

Exhibit A

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EXHIBIT A **DRAFT RESOLUTION**

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

MACKENZIE PATTERSON AND CAROL JUNGWIRTH (PLN170911)

RESOLUTION NO. ----

Resolution by the Monterey County Planning
Commission:

- 1) Finding that the project is a single-family residence, which qualifies for a categorical exemption pursuant to section 15303 of the California Environmental Quality Act Guidelines and that none of the exceptions under section 15300.2 apply; and,
- 2) Approving a Combined Development Permit consisting of 1) an Administrative Permit and Design Approval to allow a new 2,000 square foot one-story single family dwelling with a 522 square foot deck, a 576 square foot detached garage; and (2) a Use Permit for the removal of 5 oak trees.

[PLN170911, Patterson and Jungwirth, 25345
Tierra Grande, Dr., (APN: 169-363-009-000)]

The Patterson and Jungwirth application (PLN170911) came on for public hearing before the Monterey County Planning Commission on March 28, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Carmel Valley Master Plan;No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) The property is located at 25345 Tierra Grande, Dr (Assessor's Parcel Number 169-363-009-000), Carmel Valley Master Plan. The parcel is zoned Low Density Residential with Design Control, Site Plan, Building Site Zoning, and Residential Allocation Zoning overlays (LDR/B-6-D-

S-RAZ) which allows the first single family dwelling per lot with a Site Plan and Design Approval. Therefore, the project is an allowed land use for this site.

- c) The property and surrounding areas are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors to assure the protection of the public viewshed and neighborhood character. The proposed structure color and materials include terra cotta colored standing seam metal roofing, grey fiber cement panels, and aluminum windows with a yellow/orange trim. The terra cotta roof color is consistent with other homes in the neighborhood and the low profile home design will blend with the surrounding environment and minimize any visibility from the road. The grey fiber cement panel siding blends with the surrounding environment and is appropriate for the very high fire hazard area.
- d) The project is consistent with Carmel Valley Master Plan Policy CV1.1 with states that development shall follow a rural architectural theme with Design Review. The modest-sized house prioritizes the existing wooded site and the colors have been selected to blend with the existing environment.
- e) The project is consistent with Carmel Valley Master Plan Policy CV-1.20(c), for Design and Site Plan overlay districts, which states that materials and colors used in construction shall be selected for compatibility with the structural system of the building and with the appearance of the building’s natural and man-made surroundings. The terra cotta roof color has been chosen to blend with the surrounding homes, while the grey siding will blend with the on-site oak trees.
- f) The property and surrounding areas are designated as a Site Plan Zoning District (“S” zoning overlay) for review of development in areas where development has the potential to adversely affect or be adversely affected by natural resources or site constraints. The parcel is significantly constrained due to the shape of the lot, slopes over 25%, and the presence of oak trees. Structures have been carefully sited within the required setbacks to minimize oak tree removal and avoid development on slopes.
- g) The project is consistent with requirements for the B-6 district because it does not involve subdivision or a lot line adjustment.
- h) The project is consistent with the requirements for the RAZ district because proposed dwelling is the first dwelling unit on a legal lot.
- i) The project planner conducted a site inspection on December 15, 2017 to verify that the project on the subject parcel conforms to the plans listed above.
- j) The project meets setback requirements for LDR lots. The required front setback is 30 feet for main structures and 50 feet for non-habitable accessory structures. The house will be 100 feet from the front property line and the garage will be 75 feet from the front property line. The required side setbacks are 10 percent of the average lot width. The parcel is narrowest at the front where it borders Tierra Grande Dr. and widens toward the back, with the widest portion at the rear property line. Ten percent of the average lot width is 15ft, 9in. The house will be exactly 15ft 9in from the north property line and 22ft 6in from the south

property line. The detached garage will be 12ft 6in from the south property line, which exceeds the 6ft required side setback for non-habitable accessory structures.

- k) The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC because the project includes a Design Approval and is subject to review by the Planning Commission. The LUAC voted 6-0 to support the project, but recommended that a construction parking plan be submitted prior to issuance of the building permit. The applicant has submitted a construction management plan identifying four parking areas on site and two optional spaces Tierra Grande Dr. The parking plan also requires a sign to be posted stating that no parking shall be permitted to block the driveway right-of-way or the neighbor's driveway.
l) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170911.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Monterey County Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- b) The following reports have been prepared:
 - “Patterson/Jungwirth Residence 25345 Tierra Grande, Carmel Valley, CA Tree Resource Assessment” (LIB180043) prepared by Frank Ono, Urban Forester, Pacific Grove, CA, October 31, 2017.
 - “Geotechnical Engineering Report for Proposed Single Family Residence and Detached garage 25345 Tierra Grande Drive Monterey County, CA” prepared by Beacon Geotechnical, Inc., Paso Robles, CA, December 8, 2017
- The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.
- c) Staff conducted a site inspection on December 15, 2017 to verify that the site is suitable for this use.
d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170911.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of

this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by the RMA - Planning, Monterey County Regional Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are available. The house will be served by an onsite well and a new septic system. Environmental Health has reviewed water quality and pump tests completed in 2008 and has conditioned the project to require updated quality tests prior to final of the construction permit. Septic system plans have been approved; however, new septic design will be required if building permits are obtained after an expected change in regulations in May 2018.
- c) Staff conducted a site inspection on December 15, 2017 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170911.

4. FINDING:

TREE REMOVAL - Tree removal is the minimum required under the circumstances and the removal will not involve a risk of adverse environmental impacts.

- a) The project includes the removal of 5 oak trees. In accordance with the applicable policies of the Carmel Valley master plan and the Monterey County Zoning Ordinance (Title 21), a Use Permit is required and the authority to grant said permit has been met.
- b) Monterey County Zoning Ordinance Section 21.64.260(D)(3) requires a the submittal of a Forest Management Plan (FMP) and approval of a Use Permit for tree removal of more than 3 protected trees. The applicant has applied for and complied with these requirements.
- c) Staff has reviewed the project plans and visited the site on December 15, 2018 to analyze possible environmental impacts from tree removal.
- d) A Tree Resource Assessment was prepared by Frank Ono, a Certified Arborist, on October 31, 2017 (LIB180043).
- e) The 1 acre parcel contains a total of 59 oak trees, of which 5 are requested for removal.
- f) The proposed single family dwelling and driveway have been carefully designed to limit tree removal. Most of the mature oak trees on the property will be preserved. The originally proposed back patio has been redesigned as a deck to minimize disruption of tree roots and to promote better gaseous interchange and moisture for the critical root zone for a stand of three oak trees of 14 inch, 14 inch, and 18 inch diameters.
- g) Measures for tree protection during construction have been incorporated as a Condition of Approval (Condition 4), and include fencing and barricades.

- h) The tree removal will not involve risk of adverse environmental impacts. Trees close to construction activities are expected to survive with the recommended protection measures, and the majority of the trees on site will not be impacted by construction activities. No long term significant effects to the forest ecosystem were identified in the Tree Resource Assessment.
- i) Removed trees are not required to be replaced in accordance with Title 21.64.260 because replacement will cause special hardship to the site and would be detrimental to the long-term health and maintenance of the remaining habitat. The arborist report found that the site is overstocked and overcrowded with trees and that an overabundance of shade would not allow new trees to be sustained in a healthy condition. Monterey County Regional Fire Protection District stated that they agree with the project arborist that replacing the removed trees would contribute to an over-abundance of ladder fuels and would constitute a fire hazard.
- j) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170911.

5. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on December 15, 2018 and researched County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
- d) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170911.

6. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts a single-family residence and accessory structures including garages within residentially zoned areas.
- b) The proposed project involves the construction of a single-family residence and attached garage, both located within a residential zone.
- c) No adverse environmental effects were identified during staff review of the development application during a site visit on December 15, 2018.
- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect on the environment, or development that would result in a cumulative significant impact

- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170911.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and not to the California Coastal Commission.

EVIDENCE:

- a) Section 21.80.040.D of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.
- b) The project is not located in the Coastal Zone.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find the project is a single-family residence, which qualifies for a categorical exemption pursuant to section 15303 of the California Environmental Quality Act Guidelines and that none of the exceptions under section 15300.2 apply; and,
2. Approving a Combined Development Permit consisting of 1) an Administrative Permit and Design Approval to allow a new 2,000 square foot one-story single family dwelling with a 522 square foot deck, and a 576 square foot detached garage; and (2) a Use Permit for the removal of 5 oak trees in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference; and

PASSED AND ADOPTED this 28th day of March, 2018 upon motion of _____, seconded by _____, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Jacqueline Onciano, Planning Commission

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE [DATE]

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170911

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN170911) allows a 2000 square foot single family dwelling with a 522 square foot deck, a 76 square foot detached garage, and the removal of 5 oak trees. The property is located at (Assessor's Parcel Number 169-363-009-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A [Type of Permit] (Resolution Number ***) was approved by [Name of Hearing Body] for Assessor's Parcel Number *** on [Date the permit was approved]. The permit was granted subject to *** conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.

(RMA - Planning)

Compliance or Monitoring
Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD049 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (RMA - Planning)

Compliance or Monitoring
Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to RMA-Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to RMA-Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

5. PDSP001-CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to the Resource Management

Agency (RMA) for review and approval. The CMP shall include measures to minimize traffic

impacts and noise during the construction/grading phase of the project and shall provide the following

information:

Duration of the construction, hours of operation, an estimate of the number of truck trips that will

be generated, truck routes, number of construction workers, parking areas for both equipment and

workers, and locations of truck staging areas. Specifically, the plan should limit construction noise from Monday through Friday 8am to 5pm and Saturday from 10am to 5pm and shall be designed to avoid blocking access and line of sight from neighboring driveways. Approved measures included in the CMP shall be

implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the applicant shall submit a Construction Management Plan to RMA for review and approval.

The Construction Management Plan shall be adhered to throughout the duration of grading and construction for the project.

6. PD035 - UTILITIES UNDERGROUND

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All new utility and distribution lines shall be placed underground. (RMA - Planning and RMA- Public Works)

Compliance or Monitoring Action to be Performed: On an on-going basis, the Owner/Applicant shall install and maintain utility and distribution lines underground.

7. EHSP01 - DOMESTIC WELL: WATER QUALITY (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: A residential building shall be provided with an adequate supply of potable water pursuant to Section 601.1 of the Uniform Plumbing Code. In order to demonstrate a potable supply for domestic use, the well shall first undergo water quality testing. Sample collection shall include analysis of coliform bacteria, and primary inorganics and secondary compounds as listed in Tables 64431-A and 64449-A&B in Title 22 of the California Code of Regulations. Waivers for asbestos, MTBE, and thiobencarb may be available upon request. Sample collection shall be done by a person approved by EHB and shall be analyzed by a laboratory certified by the Environmental Laboratory Accreditation Program (ELAP). If water quality results indicate that the well exceeds a primary drinking water standard(s), a treatment system shall be installed before a building is occupied and the applicant shall record a deed restriction indicating that treatment is necessary for the well water to meet Title 22, CCR primary drinking water standards. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to final of the construction permit, the applicant shall submit water quality analysis results to the Environmental Health Bureau (EHB) for review. If EHB determines that the water quality is adequate, no further action is required.

If EHB determines that treatment is necessary:

- Prior to issuance of a construction permit, the applicant shall provide plans prepared by a qualified individual for treatment to EHB for review and approval.
- Prior to occupancy of a building, the applicant shall provide to EHB for review and approval as-built plans prepared by a qualified individual for treatment and water quality analysis for a treatment effluent sample that demonstrates the treatment system is able to reduce the contaminant(s) to Title 22, CCR primary standards.

The applicant shall submit a draft deed restriction for review and approval by EHB and County Counsel.

The applicant shall provide proof of recordation of the approved deed restriction to EHB and Planning Department.

If the applicant chooses not to pursue utilizing the well as a source for domestic use, this condition shall not be applicable.

8. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

9. GEOTECHNICAL CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geotechnical Report. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

10. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Grading Plan incorporating the recommendations from the project Geotechnical Engineering Report prepared by Beacon Geotechnical, Inc. The Grading Plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The Grading Plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the Grading Plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a Grading Plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the Grading Plan for conformance with the geotechnical recommendations.

11. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

12. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

13. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

14. WR002 - STORMWATER CONTROL

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts. Impervious surface stormwater runoff shall be dispersed at multiple points, on the least steep available slopes, away from and below any septic leach fields. Erosion control shall be provided at each outlet. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

15. WR049 - WATER AVAILABILITY CERTIFICATION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at:
www.mcwra.co.monterey.ca.us.

16. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (RMA - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to RMA-Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

Zoning: LDR/B-6-D-S-RAZ
 General Plan Designation: Residential
 Proposed: 2,000.00 SQ.FT. Conditioned Living Space*
 576.00 SQ.FT. Detached Garage
 205.50 SQ.FT. 8' East Roof Overhang
 101.33 SQ.FT. 3' Roof Overhang Typical
 39.00 SQ.FT. 3' Roof Overhang @ Garage
 45.00 SQ.FT. 4' Roof Overhang @ Garage
 2,966.83 SQ.FT. Total Coverage
 *Conditioned Living Space includes walls & fireplaces, etc.

Parcel Area: 44,866.80 SQ.FT. 1.03 Acres

Allowable Site Coverage: 25 %
 Allowable Area: 11,216.70 SQ.FT.

Coverage: Existing Proposed Total
 Building 2,966.83 SQ.FT. 2,966.83
 Impervious 750.00 SQ.FT. 1,080.00 SQ.FT. 1,830.00
 1.67 % 9.02 % 10.69 %

Floor Area Ratio: N/A

Grading: Cut Fill
 3510 CU.YDS. 3936 CU.YDS.

Main Structure Accessory Structure
 Allowable Height: 30.00 Feet 15.00 Feet
 Highest Point Existing Grade 100.00 Feet 101.00 Feet
 Lowest Point Existing Grade 96.85 Feet 99.55 Feet
 Average Natural Grade 98.43 Feet 100.28 Feet
 Maximum Allowable Height 128.43 Feet 115.28 Feet
 First Floor Elevation 99.50 Feet 99.50 Feet
 Proposed Maximum Height 115.25 Feet 113.03 Feet

Setbacks: Allowable Proposed Main Allowable Accessory Proposed Acc.
 Front 30.00 Feet 165.00 Feet 50.00 Feet 56.00 Feet
 N.Side 15.73 Feet 36.00 Feet 6.00 Feet 139.00 Feet
 S.Side 15.73 Feet 57.00 Feet 50.00 Feet 50.00 Feet
 Rear 20.00 Feet 62.75 Feet 1.00 Feet 249.00 Feet
 Between 10.00 Feet 10.00 Feet
 Proposed Required
 Parking: 2 Covered 1 Covered
 2 Uncovered 1 Uncovered

Tree Removal: 5 Oak

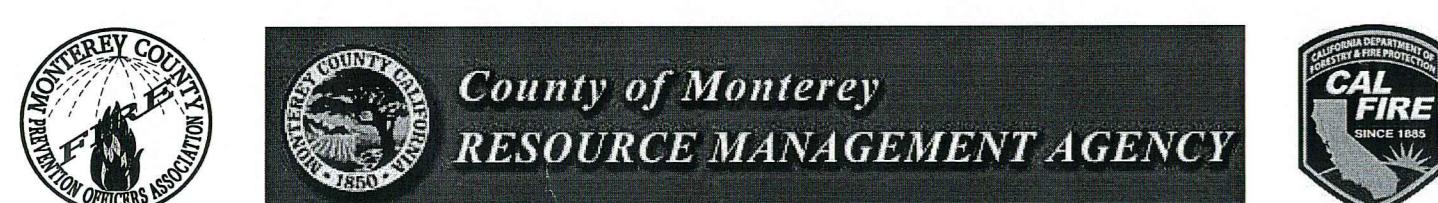
Water Provided by: Private On Site Well

No Areas are subject to inundation or 100 year flood levels.

No Known Environmentally sensitive habitat, archaeological resources, historical sites, or hazards.

No Wetlands, Streams, Creeks, or any other bodies of water on subject property.

Scope of Work:
 New One Story Single Family Residence with Detached Garage.



Basic Defensible Space & Vegetation Management Guidelines For Property Owners

Scope: These guidelines provide property owners with information regarding basic vegetation management practices to create defensible space around structures in all unincorporated areas of Monterey County. Use of these practices will help property owners bring the property into a basic level of compliance with:

- LE-100 Defensible Space Inspection Program
- Local fire dept. wildland fire safety requirements
- California Public Resources Code Section 4291
- Planning Services Dept. zoning, easement & environmental requirements

Within 30 feet immediately surrounding the building (or to property line, whichever is closer):

- ❖ Cut flammable vegetation around buildings a minimum 30 feet or to the property line, whichever is closer, except for landscaping, as follows:
 - Cut dry and dead grass to a maximum height of 4 inches.
 - Maintain the roof and gutters of the structure free of leaves, needles or other dead vegetative growth.
 - Maintain any tree adjacent to or overhanging a building free of dead wood.
 - Trim tree limbs that extend within 10 feet of the outlet of a chimney or stove pipe.
 - Trim dead portions of tree limbs within 10 feet from the ground.
 - Remove all limbs within 6 feet of the ground.
 - Remove all dead fallen material unless it is embedded in the soil.
 - Remove all cut material from the area or chip and spread on site.
- ❖ Remove all cut material from the area or chip and spread on site.
- ❖ Provide and maintain at all times a screen over the outlet of every chimney or stovepipe that is attached to a fireplace, stove or other device that burns any solid or liquid fuel. The screen shall be constructed of nonflammable material and openings of not more than one-half inch in size.
- ❖ Post house numbers per Fire Department requirements.

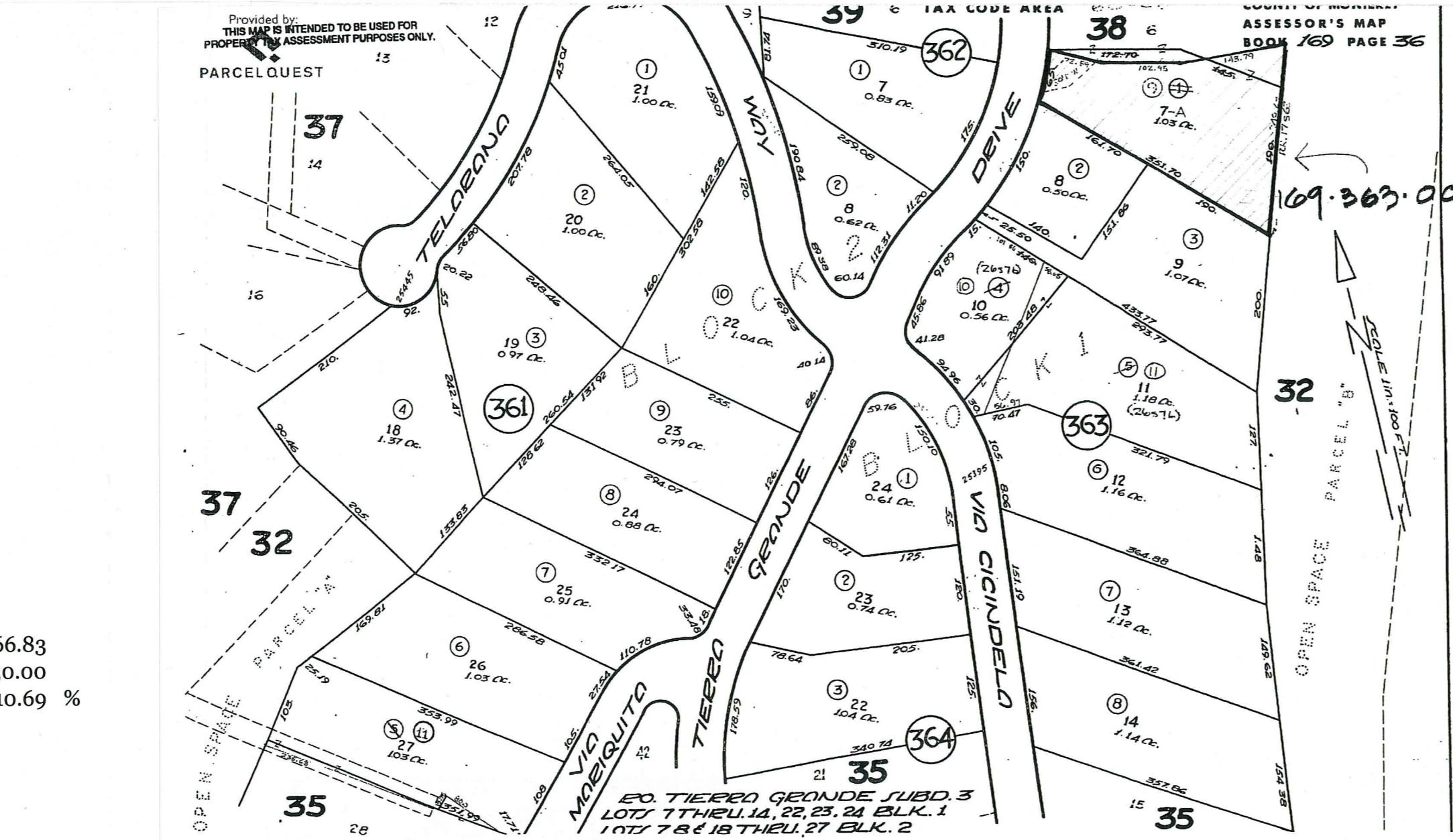
Between 30 and 100 feet around the building (or to the property line, whichever is closer)

- The fuel reduction zone in the remaining 70 feet (or to the property line) will depend on the steepness of your property and the type of vegetation. For additional information, refer to the Cal Fire brochure "Why 100 Feet? Protect Your Home...and Property"
- Cut plants and grass beneath tree canopies to prevent fire from spreading to the trees. These plants should be "topped off" leaving the root structure intact to minimize erosion.
- Do not use herbicide or other chemical methods to remove vegetation.

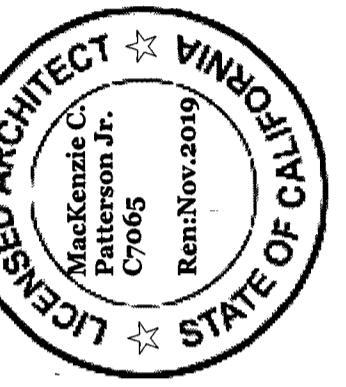
Note: Any further vegetation management activities, including those required by insurance companies, may require prior approval from the Planning Services Department when activities involve the following:

- Exposing soil to erosion
- Impact sensitive habitat
- Accelerating sediment runoff into water courses
- Tree removal

Permit requirements for these additional vegetation management activities are available at the Monterey County Planning Department office located at 168 W. Alisal St., 2nd Floor, Salinas, CA 93901. If you wish to speak to a Planner regarding these permit requirements, you may call (831) 755-5025.



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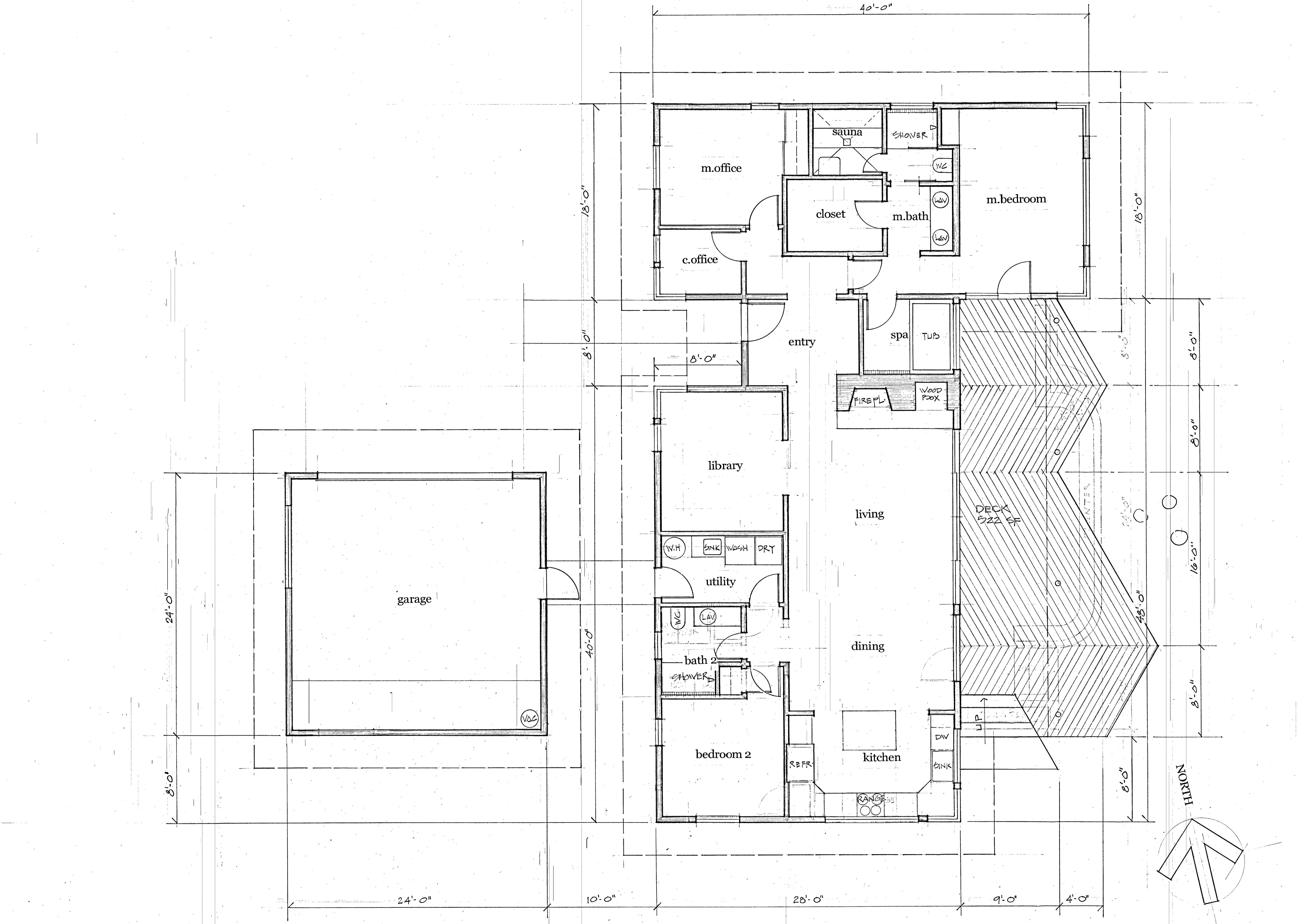


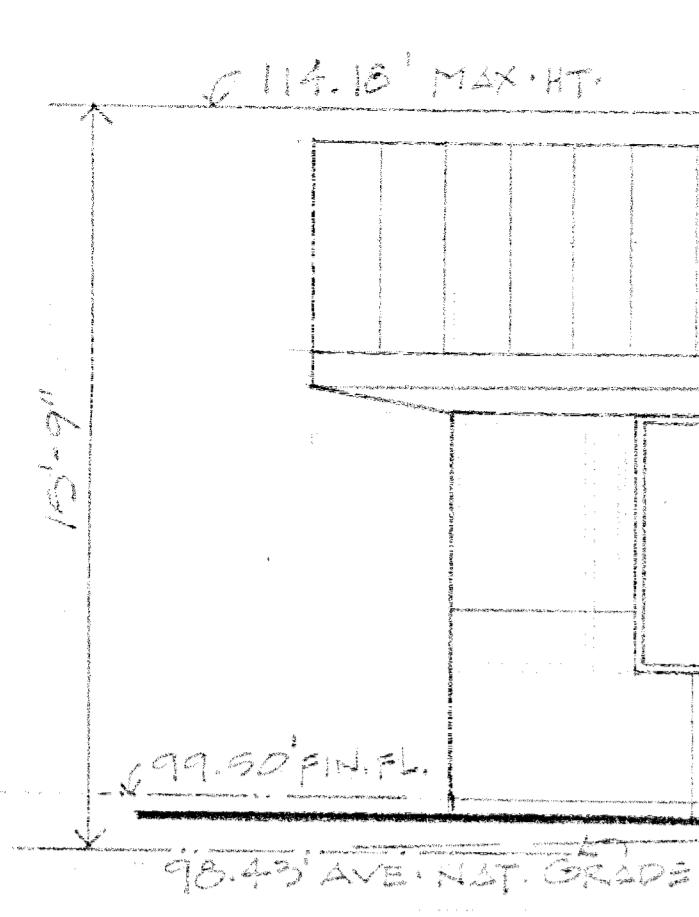
Mackenzie Patterson & Carol Jungwirth

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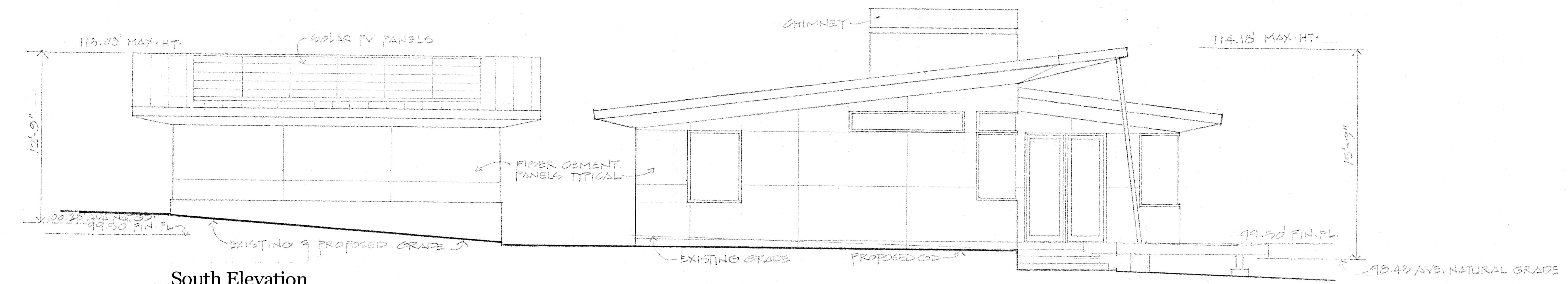
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25345 Tierra Grande Drive, Carmel, California 93923
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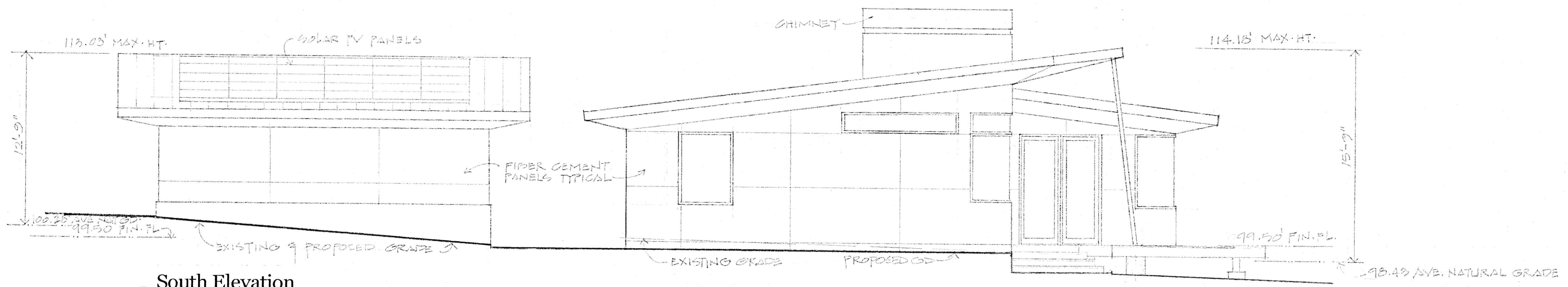




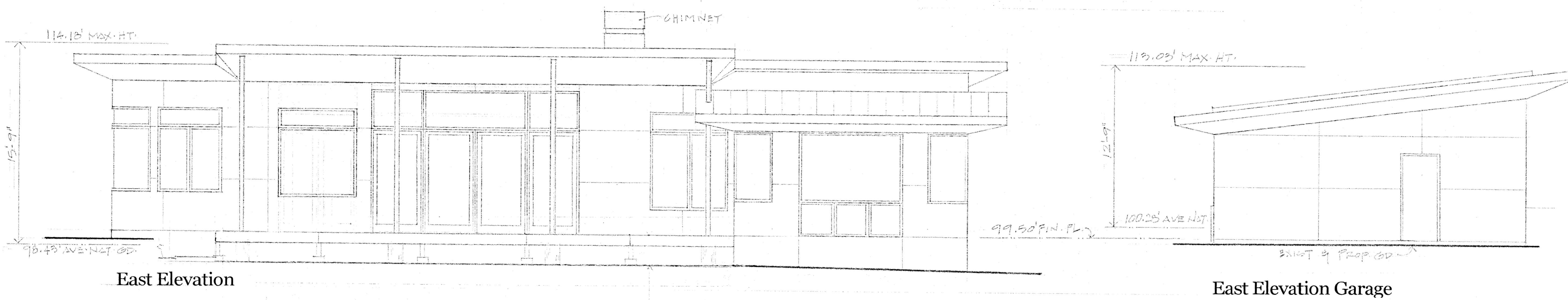
West Elevation



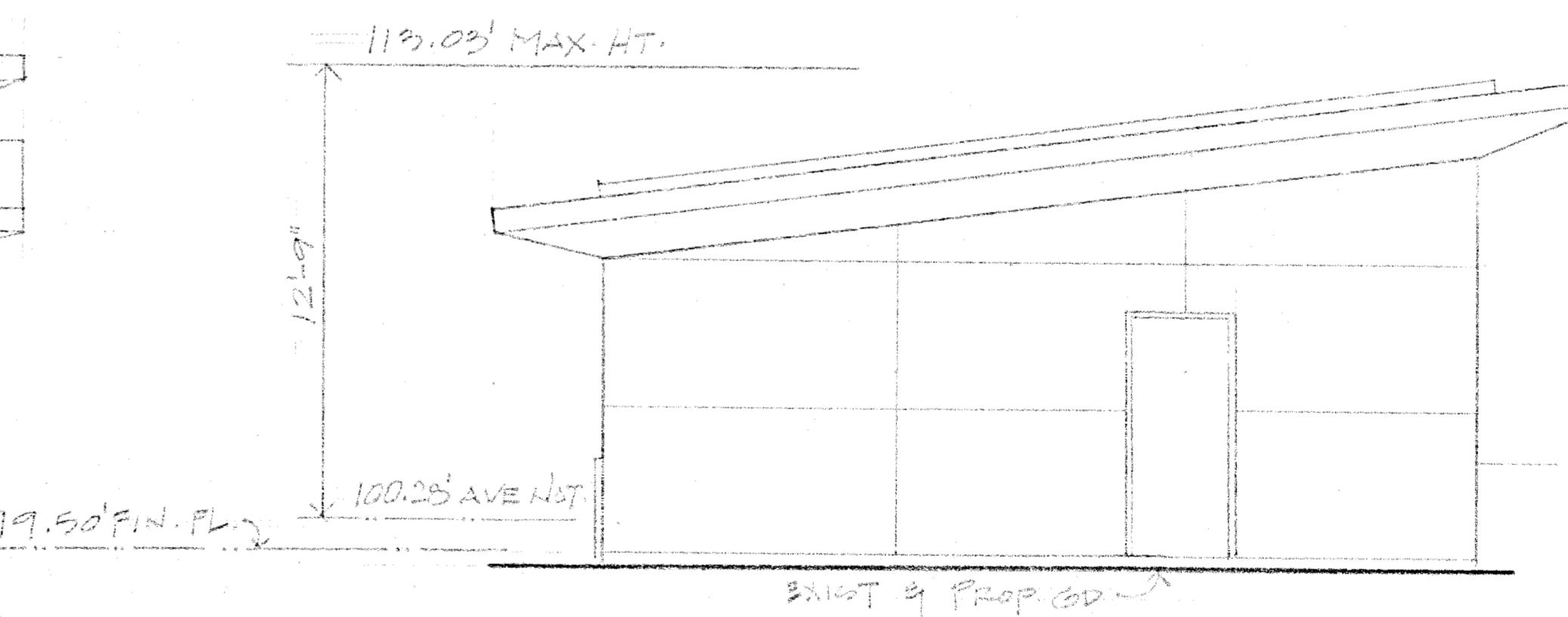
West Elevation between Garage



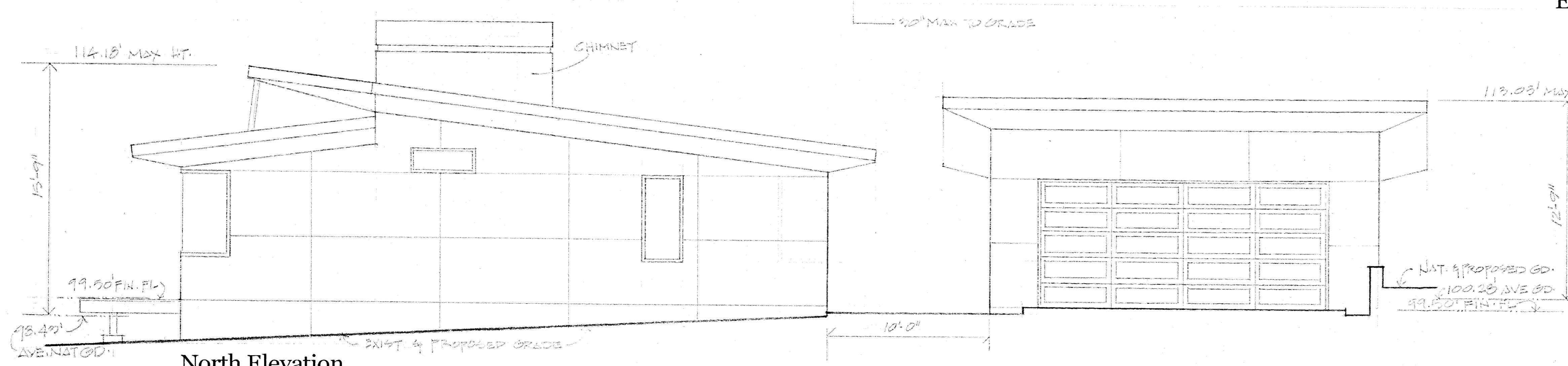
South Elevation



East Elevation



East Elevation Garage



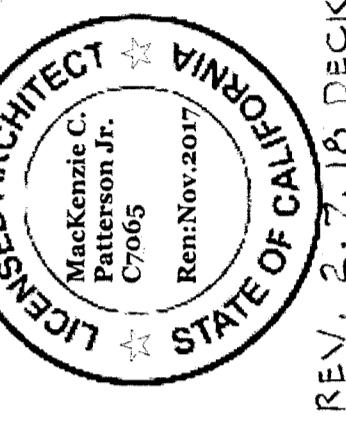
North Elevation

Scale: 1/4" = 1'-0"

3

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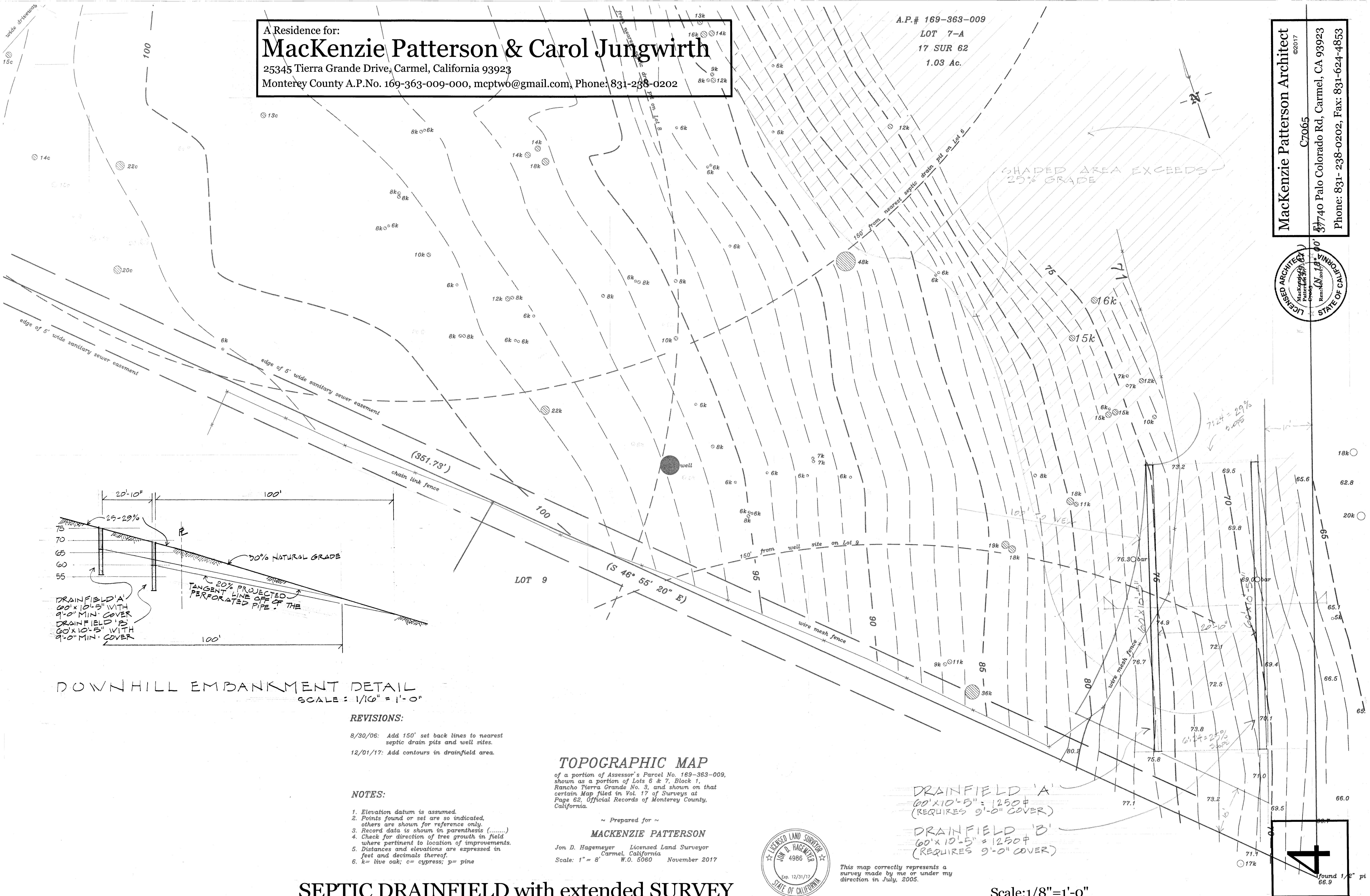
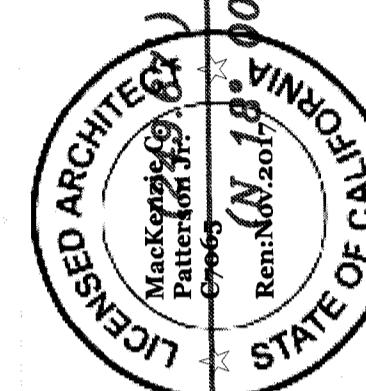
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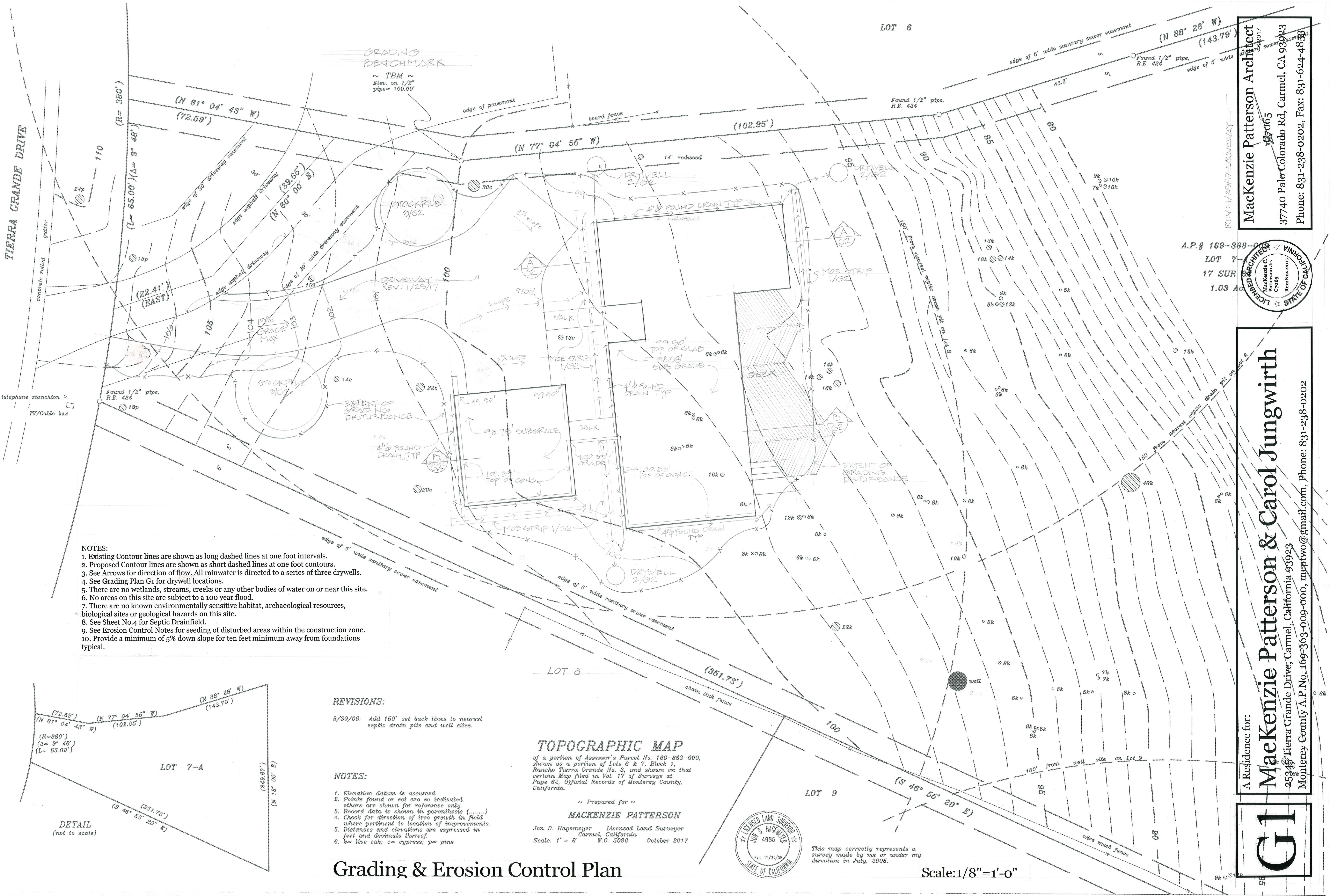
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TIERRA GRANDE DRIVE



GRADING NOTES & CONDITIONS :

1. A copy of all compaction tests and final grading report shall be submitted to the County prior to scheduling any inspections. This shall be prepared by the Geotechnical Engineer.
2. All erosion control measures shall be in place at the end of each working day, between October 15th and April 15th. See Erosion Control Plan Notes.
3. All grading shall conform with the County of Monterey Grading Ordinance #2535, and Erosion Control Ordinance #2806.
4. Pad elevations shall be certified to 0.1 feet, prior to digging any footings or scheduling any inspections. Certification shall be by a licensed land surveyor.
5. Any retaining walls (not attached to the residence) require a separate Building Permit. None Anticipated.
6. Statement of Intentions: The specific intention of the grading is to accommodate the placement of the residential structure, detached garage and the driveway. The objective is not to intrude on the natural terrain wherever possible.
7. It is estimated that the construction will be about 10 months duration. Estimated start date is April 15, 2018. Estimated completion date is February 15, 2019.
8. Driveway Specifications: Driveway to be 2 inch asphaltic concrete with 4" compacted class 2 base rock, over 6" compacted to 95% native subgrade. Where any fill is required under any part of the driveway it shall be compacted class 2 base rock. The subgrade shall be compacted to 95% of standard AASHTO maximum density.
9. Recommendations of Geotechnical Soils-Foundation & Geoseismic Report with Geohazard Analysis prepared by BEACON GEOTEC dated 12-8-17 are hereby incorporated into these Grading Plans.
10. FILL PLACEMENT AND COMPACTION
 - a. All fill soil should be placed in uniform lifts not exceeding eight inches (8") in loose thickness, and six inches (6") in compacted thickness, moisture conditioned and compacted to a minimum relative compactive effort. The minimum relative compactive effort of the native soil should be 90%. All base rock and the upper eight inches (8") of subgrade under paved areas should be compacted to a minimum of 95% relative compactive effort. Where slab-on-grade floors are to be used, the upper six-inches of subgrade should be compacted to minimum relative compaction of 90%. It is important that all native soil be moisture conditioned such that the moisture content is within two percent of optimum moisture content at the time of compaction.
 - b. The relative compaction will be based on the maximum dry density obtained from a laboratory compaction curve run in accordance with ASTM Procedure #D1557-78. This test will also establish the optimum moisture content of the material.
11. FILL MATERIAL

The on-site soil may be used as compacted fill; however soil to be used as fill which must be imported should meet the following requirements:

 - a. Free of organics, debris, and other deleterious materials.
 - b. Granular in nature, well graded, and contain sufficient binder to allow utility trenches to stand open.
 - c. Free of rocks and cobbles in excess of two inches (2") in size.
 - d. Have a Plasticity Index between 4 and 12.
 - e. Have a minimum Sand Equivalent of 20.
 - f. Have a minimum resistance "R" value of 30.
 - g. Have an expansivity not greater than medium.
12. CUT AND FILL SLOPES
 - a. All new cut and fill slopes (if needed) should not exceed a maximum gradient of 2:1 (horizontal to vertical). Requirements for benching and keyways will be determined at the time of construction. Note that where possible maximum design gradient is 4:1 (horizontal to vertical).
 - b. Trenches that are parallel to the sides of buildings, on level ground, should be placed so that they do not extend below an imaginary line sloping down and away at 2:1 (horizontal to vertical) from the bottom outside edge of all spread footings.
 - c. Trench backfill materials should be selected based on the type and location of each trench. Trenches in sensitive locations should typically be back filled with materials that have low permeability. Trenches in other areas may be filled with granular materials. All backfill material should be uniformly compacted by mechanical means to the relative compaction as required by local building codes, but not less than 95% under paved areas and 90% elsewhere. The relative compaction will be based on the maximum dry density obtained from a laboratory compaction curve run in accordance with ASTM Procedure #D1557-78. This test will also establish the optimum moisture content of the material.
 - d. A three-foot (3') long concrete plug should be placed in each trench where it passes under the exterior foundations. Care should be taken not to damage utility lines.
 - e. Trenches should be capped with 1.5+- feet of relatively impermeable soil.
 - f. Trenches deeper than five feet (5') must be shored as required by the local agency, the State of California Division of Industrial Safety Construction Safety Orders, and Federal OSHA requirements.
13. Cut slopes shall be no steeper than two horizontal to one vertical.
14. Actual grading shall begin within 30 days of vegetation removal or the area shall be planted to control erosion.
15. Fill slopes shall not be constructed on natural slopes steeper than two to one, unless a civil engineer or geologist devises a method of placement that will assure the fill will remain in place.
16. Fill slopes shall toe out no closer than 12 feet horizontally to the top of existing or planned cut slopes.
17. The ground surface shall be prepared to receive fill by the removal of topsoil and other unsuitable materials as determined by the soil engineer and, where the slopes are five to one or steeper, by keying into sound bedrock or other competent material.
18. The ground surface shall be prepared to receive fill by removing vegetation, noncomplying fill, topsoil and other unsuitable materials, scarifying to provide a bond with the new fill, and where slopes are steeper than five to one, and the height is greater than 5 feet, by benching into sound bedrock or other competent material as determined by the geotechnical engineer.
19. The bench under the toe of a fill on a slope steeper than five to one shall be at least twelve feet wide.
20. The area beyond the toe of a fill shall be sloped for sheet overflow or a paved drain shall be provided.
21. Where fill is to be placed over a cut, the bench under the toe of fill shall be at least ten feet wide but the cut must be made before placing fill and approved by the geotechnical engineer and engineering geologist as suitable foundation for fill. None anticipated.
22. Fill slopes shall not be constructed on natural slopes steeper than 2:1.
23. No organic material shall be permitted in fills except as topsoil used for surface plant growth only and which does not exceed 4 inches in depth.
24. Rock over twelve inches in its maximum dimension may not be used in a fill.
25. No compacted fills shall be made which creates an exposed surface steeper in slope than 2 horizontal to 1 vertical.
26. All fills shall be compacted to a minimum of 90% of maximum density as determined by the 2016 UBC, Section 6003.

27. Grading Calculations (Note that it is the responsibility of the Grading Contractor to prepare his own grading calculations for bidding and contract proposals.)

Residence: Cut Fill

A) N. WING 0' 40' x 25' x 0.79 = 885 CF = 322.77 CU YDS.
B) CENTER 0' 8' x 28' x 0.50 = 1120 CF = 4.15 CU YDS.
C) S. WING 17.04 28' x 40' x 0.50 = 400 CF = 1.44 CU YDS.
D) S. WING — 5' 40' x 0.33 = 0 CF = 0 CU YDS.
E) PEAK 8.89 40' x 8' x 0.75 = 240 CF = 8.89 CU YDS.
F) DRIVEWAY 9.17 750 SQ. FT. x 0.33 = 243 CF = 8.1 CU YDS.

TOTAL 35.10 CU YDS OUT 39.36 CU YDS

G) EXCESS AVAILABLE FOR ON SITE FILL FROM
SEPTIC DRAINFIELD: 60' x 9' x 1.33 = 720 CU FT x 2 = 1440 = 53.33
CU YDS.

28. All cut and/or fill slopes exposed during the course of construction shall be covered, seeded with native grasses or otherwise treated to control erosion subject to the approval of the Director of Planning & Building Inspection.

29. Native trees which are located close to the construction site shall be protected from inadvertent damage from construction equipment by: (Close is any tree within 10 feet of an "extent of grading or site disturbance" area as shown on the Grading Plan.)

- a. Wrapping trunks with protective materials;
- b. Fencing around the area within drip lines;
- c. Avoiding fill of any type against the base of the trunks, and
- d. Avoiding an increase in soil depth at the feeding zone or drip line of the retained trees.

Said protection shall be demonstrated through either photographic evidence or by a site visit with Planning and Building Inspection staff prior to issuance of building permits.

30. Provide a minimum of a 5% Downslope for a minimum of 10 feet away from the foundations, typical.

31. See Grading Plan for 4" diameter perforated pipe to be located below top of footing in Class 1 Type A drain rock, 12 inches wide, extending up to within 8 inches of finished grade, and covered with filter fabric above rock, typical. All drain lines connect to dry wells, see plan., with 4" diameter solid abs pipe.

32. Where roof downslope discharges rainwater Note 33. Shall be supplemented with a gravel Moe Strip. See Detail 1/G2 Moe Strip, or "Smith" Model 9818 trench drain at paved areas. Locate at center line of drip line, Approximately 30 inches on center away from face of finish stucco.

See Plan.
Where Roof Valleys creates a concentrated rainwater discharge, provide an 18" section of 4" ogee gutter with a 3 inch diameter downspout, which shall lead into the 4" perforated drain pipe in the moe strip. See Grading & Erosion Control Plan for locations.

33. Drywells: Shall be sized to accommodate a 2 inch rainfall in a 24 hour period. Maximum roof area served is 1,500 sq.ft. per drywell, produces 250 cu ft of rain water. A conservative percolation rate of 60 minutes per inch is used for this sizing. In 4 hours a 5'-0" diameter drywell 5 feet deep could percolate 4hrs x 19.63 sq ft bottom + 4 hrs x 78.54 side = 392 cu ft of water > 250 cu ft. Provide a 2" diameter overflow pipe from the last drywell in any series. All drywells shall be located a minimum of ten feet from any uphill foundation and 25 feet from any downhill foundation.

34. Building pads shall have a drainage gradient of 2% toward approved drainage facilities. Grades around perimeter shall slope downward 1 inch minimum to a point 4 feet from structure typical.

35. Dust from grading shall be controlled.

36. DISTURBED AREA 8,700 SQ. FT. APPROX.

37. PROVIDE 3'-0" HIGH BARRIER MADE WITH "ORANGE" NETTING SUCH THAT IT DEFINES THE "EXTENT OF GRADING" AND SITE DISTURBANCE AND PROVIDES TREE PROTECTION FOR ALL TREES OUTSIDE THIS ENVELOPE.

EROSION CONTROL PLAN:

1. All Erosion Control measures shall conform with Monterey County Erosion Control Ordinance #2806.

2. The Owner shall cooperate with the Monterey County Grading Inspector in compliance with winter operations to prevent erosion and siltation.

3. Roof Drainage shall be collected in gravel strips. These strips shall be located along all down slope roof eaves. See Detail 1/G2. All roof drainage shall be directed to the drywells.

4. Erosion Control facilities & measures shall be installed, maintained, and operated prior to the start of work between October 15th and April 15th.

5. All disturbed areas excluding the building foundation and driveway shall be seeded as soon as possible after grading.

6. The site shall be maintained so as to prevent sediment laden runoff from entering the natural drainage courses or adjacent properties.

7. The rainy season is October 15th thru April 15th. No grading shall occur during this period unless otherwise authorized by the Director of Building & Planning.

8. Re-vegetate and protect exposed soils by October 15th. Use appropriate grass/ legume seed mixes and straw mulch for temporary cover. Permanent vegetation shall be native drought tolerant plants.

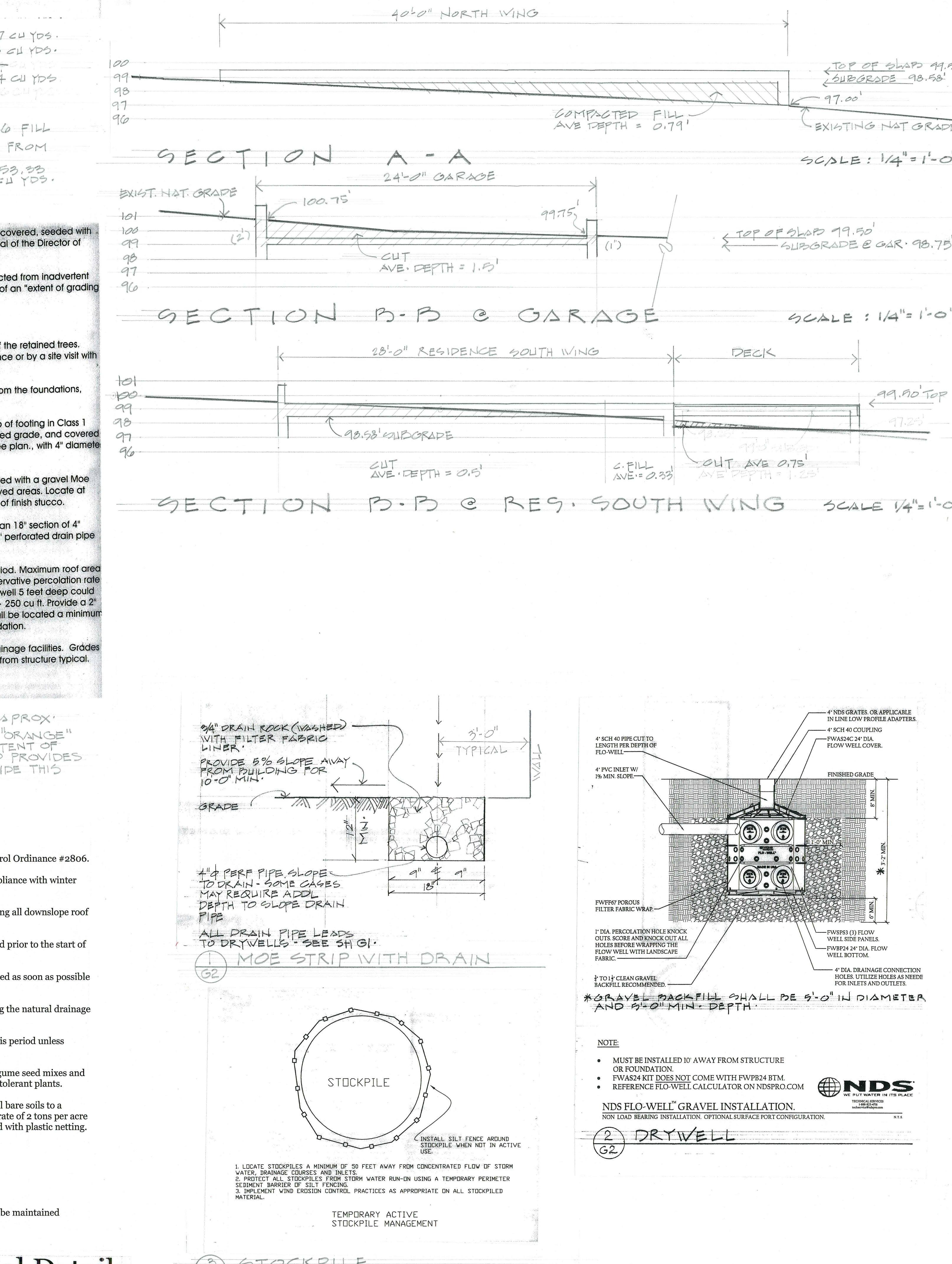
9. Bare ground areas shall be seeded with grass and clean straw mulch applied to all bare soils to a thickness of at least two inches during and after the construction at an application rate of 2 tons per acre or one 74 pound bale per 800 square feet. Areas in excess of 20% shall be anchored with plastic netting.

10. Recommended seed mix as follows : (per 1,000 square feet)

1/3 Pounds - Blue Wild Rye
1/10 Pound Zorro Fescue
1/8 Pound - Red Creeping Fescue
Water and fertilizer as required to establish.

11. The sites existing vegetation of Oak Trees, wild flowers, and native grasses shall be maintained outside all areas of the "Extent of Grading".

Grading & Erosion Control Details



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