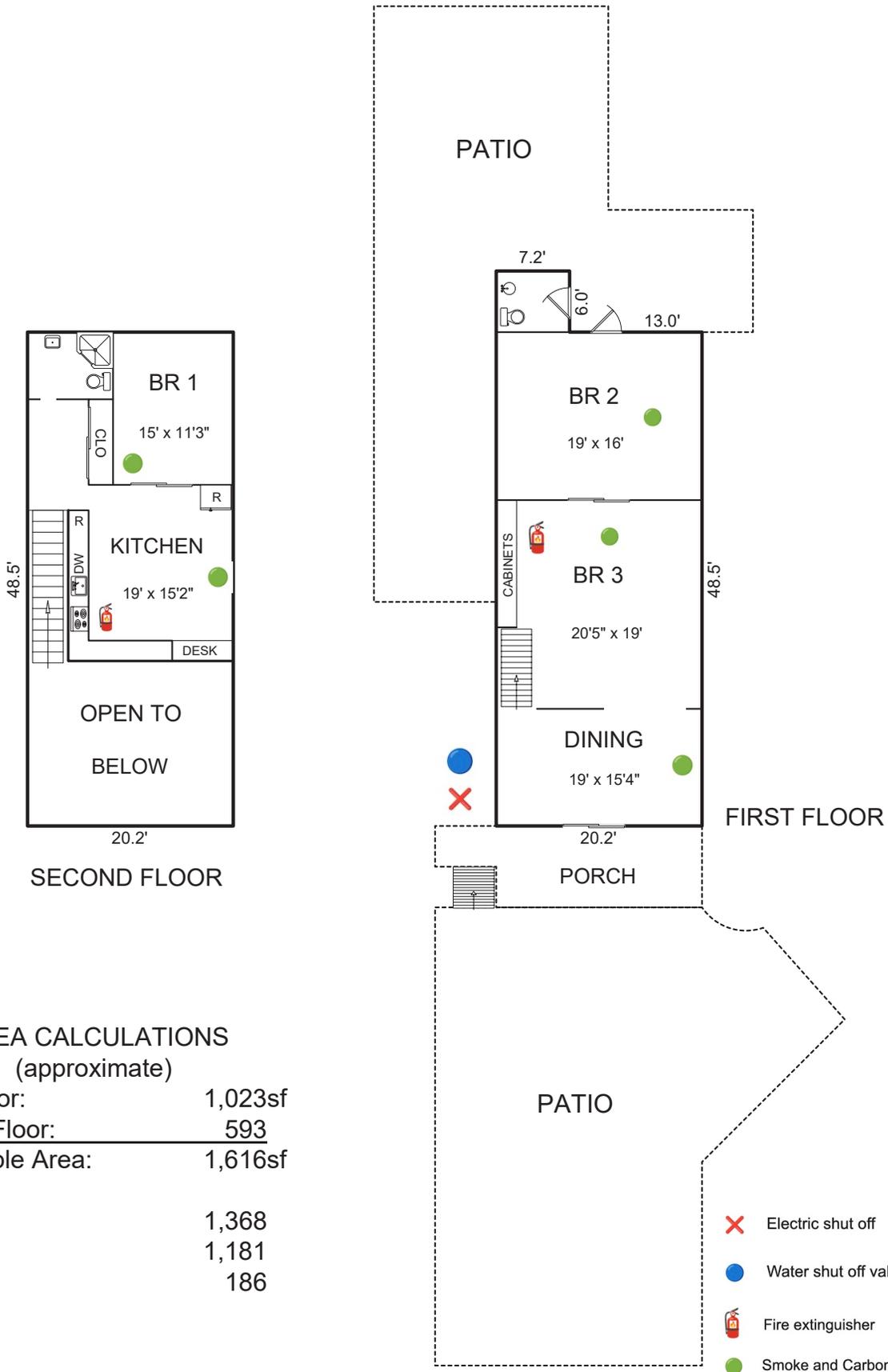
**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.120.040.C, Owner/Operator is required to register for Transient Occupancy Tax (TOT) with the County of Monterey Treasurer Tax Collector. The applicant's Transient Occupancy Tax Certificate shall be active for the term of this Use Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on a quarterly basis, the Owner/Operator shall pay Transient Occupancy Tax to the Monterey County Treasurer-Tax Collector pursuant to Monterey County Code Title 5 Chapter 5.40.

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# VINEYARD HOUSE

## 503 CORRAL DE TIERRA ROAD, SALINAS, CA 93908



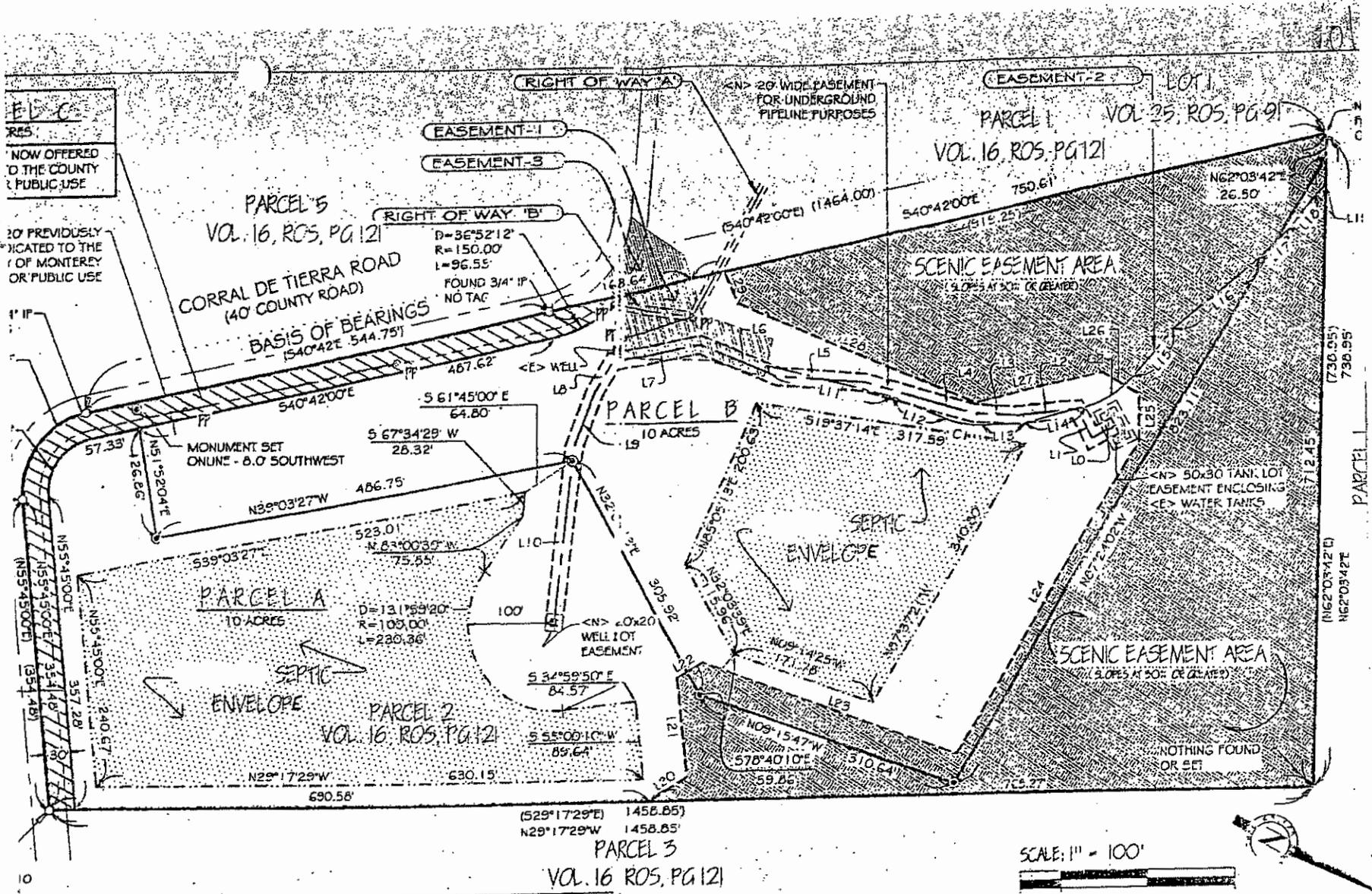
### AREA CALCULATIONS (approximate)

|                          |                |
|--------------------------|----------------|
| First Floor:             | 1,023sf        |
| Second Floor:            | 593            |
| <b>Net Livable Area:</b> | <b>1,616sf</b> |
|                          |                |
| Patio:                   | 1,368          |
| Patio:                   | 1,181          |
| Porch:                   | 186            |

- ✕ Electric shut off
- Water shut off valve
- Fire extinguisher
- Smoke and Carbon Monoxide Detector

**ELC**  
RES  
NOW OFFERED  
TO THE COUNTY  
FOR PUBLIC USE

20' PREVIOUSLY  
INDICATED TO THE  
COUNTY FOR  
PUBLIC USE



Legend:

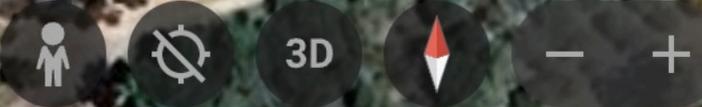
ALL DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF



Septic

Vineyard House

Parking



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# **503 Corral de Tierra Rd, Salinas** **Transient Use Operation Plan**

## **Host Contact/Address**

Anna: 831.229.2105 – [arussell@detierra.com](mailto:arussell@detierra.com)  
100 Robley Rd Salinas Ca 93908

## **Booking Rules**

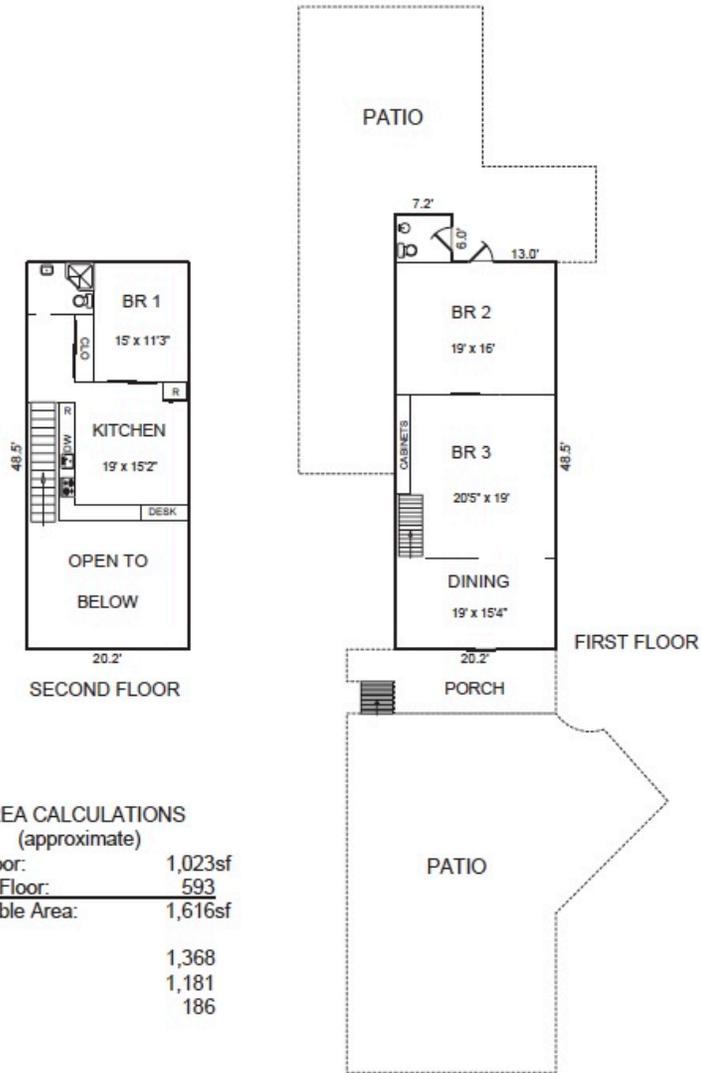
- 1.) Length of Stay must be between 1-30 days.
- 2.) Rental Contracts shall be only 1 at a time. Meaning, only one group can book property during any period of time.
- 3.) Rental shall be booked no more than 200 days per year. Average booking days will likely be between 100-150 days per year.
- 4.) This rental is designed as a guest only property, meaning no one besides the contracted group will be staying on site at the time of rental.
- 5.) The Maximum number of guests per contract would be 6 guests. This number includes all guests older than 2 years old. This is in accordance with the minimum space requirements as specified in the California Uniform Housing Code.
- 6.) No events, no additional guests, no amplified music, no parking on the street, and no fires outdoors.
- 7.) Renters in breach of any of these rules or those listed above will be immediately evicted.  
This info will be in 2 binders in kitchen and living room.

## **Additional Checklist Info Required**

- 8.) The maximum number of contractors on site at any time would be 5 (3 cleaning crew and 2 landscape crew).
- 9.) The property will be advertised on Airbnb, and possibly VRBO in the future.
- 10.) There will be NO on-site advertising.

## Occupancy Limits

VINEYARD HOUSE  
503 CORRAL DE TIERRA ROAD, SALINAS, CA 93908



BR1 - 2 people  
BR2 - 2 people  
BR 3 - 2 people

### **Contractors**

This property would use the following contractors: Patricio's Cleaning Service (after each stay). This property will be self-managed by Anna Russell. Other contractors are only on site for repairs on a case by case basis.

### **Emergency Plan**

Guests will be given security information on a laminated form in the house, as well as within all online listings. There will be two fire extinguishers in the home (in the upstairs kitchen and downstairs living room). The information on water shut off (Behind the porch, near the exterior power box) will be on this placard as well. Evacuation plan will be to use the driveway and whichever direction of Corral de Tierra Road is unobstructed. We will provide a laminated map demonstrating the routes and the location of the nearest fire station (Laureles Grade Station). We will also include local emergency numbers (9-1-1, Poison Control, Animal Control, MoGO clinic, and Emergency Room).

### **Emergency Numbers**

**9-1-1** Please call **9-1-1** if there is a life-threatening emergency and provide the address: 503 Corral de Tierra Rd.

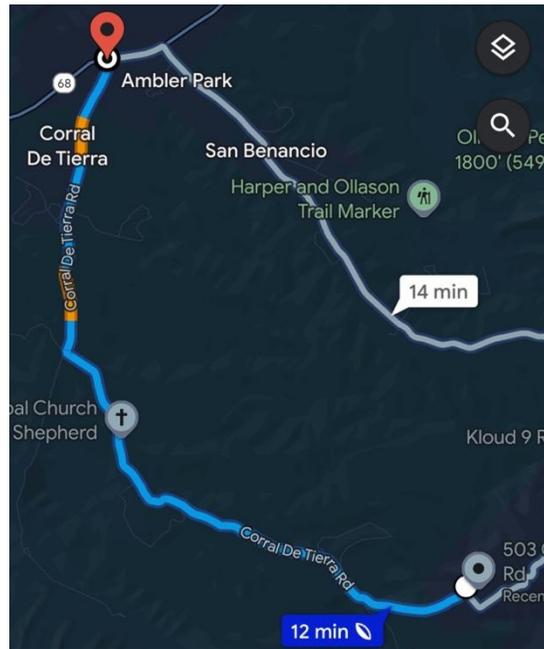
**Poison Control:** Please call **1-800-222-1222** with any questions regarding substances or exposure to chemicals/poison.

**MOGO Urgent Care Clinic:** Please call **831-622-6932** to schedule urgent care visits at our local MoGo Clinic.

**CHOMP (Hospital):** Community Hospital of the Monterey Bay is the closest hospital with emergency room, please call **9-1-1** if you have an emergency

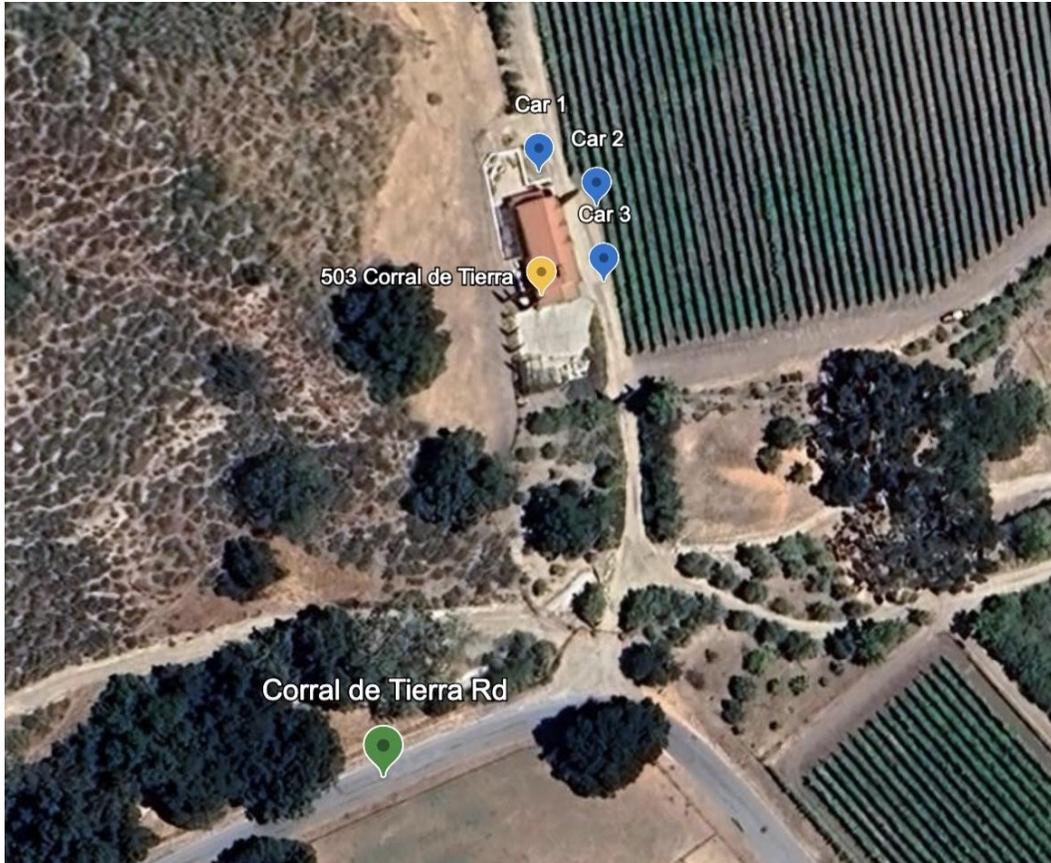
**Laureles Grade Fire Station:** Please call **831-484-1197** for non-emergency fire station inquiries.

## Evacuation Map



## Parking Plan

There is space for 3 vehicles at the house. 1 spot behind the house and space for 2 cars next to the vineyard. We will not be allowing more than 3 vehicles on property at a time. There is no space to park on the road due to its rural, narrow nature. Street parking is expressly prohibited and will be stated as such in listing and inside the home (in a picture frame by the door). We will not be allowing vehicles to park anywhere but these spots designated. We will share this information in the Airbnb Listing, in our check in emails, and we will place signs to designate this in the home. The map below shows the car locations. They are blue balloons, and are labeled car 1-3.



### **Noise Plan**

We will provide information regarding quiet hours to all guests and prospective guests. We will not allow any “day guests” on site, and no amplified music outside. We will state that quiet hours are 9 pm until 9 am so they are aware of the restrictions.



# INVOICE

To view your Insert  
Click the link below:  
[INSERT1](#)

**Customer ID:**  
Customer Name:  
Service Period:  
Invoice Date:  
Invoice Number:

**18-99173-63002**  
DE TIERRA EVENTS  
OCTOBER SERVICE  
10/01/2024  
0096049-0527-4

**How to Contact Us**

**Visit [wm.com/MyWM](http://wm.com/MyWM)**

Create a My WM profile for easy access to your pickup schedule, service alerts and online tools for billing and more. Have a question? Check our support center or start a chat.



**Customer Service: (800) 321-8226**

**Your Payment is Due**

**Due Upon Receipt**

If full payment of the invoiced amount is not received within your contractual terms, you may be charged a monthly late charge of 2.5% of the unpaid amount, with a minimum monthly charge of \$5, or such late charge allowed under applicable law, regulation or contract.

**Your Total Due**

**\$322.66**

| Previous Balance | 322.66 | + | Payments | (322.66) | + | Adjustments | 0.00 | + | Current Invoice Charges | 322.66 | = | Total Account Balance Due | <b>322.66</b> |
|------------------|--------|---|----------|----------|---|-------------|------|---|-------------------------|--------|---|---------------------------|---------------|
|------------------|--------|---|----------|----------|---|-------------|------|---|-------------------------|--------|---|---------------------------|---------------|

**IMPORTANT MESSAGES**

All billing disputes must be resolved within 60 days of the original invoice.

**Notice regarding personal information** - We collect personal information in conjunction with accounts and processing of payments. You may have certain rights regarding your personal information. To learn more about your rights, visit [wm.com/privacy](http://wm.com/privacy).

----- Please detach and send the lower portion with payment ----- (no cash or staples) -----



USA WASTE OF CALIFORNIA, INC.  
CARMEL MARINA CORPORATION  
PO BOX 3020  
MONROE, WI 53566-8320  
(800) 321-8226  
(831) 384-5000

| Invoice Date     | Invoice Number | Customer ID<br>(Include with your payment) |
|------------------|----------------|--|
| 10/01/2024       | 0096049-0527-4 | <b>18-99173-63002</b>                      |
| Payment Terms    | Total Due      | Amount                                     |
| Due Upon Receipt | \$322.66       |  |

**\*\*\* DO NOT PAY-AUTOMATIC PAYMENT WILL BE PROCESSED \*\*\***  
Your bank account will be drafted \$322.66.

0527000189917363002000960490000003226600000032266 2

I2216C18

**DE TIERRA EVENTS**  
505 CORRAL DE TIERRA RD  
SALINAS CA 93908-8950

Remit To: **WM CORPORATE SERVICES, INC.**  
AS PAYMENT AGENT  
PO BOX 541065  
LOS ANGELES, CA 90054-1065



530-0068217-0527-1



# HOUSING AND COMMUNITY DEVELOPMENT

Announcements

Development Services

Planning  
Services

Permit Center

GIS / Maps

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## Vacation Rental Home Inspection Checklist

### Property Information

- Have your Vacation Rental Operation Application number ready.
- Vacation Rental Address and Unit/Suite/Apt # 503 Corral de Tierra Rd. Salinas CA 93908
- Total number of bedrooms 3
- Total number of onsite parking spaces (e.g. garage, driveway) 4

### Interior Inspection

- Beds are located in approved Bedrooms, in compliance with the Building Code at the time of construction, with appropriate ingress and egress.
- Every sleeping room has a functional smoke alarm.
- Every hallway with a sleeping room has a functional smoke alarm. Every floor has a functional carbon monoxide alarm.
- All built-in kitchen appliances operate properly and space for food storage, preparation, and serving are in good and safe condition. All electrical outlets in kitchen and bathrooms are Ground Fault Circuit Interrupter (GFCI) protected.
- Water heater is properly strapped, adequately vented, and temperature and pressure relief valves are drained to outside.
- Other heating equipment is in safe operating condition and placed in an approved location..
- There is at least one readily accessible class A fire extinguisher located in the home that has been serviced annually by a certified fire extinguisher company.
- The building conforms to the applicable state building and fire codes at the time the building was constructed.

### Exterior Inspection

- There is no evidence of infestation, garbage, and debris at the site.
- The property has active garbage pick-up service.
- If a garage is present, it is only used as a garage and only non-combustible flooring exists. Driveway, if present, is open and accessible to vehicles.
- Property is in an overall safe and sanitary condition.
- Water heater is properly strapped, adequately vented, and temperature and valves are drained to outside. Other heating equipment is in safe operating condition and placed in an approved location.

### Home Inspection Results

Passed

Failed

### Remarks/Observations:

### Home Inspector Certification

**Under penalty of perjury, the undersigned certifies that the information on this form is based on an actual site inspection of the property and is complete and accurate.**

Home Inspector or General Contractor Name & Acknowledgement

*Ethan Hare* Ethan Hare Hare Construction  
Lic. 883990

License/Certification # (for Contracts certified by the California Contractors State License Board, the certification must be a License Classification Type B, B-2, or C-47):

Date  
10/30/24

**Click 'Print' at the top of this page and save as a PDF.**

1441 Schilling Place

South 2nd Floor

Salinas, CA 93901

831-755-5025

Sitemap

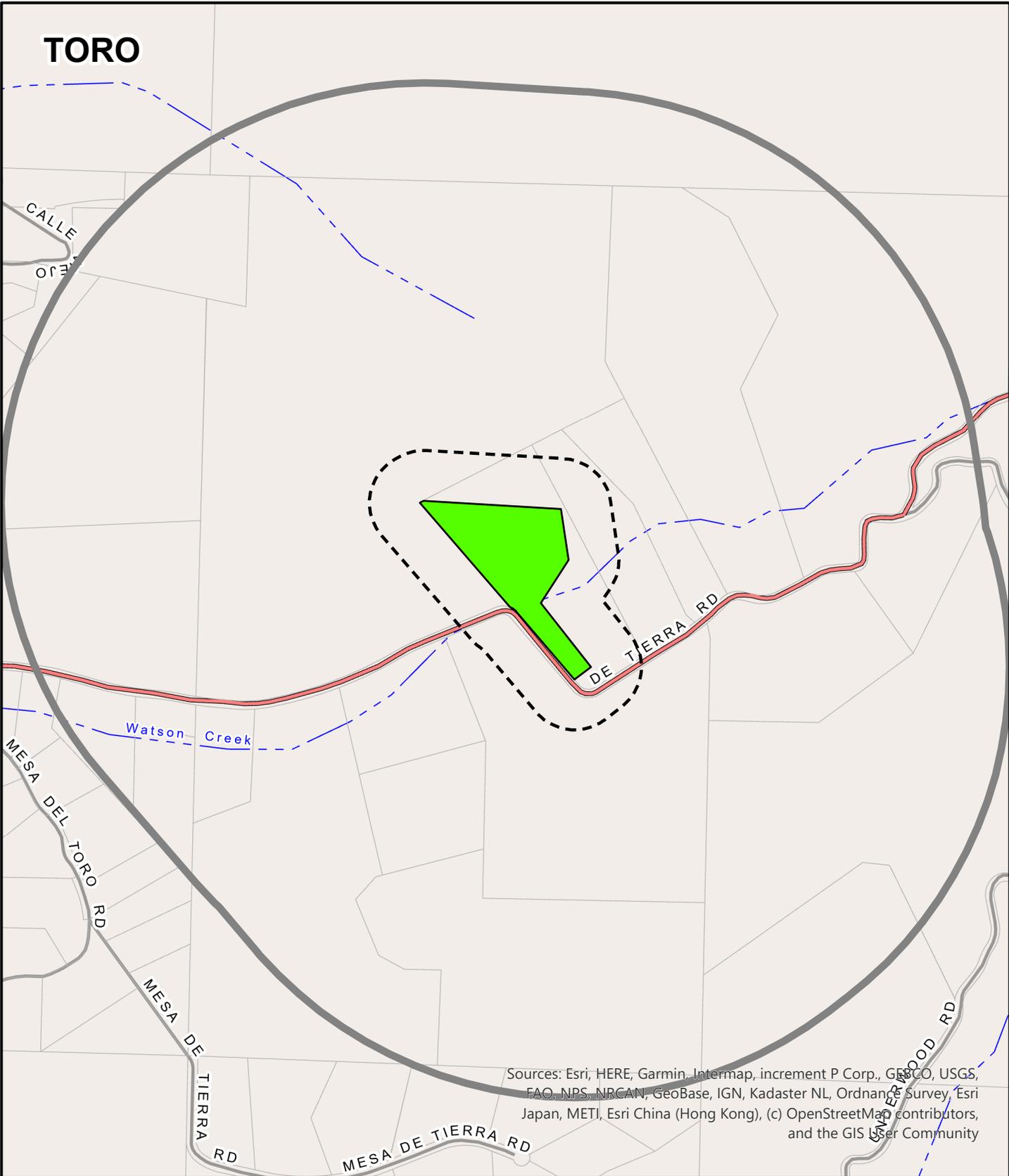
Contact Us



# Exhibit B

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# TORO



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

**APPLICANT:** ANNA RUSSELL

**APN:** 416452040000

**FILE #** PLN240095

 Project Site

 300 FT Buffer

 2500 FT Buffer



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# Exhibit C

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## 503 and 505 Corral de Tierra

---

**From** Justin Farr <farrwestlivestock@gmail.com>

**Date** Thu 1/15/2026 6:00 AM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

### **This Message Is From an Untrusted Sender**

You have not previously corresponded with this sender.

Good morning,

My name is Justin Farr, I live in Corral de Tierra down the road from the Russel's properties at 505 and 503. Myself and my family are in favor of them vacation rentals at these locations. They are very conscious of the neighbors and do a fine job of managing.

Thanks,

Justin Farr  
831-595-9327



---

**503 corral de tierra road**

---

**From** Christine Handel <chandel@carmelrealtycompany.com>

**Date** Wed 1/14/2026 2:50 PM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

**This Message Is From an External Sender**

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

To Whom It May Concern,

I am writing in support of the commercial vacation rental permit applications for **503 Corral de Tierra Road (owned by Carol Russell)** and **505 Corral de Tierra Road (owned by Sarah Ceglar et al.)**. Both properties are well suited for responsible, professionally managed vacation rental use and are compatible with the surrounding area. When operated in compliance with County regulations, they support local tourism and businesses while maintaining neighborhood character. The owners have demonstrated a commitment to proper management and maintenance requirements, and I believe these applications represent a reasonable and appropriate use of the properties.

Thank you,

Christine Handel



---

**505 Corral De Tierra Rd. / 505 De Tierra Events**

---

**From** barngig@redshift.com <barngig@redshift.com>

**Date** Mon 10/6/2025 11:02 AM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

**This Message Is From an External Sender**

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

Hello,

My name is Giga Cullen. Anna Russell and I have been neighbors for over 15 years. She and her family living at 505 Corral de Tierra and I live and care take the ranch at 500 Corral de Tierra Rd. for Tom Church (across the street).

Over the years De Tierra Vineyards has evolved becoming a very beautiful place. Anna is professional and takes great pride in keeping the place in tip top shape for the perspective clients and the neighbors as well.

It is nice to see people come and appreciate it and the beauty this area offers.

Thank you for your time, Giga Cullen



---

**Permit Support**

---

**From** Kaitlin Antle <kaitlinantle@gmail.com>

**Date** Wed 1/14/2026 2:57 PM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

**This Message Is From an Untrusted Sender**

You have not previously corresponded with this sender.

Dear Jacquelyn,

I am writing to express my support for the permit applications for the short term rentals located at 503 and 505 Corral de Tierra Road.

I am a nearby neighbor residing at 478 Corral de Tierra Road, in very close proximity to these properties. I have known the family for a long time and can confidently say they have always been responsible, professional, and respectful neighbors.

The properties are consistently well maintained, clean, and safe. There have never been issues with noise, or disruption. They are thoughtful about how the properties are managed and how they impact the surrounding area. They take pride in being good neighbors and taking care of the house their dad built and it shows.

Based on my experience living next door, I fully support the approval of both permits in compliance with the new ordinance. I believe these properties are operated in a manner that aligns with the safety, cleanliness, and community standards intended by the ordinance.

Thank you for your time and consideration.

Sincerely,

Kaitlin Antle

Sent from my iPhone



---

## Permits for 503 and 505 Corral de Tierra

---

**From** camidge@earthlink.net <camidge@earthlink.net>

**Date** Fri 10/3/2025 2:56 PM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

### **This Message Is From an External Sender**

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

Hi Jacquelyn,

I wanted to send you a quick email regarding the vacation rental permits for 503 and 505 Corral de Tierra. I am the adjoining property at 521 Corral de Tierra and I hope you consider issuing the permits to Anna. She is a great neighbor, I have been here for 20 years and have never had any problems with her. She is very communicative and supportive of the neighborhood. I feel the vacation permits she is asking for will allow more people to enjoy our little valley and I have no problems with the issuance at all. If you have any questions for me please feel free to contact me!

Thanks and have a great day!

Cam Watkins  
521 Corral de Tierra

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# County of Monterey

**Item No.5**

## Board Report

Board of Supervisors  
Chambers  
168 W. Alisal St., 1st Floor  
Salinas, CA 93901

**Legistar File Number: ZA 26-011**

**February 26, 2026**

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

### **PLN240091 - CEGLAR JUSTIN & SARAH TRS**

Public hearing to consider action on an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00505.

**Project Location:** 505 Corral de Tierra Rd, Salinas, CA 93908

**Proposed CEQA Action:** Find the project Categorically Exempt pursuant to CEQA Guidelines section 15301, and find that none of the exceptions to the exemptions listed in section 15300.2 can be made.

### RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a Resolution:

- a. Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in section 15300.2 can be made; and
- b. Approving an after-the-fact Use Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00505.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to eight conditions of approval.

### PROJECT INFORMATION

**Agent:** Anna Russell

**Property Owner:** CEGLAR JUSTIN & SARAH TRS

**APN:** 416-452-039-000

**Parcel Size:** 9.83 acres

**Split-Zoned:** Resource Conservation, 1 units per lot, 10 acre minimum with Design Control overlay and Resource Conservation, 1 units per lot, 10 acre minimum, Design Control with Visual Sensitivity overlay or "RC/10-D|RC/10-VS."

**Plan Area:** Toro Area Plan

**Flagged and Staked:** Not Applicable

**Project Planner:** Kyle Benalcazar, Assistant Planner

benalcazark@countyofmonterey.gov; 831-784-5716

SUMMARY/DISCUSSION:

The project is located at 505 Corral de Tierra Rd, a County-owned and maintained road, in the Toro Area of the unincorporated area of the County of Monterey. On April 4, 2024, the Applicant, Anna Russell, submitted an application seeking to use the existing single-family dwelling located on the parcel in a resource conservation neighborhood as a vacation rental. The existing single-family dwelling, known as the “Hacienda House” is 6,488 square feet with seven bedrooms, five bathrooms, and a kitchen. The Applicant is proposing a maximum occupancy of 10 guests overnight, 15 guests during daytime hours, and a maximum of five contractors on site at any time (three cleaning crew and two landscape crew). The property is served by a private well, which has been verified by the County of Monterey Environmental Health Bureau (EHB) to satisfy the bacteriological and acute inorganic primary drinking water standards, and the onsite septic system will be sufficient to provide sewer treatment for the dwelling. The property will retain its solid waste services to USA Waste of California, a waste management company. Presently, only one commercial vacation rental has been permitted in the Toro Area Plan under the County’s current regulations pursuant to Title 21, Section 21.64.290. If approved, the granting of this Use Permit would allow the establishment of the third permitted short-term vacation rental in the Toro Area Plan out of 173 Use Permits that may be issued at any given time, pursuant to Title 21, Section 21.64.290.F.3.d.

Based on staff’s review of the planning application materials, the property complies with all rules and regulations pertaining to zoning uses and other applicable the 2010 County of Monterey General Plan (General Plan), Toro Area Plan (TAP), Monterey County Code Title 7 Chapter 7.120 (Title 7), and the Monterey County Inland Zoning Ordinance (Title 21).

*Land Use*

The parcel is split zoned Resource Conservation, one unit per lot, 10 acre minimum with a small portion to the northwest corner of the property having a Design Control overlay and the remainder of the parcel having a Visual Sensitivity overlays or “RC/10-D|RC/10-VS.” Title 21 Section 21.36.050.JJ allows for the Commercial Vacation Rental use subject to the granting of a Use Permit. Title 21 Section 21.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer.

The parcel is located on Corral De Tierra, a Scenic Highway Corridor, and is in the Critical Viewshed in a visually sensitive area of the Toro Area Plan. However, the project also does not propose any physical changes that would have any potential to impact scenic resources: no construction, exterior alterations to structures, land alteration, or vegetation (or tree) removal are proposed.

The property complies with Title 21, Section 21.64.290.F.5 in that it has been demonstrated that the response time for County emergency services for fire and emergency medical are adequate pursuant to the requirements of the 2010 County of Monterey General Plan Safety Element PS-1.1 and Table PS-1. The subject property is within a 15-minute drive from the Monterey County Regional Fire Station 3 and a 24-minute drive from Salinas Valley Health Medical Center, which provides 24-hour emergency medical and fire response services. County Staff incorporated **Condition No. 5** to ensure that the guests are provided with information on the response time for emergency medical and fire services and that contact information for these services is provided to all guests as a part of the informational notice posted within six feet of the front door (**Exhibit A**).

Parking requirements outlined in Title 21 Sections 21.64.290.F.6 and 21.58.040 requires that a Single-Family Detached residential dwelling unit have two spaces/unit. The application includes 15 parking spaces, which exceeds the minimum requirements.

The subject property complies with the limitation on the number of Commercial Vacation Rentals per legal lot requirements of Title 21 Section 21.64.290.F.7, which only allows one Commercial Vacation Rental per legal lot of record. The subject property will be the only Commercial Vacation Rental on the legal lot of record. The owner of the subject property complies with the ownership requirements of Title 21 Section 21.64.290.F.10, wherein the owner of the subject property is only allowed to have an ownership interest in one Commercial Vacation Rental within unincorporated Monterey County. The owner of the property does not have an ownership interest in other already operating Commercial Vacation Rentals in unincorporated Monterey County, and this would be their first and only Commercial Vacation Rental in unincorporated Monterey County.

As detailed in the draft resolution (**Exhibit A**), the Applicant has provided evidence of compliance with the applicable requirements. The designated Property Manager for the Commercial Vacation Rental, Anna Russell, resides at 100 Robley Road, Salinas, CA 93908, approximately 5 miles (15 minutes) from the subject property. Ms. Russell's contact information will be provided to the guests of the property, and Ms. Russell will be available 24/7 to respond to guest or neighborhood questions or concerns, and have the ability to arrive within thirty minutes. Ms. Russell's contact information will be provided to guests as a part of the informational notice posted within six feet of the front door as required pursuant to Title 7 Section 7.120.040.L.

The property has a maximum occupancy of 10 overnight guests, 15 daytime guests, and five contractors. The proposed occupancy does not exceed the limits set forth in the California Uniform Housing Code and the requirements enumerated in Title 7 Section 7.120.070.C, which limit the maximum overnight occupancy to two persons per bedroom plus one and not counting infants (zero to 12 months), with a not to exceed total maximum overnight occupancy of 10 overnight guests, regardless of the number of bedrooms in the property.

To ensure the proposed use will not affect the residential character of the neighborhood, the following two conditions have been incorporated. Condition No. 3 has been incorporated to ensure that the property will not an event venue and Condition No. 4 to ensure that the property will remain in compliance with the regulations for Vacation Rentals in Title 7 Chapter 7.120, Title 21 section 21.64.290 and the Conditions of Approval. Additionally, the proposed Commercial Vacation Rental is subject to Monterey County's Noise Ordinance (Chapter 10.60), which prohibits loud or unreasonable noise between the hours of 9:00PM and 7:00AM. In accordance with Title 21 section 21.64.280.D.2.h, if the property is found to be in violation of the approved operations plan or conditions of approval attached to this Use Permit, the permit may be revoked for non-compliance.

#### *Violations*

On April 13, 2022, an inquiry letter from HCD-Code Compliance was sent to the property owner stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the

property into compliance. The applicant submitted a request for a Use Permit for an after-the-fact Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 21CE00505 to bring their property into compliance with the Monterey County Code on March 28, 2024. No additional complaints have been received.

CEQA:

The project qualifies as a categorical exemption from environmental review pursuant to CEQA Guidelines section 15301. This exemption applies to the operation of existing private structures, involving negligible or no expansion of an existing use. The Applicant proposes to use a residential single-family dwelling for transient lodging where the term of occupancy, possession, or tenancy of the property by the person entitled to such occupancy, possession, or tenancy for a period of 30 consecutive calendar days or fewer. This project does not propose or authorize any additional exterior development and/or expansion of the existing structure currently on the project site.

The subject property will be limited to one rental contract at any given time. All facilities, as planned and approved, have been confirmed by County agencies to be adequate for this use. Therefore, the proposed use is consistent with the CEQA Guidelines section 15301. None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. Additionally, there would be no significant effect on the environment due to unusual circumstances. Further, there is no evidence that “the cumulative impact of successive projects of the same type in the same place, over time is significant.” Additionally, an action is a “project” only when it is either “directly undertaken by any public agency,” “supported, in whole or in part” by financial or other forms of assistance from a public agency, or involves the issuance of an entitlement by a public agency (Public Resources Code, § 21065).

The County prepared a Final Environmental Impact Report (FEIR) for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR analyzed the project for environmental impacts and did not identify any significant or unavoidable impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. This commercial vacation rental does not exceed the cap on commercial vacation rentals in the Toro Area Plan. It would be the third approved commercial vacation rental in the Toro Area Plan. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

Environmental Health Bureau

Prepared by: Kyle Benalcazar, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans and Floor Plans
- Operations Plan
- Home Inspection Checklist

Exhibit B - Vicinity Map

Exhibit C - Public Comments

cc: Front Counter Copy; Environmental Health Bureau; Jacquelyn M. Nickerson, Principal Planner, Fiona Jensen, Principal Planner, Anna Russell, Property Manager; Justin and Sarah Ceglar, Owner; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN240091



# County of Monterey

Item No.5

## Zoning Administrator

Legistar File Number: ZA 26-011

February 26, 2026

**Introduced:** 2/18/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

### **PLN240091 - CEGLAR JUSTIN & SARAH TRS**

Public hearing to consider action on an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00505.

**Project Location:** 505 Corral de Tierra Rd, Salinas, CA 93908

**Proposed CEQA Action:** Find the project Categorically Exempt pursuant to CEQA Guidelines section 15301, and find that none of the exceptions to the exemptions listed in section 15300.2 can be made.

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### PROJECT INFORMATION

**Agent:** Anna Russell

**Property Owner:** CEGLAR JUSTIN & SARAH TRS

**APN:** 416-452-039-000

**Parcel Size:** 9.83 acres

**Split-Zoned:** Resource Conservation, 1 units per lot, 10 acre minimum with Design Control overlay and Resource Conservation, 1 units per lot, 10 acre minimum, Design Control with Visual Sensitivity overlay or "RC/10-D|RC/10-VS."

**Plan Area:** Toro Area Plan

**Flagged and Staked:** Not Applicable

**Project Planner:** Kyle Benalcazar, Assistant Planner

benalcazark@countyofmonterey.gov; 831-784-5716

SUMMARY/DISCUSSION:

The project is located at 505 Corral de Tierra Rd, a County-owned and maintained road, in the Toro Area of the unincorporated area of the County of Monterey. On April 4, 2024, the Applicant, Anna Russell, submitted an application seeking to use the existing single-family dwelling located on the parcel in a resource conservation neighborhood as a vacation rental. The existing single-family dwelling, known as the “Hacienda House” is 6,488 square feet with seven bedrooms, five bathrooms, and a kitchen. The Applicant is proposing a maximum occupancy of 10 guests overnight, 15 guests during daytime hours, and a maximum of five contractors on site at any time (three cleaning crew and two landscape crew). The property is served by a private well, which has been verified by the County of Monterey Environmental Health Bureau (EHB) to satisfy the bacteriological and acute inorganic primary drinking water standards, and the onsite septic system will be sufficient to provide sewer treatment for the dwelling. The property will retain its solid waste services to USA Waste of California, a waste management company. Presently, only one commercial vacation rental has been permitted in the Toro Area Plan under the County’s current regulations pursuant to Title 21, Section 21.64.290. If approved, the granting of this Use Permit would allow the establishment of the third permitted short-term vacation rental in the Toro Area Plan out of 173 Use Permits that may be issued at any given time, pursuant to Title 21, Section 21.64.290.F.3.d.

Based on staff’s review of the planning application materials, the property complies with all rules and regulations pertaining to zoning uses and other applicable the 2010 County of Monterey General Plan (General Plan), Toro Area Plan (TAP), Monterey County Code Title 7 Chapter 7.120 (Title 7), and the Monterey County Inland Zoning Ordinance (Title 21).

*Land Use*

The parcel is split zoned Resource Conservation, one unit per lot, 10 acre minimum with a small portion to the northwest corner of the property having a Design Control overlay and the remainder of the parcel having a Visual Sensitivity overlays or “RC/10-D|RC/10-VS.” Title 21 Section 21.36.050.JJ allows for the Commercial Vacation Rental use subject to the granting of a Use Permit. Title 21 Section 21.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer.

The parcel is located on Corral De Tierra, a Scenic Highway Corridor, and is in the Critical Viewshed in a visually sensitive area of the Toro Area Plan. However, the project also does not propose any physical changes that would have any potential to impact scenic resources: no construction, exterior alterations to structures, land alteration, or vegetation (or tree) removal are proposed.

The property complies with Title 21, Section 21.64.290.F.5 in that it has been demonstrated that the response time for County emergency services for fire and emergency medical are adequate pursuant to the requirements of the 2010 County of Monterey General Plan Safety Element PS-1.1 and Table PS-1. The subject property is within a 15-minute drive from the Monterey County Regional Fire Station 3 and a 24-minute drive from Salinas Valley Health Medical Center, which provides 24-hour emergency medical and fire response services. County Staff incorporated **Condition No. 5** to ensure that the guests are provided with information on the response time for emergency medical and fire services and that contact information for these services is provided to all guests as a part of the informational notice posted within six feet of the front door (**Exhibit A**).

Parking requirements outlined in Title 21 Sections 21.64.290.F.6 and 21.58.040 requires that a Single-Family Detached residential dwelling unit have two spaces/unit. The application includes 15 parking spaces, which exceeds the minimum requirements.

The subject property complies with the limitation on the number of Commercial Vacation Rentals per legal lot requirements of Title 21 Section 21.64.290.F.7, which only allows one Commercial Vacation Rental per legal lot of record. The subject property will be the only Commercial Vacation Rental on the legal lot of record. The owner of the subject property complies with the ownership requirements of Title 21 Section 21.64.290.F.10, wherein the owner of the subject property is only allowed to have an ownership interest in one Commercial Vacation Rental within unincorporated Monterey County. The owner of the property does not have an ownership interest in other already operating Commercial Vacation Rentals in unincorporated Monterey County, and this would be their first and only Commercial Vacation Rental in unincorporated Monterey County.

As detailed in the draft resolution (**Exhibit A**), the Applicant has provided evidence of compliance with the applicable requirements. The designated Property Manager for the Commercial Vacation Rental, Anna Russell, resides at 100 Robley Road, Salinas, CA 93908, approximately 5 miles (15 minutes) from the subject property. Ms. Russell's contact information will be provided to the guests of the property, and Ms. Russell will be available 24/7 to respond to guest or neighborhood questions or concerns, and have the ability to arrive within thirty minutes. Ms. Russell's contact information will be provided to guests as a part of the informational notice posted within six feet of the front door as required pursuant to Title 7 Section 7.120.040.L.

The property has a maximum occupancy of 10 overnight guests, 15 daytime guests, and five contractors. The proposed occupancy does not exceed the limits set forth in the California Uniform Housing Code and the requirements enumerated in Title 7 Section 7.120.070.C, which limit the maximum overnight occupancy to two persons per bedroom plus one and not counting infants (zero to 12 months), with a not to exceed total maximum overnight occupancy of 10 overnight guests, regardless of the number of bedrooms in the property.

To ensure the proposed use will not affect the residential character of the neighborhood, the following two conditions have been incorporated. Condition No. 3 has been incorporated to ensure that the property will not an event venue and Condition No. 4 to ensure that the property will remain in compliance with the regulations for Vacation Rentals in Title 7 Chapter 7.120, Title 21 section 21.64.290 and the Conditions of Approval. Additionally, the proposed Commercial Vacation Rental is subject to Monterey County's Noise Ordinance (Chapter 10.60), which prohibits loud or unreasonable noise between the hours of 9:00PM and 7:00AM. In accordance with Title 21 section 21.64.280.D.2.h, if the property is found to be in violation of the approved operations plan or conditions of approval attached to this Use Permit, the permit may be revoked for non-compliance.

#### *Violations*

On April 13, 2022, an inquiry letter from HCD-Code Compliance was sent to the property owner stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the

property into compliance. The applicant submitted a request for a Use Permit for an after-the-fact Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 21CE00505 to bring their property into compliance with the Monterey County Code on March 28, 2024. No additional complaints have been received.

CEQA:

The project qualifies as a categorical exemption from environmental review pursuant to CEQA Guidelines section 15301. This exemption applies to the operation of existing private structures, involving negligible or no expansion of an existing use. The Applicant proposes to use a residential single-family dwelling for transient lodging where the term of occupancy, possession, or tenancy of the property by the person entitled to such occupancy, possession, or tenancy for a period of 30 consecutive calendar days or fewer. This project does not propose or authorize any additional exterior development and/or expansion of the existing structure currently on the project site.

The subject property will be limited to one rental contract at any given time. All facilities, as planned and approved, have been confirmed by County agencies to be adequate for this use. Therefore, the proposed use is consistent with the CEQA Guidelines section 15301. None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. Additionally, there would be no significant effect on the environment due to unusual circumstances. Further, there is no evidence that “the cumulative impact of successive projects of the same type in the same place, over time is significant.” Additionally, an action is a “project” only when it is either “directly undertaken by any public agency,” “supported, in whole or in part” by financial or other forms of assistance from a public agency, or involves the issuance of an entitlement by a public agency (Public Resources Code, § 21065).

The County prepared a Final Environmental Impact Report (FEIR) for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR analyzed the project for environmental impacts and did not identify any significant or unavoidable impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. This commercial vacation rental does not exceed the cap on commercial vacation rentals in the Toro Area Plan. It would be the third approved commercial vacation rental in the Toro Area Plan. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

Environmental Health Bureau

Prepared by: Kyle Benalcazar, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans and Floor Plans
- Operations Plan
- Home Inspection Checklist

Exhibit B - Vicinity Map

Exhibit C - Public Comments

cc: Front Counter Copy; Environmental Health Bureau; Jacquelyn M. Nickerson, Principal Planner, Fiona Jensen, Principal Planner, Anna Russell, Property Manager; Justin and Sarah Ceglar, Owner; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN240091

# Exhibit A

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**CEGLAR JUSTIN & SARAH TRS (PLN240091)**

### **RESOLUTION NO. 26-**

Resolution by the County of Monterey Zoning  
Administrator:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and no exceptions under section 15300.2 apply; and
- 2) Approving an after-the-fact Use Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00505.

[PLN240091 CEGLAR JUSTIN & SARAH TRS,  
505 CORRAL DE TIERRA RD, SALINAS, CA  
93908, TORO AREA PLAN (APN: 416-452-039-  
000)]

**The CEGLAR JUSTIN & SARAH TRS application (PLN240091) came on for a public hearing before the County of Monterey Zoning Administrator on February 26, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

### **FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 2010 County of Monterey General Plan;
  - Toro Area Plan (TAP);
  - Monterey County Code Chapter 7.120; and
  - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.  
b) Project Scope. The project is located at 505 Corral de Tierra Rd, a County-maintained road, in Toro subject to the Toro Area Land Use Plan. On April 4, 2024, the applicant submitted an application seeking to use their existing single-family dwelling, known as the “Hacienda House”

located in a residentially developed neighborhood as a Commercial Vacation Rental.

- c) Allowed Use. The property is located at 505 Corral de Tierra Rd, Salinas, within the Toro Area Plan (APN: 416-452-039-000). The parcel is split zoned Resource Conservation, one unit per lot, 10 acre minimum with a small portion to the northwest corner of the property having a Design Control overlay and the remainder of the parcel having a Visual Sensitivity overlays or “RC/10-D|RC/10-VS.” The RC zoning allows the use of Residential Property as a commercial vacation rental, subject to the granting of a Use Permit pursuant to Title 21, Section 21.36.050.JJ. Therefore, the proposed use is allowable.
- d) Lot Legality. The subject property (9.83 acres in size), APN: 416-452-039-000, as shown in its current size and configuration on Document #432000034 on the Parcel Map Volume 22, Page 20. Therefore, the County recognizes the property as a legal lot of record.
- e) Land Use Advisory Committee (LUAC) Review. This project was not referred to the Toro Land Use Advisory Committee for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 15-043, this application did not warrant referral to the LUAC as it does not fall within the LUAC review guidelines.
- f) Vacation Rental Operation License. Condition No. 7 requires that the applicant obtain a Vacation Rental Operation License and provide documentation to prove that they comply with all of the requirements of the Vacation Rental Operation License pursuant to Title 7 Chapter 7.120. The subject property is required as conditioned to ensure that they always have an active Vacation Rental Operation License.
- g) Business License. Condition No. 6 requires that the applicant obtain a Business License and provide documentation to prove that they comply with all of the requirements of the Business License pursuant to Title 7 section 7.02.060. The subject property is required as conditioned to ensure that they always have an active Business License.
- h) Transient Occupancy Tax. Condition No. 8 requires that the applicant register with the County of Monterey Treasurer-Tax Collector to pay Transient Occupancy Tax pursuant to Title 5 Chapter 5.40 and must pay Transient Occupancy Tax on all applicable rent received from transient occupancy of their residential property as a commercial vacation rental. The subject property is required as conditioned to ensure payment of Transient Occupancy Tax to the County of Monterey Treasurer-Tax Collector is made pursuant to Title 5 Chapter 5.40.
- i) Adequate Emergency Response Time. Condition No. 5 requires that the applicants notify the guests of the average response time for emergency fire and medical services and the address and phone number of those services. The subject property complies with Title 21 section 21.64.290.F.5, adequate emergency response times for fire and emergency medical. The submitted Operations Plan includes contact information for County emergency services for fire and emergency medical. The property complies with adequate public facilities and services requirements pursuant to the 2010 County of Monterey General Plan Safety Element Policy PS-1.1 and Table PS-1. The subject

property is within a 15-minute drive from the Monterey County Regional Fire Station 3 and a 24-minute drive from Salinas Valley Health Medical Center, which provide 24-hour emergency medical and fire response services. Additionally, the applicant provided the property manager, Anna Russell, residing at 100 Robley Rd, Salinas, CA 93908 will be available 24/7 to respond within the 30 minutes to any concerns on the property. The subject property complies with the requirement to provide contact information for County emergency services for fire and emergency medical. The contact information is included as required in the informational signage that must be posted within six feet of the front door.

- j) Parking. Title 21 section 21.64.290.F.6 requires that commercial vacation rentals provide parking in compliance with Title 21 section 21.58.040. Title 21 section 21.58.040 establishes the minimum required parking spaces. A single-family dwelling requires two parking spaces. As proposed, the property can accommodate up to 15 total cars for occupants and employees, which exceeds the requirements of Title 21 section 21.58.040.
- k) One Commercial Vacation Rental Per Legal Lot of Record. The subject legal lot of record complies with Title 21 section 21.64.290.F.7 as this is the only Commercial Vacation Rental on the legal lot of record (APN: 416-452-039-000).
- l) Ownership Interest in One Commercial Vacation Rental in the Unincorporated Monterey County. The trustees of the legal lot of record comply with Title 21 Section 21.64.290.F.8 and do not have any ownership interest in any other Commercial Vacation Rentals in the unincorporated Monterey County. This application before the Zoning Administrator would be the first and only ownership interest the applicants would have in a Commercial Vacation Rental in the unincorporated Monterey County.
- m) Permit Expiration. Condition No. 4 applies a 7-year expiration to the granting of this Use Permit, pursuant to Title 21 Sub-Section 21.64.290.F.12.a. The purpose of this expiration is to provide adequate on-going review of the approved use of the residential property as a Commercial Vacation Rental. Prior to its expiration, the owner/applicant shall file an extension in accordance with Title 21 Section 21.74.110, which requires submittal of the request at least 30 days prior to the expiration date. The appropriate authority to consider this extension shall be the Zoning Administrator. This subsequent review will ensure: 1) the use continues to meet the standards of Title 21 and 2) an opportunity for Planning staff's review for on-going compliance with the conditions of approval.
- n) Access. The property has access through Corral de Tierra Road, a County owned and maintained public road, and therefore is not required to comply with Title 16 Chapter 16.80, which regulates private roads in Monterey County.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by HCD-Planning and HCD-Environmental Services. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240091.

**3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning and HCD-Environmental Services. The property is served by a private well, which has been verified by the County of Monterey Health Bureau Environmental Health Division to satisfy the bacteriological and acute inorganic primary drinking water standards, and the onsite septic system will be sufficient to provide sewer treatment for the dwelling. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary infrastructure is in place to serve the use, as discussed in subsequent Evidence “c” through “f”.
  - c) The property has road access to Corral De Tierra Rd Road, a County owned and maintained public road.
  - d) The residence is connected to an existing Onsite Wastewater Treatment System (OWTS). A performance evaluation on the OWTS was provided to Environmental Health Bureau (EHB) and was subsequently deemed complete on September 9, 2025. Based on the evidence provided, EHB found that the OWTS was in good working order and functioning properly and that the system was installed in the form and manner as required by the County on June 4, 2024, satisfying the requirements of Title 21 section 21.64.290.F.8-9.
  - e) Solid waste (garbage) collection service is and will continue to be provided by USA Waste of California.
  - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240091.

**4. FINDING: VIOLATIONS** – The subject property is not in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is aware of one current violation existing on the subject property for a commercial vacation rental (Code Enforcement Case 21CE00505). On April 13, 2022, an inquiry letter from HCD-Code

Compliance was sent to the property owner stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the property into compliance. The applicant submitted a request for a Use Permit for an after-the-fact Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 21CE00505 to bring their property into compliance with the Monterey County Code on March 29, 2024. No additional complaints have been received.

- b) The violation (Code Enforcement No. 21CE00505) will be abated upon granting of this permit and brings the subject property into compliance.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240091.

- 5. FINDING:** **CEQA (Exempt)** – The project qualifies for a Class 1 categorical exemption pursuant to CEQA Guidelines section 15301 and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301, categorically exempts the leasing of existing private structures, involving negligible or no expansion of existing or former use.
  - b) The project proposed to allow the use of an existing residential property for transient lodging for a period of 30 calendar days or fewer. The project would not expand the residence, nor would it allow any additional occupancy beyond what is allowed for the existing residence. Therefore, the project fits the criteria of the exemption.
  - c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project, as discussed in subsequent Evidence “d” through “i”.
  - d) Class 1 exemptions do not qualify for an exception based on location.
  - e) The County’s regulatory process of Use Permits for the use of an existing residential property for transient lodging allows the County to regulate such uses in a way that would prevent adverse cumulative impacts to the surrounding environment. Consistent with the Findings and Purpose in Monterey County Ordinance Number 5422 section 1.F, the requirement for a Use Permit for commercial vacation rental activities ensures that the impact of such leasing activities can be appropriately evaluated.

The County prepared a Final Environmental Impact Report (FEIR) for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR analyzed the project for environmental impacts and did not identify any significant or unavoidable impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. This commercial vacation rental does not exceed the cap on commercial vacation rentals in the Toro Area Plan. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation

rentals remain compatible with existing residential uses and limits such as nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impact.

Further, Title 21 section 21.64.290 establishes caps on the maximum amount of Use Permits for commercial vacation rentals to ensure that the potential cumulative effects of commercial vacation rentals are minimized. The granting of Use Permit would allow the establishment of the 3<sup>rd</sup> permitted vacation rental in the Toro Area Plan out of a maximum of 173 Use Permits that may be issued at any given time pursuant to Title 21 Section 21.64.290.F.3.b. The project is consistent with all the criteria in Title 21 section 21.64.290 and, therefore, would not contribute to a cumulative effect.

- f) There are no unusual circumstances related to the project that would create the reasonable possibility of a significant effect.
- g) The parcel is located on Corral De Tierra, a Scenic Highway Corridor, and is in the Critical Viewshed in a visually sensitive area of the Toro Area Plan. However, the project also does not propose any physical changes that would have any potential to impact scenic resources: no construction, exterior alterations to structures, land alteration, or vegetation (or tree) removal are proposed.
- h) The project is not located on a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government Code.
- i) The project would not damage any historical resources.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240091.

- 6. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** a) Planning Commission. Pursuant to Title 21 section 21.80.040.B, an appeal of the Zoning Administrator’s decision for this project may be made to the Planning Commission by any public agency or person aggrieved by their decision.

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project, allowing the use of an existing residential property for transient lodging, qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301, and no exceptions under section 15300.2 apply; and
- 2) Approving an after-the-fact Use Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00505.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions, which are incorporated herein for reference.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of February, 2026.

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### NOTES

1. This permit does not authorize any development and only authorizes the use of the residential property as transient lodging.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240091

### 1. PD001(B) - SPECIFIC COMMERCIAL VACATION RENTAL USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This After-the-fact Use Permit (PLN240091) for a Commercial Vacation Rental that allows the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 21CE00505. This property is located at 505 Corral de Tierra Rd, Salinas (Assessor's Parcel Number 416-452-039-000), Toro Area Plan. This rental allows an unlimited number of transient lodging rentals of up to 30 calendar days per 12-month period. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD. Any use not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (HCD - Planning).

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Use Permit for an after-the-fact Commercial Vacation Rental (Resolution Number \_\_\_\_\_) was approved by Zoning Administrator for Assessor's Parcel Number 416-452-039-000 on February 26, 2026. The permit was granted subject to eight conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD008 - NO EVENTS ALLOWED

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 21 Section 21.64.290.A, to protect the residential character of the neighborhood on an ongoing basis, the property shall be rented for only transient residential-related use. The property shall not be rented to either transient or short-term occupants for the purpose of holding a corporate or private event unless the County approves a separate entitlement to allow such events on the property. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** On an on-going basis, the property shall only be rented for transient residential-related use.

### 4. PD009 - PERMIT LIMITATION OF THE USE OF THE RESIDENTIAL PROPERTY AS A COMMERCIAL VACATION RENTAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This permit shall be valid for 7 years from the date of permit approval which is February 26, 2026, unless an extension is filed with County of Monterey HCD – Planning at least 30 days prior to the expiration of the permit. Approval of this Use Permit is limited to 7 years to provide an adequate, on-going review of the approved use of the Residential Property as a Commercial Vacation Rental.

The owner/operator shall file an application for extension of the permit in accordance with the Monterey County Code Title 21 Sections 21.74.110 and 21.64.290.F.12.b.

**Compliance or Monitoring Action to be Performed:** The applicant shall commence and operate the authorized use in accordance with County codes and State regulations and to the satisfaction of the HCD-Chief of Planning. Any request for a Use Permit extension must be received by HCD-Planning at least 30 days prior to the expiration date.

### 5. PD010 - SIGNAGE FOR ADEQUATE EMERGENCY RESPONSE TIME

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** To protect the occupants of the Commercial Vacation Rental, applicants must demonstrate and post in the Informational Interior Signage that the response times for County emergency services for fire and emergency medical will be adequate pursuant to the 2010 County of Monterey General Plan Safety Element Policy PS-1.1 and Table PS-1. (Monterey County Code Title 21 Section 21.64.290.F.5).

**Compliance or Monitoring Action to be Performed:** On an on-going basis the applicant shall notify occupants of the Commercial Vacation Rental of the average response time for emergency fire and medical services and describe the onsite fire protection systems. This information shall be provided to all occupants in the Informational Interior Signage and shall satisfy all requirements pursuant to Monterey County Code Title 7 Section 7.120.040.L.

## 6. PD018 - BUSINESS LICENSE REGISTRATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.02.060.C, Owner/Operator is required to obtain a business license from the County of Monterey Treasurer-Tax Collector. This business license shall be active and renewed annually for the term of this Use Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on an annual basis, the Owner/Operator shall provide proof that the property has been registered with the Monterey County Treasurer-Tax Collector.

## 7. PD031 - VACATION RENTAL OPERATION LICENSE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Chapter 7.120, applicants are required to obtain a Vacation Rental Operation License from the County of Monterey HCD. This Vacation Rental Operation License shall be active and renewed annually for the term of this Use Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use, HCD will issue the applicant a Vacation Rental Operation License.

## 8. PD053 - TOT REGISTRATION

**Responsible Department:** Planning

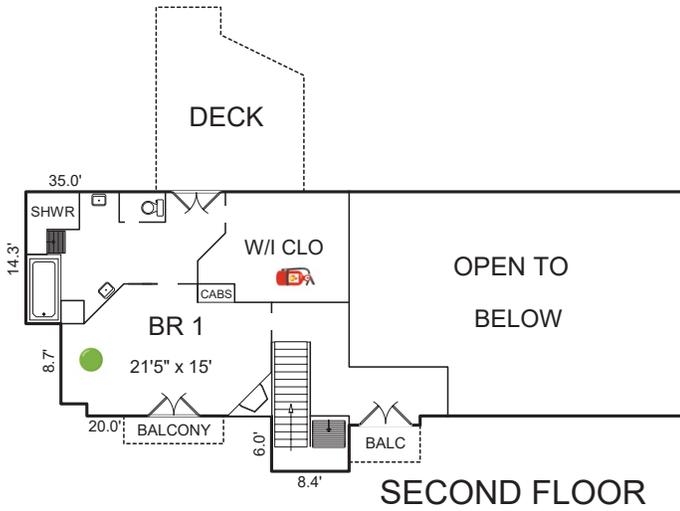
**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.120.040.C, Owner/Operator is required to register for Transient Occupancy Tax (TOT) with the County of Monterey Treasurer Tax Collector. The applicant's Transient Occupancy Tax Certificate shall be active for the term of this Use Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on a quarterly basis, the Owner/Operator shall pay Transient Occupancy Tax to the Monterey County Treasurer-Tax Collector pursuant to Monterey County Code Title 5 Chapter 5.40.

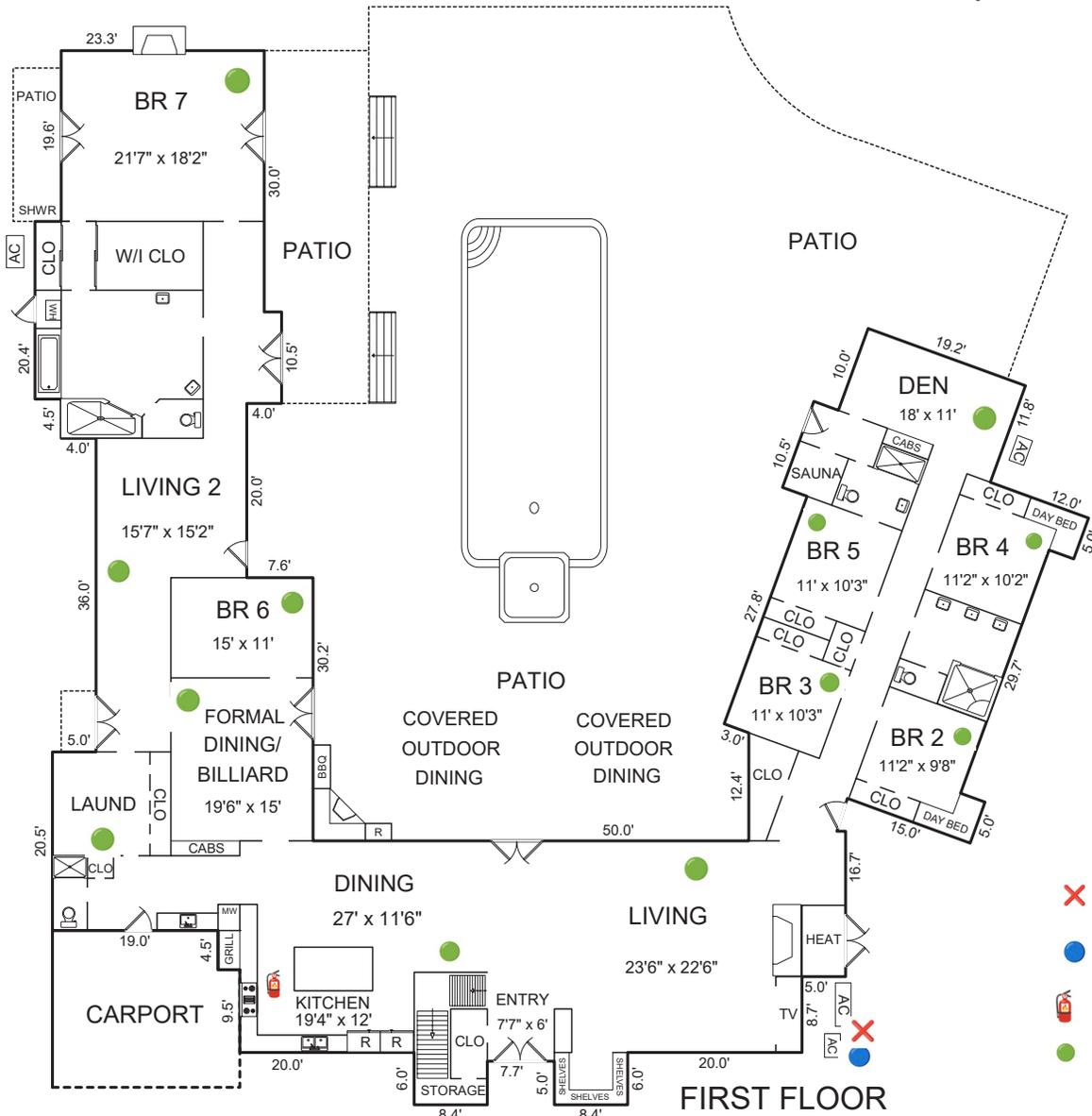
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# HACIENDA HOUSE

## 505 CORRAL DE TIERRA ROAD, SALINAS, CA 93908



| AREA CALCULATIONS<br>(approximate) |                |
|------------------------------------|----------------|
| First Floor:                       | 5,649sf        |
| Second Floor:                      | 839            |
| <b>Net Livable Area:</b>           | <b>6,488sf</b> |
|                                    |                |
| Carport:                           | 376            |
| Patio:                             | 6,073          |
| Patio:                             | 97             |
| Deck:                              | 273            |
| Balcony:                           | 32             |
| Balcony:                           | 31             |



- ✘ Electric shut off
- Water shut off valve
- 🔥 Fire extinguisher
- Smoke and Carbon Monoxide Detector

# SITE PLAN

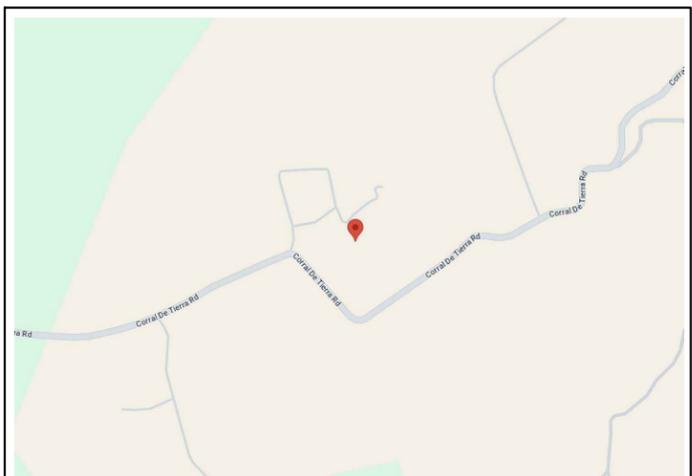
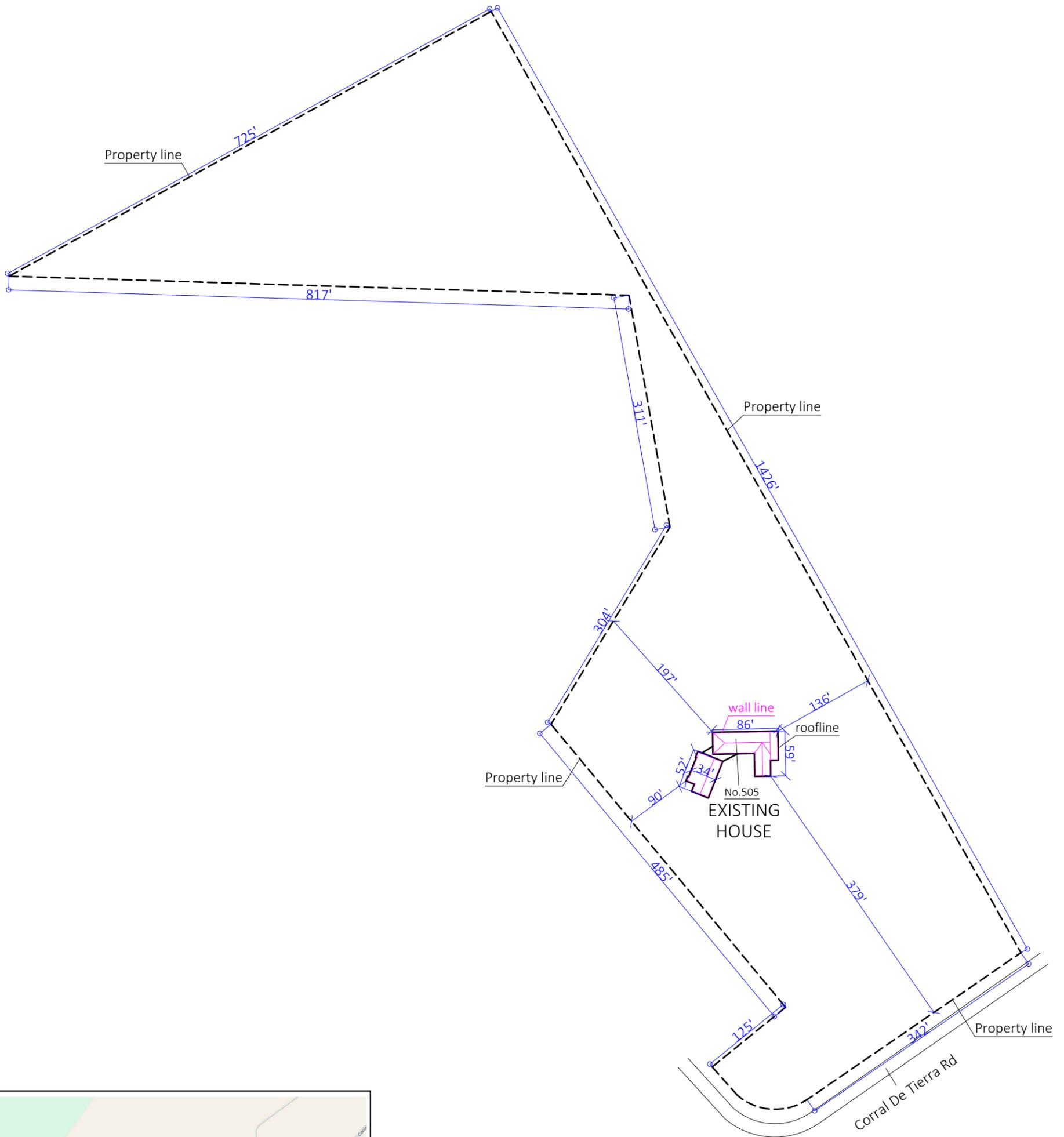
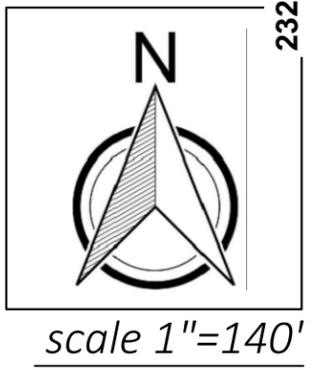
505 Corral De Tierra Rd

Salinas, CA 93908

Parcel ID: 416-452-040-000

Lot area: 10 Acres

Paper Size: 11"x17"



VICINITY MAP



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# **505 Corral de Tierra Rd, Salinas** **Transient Use Operation Plan**

## **Host Contact/Address**

Anna: 831.229.2105 – [arussell@detierra.com](mailto:arussell@detierra.com)  
100 Robley Rd Salinas Ca 93908

## **Booking Rules**

- 1.) Length of Stay must be between 1-30 days.
- 2.) Rental Contracts shall be only 1 at a time. Meaning, only one group can book property during any period of time.
- 3.) Rental shall be booked no more than 200 days per year. Average booking days will likely be between 100-150 days per year.
- 4.) This rental is designed as a guest only property, meaning no one besides the contracted group will be staying on site at the time of rental.
- 5.) The Maximum number of guests per contract would be 10 guests. This number includes all guests older than 2 years old. This is in accordance with the minimum space requirements as specified in the California Uniform Housing Code.
- 6.) No events, no additional guests, no amplified music, no parking on the street, and no outdoor fires are allowed.
- 7.) Renters in breach of any of these rules or those listed above will be immediately evicted.

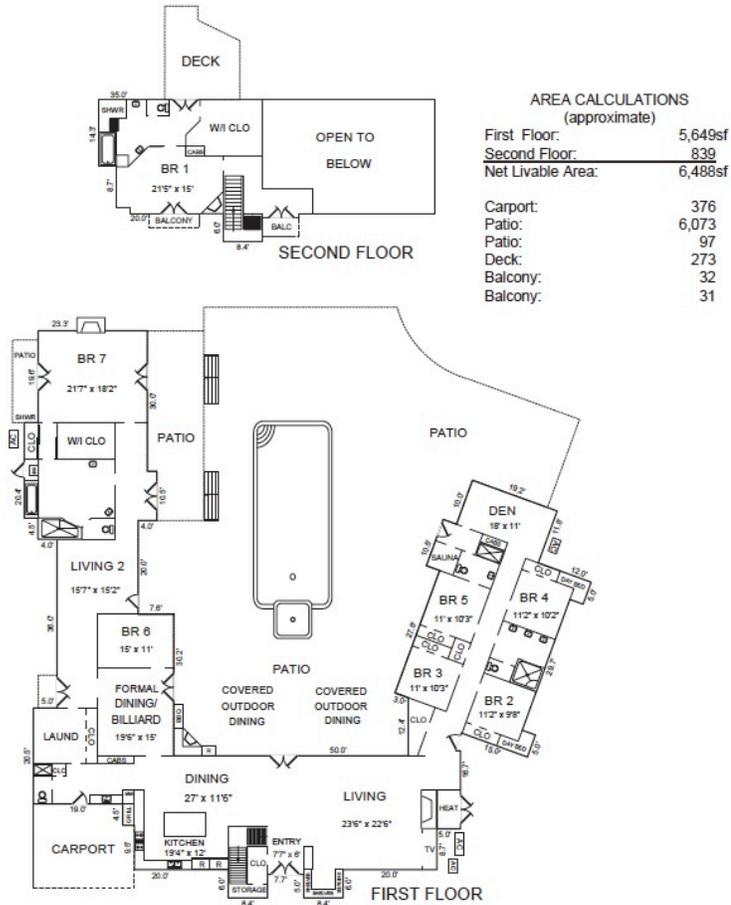
This info will be in 2 binders in kitchen and living room.

## **Additional Checklist Info Required**

- 8.) The maximum number of contractors on site at any time would be 5 (3 cleaning crew and 2 landscape crew).
- 9.) The property will be advertised on Airbnb, and possibly VRBO in the future.
- 10.) There will be NO on-site advertising.

## Occupancy Limits

HACIENDA HOUSE  
505 CORRAL DE TIERRA ROAD, SALINAS, CA 93908



BR1 - 2 people  
BR2 - 2 people  
BR3 - 2 people  
BR4 - 2 people  
BR5 - 2 people  
BR6 - not used  
BR7- not used

## Contractors

This property would use the following contractors: Patricio's Cleaning Service (after each stay). This property will be self-managed by Anna Russell. Other contractors are only on site for repairs on a case by case basis.

### **Emergency Plan**

Guests will be given security information on a laminated form in the house, as well as within all online listings. There will be two fire extinguishers in the home (in the upstairs bedroom and downstairs kitchen). The information on water shut off (On the front side of the house) will be on this placard as well. Evacuation plan will be to use the driveway and whichever direction of Corral de Tierra Road is unobstructed. We will provide a laminated map demonstrating the routes and the location of the nearest fire station (Laureles Grade Station). We will also include local emergency numbers (9-1-1, Poison Control, Animal Control, MoGO clinic, and Emergency Room).

### **Emergency Numbers**

**9-1-1** Please call **9-1-1** if there is a life-threatening emergency and provide the address: 503 Corral de Tierra Rd.

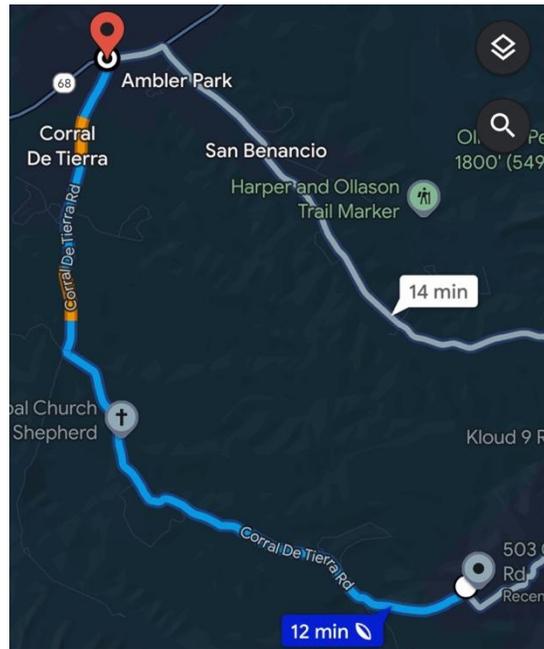
**Poison Control:** Please call **1-800-222-1222** with any questions regarding substances or exposure to chemicals/poison.

**MOGO Urgent Care Clinic:** Please call **831-622-6932** to schedule urgent care visits at our local MoGo Clinic.

**CHOMP (Hospital):** Community Hospital of the Monterey Bay is the closest hospital with emergency room, please call **9-1-1** if you have an emergency

**Laureles Grade Fire Station:** Please call **831-484-1197** for non-emergency fire station inquiries.

## Evacuation Map



## Parking Plan

There is space for 15+ vehicles at the house due to the paved courtyard. There is no space to park on the road due to its rural, narrow nature. Street parking is expressly prohibited and will be stated as such in listing and inside the home (in a picture frame by the door). We will not be allowing vehicles to park anywhere but the spots designated. We will share this information in the Airbnb Listing, in our check in emails, and we will place signs to designate this in the home. The map below shows the car parking.



### **Noise Plan**

We will provide information regarding quiet hours to all guests and prospective guests. We will not allow any “day guests” on site, and no amplified music outside. We will state that quiet hours are 9 pm until 9 am so they are aware of the restrictions.

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# HOUSING AND COMMUNITY DEVELOPMENT

Announcements

Development Services

Planning Services

Permit Center

GIS / Maps

About Us



## Vacation Rental Home Inspection Checklist

### Property Information

- Have your Vacation Rental Operation Application number ready.
- Vacation Rental Address and Unit/Suite/Apt # **505 Corral de Tierra Rd Salinas CA 93908**
- Total number of bedrooms **5**
- Total number of onsite parking spaces (e.g. garage, driveway) **20**

### Interior Inspection

- Beds are located in approved Bedrooms, in compliance with the Building Code at the time of construction, with appropriate ingress and egress.
- Every sleeping room has a functional smoke alarm.
- Every hallway with a sleeping room has a functional smoke alarm. Every floor has a functional carbon monoxide alarm.
- All built-in kitchen appliances operate properly and space for food storage, preparation, and serving are in good and safe condition. All electrical outlets in kitchen and bathrooms are Ground Fault Circuit Interrupter (GFCI) protected.
- Water heater is properly strapped, adequately vented, and temperature and pressure relief valves are drained to outside.
- Other heating equipment is in safe operating condition and placed in an approved location..
- There is at least one readily accessible class A fire extinguisher located in the home that has been serviced annually by a certified fire extinguisher company.
- The building conforms to the applicable state building and fire codes at the time the building was constructed.

### Exterior Inspection

- There is no evidence of infestation, garbage, and debris at the site.
- The property has active garbage pick-up service.
- If a garage is present, it is only used as a garage and only non-combustible flooring exists. Driveway, if present, is open and accessible to vehicles.
- Property is in an overall safe and sanitary condition.
- Water heater is properly strapped, adequately vented, and temperature and valves are drained to outside. Other heating equipment is in safe operating condition and placed in an approved location.

### Home Inspection Results

- Passed
- Failed

### Remarks/Observations:

Home Inspector Certification

Under penalty of perjury, the undersigned certifies that the information on this form is based on an actual site inspection of the property and is complete and accurate.

Home Inspector or General Contractor Name & Acknowledgement

*Ethan Hare* Ethan Hare

Have Const ruction  
Lic. # 883990

License/Certification # (for Contracts certified by the California Contractors State License Board, the certification must be a License Classification Type B, B-2, or C-47):

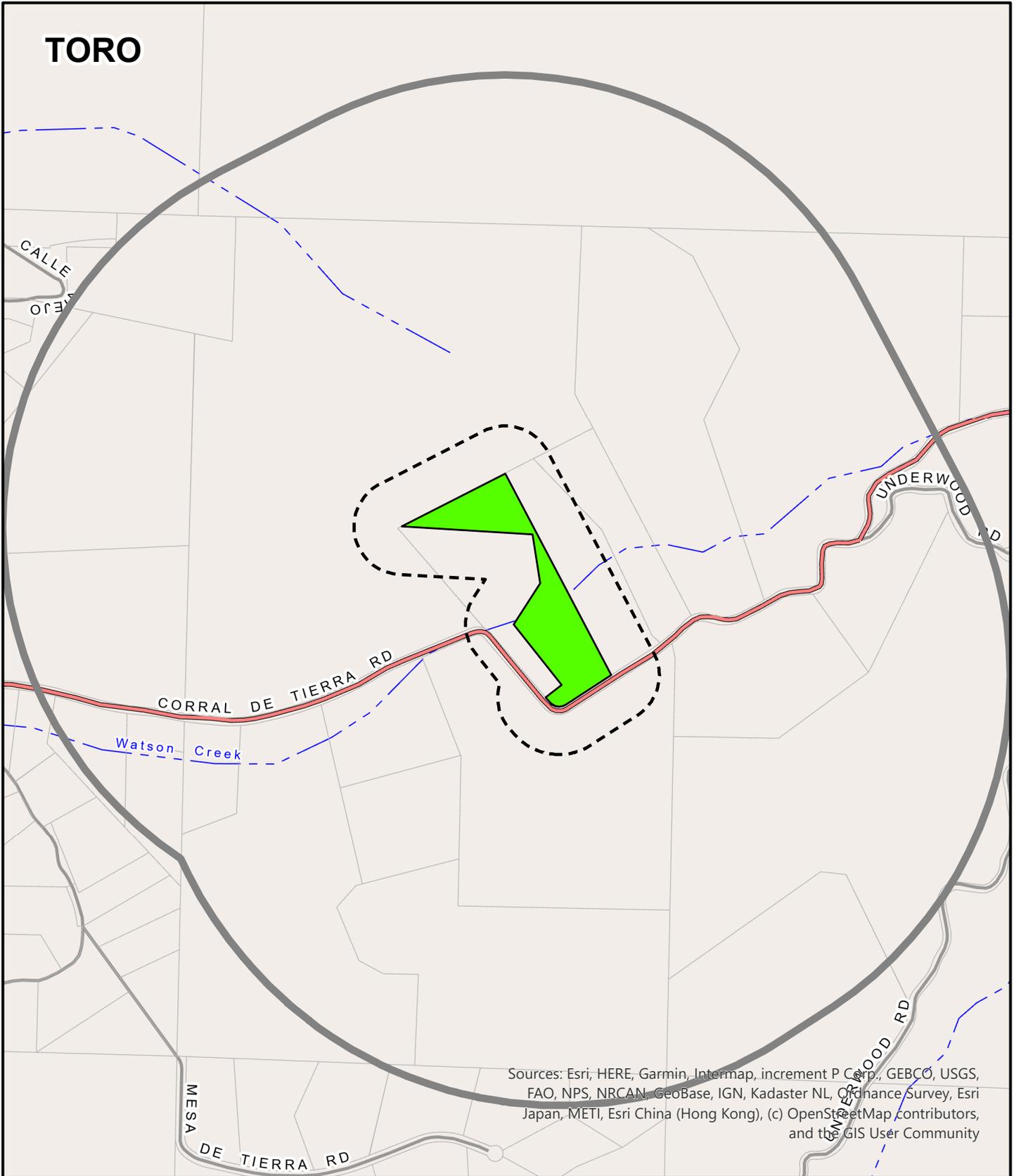
Date  
10 / 30 / 24

Click 'Print' at the top of this page and save as a PDF.

# Exhibit B

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# TORO



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

**APPLICANT:** ANNA RUSSELL

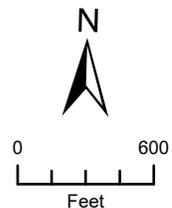
**APN:** 416452039000

**FILE #** PLN240091

 Project Site

 300 FT Buffer

 2500 FT Buffer



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# Exhibit C

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## 503 and 505 Corral de Tierra

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**From** Justin Farr <farrwestlivestock@gmail.com>

**Date** Thu 1/15/2026 6:00 AM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

### **This Message Is From an Untrusted Sender**

You have not previously corresponded with this sender.

Good morning,

My name is Justin Farr, I live in Corral de Tierra down the road from the Russel's properties at 505 and 503. Myself and my family are in favor of them vacation rentals at these locations. They are very conscious of the neighbors and do a fine job of managing.

Thanks,

Justin Farr  
831-595-9327



---

**503 corral de tierra road**

---

**From** Christine Handel <chandel@carmelrealtycompany.com>

**Date** Wed 1/14/2026 2:50 PM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

**This Message Is From an External Sender**

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

To Whom It May Concern,

I am writing in support of the commercial vacation rental permit applications for **503 Corral de Tierra Road (owned by Carol Russell)** and **505 Corral de Tierra Road (owned by Sarah Ceglar et al.)**. Both properties are well suited for responsible, professionally managed vacation rental use and are compatible with the surrounding area. When operated in compliance with County regulations, they support local tourism and businesses while maintaining neighborhood character. The owners have demonstrated a commitment to proper management and maintenance requirements, and I believe these applications represent a reasonable and appropriate use of the properties.

Thank you,

Christine Handel



---

**505 Corral De Tierra Rd. / 505 De Tierra Events**

---

**From** barngig@redshift.com <barngig@redshift.com>

**Date** Mon 10/6/2025 11:02 AM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

**This Message Is From an External Sender**

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

Hello,

My name is Giga Cullen. Anna Russell and I have been neighbors for over 15 years. She and her family living at 505 Corral de Tierra and I live and care take the ranch at 500 Corral de Tierra Rd. for Tom Church (across the street).

Over the years De Tierra Vineyards has evolved becoming a very beautiful place. Anna is professional and takes great pride in keeping the place in tip top shape for the perspective clients and the neighbors as well.

It is nice to see people come and appreciate it and the beauty this area offers.

Thank you for your time, Giga Cullen



---

**Permit Support**

---

**From** Kaitlin Antle <kaitlinantle@gmail.com>

**Date** Wed 1/14/2026 2:57 PM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

**This Message Is From an Untrusted Sender**

You have not previously corresponded with this sender.

Dear Jacquelyn,

I am writing to express my support for the permit applications for the short term rentals located at 503 and 505 Corral de Tierra Road.

I am a nearby neighbor residing at 478 Corral de Tierra Road, in very close proximity to these properties. I have known the family for a long time and can confidently say they have always been responsible, professional, and respectful neighbors.

The properties are consistently well maintained, clean, and safe. There have never been issues with noise, or disruption. They are thoughtful about how the properties are managed and how they impact the surrounding area. They take pride in being good neighbors and taking care of the house their dad built and it shows.

Based on my experience living next door, I fully support the approval of both permits in compliance with the new ordinance. I believe these properties are operated in a manner that aligns with the safety, cleanliness, and community standards intended by the ordinance.

Thank you for your time and consideration.

Sincerely,

Kaitlin Antle

Sent from my iPhone



---

## Permits for 503 and 505 Corral de Tierra

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**From** camidge@earthlink.net <camidge@earthlink.net>

**Date** Fri 10/3/2025 2:56 PM

**To** Nickerson, Jacquelyn <NickersonJ@countyofmonterey.gov>

---

### **This Message Is From an External Sender**

[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe.]

Hi Jacquelyn,

I wanted to send you a quick email regarding the vacation rental permits for 503 and 505 Corral de Tierra. I am the adjoining property at 521 Corral de Tierra and I hope you consider issuing the permits to Anna. She is a great neighbor, I have been here for 20 years and have never had any problems with her. She is very communicative and supportive of the neighborhood. I feel the vacation permits she is asking for will allow more people to enjoy our little valley and I have no problems with the issuance at all. If you have any questions for me please feel free to contact me!

Thanks and have a great day!

Cam Watkins  
521 Corral de Tierra

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# County of Monterey

## Item No.6

### Board Report

Board of Supervisors  
Chambers  
168 W. Alisal St., 1st Floor  
Salinas, CA 93901

Legistar File Number: ZA 26-010

February 26, 2026

**Introduced:** 2/17/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

#### **PLN250321 - CHOUINARD JOSEPH L & LEON CARMEN E TRS**

Public hearing to consider action on an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 22CE00333.

**Project Location:** 24576 Portola Road, Carmel

**Proposed CEQA Action:** Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

#### RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a Resolution:

- a. Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made; and
- b. Approving an after-the-fact Coastal Development Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 22CE00333.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 8 conditions of approval.

#### PROJECT INFORMATION

**Agent:** Joseph Chouinard

**Property Owner:** Joseph L & Leon Carmen E Chouinard Trs

**APN:** 009-093-002-000

**Parcel Size:** 0.1 acres

**Zoning:** Medium Density Residential with a maximum Density of 2 units per acre and a Design Control overlay in the Coastal Zone or "MDR/2-D(CZ)"

**Plan Area:** Carmel Area Land Use Plan

**Flagged and Staked:** Not Applicable

**Project Planner:** Jade Mason, Assistant Planner

masonj@countyofmonterey.gov; 831-755-3759

#### SUMMARY:

The project is located at 24576 Portola Road, a County maintained road, in Carmel. On November 17, 2025, the agent submitted an application seeking to use their existing single-family dwelling located in a residentially developed neighborhood as a Commercial Vacation Rental. The County did not have

regulations for vacation rentals in the Coastal Zone at that time. As of December 23, 2025, the Coastal Vacation Rentals for the County became effective. The application materials were deemed complete on February 2, 2026.

The site is developed with an existing 1,711 square foot single-family dwelling with three bedrooms, two and a half bathrooms, and a kitchen. The agent is proposing that the residence be occupied by a maximum of 7 people overnight and 11 people during daytime hours at the property at a time. The property will retain its domestic water connections to California American Water, a public water provider, and Carmel Area Wastewater District will continue to provide sewer service. The property will retain its solid waste services to Waste Management, a waste management company. If approved, the granting of this Coastal Development Permit would allow the establishment of the 2nd permitted vacation rental in the Carmel Area Land Use Plan out of 218 Coastal Development Permits permitted pursuant to Title 20 Section 20.64.290.F.3.b.

DISCUSSION:

Based on staff's analysis, the proposed project is consistent with the policies and regulations pertaining to zoning uses and any other applicable provisions of the 1982 County of Monterey General Plan (General Plan), Carmel Area Land Use Plan (CAR LUP), Carmel Area Coastal Implementation Plan (CIP), Monterey County Code Title 7 Chapter 7.120, Monterey County Code Chapter 16.80, and the Monterey County Coastal Zoning Ordinance (Title 20).

*Land Use*

The parcel is zoned Medium Density Residential with a maximum Density of 2 units per acre and a Design Control overlay in the Coastal Zone or "MDR/2-D(CZ)". Title 20 Section 20.12.050.DD allows for the Commercial Vacation Rental use, subject to the granting of a Coastal Development Permit. Title 20 Section 20.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer.

The property complies with Title 20 Section 20.64.290.F.5 in that it has been demonstrated that the response time for County emergency services for fire and emergency medical services is adequate. Adequate is defined as 5-8 minutes within Community Areas, Community Plans, and Sphere of Influence, 12 minutes within Rural centers, and 45 minutes for all other areas. The subject property falls within the Sphere of Influence for the City of Carmel-By-The-Sea; therefore, it is subject to the 5-8 minute response time for County emergency services. Cypress Fire Protection District is 8 minutes away, and the Community Hospital of the Monterey Peninsula is 5 minutes away, which provides 24-hour emergency medical and fire response services for structural coverage. Staff incorporated Condition No. 5 to ensure that the guests are provided with information on the response time for emergency medical and fire services and that contact information for these services is provided to all guests as a part of the informational notice posted within six feet of the front door (**Exhibit A**).

Parking requirements outlined in Title 20 Sections 20.64.290.F.6 and 20.58.040 require that a Single-Family Detached residential dwelling unit have 2 spaces/unit, which this application complies with as illustrated in the attached plans.

The subject property complies with the limitation on the number of Commercial Vacation Rentals per legal lot requirements of Title 20 Section 20.64.290.F.7, which allows one Commercial Vacation Rental per legal lot of record. The subject property will be the only Commercial Vacation Rental on the legal lot of record. The owner of the subject property complies with the ownership requirements of Title 20 Section 20.64.290.F.10, wherein the owner of the subject property is allowed to have an ownership interest in one Commercial Vacation Rental within unincorporated Monterey County. The owners of the property do not have an ownership interest in other already operating Commercial Vacation Rentals in unincorporated Monterey County, and this would be their first and only Commercial Vacation Rental in unincorporated Monterey County.

As detailed in the draft resolution (**Exhibit A**), the Applicant/Owner has provided evidence of compliance with the applicable requirements. The designated Property Manager for the Commercial Vacation Rental, Coast Estate, resides at 400 Camino Aguajito, Monterey, CA 93940, approximately 7 minutes away (3.6-mile drive) from the subject property. Coast Estate's contact information will be provided to the guests of the property and will be available 24/7 to respond to guest or neighborhood questions or concerns, and has the ability to arrive within thirty minutes. This contact information will be provided to guests as a part of the informational notice posted within six feet of the front door as required pursuant to Title 7 Section 7.120.040.L.

The property has a maximum occupancy of 7 overnight guests and 11 daytime guests. The proposed occupancy does not exceed the limits set forth in the California Uniform Housing Code and the requirements enumerated in Title 7 Section 7.120.070.C, which limit the maximum overnight occupancy to two persons per bedroom plus one and not counting infants (zero to twelve months), with a not to exceed total maximum overnight occupancy of 10 overnight guests, regardless of the number of bedrooms in the property. Title 7 Section 7.120.070.C also limits the maximum daytime occupancy of occupants and visitors to not exceed a count of 1.5 times the maximum overnight occupancy and shall not exceed a total count of 15 persons per unit, no matter how many bedrooms.

To ensure the proposed use will not affect the residential character of the neighborhood, the following two conditions have been incorporated. Condition No. 3 has been incorporated to ensure that the property will not be an event venue, and Condition No. 4 to ensure that the property will remain in compliance with the regulations for Vacation Rentals in Title 7 Chapter 7.120, Title 20 section 20.64.290, and the Conditions of Approval. Additionally, the proposed Commercial Vacation Rental is subject to Monterey County's Noise Ordinance (Chapter 10.60), which prohibits loud or unreasonable noise between the hours of 9:00PM and 7:00AM. In accordance with Title 20 section 20.70.060, if the property is found to be in violation of the approved operations plan or conditions of approval attached to this Coastal Development Permit, the permit may be revoked for non-compliance.

#### *Access*

The property is accessed through Portola Road, a County maintained, public road, and therefore is not subject to Title 16 Chapter 16.80, which regulates private roads in Monterey County pursuant to Title 20 Section 20.64.290.F.4. The road accessing the subject property is not subject to a private road agreement or a private road maintenance. No comments or objections have been received, and no further documentation or conditions are required of the applicant.

*Violations*

On September 1, 2022, an HCD-Code Compliance case was opened and a file was created stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the property into compliance. The applicant submitted a request for a Use Permit for an after-the-fact Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 22CE00333 to bring their property into compliance with the Monterey County Code on November 17, 2025. No additional complaints have been received.

CEQA:

The project qualifies as a categorical exemption from environmental review pursuant to CEQA Guidelines section 15301. This exemption applies to the operation of existing private structures, involving negligible or no expansion of an existing use. The Applicant/Owner proposes to use a residential single-family dwelling for transient lodging where the term of occupancy, possession, or tenancy of the property by the person entitled to such occupancy, possession, or tenancy for a period of 30 consecutive calendar days or fewer. This project does not propose or authorize any additional exterior development and/or expansion of the existing structure currently on the project site.

The subject property will be limited to one rental contract at any given time. All facilities, as planned and approved, have been confirmed by County agencies to be adequate for this use. Therefore, the proposed use is consistent with the CEQA Guidelines Section 15301. None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. Additionally, there will be no significant effect on the environment due to unusual circumstances. Further, there is no evidence that “the cumulative impact of successive projects of the same type in the same place, over time is significant.” Additionally, an action is a “project” only when it is either “directly undertaken by any public agency,” “supported, in whole or in part” by financial or other forms of assistance from a public agency, or involves the issuance of an entitlement by a public agency (Public Resources Code, § 21065).

The County prepared a FEIR for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR did not identify any significant impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. This Commercial Vacation Rental does not exceed the cap on Commercial Vacation Rentals in the Carmel Area Land Use Plan as it would be the 2nd Commercial Vacation Rental in this area. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Planning

Prepared by: Jade Mason, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans and Floor Plans
- Home Inspection Checklist

Exhibit B - Vicinity Map

cc: Front Counter Copy; HCD-Planning; Jade Mason, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Joseph L & Leon Carmen E Chouinard Trs, Property Owners; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250321.



## Zoning Administrator

Legistar File Number: ZA 26-010

February 26, 2026

**Introduced:** 2/17/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

### **PLN250321 - CHOUINARD JOSEPH L & LEON CARMEN E TRS**

Public hearing to consider action on an after-the-fact Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 22CE00333.

**Project Location:** 24576 Portola Road, Carmel

**Proposed CEQA Action:** Find the project Categorically Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

### RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a Resolution:

- a. Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made; and
- b. Approving an after-the-fact Coastal Development Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 22CE00333.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 8 conditions of approval.

### PROJECT INFORMATION

**Agent:** Joseph Chouinard

**Property Owner:** Joseph L & Leon Carmen E Chouinard Trs

**APN:** 009-093-002-000

**Parcel Size:** 0.1 acres

**Zoning:** Medium Density Residential with a maximum Density of 2 units per acre and a Design Control overlay in the Coastal Zone or "MDR/2-D(CZ)"

**Plan Area:** Carmel Area Land Use Plan

**Flagged and Staked:** Not Applicable

**Project Planner:** Jade Mason, Assistant Planner

masonj@countyofmonterey.gov; 831-755-3759

### SUMMARY:

The project is located at 24576 Portola Road, a County maintained road, in Carmel. On November 17, 2025, the agent submitted an application seeking to use their existing single-family dwelling located in a residentially developed neighborhood as a Commercial Vacation Rental. The County did not have

regulations for vacation rentals in the Coastal Zone at that time. As of December 23, 2025, the Coastal Vacation Rentals for the County became effective. The application materials were deemed complete on February 2, 2026.

The site is developed with an existing 1,711 square foot single-family dwelling with three bedrooms, two and a half bathrooms, and a kitchen. The agent is proposing that the residence be occupied by a maximum of 7 people overnight and 11 people during daytime hours at the property at a time. The property will retain its domestic water connections to California American Water, a public water provider, and Carmel Area Wastewater District will continue to provide sewer service. The property will retain its solid waste services to Waste Management, a waste management company. If approved, the granting of this Coastal Development Permit would allow the establishment of the 2nd permitted vacation rental in the Carmel Area Land Use Plan out of 218 Coastal Development Permits permitted pursuant to Title 20 Section 20.64.290.F.3.b.

DISCUSSION:

Based on staff's analysis, the proposed project is consistent with the policies and regulations pertaining to zoning uses and any other applicable provisions of the 1982 County of Monterey General Plan (General Plan), Carmel Area Land Use Plan (CAR LUP), Carmel Area Coastal Implementation Plan (CIP), Monterey County Code Title 7 Chapter 7.120, Monterey County Code Chapter 16.80, and the Monterey County Coastal Zoning Ordinance (Title 20).

*Land Use*

The parcel is zoned Medium Density Residential with a maximum Density of 2 units per acre and a Design Control overlay in the Coastal Zone or "MDR/2-D(CZ)". Title 20 Section 20.12.050.DD allows for the Commercial Vacation Rental use, subject to the granting of a Coastal Development Permit. Title 20 Section 20.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer.

The property complies with Title 20 Section 20.64.290.F.5 in that it has been demonstrated that the response time for County emergency services for fire and emergency medical services is adequate. Adequate is defined as 5-8 minutes within Community Areas, Community Plans, and Sphere of Influence, 12 minutes within Rural centers, and 45 minutes for all other areas. The subject property falls within the Sphere of Influence for the City of Carmel-By-The-Sea; therefore, it is subject to the 5-8 minute response time for County emergency services. Cypress Fire Protection District is 8 minutes away, and the Community Hospital of the Monterey Peninsula is 5 minutes away, which provides 24-hour emergency medical and fire response services for structural coverage. Staff incorporated Condition No. 5 to ensure that the guests are provided with information on the response time for emergency medical and fire services and that contact information for these services is provided to all guests as a part of the informational notice posted within six feet of the front door (**Exhibit A**).

Parking requirements outlined in Title 20 Sections 20.64.290.F.6 and 20.58.040 require that a Single-Family Detached residential dwelling unit have 2 spaces/unit, which this application complies with as illustrated in the attached plans.

The subject property complies with the limitation on the number of Commercial Vacation Rentals per legal lot requirements of Title 20 Section 20.64.290.F.7, which allows one Commercial Vacation Rental per legal lot of record. The subject property will be the only Commercial Vacation Rental on the legal lot of record. The owner of the subject property complies with the ownership requirements of Title 20 Section 20.64.290.F.10, wherein the owner of the subject property is allowed to have an ownership interest in one Commercial Vacation Rental within unincorporated Monterey County. The owners of the property do not have an ownership interest in other already operating Commercial Vacation Rentals in unincorporated Monterey County, and this would be their first and only Commercial Vacation Rental in unincorporated Monterey County.

As detailed in the draft resolution (**Exhibit A**), the Applicant/Owner has provided evidence of compliance with the applicable requirements. The designated Property Manager for the Commercial Vacation Rental, Coast Estate, resides at 400 Camino Aguajito, Monterey, CA 93940, approximately 7 minutes away (3.6-mile drive) from the subject property. Coast Estate's contact information will be provided to the guests of the property and will be available 24/7 to respond to guest or neighborhood questions or concerns, and has the ability to arrive within thirty minutes. This contact information will be provided to guests as a part of the informational notice posted within six feet of the front door as required pursuant to Title 7 Section 7.120.040.L.

The property has a maximum occupancy of 7 overnight guests and 11 daytime guests. The proposed occupancy does not exceed the limits set forth in the California Uniform Housing Code and the requirements enumerated in Title 7 Section 7.120.070.C, which limit the maximum overnight occupancy to two persons per bedroom plus one and not counting infants (zero to twelve months), with a not to exceed total maximum overnight occupancy of 10 overnight guests, regardless of the number of bedrooms in the property. Title 7 Section 7.120.070.C also limits the maximum daytime occupancy of occupants and visitors to not exceed a count of 1.5 times the maximum overnight occupancy and shall not exceed a total count of 15 persons per unit, no matter how many bedrooms.

To ensure the proposed use will not affect the residential character of the neighborhood, the following two conditions have been incorporated. Condition No. 3 has been incorporated to ensure that the property will not be an event venue, and Condition No. 4 to ensure that the property will remain in compliance with the regulations for Vacation Rentals in Title 7 Chapter 7.120, Title 20 section 20.64.290, and the Conditions of Approval. Additionally, the proposed Commercial Vacation Rental is subject to Monterey County's Noise Ordinance (Chapter 10.60), which prohibits loud or unreasonable noise between the hours of 9:00PM and 7:00AM. In accordance with Title 20 section 20.70.060, if the property is found to be in violation of the approved operations plan or conditions of approval attached to this Coastal Development Permit, the permit may be revoked for non-compliance.

#### *Access*

The property is accessed through Portola Road, a County maintained, public road, and therefore is not subject to Title 16 Chapter 16.80, which regulates private roads in Monterey County pursuant to Title 20 Section 20.64.290.F.4. The road accessing the subject property is not subject to a private road agreement or a private road maintenance. No comments or objections have been received, and no further documentation or conditions are required of the applicant.

*Violations*

On September 1, 2022, an HCD-Code Compliance case was opened and a file was created stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the property into compliance. The applicant submitted a request for a Use Permit for an after-the-fact Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 22CE00333 to bring their property into compliance with the Monterey County Code on November 17, 2025. No additional complaints have been received.

CEQA:

The project qualifies as a categorical exemption from environmental review pursuant to CEQA Guidelines section 15301. This exemption applies to the operation of existing private structures, involving negligible or no expansion of an existing use. The Applicant/Owner proposes to use a residential single-family dwelling for transient lodging where the term of occupancy, possession, or tenancy of the property by the person entitled to such occupancy, possession, or tenancy for a period of 30 consecutive calendar days or fewer. This project does not propose or authorize any additional exterior development and/or expansion of the existing structure currently on the project site.

The subject property will be limited to one rental contract at any given time. All facilities, as planned and approved, have been confirmed by County agencies to be adequate for this use. Therefore, the proposed use is consistent with the CEQA Guidelines Section 15301. None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. Additionally, there will be no significant effect on the environment due to unusual circumstances. Further, there is no evidence that “the cumulative impact of successive projects of the same type in the same place, over time is significant.” Additionally, an action is a “project” only when it is either “directly undertaken by any public agency,” “supported, in whole or in part” by financial or other forms of assistance from a public agency, or involves the issuance of an entitlement by a public agency (Public Resources Code, § 21065).

The County prepared a FEIR for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR did not identify any significant impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. This Commercial Vacation Rental does not exceed the cap on Commercial Vacation Rentals in the Carmel Area Land Use Plan as it would be the 2nd Commercial Vacation Rental in this area. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in a significant or unavoidable environmental impacts.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Planning

Prepared by: Jade Mason, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans and Floor Plans
- Home Inspection Checklist

Exhibit B - Vicinity Map

cc: Front Counter Copy; HCD-Planning; Jade Mason, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Joseph L & Leon Carmen E Chouinard Trs, Property Owners; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250321.

# Exhibit A

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**CHOUINARD JOSEPH L & LEON CARMEN E TRS (PLN250321)**

### RESOLUTION NO. 26-

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and no exceptions under section 15300.2 apply; and
- 2) Approving a Coastal Development Permit for a Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 22CE00333.

[PLN250321 CHOUINARD JOSEPH L & LEON CARMEN E TRS, 24576 Portola Road, Carmel (Assessor's Parcel Number 009-093-002-000), Carmel Area Land Use Plan, Coastal Zone]

**The CHOUINARD JOSEPH L & LEON CARMEN E TRS application (PLN250321) came on for a public hearing before the County of Monterey Zoning Administrator on February 26, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:**

### FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 1982 County of Monterey General Plan (General Plan);
    - Carmel Area Land Use Plan (CAR LUP);
    - Carmel Area Coastal Implementation Plan (CAR CIP);
    - Monterey County Code Chapter 7.120; and
    - Monterey County Coastal Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) Project. The project is located at 245716 Portola Road, a County maintained road, in Carmel and the site is developed with an existing 1,711 square foot single-family dwelling containing three bedrooms,

two and a half bathrooms, and a kitchen. The applicant proposed transient use of the residence prior to the County adopting regulations for vacation rentals in the Coastal Zone.

- c) Allowed Use. The parcel is zoned Medium Density Residential with a maximum Density of 2 units per acre and a Design Control overlay in the Coastal Zone or “MDR/2-D(CZ)”. Title 20 Section 20.12.050.DD allows for the Commercial Vacation Rental use, subject to the granting of a Coastal Development Permit. Title 20 Section 20.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer. Therefore, the proposed use is allowable.
- d) Lot Legality. The subject property, APN: 009-093-002-000, is identified as Lot 15, as shown in its current size and configuration and described in the 1972 Assessor’s Map Book 9, Page 9. Therefore, the County recognizes the property as a legal lot of record.
- e) Land Use Advisory Committee (LUAC). This project was not referred to the Carmel Highlands LUAC for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 15-043, this application did not warrant referral to the LUAC as it does not fall within the LUAC review guidelines.
- f) Vacation Rental Operation License. Condition No. 7 requires that the applicant obtain a Vacation Rental Operation License and provide documentation to prove that they comply with all of the requirements of the Vacation Rental Operation License pursuant to Title 7 Chapter 7.120. The subject property is required as conditioned to ensure that they always have an active Vacation Rental Operation License.
- g) Business License. Condition No. 6 requires that the applicant obtain a Business License and provide documentation to prove that they comply with all of the requirements of the Business License pursuant to Title 7 Section 7.02.060. The subject property is required as conditioned to ensure that they always have an active Business License.
- h) Transient Occupancy Tax. Condition No. 8 requires that the applicant register with the County of Monterey Treasurer-Tax Collector to pay Transient Occupancy Tax pursuant to Title 5 Chapter 5.40 and must pay Transient Occupancy Tax on all applicable rent received from transient occupancy of their residence as a Commercial Vacation Rental. The subject property is required as conditioned to ensure payment of Transient Occupancy Tax to the County of Monterey Treasurer-Tax Collector is made pursuant to Title 5 Chapter 5.40.
- i) Adequate Emergency Response Time. Condition No. 5 requires that the applicants notify the guests of the average response time for emergency fire and medical services and the address and phone number of those services. The property complies with Title 20 Section 20.64.290.F.5 in that it has been demonstrated that the response time for County emergency services for fire and emergency medical services is adequate. Adequate is defined as 5-8 minutes within Community Areas, Community Plans, and Sphere of Influence, 12 minutes within Rural centers, and 45 minutes for all other areas. The subject property falls within the Sphere of Influence for the City of Carmel-By-The-Sea; therefore, it is subject to the 5-8 minute response time for County

emergency services. Cypress Fire Protection District is 8 minutes away, and the Community Hospital of the Monterey Peninsula is 5 minutes away, which provides 24-hour emergency medical and fire response services for structural coverage. The subject property complies with the requirement to provide contact information for County emergency services for fire and emergency medical. The designated Property Manager for the Commercial Vacation Rental, Coast Estate, resides at 400 Camino Aguajito, Monterey, CA 93940, approximately 7 minutes away (3.6-mile drive) from the subject property. The contact information is included as required in the informational signage that must be posted within six feet of the front door, pursuant to Title 7 Section 7.120.040.L.

- j) Parking. Parking requirements outlined in Title 20 Sections 20.64.290.F.6 and 20.58.040 require that a Single-Family Detached residential dwelling unit have 2 spaces/unit, which this application complies with as illustrated in the attached plans.
- k) One Commercial Vacation Rental Per Legal Lot of Record. The subject legal lot of record complies with Title 20 Section 20.64.290.F.7, as this is the only Commercial Vacation Rental on the legal lot of record (APN: 009-093-002-000).
- l) Ownership Interest in One Commercial Vacation Rental in the Unincorporated Monterey County. The trustees of the legal lot of record comply with Title 20 Section 20.64.290.F.8 and do not have any ownership interest in any other Commercial Vacation Rentals in the unincorporated Monterey County. This application, before the Zoning Administrator, would be the first and only ownership interest the applicants would have in a Commercial Vacation Rental in the unincorporated Monterey County.
- m) Permit Expiration. Condition No. 4 applies a 7-year expiration to the granting of this Coastal Development Permit, pursuant to Title 20 Sub-Section 20.64.290.F.12.a. The purpose of this expiration is to provide adequate ongoing review of the approved use of the residence as a Commercial Vacation Rental. Prior to its expiration, the owner/applicant shall file an extension in accordance with Title 20 Section 20.70.110, which requires submittal of the request at least 30 days prior to the expiration date. The appropriate authority to consider this extension shall be the Zoning Administrator. This subsequent review will ensure: 1) the use continues to meet the standards of Title 20, and 2) an opportunity for Planning staff's review for ongoing compliance with the conditions of approval.
- n) Access. The property is accessed through Portola Road, a County maintained, public road, and therefore is not subject to Title 16 Chapter 16.80, which regulates private roads in Monterey County pursuant to Title 20 Section 20.64.290.F.4. The road accessing the subject property is not subject to a private road agreement or a private road maintenance. No comments or objections have been received, and no further documentation or conditions are required of the applicant.
- o) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250321.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.
- EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250321.
3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:** a) The project was reviewed by HCD-Planning. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary infrastructure is in place to serve the use, as discussed in the evidence below.
- c) The property has road access from Portola Road, a public road. No alterations to this driveway or access are required for the use (see evidence “n” in Finding 1).
- d) California American Water currently provides potable water service to the subject property and the existing connection will be retained for the proposed use. Sewer service will be provided by Carmel Area Wastewater District.
- e) Solid waste (garbage) collection service is and will continue to be provided by Waste Management.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250321.
4. **FINDING:** **VIOLATIONS** – The subject property is not in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is aware of one current violation existing on the subject property for a commercial vacation rental violation existing on subject property. Code Enforcement Case No. 22CE00333 cites the property for unpermitted short term rental usage. On September 1, 2022, an HCD-Code Compliance case was opened, and a file was created

stating that the property may possibly be in violation with Monterey County Code through the operation of a non-permitted vacation rental and that immediate action shall be taken to bring the property into compliance. The applicant submitted a request for a Coastal Development Permit for an after-the-fact Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer and abate Code Enforcement Violation No. 22CE00333 to bring their property into compliance with the Monterey County Code on November 17, 2025. No additional complaints have been received.

- b) The violation (22CE00333) will be abated upon granting of this Coastal Development Permit. Upon issuance of the permit, this property will come into compliance with applicable Monterey County Code.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250321.

- 5. FINDING: CEQA (Exempt)** – The project qualifies for a Class 1 categorical exemption pursuant to CEQA Guidelines section 15301 and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15301, categorically exempts the leasing of existing private structures, involving negligible or no expansion of existing or former use.
  - b) The project proposed to allow the use of an existing residence for transient lodging for a period of 30 calendar days or fewer. The project would not expand the residence, nor would it allow any additional occupancy beyond what is allowed for the existing residence. Therefore, the project fits the criteria of the exemption.
  - c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project, as discussed in subsequent Evidence “d” through “i”.
  - d) Class 1 exemptions are not qualified for an exception by their location.
  - e) The County’s regulatory process of Coastal Development Permits for the use of an existing residential property for transient lodging allows the County to regulate such uses in a way that would prevent adverse cumulative impacts to the surrounding environment. Consistent with the Findings and Purpose in Monterey County Ordinance Number 5439 Section 1.F, the requirement for a Coastal Development Permit for Commercial Vacation Rental activities ensures that the impact of such leasing activities can be appropriately evaluated. Further, Title 20 Section 20.64.290 establishes caps on the maximum amount of Coastal Development Permits for Commercial Vacation Rentals to ensure that the potential cumulative effects of Commercial Vacation Rentals are minimized. This Commercial Vacation Rental does not exceed the 218 Commercial Vacation Rental cap in the Carmel Area Land Use Plan as it would be the 2nd Commercial Vacation Rental in this area. The project is consistent with all the criteria in Title 20 Section 20.64.290 and, therefore, would not contribute to a cumulative effect.
  - f) There are no unusual circumstances related to the project that would create a reasonable possibility of a significant effect.
  - g) The project would not result in damage to scenic resources within view of the State Scenic Highway. The nearest designated State Scenic

Highway is Highway 1, which is approximately 0.30 miles east of the property. However, the property is not visible from Highway 1 due to distance and intervening vegetation and structures. The project also does not propose any physical changes that would damage scenic resources: no construction, exterior alterations to structures, land alteration, or vegetation (or tree) removal are proposed.

- h) The project is not located on a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government code.
- i) The project would not damage any historical resources.
- j) The FEIR disclosed that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in significant or unavoidable environmental impacts.
- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250321.

**6. FINDING: PUBLIC ACCESS-** The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Carmel Area, Figure 3, Local Coastal Program Public Access).
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250321.

**7. FINDING: APPEALABILITY –** The decision on this project may be appealed to the Board of Supervisors and California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 Section 20.86.030.A, an appeal of the Zoning Administrator’s decision for this project may be made to the Board of Supervisors by any public agency or person aggrieved by their decision.
  - b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development that is permitted in the underlying zone as a conditional use.

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project, allowing the use of an existing residence for transient lodging, qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301, and no exceptions under section 15300.2 apply; and
- 2) Approve a Coastal Development Permit for a Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer to clear Code Enforcement Case 22CE00333.

The said decision is to be in substantial conformance with the attached plan and subject to the attached conditions, which are incorporated herein for reference.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of February 2026,

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### NOTES

1. This permit does not authorize any development and only authorizes the use of the residential property as transient lodging.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250321

### 1. PD001(B) - SPECIFIC COMMERCIAL VACATION RENTAL USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Coastal Development Permit (PLN250321) allows the use, by any person, of residential property [single family dwelling, manufactured home, or mobile home on a permanent foundation] for transient lodging for a period of 30 consecutive calendar days or fewer, counting portions of calendar days as full days, to clear Code Enforcement Case 22CE00333. This property is located at 24576 Portola Road (Assessor's Parcel Number 009-093-002-000), Carmel Area Land Use Plan. This rental allows an unlimited number of transient lodging rentals of up to 30 calendar days per 12-month period. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD. Any use not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (HCD - Planning).

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Coastal Development Permit (Resolution Number \_\_\_\_\_) was approved by Zoning Administrator for Assessor's Parcel Number 009-093-002-000 on February 26, 2026. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD008 - NO EVENTS ALLOWED

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 20 Section 20.64.290.A, to protect the residential character of the neighborhood on an ongoing basis, the property shall be rented for only transient residential-related use. The property shall not be rented to either transient or short-term occupants for the purpose of holding a corporate or private event unless the County approves a separate entitlement to allow such events on the property. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** On an on-going basis, the property shall only be rented for transient residential-related use.

### 4. PD009 - PERMIT LIMITATION OF THE USE OF THE RESIDENTIAL PROPERTY AS A COMMERCIAL VACATION RENTAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This permit shall be valid for 7 years from the date of permit approval which is February 26, 2026, unless an extension is filed with County of Monterey HCD – Planning at least 30 days prior to the expiration of the permit. Approval of this Coastal Development Permit is limited to 7 years to provide an adequate, on-going review of the approved use of the Residential Property as a Commercial Vacation Rental.

The owner/operator shall file an application for extension of the permit in accordance with the Monterey County Code Title 20 Sections 20.70.110 and 20.64.290.F.12.b.

**Compliance or Monitoring Action to be Performed:** The applicant shall commence and operate the authorized use in accordance with County codes and State regulations and to the satisfaction of the HCD-Chief of Planning. Any request for a Coastal Development Permit extension must be received by HCD-Planning at least 30 days prior to the expiration date.

### 5. PD010 - SIGNAGE FOR ADEQUATE EMERGENCY RESPONSE TIME

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** To protect the occupants of the Commercial Vacation Rental, applicants must demonstrate and post in the Informational Interior Signage that the response times for County emergency services for fire and emergency medical will be adequate pursuant to Monterey County Code Title 20 Section 20.64.290.F.5.

**Compliance or Monitoring Action to be Performed:** On an on-going basis the applicant shall notify occupants of the Commercial Vacation Rental of the average response time for emergency fire and medical services and describe the onsite fire protection systems. This information shall be provided to all occupants in the Informational Interior Signage and shall satisfy all requirements pursuant to Monterey County Code Title 7 Section 7.120.040.L.

## 6. PD018 - BUSINESS LICENSE REGISTRATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.02.060.C, Owner/Operator is required to obtain a business license from the County of Monterey Treasurer-Tax Collector. This business license shall be active and renewed annually for the term of this Coastal Development Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on an annual basis, the Owner/Operator shall provide proof that the property has been registered with the Monterey County Treasurer-Tax Collector.

## 7. PD031 - VACATION RENTAL OPERATION LICENSE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Chapter 7.120, applicants are required to obtain a Vacation Rental Operation License from the County of Monterey HCD. This Vacation Rental Operation License shall be active and renewed annually for the term of this Coastal Development Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use, HCD will issue the applicant a Vacation Rental Operation License.

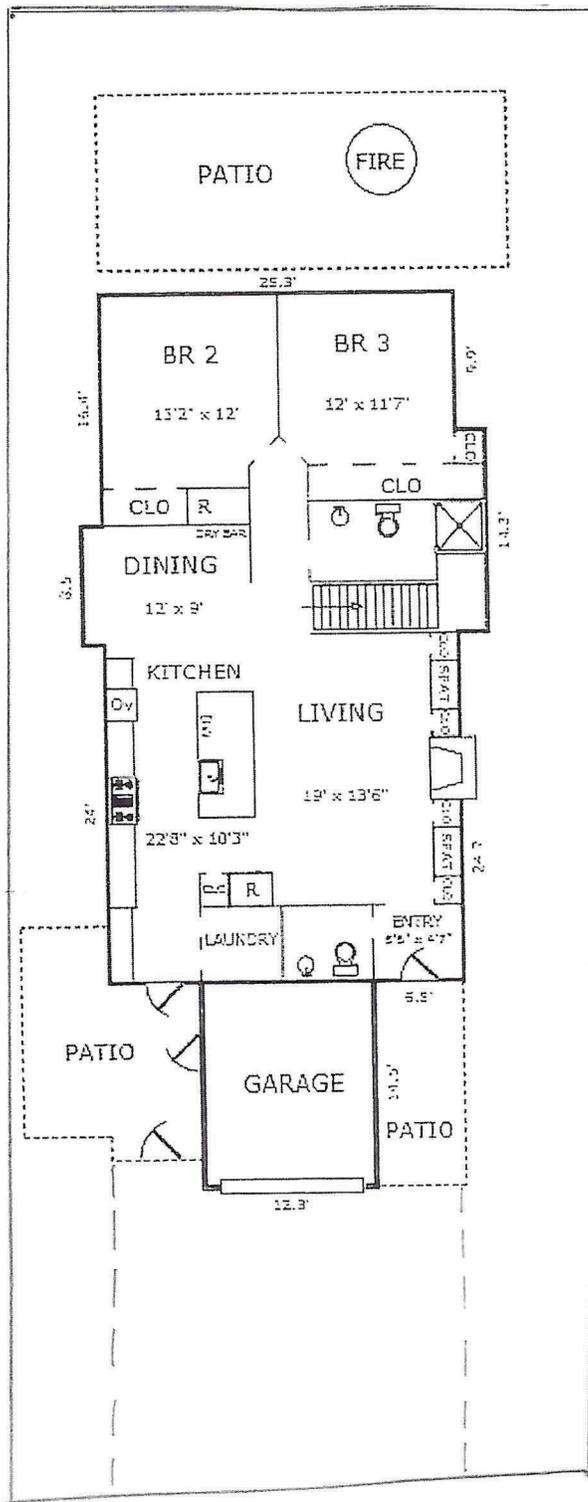
## 8. PD053 - TOT REGISTRATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.120.040.C, Owner/Operator is required to register for Transient Occupancy Tax (TOT) with the County of Monterey Treasurer Tax Collector. The applicant's Transient Occupancy Tax Certificate shall be active for the term of this Coastal Development Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on a quarterly basis, the Owner/Operator shall pay Transient Occupancy Tax to the Monterey County Treasurer-Tax Collector pursuant to Monterey County Code Title 5 Chapter 5.40.

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AREA CALCULATIONS  
(approximate)

|                   |         |
|-------------------|---------|
| First Floor:      | 1,280sf |
| Second Floor:     | 431     |
| Net Livable Area: | 1,711sf |

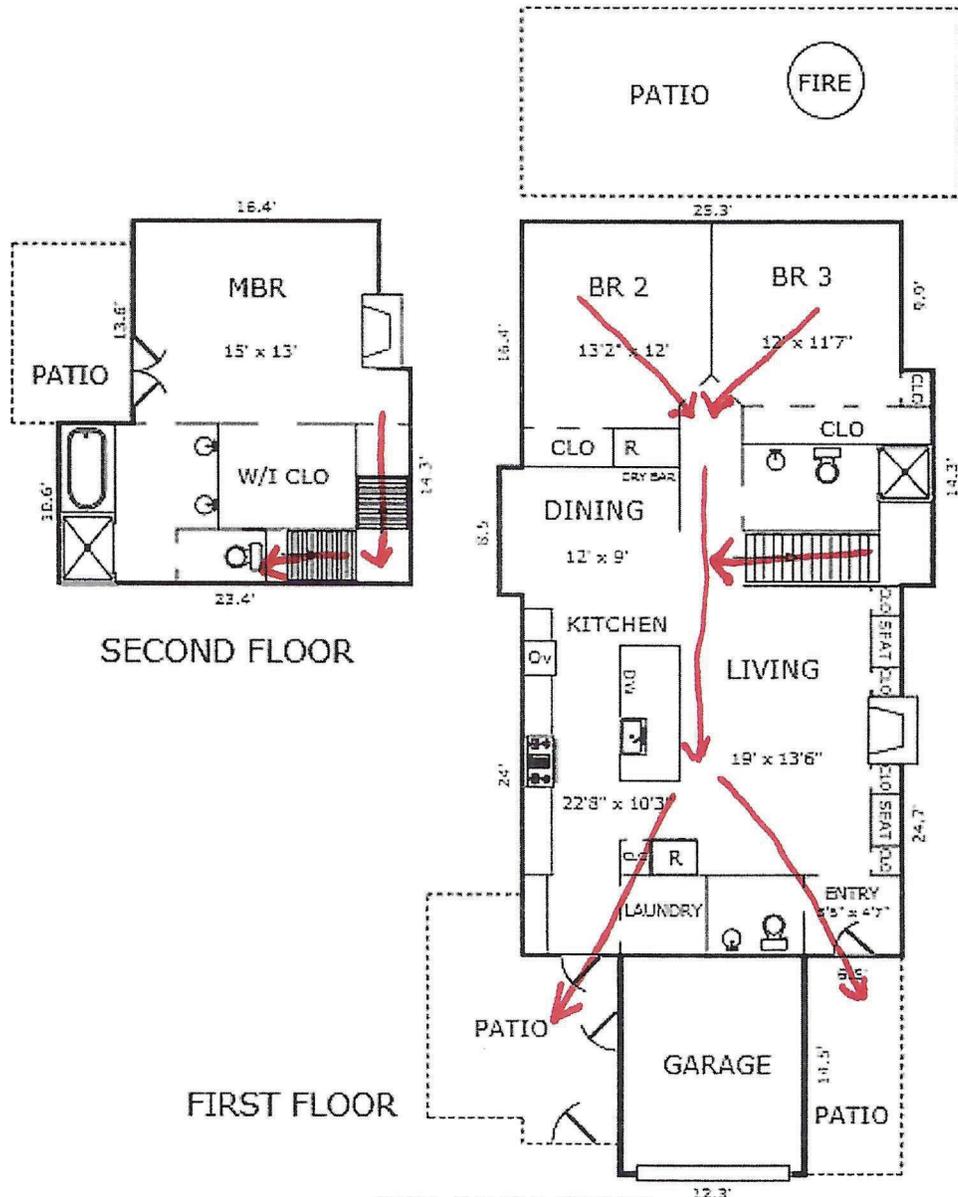
|         |     |
|---------|-----|
| Garage: | 178 |
| Patio:  | 366 |
| Patio:  | 174 |
| Patio:  | 96  |
| Patio:  | 94  |

# FLOOR PLAN

24576 Portola Ave., Carmel, CA 93923



-  Water Shut-off Valve
-  Breaker Box
-  Smoke/CO2 Alarm



AREA CALCULATIONS  
(approximate)

|                          |                |
|--------------------------|----------------|
| First Floor:             | 1,280sf        |
| Second Floor:            | 431            |
| <b>Net Livable Area:</b> | <b>1,711sf</b> |

|         |     |
|---------|-----|
| Garage: | 178 |
| Patio:  | 366 |
| Patio:  | 174 |
| Patio:  | 96  |
| Patio:  | 94  |



# HOUSING AND COMMUNITY DEVELOPMENT

Announcements

Development Services

Planning  
Services

Permit Center

GIS / Maps

About Us



## Vacation Rental Home Inspection Checklist

### Property Information

- Vacation Rental Address and Unit/Suite/Apt # **24576 Portola Ave  
Carmel, CA**
- Total number of bedrooms **3**
- Total number of onsite parking spaces (e.g. garage, driveway) **5**

### Interior Inspection

- Beds are located in approved Bedrooms, in compliance with the Building Code at the time of construction, with appropriate ingress and egress.
- Every sleeping room has a functional smoke alarm.
- Every hallway with a sleeping room has a functional smoke alarm. Every floor has a functional carbon monoxide alarm.
- All built-in kitchen appliances operate properly and space for food storage, preparation, and serving are in good and safe condition. All electrical outlets in kitchen and bathrooms are Ground Fault Circuit Interrupter (GFCI) protected.
- Water heater is properly strapped, adequately vented, and temperature and pressure relief valves are drained to outside.
- Other heating equipment is in safe operating condition and placed in an approved location.
- There is at least one readily accessible class A fire extinguisher located in the home that has been serviced annually by a certified fire extinguisher company.
- The building conforms to the applicable state building and fire codes at the time the building was constructed.

### Exterior Inspection

- There is no evidence of infestation, garbage, and debris at the site.
- The property has active garbage pick-up service.
- If a garage is present, it is only used as a garage and only non-combustible flooring exists. Driveway, if present, is open and accessible to vehicles.
- Property is in an overall safe and sanitary condition.
- Water heater is properly strapped, adequately vented, and temperature and valves are drained to outside. Other heating equipment is in safe operating condition and placed in an approved location.

### Home Inspection Results



Failed

Remarks/Observations:

Home Inspector Certification

Under penalty of perjury, the undersigned certifies that the information on this form is based on an actual site inspection of the property and is complete and accurate.

Home Inspector or General Contractor Name & Acknowledgement

- California Contractors State License Board License Classification Type B
- California Contractors State License Board License Classification Type B-2
- California Contractors State License Board License Classification Type C-47
- California Real Estate Inspection Association
- American Society of Home Inspectors
- International Code Council
- International Association of Certified Home Inspectors

Please check the relevant certification agency and write your License/Certification number below:

Date: 10/27/25

SIGN: *[Signature]*  
LICENSE: 621252

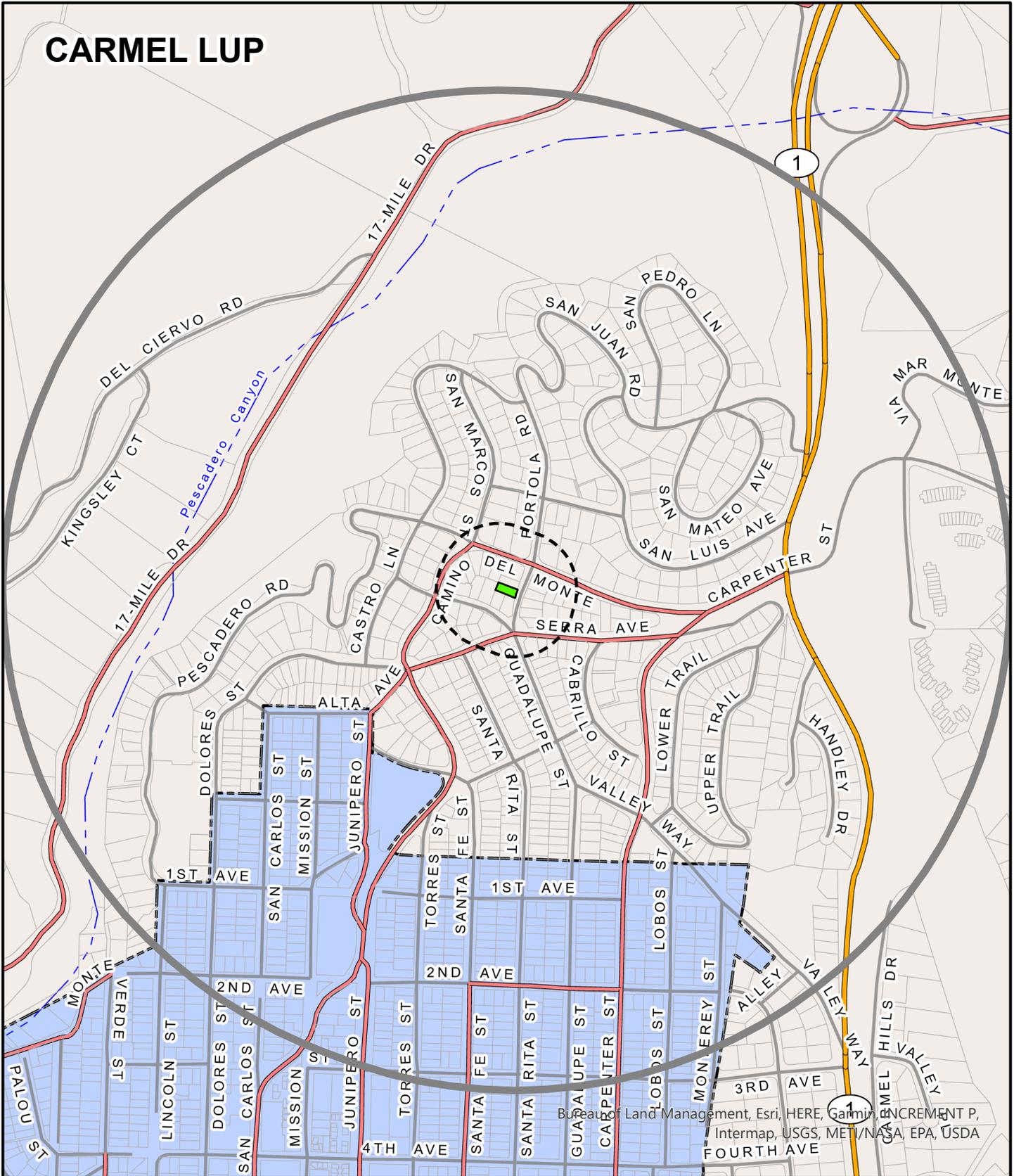
ROBERT DESTEFANO

Click 'Print' at the top of this page and save as a PDF.

# Exhibit B

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# CARMEL LUP



Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA

**APPLICANT:** CHOUINARD JOSEPH L & LEON CARMEN E TRS

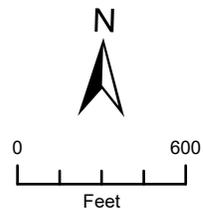
**APN:** 009093002000

**FILE #** PLN250321

 Project Site

 300 FT Buffer

 2500 FT Buffer



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# County of Monterey

Item No.7

## Board Report

Board of Supervisors  
Chambers  
168 W. Alisal St., 1st Floor  
Salinas, CA 93901

Legistar File Number: ZA 26-009

February 26, 2026

**Introduced:** 2/17/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

### **PLN250366 - PUCZYNSKI SHARON TR & COHN CRAIG TR**

Public hearing to consider action on a Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer.

**Project Location:** 24571 Portola Road, Carmel

**Proposed CEQA Action:** Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

### RECOMMENDATIONS

It is recommended that the Zoning Administrator adopt a Resolution:

- a. Finding the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made; and
- b. Approving a Coastal Development Permit for a Commercial Vacation Rental to allow the use of a residential property for transient lodging for a period of 30 calendar days or fewer.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 8 conditions of approval.

### PROJECT INFORMATION

**Agent:** Sharon Cohn

**Property Owner:** Puczynski Sharon Tr & Cohn Craig Tr

**APN:** 009-052-018-000

**Parcel Size:** 0.1 acres

**Zoning:** Medium Density Residential with a maximum Density of 2 units per acre and a Design Control overlay in the Coastal Zone or "MDR/2-D(CZ)"

**Plan Area:** Carmel Area Land Use Plan

**Flagged and Staked:** Not Applicable

**Project Planner:** Jade Mason, Assistant Planner

masonj@countyofmonterey.gov; 831-755-3759

### SUMMARY:

The project is located at 24576 Portola Road, a County maintained road, in Carmel. On December 9, 2025, the agent submitted an application seeking to use their existing single-family dwelling located in a residentially developed neighborhood as a Commercial Vacation Rental. The County did not have regulations for vacation rentals in the Coastal Zone at that time. As of December 23, 2025, the Coastal Vacation Rentals for the County became effective. The application materials were deemed

complete on February 2, 2026.

The site is developed with an existing 1,496 square foot single-family dwelling with three bedrooms, two bathrooms, and a kitchen. The agent is proposing that the residence be occupied by a maximum of 7 people overnight and 11 people during daytime hours at the property at a time. The property will retain its domestic water connections to California American Water, a private water provider, and Carmel Area Wastewater District will continue to provide sewer service. The property will retain its solid waste services to Waste Management, a waste management company. If approved, the granting of this Coastal Development Permit would allow the establishment of the third permitted vacation rental in the Carmel Area Land Use Plan out of 218 Coastal Development Permits permitted pursuant to Title 20 Section 20.64.290.F.3.b.

DISCUSSION:

Based on staff's analysis, the proposed project is consistent with the policies and regulations pertaining to zoning uses and any other applicable provisions of the 1982 County of Monterey General Plan (General Plan), Carmel Area Land Use Plan (CAR LUP), Carmel Area Coastal Implementation Plan (CIP), Monterey County Code Title 7 Chapter 7.120, Monterey County Code Chapter 16.80, and the Monterey County Coastal Zoning Ordinance (Title 20).

*Land Use*

The parcel is zoned Medium Density Residential with a maximum Density of 2 units per acre and a Design Control overlay in the Coastal Zone or "MDR/2-D(CZ)". Title 20 Section 20.12.050.DD allows for the Commercial Vacation Rental use, subject to the granting of a Coastal Development Permit. Title 20 Section 20.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer.

The property complies with Title 20 Section 20.64.290.F.5 in that it has been demonstrated that the response time for County emergency services for fire and emergency medical services is adequate. Adequate is defined as 5-8 minutes within Community Areas, Community Plans, and Sphere of Influence, 12 minutes within Rural centers, and 45 minutes for all other areas. The subject property falls within the Sphere of Influence for the City of Carmel-By-The-Sea; therefore, it is subject to the 5-8 minute response time for County emergency services. Cypress Fire Protection District is 8 minutes away, and the Community Hospital of the Monterey Peninsula is 4 minutes away, which provides 24-hour emergency medical and fire response services for structural coverage. Staff incorporated Condition No. 5 to ensure that the guests are provided with information on the response time for emergency medical and fire services and that contact information for these services is provided to all guests as a part of the informational notice posted within six feet of the front door (**Exhibit A**).

Parking requirements outlined in Title 20 Sections 20.64.290.F.6 and 20.58.040 require that a Single-Family Detached residential dwelling unit have 2 spaces/unit, which this application complies with as illustrated in the attached plans.

The subject property complies with the limitation on the number of Commercial Vacation Rentals per legal lot requirements of Title 20 Section 20.64.290.F.7, which allows one Commercial Vacation

Rental per legal lot of record. The subject property will be the only Commercial Vacation Rental on the legal lot of record. The owner of the subject property complies with the ownership requirements of Title 20 Section 20.64.290.F.10, wherein the owner of the subject property is allowed to have an ownership interest in one Commercial Vacation Rental within unincorporated Monterey County. The owners of the property do not have an ownership interest in other already operating Commercial Vacation Rentals in unincorporated Monterey County, and this would be their first and only Commercial Vacation Rental in unincorporated Monterey County.

As detailed in the draft resolution (**Exhibit A**), the Applicant/Owner has provided evidence of compliance with the applicable requirements. The designated Property Manager for the Commercial Vacation Rental, Coast Estate, resides at 400 Camino Aguajito, Monterey, CA 93940, approximately 7 minutes away (3.6-mile drive) from the subject property. Coast Estate's contact information will be provided to the guests of the property and will be available 24/7 to respond to guest or neighborhood questions or concerns, and has the ability to arrive within thirty minutes. This contact information will be provided to guests as a part of the informational notice posted within six feet of the front door as required pursuant to Title 7 Section 7.120.040.L.

The property has a maximum occupancy of 7 overnight guests and 11 daytime guests. The proposed occupancy does not exceed the limits set forth in the California Uniform Housing Code and the requirements enumerated in Title 7 Section 7.120.070.C, which limit the maximum overnight occupancy to two persons per bedroom plus one and not counting infants (zero to twelve months), with a not to exceed total maximum overnight occupancy of 10 overnight guests, regardless of the number of bedrooms in the property. Title 7 Section 7.120.070.C also limits the maximum daytime occupancy of occupants and visitors to not exceed a count of 1.5 times the maximum overnight occupancy and shall not exceed a total count of 15 persons per unit, no matter how many bedrooms.

To ensure the proposed use will not affect the residential character of the neighborhood, the following two conditions have been incorporated. Condition No. 3 has been incorporated to ensure that the property will not be an event venue, and Condition No. 4 to ensure that the property will remain in compliance with the regulations for Vacation Rentals in Title 7 Chapter 7.120, Title 20 section 20.64.290, and the Conditions of Approval. Additionally, the proposed Commercial Vacation Rental is subject to Monterey County's Noise Ordinance (Chapter 10.60), which prohibits loud or unreasonable noise between the hours of 9:00PM and 7:00AM. In accordance with Title 20 section 20.70.060, if the property is found to be in violation of the approved operations plan or conditions of approval attached to this Coastal Development Permit, the permit may be revoked for non-compliance.

#### *Access*

The property is accessed through Portola Road, a County maintained, public road, and therefore is not subject to Title 16 Chapter 16.80, which regulates private roads in Monterey County pursuant to Title 20 Section 20.64.290.F.4. The road accessing the subject property is not subject to a private road agreement or a private road maintenance. No comments or objections have been received, and no further documentation or conditions are required of the applicant.

CEQA:

The project qualifies as a categorical exemption from environmental review pursuant to CEQA Guidelines section 15301. This exemption applies to the operation of existing private structures, involving negligible or no expansion of an existing use. The Applicant/Owner proposes to use a residential single-family dwelling for transient lodging where the term of occupancy, possession, or tenancy of the property by the person entitled to such occupancy, possession, or tenancy for a period of 30 consecutive calendar days or fewer. This project does not propose or authorize any additional exterior development and/or expansion of the existing structure currently on the project site.

The subject property will be limited to one rental contract at any given time. All facilities, as planned and approved, have been confirmed by County agencies to be adequate for this use. Therefore, the proposed use is consistent with the CEQA Guidelines Section 15301. None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. Additionally, there will be no significant effect on the environment due to unusual circumstances. Further, there is no evidence that “the cumulative impact of successive projects of the same type in the same place, over time is significant.” Additionally, an action is a “project” only when it is either “directly undertaken by any public agency,” “supported, in whole or in part” by financial or other forms of assistance from a public agency, or involves the issuance of an entitlement by a public agency (Public Resources Code, § 21065).

The County prepared a FEIR for the Vacation Rental Ordinances project, which was certified by the Board on August 27, 2024 (SCH# 2022080643). The FEIR did not identify any significant impacts of Commercial Vacation Rentals up to the Commercial Vacation Rental cap set for each County of Monterey Planning Area. This Commercial Vacation Rental does not exceed the cap on Commercial Vacation Rentals in the Carmel Area Land Use Plan as it would be the third (3rd) Commercial Vacation Rental in this area. The FEIR did disclose that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in significant or unavoidable environmental impacts.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Planning

Prepared by: Jade Mason, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans and Floor Plans
- Home Inspection Checklist

Exhibit B - Vicinity Map

cc: Front Counter Copy; HCD-Planning; Jade Mason, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Puczynski Sharon Tr & Cohn Craig Tr, Property Owners; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250366.



## Zoning Administrator

Legistar File Number: ZA 26-009

February 26, 2026

**Introduced:** 2/17/2026

**Current Status:** Agenda Ready

**Version:** 1

**Matter Type:** Zoning Administrator

### **PLN250366 - PUCZYNSKI SHARON TR & COHN CRAIG TR**

Public hearing to consider action on a Commercial Vacation Rental to allow the use of residential property for transient lodging for a period of 30 calendar days or fewer.

**Project Location:** 24571 Portola Road, Carmel

**Proposed CEQA Action:** Find the project Categorical Exempt pursuant to CEQA Guidelines section 15301 and none of the exceptions to the exemptions listed in Section 15300.2 can be made.

### RECOMMENDATIONS

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**Property Owner:** Puczynski Sharon Tr & Cohn Craig Tr

**APN:** 009-052-018-000

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**Plan Area:** Carmel Area Land Use Plan

**Flagged and Staked:** Not Applicable

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OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Planning

Prepared by: Jade Mason, Assistant Planner

Reviewed/Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans and Floor Plans
- Home Inspection Checklist

Exhibit B - Vicinity Map

cc: Front Counter Copy; HCD-Planning: Jade Mason, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Puczynski Sharon Tr & Cohn Craig Tr, Property Owners; Interested Party List: The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250366.

# Exhibit A

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**PUCZYNSKI SHARON TR & COHN CRAIG TR (PLN250366)**

### RESOLUTION NO. 26-

Resolution by the County of Monterey Zoning  
Administrator:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and no exceptions under section 15300.2 apply; and
- 2) Approving a Coastal Development Permit for a Commercial Vacation Rental to allow the use of a residence for transient lodging for a period of 30 calendar days or fewer.

[PLN250366 PUCZYNSKI SHARON TR & COHN CRAIG TR, 24571 Portola Road, Carmel (Assessor's Parcel Number 009-052-018-000), Carmel Area Land Use Plan, Coastal Zone]

**The PUCZYNSKI SHARON TR & COHN CRAIG TR application (PLN250366) came on for a public hearing before the County of Monterey Zoning Administrator on February 26, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:**

### FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 1982 County of Monterey General Plan (General Plan);
    - Carmel Area Land Use Plan (CAR LUP);
    - Carmel Area Coastal Implementation Plan (CAR CIP);
    - Monterey County Code Chapter 7.120; and
    - Monterey County Coastal Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) Project. The project is located at 24571 Portola Road, a County maintained road, in Carmel and the site is developed with an existing 1,496 square foot single-family dwelling containing three bedrooms, two bathrooms, and a kitchen. The applicant proposed transient use of

the residence prior to the County adopting regulations for vacation rentals in the Coastal Zone.

- c) Allowed Use. The parcel is zoned Medium Density Residential with a maximum Density of 2 units per acre and a Design Control overlay in the Coastal Zone or “MDR/2-D(CZ)”. Title 20 Section 20.12.050.DD allows for the Commercial Vacation Rental use, subject to the granting of a Coastal Development Permit. Title 20 Section 20.64.290.F establishes the regulations for a property operating as a Commercial Vacation Rental on such property for transient lodging for a period of 30 calendar days or fewer. Therefore, the proposed use is allowable.
- d) Lot Legality. The subject property [APN: 009-052-018-000] is identified as Lot 4, as shown in its current size and configuration and described in the 1972 Assessor’s Map Book 9, Page 5. Therefore, the County recognizes the property as a legal lot of record.
- e) Land Use Advisory Committee (LUAC). This project was not referred to the Carmel Highlands LUAC for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 15-043, this application did not warrant referral to the LUAC as it does not fall within the LUAC review guidelines.
- f) Vacation Rental Operation License. Condition No. 7 requires that the applicant obtain a Vacation Rental Operation License and provide documentation to prove that they comply with all of the requirements of the Vacation Rental Operation License pursuant to Title 7 Chapter 7.120. The subject property is required as conditioned to ensure that they always have an active Vacation Rental Operation License.
- g) Business License. Condition No. 6 requires that the applicant obtain a Business License and provide documentation to prove that they comply with all of the requirements of the Business License pursuant to Title 7 Section 7.02.060. The subject property is required as conditioned to ensure that they always have an active Business License.
- h) Transient Occupancy Tax. Condition No. 8 requires that the applicant register with the County of Monterey Treasurer-Tax Collector to pay Transient Occupancy Tax pursuant to Title 5 Chapter 5.40 and must pay Transient Occupancy Tax on all applicable rent received from transient occupancy of their residence as a Commercial Vacation Rental. The subject property is required as conditioned to ensure payment of Transient Occupancy Tax to the County of Monterey Treasurer-Tax Collector is made pursuant to Title 5 Chapter 5.40.
- i) Adequate Emergency Response Time. Condition No. 5 requires that the applicants notify the guests of the average response time for emergency fire and medical services and the address and phone number of those services. The property complies with Title 20 Section 20.64.290.F.5 in that it has been demonstrated that the response time for County emergency services for fire and emergency medical services is adequate. Adequate is defined as 5-8 minutes within Community Areas, Community Plans, and Sphere of Influence, 12 minutes within Rural centers, and 45 minutes for all other areas. The subject property falls within the Sphere of Influence for the City of Carmel-By-The-Sea; therefore, it is subject to the 5-8 minute response time for County emergency services. Cypress Fire Protection District is 8 minutes away,

and the Community Hospital of the Monterey Peninsula is 4 minutes away, which provides 24-hour emergency medical and fire response services for structural coverage. The subject property complies with the requirement to provide contact information for County emergency services for fire and emergency medical. The designated Property Manager for the Commercial Vacation Rental, Coast Estate, resides at 400 Camino Aguajito, Monterey, CA 93940, approximately 7 minutes away (3.6-mile drive) from the subject property. The contact information is included as required in the informational signage that must be posted within six feet of the front door.

- j) Parking. Parking requirements outlined in Title 20 Sections 20.64.290.F.6 and 20.58.040 require that a Single-Family Detached residential dwelling unit have 2 spaces/unit, which this application complies with as illustrated in the attached plans.
- k) One Commercial Vacation Rental Per Legal Lot of Record. The subject legal lot of record complies with Title 20 Section 20.64.290.F.7, as this is the only Commercial Vacation Rental on the legal lot of record (APN: 009-052-018-000).
- l) Ownership Interest in One Commercial Vacation Rental in the Unincorporated Monterey County. The trustees of the legal lot of record comply with Title 20 Section 20.64.290.F.8 and do not have any ownership interest in any other Commercial Vacation Rentals in the unincorporated Monterey County. This application, before the Zoning Administrator, would be the first and only ownership interest the applicants would have in a Commercial Vacation Rental in the unincorporated Monterey County.
- m) Permit Expiration. Condition No. 4 applies a 7-year expiration to the granting of this Coastal Development Permit, pursuant to Title 20 Sub-Section 20.64.290.F.12.a. The purpose of this expiration is to provide adequate ongoing review of the approved use of the residence as a Commercial Vacation Rental. Prior to its expiration, the owner/applicant shall file an extension in accordance with Title 20 Section 20.70.110, which requires submittal of the request at least 30 days prior to the expiration date. The appropriate authority to consider this extension shall be the Zoning Administrator. This subsequent review will ensure: 1) the use continues to meet the standards of Title 20, and 2) an opportunity for Planning staff's review for ongoing compliance with the conditions of approval.
- n) Access. The property is accessed through Portola Road, a County maintained, public road, and therefore is not subject to Title 16 Chapter 16.80, which regulates private roads in Monterey County pursuant to Title 20 Section 20.64.290.F.4. The road accessing the subject property is not subject to a private road agreement or a private road maintenance. No comments or objections have been received, and no further documentation or conditions are required of the applicant.
- o) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250366.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.
- EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250366.
3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:** a) The project was reviewed by HCD-Planning, HCD-Environmental Services, Carmel Fire Department and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary infrastructure is in place to serve the use, as discussed in the evidence below.
- c) The property has road access from Portola Road, a public road. No alterations to this driveway or access are required for the use (see evidence “n” in Finding 1).
- d) California American Water currently provides potable water service to the subject property and the existing connection will be retained for the proposed use. Sewer service will be provided by Carmel Area Wastewater District (CAWD).
- e) Solid waste (garbage) collection service is and will continue to be provided by Waste Management.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250366.
4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any current violations existing on subject property.

- b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250366.

**5. FINDING:**

**CEQA (Exempt)** – The project qualifies for a Class 1 categorical exemption pursuant to CEQA Guidelines section 15301 and no unusual circumstances were identified to exist for the proposed project.

**EVIDENCE:**

- a) California Environmental Quality Act (CEQA) Guidelines section 15301, categorically exempts the leasing of existing private structures, involving negligible or no expansion of existing or former use.
- b) The project proposed to allow the use of an existing residence for transient lodging for a period of 30 calendar days or fewer. The project would not expand the residence, nor would it allow any additional occupancy beyond what is allowed for the existing residence. Therefore, the project fits the criteria of the exemption.
- c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project, as discussed in subsequent Evidence “d” through “i”.
- d) Class 1 exemptions are not qualified for an exception by their location.
- e) The County’s regulatory process of Coastal Development Permits for the use of an existing residential property for transient lodging allows the County to regulate such uses in a way that would prevent adverse cumulative impacts to the surrounding environment. Consistent with the Findings and Purpose in Monterey County Ordinance Number 5439 Section 1.F, the requirement for a Coastal Development Permit for Commercial Vacation Rental activities ensures that the impact of such leasing activities can be appropriately evaluated. Further, Title 20 Section 20.64.290 establishes caps on the maximum amount of Coastal Development Permits for Commercial Vacation Rentals to ensure that the potential cumulative effects of Commercial Vacation Rentals are minimized. This Commercial Vacation Rental does not exceed the 218 Commercial Vacation Rental cap in the Carmel Area Land Use Plan as it would be the 3<sup>rd</sup> Commercial Vacation Rental in this area. The project is consistent with all the criteria in Title 20 Section 20.64.290 and, therefore, would not contribute to a cumulative effect.
- f) There are no unusual circumstances related to the project that would create a reasonable possibility of a significant effect.
- g) The project would not result in damage to scenic resources within view of the State Scenic Highway. The nearest designated State Scenic Highway is Highway 1, which is approximately 0.30 miles east of the property. However, the property is not visible from Highway 1 due to distance and intervening vegetation and structures. The project also does not propose any physical changes that would damage scenic resources: no construction, exterior alterations to structures, land alteration, or vegetation (or tree) removal are proposed.
- h) The project is not located on a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government code.
- i) The project would not damage any historical resources.
- j) The FEIR disclosed that vacation rentals have the potential for negative side effects including nuisance issues such as traffic, parking and noise. County regulations have been developed and are in effect to ensure that

vacation rentals remain compatible with existing residential uses and limits such nuisances in which the applicant/operator must comply with. Additionally, cumulative impacts of the regulations taken together with other past, present, and probable future projects were analyzed. There is no evidence suggesting that implementing the regulations would result in significant or unavoidable environmental impacts.

- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250366.

**6. FINDING: PUBLIC ACCESS-** The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Carmel Area, Figure 3, Local Coastal Program Public Access).
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250366.

**7. FINDING: APPEALABILITY –** The decision on this project may be appealed to the Board of Supervisors and California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 Section 20.86.030.A, an appeal of the Zoning Administrator’s decision for this project may be made to the Board of Supervisors by any public agency or person aggrieved by their decision.
  - b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development that is permitted in the underlying zone as a conditional use.

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project, allowing the use of an existing residence for transient lodging, qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301, and no exceptions under section 15300.2 apply; and
- 2) Approve a Coastal Development Permit for a Commercial Vacation Rental to allow the use of a residence for transient lodging for a period of 30 calendar days or fewer.

The said decision is to be in substantial conformance with the attached plan and subject to the attached conditions, which are incorporated herein for reference.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of February 2026,

---

Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### NOTES

1. This permit does not authorize any development and only authorizes the use of the residential property as transient lodging.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250366

### 1. PD001(B) - SPECIFIC COMMERCIAL VACATION RENTAL USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Coastal Development Permit (PLN250366) allows the use, by any person, of residential property [single family dwelling, manufactured home, or mobile home on a permanent foundation] for transient lodging for a period of 30 consecutive calendar days or fewer, counting portions of calendar days as full days. This property is located at 24571 Portola Avenue (Assessor's Parcel Number 009-052-018-000), Carmel Area Land Use Plan. This rental allows an unlimited number of transient lodging rentals of up to 30 calendar days per 12-month period. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD. Any use not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (HCD - Planning).

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Coastal Development Permit (Resolution Number \_\_\_\_\_) was approved by Zoning Administrator for Assessor's Parcel Number 009-052-018-000 on February 26, 2026. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD008 - NO EVENTS ALLOWED

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 20 Section 20.64.290.A, to protect the residential character of the neighborhood on an ongoing basis, the property shall be rented for only transient residential-related use. The property shall not be rented to either transient or short-term occupants for the purpose of holding a corporate or private event unless the County approves a separate entitlement to allow such events on the property. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** On an on-going basis, the property shall only be rented for transient residential-related use.

### 4. PD009 - PERMIT LIMITATION OF THE USE OF THE RESIDENTIAL PROPERTY AS A COMMERCIAL VACATION RENTAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This permit shall be valid for 7 years from the date of permit approval which is February 26, 2026, unless an extension is filed with County of Monterey HCD – Planning at least 30 days prior to the expiration of the permit. Approval of this Coastal Development Permit is limited to 7 years to provide an adequate, on-going review of the approved use of the Residential Property as a Commercial Vacation Rental.

The owner/operator shall file an application for extension of the permit in accordance with the Monterey County Code Title 20 Sections 20.74.110 and 20.64.290.F.12.b.

**Compliance or Monitoring Action to be Performed:** The applicant shall commence and operate the authorized use in accordance with County codes and State regulations and to the satisfaction of the HCD-Chief of Planning. Any request for a permit extension must be received by HCD-Planning at least 30 days prior to the expiration date.

### 5. PD010 - SIGNAGE FOR ADEQUATE EMERGENCY RESPONSE TIME

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** To protect the occupants of the Commercial Vacation Rental, applicants must demonstrate and post in the Informational Interior Signage that the response times for County emergency services for fire and emergency medical will be adequate pursuant to Monterey County Code Title 20 Section 20.64.290.F.5.

**Compliance or Monitoring Action to be Performed:** On an on-going basis the applicant shall notify occupants of the Commercial Vacation Rental of the average response time for emergency fire and medical services and describe the onsite fire protection systems. This information shall be provided to all occupants in the Informational Interior Signage and shall satisfy all requirements pursuant to Monterey County Code Title 7 Section 7.120.040.L.

## 6. PD018 - BUSINESS LICENSE REGISTRATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.02.060.C, Owner/Operator is required to obtain a business license from the County of Monterey Treasurer-Tax Collector. This business license shall be active and renewed annually for the term of this Coastal Development Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on an annual basis, the Owner/Operator shall provide proof that the property has been registered with the Monterey County Treasurer-Tax Collector.

## 7. PD031 - VACATION RENTAL OPERATION LICENSE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Chapter 7.120, applicants are required to obtain a Vacation Rental Operation License from the County of Monterey HCD. This Vacation Rental Operation License shall be active and renewed annually for the term of this Coastal Development Permit.

**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use, HCD will issue the applicant a Vacation Rental Operation License.

## 8. PD053 - TOT REGISTRATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Monterey County Code Title 7 Section 7.120.040.C, Owner/Operator is required to register for Transient Occupancy Tax (TOT) with the County of Monterey Treasurer Tax Collector. The applicant's Transient Occupancy Tax Certificate shall be active for the term of this Coastal Development Permit.

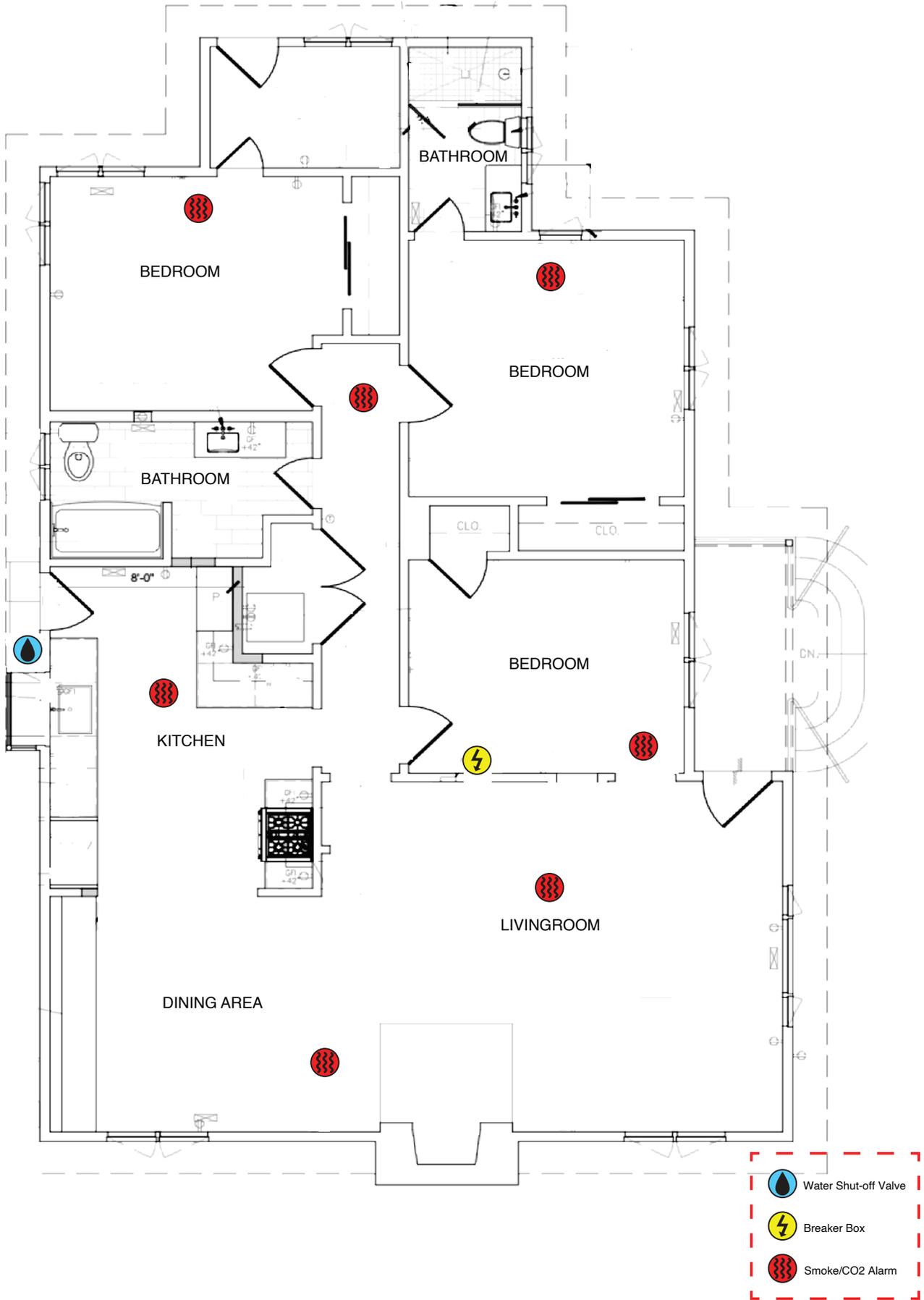
**Compliance or Monitoring Action to be Performed:** Prior to the commencement of use and on a quarterly basis, the Owner/Operator shall pay Transient Occupancy Tax to the Monterey County Treasurer-Tax Collector pursuant to Monterey County Code Title 5 Chapter 5.40.

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# FLOOR PLAN

24571 Portola Ave, Carmel, CA 93953

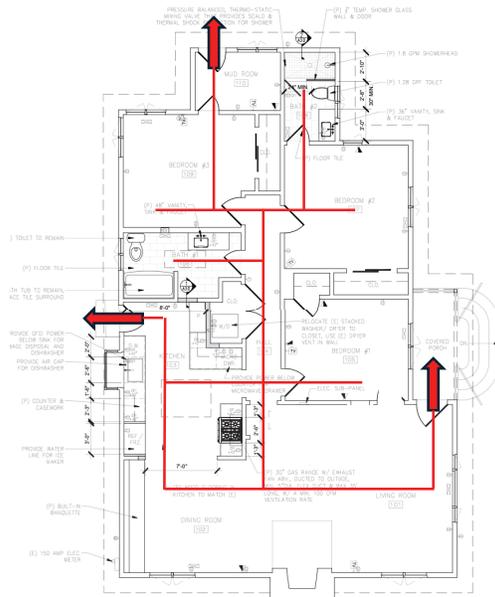


FLOOR PLAN SYMBOL LEGEND

-  TAMPER RESISTANT DUPLEX OUTLET
-  TAMPER RESISTANT QUAD OUTLET
-  220V TAMPER RESISTANT DUPLEX OUTLET
-  GROUND FAULT CIRCUIT INTERRUPT OUTLET
-  WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
-  DEDICATED OUTLET - VERIFY W/ EQUIP. MFG. TAMPER RESISTANT
-  TELEPHONE/DATA
-  CABLE TV JACK
-  THERMOSTATIC CONTROL
-  HVAC FLOOR REGISTER

COHN RESIDENCE

3417 HORTON AVE  
DANVILLE, CA  
94522



1 SCALE 1/8"=1'-0" FLOOR PLAN



**EVACUATION MAP**

 EXIT  
 EXIT PATHWAY

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Level



# HOUSING AND COMMUNITY DEVELOPMENT

Announcements

Development Services

Planning  
Services

Permit Center

GIS / Maps

About Us



## Vacation Rental Home Inspection Checklist

### Property Information

- Vacation Rental Address and Unit/Suite/Apt # **24571 Portola Ave  
Carmel, CA 93923**
- Total number of bedrooms **3**
- Total number of onsite parking spaces (e.g. garage, driveway) **4**

### Interior Inspection

- Beds are located in approved Bedrooms, in compliance with the Building Code at the time of construction, with appropriate ingress and egress.
- Every sleeping room has a functional smoke alarm.
- Every hallway with a sleeping room has a functional smoke alarm. Every floor has a functional carbon monoxide alarm.
- All built-in kitchen appliances operate properly and space for food storage, preparation, and serving are in good and safe condition. All electrical outlets in kitchen and bathrooms are Ground Fault Circuit Interrupter (GFCI) protected.
- Water heater is properly strapped, adequately vented, and temperature and pressure relief valves are drained to outside.
- Other heating equipment is in safe operating condition and placed in an approved location.
- There is at least one readily accessible class A fire extinguisher located in the home that has been serviced annually by a certified fire extinguisher company.
- The building conforms to the applicable state building and fire codes at the time the building was constructed.

### Exterior Inspection

- There is no evidence of infestation, garbage, and debris at the site.
- The property has active garbage pick-up service.
- If a garage is present, it is only used as a garage and only non-combustible flooring exists. Driveway, if present, is open and accessible to vehicles.
- Property is in an overall safe and sanitary condition.
- Water heater is properly strapped, adequately vented, and temperature and valves are drained to outside. Other heating equipment is in safe operating condition and placed in an approved location.

### Home Inspection Results

Passed

Failed

Remarks/Observations:

**Home Inspector Certification**

*Under penalty of perjury, the undersigned certifies that the information on this form is based on an actual site inspection of the property and is complete and accurate.*

Home Inspector or General Contractor Name & Acknowledgement:

- California Contractors State License Board License Classification Type B
- California Contractors State License Board License Classification Type B-2
- California Contractors State License Board License Classification Type C-47
- California Real Estate Inspection Association
- American Society of Home Inspectors
- International Code Council
- International Association of Certified Home Inspectors

Please check the relevant certification agency and write your License/Certification number below:

Date: 10/25/25      SIGN: *[Signature]*      ROBERT DESTEFANO  
LICENSE: 621252

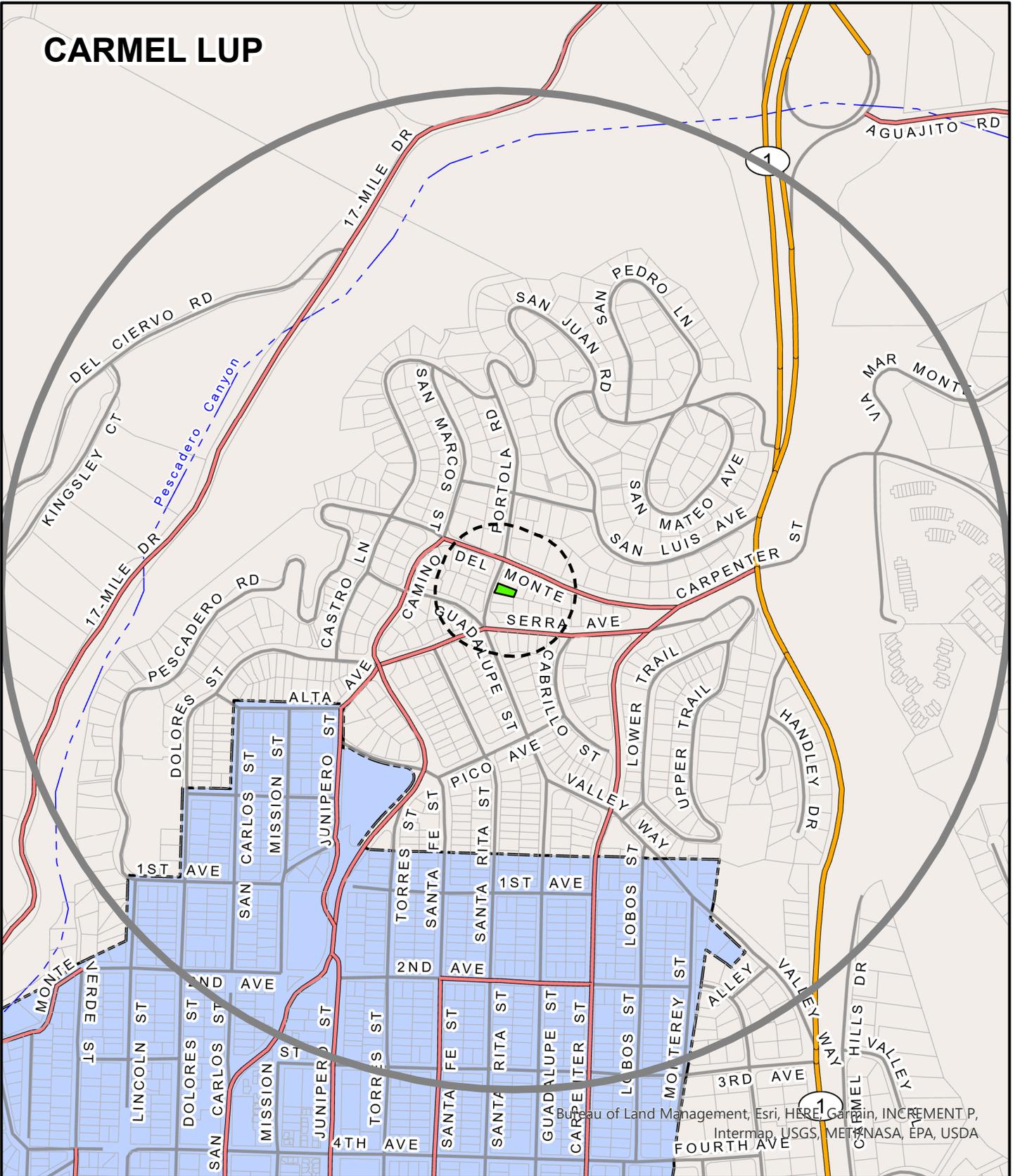
Click 'Print' at the top of this page and save as a PDF.

1421 Schilling Place    South 2nd Floor    Salinas, CA 95075    871.255.5025    SiteMap    Contact Us    

# Exhibit B

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# CARMEL LUP



Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METANASA, EPA, USDA

**APPLICANT:** PUCZYNSKI SHARON TR & COHN CRAIG TR

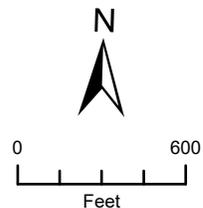
**APN:** 009052018000

**FILE #** PLN250366

 Project Site

 300 FT Buffer

 2500 FT Buffer



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