

County of Monterey

County of Monterey Government Center
1441 Schilling Place, Salinas, CA 93901



Meeting Agenda - Final

Wednesday, January 21, 2026

**Government Center
1441 Schilling Place
Salinas, CA 93901**

Administrative Permit

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Chief of Planning's alternative actions on any matter before it.

Notice is hereby given that on January 21, 2026 the Chief of Planning of the County of Monterey Housing and Community Development, is considering the project described on the following pages.

Any comments or requests that any of the applications be scheduled for public hearing must be received in writing in the office of the County of Monterey Housing and Community Development by 5:00 pm Tuesday, January 20, 2026. A public hearing may be required if any person, based on a substantive issue, so requests.

Si necesita la traducción de esta agenda, comuníquese con el Departamento de Vivienda y Desarrollo Comunitario del Condado de Monterey ubicado en el Centro de Gobierno del Condado de Monterey, 1441 Schilling Place, segundo piso, Salinas, o por teléfono al (831) 755-5025. Después de su solicitud, la Secretaria asistirá con la traducción de esta agenda.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the County of Monterey Housing and Community Development at (831) 755-5025.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report

SCHEDULED MATTERS**1. PLN250024 - TUT BROTHERS ESTATES LLC**

Administrative hearing to consider a Lot Line Adjustment between four legal lots of record consisting of Lot 2 (1.31 acres), Lot 3 (1.26 acres), Lot 4 (1.14 acres), and Lot 5 (1.39 acres), resulting in Adjusted Lot 2 (1.61 acres), Adjusted Lot 3 (1.29 acres), Adjusted Lot 4 (1.0 acre) and Adjusted Lot 5 (1.12 acres).

Project Location: 14012, 14022, 14032 and 14042 Vista Verde Drive, Royal Oaks

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)

2. PLN250162 - CUERVO HOLDINGS LP (T-MOBILE)

Administrative hearing to consider the co-location of a wireless communications facility at 29-foot height on an existing 50-foot tall monopole with associated improvements.

Project Location: 51950 Pine Canyon Rd, King City.

Proposed CEQA action: Find the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and that none of the exceptions pursuant to section 15300.2 apply.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)
 [Exhibit C - Radio Frequency Report](#)
 [Exhibit D - Photo Simulations](#)

3. PLN230251 - SNYDER NANCY & SANDERS CAROLYN A AND BRITTON JACK ROBERT TR

Administrative hearing to consider a Lot Line Adjustment between two legal lots of records: Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey, resulting in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2).

Project Location: No address assigned, located at the intersection of Gabilan Drive and San Vicente Road, Soledad

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2.

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Vicinity Map](#)



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 26-009

January 21, 2026

Introduced: 1/9/2026

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250024 - TUT BROTHERS ESTATES LLC

Administrative hearing to consider a Lot Line Adjustment between four legal lots of record consisting of Lot 2 (1.31 acres), Lot 3 (1.26 acres), Lot 4 (1.14 acres), and Lot 5 (1.39 acres), resulting in Adjusted Lot 2 (1.61 acres), Adjusted Lot 3 (1.29 acres), Adjusted Lot 4 (1.0 acre) and Adjusted Lot 5 (1.12 acres).

Project Location: 14012, 14022, 14032 and 14042 Vista Verde Drive, Royal Oaks

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a) Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2.; and
- b) Approve a Line Adjustment between four legal lots of record consisting of Lot 2 (1.31 acres), Lot 3 (1.26 acres), Lot 4 (1.14 acres), and Lot 5 (1.39 acres), resulting in Adjusted Lot 2 (1.61 acres), Adjusted Lot 3 (1.29 acres), Adjusted Lot 4 (1.0 acre) and Adjusted Lot 5 (1.12 acres).

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**).

Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION

Agent: Jan Hochhauser

Property Owner: Tut Brothers Estates LLC

APN: 117-531-002-000 [Lot 2], 117-531-003-000 [Lot 3], 117-531-004-000 [Lot 4], and 117-531-005-000 [Lot 5]

Parcel Size: 1.31 acres [Lot 2], 1.26 acres [Lot 3], 1.14 acres [Lot 4], & 1.39 acres [Lot 5]

Zoning: Low Density Residential with a density of 2.5 units per acre and a Visual Sensitivity overlay or "LDR/2.5--VS"

Plan Area: North County Area Plan

Flagged and Staked: N/A, no development proposed.

SUMMARY

Staff is recommending approval of an Administrative Permit subject to the findings and

evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On January 21, 2026, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, January 20, 2026. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services

Environmental Health Bureau

HCD-Environmental Services

North County Fire Protection District

Prepared by: Jade Mason, Assistant Planner

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations

Exhibit B - Vicinity Map

cc: Front Counter Copy; North County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade Mason, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Tut Brothers Estate LLC, Property Owner; Jan Hichhauser, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Chrstina McGinnis, Keep Big Sur Wild, Planning File PLN250024



County of Monterey

Item No.1

Administrative Permit

Legistar File Number: AP 26-009

January 21, 2026

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Project Location: 14012, 14022, 14032 and 14042 Vista Verde Drive, Royal Oaks

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a) Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2.; and
- b) Approve a Line Adjustment between four legal lots of record consisting of Lot 2 (1.31 acres), Lot 3 (1.26 acres), Lot 4 (1.14 acres), and Lot 5 (1.39 acres), resulting in Adjusted Lot 2 (1.61 acres), Adjusted Lot 3 (1.29 acres), Adjusted Lot 4 (1.0 acre) and Adjusted Lot 5 (1.12 acres).

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION

Agent: Jan Hochhauser

Property Owner: Tut Brothers Estates LLC

APN: 117-531-002-000 [Lot 2], 117-531-003-000 [Lot 3], 117-531-004-000 [Lot 4], and 117-531-005-000 [Lot 5]

Parcel Size: 1.31 acres [Lot 2], 1.26 acres [Lot 3], 1.14 acres [Lot 4], & 1.39 acres [Lot 5]

Zoning: Low Density Residential with a density of 2.5 units per acre and a Visual Sensitivity overlay or "LDR/2.5--VS"

Plan Area: North County Area Plan

Flagged and Staked: N/A, no development proposed.

SUMMARY

Staff is recommending approval of an Administrative Permit subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On January 21, 2026, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, January 20, 2026. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services
Environmental Health Bureau
HCD-Environmental Services
North County Fire Protection District

Prepared by: Jade Mason, Assistant Planner

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations

Exhibit B - Vicinity Map

cc: Front Counter Copy; North County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade Mason, Assistant Planner; Jacquelyn M. Nickerson, Principal Planner; Tut Brothers Estate LLC, Property Owner; Jan Hichhauser, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Chrstina McGinnis, Keep Big Sur Wild, Planning File PLN250024

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

TUT BROTHER ESTATES LLC (PLN250024)

RESOLUTION NO. 26-009

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies as a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305(a), and none of the exceptions contained in Section 15300.2 apply, and
- 2) Approve a Lot Line Adjustment between four legal lots of record consisting of Lot 2 (1.31 acres), Lot 3 (1.26 acres), Lot 4 (1.14 acres), and Lot 5 (1.39 acres), resulting in Adjusted Lot 2 (1.61 acres), Adjusted Lot 3 (1.29 acres), Adjusted Lot 4 (1.0 acre) and Adjusted Lot 5 (1.12 acres).

[PLN250024, Tut Brothers Estates LLC, 14012, 14022, 14032, and 14042 Vista Verde Drive, Royal Oaks (Assessor's Parcel Numbers: 117-531-002-000, 117-531-003-000, 117-531-004-000 and 117-531-005-000), North County Area Plan]

The Tut Brothers Estates LLC application (PLN250024) came on for an administrative decision before the County of Monterey Chief of Planning on January 21, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan; the requirements of the applicable subdivision and zoning ordinances (Titles 19 and 21); and other County health, safety, and welfare ordinances related to land use development.
EVIDENCE: a) The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 2010 Monterey County General Plan;
 - North County Area Plan;
 - Monterey County Zoning Ordinance (Title 19); and
 - Monterey County Zoning Ordinance - (Title 21)

No conflicts were found to exist. The County received no communications from interested members of the public during the course of project review indicating any inconsistencies with the text, policies, and/or regulations of the Monterey County Code (MCC), and the County finds that the project is consistent with the text, policies, and regulations in the applicable documents.

- b) Project. The proposed project involves a lot line adjustment between four legal lots of record consisting of Lot 2 (1.31 acres), Lot 3 (1.26 acres), Lot 4 (1.14 acres), and Lot 5 (1.39 acres). The LLA involves an equal exchange of land. After the adjustment, there will continue to be four (4) lots of record, containing Adjusted Lot 2 (1.61 acres), Adjusted Lot 3 (1.29 acres), Adjusted Lot 4 (1.0 acre) and Adjusted Lot 5 (1.12 acres). Per the Applicant/Owner, the project is being proposed as a way to minimize the construction of access roads/driveways, grading, and better design and configuration for future proposed development on the adjusted lots.
- c) Allowed Use. The properties are located at 14012, 14022, 14032, and 14042 Vista Verde Drive, Royal Oaks (Assessor's Parcel Numbers Lot 2: 117-531-002-000, Lot 3: 117-531-003-000, Lot 4: 117-531-004-000 and Lot 5: 117-531-005-000), within the North County Area Plan. The parcels are zoned Low Density Residential with a density of 2.5 acres per unit and a Visual Sensitivity overlay or "LDR/2.5-VS". The reconfiguration of the parcels will not otherwise intensify water use, create new building areas, or development potential beyond what currently exists. Therefore, the project is an allowed land use for this site, as it is consistent with the property's underlying zoning. See Finding No. 6 and supporting evidence.
- d) Lot Legality. All four lots (APNs; [Lot 2] 117-531-002-000, [Lot 3] 117-531-003-000, [Lot 4] 117-531-004-000 and [Lot 5] 117-531-005-000) are shown in their current configuration in "Vista Verde Estates, Tract #1193", filed July 22, 1993, in Volume 18, Maps of "Cities and Towns", at Page 17, in the Office of the County Recorder of the County of Monterey. Therefore, the County recognizes the subject properties as legal lots of record.
- e) Review of Development Standards - Minimum Lot Size. The development standards for the LDR zoning district are identified in MCC section 21.14.060, which identifies the minimum building site as 1 acre. The four (4) legal lots of record meet the required minimum acreage, and as proposed, the lots will continue to meet the minimum acreage. The LLA will continue to allow the adjusted lots to be developed in the future, subject to separate permits, with minimal grading due to slopes in the rear of each lot. Accordingly, implementation of this LLA will promote resource conservation and encourage future development to better meet the goals and policies of the 2010 General Plan, per section LU-1.16.
- f) Review of Development Standards- Density. Pursuant to Title 21 section 21.14.060, the maximum development density shall not exceed the units/acre as shown for the specific "LDR" district as shown on the zoning map. The subject parcels are zoned LDR/2.5, which allows 1 unit per 2.5 acres. The minimum building site of each of the four (4) lots is 1 acre, which requires that a residential unit

occupy a property that contains at least 1 acre of land. The existing four (4) lots are vacant and are as followed- Lot 2 is 1.31 acres, Lot 3 is 1.26 acres. Lot 4 is 1.14 acres, and Lot 5 is 1.39 acres. With the implementation of the LLA, adjusted Lot 2 will be 1.61 acres, Lot 3 will be 1.29 acres, Lot 4 will be 1 acre, and Lot 5 will be 1.12 acres. Although the maximum density is 2.5 acres per unit, the zoning district density restriction does not preclude the lots from being developed with the first single-family dwelling. However, the existing and adjusted size of the lots will restrict the development of second single-family dwellings on each lot. Therefore, the maximum development potential and overall density would not change with implementation of the project.

- g) Review of Development Standards-Setbacks. Pursuant to Title 21 section 21.14.060.C, the required main structure setbacks in this LDR district are 30 feet (front) and 20 feet (side and rear), with a maximum height of 30 feet. There are no existing residences or structures of any kind on the four (4) lots. Therefore, the resulting parcels conform to the maximum allowed site coverage
- h) Review of Development Standards- Structural Coverage. Pursuant to Title 21 section 21.14.060.E, the maximum site coverage in this LDR district is 35 percent. There are no existing structures on the four (4) lots and no proposed development as part of this application. Therefore, there will be no changes to the existing coverage and the resulting parcels conform to the maximum allowed site coverage.
- i) Design. The subject property zoning district does not include a Design Control Overlay (see Evidence c), however it does have a Visual Sensitivity (VS) Overlay, which includes regulations outlined in Title 21.44. According to Monterey County Geographic Information System (GIS) records and Figure 15 in the North County Area Plan (Scenic Highway Corridors and Visual Sensitivity Map), the subject property is identified as Sensitive. Pursuant to Policy NC-3.1 of the North County Area Plan, the proposed lot line adjustment does not disrupt public views. The policy allows new development when it is located and designed in a manner that ensures public views remain unobstructed. No development is proposed as part of this application; therefore no Design Approval is required. There will be no change in the character of the neighborhood or impact on the public viewshed. Therefore, the proposed development is consistent with the neighborhood and community character.
- j) Land Use Advisory Committee (LUAC) Review. The project was not referred to the North County Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment in the Coastal Zone, preparation of an Initial Study, or a Variance
- k) Subdivision Map Act Consistency. Pursuant to Section 66412(d) of the Subdivision Map Act (SMA), the SMA is inapplicable to the lot line adjustment due to the fact that the final outcome of the LLA is not more than four adjoining parcels, and a greater number of parcels than previously existed is not being created. See Finding No. 6 and supporting evidence

- l) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in are File No. PLN250024.
- 2. FINDING:** **SITE SUITABILITY** - The site is physically suitable for the use proposed.

EVIDENCE:

 - a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, North County Fire Protection District, and Environmental Health Bureau. County staff reviewed the application materials and plans, as well as the County's GIS database, and conducted a site visit via Google Earth, to verify that the project conforms to the applicable lot line adjustment plans and that the subject property is suitable for the proposed development. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Recommended conditions have been incorporated.
 - b) There are no physical or environmental constraints that indicate that the property is not suitable for the use proposed and no technical reports were prepared as no environmental concerns were raised by HCD-Planning.
 - c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development are found in File No. PLN250024.
- 3. FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

 - a) Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property.
 - b) There are no known violations on the subject parcels.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in File No. PLN250024.
- 4. FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

 - a) The project was reviewed by HCD-Planning, North County FPD (Fire Protection District), HCD-Engineering Services, HCD-Environmental Services, and the Environmental Health Bureau, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) All necessary facilities are available at the project site, as the four (4) lots are vacant and undeveloped.
- c) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in File No. PLN250024.

5. FINDING:

CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines section 15305(a) categorically exempts minor lot line adjustments not resulting in the creation of any new parcel. The proposed lot line adjustment reconfigures the meets and bounds for four (4) parcels and will not create any new parcels after adjustment. Therefore, the project is consistent with the parameters of the Class 5 categorical exemptions.
- b) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. There is no substantial evidence of unusual circumstances because there is no feature or condition of the project that distinguishes the project from the exempt class. The properties are not located in an area where an environmental resource of hazardous or critical concern has been designated or precisely mapped by a federal, state, or local agency trees are proposed for removal. The project does not involve a designated historical resource or a hazardous waste site. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in File No. PLN250024.

6. FINDING:

LOT LINE ADJUSTMENT – Section 66412(d) of the California Government Code (Subdivision Map Act) and Title 19 (Subdivision Ordinance – Inland) of the Monterey County Code (MCC) allow a lot line adjustment that meets the following standards:

- 1. The lot line adjustment is between four or fewer existing adjoining parcels;
- 2. A greater number of parcels than originally existed will not be created as a result of the lot line adjustment; and
- 3. The parcels resulting from the lot line adjustment conform to the County's general plan, any applicable specific plan, any applicable coastal plan, and zoning and building ordinances.

As proposed, the project meets these standards.

EVIDENCE:

- a) The parcels are zoned Low Density Residential, 2.5 acres per unit density, and Visual Sensitivity Overlay [LDR/2.5-VS].
- b) The lot line adjustment is between four or fewer existing adjoining parcels. The four existing legal lots of record have a total combined area of 5.1 acres, containing 1.31 acres [Lot 2], 1.26 acres [Lot 3], 1.14 acres [Lot 4], and 1.39 acres [Lot 5]. After the adjustment, there will

continue to be four lots of record, containing 1.61 acres [Adjusted Lot 2], 1.29 acres [Adjusted Lot 3], 1 acre [Adjusted Lot 4], and 1.12 acres [Adjusted Lot 5].

- c) The lot line adjustment will not create a greater number of parcels than originally existed. Four contiguous separate legal parcels of record will be adjusted, resulting in four contiguous separate legal parcels of record (see attached map). Therefore, no new parcels will be created.
- d) The proposed lot line adjustment is consistent with the Monterey County Zoning Ordinance (Title 21) and Subdivision Ordinance (Title 19). County staff verified that the subject property is in compliance with all rules and regulations pertaining to the use of the property, and that no violations exist on the property (see Finding Nos. 1, 2, 3, and 4; and supporting evidence).
- e) The subject properties are zoned for residential purposes. None of the property area is under Williamson Act contract or used for agricultural purposes. The proposed lot line adjustment does not interfere with existing access and/or utility easements, which will remain unchanged.
- f) As an exclusion to the Subdivision Map Act, no map is recorded for a Lot Line Adjustment. To appropriately document the boundary changes, execution and recordation of deeds reflecting the lot line adjustment (Condition No.3) as well as a Certificate of Compliance for each adjusted lot is required per incorporated standard conditions of approval (Condition No. 4).
- h) The project planner conducted a site inspection via Google Earth to verify that the project would not conflict with zoning or building ordinances.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in File No. PLN250024.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Board of Supervisors.
- EVIDENCE:** a) Board of Supervisors. Section 19.16.020.A of the Monterey County Subdivision Ordinance (Title 19) states that the Board of Supervisors is the Appeal Authority to consider appeals from the discretionary decisions of the Director of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey HCD Chief of Planning does hereby:

- A. Finding that the project qualifies as a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305(a), and none of the exceptions contained in Section 15300.2 apply, and
- B. Approve a Lot Line Adjustment between four legal lots of record consisting of Lot 2 (1.31 acres), Lot 3 (1.26 acres), Lot 4 (1.14 acres), and Lot 5 (1.39 acres), resulting in Adjusted Lot 2 (1.61 acres), Adjusted Lot 3 (1.29 acres), Adjusted Lot 4 (1.0 acre) and Adjusted Lot 5 (1.12 acres).

All of which are in general conformance with the attached sketch and subject to the attached 8 conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 21st day of January 2026.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250024

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Lot Line Adjustment (PLN250024) allows Lot Line Adjustment between four legal lots of record. The property is located at 14012, 14022, 14032 and 14042 Vista Verde Drive, Royal Oaks (Assessor's Parcel Numbers 117-531-002-000, 117-531-003-000, 117-531-004-000 and 117-531-005-000), North County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Lot Line Adjustment (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Numbers 117-531-002-000, 117-531-003-000, 117-531-004-000 and 117-531-005-000 on January 21, 2026. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. LOT LINE ADJUSTMENT DEED (NON-STANDARD CONDITION)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Owner(s)/Applicant(s) shall prepare, execute and record deeds that reflect the lot line adjustment as required by California Government Code §66412(d) and request an unconditional Certificate of Compliance for each of the adjusted parcels. (HCD-Planning)

Compliance or Monitoring Action to be Performed:

1. An updated title report (current within 30 days) for each subject parcel of the lot line adjustment.
2. Draft legal descriptions, plats and closure calculations for each newly adjusted parcel of the lot line adjustment for which a Certificate of Compliance will be issued. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B."
3. Draft deeds for all adjustment parcels, being all areas being conveyed by Owners in conformance to the approved lot line adjustment. The deeds shall contain a legal description and plat of the areas to be conveyed in conformance to the approved lot line adjustment. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B." The deed shall comply with the Monterey County Recorder's guidelines as to form and content.
 - a. The Owner(s)/Applicant(s) shall be responsible for ensuring the accuracy and completeness of all parties listed as Grantor and Grantee on the deeds.
 - b. Each deed shall state in the upper left corner of the document the party requesting the recording and to whom the recorded document shall be returned.
 - c. The purpose of the deed shall be stated on the first page of the deed, as follows:

"The purpose of this deed is to adjust the parcel boundaries in conformance to the lot line adjustment approved by the County of Monterey, PLN240013. This deed is being recorded pursuant to §66412(d) of the California Government Code and shall reconfigure the subject parcels in conformance to said approved lot line adjustment."

PLEASE NOTE: Owner(s) is/are responsible for securing any reconveyance, partial reconveyance and/or subordination in connection with any loan, mortgage, lien or other financial obligation on all property being transferred between parties.

4. Following review and any corrections of the legal descriptions and plats by County Surveyor:
 - a. Owner/Applicant submit copies of the fully executed and acknowledged deed(s) for the adjustment parcels to the project planner for review & approval by County Surveyor
 - b. Owner/Applicant shall submit the legal description and plat for each Certificate of Compliance to HCD-Planning for final processing.
 - c. Using a title company, execute the deeds before a notary public, and have the deeds recorded.
 - d. Owner/Applicant shall submit copies of all recorded deeds to the project planner.

4. PD045 - COC (LOT LINE ADJUSTMENTS)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall request unconditional Certificates of Compliance for the newly configured parcels. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration of the entitlement, the Owner/Applicant/Surveyor shall prepare legal descriptions for each newly configured parcel and submit them to HCD -Planning for review and approval. The legal descriptions shall be entitled "Exhibit A." The legal description shall comply with the Monterey County Recorder's guidelines as to form and content. The Applicant shall submit the legal descriptions with a check, payable to the Monterey County Recorder, for the appropriate fees to record the Certificates of Compliance.

Prior to the expiration of the entitlement and after the Certificates are recorded, the Owner/Applicant shall file a request and pay the fees for separate assessments or combination assessments (for lot mergers) with the Assessor's Office.

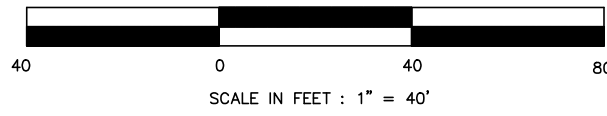
5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

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BASIS OF BEARINGS

FOR THIS SURVEY IS NAD83 (2023) CCS ZONE
4 ESTABLISHED USING R.T.K. G.P.S.
TECHNIQUES AND ACCESSED VIA THE
SMARTNET NORTH AMERICA NETWORK.

VERTICAL DATUM IS NAVD88.

LEGEND

- FOUND 3/4" IRON PIPE, TAGGED L.S. 7367, PER00 M 00.
- SUBJECT PROPERTY BOUNDARY
- CENTERLINE
- EASEMENT
- CONTOUR MINOR 1.0'
- CONTOUR MAJOR 5.0'
- GRADE BREAK
- EDGE OF PAVEMENT

DISTANCES ARE IN FEET AND DECIMALS THEREOF.
CONTOUR INTERVAL EQUALS 1.0'

LEWIS ROAD
(WIDTH VARIES)

PROJECT BENCHMARK:
TOP OF FIRE HYDRANT
ELEVATION = 36.02'
NAVD88 DATUM

LINE COURSES

NUM	BEARING	DISTANCE
L1	S65°15'54"W	429.61'
L2	N79°15'54"E	151.80'
L3	N65°15'54"E	356.18'
L4	N79°15'54"E	96.82'
L5	S10°44'06"E	3.00'
L6	N65°15'54"E	153.64'
L7	N65°15'54"E	164.00'
L8	N65°15'54"E	151.99'
L9	N79°15'54"E	7.50'
L10	N79°15'54"E	64.40'
L11	N 01°3'39"W	236.62'
L12	N 01°3'39"W	291.08'
L13	N 01°3'37"W	290.98'
L14	N 01°3'39"W	288.83'
L15	N 2°11'20"W	49.22'
L16	N 2°10'48"W	38.22'
L17	S 2°18'29"E	75.83'
L18	S 0°45'37"W	102.44'
L19	S 2°10'11"E	106.64'
L20	N65°57'06"E	147.79'
L21	N65°57'06"E	163.12'
L22	N65°57'06"E	159.24'
L23	N65°57'06"E	163.37'
L24	N65°57'06"E	74.99'

CURVE DATA

NUM	DELTA	ARC	RADIUS	CHORD BEARING & DISTANCE
C1	112°32'46"	29.46'	15.00'	N58°27'43"W 24.95'
C2	22°32'56"	78.71'	200.00'	N76°32'44"E 78.20'
C3	14°00'00"	48.87'	200.00'	S72°15'54"W 48.75'
C4	140°33'25"	122.66'	50.00'	N89°58'15"E 86.13'
C5	100°33'34"	87.75'	50.00'	N19°48'03"W 76.89'

ABBREVIATIONS

BRSHLINE	EDGE OF BRUSH/TREE LINE
CB	CATCH BASIN
COLMN	COLUMN
COMMRSR	COMMUNICATIONS PVC RISER
CTNL	TEMPORARY SURVEY CONTROL
DIR	
EC	EDGE OF CONCRETE
ENDFL	END OF FLOW LINE
EP	EDGE OF PAVEMENT
FL	FLOW LINE
FLV	FLOW LINE OF VALLEY GUTTER
G	GRADE
GB	GRADE BREAK
GL	GUTTER LIP
INV	INVERT
INV12CPP	INVERT OF 12" DIAMETER CORRUGATED PLASTIC PIPE
INV12PVC	INVERT OF 12" DIAMETER PVC PIPE
INV18RCP	INVERT OF 18" DIAMETER REINFORCED CONCRETE PIPE
P	PAVEMENT
T12CPP	TOP OF 12" DIAMETER CORRUGATED PLASTIC PIPE
T12INLET	TOP OF 12" DIAMETER INLET
T18RCP	TOP OF 18" DIAMETER REINFORCED CONCRETE PIPE
T6CMP	TOP OF 6" DIAMETER METAL PIPE
TB	TOP OF BANK
TD	TOP OF DITCH
TFH	TOP OF FIRE HYDRANT
TOE	TOE OF BANK
TRANSPAD	TRANSFORMER CONCRETE PAD
WM	WATER METER

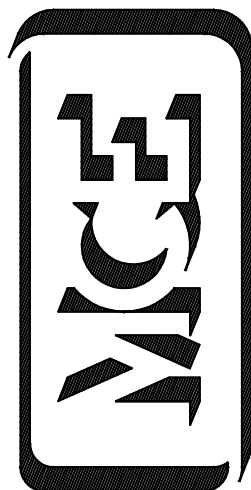
NOTES

- THIS IS NOT A COMPLETE BOUNDARY SURVEY. BOUNDARY LINES ARE COMPILED BASED ON FOUND MONUMENTS SHOWN HEREON AND RECORD DATA.
- NO TITLE REPORT PROVIDED.
- NO U.S.A. SURVEY PERFORMED.
- SEPTIC LEACHFIELD AREAS ARE DESIGNATED ON TRACT MAP WITH NO TIES PROVIDED; NOT SHOWN HEREON.
- BUILDING SETBACKS ARE SHOWN ON IMPROVEMENT PLANS PROVIDED BY OWNER; NOT SHOWN HEREON.
- SURVEYED AT THE REQUEST OF JUGGY TUT ON SEPTEMBER 11, 2023.



MID COAST ENGINEERS
CIVIL ENGINEERS AND LAND SURVEYORS

70 PENNY LANE, SUITE A WATSONVILLE, CA 95076 - (831) 724-2580



TOPOGRAPHIC SURVEY

LOTS 1 THROUGH 5, TRACT 1193, VISTA VERDE ESTATES, AS
SHOWN ON VOLUME 18 OF CITIES AND TOWNS, PAGE 17, MONTEREY
COUNTY RECORDS.

LEWIS ROAD, ROYAL OAKS
MONTEREY COUNTY CALIFORNIA

SCALE 1" = 40'

DATE: OCT 6 2023

DRAWN BY: AB

REVIEWED BY: JSN

JOB NO: 23091

SHEET

1

OF 1 SHEETS

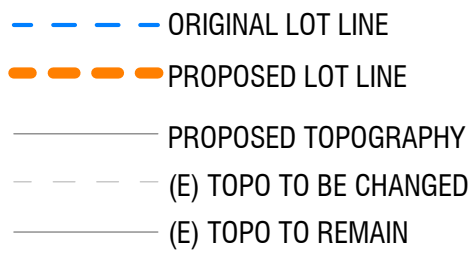


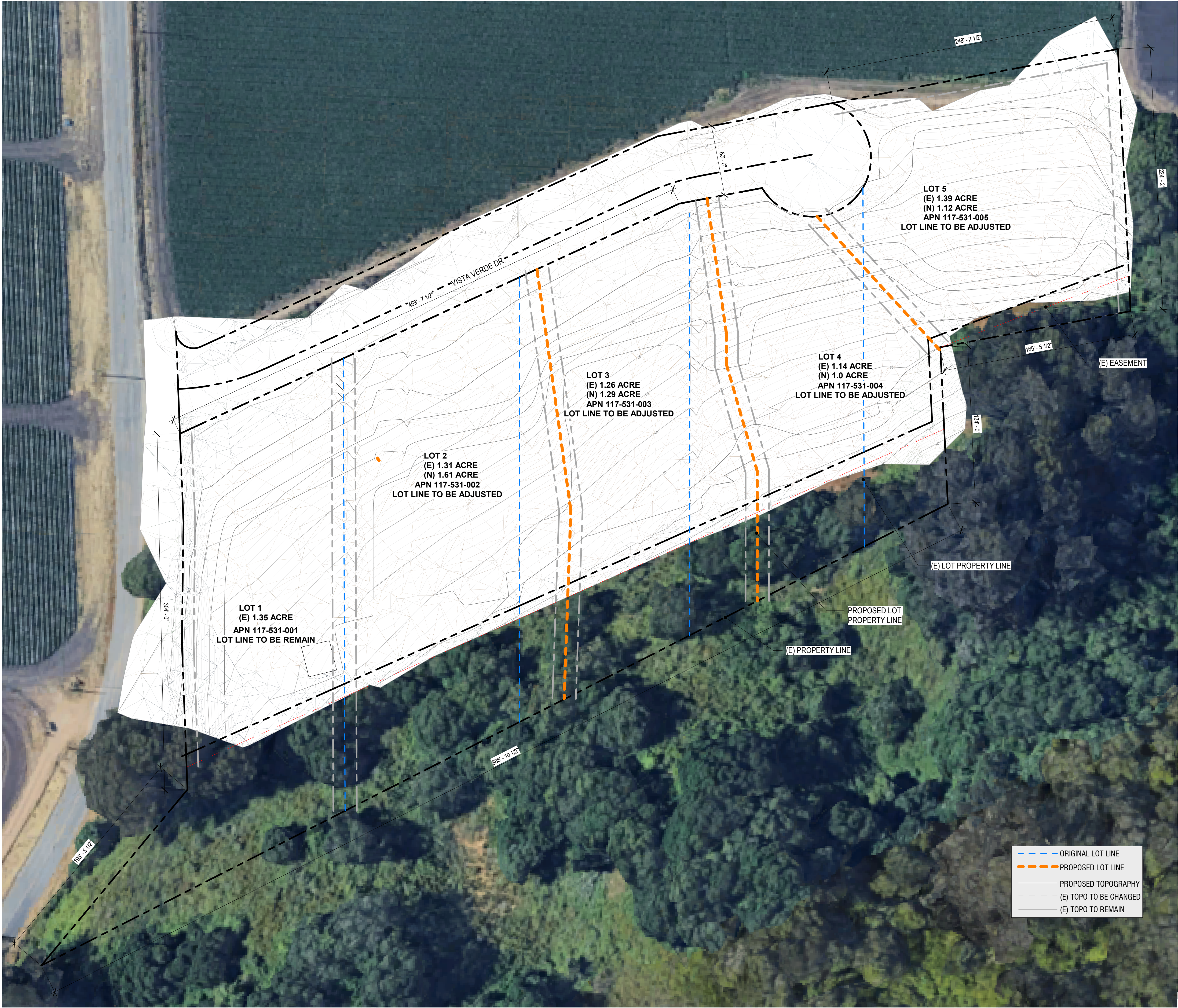
Vista Verde Estates - A private road subdivision.
14002 VISTA VERDE DR, ROYAL OAKS, CA
95076

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PROJECT NO: 10040

A0.10





VISTA VERDE
Vista Verde Estates - A private road subdivision.
14002 VISTA VERDE DR. SANTA BARBARA, CA 93106
SCHEMATIC

DATE:	ISSUANCE OR REVISION

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SHEET CONTENTS
LOT LINE ADJUSTMENT - AERIAL MAP
PROJECT NO: 10040

SHEET
A0.11



DATE:	ISSUANCE OR REVISION

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SHEET CONTENTS
LOT LINE ADJUSTMENT - AERIAL MAP

PROJECT NO: 10040

SHEET
A0.11





PROJECT INFORMATION

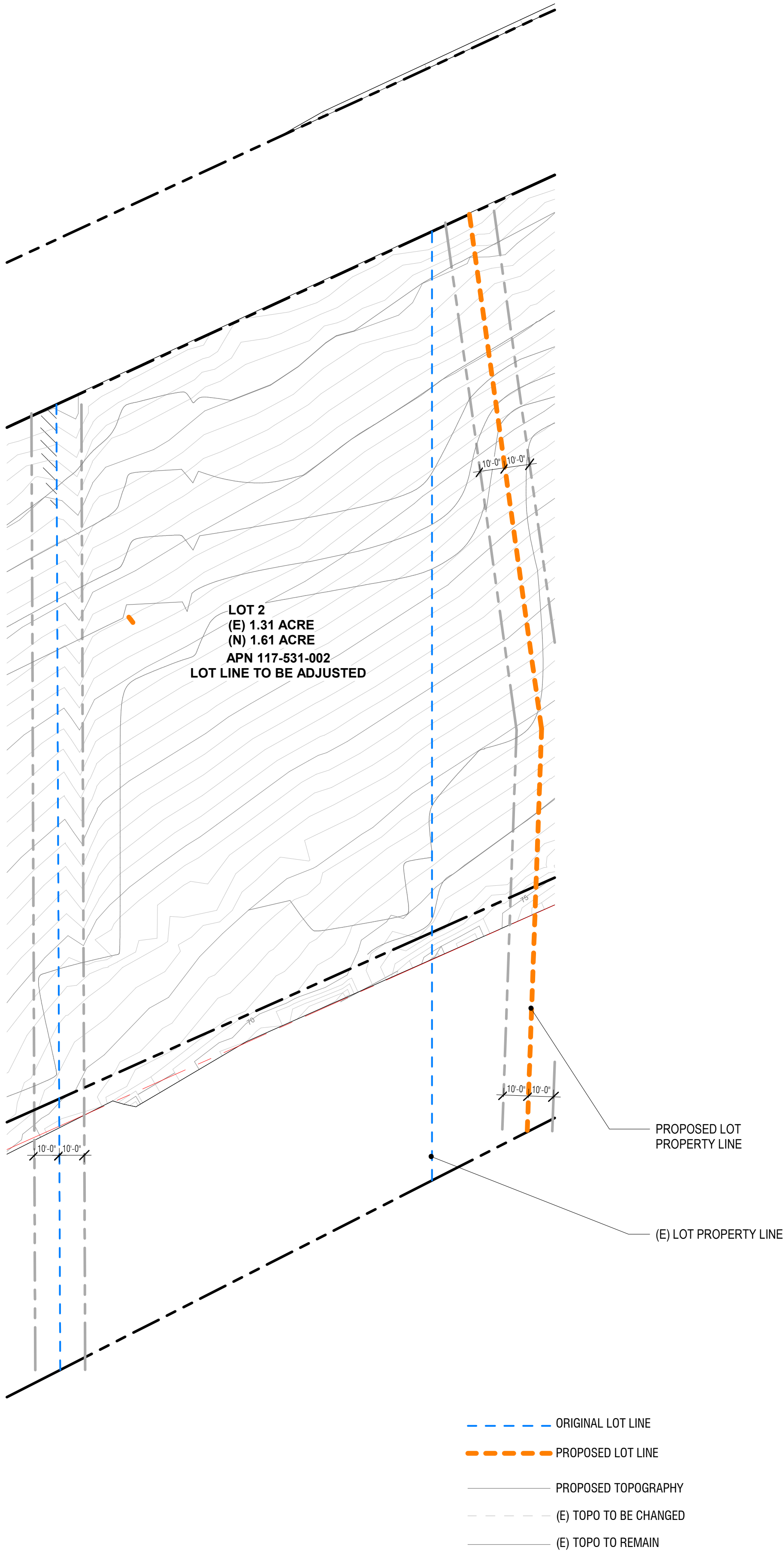
OWNER: JUGGY TUT
144 WESTLAKE AVE, WATSONVILLE CA, 95076
831.454.6936

ARCHITECT: HOCHHAUSER BLATTER ARCHITECTURE & PLANNING
122 E. ARELLAGA ST, SANTA BARBARA CA 93101
805.962.2746

PROPERTY LOCATION: MONTEREY COUNTY

APN: 117-531-002

ACREAGE: (E) 1.31 ACRES
(N) 1.61 ACRES



LOT LINE ADJUSTMENT- LOT 2 1" = 30'-0" 1



122 E. ARRELLAGA
SANTA BARBARA
CALIFORNIA 93101
805 962 2746

VISTA VERDE

sta Verde Estates - A private road subdivision.
14002 VISTA VERDE DR. ROYAL OAKS, CA

SCHEMATIC

[illegible]

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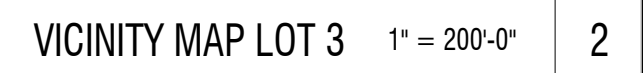
SHEET CONTENTS

LOT LINE ADJUSTMENT -
LOT 2

PROJECT NO: 10040

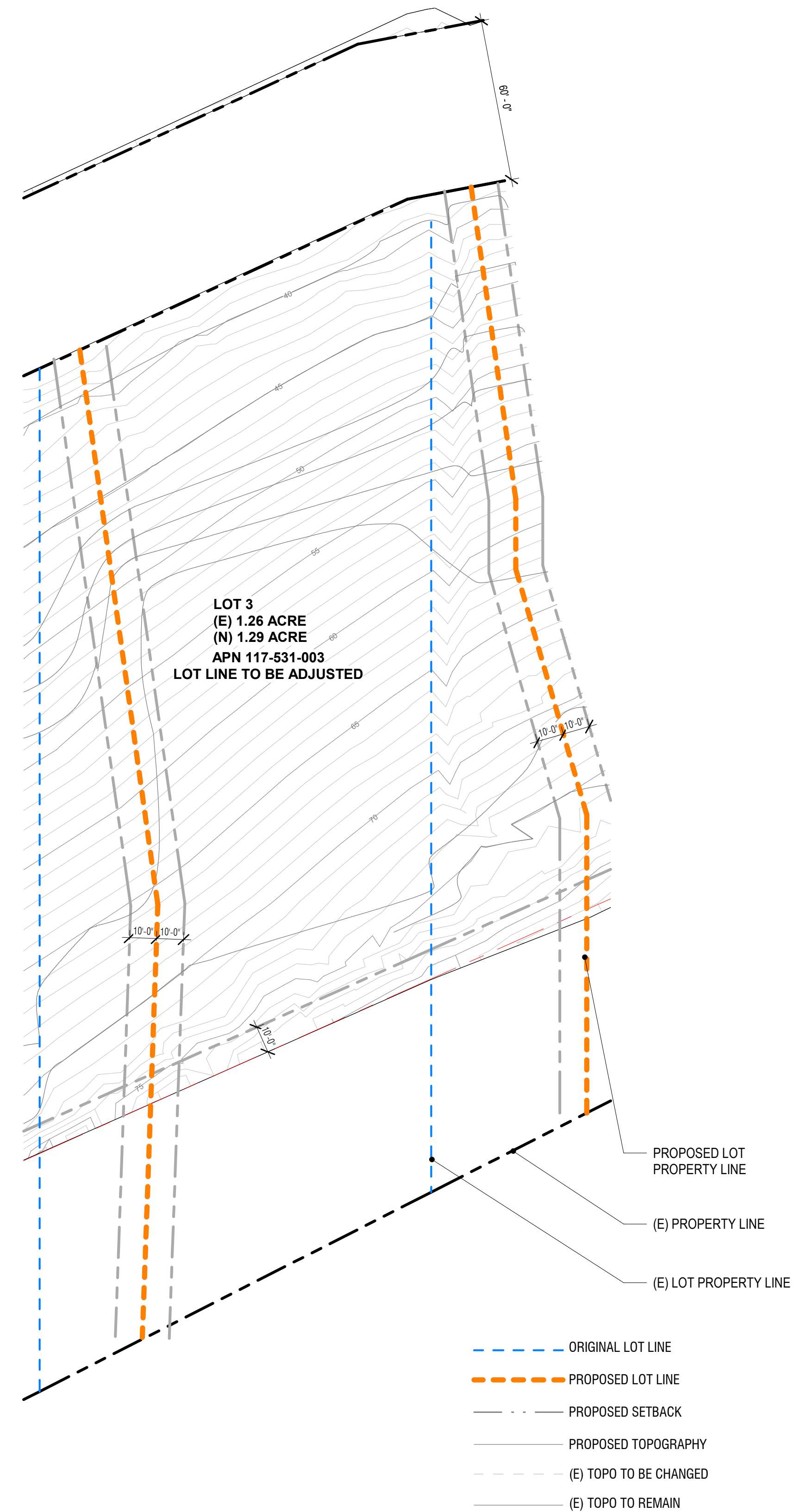
SHEET

A0.13



PROJECT INFORMATION:

OWNER:	JUGGY TUT 144 WESTLAKE AVE, WATSONVILLE CA, 95076 831.454.6936
ARCHITECT:	HOCHHAUSER BLATTER ARCHITECTURE & PLANNING 122 E. ARELLAGA ST, SANTA BARBARA CA 93101 805.962.2746
PROPERTY LOCATION:	MONTEREY COUNTY
APN:	117-531-003
ACREAGE:	(E) 1.26 ACRES (N) 1.29 ACRES



VISTA VERDE
Vista Verde Estates - A private road subdivision.
14002 VISTA VERDE DR. ROYAL OAKS, CA
95076

[illegible]

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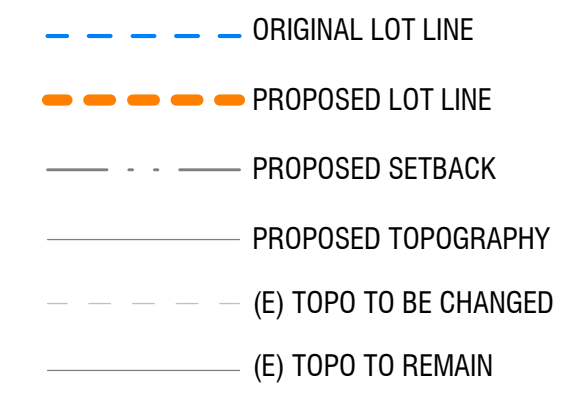
SHEET CONTENTS

LOT LINE ADJUSTMENT -
LOT 3

PROJECT NO: 10040

SHEET

A0.14



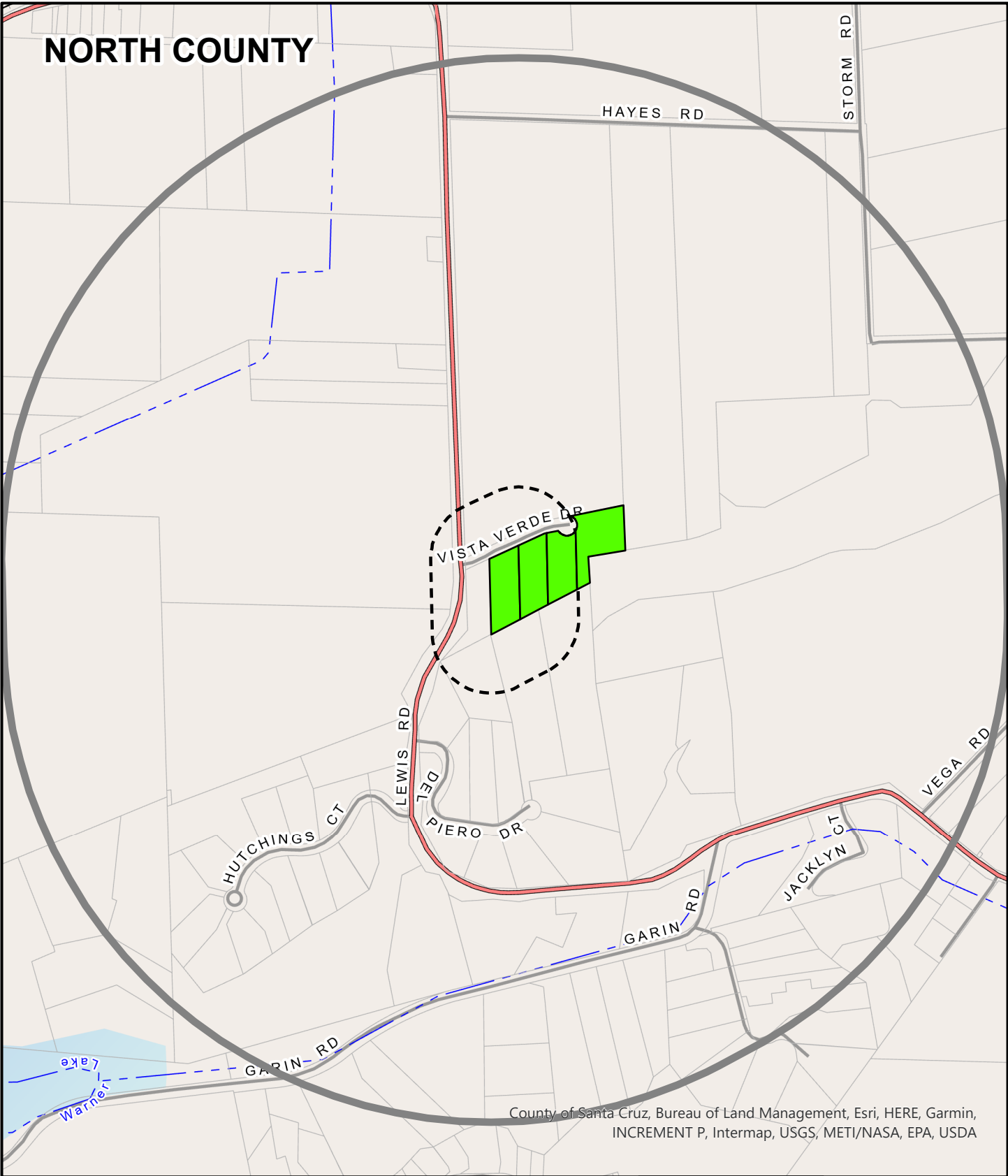
LOT LINE ADJUSTMENT- LOT 5	1" = 30'-0"	1
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Exhibit B

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



APPLICANT: TUT BROTHERS ESTATES LLC

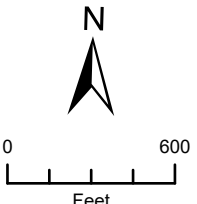
APN: 117531002000,117531003000,1

FILE # PLN250024

 Project Site

 300 FT Buffer

 2500 FT Buffer



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County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 26-010

January 21, 2026

Introduced: 1/13/2026

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250162 - CUERVO HOLDINGS LP (T-MOBILE)

Administrative hearing to consider the co-location of a wireless communications facility at 29-foot height on an existing 50-foot tall monopole with associated improvements.

Project Location: 51950 Pine Canyon Rd, King City.

Proposed CEQA action: Find the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and that none of the exceptions pursuant to section 15300.2 apply.

RECOMMENDATIONS

It is recommended that the HCD Chief of Planning adopt a resolution to:

- Find the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301, and there are no exceptions pursuant to section 15300.2; and
- Approve an Administrative Permit to allow the co-location of a wireless communications facility at 29-foot height on an existing 50-foot tall monopole with associated improvements.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A.1**).

Staff recommends approval subject to 7 conditions of approval.

PROJECT INFORMATION

Agent: Ruth Segura

Property Owner: CUERVO HOLDINGS LP

APN: 420-071-67-000

Parcel Size: 156 acres

Zoning: Rural Grazing/20 acres per unit, Permanent Grazing /40 acre building site minimum, and Low Density Residential /-5 acres per unit or "RG/20|PG/40|LDR/5"

Plan Area: Central Salinas Valley Area Plan

Flagged and Staked: Photo-Simulations Provided

Planner: Jade Mason, Assistant Planner

masonj@countyofmonterey.gov, (831) 755-3759

SUMMARY

Staff is recommending approval of an Administrative Permit subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On January 21, 2026, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, January 20, 2026. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services
Environmental Health Bureau
HCD-Environmental Services
South County Fire Protection District

Prepared by: Jade Mason, Assistant Planner

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations

Exhibit B - Vicinity Map

Exhibit C - Radio Frequency Report

Exhibit D - Photo Simulations

cc: Front Counter Copy; South County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade Mason, Planner; Jacquelyn M. Nickerson, Principal Planner; Cuervo Holdings LP, Property Owners; Ruth Segura, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250162



County of Monterey

Item No.2

Administrative Permit

Legistar File Number: AP 26-010

January 21, 2026

Introduced: 1/13/2026

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN250162 - CUERVO HOLDINGS LP (T-MOBILE)

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PROJECT INFORMATION

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Property Owner: CUERVO HOLDINGS LP

APN: 420-071-67-000

Parcel Size: 156 acres

Zoning: Rural Grazing/20 acres per unit, Permanent Grazing /40 acre building site minimum, and Low Density Residential /-5 acres per unit or "RG/20|PG/40|LDR/5"

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Flagged and Staked: Photo-Simulations Provided

Planner: Jade Mason, Assistant Planner

masonj@countyofmonterey.gov, (831) 755-3759

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Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

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Environmental Health Bureau

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South County Fire Protection District

Prepared by: Jade Mason, Assistant Planner

Reviewed and Approved by: Jacquelyn M. Nickerson, Principal Planner

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- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations

Exhibit B - Vicinity Map

Exhibit C - Radio Frequency Report

Exhibit D - Photo Simulations

cc: Front Counter Copy; South County Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade Mason, Planner; Jacquelyn M. Nickerson, Principal Planner; Cuervo Holdings LP, Property Owners; Ruth Segura, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild; Planning File PLN250162

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning in and for the
County of Monterey, State of California**

In the matter of the application of:

CUERVO HOLDINGS LP (T-MOBILE) (PLN250162)

RESOLUTION NO. 26-010

Resolution by the County of Monterey Chief of
Planning:

- 1) Finding the project Categorically Exempt pursuant to CEQA Guidelines section 15301 and no exceptions to section 15300.2 apply; and
- 2) Approving an Administrative Permit to allow the co-location of a wireless communications facility at 29-foot height on an existing 50-foot tall monopole with associated improvements.

[PLN250162, Cuervo Holdings LP, Pine Canyon Rd, King City, Central Salinas Valley Area Plan (APN: 420-071-067-000)]

The Cuervo application (PLN250162) came on for public hearing before the County of Monterey Chief of Planning on January 21, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 County of Monterey General Plan;
 - Central Salinas Valley Area Plan
 - County of Monterey Zoning Ordinance (Title 21);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) Project Description. The project includes co-location of a wireless communication facility, including 8 antennas, fourteen remote radio units, three surge suppression systems, and one microwave dish antenna on an established, approved wireless communication facility, including a 50-foot tall steel self-support tower antenna structure. The co-location will occur at 29 feet in height of the existing 50-foot tower. Additionally, one walk in cabinet shelter, one GPS antenna, and one

diesel generator will also be constructed within the 40 by 40 foot lease area

- c) Allowed Use. The property is located at 51950 Pine Canyon Road (Assessor's Parcel Number 420-071-067-000), Central Salinas Valley Area Plan. The parcel has split zoning of Permanent Grazing /40 acres per unit, Rural Grazing/20 acres per unit, and Low Density Residential / 5 acres per unit. The proposed site is within the Permanent Grazing/ 40 acre building site minimum (PG/40) zoning category, which allows the co-location of a wireless communication facilities subject to an Administrative Permit pursuant to Title 21 section 21.34.040.H. Additionally, Title 21sSection 21.64.310 establishes regulations for such facilities (see Finding 7). Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The parcel (Assessor's Parcel Number 420-071-067-000) is shown in its current configuration as 158 acres and is identified in County of Monterey Assessor's Map Book 420, Page 7, Parcel 67. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Design and Visual Resources. The subject property zoning district does not include a Design Control Overlay (see Evidence c) and therefore is not subject to the regulations outlined in Title 21.44. However, according to Monterey County Geographic Information System (GIS) records and Figure 13 (Central Salinas Valley Scenic Highway Corridors and Visual Sensitivity Map) identify the parcel as Highly Sensitive. Pursuant to Policy CSV-3.1 in the Central Salinas Area Plan states that within areas designated as "sensitive" or "highly sensitive" on Figure 13, landscaping or new development may be permitted if the development is located and designed in such a manner that public views are not disrupted. The co-location does not disrupt public views although it is identified as highly sensitive and may be permitted as the development is located and designed in such a manner that public views are not disrupted. The colors and materials proposed are to match the existing monopole. Therefore, the proposed development is consistent with the neighborhood and community character
- f) Cultural Resources. County of Monterey Geographic Information System (GIS) records identifies the subject property to be within a moderate and high archaeological sensitivity area; however, the property is not within a known or potential archaeological resource area. The co-location is sited in the moderate archaeological sensitivity area of the subject property. An archaeological report is not required under the Title 21 section 21.66.050 as the project site location is within a moderate archaeological sensitivity area and the project does not require an environmental assessment. The applicant still submitted aan Archaeological report (LIB190089) that concluded negative results. There is no evidence that any cultural resources would be disturbed due to the co-location, and the potential for inadvertent impacts to cultural resources is limited. This will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction

- g) Wireless Telecommunication Facility. As demonstrated in Finding 6, the project is consistent with the regulations for siting and design of WCF contained in Title 20 Section 21.64.310.
- h) Land Use Advisory Committee (LUAC) Review. The project was not referred a Land Use Advisory Committee (LUAC) for review, as one does not exist for the Central Salinas Valley planning area.
- i) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File PLN250162.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, South County Fire Protection District, HCD-Public Works, HCD-Environmental Services, and the Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) The following reports have been prepared:
 - “Phase I Cultural Assessment AT&T Mobility, LLC Facility Candidate ‘CCL04830’, King City, County of Monterey, California” (LIB190089) prepared by Helix Environmental Planning, Irvine, CA December 5, 2018.
 - “Radio Frequency- Electromagnetic Energy (RF-EME) Compliance Report” (LIB250405) prepared by Global Technology Associates, October 23, 2025

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a virtual site inspection on December 12, 2025, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File PLN250162.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Developmental Services, HCD-Environmental Services, South County Fire Protection District, and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the

project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) This is an unmanned wireless facility; necessary facilities are provided. This project would not alter these facilities. The Environmental Health Bureau has reviewed the project and made no comments.
- c) A Radio-Frequency Electromagnetic (RF-EME) Modeling Report was prepared for the project. The RF-EME report indicated that there are no physical or environmental impacts resulting from radio frequency emissions that would be detrimental to public health and safety. This report is consistent with applicable requirements of the Federal Communications Commission (FCC).
- d) Staff conducted a virtual site inspection on December 12, 2025, to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File PLN250162.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) Staff conducted a virtual site inspection on December 12, 2025, and researched County records to assess if any violation exists on the subject property.
- c) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN250162.
-
5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts the construction and location of new, small facilities or structures.
- b) The project involves the co-location of a new small wireless telecommunications facility, measuring at 29 feet on an existing 50 feet tall monopole in a 1,600 square foot fenced area.
- c) No adverse environmental effects were identified during staff review of the development application during a virtual site visit on December 12, 2025.
- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve alterations to a designated historical resource, a hazardous waste site, nor development that would result in a cumulatively significant impact. Although the project is visible from Highway 1 and constitutes development within the Critical Viewshed, as demonstrated in Finding Nos. 2 and 6, supporting evidence, the development is rural in design, compatible with the

surrounding environment, and will not have an adverse impact on public or visual access. There are no unusual circumstances associated with undertaking the project that would create a reasonable possibility that the project would have a significant effect on the environment.

- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN250162.

7. FINDING

WIRELESS COMMUNICATIONS FACILITIES – The development of the proposed wireless communications facility will not significantly affect any designated public viewing area, scenic corridor, or any identified environmentally sensitive area or resources. The site is adequate for the proposed development of the wireless communications facility, and the applicant has demonstrated that it is the most adequate for the provision of services as required by the Federal Communications Commission (FCC). The proposed wireless communication facility complies with all applicable requirements of County of Monterey Code (MCC) Section 21.64.310. The subject property on which the wireless communication facility is to be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions, and any other applicable provisions of MCC, and that all zoning violation abatement costs, if any, have been paid. The proposed telecommunication facility will not create a hazard for aircraft in flight.

- EVIDENCE:**
- a) The project consists of the co-location of a wireless communications facility on an existing 50-foot monopole at the height of 29-feet, and associated improvements. The site is located at 51950 Pine Canyon Road, King City.
 - b) Pursuant to the requirements in MCC Section 21.64.310(C)(5) the County analyzed potential visual impacts which could result from the placement of the facility, and finds that the proposed facility will not create a significant visual impact from adjacent properties or roadways. The subject property is not in a designated Visually Sensitive area pursuant to MCC Title 21, however, according to Monterey County Geographic Information System (GIS) records identify the parcel as highly sensitive. The proposed facility will be visible from adjacent properties and from Pine Canyon Road; however, the facility will only be visible for a short time from Pine Canyon Road, and will be 0.75 miles away from the road. Although the established facility is at 50 feet in height, the proposed co-location will be at 29 feet. The facility will be barely noticeable to the average passing motorist. The facility may be visible looking across the street from San Antonio Park within King City, however, this site is 2.5 miles from the proposed project and the staff site visit to this location revealed it could not be seen with the naked eye. Using a telephoto lens, an existing tower on an adjacent peak was barely visible; however, the proposed tower is at a higher elevation than this existing tower, and thus is more visible than the proposed tower would be. San Lorenzo County Park is located approximately 2.5 miles away from the proposed site. Visibility would be similar from this location; however, topography and vegetation further limit views of the ridgeline from this location. Conditions have been incorporated that

require non-glare color treatment, that would reduce the visual impacts in the event of technological advances, and that would require removal and restoration of the site in case of termination of use (Condition Nos. 6 and 8).

- c) Title 21 section 21.64.310(H)(b) encourages co-location of facilities. While the existing pole will not be replaced and have minor additions, these additions will not substantially alter the visual impact of the existing metal tower as it is a co-location, when viewed from Pine Canyon Road. Title 21 section 21.64.310 encourages co-location of wireless facilities when possible. Co-location opportunities were analyzed for the proposed project, which the existing WCF on the subject property is proposed to be used for co-location, meeting the coverage objectives identified in the plan provided. Photographic simulations provided by the applicant illustrate that there is not a significant increase to the visually perceived bulk or height of the existing tower. The project includes a condition to encourage future co-location by other wireless carriers (Condition No. 6).
- d) The project is consistent with MCC Chapter 21.86, Airport Approach Zoning, and does not require review by the County of Monterey Airport Land Use Commission. This project does not affect any aircraft zones identified in MCC Section 21.86.050, and the proposed height is within the limitations outlined in MCC Section 21.86.060.
- e) The project does not penetrate a FAR Part 77 Imaginary Surface. The project site is located approximately 4.5 miles (23,760 linear feet) From the Mesa Del Rey Airport, the nearest public use airport. If deemed necessary by the FCC, warning lights would be located on top of the structure to prevent conflict with any aircraft when visibility is limited.
- f) The project planner reviewed the project application materials and plans, as well as the County's GIS database, to verify that the project on the subject parcel conforms to the plans listed above and that the site is suitable for this use. The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN250162.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** Section 21.80.040(A) of the County of Monterey Zoning Ordinance (Title 21) states that the proposed project is appealable to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project is a small structure, which qualifies for a Class 1 Categorical Exemption per Section 15301 of the CEQA Guidelines and does not meet any of the exceptions under Section 15300.2;
2. Approve an Administrative Permit to allow the co-location of a wireless communications facility at 29-foot height on an existing 50-foot-tall monopole with associated improvements.

in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 21st day of January, 2026.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250162

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit (PLN250162) allows the co-location of a wireless communications facility at 29-foot height on an existing 50-foot tall monopole with associated improvements. The property is located at 51950 Pine Canyon Road, King City (Assessor's Parcel Number 420-071-067-000), Greater Salinas Valley Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit (Resolution Number _____) was approved by Chief of Planning for Assessor's Parcel Number 420-071-067-000 on January 21, 2026. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD039(B) - WIRELESS REDUCE VISUAL IMPACTS

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall agree in writing that if future technological advances allow for reducing the visual impacts of the telecommunication facility, the applicant shall make modifications to the facility accordingly to reduce the visual impact as part of the facility's normal replacement schedule. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit, in writing, a declaration agreeing to comply with the terms of this condition HCD - Planning for review and approval.

5. PD039(C) - WIRELESS CO-LOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant and/or successors assigns shall encourage co-location by other wireless carriers on this tower assuming appropriate permits are approved for co-location. Any expansion or additions of microwave dishes, antennas and/or similar appurtenances located on the monopole, which are not approved pursuant to this permit, are not allowed unless the appropriate authority approves additional permits or waivers. In any case, the overall height of the pole shall not exceed the specified height. (HCD - Planning)

Compliance or Monitoring Action to be Performed: On an on-going basis, the Owner/Applicant shall encourage co-location by other wireless carriers on this tower assuming appropriate permits are approved for co-location. The overall height of the pole shall not exceed 50 feet.

6. PD039(D) - WIRELESS REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If the applicant abandons the facility or terminates the use, the applicant shall remove the monopole, panel antennas, and equipment shelter. Upon such termination or abandonment, the applicant shall enter into a site restoration agreement subject to the approval of the Director of HCD - Planning and County Counsel. The site shall be restored to its natural state within six (6) months of the termination of use or abandonment of the site.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to abandoning the facility or terminating the use, the Owner/Applicant shall submit a site restoration agreement to HCD - Planning subject to the approval of the HCD - Director of Planning and County Counsel.

Within 6 months of termination of use or abandonment of the site, the Owner Applicant shall restore the site to its natural state.

7. PD039(E) - WIRELESS EMISSION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The facility must comply with Federal Communications Commission (FCC) emission standards. If the facility is in violation of FCC emission standards, the Director of HCD - Planning shall set a public hearing before the Appropriate Authority whereupon the appropriate authority may, upon a finding based on substantial evidence that the facility is in violation of the then existing FCC emission standards, revoke the permit or modify the conditions of the permit. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of use and on an on-going basis, the Owner/Applicant shall submit documentation demonstrating compliance with the FCC emission standards to the Director of HCD-Planning for review and approval.

On an on-going basis, if the facility is in violation of FCC emission standards, the Director of HCD-Planning shall set a public hearing before the Appropriate Authority to consider revocation or modification of the permit.

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T-MOBILE SITE NUMBER:

SFL0050A

SITE NAME:

AT&T: KING CITY

SITE LOCATION:

51950 PINE CANYON RD
KING CITY, CA 93930

COVERAGE STRATEGY

LEGAL DESCRIPTION:

SEE SURVEY BY OTHERS

UTILITY COMPANIES:

POWER:

PG&E

BACKHAUL/AAV:

AT&T

PROJECT CONTACT LIST:

APPLICANT:

T-MOBILE USA, INC.
1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520
PROJECT MANAGER: VANESSA MEYER-CROOKS
VANESSA.MEYERCROOKS1@T-MOBILE.COM
PHONE: 360-936-7785

PROPERTY OWNER:

CUERVO HOLDINGS LP
PO BOX 3310
GREENFIELD, CA 93927

SITE ACQUISITION
& PERMITTING:

NETWORK CONNEX
7543 WOODLEY AVE.
VAN NUYS, CA 94106
CONTACT: SAMANTHA ALPHA
SALPHA@NETWORKCONNEX.COM

CONSTRUCTION MANAGER:

NETWORK CONNEX
7543 WOODLEY AVE.
VAN NUYS, CA 94106
CONTACT: BRANDON ALDIS
BALDIS@NETWORKCONNEX.COM
PHONE: 971-240-3343

PROJECT A&E:

P. MARSHALL & ASSOCIATES, LLC.
6801 PORTWEST DR., #100
HOUSTON, TX 77024
PROJECT ENGINEER:
CHAD WILHOIT, P.E.
CWILHOIT@PMASS.COM
PROJECT MANAGER:
REESE MINOGUE
RMINOGUE@PMASS.COM

TOWER OWNER:

AT&T TOWER
500 EXECUTIVE PKWY
SAN RAMON, CA 94583
CONTACT: REBECCA MONTEZ
MO'CONNOR@TOWERCO.COM
PHONE: 951-240-2925

PROJECT INFORMATION:

CODE INFORMATION:

ZONING CLASSIFICATION: PG

BUILDING CODE: 2022 OSSC/2021 IBC, 2022 OMSC/2021 IMC,
2021 OESC/2020 NEC

CONSTRUCTION TYPE: IIB
OCCUPANCY: U,S-2
JURISDICTION: COUNTY OF MONTEREY
PROPOSED BUILDING USE: UNMANNED TELECOM

SITE LOCATION (NAD88):

LATITUDE: 36.1758389°
LONGITUDE: -121.168914°
TOP OF STRUCTURE: 1508.0' AMSL 50.0" AGL
BASE OF STRUCTURE: 908' AMSL 0.0' AGL
STRUCTURE TYPE: MONOPOLE

PROJECT LEASE AREA:

150 SF

PARCEL NUMBER:

420-071-067-000

NEW IMPERVIOUS AREA:

0 SF

AREA OF PARCEL:

156 ACRES

GENERAL INFORMATION:

PARKING REQUIREMENTS ARE UNCHANGED
TRAFFIC IS UNAFFECTED
SIGNAGE IS PROPOSED

DRAWING INDEX:

SH #	SHEET DESCRIPTION	REV
T-1	TITLE SHEET / PROJECT INFORMATION	C
GN-1	GENERAL NOTES	C
GN-2	SITE SIGNAGE REQUIREMENTS	C
-	SURVEY (BY OTHERS)	C
Z-1	OVERALL PROPERTY PLAN	C
A-1	EXISTING OVERALL SITE PLAN	C
A-2	PROPOSED OVERALL SITE PLAN	C
A-3	PROPOSED ENLARGED EQUIPMENT PLAN	C
A-4	TOWER ELEVATION & ANTENNA PLAN	C
A-5	ANTENNA, RRU SPECS & MOUNT DETAIL	C
A-6	ANDREW VHLP2-11W MW SPECS	C
A-7	ODU SPECS	C
A-8 - A-8.2	MW CABLE SPECS	C
A-9	RBS 6160 & B160 CABINET SPECS	C
A-10	CABINET ANCHOR & BATTERY SPECS	C
A-11	EQUIPMENT & HCS CABLE SPECS	C
A-12	HOFFMAN WINDER/SLACK CAN SPECS	C
A-13 - A-13.2	CIVIL SPECIFICATIONS & DETAILS	C
A-14 - A-14.4	SITE PRO 1 MOUNT DETAILS	C
RF-1	RFDS PLUMBING DIAGRAM	C
E-1	ONE-LINE DIAGRAM & PANEL SCHEDULE	C
E-2	UTILITY & CONDUIT PLANS	C
E-3	GROUNDING PLANS	C
E-4 - E-5	GROUNDING DETAILS	C

PROJECT DESCRIPTION:

T-MOBILE PROPOSES (PER RFDS COVERAGE STRATEGY) TO MODIFY AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY WITH:

TOWER SCOPE OF WORK:

- INSTALL (1) SITE PRO 1 COLLAR MOUNT, P/N: MSFAA
- INSTALL (3) SITE PRO 1 ANTENNA SECTOR MOUNTS, P/N: VFA10-HD
- INSTALL (3) ERICSSON AIR 6419 B41 ANTENNAS
- INSTALL (1) ANDREW VHLP2-11W MICROWAVE
- INSTALL (2) CERAGON FIBEAIR IP-20A RFU-D-HP ODU'S
- INSTALL (3) AMPHENOL APXVAALL24M-U-J20 ANTENNAS
- INSTALL (3) ERICSSON RADIO 4460 B25+B66 RRU'S
- INSTALL (3) ERICSSON RADIO 4480 B71+B85 RRU'S
- INSTALL (2) 1-5/8" 6/24 4AWG HCS CABLES 10M
- INSTALL (1) ROTEC PC200 2" CORRUGATED INNERDUCT RUN FOR ALL MICROWAVE CABLES
- INSTALL (2) AMPHENOL FIBER OPTIC DUPLEX ARMOR I/O_TMO CABLES
- INSTALL (2) AMPHENOL FIBER OPTIC 2CX14AWG_TMO CABLES

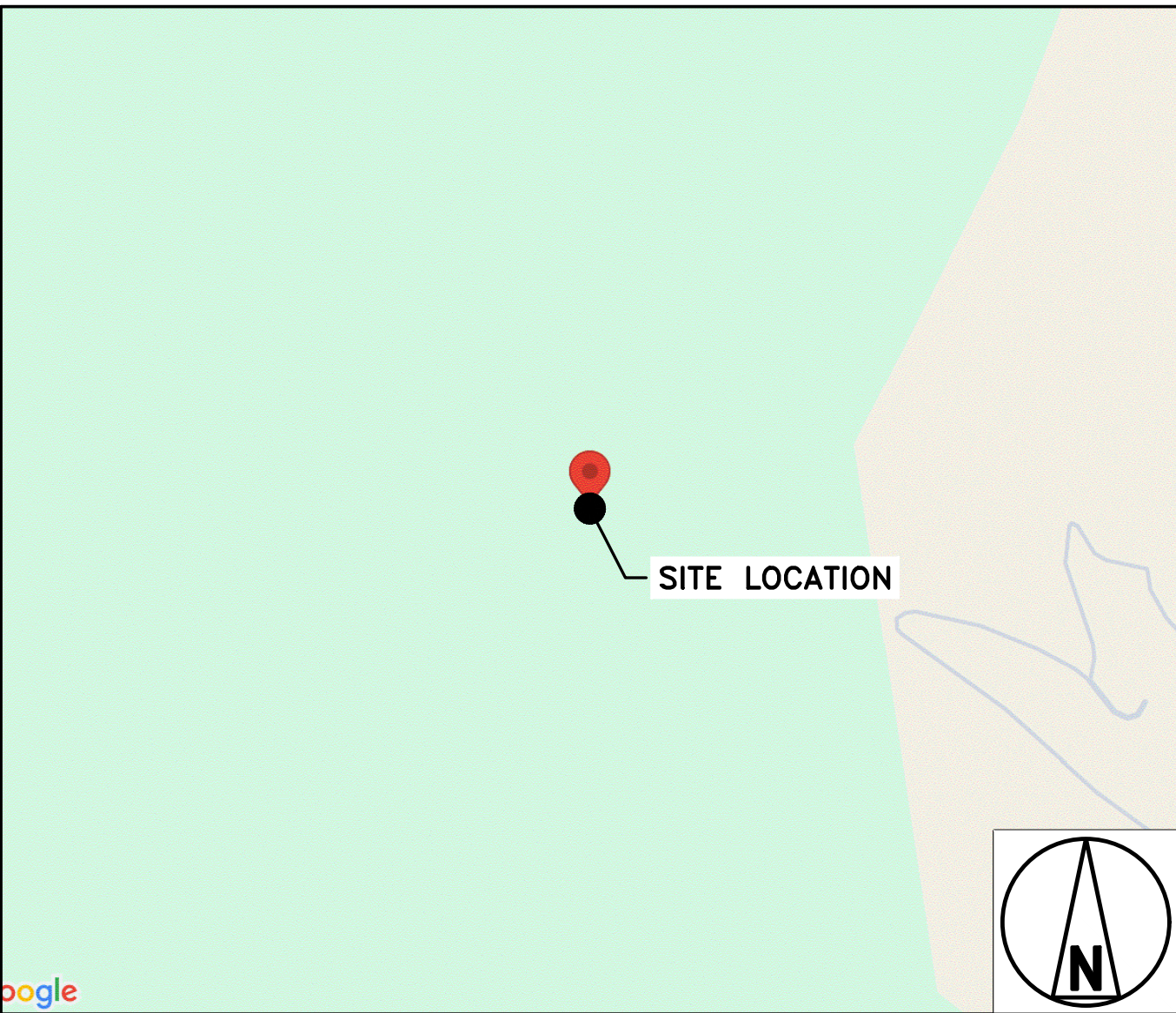
GROUND SCOPE OF WORK:

- INSTALL (1) 10'-0"x15'-0" CONCRETE EQUIPMENT PAD
- INSTALL (1) 6160 CABINET W/ INTERNAL BASEBANDS PER RFDS: (2) RP 6651 & (1) CSR IXRE V2
- INSTALL (1) B160 BATTERY CABINET W/ (4) BATTERY STRINGS
- INSTALL (1) UTILITY FRAME W/: (1) 200A PPC W/ CAMLOK, (1) METER/DISCONNECT, (1) CIENA, (1) TELCO BOX, (1) LED LIGHT W/ TIMER
- INSTALL (2) HOFFMAN CABLE WINDER/SLACK CAN, P/N: A242408LP, MOUNTED ON (N) ICE BRIDGE POST
- INSTALL (1) 24" WIDE ICE BRIDGE & (1) GPS ANTENNA
- INSTALL GROUND RING W/ TEST WELLS, POWER & FIBER TRANCHE(S), PROVIDE ELECTRICIAN, PROVIDE PRIVATE LOCATES & SITE SIGNAGE
- INSTALL (1) 2" RIGID CONDUIT FROM WINDER BOX TO T-MOBILE CABINET

VICINITY MAP



LOCATION MAP



DRIVING DIRECTIONS:

FROM LOCAL T-MOBILE SAN FRANCISCO INTERNATIONAL AIRPORT: GET ON US-101 S FROM AIRPORT ACCESS RD, 1.4 MI. MERGE ONTO US-101 S, 138 MI. TAKE EXIT 283 TO MERGE ONTO JOLON RD, 0.3 MI. MERGE ONTO JOLON RD, 0.3 MI. TURN RIGHT ONTO PINE CANYON RD, 1.4 MI. TURN RIGHT, 0.7 MI. SLIGHT LEFT, 0.1 MI. TURN RIGHT, 1.0 MI. DESTINATION WILL BE STRAIGHT AHEAD.

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

APPROVED BY:	DATE:	SIGNATURE:	APPROVED BY:	DATE:	SIGNATURE:
PROJECT MANAGER:			RF ENGINEER:		
SITE ACQUISITION:			OPERATIONS MANAGER:		
ZONING:			DEVELOPMENT MANAGER:		
CONSTRUCTION MANAGER:			REGULATORY:		
CONSTRUCTION MANAGER:					



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PLANS PREPARED FOR:



1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:



P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:



MLA PARTNER:

ENGINEERING SEAL:

ISSUED
FOR
REVIEW

DRAWING NOTICE:

THESE DOCUMENTS ARE CONFIDENTIAL AND ARE THE SOLE PROPERTY OF **T-MOBILE** AND MAY NOT BE REPRODUCED, DISSEMINATED OR REDISTRIBUTED WITHOUT THE EXPRESS WRITTEN CONSENT OF **T-MOBILE**.

REVISIONS:

DESCRIPTION	DATE	BY	REV
PRELIMINARY	03/07/2025	DAD	A
PRELIMINARY	05/14/2025	SM	B
PRELIMINARY	06/06/2025	SM	C

SITE NAME:

AT&T: KING CITY

SITE NUMBER:

SFL0050A

SITE ADDRESS:

51950 PINE CANYON RD
KING CITY, CA 93930

PM&A PROJECT:

25TMO_08N-004

SHEET DESCRIPTION:

TITLE SHEET

SHEET NUMBER:

T-1

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL ADHERE TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE (LATEST EDITION), AND ALL OTHER APPLICABLE CODES AND ORDINANCES AS REQUIRED BY THE JURISDICTION.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND THE CARRIER INTEGRATED CONSTRUCTION STANDARDS FOR WIRELESS SITES (LATEST REVISION). SPECIFICATIONS ARE THE RULING DOCUMENTS, AND ANY DISCREPANCIES BETWEEN THE SPECIFICATIONS AND THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD (EOR) PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. THE DRAWINGS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
4. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF, FIELD CONDITIONS INCLUDING DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN IN THE DRAWINGS PRIOR TO PROCEEDING WITH CONSTRUCTION, IS REQUIRED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE EOR PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
5. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, AND SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE WORK.
6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
7. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
8. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST CONSTRUCTION SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
4. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE SUPERINTENDENT OF BUILDINGS & GROUNDS AND SCHEDULE HIS ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
12. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
13. MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATELY REPAIR ANY DAMAGE THAT OCCURS DURING CONSTRUCTION.
14. IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT.
15. REPAIR ALL EXISTING WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
16. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.
17. KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
18. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
19. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
20. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES.
21. LIGHT SHADED LINES AND NOTES REPRESENT WORK PREVIOUSLY DONE. DARK SHADED LINES AND NOTES REPRESENT THE SCOPE OF WORK FOR THIS PROJECT. CONTRACTOR SHALL VERIFY IF EXISTING CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
22. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND/OR WIRING CERTIFICATES REQUIRED FOR THE ELECTRICAL SERVICE UPGRADE. IN ADDITION, CONTRACTOR SHALL PROVIDE ALL NECESSARY COORDINATION AND SCHEDULING WITH THE SERVING ELECTRICAL UTILITY AND LOCAL INSPECTION AUTHORITIES.
23. CONTRACTOR TO VERIFY ALL ASPECTS OF THE EXISTING STRUCTURE FOR CONFORMITY WITH THE VALUES SHOWN IN THESE DRAWINGS AND NOTIFY THE E.O.R. IF ANY DISCREPANCIES ARE FOUND. ALL ELEMENTS OF EXISTING STRUCTURE TO REMAIN UNDISTURBED, U.N.O.

SITE WORK NOTES

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. DO NOT SCALE BUILDING DIMENSIONS FROM DRAWING.
3. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
4. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NOT RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
6. CONTRACTOR SHALL CALL LOCAL DIGGER HOT LINE FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION.
7. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
8. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS.
9. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
10. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.
11. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
12. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
13. ANY FILLS PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
14. CONTRACTOR SHALL CLEAN ENTIRE SITE DAILY AFTER CONSTRUCTION SUCH THAT NO PAPERS, THRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
15. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
16. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

STRUCTURAL STEEL NOTES

1. ALL STEEL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION. STEEL SECTIONS SHALL BE IN ACCORDANCE WITH ASTM AS INDICATED BELOW:
W-SHAPES: ASTM A992, 50 KSI
ANGLES, BARS, CHANNELS, PLATES: ASTM A36, 36 KSI
HSS SECTIONS: ASTM 500, 46 KSI
PIPE SECTIONS: ASTM A53-B, 35 KSI
2. ALL EXTERIOR EXPOSED STEEL AND HARDWARE SHALL BE HOT DIPPED GALVANIZED.
3. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP. ALL WELDING SHALL BE PERFORMED IN AN APPROVED SHOP.
4. ALL BOLTS FOR STEEL TO STEEL CONNECTIONS TO BE PER ASTM A325. HOLES TO BE 1/16" DIA. LARGER THAN BOLT, U.N.O.
5. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8"Ø ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
6. FIELD MODIFICATIONS ARE TO BE COATED WITH ZINC ENRICHED PAINT.
7. HOLES TO RECEIVE EXPANSION/WEDGE ANCHORS SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH AND DIAMETER. LOCATE AND AVOID CUTTING EXISTING REBAR OR TENDONS WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS OR CONCRETE WALLS.
8. USE AND INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER ICC & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES. THIRD PARTY SPECIAL INSPECTION IS REQUIRED FOR CONCRETE EXPANSION ANCHORS (I.E. SIMPSON STRONG-BOLT 2 WEDGE ANCHORS PER ESR-3037). INSTALLATION OF WEDGE ANCHORS IN MASONRY IS NOT PERMITTED.

SPECIAL INSPECTION NOTES

1. CONTRACTOR SHALL PROVIDE REQUIRED SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR, APPROVED BY CARRIER AND THE LOCAL JURISDICTION, AS REQUIRED BY IBC SECTION 1704 AND 1705 FOR THE FOLLOWING:

A. STRUCTURAL STEEL:
i. ALL HIGH STRENGTH BOLT INSTALLATIONS; BOLTING INSPECTION TASKS SHALL BE IN ACCORDANCE WITH TABLES N5.6-1, N5.6-2, AND N5.6-3 PER AISC 360-10.
ii. FIELD WELDING (IF UTILIZED).
- B. BOLTS AND ANCHORS IN CONCRETE:
i. RETROFIT ANCHORS IN CONCRETE (ASHESIVE/EPOXY, EXPANSION, WEDGE, OR SCREW TYPE ANCHORS): INSPECT SIZE, LENGTH, CLEANLINESS, AND INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS.
- C. CONCRETE CONSTRUCTION:
i. VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC SECTION 1705, TABLE 1705.3.
2. PROVIDE SPECIAL INSPECTIONS FOR OTHER ITEMS NOTED ON DRAWINGS TO CONFIRM COMPLIANCE WITH CONTRACT DOCUMENTS.
3. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.

PLANS PREPARED FOR:



1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:



P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:



MLA PARTNER:

ENGINEERING SEAL:

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DESCRIPTION	DATE	BY	REV
PRELIMINARY	03/07/2025	DAD	A
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PRELIMINARY	06/06/2025	SM	C

SITE NAME:

AT&T: KING CITY

SITE NUMBER:

SFL0050A

SITE ADDRESS:

51950 PINE CANYON RD
KING CITY, CA 93930

PM&A PROJECT:

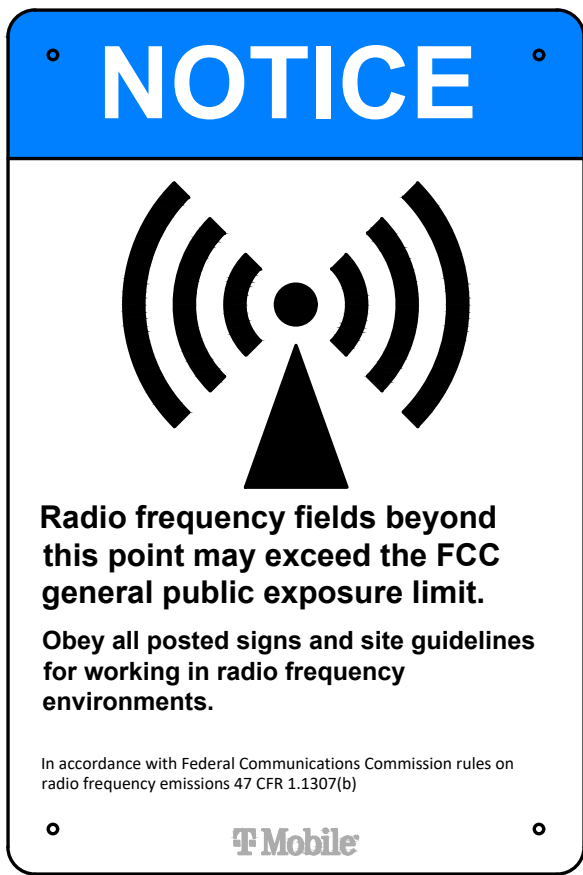
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SHEET DESCRIPTION:

GENERAL NOTES

SHEET NUMBER:

GN-1



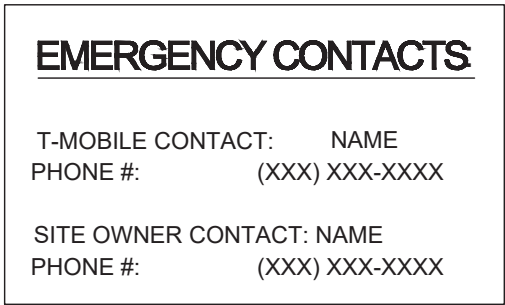
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PART NO. TMO142851



PART NO.TMO145771

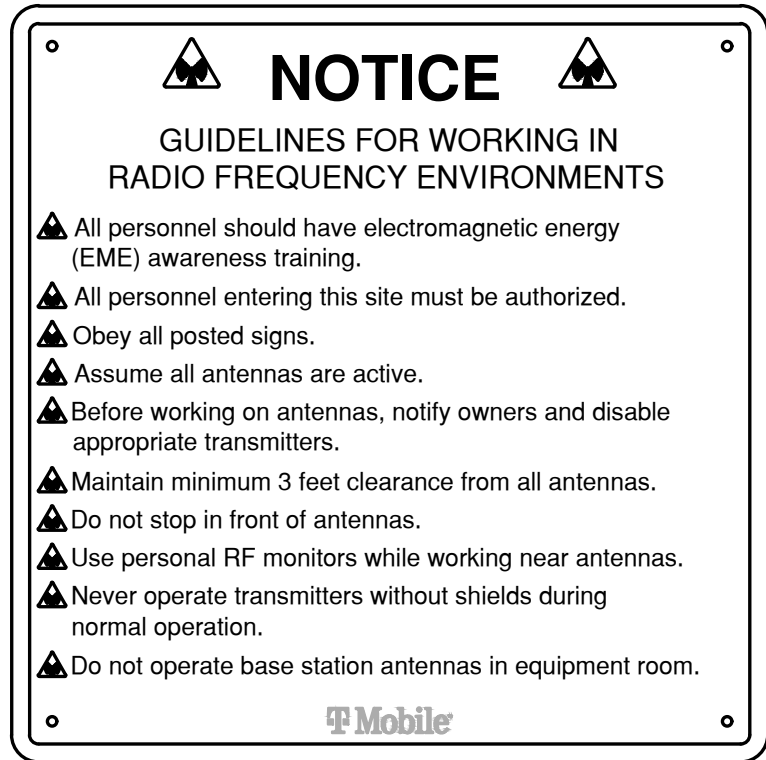


PLACE ON EXTERIOR OF EXISTING SHELTER
OR NEAR EXISTING T-MOBILE LEASE AREA

5" X 3" SIGN

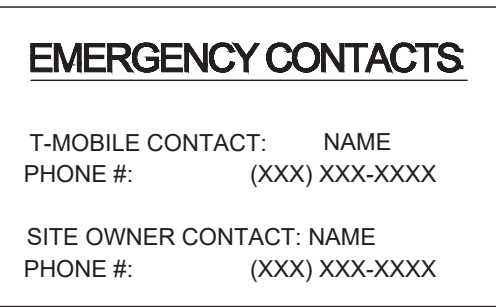
CONTRACTOR TO PROVIDE
REQUIRED SIGNAGE FOR ELECTRICAL
PANELS, DISCONNECTS, TRANSFER
SWITCHES, ETC. PER NATIONAL
ELECTRIC CODE ARTICLE 700.7

REQUIRED LABELING & SIGNAGE



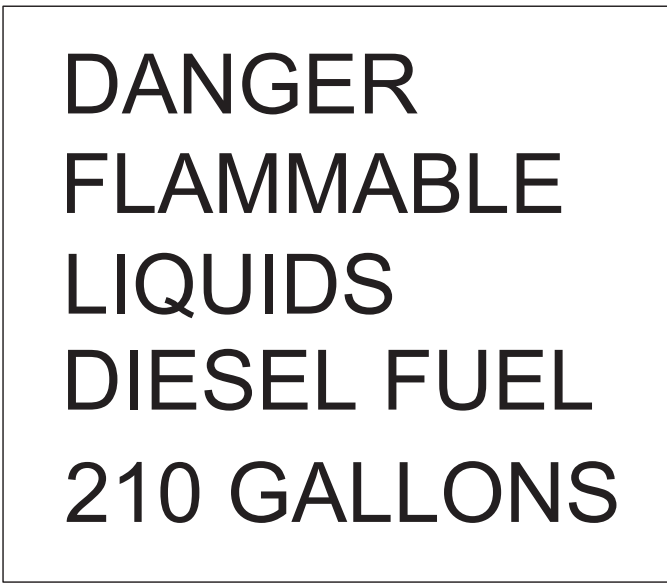
PLACE ON (2) VISIBLE SIDES OF
NEW GENERATOR TANK

11" X 11" SIGN



PLACE ON EXTERIOR OF EXISTING SHELTER
OR NEAR EXISTING T-MOBILE LEASE AREA

5" X 3" SIGN



PLACE ON (2) VISIBLE SIDES OF
NEW GENERATOR TANK

15" X 12" SIGN



PLACE ON VISIBLE SIDE OF
NEW GENERATOR TANK

10" X 7" SIGN



PLACE ON (2) VISIBLE SIDES OF
NEW GENERATOR TANK

18" X 18" SIGN



PART NO. TMO130956

PLANS PREPARED FOR:



1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:



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OEM:



MLA PARTNER:

ENGINEERING SEAL:

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SITE NUMBER:

SFL0050A

SITE ADDRESS:

51950 PINE CANYON RD
KING CITY, CA 93930

PM&A PROJECT:

25TMO_08N-004

SHEET DESCRIPTION:

SIGNAGE
REQUIREMENTS

SHEET NUMBER:

GN-2

SITE PLAN DISCLAIMER:

PROPERTY LINES AND STRUCTURES HAVE BEEN DIGITIZED FROM PREVIOUS PLAN SETS OR FROM ASSESSORS MAPS. PM&A HAS NOT COMPLETED A SITE SURVEY AND THEREFORE MAKES NO CLAIMS AS TO THE ACCURACY OF INFORMATION DEPICTED ON THIS SHEET. CONTRACTOR SHALL FIELD VERIFY SITE PLAN & EQUIPMENT SHOWN AGAINST PRESENT FIELD CONDITIONS. IF PLANS DO NOT MATCH UP WITH SITE CONDITION AT TIME OF CONSTRUCTION, CONTACT T-MOBILE CM.



GENERAL NOTES

1. SITE PLAN SHOWN WAS TAKEN FROM SURVEY INFORMATION PROVIDED BY N/A. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IS INDICATED ON SITE PLAN. CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
2. PARCEL DATA SHOWN WAS TAKEN FROM INFORMATION PROVIDED BY GOOGLE PARLAY, PROPERTY INFORMATION RESEARCH WEB SITE.
3. NO WETLANDS EXISTING ON-SITE
4. ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES BY STATE CODE.

SITE PLAN NOTES

1. ACCESS TO PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS WITH THE LEASING AGENT FOR APPROVAL.
2. CONTRACTOR SHALL HAVE PRESENT ON SITE CURRENT CARRIER SUPPLIED INFORMATION PRIOR TO COMMENCE OF WORK: IE. RFDS, DESIGN DOCUMENTS SPECIFIC TO SITE AND CONFIGURATION. NOTIFY CONSTRUCTION MANAGER OF ANY DISCREPANCY PRIOR TO ARRIVAL AT SITE.
3. ALL DAMAGE TO EXISTING UNDERGROUND, OVERHEAD OBSTACLES AND/OR EXISTING EQUIPMENT, PAD OR SHELTERS SHALL BE REPLACED BACK TO FULL ORIGINAL OR BETTER CONDITION & SHALL MATCH EXISTING CONDITIONS BY REPAIRS AT GENERAL CONTRACTOR EXPENSE.
4. THE EXISTING TREES AND VEGETATION ARE SUFFICIENT TO PROVIDE THE REQUIRED SCREENING OF THE ENCLOSURE PER LOCAL ORDINANCE. IF THE VEGETATION IS REMOVED OR DAMAGED DURING THE CONSTRUCTION PROCESS, NEW LANDSCAPING/ SCREENING WILL BE INSTALLED TO MEET LOCAL ORDINANCE REQUIREMENTS. COORDINATE WITH LL ON APPROPRIATE REPLACEMENTS AS NECESSARY.

PLANS PREPARED FOR:

T-Mobile
1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:

PM&A
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6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:

**NETWORK
CONNEX**

MLA PARTNER:

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SHEET DESCRIPTION:

OVERALL PROPERTY
PLAN

SHEET NUMBER:

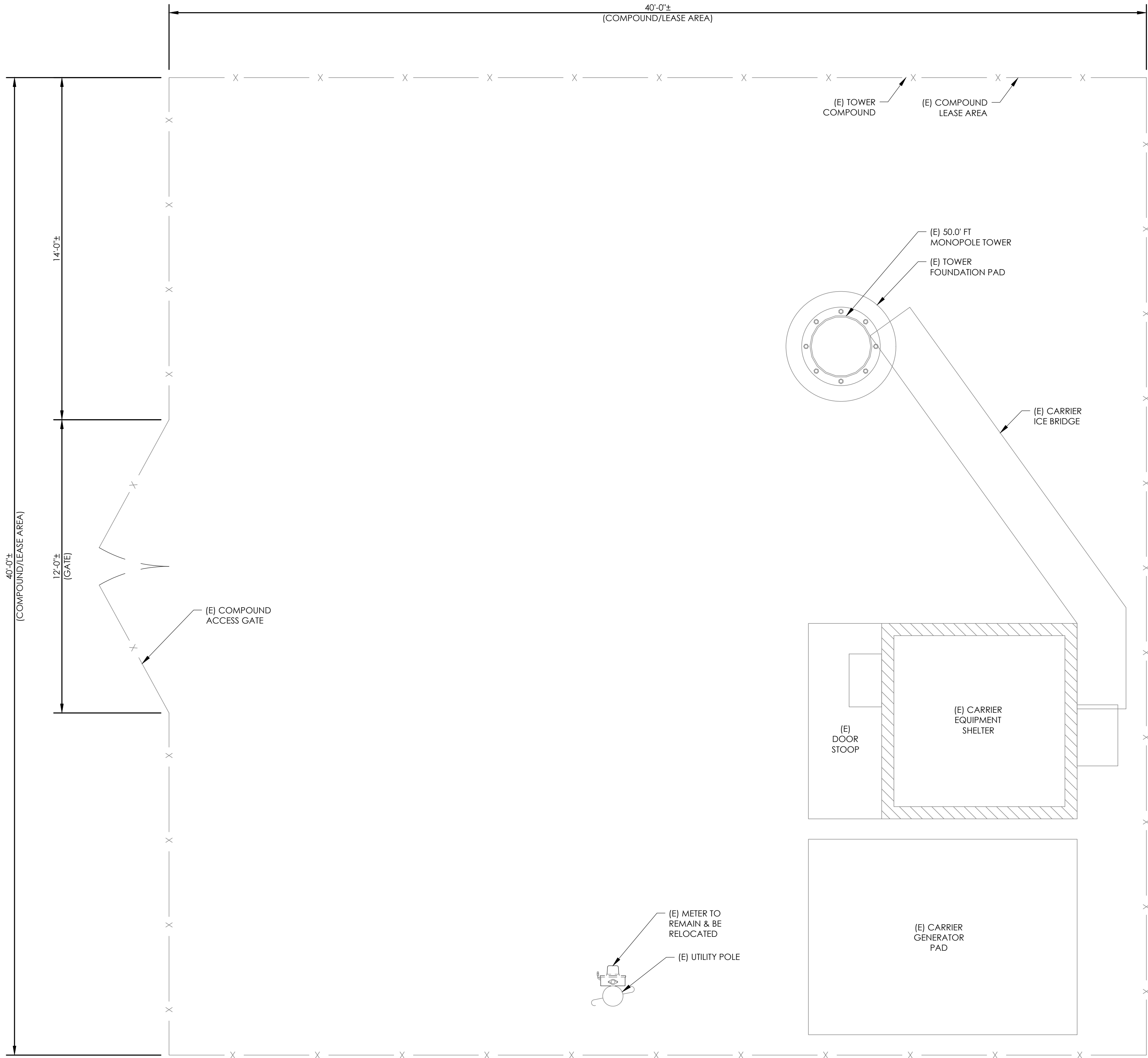
Z-1

OVERALL PROPERTY PLAN



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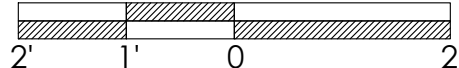
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OVERALL SITE PLAN

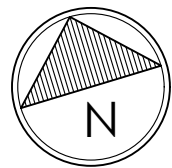
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EXISTING OVERALL SITE PLAN

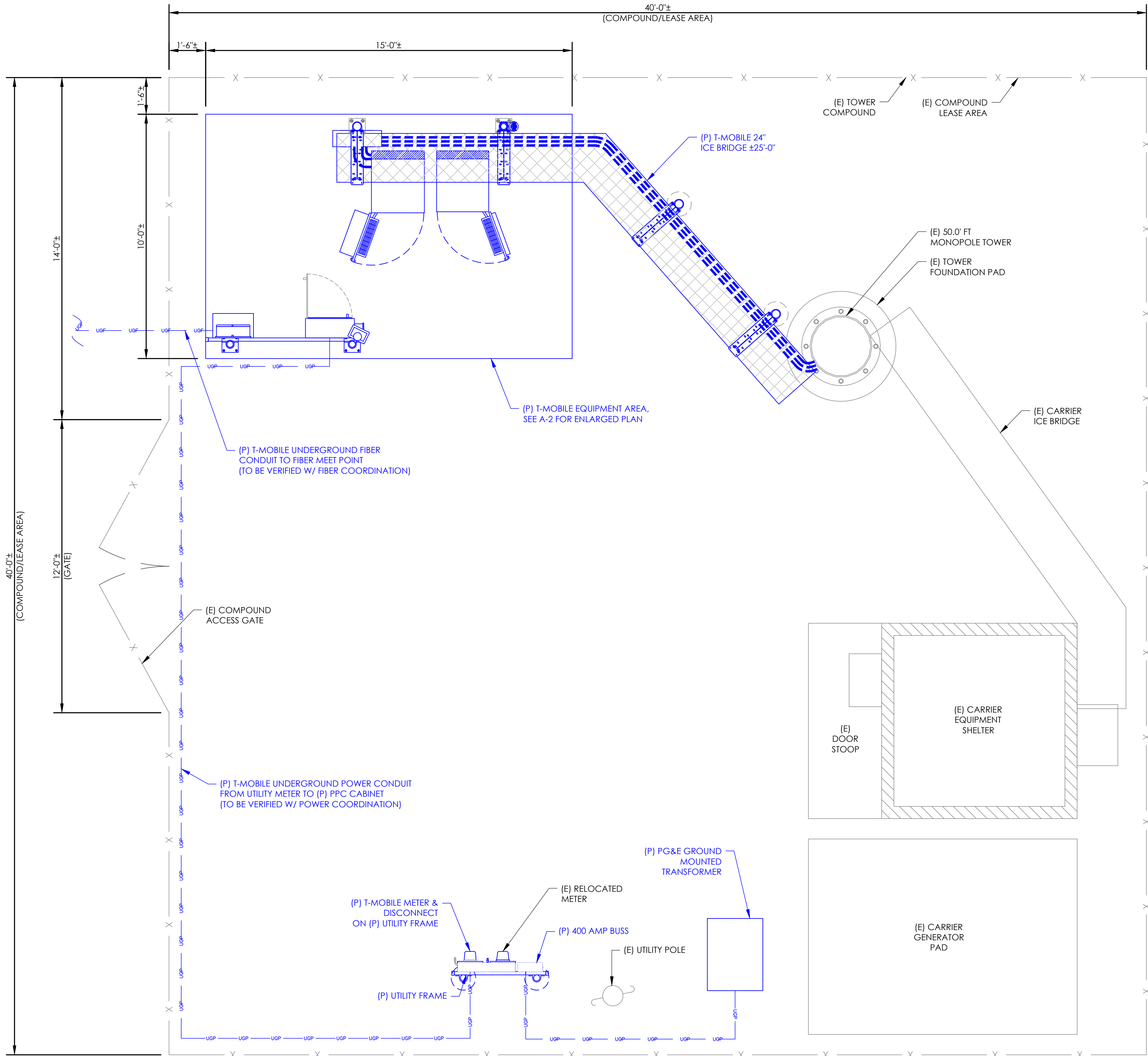


3/8"=1'-0" (FULL SIZE) 3/16"=1'-0" (11x17)



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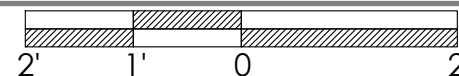
SHEET DESCRIPTION:

OVERALL SITE PLAN

SHEET NUMBER:

A-2

PROPOSED OVERALL SITE PLAN



3/8"=1'-0" (FULL SIZE) 3/16"=1'-0" (11x17)

PROPERTY LINE AND STRUCTURES HAVE BEEN DIGITIZED FROM PREVIOUS PLAN SETS OR FROM ASSESSORS MAPS. PM&A HAS NOT COMPLETED A SITE SURVEY AND THEREFORE MAKES NO CLAIMS AS TO THE ACCURACY OF INFORMATION DEPICTED ON THIS SHEET. CONTRACTOR SHALL FIELD VERIFY SITE PLAN & EQUIPMENT SHOWN AGAINST PRESENT FIELD CONDITIONS. IF PLANS DO NOT MATCH UP WITH SITE CONDITION AT TIME OF CONSTRUCTION, CONTACT T-MOBILE CM.

GROUND SCOPE OF WORK:

- INSTALL (1) 15'-0"x10'-0" CONCRETE PAD
- INSTALL (1) 10'-0"x15'-0" CONCRETE EQUIPMENT PAD
- INSTALL (1) 6160 CABINET W/ INTERNAL BASEBANDS PER RFDS: (2) RP 6651 & (1) CSR IXRE V23
- INSTALL (1) 8160 BATTERY CABINET W/ (4) BATTERY STRINGS
- INSTALL (1) UTILITY FRAME W/ (1) 200A PPC W/ CAMLOK, (1) METER/DISCONNECT, (1) CLENA, (1) TELCO BOX, LED LIGHT W/ TIMER
- INSTALL (1) 10'x10'x10' N4 CABLE & W/CABLES WINDER/SLACK CAN, P/N: A242408LP, MOUNTED ON [N] ICE BRIDGE POST
- INSTALL (1) 24" WIDE ICE BRIDGE & (1) GPS ANTENNA
- INSTALL GROUND RING W/ TEST WELLS, TRENCH IN POWER & FIBER, PROVIDE ELECTRICIAN, PROVIDE PRIVATE LOCATES, SITE SIGNAGE
- INSTALL (1) 2" RIGID CONDUIT FROM WINDER BOX TO TWO CABINET

PLANS PREPARED FOR:



1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:



P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

■ **OEM:**



MLA PARTNER:

ENGINEERING SEAL:

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PRELIMINARY	05/14/2025	SM	B
PRELIMINARY	06/06/2025	SM	C

SITE NAME:

AT&T: KING CITY

SITE NUMBER:

SFL0050A

SITE ADDRESS:

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KING CITY, CA 93930

PM&A PROJECT:

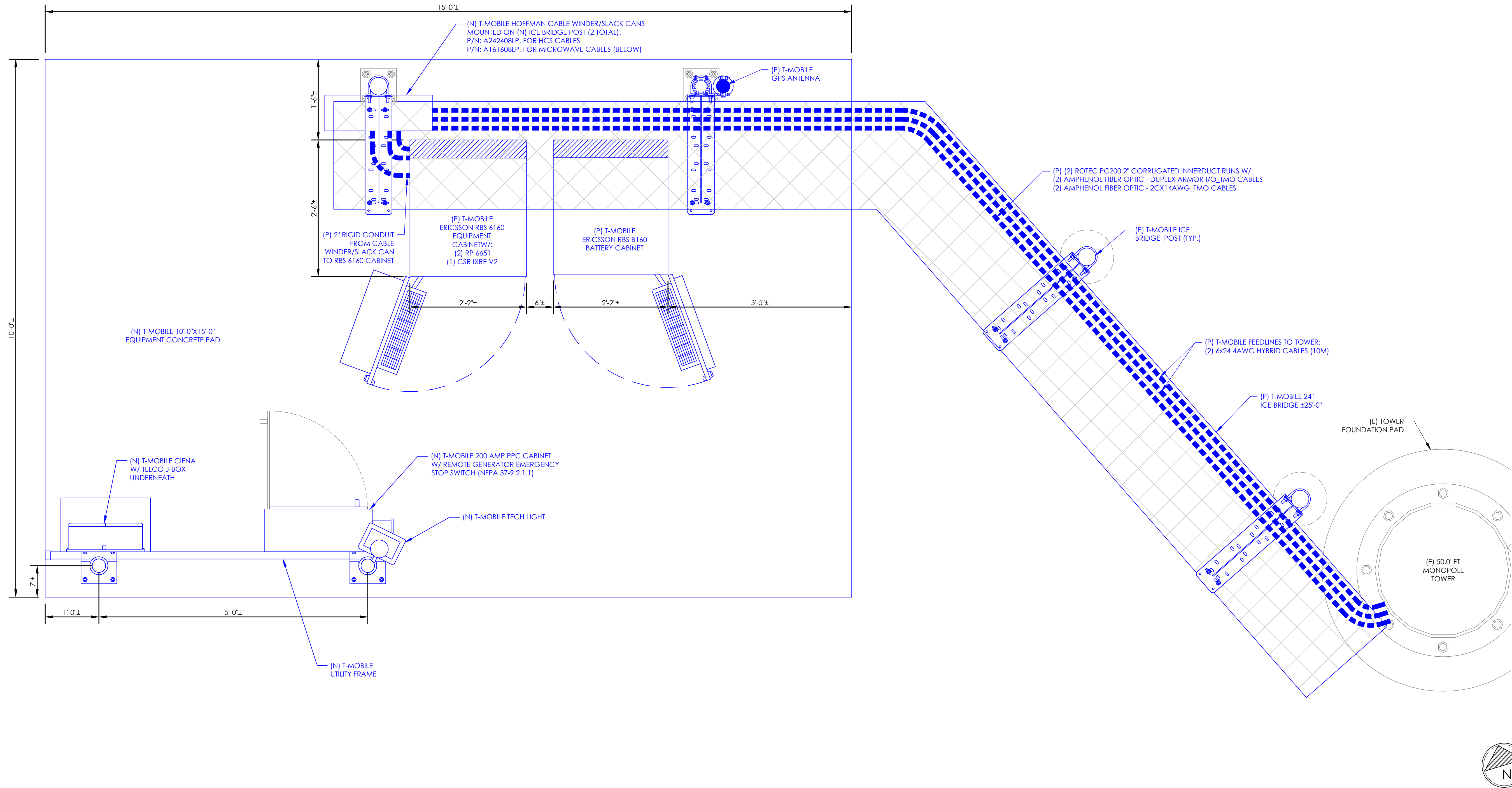
25TMO_08N-004

SHEET DESCRIPTION:

ENLARGED EQUIPMENT PLAN

SHEET NUMBER:

A-3



PROPOSED ENLARGED EQUIPMENT PLAN



SITE PLAN DISCLAIMER:

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STRUCTURAL ANALYSIS NOTES:

- THE DESIGN DEPICTED IN THESE DRAWINGS IS VALID WHEN ACCOMPANIED BY A CORRESPONDING PASSING STRUCTURAL ANALYSIS.
- CONSTRUCTION MANAGER / GENERAL CONTRACTOR SHALL REVIEW THE ANALYSIS FOR ANY CONDITIONS PRIOR TO INSTALLATION AND NOTIFY EOR OF ANY DISCREPANCIES.

T-MOBILE EQUIPMENT

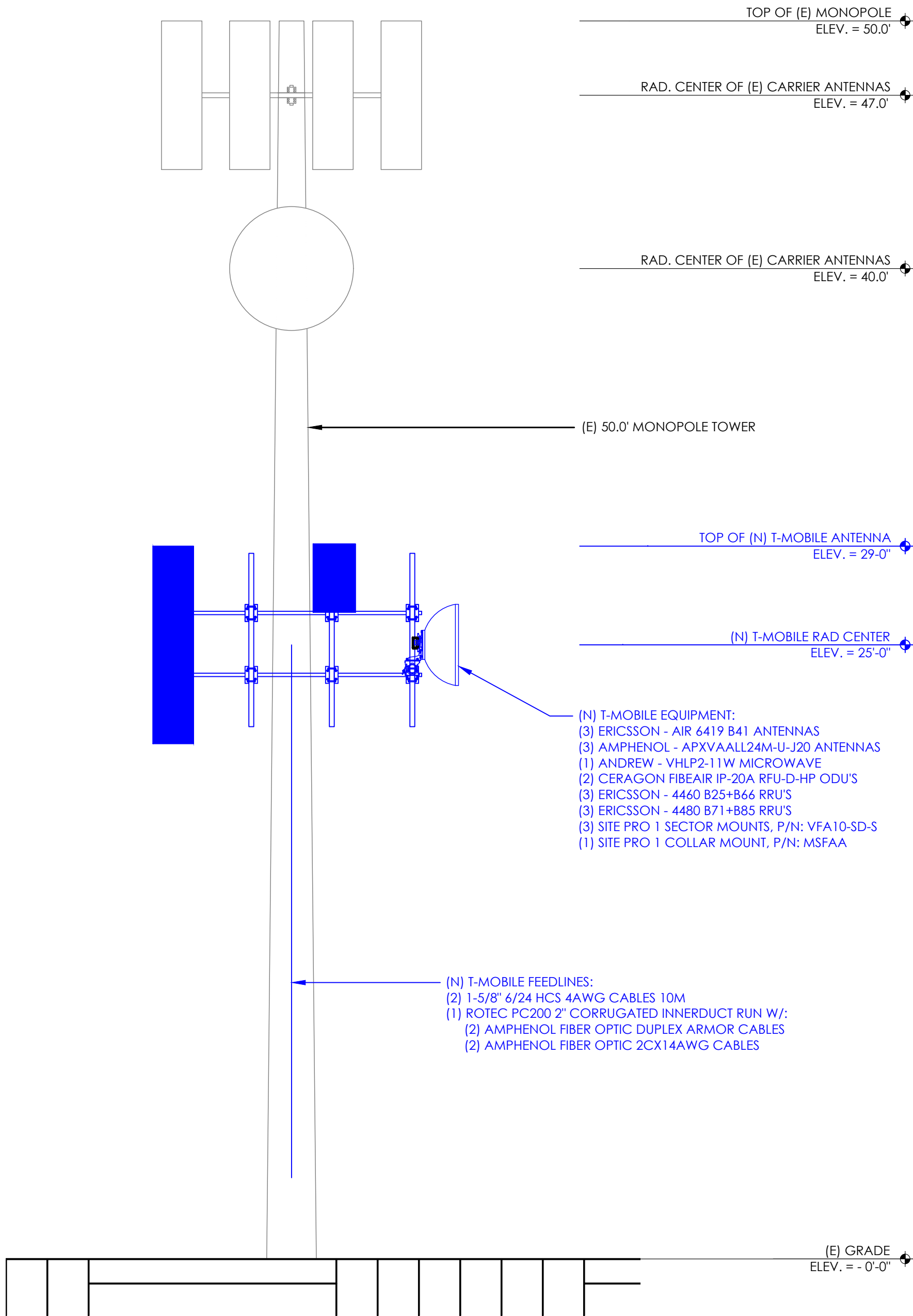
ANTENNA CL: 25'-0" & 27'-6"
MOUNT CL: 25'-0"

ANY AND ALL TOWER MOUNTED EQUIPMENT MUST NOT TRAP OR INTERFERE W/ EXISTING SAFETY CLIMB

REFER TO TOWER STRUCTURAL ANALYSIS FOR PROPOSED ANTENNA & CABLE LOADING DETAILS. ON-SITE CONDITIONS SHALL NOT EXCEED ANALYSIS. G.C. TO NOTIFY ENGINEER OF RECORD OF ALL ON-SITE DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.

INSTALLATION NOTES:

- PLEASE MAKE SURE NO RUST ON COMPONENTS AND NO LOOSE CONNECTIONS.
- ENSURE THERE ARE NO PIM ISSUES DURING INSTALLATION.
- ANTENNAS CAN'T SHOOT INTO METAL, OTHER OPERATOR ANTENNAS, ANYTHING THAT CAN CAUSE PIM, ETC.
- NO ANTENNA SHADOWING. ALL ANTENNAS ARE TO BE CO-PLANAR.
- GC TO INSTALL CONCEALFAB PIM SHIELD KIT.



PROPOSED TOWER ELEVATION 1

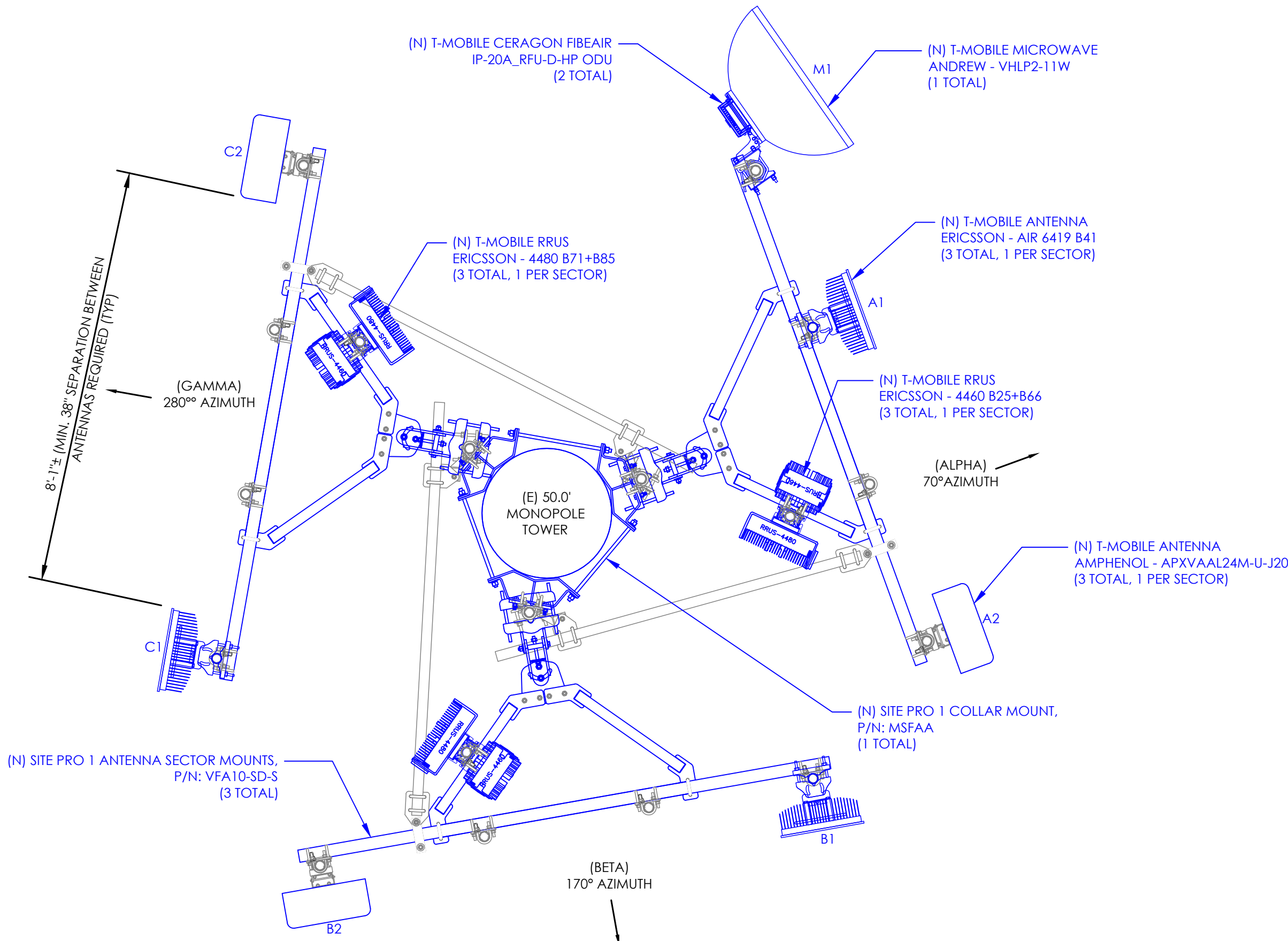


PROPOSED ANTENNA SCHEDULE

SECTOR	POS.	RAD CENTER	AZIMUTH	TECHNOLOGY	ANTENNA MANUFACTURER	ANTENNA MODEL	MECH. TILT	ELECT. TILT	TOWER MOUNTED EQUIPMENT	FEEDLINE TYPE
ALPHA	A1	27'-6"	70°	N2500	ERICSSON	AIR 6419 B41	0°	0°	-	SHARED HCS
ALPHA	A2	25'-0"	70°	N600/L700 N2100/L2100/N1900/L1900	RFS	APXVAALL24M-U-J20	0°	0°	(1) 4480 B71+B85 (1) 4460 B25+B66	(1) 6/24 HCS 4 AWG 1-5/8" (10M)
ALPHA	M1	25'-0"	55°	-	ANDREW	VHLP2-11W	0°	0°	CERAGON FIBEAIR IP-20A_RFU-D-HP ODU'S	(2) AMPHENOL FIBER OPTIC - DUPLEX ARMOR I/O_TMO (2) AMPHENOL FIBER OPTIC - 2CX14AWG_TMO
BETA	B1	27'-6"	70°	N2500	ERICSSON	AIR 6419 B41	0°	0°	-	SHARED HCS
BETA	B2	25'-0"	70°	N600/L700 N2100/L2100/N1900/L1900	RFS	APXVAALL24M-U-J20	0°	0°	(1) 4480 B71+B85 (1) 4460 B25+B66	(1) 6/24 HCS 4 AWG 1-5/8" (10M)
GAMMA	C1	27'-6"	70°	N2500	ERICSSON	AIR 6419 B41	0°	0°	-	SHARED HCS
GAMMA	C2	25'-0"	70°	N600/L700 N2100/L2100/N1900/L1900	RFS	APXVAALL24M-U-J20	0°	0°	(1) 4480 B71+B85 (1) 4460 B25+B66	SHARED HCS

ANTENNA, MICROWAVE AND CABLE SCHEDULE 2

NOT TO SCALE



PROPOSED ENLARGED ANTENNA & MICROWAVE PLAN 3



PLANS PREPARED FOR:

T-Mobile
1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:

PM&A
P. MARSHALL & ASSOCIATES

6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:

**NETWORK
CONNEX**

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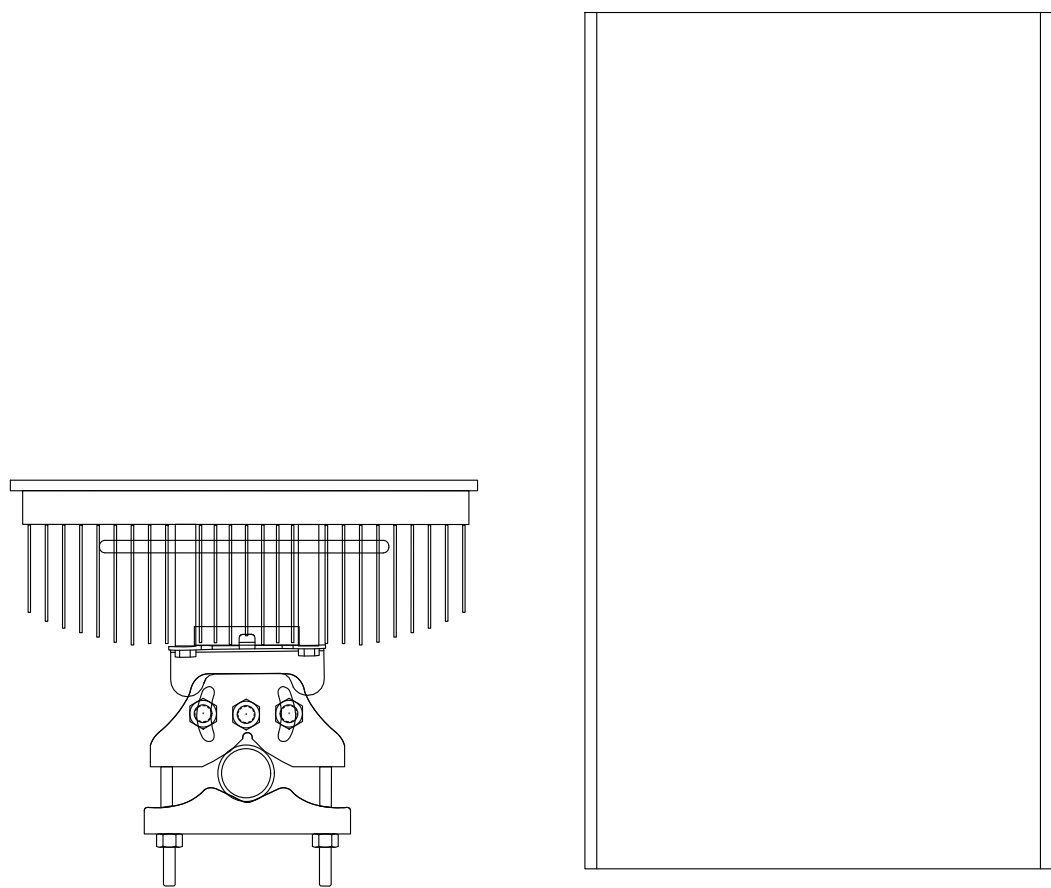
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SHEET DESCRIPTION:

TOWER ELEVATION
& ANTENNA PLAN

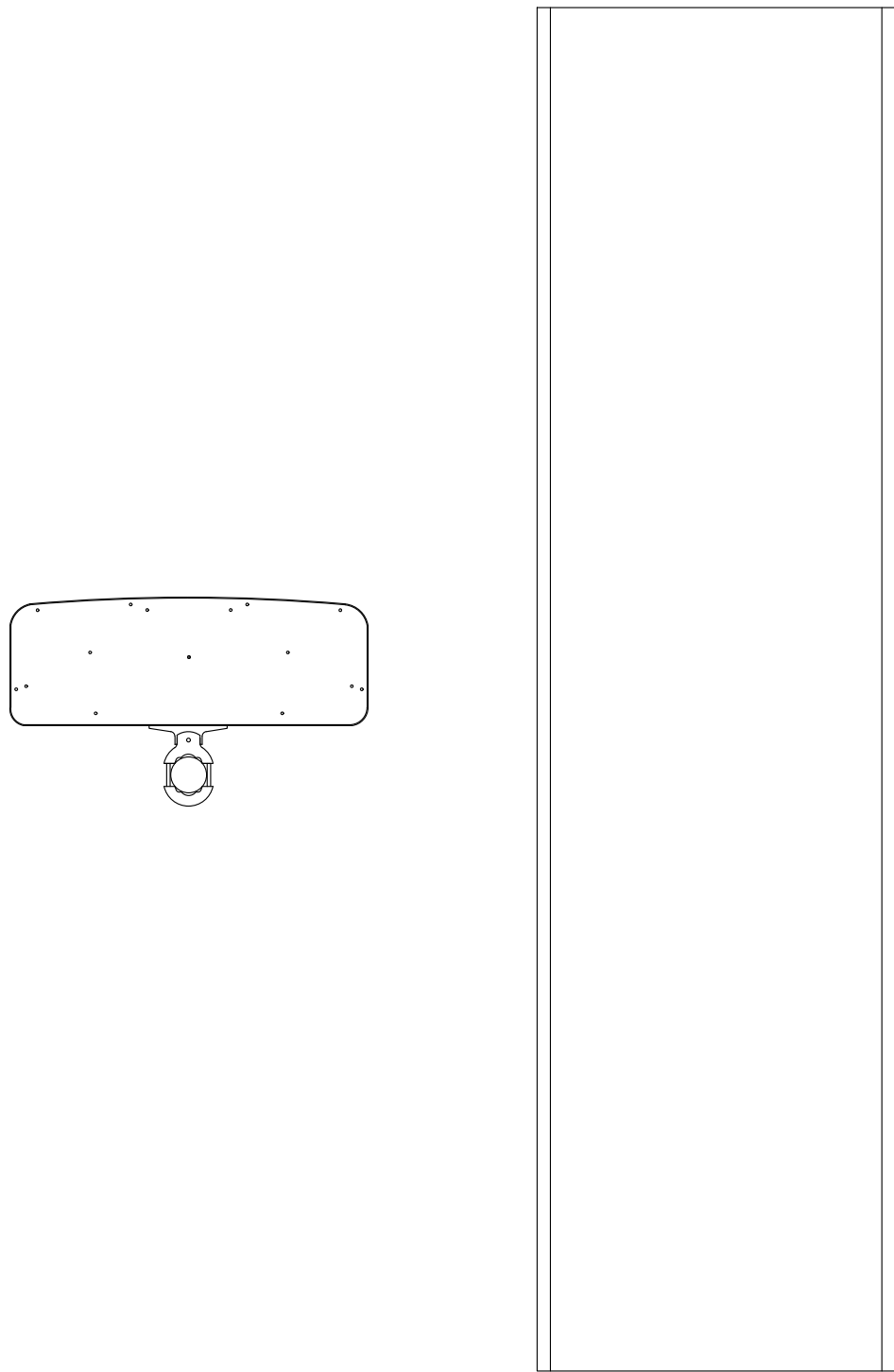
SHEET NUMBER:

A-4



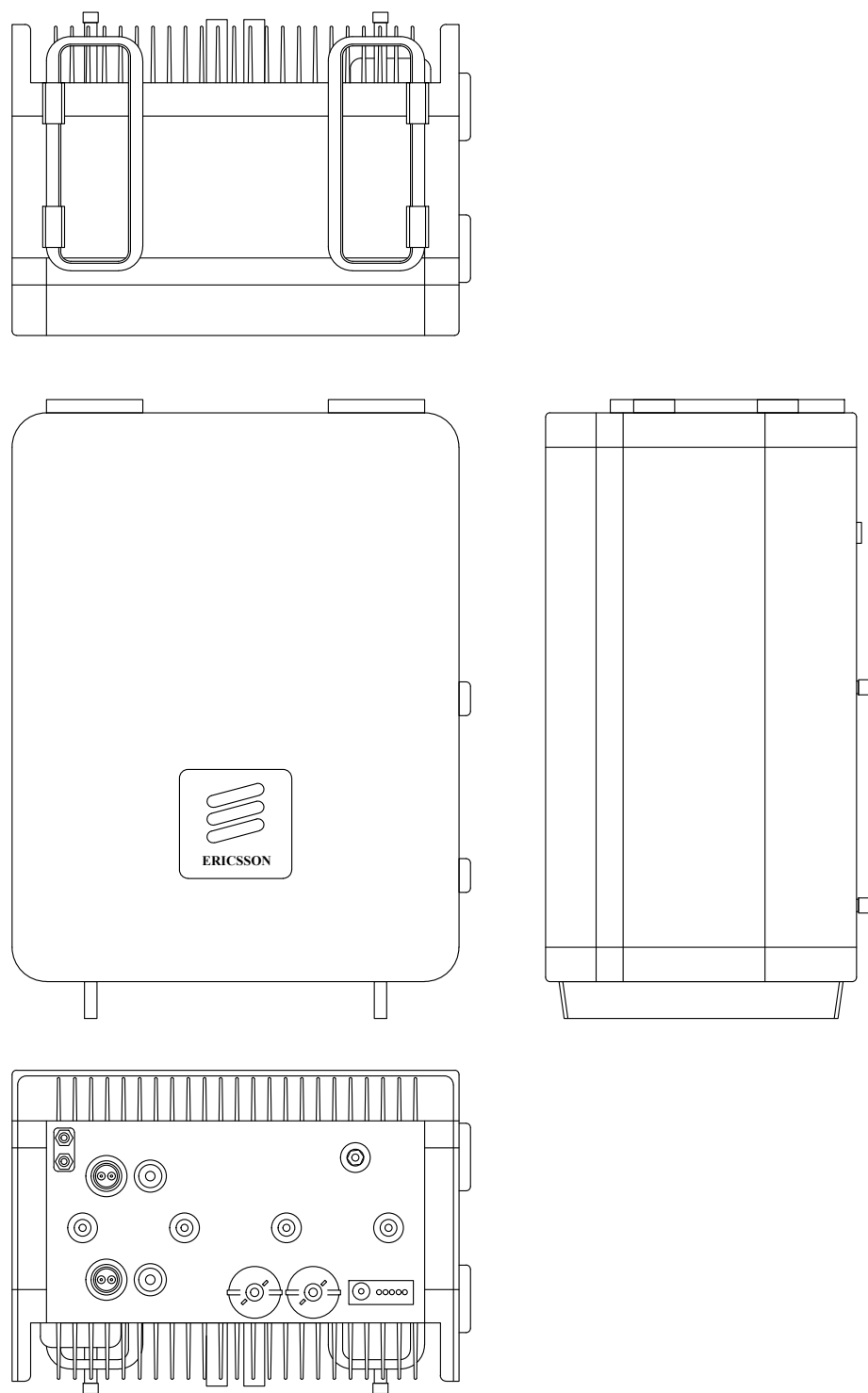
ERICSSON - AIR 6419 B41
WEIGHT (WITHOUT MOUNTING HARDWARE): 81.84 LBS
SIZE (HXWXD): 34.49X19.92X7.99 IN.

ERICSSON – AIR 6419 B41	1
NOT TO SCALE	



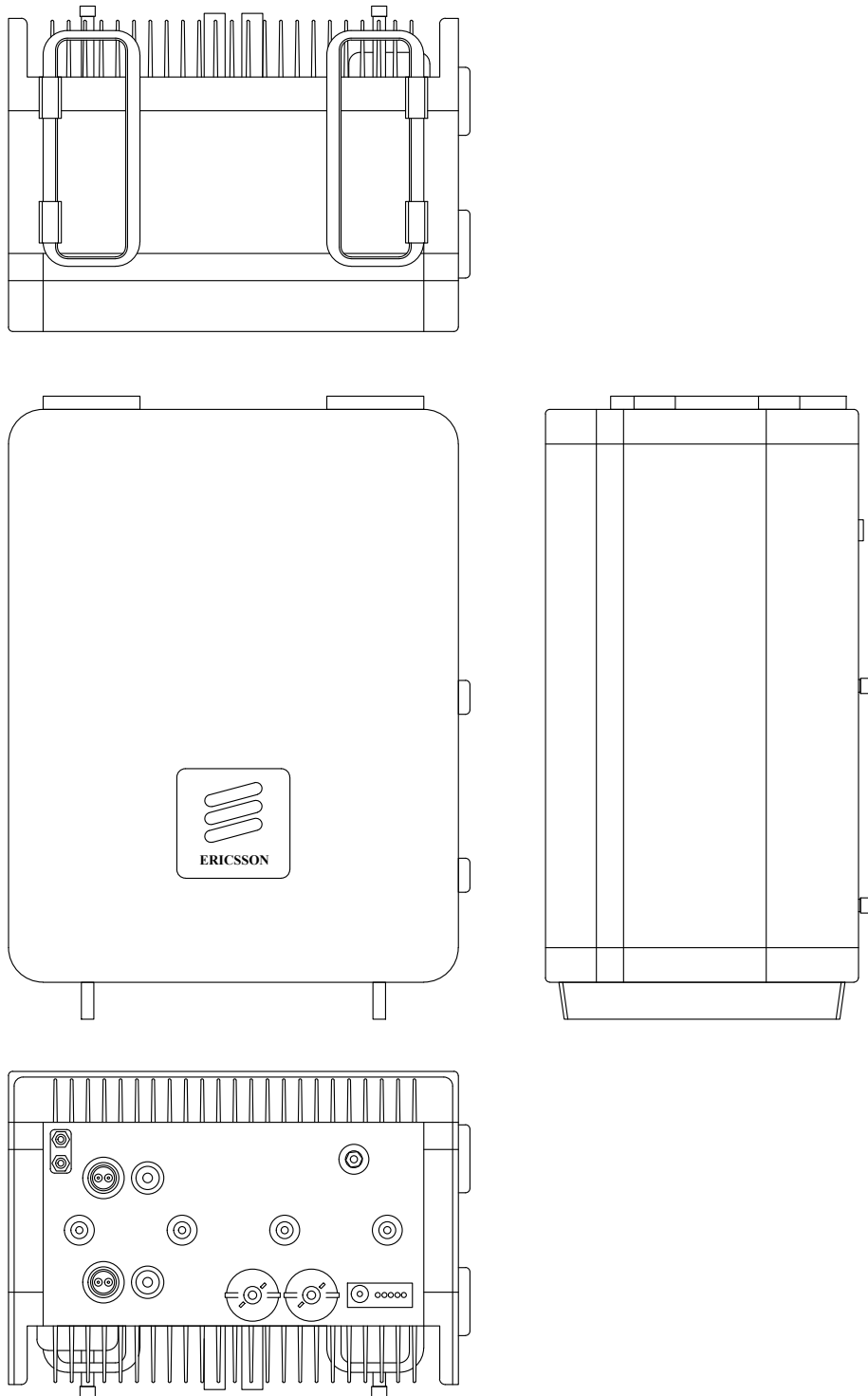
AMPHENOL - APXVAALL24M-U-J20
WEIGHT (WITHOUT MOUNTING HARDWARE): 86 LBS
SIZE (HXWXD): 95.7X19.7X8.5 IN.

AMPHENOL – APXVAALL24M-U-J20	2
NOT TO SCALE	



ERICSSON - RADIO 4480 B71+B85
WEIGHT: 95.60 LBS
SIZE (HXWXD): 21.8X15.7X7.5 IN.

ERICSSON – RADIO 4480 B71+B85	3
NOT TO SCALE	

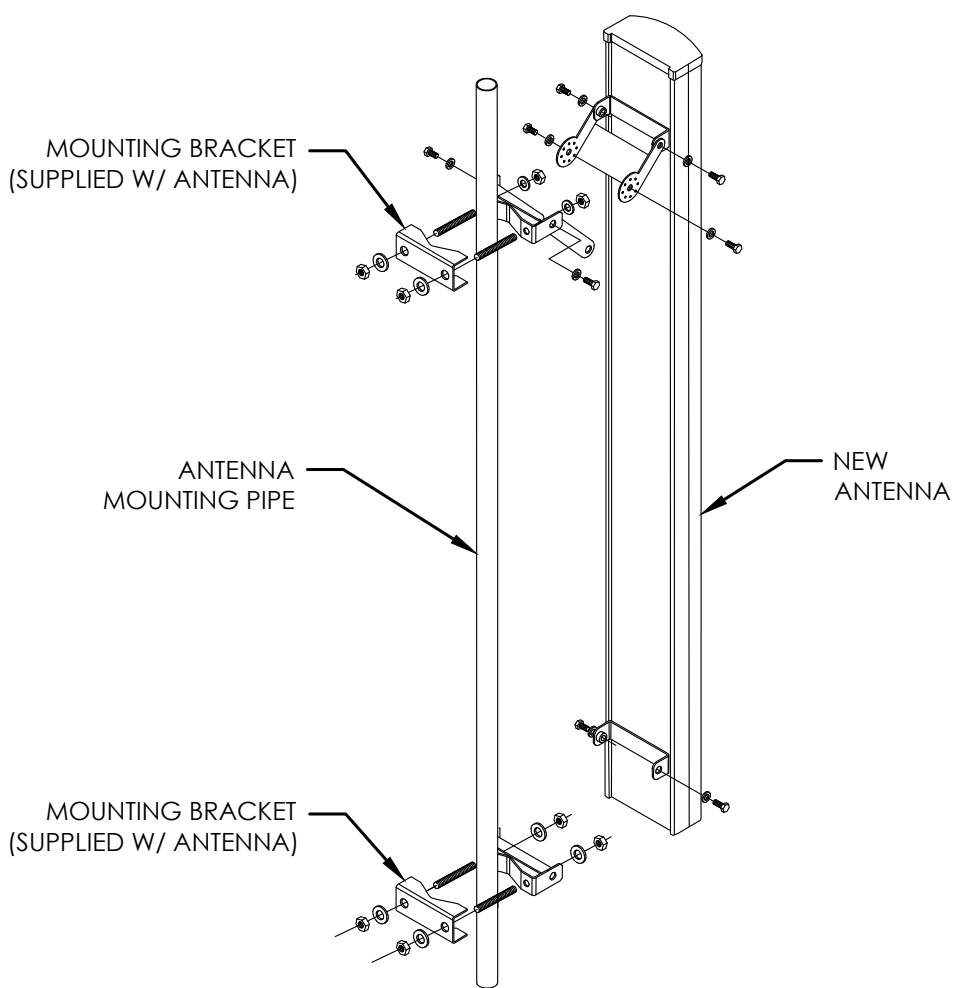
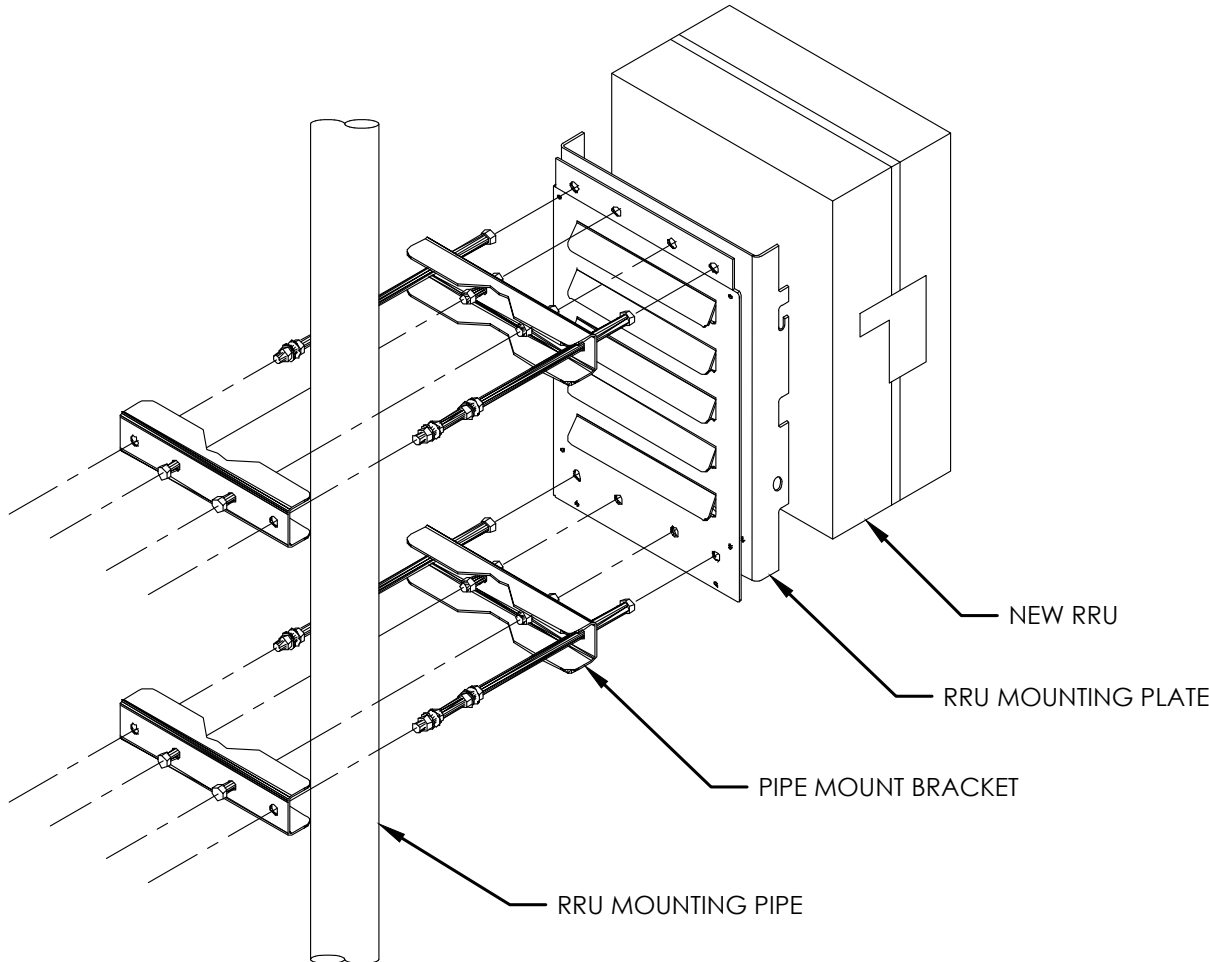


ERICSSON - RADIO 4460 B25+B66
WEIGHT: 109.0 LBS
SIZE (HXWXD): 17.0X15.1X11.9 IN.

ERICSSON – RADIO 4460 B25+B66	4
NOT TO SCALE	


INSTALLER NOTES:

- 1. COMPLY WITH MANUFACTURERS INSTRUCTIONS TO ENSURE THAT ALL RRU'S RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING.
- 2. DO NOT OPEN RRU PACKAGES IN THE RAIN.
- 3. ALL PIPES, BRACKETS, AND MISCELLANEOUS HARDWARE TO BE GALVANIZED UNLESS NOTED OTHERWISE.




ANTENNA & RRU MOUNTING DETAIL	6
NOT TO SCALE	

PLANS PREPARED FOR:




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OEM:



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KING CITY, CA 93930

PM&A PROJECT:

25TMO_08N-004

SHEET DESCRIPTION:

EQUIPMENT DETAILS

SHEET NUMBER:

A-5

Product Specifications



VHLP2-11W

0.6 m | 2 ft ValuLine® High Performance Low Profile Antenna, single-polarized, 10.125–11.700 GHz



- ValuLine Vision™ VHLP2 and VHLPX2 antennas will be available from Andrew manufacturing plants globally in the coming weeks

CHARACTERISTICS

General Specifications

Antenna Type	VHLP - ValuLine® High Performance Low Profile Antenna, single-polarized
Diameter, nominal	0.6 m 2 ft
Polarization	Single

Electrical Specifications

Beamwidth, Horizontal	3.3 °
Beamwidth, Vertical	3.3 °
Cross Polarization Discrimination (XPD)	30 dB
Electrical Compliance	Brazil Anatel Class 2 ETSI 302 217 Class 3 US FCC Part 101A @ 10.55 – 10.7 GHz US FCC Part 101B @ 10.7–11.7 GHz
Front-to-Back Ratio	60 dB
Gain, Low Band	33.8 dBi
Gain, Mid Band	34.5 dBi
Gain, Top Band	35.2 dBi
Operating Frequency Band	10.125 – 11.700 GHz
Radiation Pattern Envelope Reference (RPE)	7200 7201
Return Loss	17.7 dB
VSWR	1.30

Mechanical Specifications

Fine Azimuth Adjustment	±15°
Fine Elevation Adjustment	±15°
Mounting Pipe Diameter	48 mm–115 mm 1.9 in–4.5 in
Net Weight	11 kg 25 lb

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page 1 of 5
4/30/2011

Product Specifications



VHLP2-11W

Side Struts, Included	0
Side Struts, Optional	0
Wind Velocity Operational	180 km/h 112 mph
Wind Velocity Survival Rating	250 km/h 155 mph

Wind Forces At Wind Velocity Survival Rating

Axial Force (FA)	1272 N 286 lbf
Side Force (FS)	630 N 142 lbf
Twisting Moment (MT)	473 N•m
Weight with 1/2 in (12 mm) Radial Ice	17 kg 37 lb
Zcg with 1/2 in (12 mm) Radial Ice	162 mm 6 in
Zcg without Ice	157 mm 6 in

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4/30/2011

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CONCORD CA 94520

PLANS PREPARED BY:



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OEM:



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SHEET DESCRIPTION:

EQUIPMENT DETAILS

SHEET NUMBER:

A-6

Ceragon RFU-D & RFU-D-HP ODU Specs

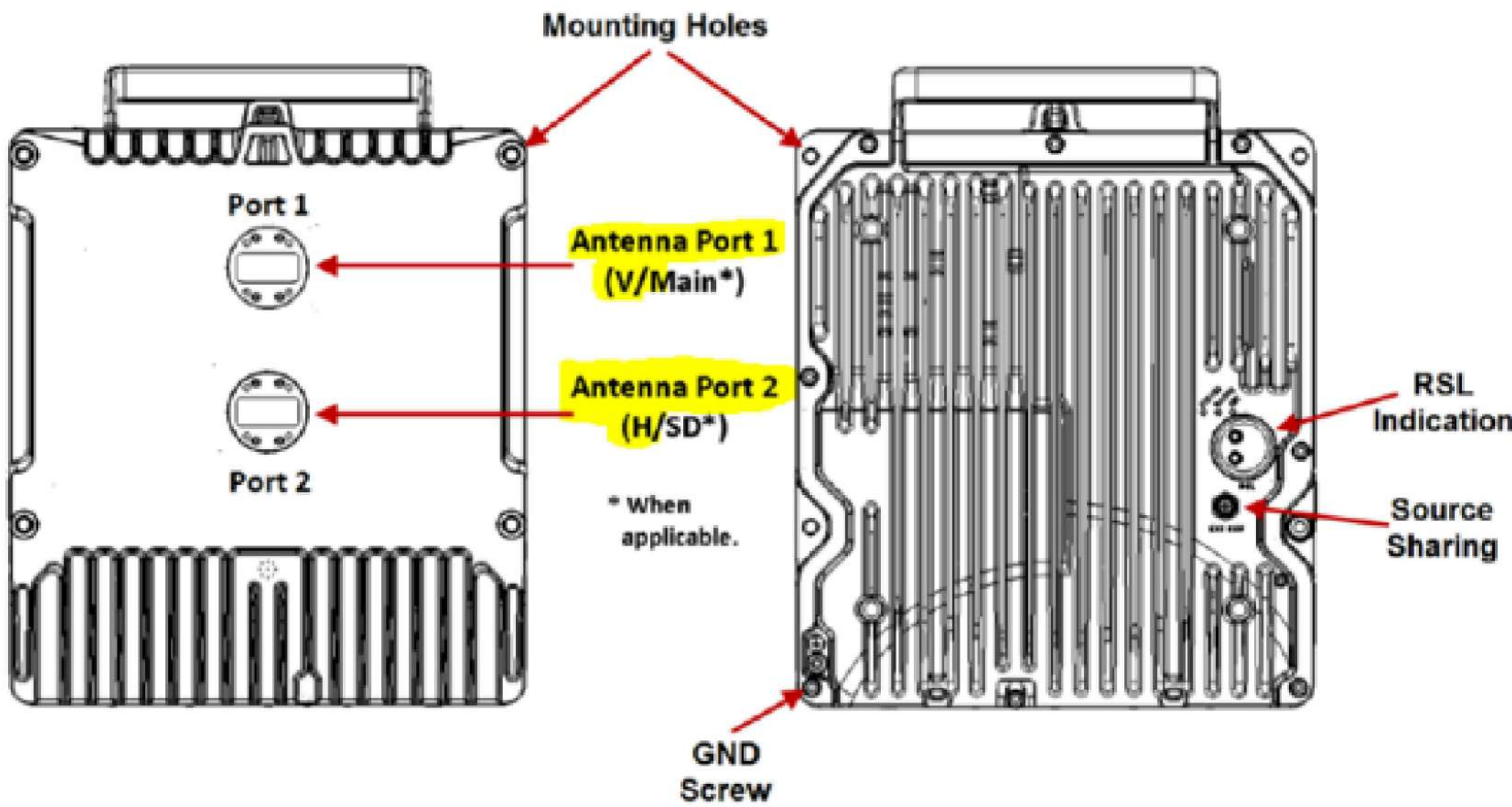


Table 178: RFU-D Mechanical Specifications (including diplexer unit)

RFU-D Dimensions	Height: 9.05 inches
	Width: 9.17 inches
	Depth: 3.85 inches
	Weight: 14.33 lbs.

Table 179: RFU-D-HP Mechanical Specifications (including diplexer or OCU unit)

RFU-D-HP Dimensions	Height: 12.56 inches
	Width: 11.26 inches
	Depth: 4.21 inches
	Weight: 26.5 lbs.

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SHEET DESCRIPTION:

EQUIPMENT DETAILS

SHEET NUMBER:

A-7

Roxtec Conduit Seal™ 1" and 2"



Roxtec Conduit Seal™ 1" and 2"

– CABLE ENTRY SEALS FOR CONDUITS AND HYBRID CABLES

Quick installation

The Roxtec Conduit Seal™ is a light-weight cable entry solution developed for the telecom industry and the increasing use of fiber. It is quick and easy to install, and it allows the use of pre-terminated cables for site equipment to cabinets as well as at the top of towers.

Certified protection

The product is made to seal the conduit in one end and the fiber bundle in the other. It provides excellent water-tightness eliminating the frequent risk

of damages to the system because of humidity or ice. The solution is also perfect for sealing various hybrid cables.

Supplied as ready-made kit

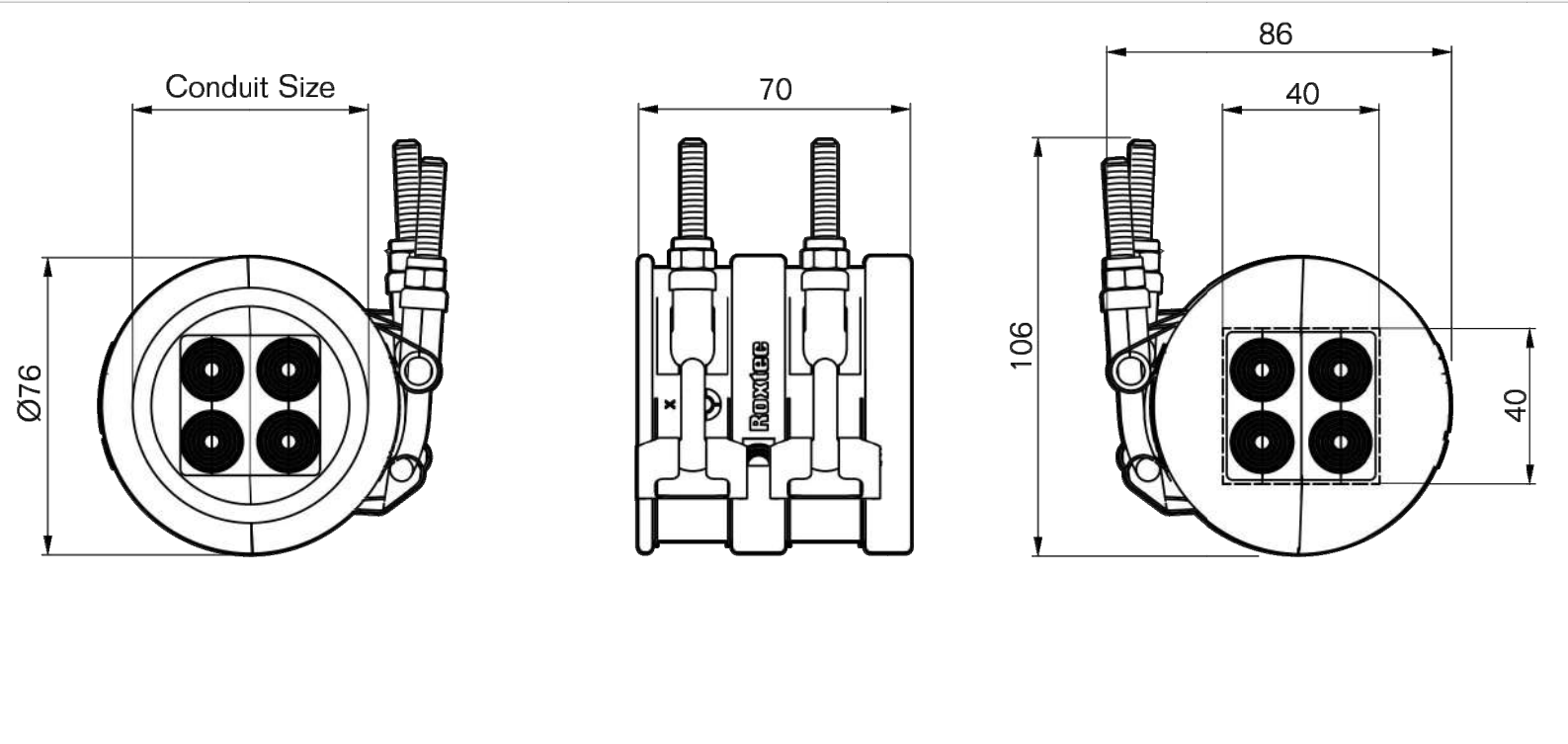
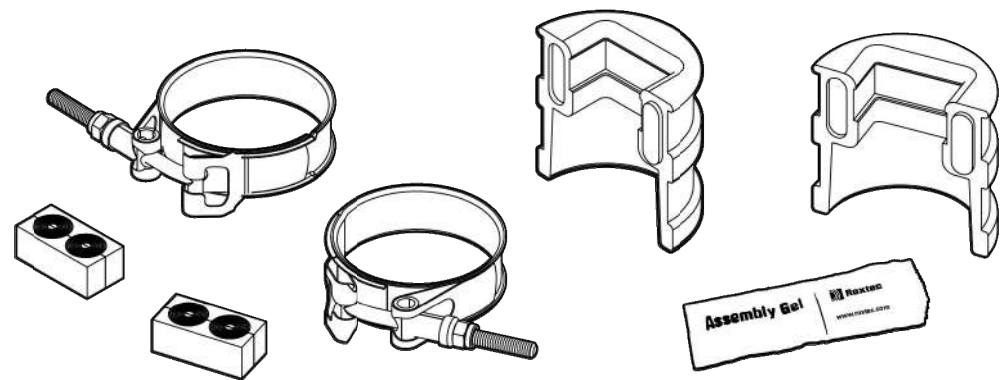
The Roxtec Conduit Seal™ is supplied as a kit, including two stainless steel clamps and Roxtec sealing modules which are adaptable to cables of different sizes. This feature simplifies everything from design and planning through to purchasing, installation and logistics.

BENEFITS

- Easy to use
- Light-weight
- Approved for IP 55
- UL/NEMA 3 approved
- Multidiameter™ by Roxtec – adapts through modules with removable layers

Each Roxtec Conduit Seal™ kit consists of:

- Roxtec Conduit Seal™ frame
- Roxtec GM modules
- Two clamps
- Assembly gel bag 10 ml



Kit	Multidiameter™ range and number of cables			Weight		Conduit Size		Art No.
	0+3.5-10.5 mm 0+0.138-0.413" (GM 13.3w40)	0+3.5-16.5 mm 0+0.138-0.650" (GM 20w40)	0+9.5-32.5 mm 0+0.374-1.280" (GM 40 10-32)	(kg)	(lb)	NPS	DN	
Conduit Seal 1"/1			1 cable	0.519	1.14	1"	25	102617
Conduit Seal 1"/4		4 cables		0.519	1.14	1"	25	102618
Conduit Seal 1"/9	9 cables			0.519	1.14	1"	25	102619
Conduit Seal 2"/1			1 cable	0.411	0.91	2"	50	102620
Conduit Seal 2"/4		4 cables		0.411	0.91	2"	50	102621
Conduit Seal 2"/9	9 cables			0.411	0.91	2"	50	102622

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SHEET DESCRIPTION:

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SHEET NUMBER:

A-8



Specification of Cable

2CX14 AWG Cable

Spec No:899
Rev No:0
Date:23/03/2016

Part No:- 1-CBL2C14AWGBKXXXM
Cable Length In mtrs

Cable Description:- 2 Core 14 AWG UV Black

Dimensional/Visual

Parameters	Unit	Specification
Conductor		
Material	Visual	Annealed tinned copper
Dia of each strand	mm	0.254 ± 0.005
Size	AWG	14
No of strands	No's	41
Insulation		
		Cores are labeled as per UL style No.1061
Material	Visual	SR PVC
Insulation thickness Min. (Nom)	mm	0.22
No of cores	No's	2
Sheath		
Material	Visual	PVC (AS per UL 1581)
Thickness (Min.)(Avg).	mm	0.76
Colour	Visual	Black
Outer Dia	mm	7±1
Temperatura Rating	Deg C	-40 to + 80

Electrical parameters

Conductor resistance @20°C	Ω/km	8.96
Temperature	°C	80
Voltage Rating	V	300
UL Style	Visual	UL2464
UL Resistance	Visual	Meets UL 758 requirement
Standard & Reference	Visual	UL: 1581, UL:1061

Cable printing	UL: 2464 Exxxxxx AWM 2Core x 14AWG I A/B ' 80°C 300 V VW-1 FT-1/FT-2 "SUPPLER NAME"- UV resistant
----------------	--

Colour Code
Red
Black

Packing bobbin size

Flange	CM	50
Traverse	CM	22
Barrel	CM	22
Gross weight (approx)	KG	25 (for 305 meters), 10 (for 100 meters)

Remarks:-

Part Nos Supplied as Bobbins
1-CBL2C14AWGBK100M :-2 Core 14AWG UV Black 100 mtrs
1-CBL2C14AWGBK305M :-2 Core 14AWG UV Black 305 mtrs

Reviewed and Approval By:-

PLANS PREPARED FOR:

T-Mobile

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CONCORD CA 94520

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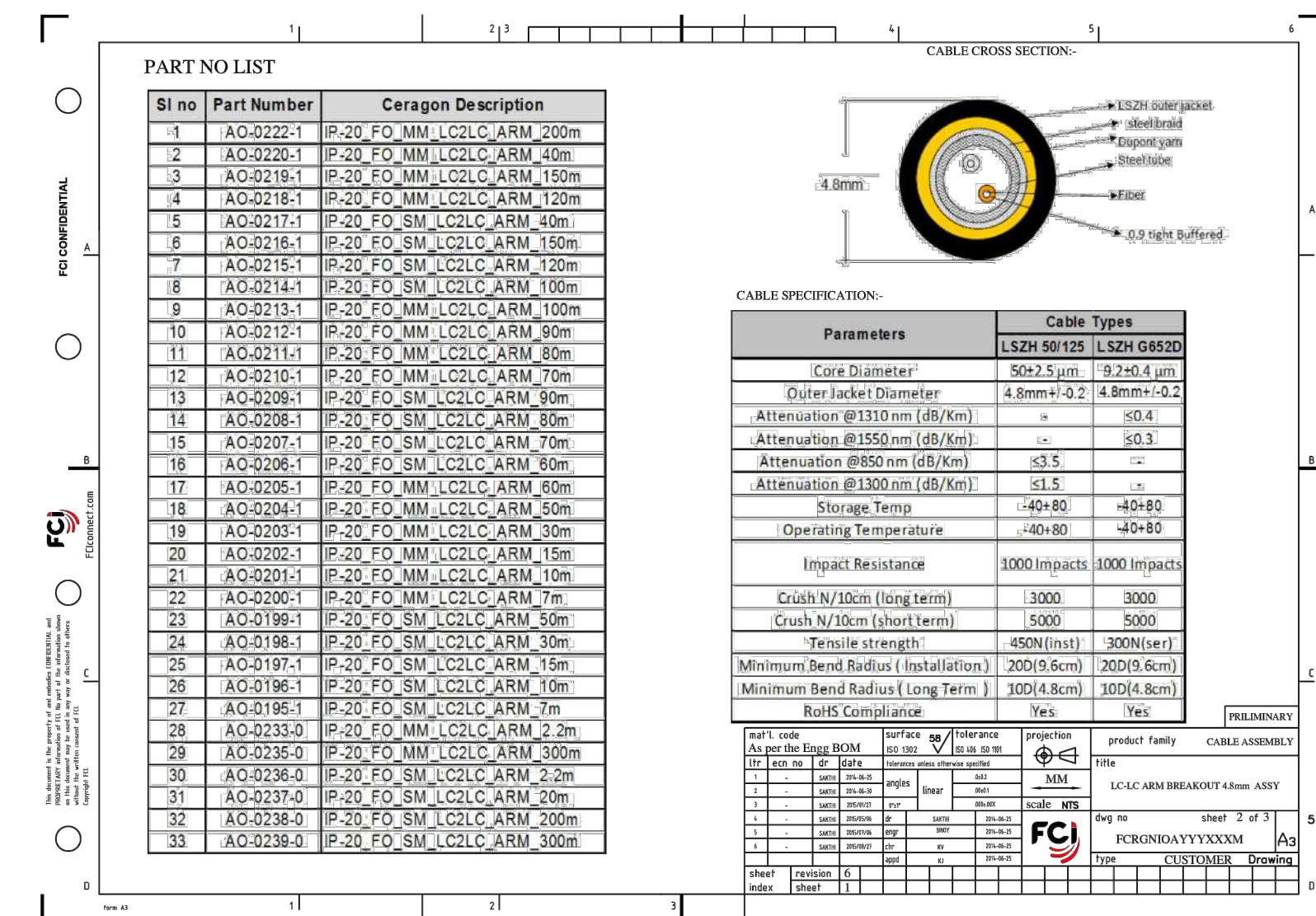
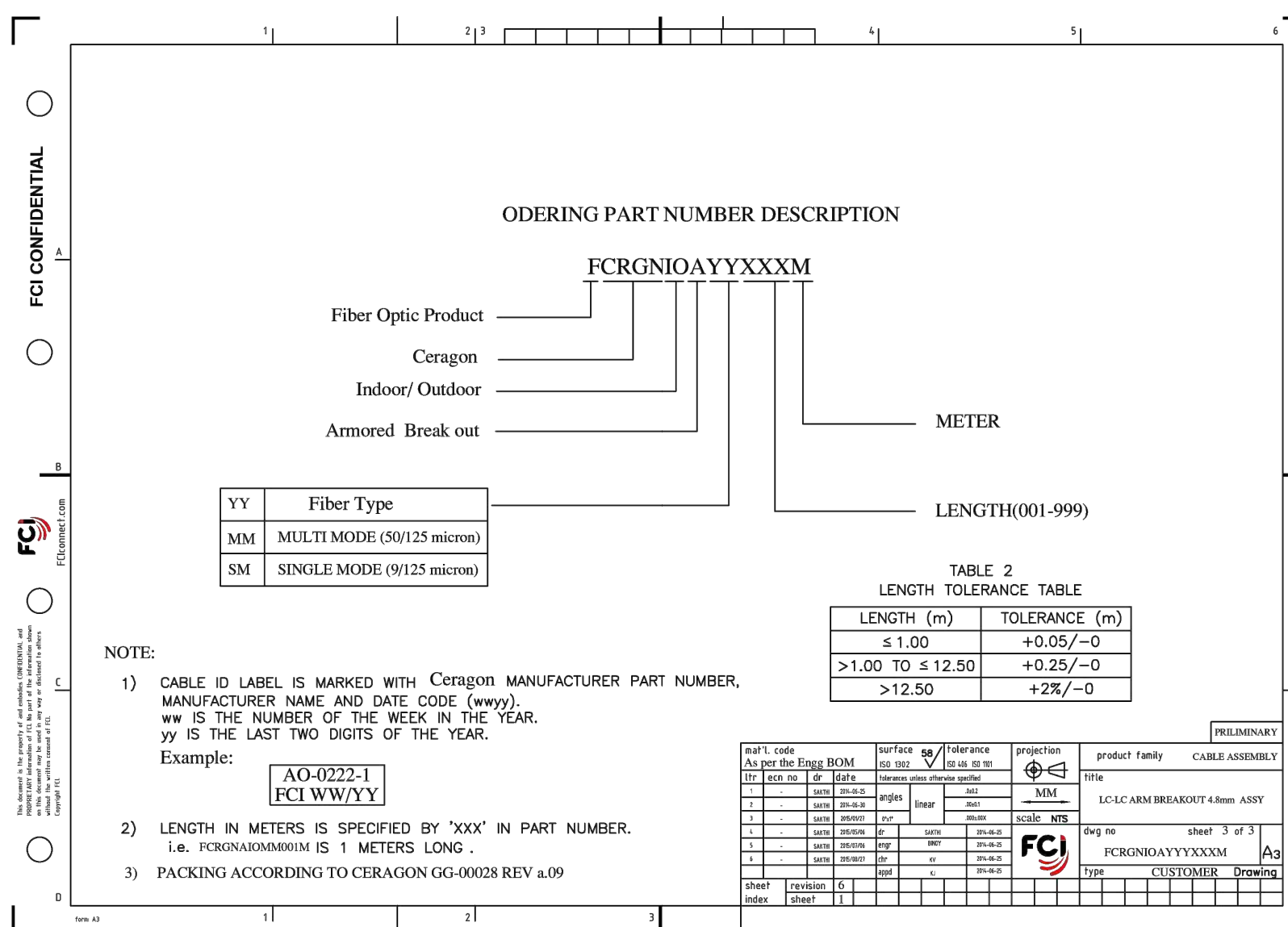
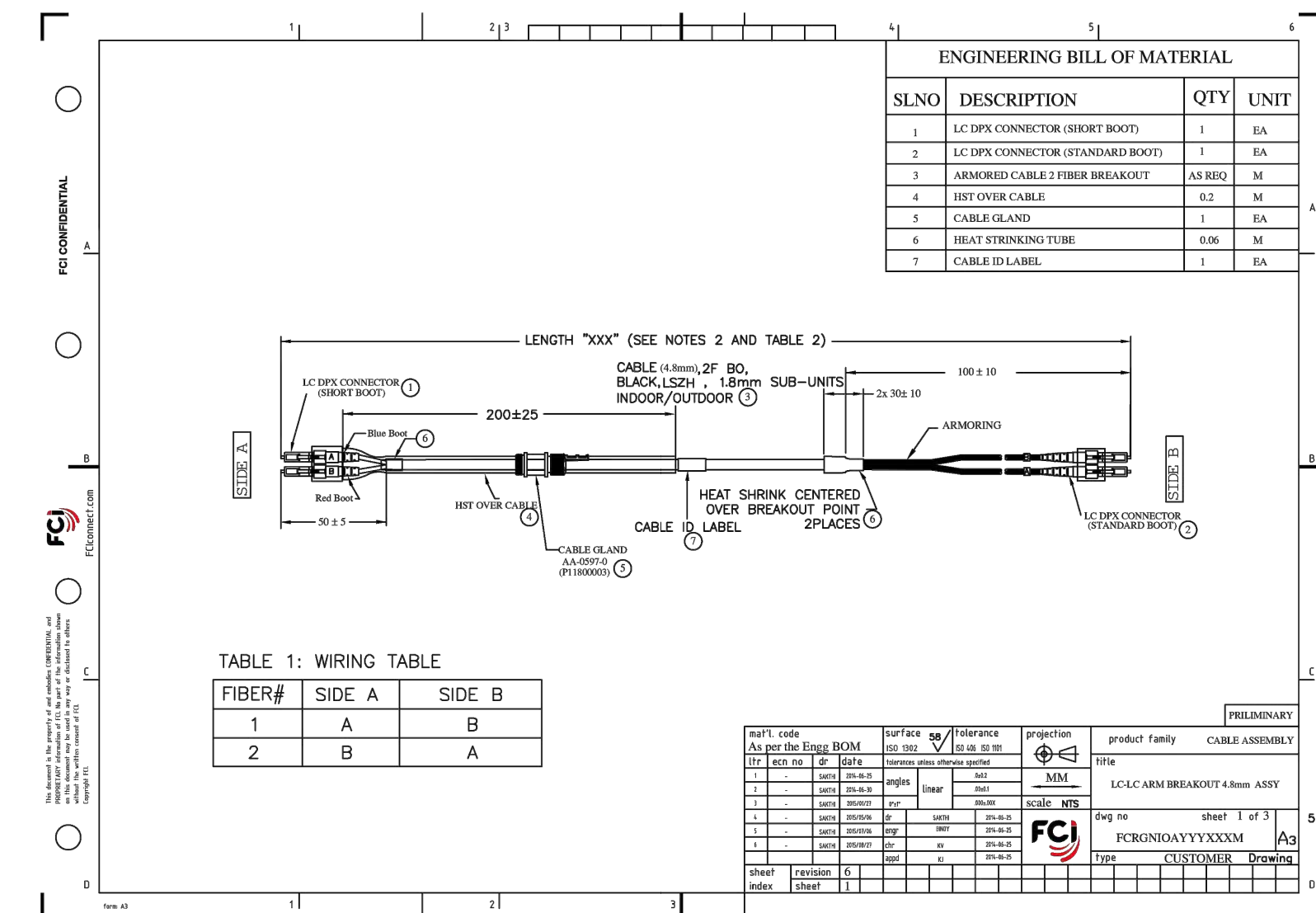
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PRELIMINARY	06/06/2025	SM	C



EQUIPMENT NOTES:
HEIGHTxWIDTHxDEPTH: 63.0" x 26.0" x 34.0"
WEIGHT (EMPTY): 320 LBS
WEIGHT (FULLY LOADED W/ BATTERIES): 1500 LBS

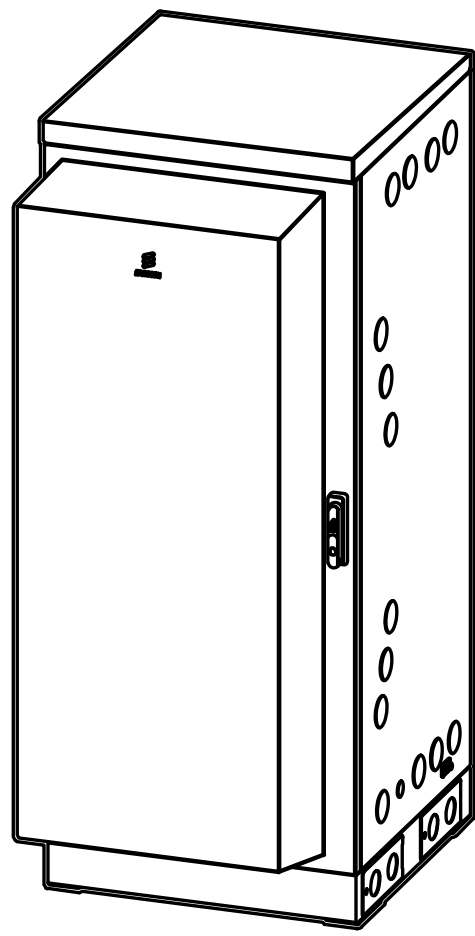
RACK ASSIGNMENT		
RACK	RUSLOT	DESCRIPTION
FULL RACK	1	RECTIFIER SHELF
	2	
	3	
	4	
	5	RECTIFIER
	6	
	7	FIBER BOX
	8	DCDU
	9	CSR/IXR-e
	10	
	11	1ST BASEBAND
	12	2ND BASEBAND
	13	3RD BASEBAND
	14	4TH BASEBAND
	15	5TH BASEBAND
	16	6TH BASEBAND
	17	7TH BASEBAND
	18	8TH BASEBAND
	19	
	20	LEGACY BASEBAND
	21	
	22	PSU 4813
	23	
	24	
	25	

2" KNOCKOUTS WITH LBs FOR ALARM CABLE AND TEMP SENSOR ROUTING. UPPER REAR CENTER WORK BEST FOR THIS INSTALL FOR EASE OF INSTALL AND REPLACEMENT IN THE EVENT OF FAILURE. CONDUIT MUST BE PROPERLY SECURED TO PREVENT DAMAGE TO CABINETS AND OR CABLING

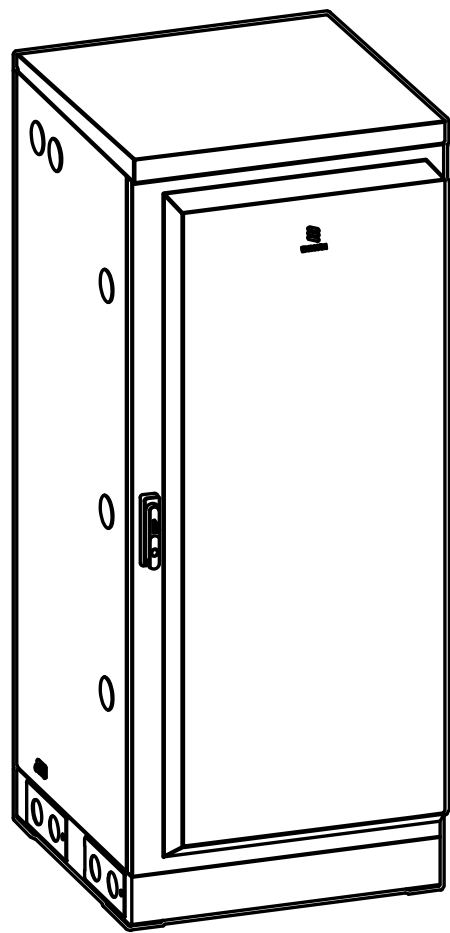
2" KNOCKOUTS WITH RIGID CONDUIT AND LB FOR 3/0 BATTERY CABLE INSTALL, AND AUX POWER CABLE. OUTSIDE KNOCKOUTS WORK BEST FOR EASE OF INSTALL

2" KNOCKOUTS FOR AAV AND FIBER ROUTING BETWEEN MACRO CABINETS ON SITE. LB WITH RIGID CONDUIT IS PREFERRED.

2" KNOCKOUTS AT LOWER REAR OF THE CABINET INTENDED FOR HYBRID/MLE CABLES

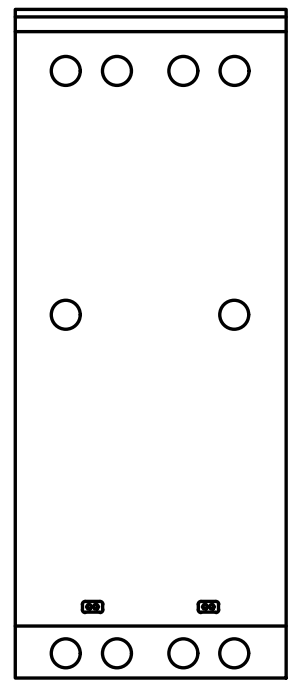


ISO VIEW

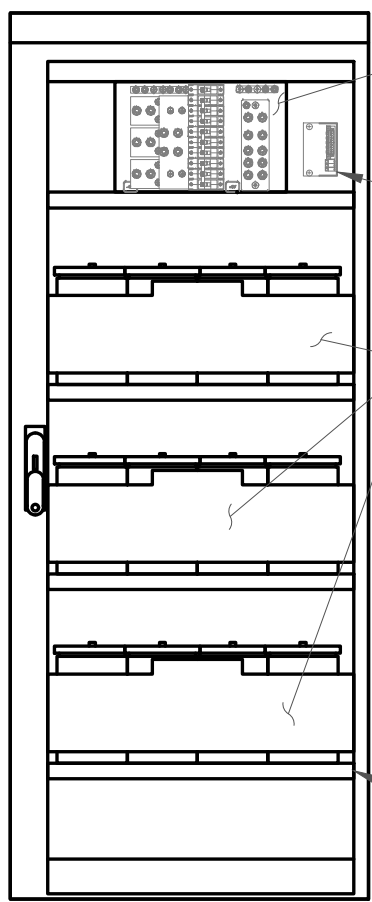


ISO VIEW

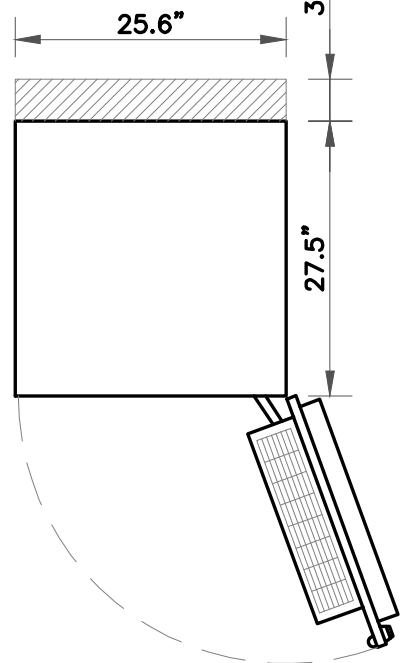
EQUIPMENT NOTES:
HEIGHTxWIDTHxDEPTH: 63.0" x 26.0" x 28.0"
(1600.0mm x 660.0mm x 711.0mm)
WEIGHT (EMPTY): 295 LBS (134 kg)
WEIGHT (FULLY LOADED W/ BATTERIES): 2000 LBS (908 kg)



REAR VIEW

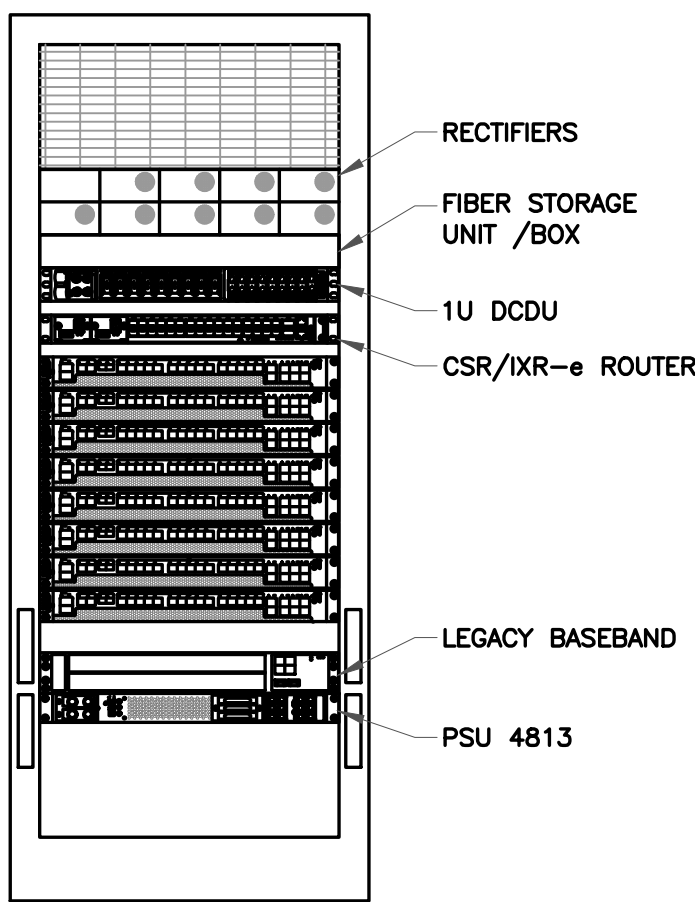


FRONT VIEW OPEN

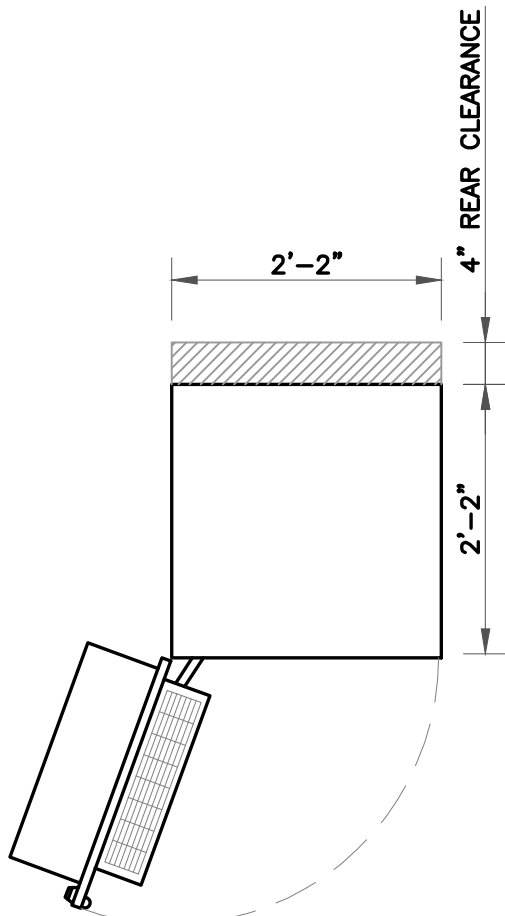
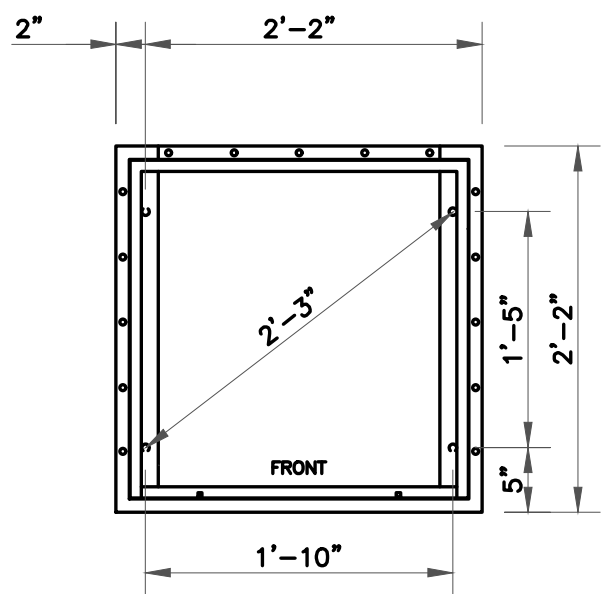


PLAN VIEW

25A AUX BREAKERS, FANS, LIGHTS, ETC.
ALARM BOX PRELABLED
(3) BATTERY SHELVES, UP TO 200AH WITH PRE-INSTALLED HEATERS
BATTERY VIBRATION MOUNT (TYP)



FRONT VIEW OPEN



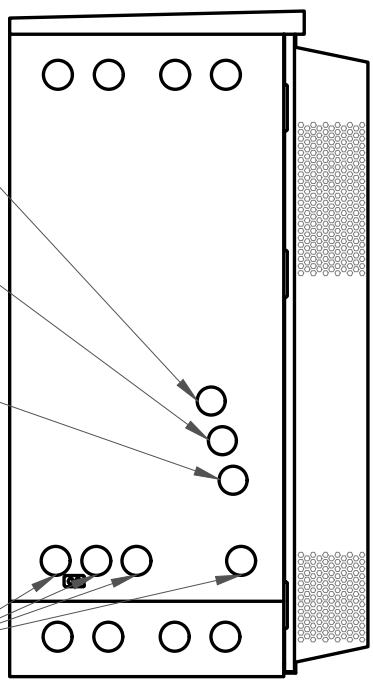
PLAN VIEW

2" KNOCKOUT, UNUSED ON THIS SITE FOR DEDICATED CIRCUIT TO SERVICE OUTLET

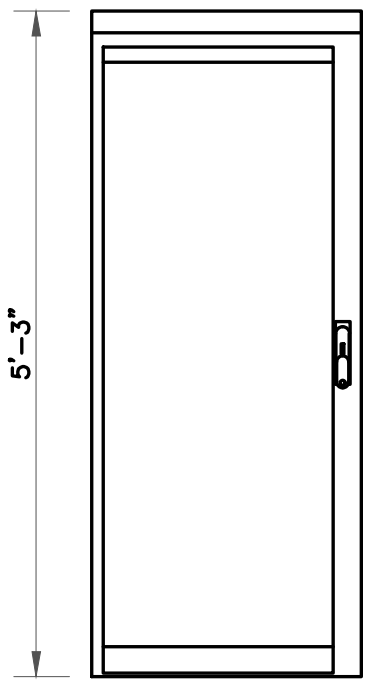
2" KNOCKOUT ON LEFT HAND SIDE OF CABINET USED AC POWER, WITH RIGID CONDUIT AND LR. PENETRATION IS DIRECTLY BELOW ACCU

2" KNOCKOUT, UNUSED ON THIS SITE FOR DEDICATED CIRCUIT TO SERVICE OUTLET

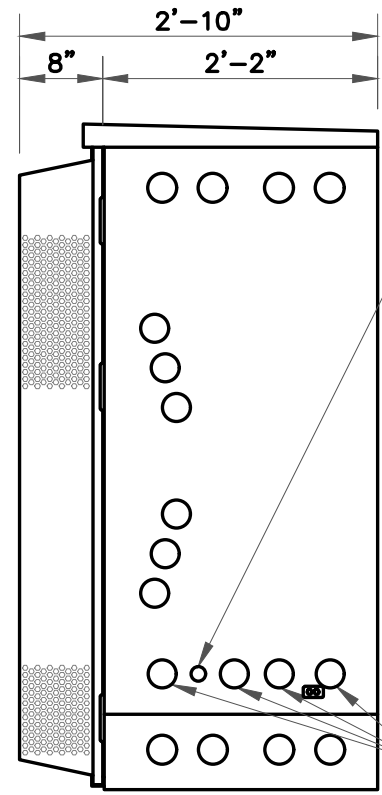
2" KNOCKOUT ON LEFT BOTTOM SIDE OF CABINET FOR INTER-BASEBAND CABINET CONNECTING. A RIGID OR FLEXIBLE CONDUIT WITH AN LR WILL BE USED WHEN RUNNING THIS CONDUIT TO THE LEGACY 6131, 6102, ODE OR MUAC CABINET.



LEFT VIEW



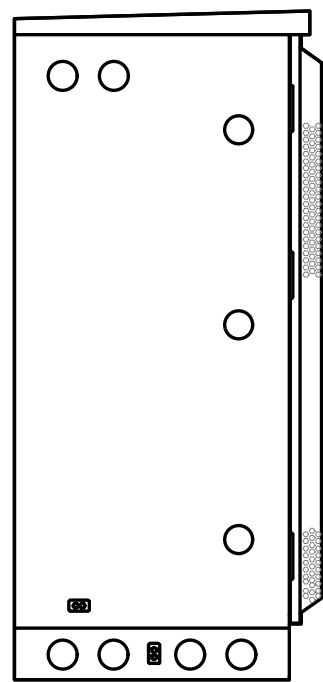
FRONT VIEW



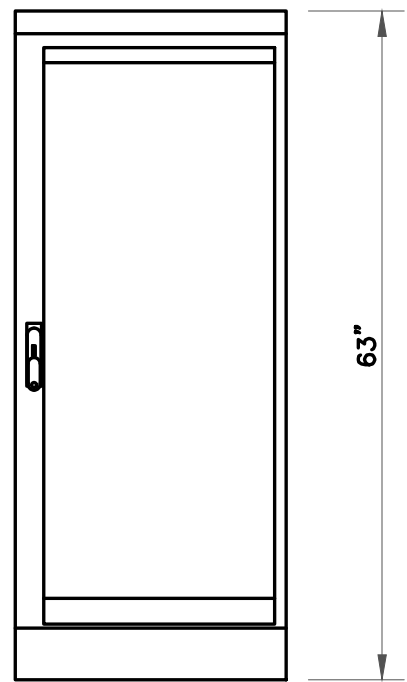
RIGHT VIEW

DEDICATED 1" FOR GNSS/GPS KNOCKOUT ON RIGHT HAND SIDE OF THE CABINET. RECOMMEND USING LL, RATHER THAN LB OR 90 DUE TO CLOSE PROXIMITY TO B160 BATTERY CABINET. 4" RIGID OR FLEX CONDUIT MAY BE USED.

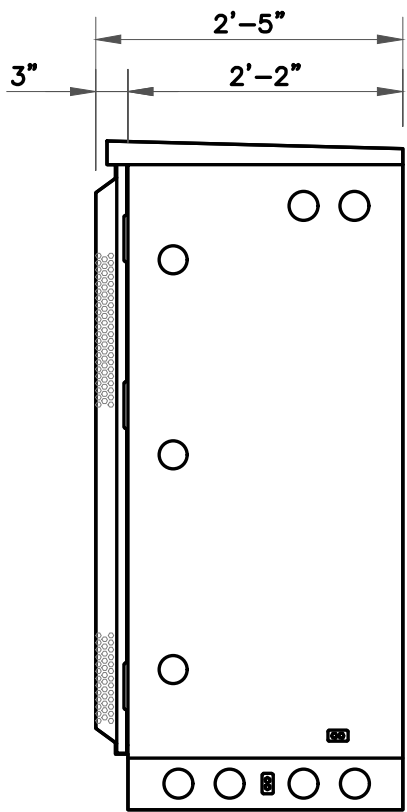
UNUSABLE 2" KNOCKOUTS DUE TO CLOSE PROXIMITY TO B160 CABINET



LEFT VIEW



FRONT VIEW



RIGHT VIEW

PLANS PREPARED FOR:

T-Mobile
1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:

PM&A
P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:

NETWORK CONNEX

MLA PARTNER:

ENGINEERING SEAL:

ISSUED FOR REVIEW

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REVISIONS:

DESCRIPTION	DATE	BY	REV
PRELIMINARY	03/07/2025	DAD	A
PRELIMINARY	05/14/2025	SM	B
PRELIMINARY	06/06/2025	SM	C

SITE NAME:

AT&T: KING CITY

SITE NUMBER:

SFL0050A

SITE ADDRESS:

51950 PINE CANYON RD
KING CITY, CA 93930

PM&A PROJECT:

25TMO_08N-004

SHEET DESCRIPTION:

CABINET DETAILS

SHEET NUMBER:

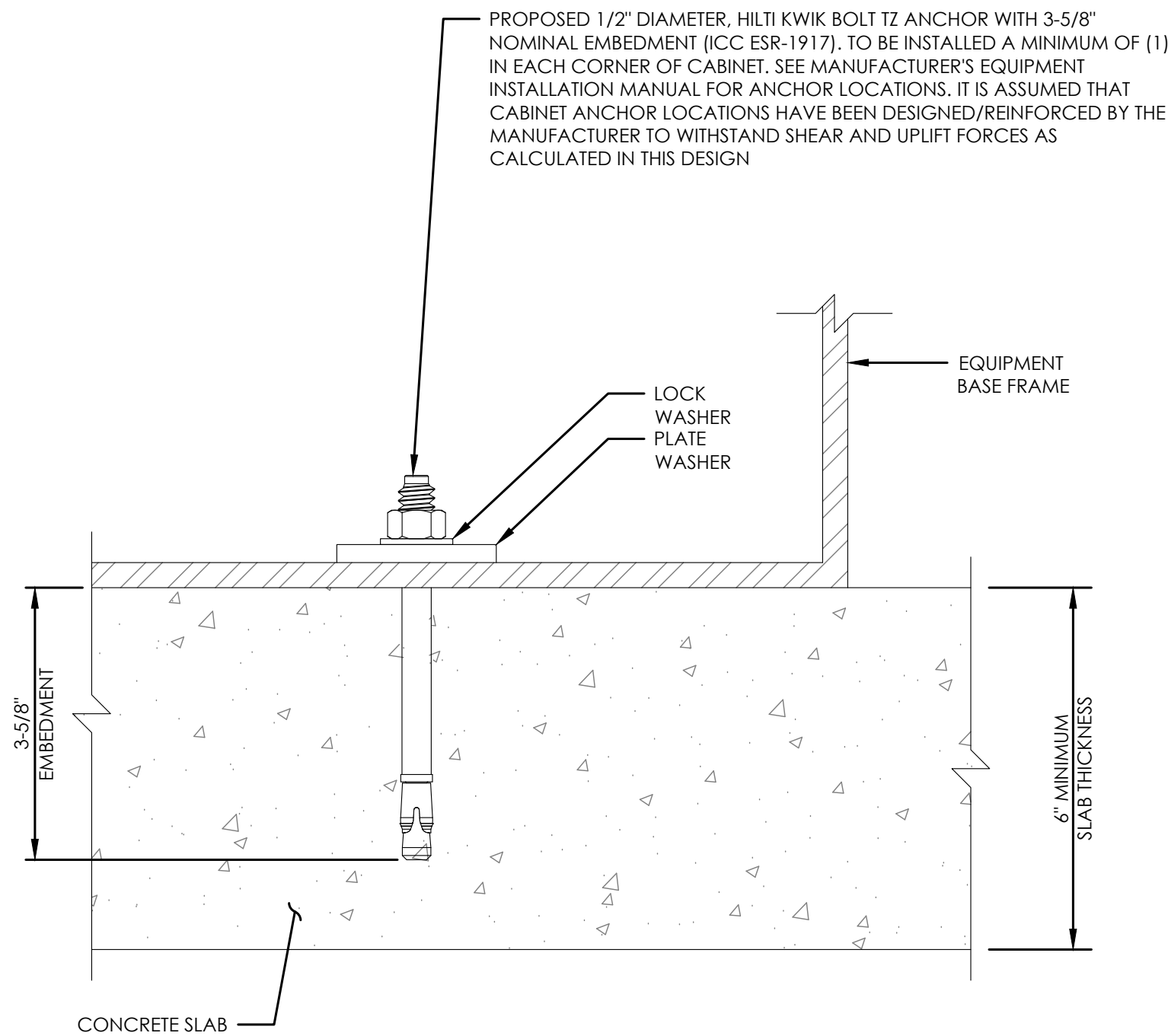
A-9

ERICSSON RBS 6160 CABINET 1

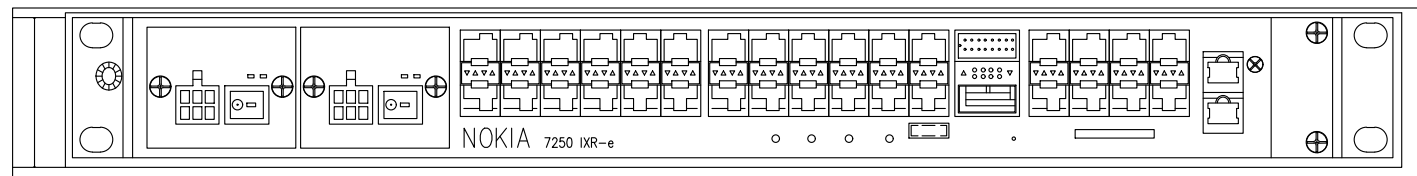
NOT TO SCALE

B160 BATTERY CABINET 2

NOT TO SCALE



NORTHSTAR NSB BATTERY SPECIFICATIONS											
BATTERY MODEL NUMBER	VOLTAGE	CAPACITY (AH)		NOMINAL DIMENSIONS						NOMINAL WEIGHT	
		8 HR CAPACITY TO 1.75 VPC @ 20/25°C (68/77°F)	10 HR CAPACITY TO 1.80 VPC @ 20/25°C (68/77°F)	INCHES			MILLIMETERS			LBS	Kg
				A	B	C	A	B	C		
NSB 210FT RED	12	200 / 204 AH	204 / 207 AH	22.0	4.96	12.9	558.8	125.98	327.66	141.6	64.22

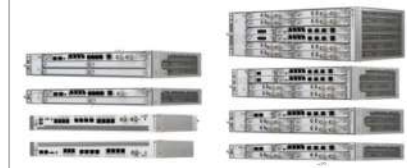


NOKIA CSR IXRE V2 ROUTER
WEIGHT: 11.2 LBS.
SIZE (HxWxD): 1.75x17.25x10.0 IN.

NOKIA CSR IXRE V2 ROUTER

1

NOT TO SCALE

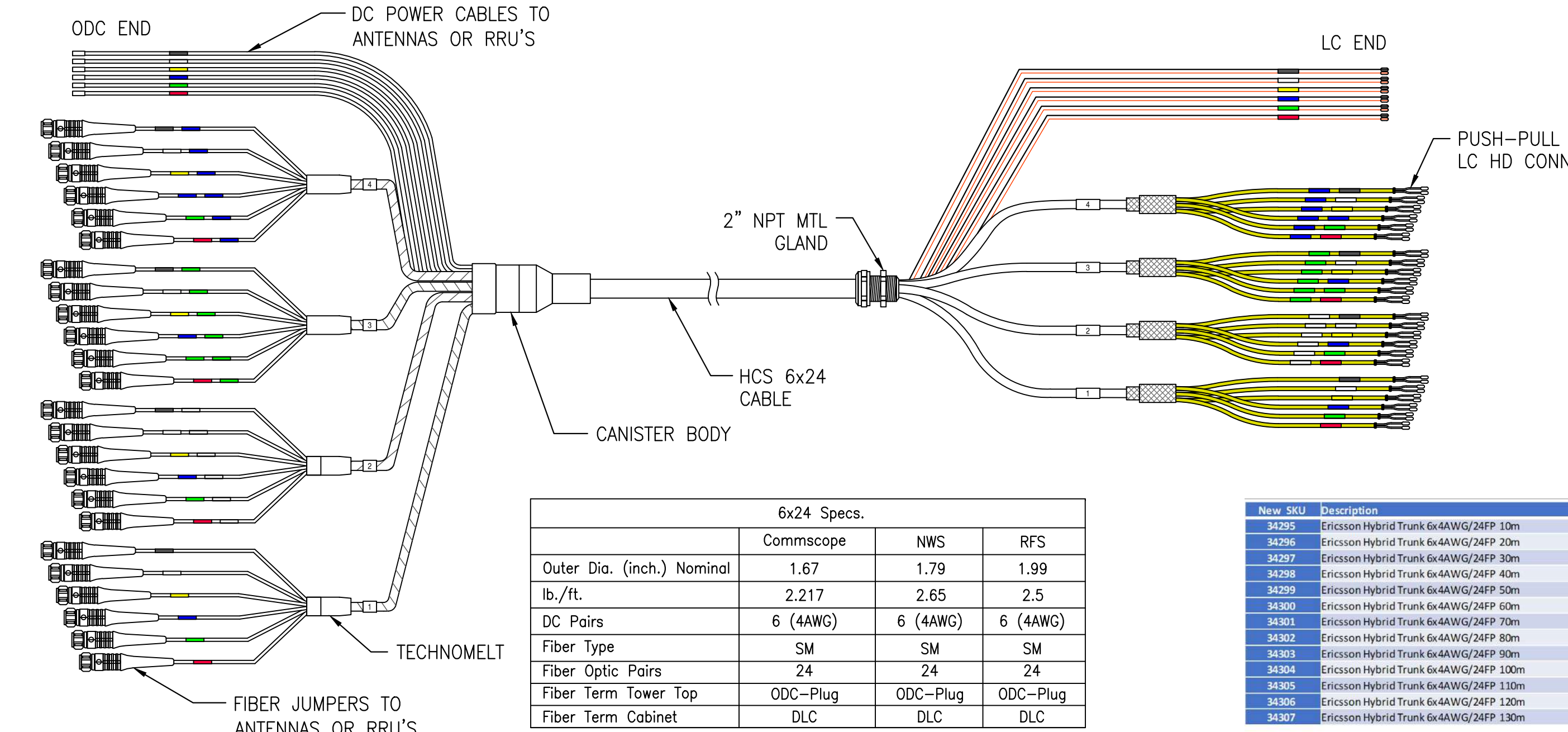


traditional frequencies (6-42 GHz), V-band 60 GHz, E-band 70/80 GHz, single and dual carrier, Coax and Ethernet interface.

Efficient network migration
MINI-LINK 6600 support any network migration from one generation of Radio technology to next on the Road to 5G. There is a topology flexibility in MINI-LINK 6600 to build hop based, tree, stars or ring based topologies to best support the network need.

For cost efficient migration MINI-LINK 6600 is hop compatible with MINI-LINK TN. Upgrading to MINI-LINK 6600, the radio units, antennas, and cabling can be reused.

Technical specification MINI-LINK 6600	
RADIO LINK 5-80 GHz*	Using MINI-LINK 6503 up to 4096QAM -1.4 Gbps 1+0 in 112 MHz (ETSI) -2.5 Gbps using 2+0 RLB in 112 MHz (ETSI) -1 Gbps 1+0 in 50 MHz (ANR) -2 Gbps using 2+0 RLB in 80 MHz (ANR) Using MINI-LINK 6503 500MHz up to 1024QAM -1.1 Gbps 1+0 in 125 MHz (ETSI) -2.2 Gbps 2+0 RLB in 125 MHz (ETSI)
RADIO LINK 60/70/80 GHz*	1 Gbps over 200 MHz using MINI-LINK 6501 10 Gbps over 2000 MHz using MINI-LINK 6502
RADIO LINK	ATPC, Radio Link Bonding, XTPC, Adaptive Coding Modulation, Multi-layer Header Compression, Multi-band Booster, AES encryption over the hop, 4x4 MIMO
PROTECTION & CONFIGURATION	Up to 2+2 Hot standby and Space Diversity Up to 4+0 Radio Link Bonding (RLB) Up to 4+0 RLB using different CS combinations ERP, RSTP, SNCP Network protection MSP 1+1 Equipment protection
DIMENSIONS (H X W X D)	6651D 44x48x172 mm, 1.7x17.5x6.8 inch 6651 44x48x203 mm, 1.7x17.5x8.0 inch 6654 44x48x240 mm, 1.7x17.5x9.4 inch 6655 49x48x203 mm, 2.0x17.5x8.0 inch 6651 44x48x240 mm, 1.7x17.5x9.4 inch 6653 49x48x203 mm, 2.0x17.5x8.0 inch 6654 49x48x203 mm, 2.0x17.5x9.4 inch 6652 133x48x240 mm, 5.2x17.5x9.4 inch
POWER SUPPLY	-48 V DC, Power redundancy
ENERGY EFFICIENCY	Traffic Aware Power Save
POWER CONSUMPTION (EXCLUDING RADIO)	6651D: 30W 1+0 configuration 6651 49W 1+0 configuration 6654 49W 1+0 configuration 6655 57W 1+0 configuration 6651 57W 1+0 configuration 6653 52W 1+0 configuration 6654 79W 1+0 configuration 6652 84W 1+0 configuration
OPERATIONAL TEMPERATURE	-25°C to +55°C / -13°F to +140°F -25°C to +55°C / -13°F to +131°F (6651D)
TRAFFIC INTERFACES	E1, CES SA-Tp, 10/100/1000 BASE-T IEEE802.3, Optical 1000BASE-SX/LX/ZX/BX, GE DWDM 10G BASE-LR/ER/ZR, 10GE DWDM
SYNCHRONIZATION	SynE E, 1588v2 (Telecom profile G.8275.1), NTP transparent, E1 and 2MHz, Frequency (G.8265.1)
SWITCHING/ROUTING	IEEE 802.1Q-2011 Customer & Provider Bridge, Bridge Virtual Interface, LAG/LACP, ERP, H-QoS, BMM, MAC Swap, Subspace, VRF, OSPF, BGP, IS-IS, RSVP-TE FRR, RSVP-TE Path Protection, BGP S-LV, VPN, LDP, BFD, BGP FRR, MP-BGP, IPv4 ACL
OAM	Link OAM, Service OAM F4/FM, Y-1731, TWAMP reflector Light
DCN	DCN over VLAN, Routed DCN (OSPF) DCN over VLAN for L1 connection
NETWORK MANAGEMENT	Supported by ENM, IP transport NMS, ServiceON, Node GUI and CLI SNMP v3, SSH, RADIUS, TACACS+
STANDARDS & RECOMMENDATIONS	3GPP, ETSI, ITU, IEC, IEEE, IETF * For antennas and frequency bands, please see MINI-LINK outdoor datasheets



HCS 6x24 4AWG CABLE SPECS

HCS CABLE SPECS

2

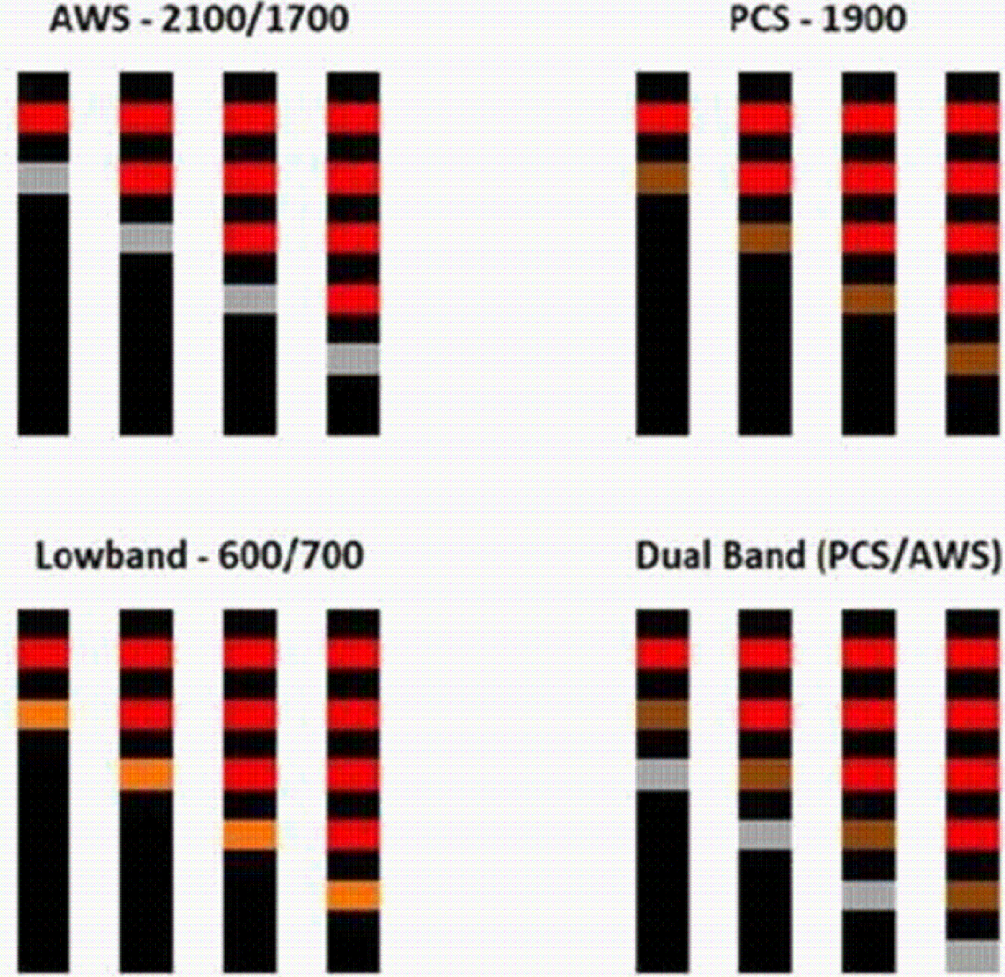
NOT TO SCALE

New RF Jumper Color Codes

Frequency Bands & Sectors

Frequency Band Colors	
Lowband - 600/700	Orange
PCS - 1900	Brown
AWS - 2100/1700	Gray
Sector Colors	
Alpha	Red
Beta	Blue
Gamma	Green
Delta	Yellow
Epsilon	White
Zeta	Purple

Alpha Sector Example



ERICSSON RP 6651

3

NOT TO SCALE

RF JUMPER COLOR CODING

4

NOT TO SCALE

PLANS PREPARED FOR:

T-Mobile
1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:

PM&A
P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:

**NETWORK
CONNEX**

MLA PARTNER:

ENGINEERING SEAL:

**ISSUED
FOR
REVIEW**

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SITE NAME:

AT&T: KING CITY

SITE NUMBER:

SFL0050A

SITE ADDRESS:

51950 PINE CANYON RD
KING CITY, CA 93930

PM&A PROJECT:

25TMO_08N-004

SHEET DESCRIPTION:

EQUIPMENT DETAILS

SHEET NUMBER:

A-11



WALL-MOUNT ENCLOSURES WALL-MOUNT TYPE 12 ENCLOSURES

CONTINUOUS HINGE WITH CLAMPS, TYPE 12



INDUSTRY STANDARDS
UL 508A Listed, Type 12, 13; File No. E61997
cUL Listed per CSA C22.2 No. 94; Type 12, 13; File No. E61997
NEMA/EMAC Type 12 and 13
CSA, File No. 42186; Type 12
IEC 60529, IP65

APPLICATION
For applications requiring a bright white interior to increase control visibility, this enclosure includes a padlocking hasp and staple for security and screw-down clamps for secure closure.

SPECIFICATIONS

- 16 or 14 gauge steel
- Seams continuously welded and ground smooth
- External welded-on mounting brackets for easy installation
- Formed external return flanges around all sides of enclosure opening
- Screw-down door clamps
- Removable heavy-gauge continuous hinge pin
- Hasp and staple for padlocking
- Data pocket is high-impact thermoplastic
- Collar studs for mounting optional panels
- Bonding provision on door
- Removable door with continuous hinge
- Seamless foam-in-place gasket

FINISH

Body: White inside with ANSI 61 gray finish outside.
Door: ANSI 61 gray inside and outside.

ACCESSORIES

Panels for 3R, 4X, 12, and 13 Enclosures
Drip Shield Kit for Type 12 Enclosures
Electric Heater
Fast-Operating Clamp Assembly
Compact Cooling Fans
Steel and Stainless Steel Window Kits
HF-Side-Mount Filter Fans

MODIFICATION AND CUSTOMIZATION

Hoffman excels at modifying and customizing products to your specifications. Contact your local Hoffman sales office or distributor for complete information.

BULLETIN: A12

Standard Product

Catalog Number	AxBxC in./mm	Body Gauge	Panel	Conductive Panel	Panel Size D x E in./mm	F in./mm	Number of Clamps	Data Pocket
A12240BLP	12.00 x 24.00 x 6.00	16	A12P24	A12P24G	9.00 x 21.00	1.25	2	Small
A16120BLP	16.00 x 12.00 x 6.00	16	A16P12	A16P12G	13.00 x 9.00	1.25	2	Small
A16160BLP	16.00 x 16.00 x 6.00	16	A16P16	A16P16G	13.00 x 13.00	1.25	2	Small
A16200BLP	16.00 x 20.00 x 6.00	16	A16P16	A16P16G	13.00 x 17.00	1.25	2	Small
A20120BLP	20.00 x 12.00 x 6.00	16	A20P12	A20P12G	17.00 x 9.00	1.25	2	Small
A20160BLP	20.00 x 16.00 x 6.00	16	A20P16	A20P16G	17.00 x 13.00	1.25	2	Small
A20200BLP	20.00 x 20.00 x 6.00	16	A20P20	A20P20G	17.00 x 17.00	1.25	2	Small
A2240BLP	24.00 x 12.00 x 6.00	16	A12P24	A12P24G	9.00 x 21.00	1.25	2	Small
A24240BLP	24.00 x 24.00 x 6.00	16	A24P24	A24P24G	21.00 x 21.00	1.25	2	Small
A2440BLP	24.00 x 16.00 x 6.00	16	A24P16	A24P16G	17.00 x 13.00	1.25	2	Small
A30160BLP	30.00 x 16.00 x 6.00	14	A30P16	A30P16G	27.00 x 13.00	3.00	2	Small
A30200BLP	30.00 x 20.00 x 6.00	14	A30P20	A30P20G	27.00 x 17.00	3.00	2	Small
A30240BLP	30.00 x 24.00 x 6.00	14	A30P24	A30P24G	27.00 x 21.00	3.00	2	Small
A36200BLP	36.00 x 20.00 x 6.00	14	A36P20	A36P20G	33.00 x 17.00	3.00	2	Large
A36240BLP	36.00 x 24.00 x 6.00	14	A36P24	A36P24G	33.00 x 21.00	3.00	2	Large
A36300BLP	36.00 x 30.00 x 6.00	14	A36P30	A36P30G	33.00 x 27.00	3.00	2	Large
A42240BLP	42.00 x 24.00 x 6.00	14	A42P24	A42P24G	39.00 x 21.00	3.00	2	Large
A42300BLP	42.00 x 30.00 x 6.00	14	A42P30	A42P30G	39.00 x 27.00	3.00	2	Large
A42360BLP	42.00 x 36.00 x 6.00	14	A42P36	A42P36G	39.00 x 33.00	3.00	2	Large
A48240BLP	48.00 x 24.00 x 6.00	14	A48P24	A48P24G	45.00 x 21.00	3.00	3	Large
A48300BLP	48.00 x 30.00 x 6.00	14	A48P30	A48P30G	45.00 x 27.00	3.00	3	Large
A48360BLP	48.00 x 36.00 x 6.00	14	A48P36	A48P36G	45.00 x 33.00	3.00	3	Large
A60240BLP	60.00 x 24.00 x 6.00	14	A60P24	A60P24G	57.00 x 21.00	3.00	3	Large
A60300BLP	60.00 x 30.00 x 6.00	14	A60P30	A60P30G	57.00 x 27.00	3.00	3	Large
A60360BLP	60.00 x 36.00 x 6.00	14	A60P36	A60P36G	57.00 x 33.00	3.00	3	Large
A72360BLP	72.00 x 36.00 x 6.00	14	A72P36	A72P36G	69.00 x 33.00	3.00	3	Large

WALL-MOUNT ENCLOSURES WALL-MOUNT TYPE 12 ENCLOSURES



Catalog Number	AxBxC in./mm	Body Gauge	Panel	Conductive Panel	Panel Size D x E in./mm	F in./mm	Number of Clamps	Data Pocket
A12240BLP	12.00 x 24.00 x 6.00	16	A12P24	A12P24G	9.00 x 21.00	1.25	2	Small
A16120BLP	16.00 x 12.00 x 6.00	16	A16P12	A16P12G	13.00 x 9.00	1.25	2	Small
A16160BLP	16.00 x 16.00 x 6.00	16	A16P16	A16P16G	13.00 x 13.00	1.25	2	Small
A16200BLP	16.00 x 20.00 x 6.00	16	A16P16	A16P16G	13.00 x 17.00	1.25	2	Small
A20120BLP	20.00 x 12.00 x 6.00	16	A20P12	A20P12G	17.00 x 9.00	1.25	2	Small
A20160BLP	20.00 x 16.00 x 6.00	16	A20P16	A20P16G	17.00 x 13.00	1.25	2	Small
A20200BLP	20.00 x 20.00 x 6.00	16	A20P20	A20P20G	17.00 x 17.00	1.25	2	Small
A2240BLP	24.00 x 12.00 x 6.00	16	A12P24	A12P24G	9.00 x 21.00	1.25	2	Small
A24240BLP	24.00 x 24.00 x 6.00	16	A24P24	A24P24G	21.00 x 21.00	1.25	2	Small
A2440BLP	24.00 x 16.00 x 6.00	16	A24P16	A24P16G	17.00 x 13.00	1.25	2	Small
A30160BLP	30.00 x 16.00 x 6.00	14	A30P16	A30P16G	27.00 x 13.00	3.00	2	Small
A30200BLP	30.00 x 20.00 x 6.00	14	A30P20	A30P20G	27.00 x 17.00	3.00	2	Small
A30240BLP	30.00 x 24.00 x 6.00	14	A30P24	A30P24G	27.00 x 21.00	3.00	2	Small
A36200BLP	36.00 x 20.00 x 6.00	14	A36P20	A36P20G	33.00 x 17.00	3.00	2	Large
A36240BLP	36.00 x 24.00 x 6.00	14	A36P24	A36P24G	33.00 x 21.00	3.00	2	Large
A36300BLP	36.00 x 30.00 x 6.00	14	A36P30	A36P30G	33.00 x 27.00	3.00	2	Large
A42240BLP	42.00 x 24.00 x 6.00	14	A42P24	A42P24G	39.00 x 21.00	3.00	2	Large
A42300BLP	42.00 x 30.00 x 6.00	14	A42P30	A42P30G	39.00 x 27.00	3.00	2	Large
A42360BLP	42.00 x 36.00 x 6.00	14	A42P36	A42P36G	39.00 x 33.00	3.00	2	Large
A48240BLP	48.00 x 24.00 x 6.00	14	A48P24	A48P24G	45.00 x 21.00	3.00	3	Large
A48300BLP	48.00 x 30.00 x 6.00	14	A48P30	A48P30G	45.00 x 27.00	3.00	3	Large
A48360BLP	48.00 x 36.00 x 6.00	14	A48P36	A48P36G	45.00 x 33.00	3.00	3	Large
A60240BLP	60.00 x 24.00 x 6.00	14	A60P24	A60P24G	57.00 x 21.00	3.00	3	Large
A60300BLP	60.00 x 30.00 x 6.00	14	A60P30	A60P30G	57.00 x 27.00	3.00	3	Large
A60360BLP	60.00 x 36.00 x 6.00	14	A60P36	A60P36G	57.00 x 33.00	3.00	3	Large
A72360BLP	72.00 x 36.00 x 6.00	14	A72P36	A72P36G	69.00 x 33.00	3.00	3	Large



WALL-MOUNT ENCLOSURES WALL-MOUNT TYPE 12 ENCLOSURES

Catalog Number	AxBxC in./mm	Body Gauge	Panel	Conductive Panel	Panel Size D x E in./mm	F in./mm	Number of Clamps	Data Pocket
A48301LP	48.00 x 30.00 x 10.00	14	A48P30	A48P30G	45.00 x 27.00	3.00	3	Small
A48361LP	48.00 x 36.00 x 10.00	14	A48P36	A48P36G	45.00 x 33.00	3.00	3	Large
A60361LP	60.00 x 36.00 x 10.00	14	A60P36	A60P36G	57.00 x 33.00	3.00	3	Large
A20161ZLP	20.00 x 16.00 x 12.00	14	A20P16	A20P16G	17.00 x 13.00	3.00	2	Small
A24241ZLP	24.00 x 24.00 x 12.00	14	A24P24	A24P24G	21.00 x 21.00	3.00	2	Small
A30241ZLP	30.00 x 24.00 x 12.00	14	A30P24	A30P24G	27.00 x 21.00	3.00	2	Large
A30301ZLP	30.00 x 30.00 x 12.00	14	A30P30	A30P30G	27.00 x 27.00	3.00	2	Large
A36241ZLP	36.00 x 24.00 x 12.00	14	A36P24	A36P24G	33.00 x 21.00	3.00	2	Large
A36301ZLP	36.00 x 30.00 x 12.00	14	A36P30	A36P30G	33.00 x 27.00	3.00	2	Large
A36361ZLP	36.00 x 36.00 x 12.00	14	A36P36	A36P36G	33.00 x 33.00	3.00	2	Large
A42301ZLP	42.00 x 30.00 x 12.00	14	A42P30	A42P30G	39.00 x 27.00	3.00	2	Small
A42361ZLP	42.00 x 36.00 x 12.00	14	A42P36	A42P36G	39.00 x 33.00	3.00	2	Large
A48361ZLP	48.00 x 36.00 x 12.00	14	A48P36	A48P36G	45.00 x 33.00	3.00	3	Large
A60361ZLP	60.00 x 36.00 x 12.00	14	A60P36	A60P36G	57.00 x 33.00	3.00	3	Large
A72361ZLP	72.00 x 36.00 x 12.00	14	A72P36	A72P36G	69.00 x 33.00	3.00	3	Large
A24201LP	24.00 x 20.00 x 16.00	14	A24P20	A24P20G	21.00 x 17.00	3.00	2	Small
A24241LP	24.00 x 24.00 x 16.00	14	A24P24	A24P24G	21.00 x 21.00	3.00	2	Small
A30241LP	30.00 x 24.00 x 16.00	14	A30P24	A30P24G	27.00 x 21.00	3.00	2	Large
A30301LP	30.00 x 30.00 x 16.00	14	A30P30	A30P30G	27.00 x 27.00	3.00	2	Large
A36301LP	36.00 x 30.00 x 16.00	14	A36P30	A36P30G	33.00 x 27.00	3.00	2	Large
A36361LP	36.00 x 36.00 x 16.00	14	A36P36	A36P36G	33.00 x 33.00	3.00	2	Large
A42361LP	42.00 x 36.00 x 16.00	14	A42P36	A42P36G	39.00 x 33.00	3.00	2	Large
A48361LP	48.00 x 36.00 x 16.00	14	A48P36	A48P36G	45.00 x 33.00	3.00	3	Large
A60361LP	60.00 x 36.00 x 16.00	14	A60P36	A60P36G	57.00 x 33.00	3.00	3	Large
A72361LP	72.00 x 36.00 x 16.00	14	A72P36	A72P36G	69.00 x 33.00	3.00	3	Large

Purchase panels separately. Optional stainless steel, conductive, composite and aluminum panels are available for most sizes.
Small Data Pocket is 6.00 in. x 4.00 in. Large Data Pocket is 12.00 in. x 12.00 in.
Catalog number A72361ZLP has an oil-resistant strip gasket instead of foam-in-place gasket.

1 MILD STEEL Spec-00288 1 SUBJECT TO CHANGE WITHOUT NOTICE nVent.com/HOFFMAN

nVent.com/HOFFMAN PH 763.422.2211 Spec-00288 1 MILD STEEL 2

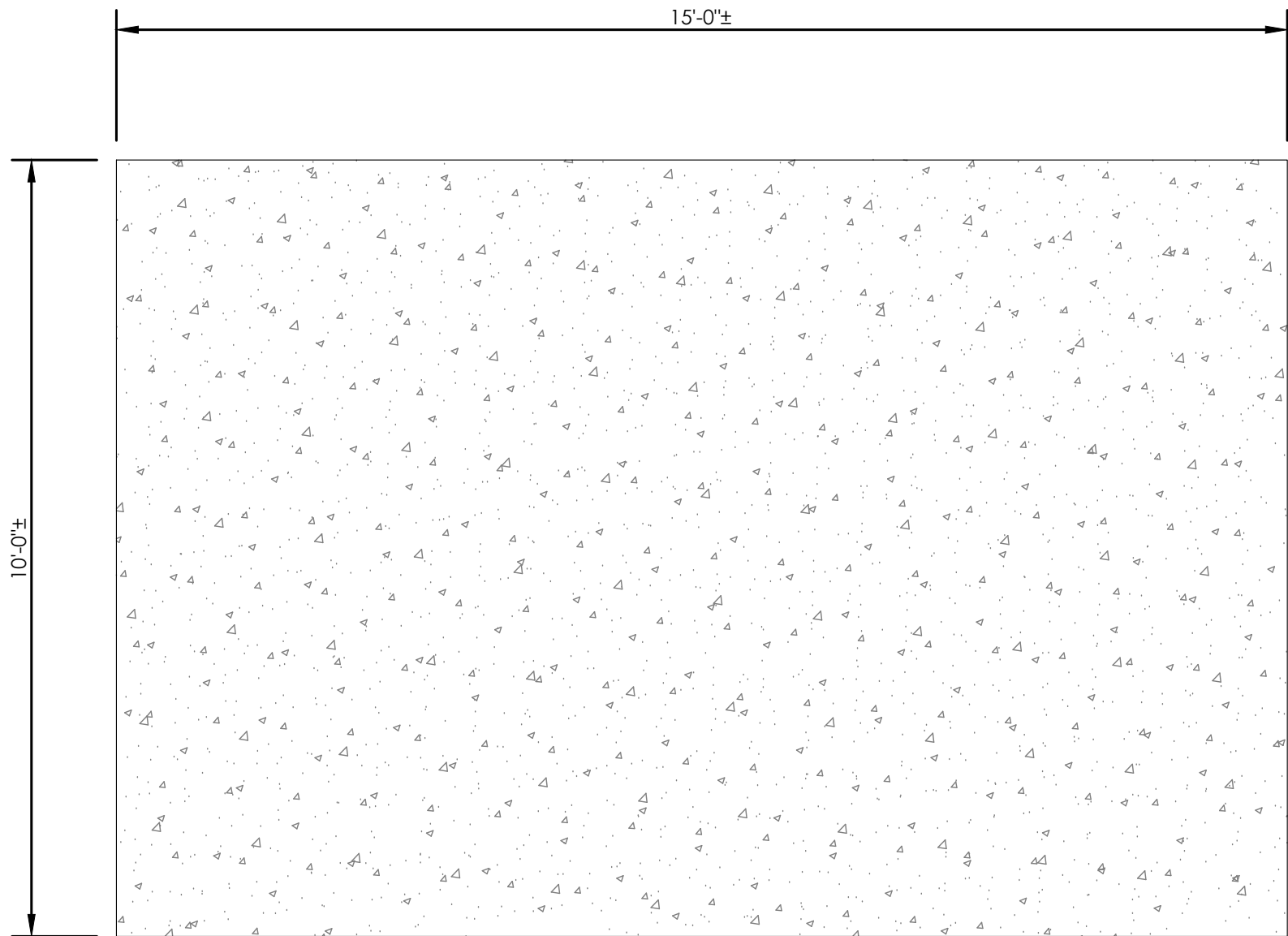
3 MILD STEEL Spec-00288 1 SUBJECT TO CHANGE WITHOUT NOTICE nVent.com/HOFFMAN

DESCRIPTION	DATE	BY	REV
PRELIMINARY	03/07/2025	DAD	A
PRELIMINARY	05/14/2025	SM	B
PRELIMINARY	06/06/2025	SM	C

NOTES

REINFORCED CONCRETE PAD (MINIMUM REQUIREMENTS):

1. REINFORCED CONCRETE CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ACI STANDARDS 318.
2. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
3. ALL REINFORCING STEEL SHALL BE NEW BILIT STEEL, CONFORMING TO ASTM A-615, GRADE 60, DEFORMED, CONSISTING OF MIN. #4 BARS @ 12" O.C. (MAX) EACH WAY.
4. UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. (ACI 315).
5. ALL BAR SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS OTHERWISE SHOWN.
6. ALL EXPOSED EXTERNAL CORNERS OF CONCRETE TO BE TOOLED EDGE, UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL REFER TO DRAWINGS OF THEIR TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES.
8. CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATION OF ALL ELECTRICAL OPENINGS AND EQUIPMENT PADS WITH THE ELECTRICAL EQUIPMENT DETAIL AND SHOP DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION FOR ALL UTILITIES.
9. CONCRETE PAD WAS DESIGNED ASSUMING EXISTING SURFACE SOILS BENEATH PAD HAVE MINIMUM NET ALLOWABLE BEARING PRESSURE OF 1500 PSF.
10. SOIL BEARING CAPACITY SHOULD BE VERIFIED BY CONTRACTOR WITH THE SPECIFIC GEOTECHNICAL REPORT. IF THIS MINIMUM IS NOT MET, FURTHER REVIEW OF DESIGN OR SPECIAL DESIGN MA BE REQUIRED.
11. THE SOIL BENEATH THE CONCRETE PAD MUST BE FREE OF ORGANIC MATTER OR OTHER DELETERIOUS SUBSTANCES, AND SHOULD BE COMPACTED AND LEVELED BEFORE PLACING THE GRAVEL BASE MATERIAL.



CONCRETE SLAB PLAN

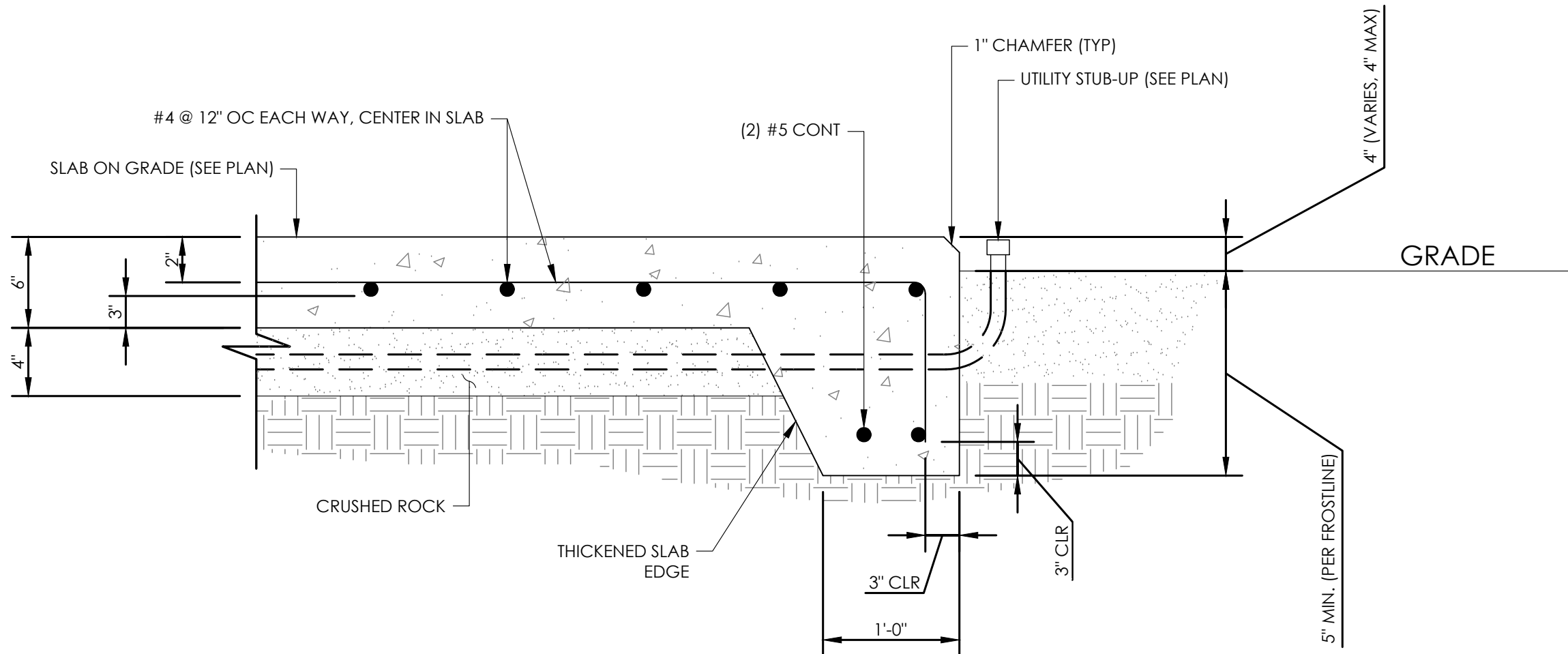
1

NOT TO SCALE

CONCRETE PAD NOTE

USE OF EXISTING CONCRETE PADS:

PM&A WAS NOT PROVIDED WITH AS BUILT INFORMATION FOR EXISTING CONCRETE PADS. CONTRACTOR SHALL VERIFY THAT EXISTING CONCRETE PADS ARE OF MIN. THICKNESS, REINFORCEMENT AND COMPRESSIVE STRENGTH AS WELL AS MEET THE MIN. REQUIREMENTS AS LISTED ABOVE PRIOR TO INSTALLING NEW GENERATOR ON EXISTING PAD. IN CASES WHERE EXISTING PAD DOES NOT MEET MIN. REQUIREMENTS THE CONTRACTOR SHALL NOTIFY T-MOBILE AND CONFIRM AND RECEIVE APPROVAL FROM SITE CM TO REPLACE EXISTING PAD WITH NEW PAD AS DETAILED ON THIS SHEET. IF EXISTING GENERATOR CONDUIT STUB-UPS ARE PRESENT, CONTRACTOR TO VERIFY EXACT LOCATION AND UTILIZE EXISTING CONDUITS FOR NEW GENERATOR.



CONNECTION DETAIL

2

NOT TO SCALE

PLANS PREPARED FOR:



1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:



P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:



MLA PARTNER:

ENGINEERING SEAL:

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REVISIONS:

DESCRIPTION	DATE	BY	REV
PRELIMINARY	03/07/2025	DAD	A
PRELIMINARY	05/14/2025	SM	B
PRELIMINARY	06/06/2025	SM	C

SITE NAME:

AT&T: KING CITY

SITE NUMBER:

SFL0050A

SITE ADDRESS:

51950 PINE CANYON RD
KING CITY, CA 93930

PM&A PROJECT:

25TMO_08N-004

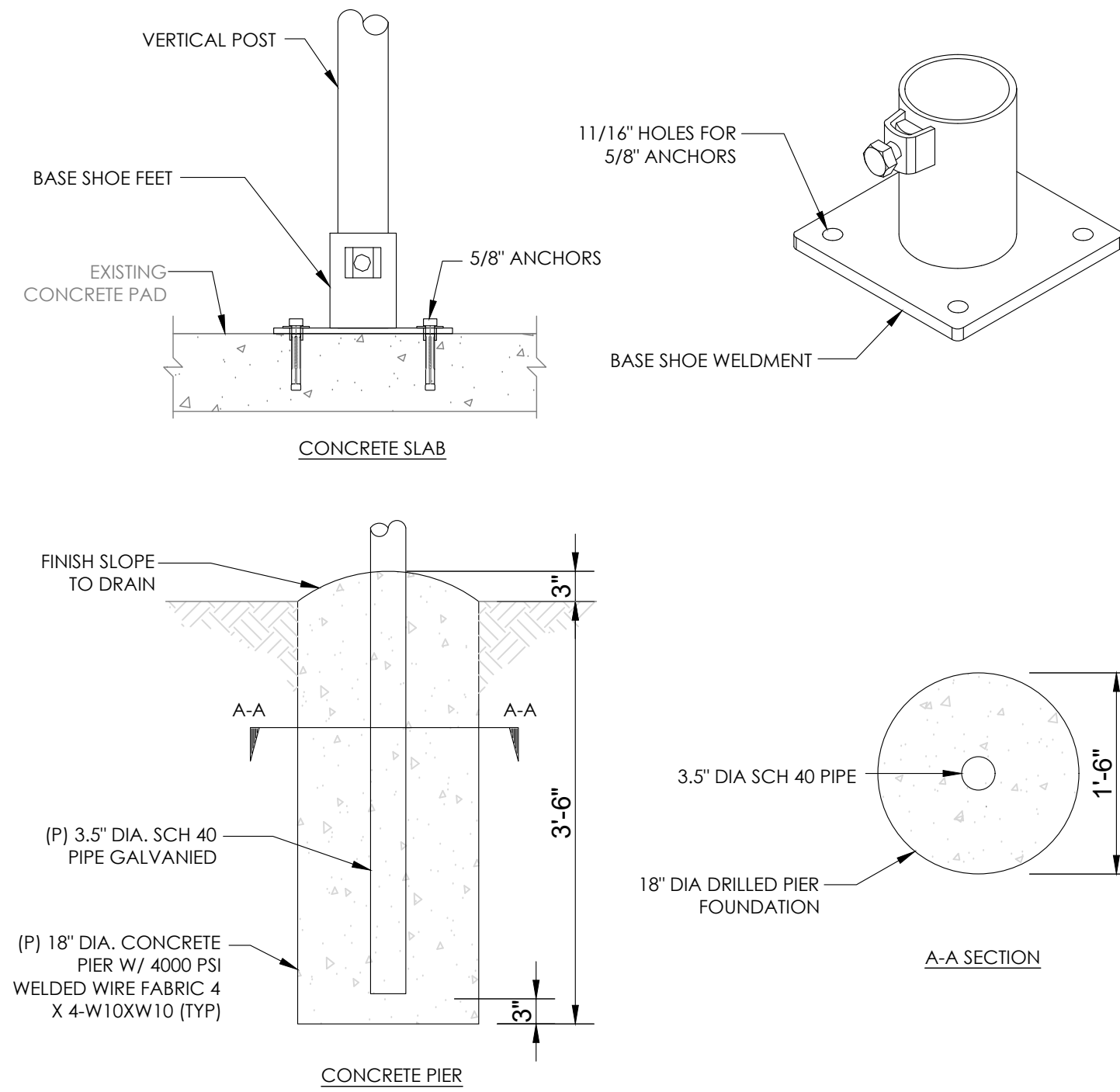
SHEET DESCRIPTION:

EQUIPMENT DETAILS

SHEET NUMBER:

A-13

DIMENSIONS (HxWxL): 8" X 8" X 1 1/2"
WEIGHT: 15.0 LBS
POST SIZE: 2-7/8" OR 3-1/2"

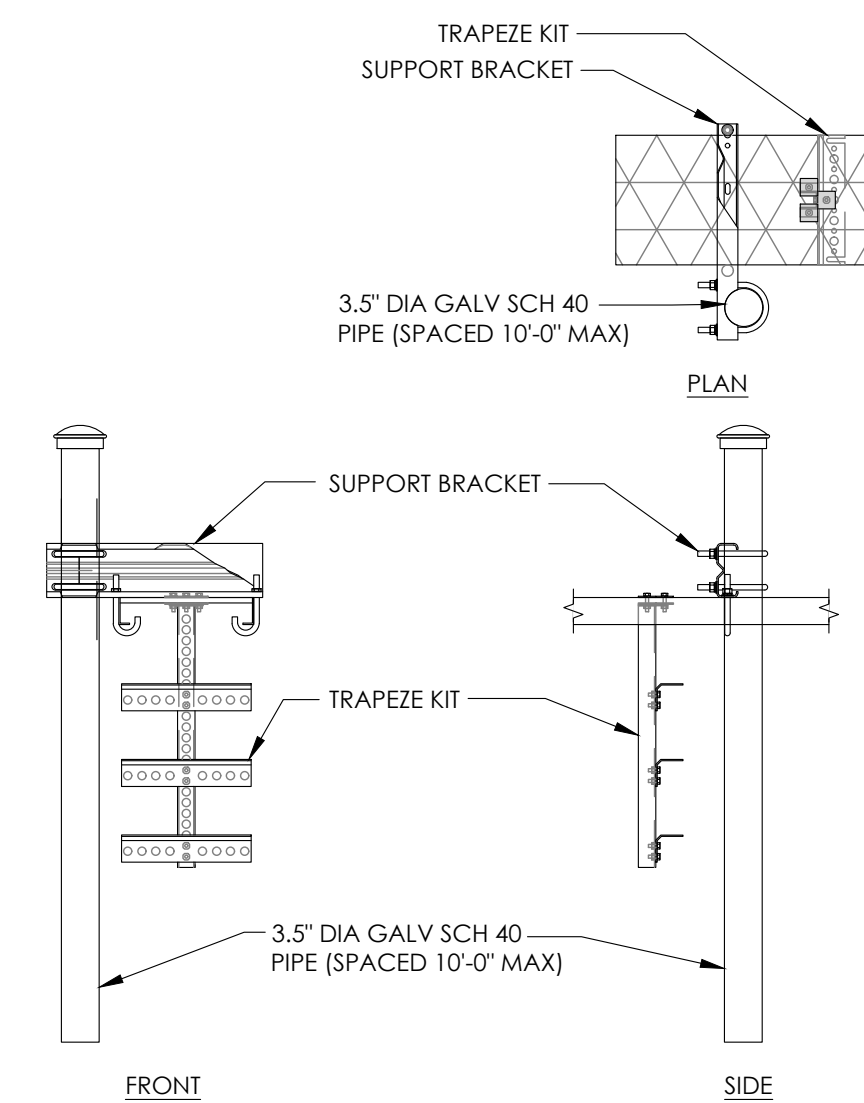


WAVE GUIDE BRIDGE KIT COMPONENTS:

WB-T24-3 TRAPEZE KIT, 3 RUNGS

WB-LB24-3 SUPPORT BRACKET

MF-130 DIRECT BURIAL PIPE COLUMN, 13'-4"

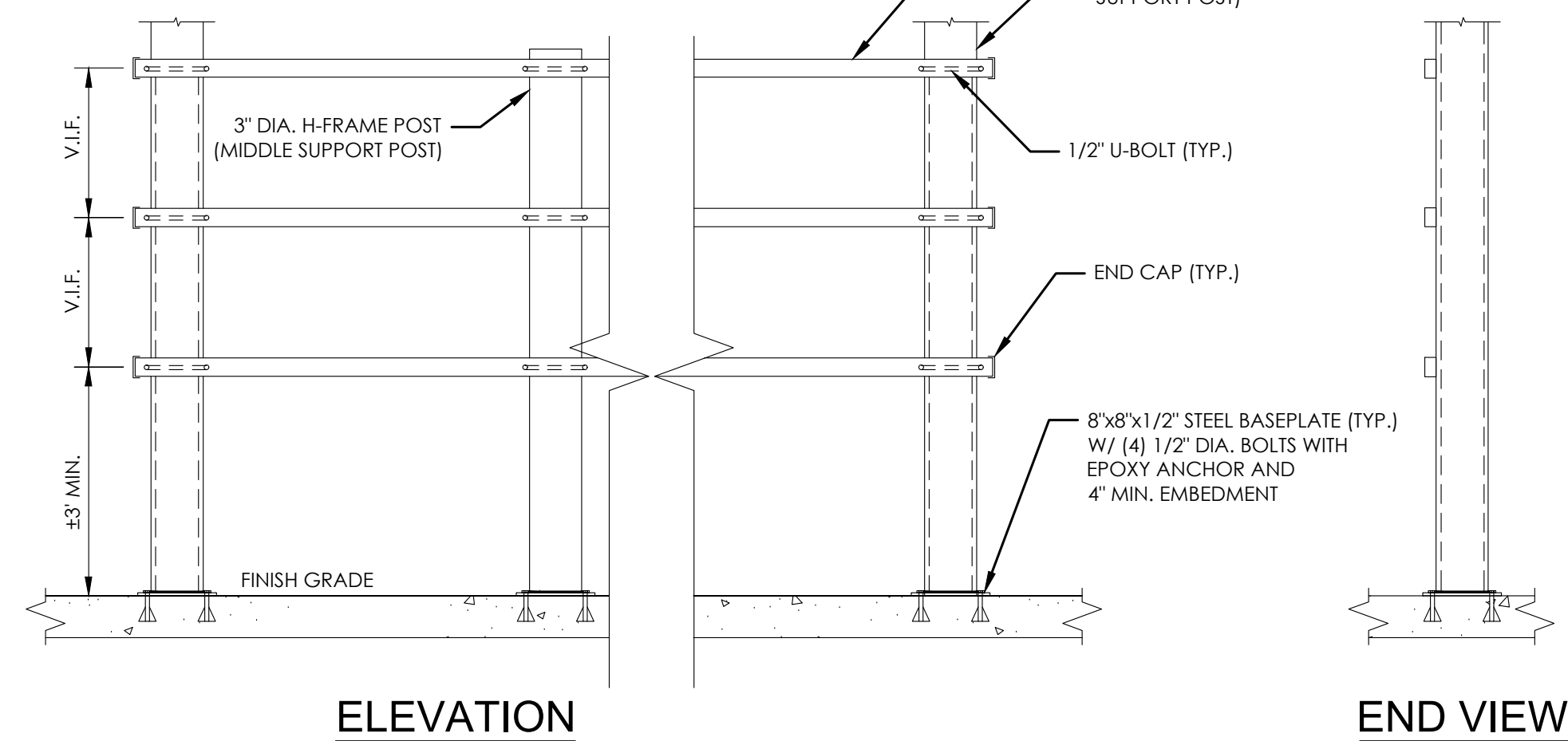


5'-0" MAX. TO EACH POST
CONTRACTOR TO VERIFY
OVERALL LENGTH REQUIRED TO
ACCOMMODATE EQUIPMENT

1/2" SS BACK PLATE
1/2" ALL-THREAD BOLTS
(CUT TO LENGTH)

1-1/2" GALV. SQUARE P1000
UNISTRUT RAIL (12 GA.)
(TYP.) COORDINATE EXACT
LOCATION IN FIELD

PLAN VIEW



8"x8"x1/2" STEEL BASEPLATE

1-1/2"

1-1/2"

TYP. 3/16"

3" DIA. SCH. 40 STAINLESS GALV. STEEL OR GALV. [3"x3" SQR TUBE FOR ICE CANOPY SUPPORT NOT SHOWN]

END VIEW

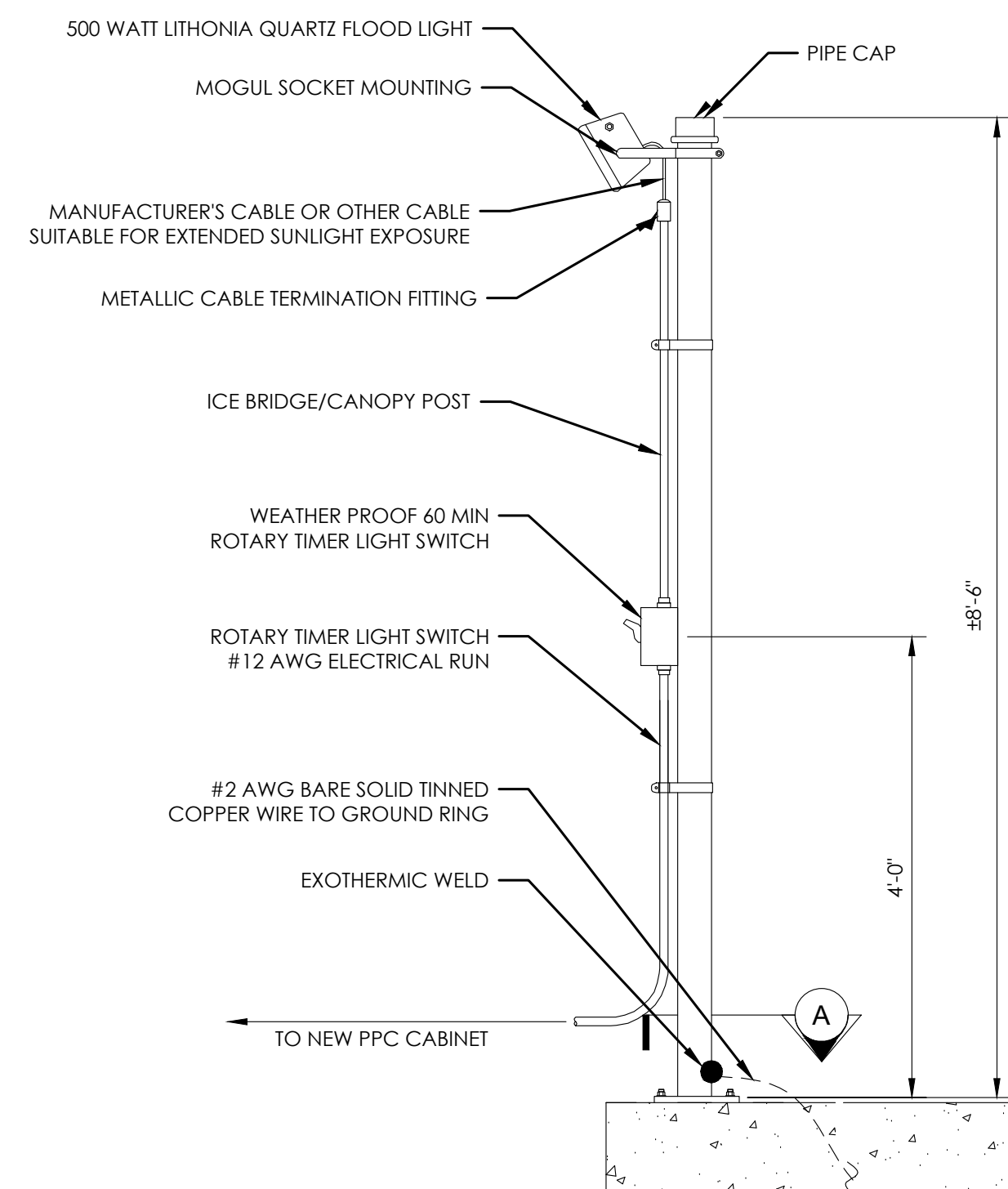
BASE PLATE

1

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2

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4

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T-Mobile
1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520



P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024



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CONNEX**

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DESCRIPTION	DATE	BY	REV
PRELIMINARY	03/07/2025	DAD	A
PRELIMINARY	05/14/2025	SM	B
PRELIMINARY	06/06/2025	SM	C

AT&T: KING CITY

SFL0050A

51950 PINE CANYON RD
KING CITY, CA 93930

25TMO_08N-004

EQUIPMENT DETAILS

A-13.1

3

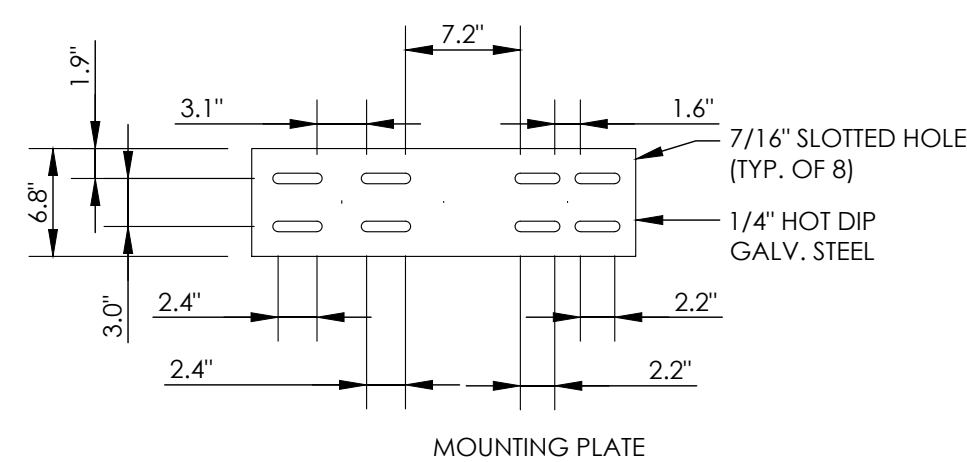
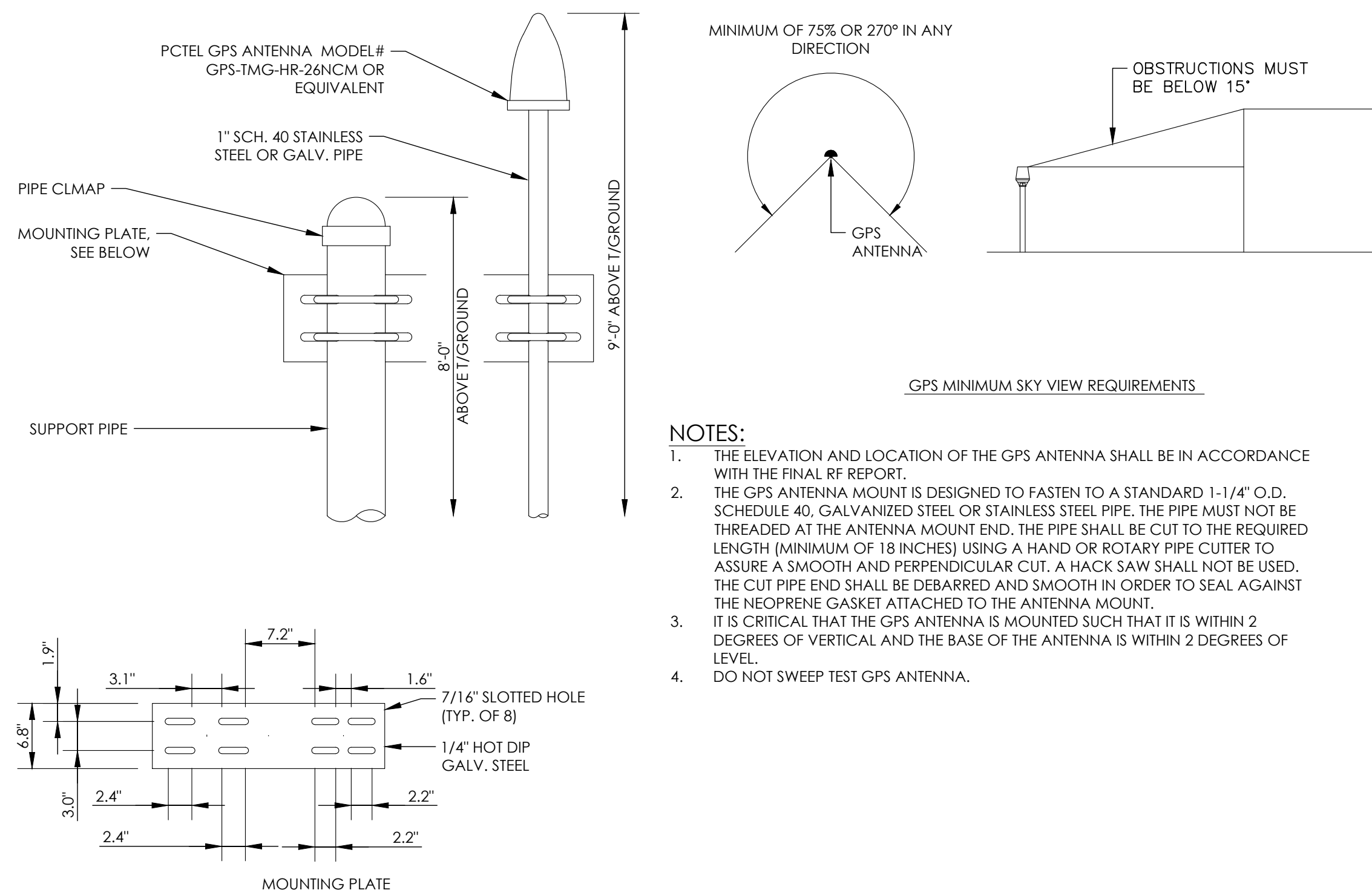
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4

NOT TO SCALE

A-13.1

1. PROPOSED 3" PVC CONDUIT FROM PPC TELCO BAY TO MAIN TELCO DEMARC. PROVIDE PULLSTRINGS IN ACCORDANCE WITH UTILITY REQUIREMENTS.
2. PROPOSED 2" PVC CONDUIT FROM METER TO PPC POWER BAY.
3. PROPOSED 2" POWER CONDUIT ROUTED FROM PPC TO NEW 6160 CABINET.
4. PROPOSED 2" CONDUITS ROUTED FROM CIENA TO NEW 6160 CABINET FOR POWER, ALARM AND FIBER CABLING.
5. PROPOSED 2" WATER TIGHT CONDUITS FOR BATTERY CABLE AND ALARMING.
6. PROPOSED GPS CABLE ROUTED TO ERICSSON 6160 CABINET.
7. EXPOSED HYBRID CABLES AND GPS CABLE TO BE INSTALLED IN CABLE TRAY OR ICE BRIDGE TO PREVENT POSSIBLE DAMAGE.
8. PROPOSED TECH DUPLEX WORK OUTLET INSIDE PPC CABINET.
9. PROPOSED PVC FLEX CONDUIT FROM PPC POWER PANEL TO LED FLOOD LIGHT SWITCH.
10. PROPOSED 1-1/4" TELCO CONDUIT FROM FIBER N.I.U. TO PPC CABINET TELCO CHAMBER.
11. ALL TRENCHING REQUIRED W/IN COMPOUND SHALL BE PERFORMED BY HAND-DIGGING ONLY. SEPARATION DIMENSIONS TO BE VERIFIED W/ LOCAL UTILITY COMPANY REQUIREMENTS.
12. ALL BURIED CONDUIT SHALL BE PVC SCHEDULE 80. ALL EXPOSED CONDUIT ROUTED ABOVE THE EXISTING CONCRETE SLAB SHALL BE GALVANIZED RGS, ON 1-5/8" UNISTRUT OR EQUIVALENT.



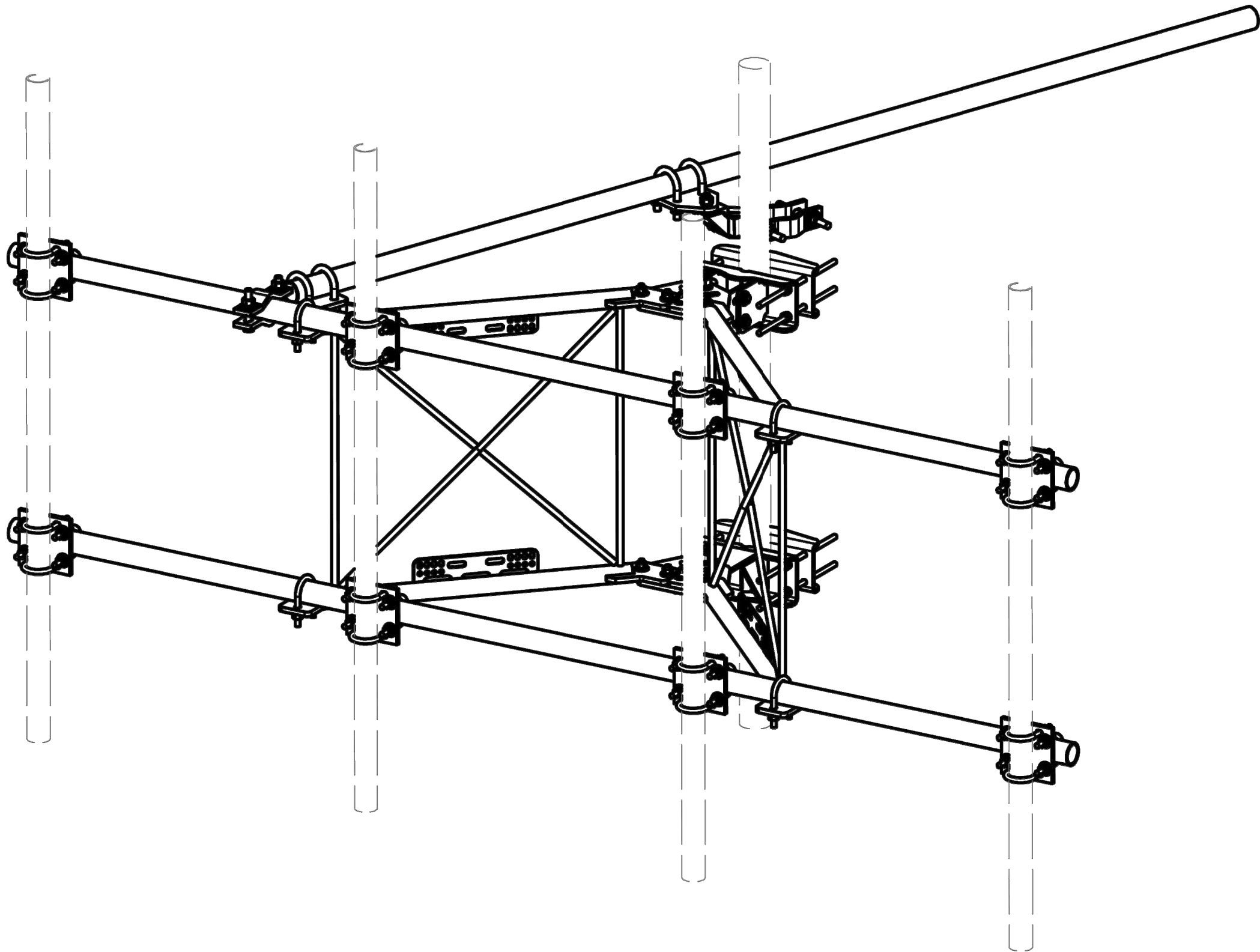
GPS MINIMUM SKY VIEW REQUIREMENTS

1. THE ELEVATION AND LOCATION OF THE GPS ANTENNA SHALL BE IN ACCORDANCE WITH THE FINAL RF REPORT.
2. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" O.D. SCHEDULE 40, GALVANIZED STEEL OR STAINLESS STEEL PIPE. THE PIPE MUST NOT BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE CUT TO THE REQUIRED LENGTH (MINIMUM OF 18 INCHES) USING A HAND OR ROTARY PIPE CUTTER TO ASSURE A SMOOTH AND PERPENDICULAR CUT. A HACK SAW SHALL NOT BE USED. THE PIPE END SHALL BE DEBURRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.
3. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED SUCH THAT IT IS WITHIN 2 DEGREES OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2 DEGREES OF LEVEL.
4. DO NOT SWEEP TEST GPS ANTENNA.

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SHEET NUMBER: **A-13.2**

TRENCH DETAIL			1	GPS ANTENNA DETAIL			2
NOT TO SCALE				NOT TO SCALE			



PARTS LIST						
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	2	X-VFASD	SUPPORT ARM FOR STANDARD DUTY V-FRAME ASSEMBLY		45.34	90.69
2	1	X-SDTFLB	DIAGONAL SLOT WELDMENT FOR BCAM SD		15.08	15.08
3	1	X-SDMHTP	MULTI-HOLE TAPER PLATE WELDMENT		16.63	16.63
4	2	X-SDPP	PIVOT PLATE	11 1/16 in	9.09	18.18
5	2	X-LCBP2	BENT BACKING PLATE	12 in	8.86	17.73
6	1	X-SDCAMSS	STRAIGHT SLOT WELDMENT FOR BCAM		8.48	8.48
7	2	X-SPTB	SLIDING PIPE TIE BACK PLATE	5 1/2 in	5.87	11.74
8	1	X-SDCAMSP	POSITIONING PLATE WELDMENT FOR BCAM		1.43	1.43
9	2	X-TBCA	TIE BACK CLIP ANGLE		2.01	4.01
10	8	SCX1	CROSSOVER PLATE 2-3/8" X 2-3/8"	6 in	3.71	29.67
11	2	MCP	CLAMP HALF 1/2" THICK, 11-5/8" LONG	12 1/16 in	3.59	7.19
12	4	DCP	1/2" THICK, 5-3/4" CNTER TO CENTER CLAMP HALF	8 1/8 in	2.36	9.45
13	3	P2126	2-3/8" X 126" (2" SCH. 40) GALVANIZED PIPE	126 in	40.75	122.26
14	4	A34214	3/4"-10 X 2-1/4" A325 BOLT	2 1/4 in	0.47	1.89
15	4	G34FW	3/4" HDG USS FLATWASHER		0.06	0.24
16	4	G34LW	3/4" HDG LOCKWASHER		0.04	0.17
17	4	G34NUT	3/4" HDG HEAVY 2H HEX NUT		0.21	0.85
18	2	G58R-12	5/8" x 12" THREADED ROD (HDG.)		1.05	2.09
19	2	G58R-8	5/8" x 8" THREADED ROD (HDG.)		0.70	1.39
20	4	X-UB5258	5/8" X 2-5/8" X 4-1/2" X 2" U-BOLT (HDG.)		1.00	4.00
21	4	G5804	5/8" x 4" HDG HEX BOLT GR5		0.44	1.78
22	2	G5802	5/8" x 2" HDG HEX BOLT GR5		0.27	0.54
23	10	G58FW	5/8" HDG USS FLATWASHER	1/8 in	0.07	0.70
24	16	G58LW	5/8" HDG LOCKWASHER		0.03	0.42
25	18	G58NUT	5/8" HDG HEAVY 2H HEX NUT		0.13	2.34
26	8	G12R-15	1/2" x 15" THREADED ROD (HDG.)		0.84	6.69
27	36	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" GALV. U-BOLT		0.66	23.86
28	2	G12065	1/2" x 6-1/2" HDG HEX BOLT GR5 FULL THREAD	5 1/2 in	0.41	0.82
29	1	G12045	1/2" x 4.5" HDG HEX BOLT GR5 FULL THREAD	4 1/2 in	0.30	0.30
30	8	G1202	1/2" x 2" HDG HEX BOLT GR5	2 in	0.18	1.41
31	85	G12FW	1/2" HDG USS FLATWASHER	3/32 in	0.03	2.90
32	98	G12LW	1/2" HDG LOCKWASHER	1/8 in	0.01	1.36
33	99	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07	7.09
TOTAL WT. #						413.36

					<div><div><div>TOLERANCE NOTES</div><div>TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE: SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030''$) DRILLED AND GAS CUT HOLES ($\pm 0.030''$) - NO CONING OF HOLES LASER CUT EDGES AND HOLES ($\pm 0.010''$) - NO CONING OF HOLES BENDS ARE $\pm 1/2$ DEGREE ALL OTHER MACHINING ($\pm 0.030''$) ALL OTHER ASSEMBLY ($\pm 0.060''$)</div></div><div>PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.</div></div>					<div><div><div>DESCRIPTION</div><div>10'-6" STANDARD DUTY V-FRAME ASSEMBLY W/ 1 STIFF ARMS</div></div><div><div>CPD NO.</div><div>DRAWN BY CEK 6/21/2017</div><div>ENG. APPROVAL</div></div><div><div>CLASS 81</div><div>SUB 02</div><div>DRAWING USAGE CUSTOMER</div><div>CHECKED BY BMC 7/13/2017</div></div><div><div>PART NO. VFA10-SD-S</div><div>DWG. NO. VFA10-SD-S</div></div></div> <div><div><div><div><div>SITE PRO 1</div><div>A valmont COMPANY</div></div><div>Locations: New York, NY Atlanta, GA Los Angeles, CA Plymouth, IN Salem, OR Dallas, TX</div><div>Engineering Support Team: 1-888-753-7446</div></div></div></div> <div><div>1 OF 4</div><div>PAGE</div></div>						
A	UPDATED BCAM VERSION 1 TO BCAM VERSION 2				CEK	8/17/2018										
REV	DESCRIPTION OF REVISIONS			CPD	BY	DATE										
REVISION HISTORY																

PLANS PREPARED FOR:

T-Mobile

1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:

PM&A
P. MARSHALL & ASSOCIATES

6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:

**NETWORK
CONNEX**

MLA PARTNER:

ENGINEERING SEAL:

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REVISIONS:

DESCRIPTION	DATE	BY	REV
PRELIMINARY	03/07/2025	DAD	A
PRELIMINARY	05/14/2025	SM	B
PRELIMINARY	06/06/2025	SM	C

SITE NAME:

AT&T: KING CITY

SITE NUMBER:

SFL0050A

SITE ADDRESS:

51950 PINE CANYON RD
KING CITY, CA 93930

PM&A PROJECT:

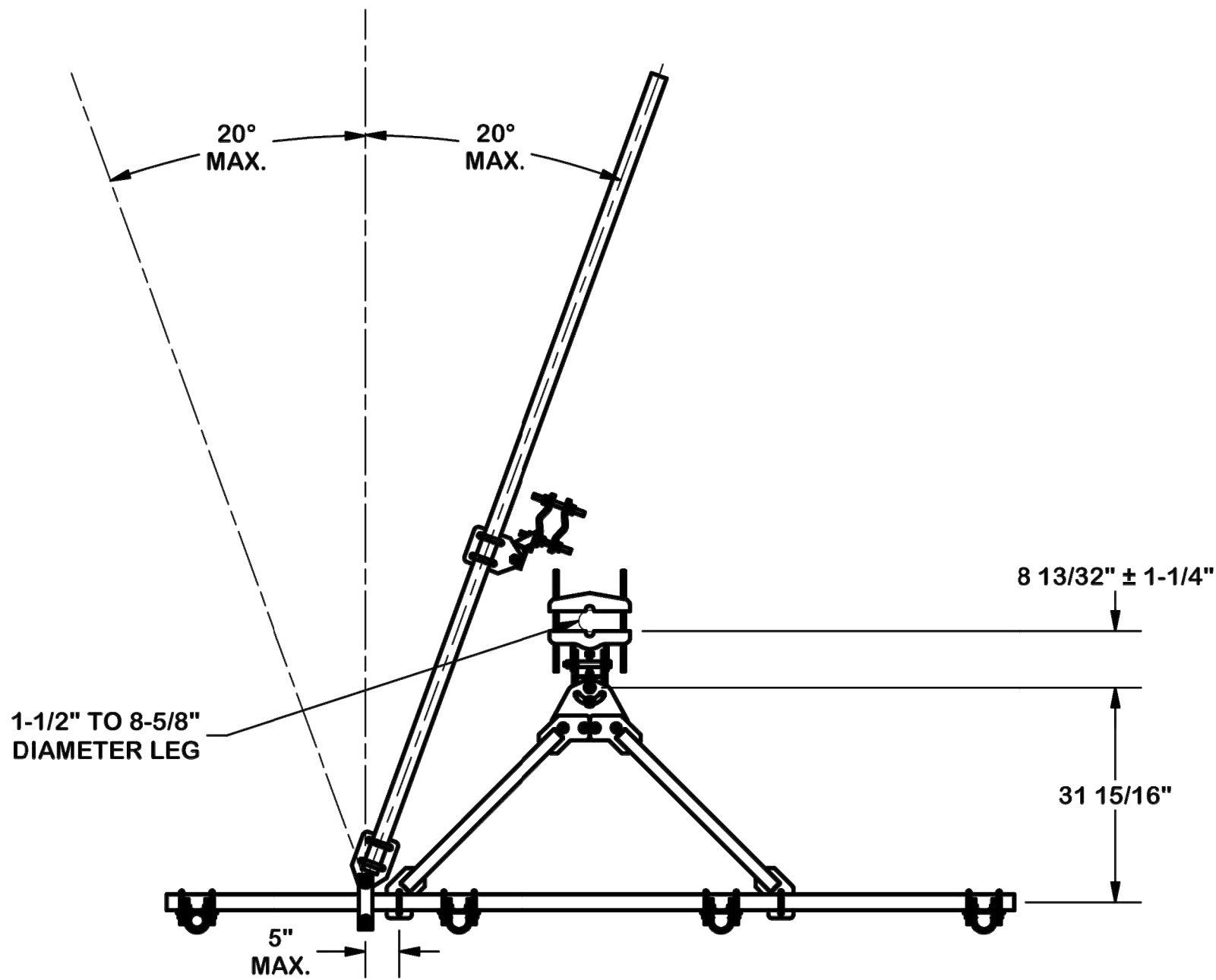
25TMO_08N-004

SHEET DESCRIPTION:

EQUIPMENT DETAILS

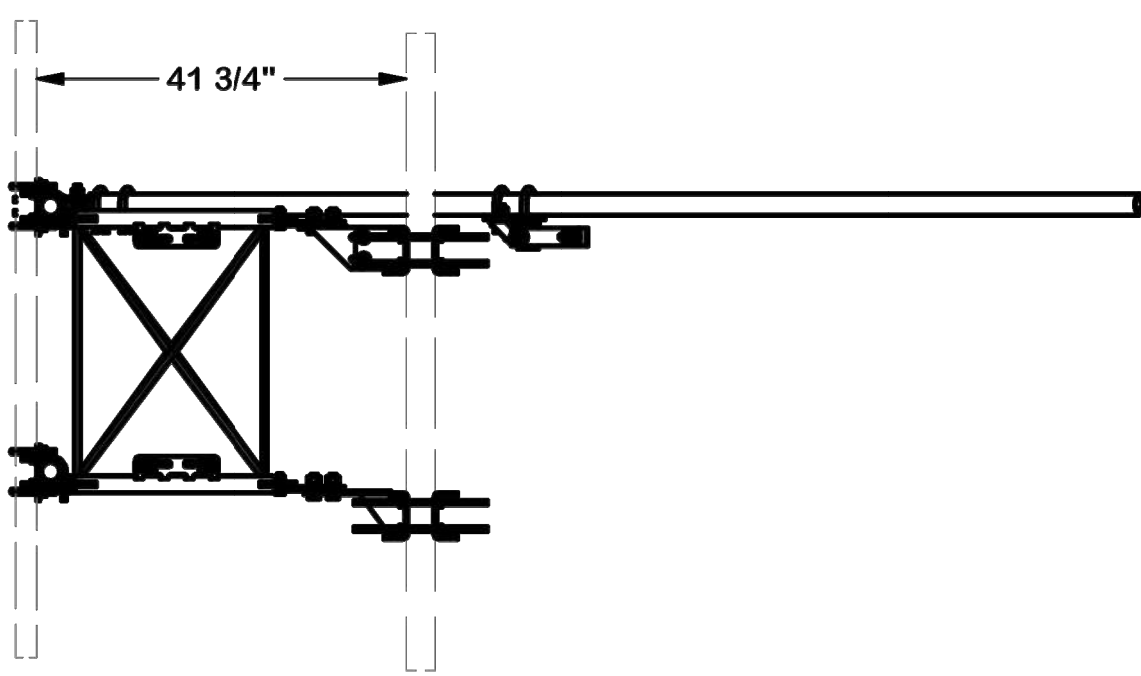
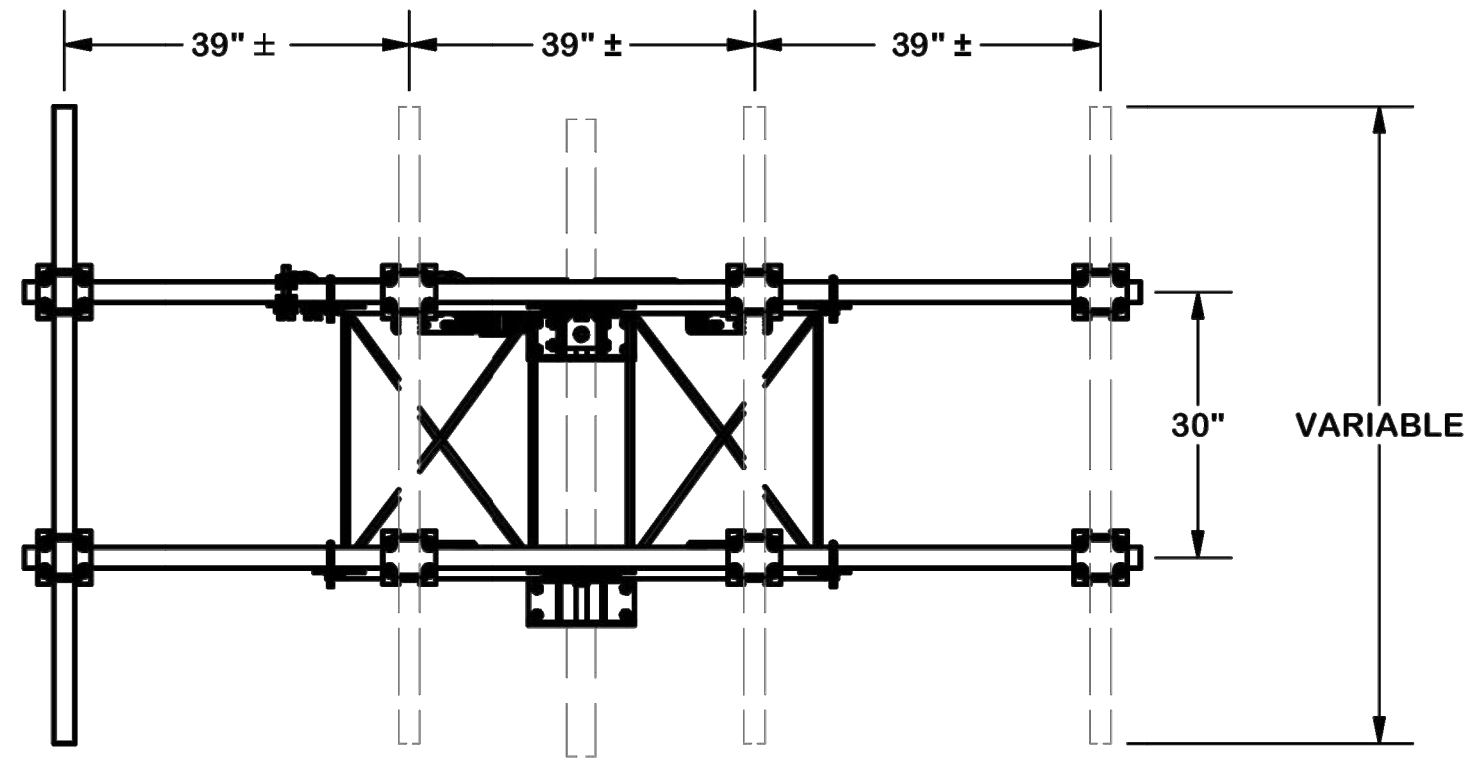
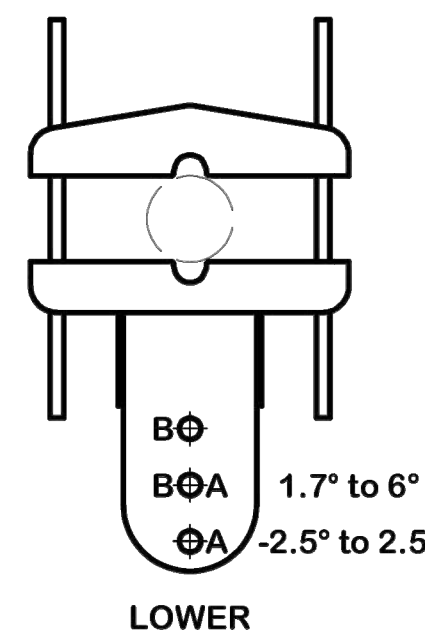
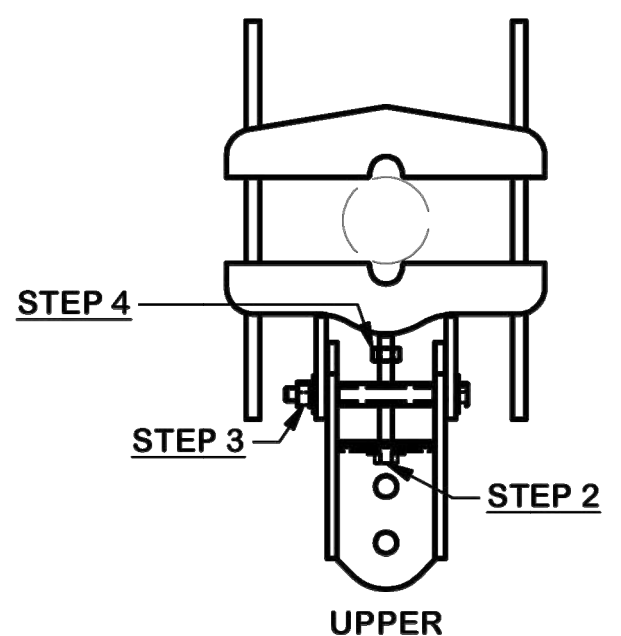
SHEET NUMBER:


A-14



ANGLE CALIBRATING PROCEDURE:

1. MEASURE TOWER TAPER AND PICK LOWER BRACKET HOLE:
 - HOLE A = -2.5° TO 2.5°
 - HOLE B = 1.7° TO 6°
2. USE CALIBRATING BOLT TO ADJUST FRAME TO DESIRED TAPER
3. TORQUE LOCKING BOLTS TO 50 ft.-lbs.
4. ADVANCE LOCKING NUT TO POSITIONING PLATE, THEN TIGHTEN.



					TOLERANCE NOTES		DESCRIPTION			 <div>Locations: New York, NY Atlanta, GA Los Angeles, CA Plymouth, IN Salem, OR Dallas, TX</div> <div>Engineering Support Team: 1-888-753-7446</div>		PAGE	
					TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE: SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030"$) DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CONING OF HOLES LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CONING OF HOLES BENDS ARE $\pm 1/2$ DEGREE ALL OTHER MACHINING ($\pm 0.030"$) ALL OTHER ASSEMBLY ($\pm 0.060"$)		10'-6" STANDARD DUTY V-FRAME ASSEMBLY W/ 1 STIFF ARMS					2 OF 4	
A	UPDATED BCAM VERSION 1 TO BCAM VERSION 2				CEK	8/17/2018	CPD NO.	DRAWN BY CEK	6/21/2017	ENG. APPROVAL	PART NO. VFA10-SD-S		
REV	DESCRIPTION OF REVISIONS			CPD	BY	DATE	CLASS	SUB	DRAWING USAGE	CHECKED BY	DWG. NO. VFA10-SD-S		
REVISION HISTORY						PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.							
						81	02	CUSTOMER	BMC	7/13/2017			

PLANS PREPARED FOR:

1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:

P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:

MLA PARTNER:

ENGINEERING SEAL:

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REVISIONS:	DESCRIPTION	DATE	BY	REV
	PRELIMINARY	03/07/2025	DAD	A
	PRELIMINARY	05/14/2025	SM	B
	PRELIMINARY	06/06/2025	SM	C

SITE NAME:

AT&T: KING CITY

SITE NUMBER:

SFL0050A

SITE ADDRESS:

51950 PINE CANYON RD
KING CITY, CA 93930

PM&A PROJECT:

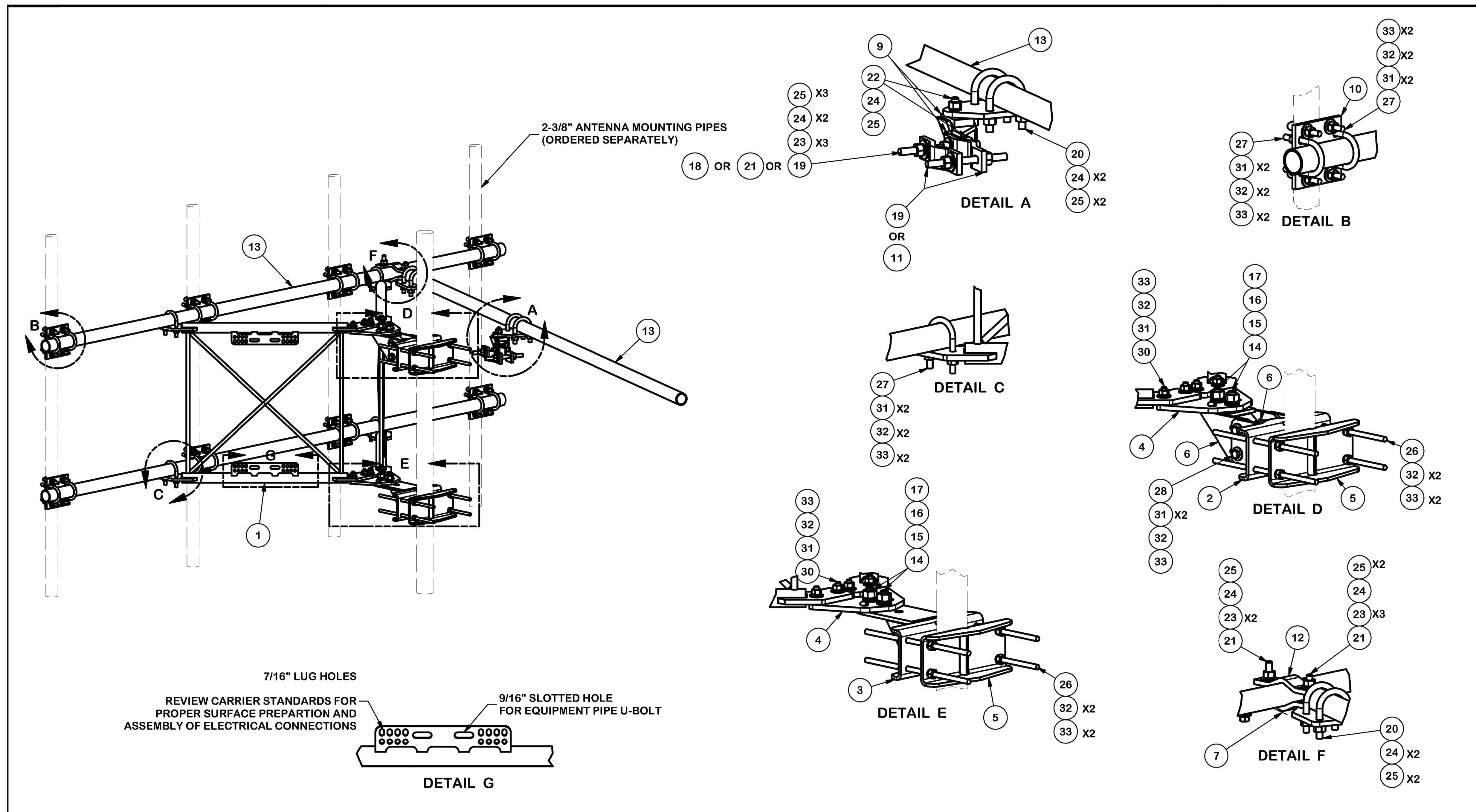
25TMO_08N-004

SHEET DESCRIPTION:

EQUIPMENT DETAILS

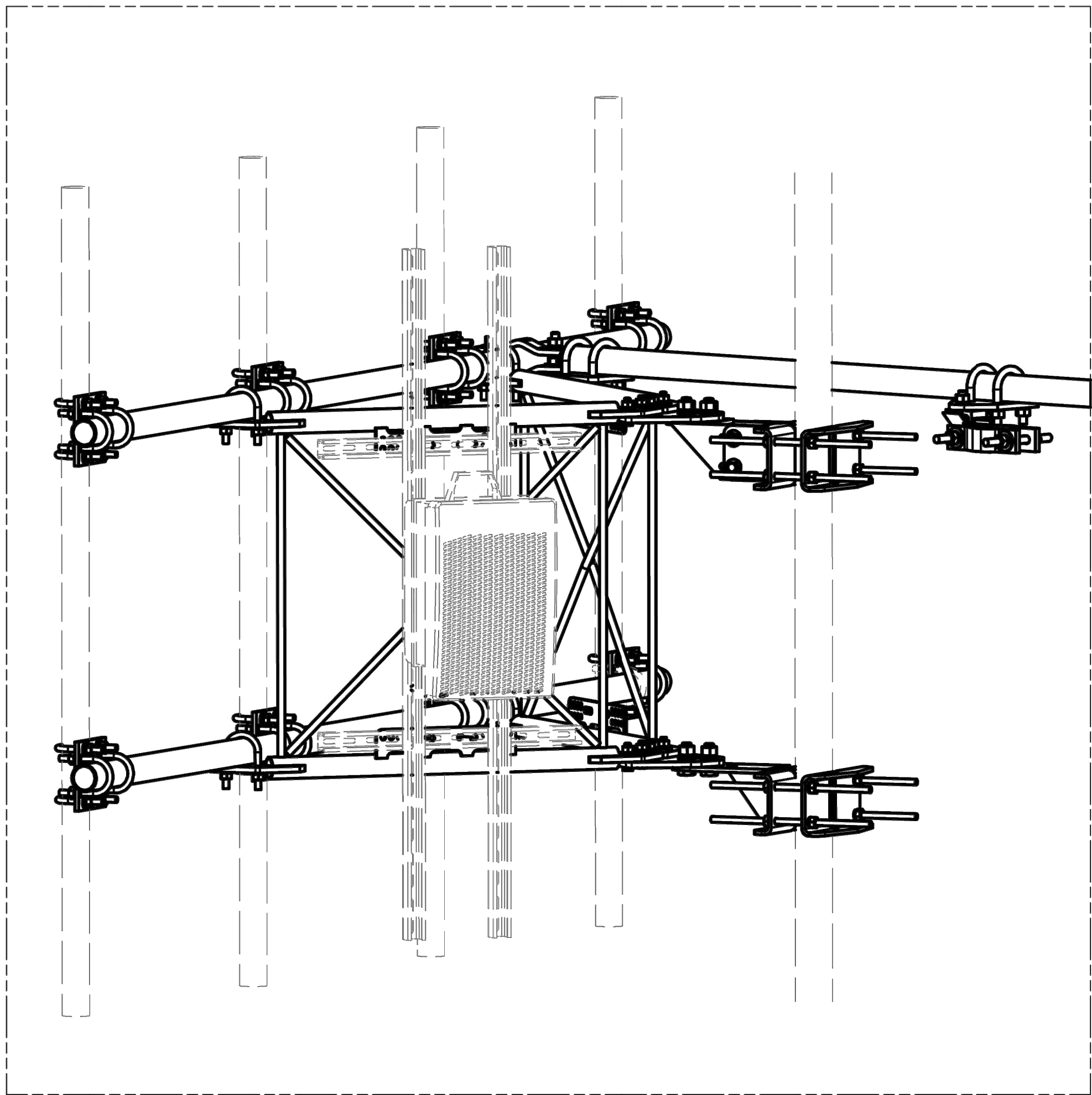
SHEET NUMBER:

A-14.1



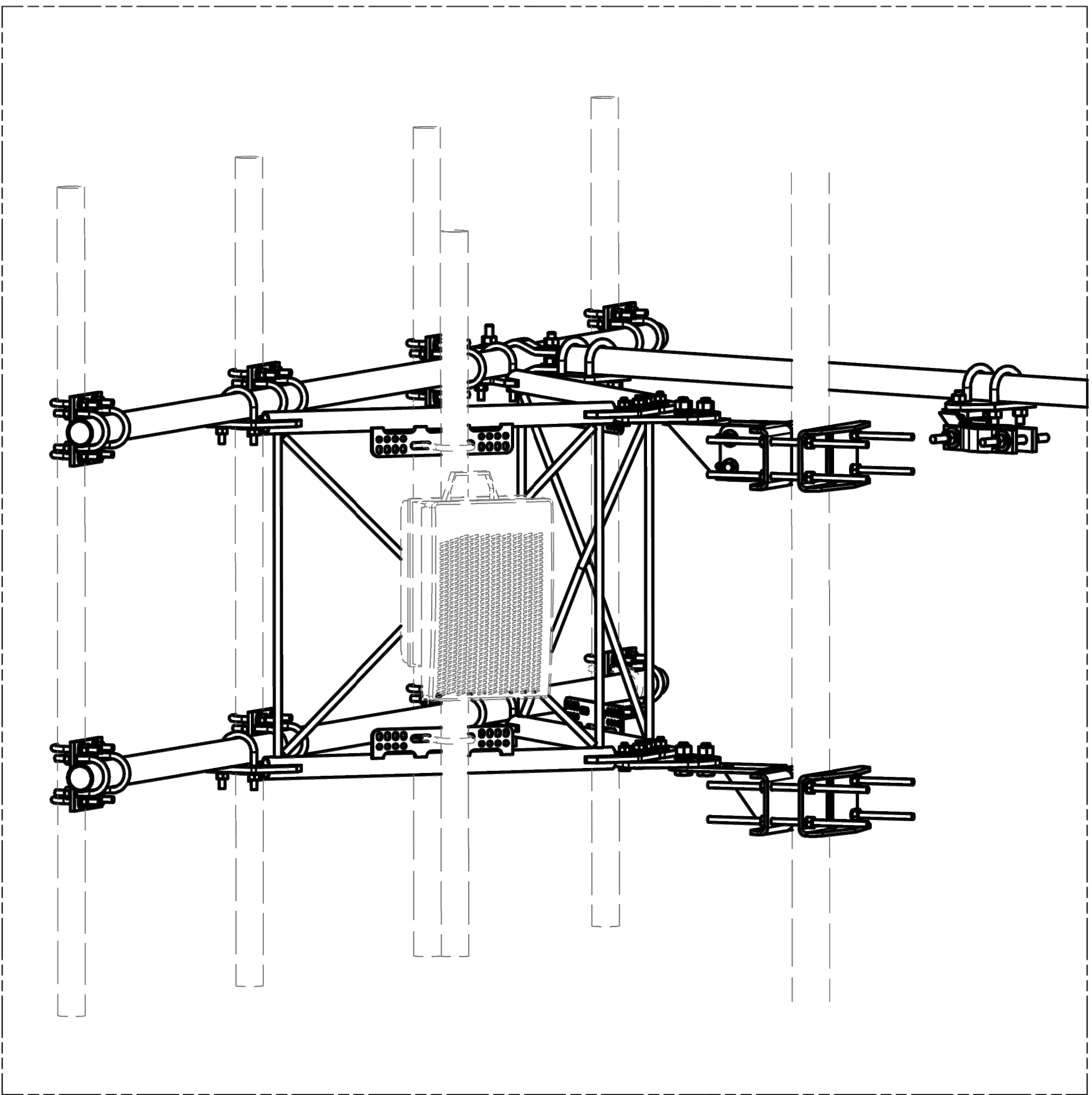
					<div>TOLERANCE NOTES</div> <div>TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE: SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030''$) DRILLED AND GAS CUT HOLES ($\pm 0.030''$) - NO CONING OF HOLES LASER CUT EDGES AND HOLES ($\pm 0.010''$) - NO CONING OF HOLES BENDS ARE $\pm 1/2$ DEGREE ALL OTHER MACHINING ($\pm 0.030''$) ALL OTHER ASSEMBLY ($\pm 0.060''$)</div>					<div>DESCRIPTION</div> <div>10'-6" STANDARD DUTY V-FRAME ASSEMBLY W/ 1 STIFF ARMS</div>					<div><div><div><div>SITE PRO 1</div></div><div><div>A valmont</div><div>CONCRETE</div></div></div><div><div>Locations:</div><div>New York, NY Atlanta, GA Los Angeles, CA Plymouth, IN Salem, OR Dallas, TX</div></div><div><div>Engineering Support Team:</div><div>1-888-753-7446</div></div></div>														
																				CPD NO.		DRAWN BY CEK 6/21/2017		ENG. APPROVAL		PART NO. VFA10-SD-S			
																				CLASS 81		SUB 02		DRAWING USAGE CUSTOMER		CHECKED BY BMC 7/13/2017		DWG. NO. VFA10-SD-S	
																				PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.									
A		UPDATED BCAM VERSION 1 TO BCAM VERSION 2				CEK	8/17/2018																						
REV		DESCRIPTION OF REVISIONS			CPD	BY	DATE																						
REVISION HISTORY																													

3 OF 4



UNISTRUT AND HARDWARE
SOLD SEPARATELY.

REQUIRES 3/8" HARDWARE



EQUIPMENT PIPE AND HARDWARE
SOLD SEPARATELY.

REQUIRES 1/2" HARDWARE
AND 2-3/8" TO 4-1/2" O.D. PIPE

					<div><div><div>TOLERANCE NOTES</div><div>TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE: SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030''$) DRILLED AND GAS CUT HOLES ($\pm 0.030''$) - NO CONING OF HOLES LASER CUT EDGES AND HOLES ($\pm 0.010''$) - NO CONING OF HOLES BENDS ARE $\pm 1/2$ DEGREE ALL OTHER MACHINING ($\pm 0.030''$) ALL OTHER ASSEMBLY ($\pm 0.060''$)</div></div><div>PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.</div></div>					<div><div>DESCRIPTION</div><div>10'-6" STANDARD DUTY V-FRAME ASSEMBLY W/ 1 STIFF ARMS</div></div> <div><div>CPD NO.</div><div>DRAWN BY CEK 6/21/2017</div><div>ENG. APPROVAL</div></div> <div><div>CLASS 81</div><div>SUB 02</div><div>DRAWING USAGE CUSTOMER</div><div>CHECKED BY BMC 7/13/2017</div></div> <div><div>PART NO. VFA10-SD-S</div><div>DWG. NO. VFA10-SD-S</div></div> <div>4 OF 4</div> <div>PAGE</div>				
					<div><div><div><div>SITE PRO 1</div><div>A valmont COMPANY</div></div><div>Locations: New York, NY Atlanta, GA Los Angeles, CA Plymouth, IN Salem, OR Dallas, TX</div><div>Engineering Support Team: 1-888-753-7446</div></div></div>									
A	UPDATED BCAM VERSION 1 TO BCAM VERSION 2				CEK	8/17/2018								
REV	DESCRIPTION OF REVISIONS				CPD	BY	DATE							
REVISION HISTORY														

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T-Mobile

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CONCORD CA 94520

PLANS PREPARED BY:

PM&A

P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:

**NETWORK
CONNEX**

MLA PARTNER:

ENGINEERING SEAL:

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KING CITY, CA 93930

PM&A PROJECT:

25TMO_08N-004

SHEET DESCRIPTION:

EQUIPMENT DETAILS

SHEET NUMBER:

A-14.3

PLANS PREPARED FOR:



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CONCORD CA 94520

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HOUSTON, TX 77024

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PM&A PROJECT:

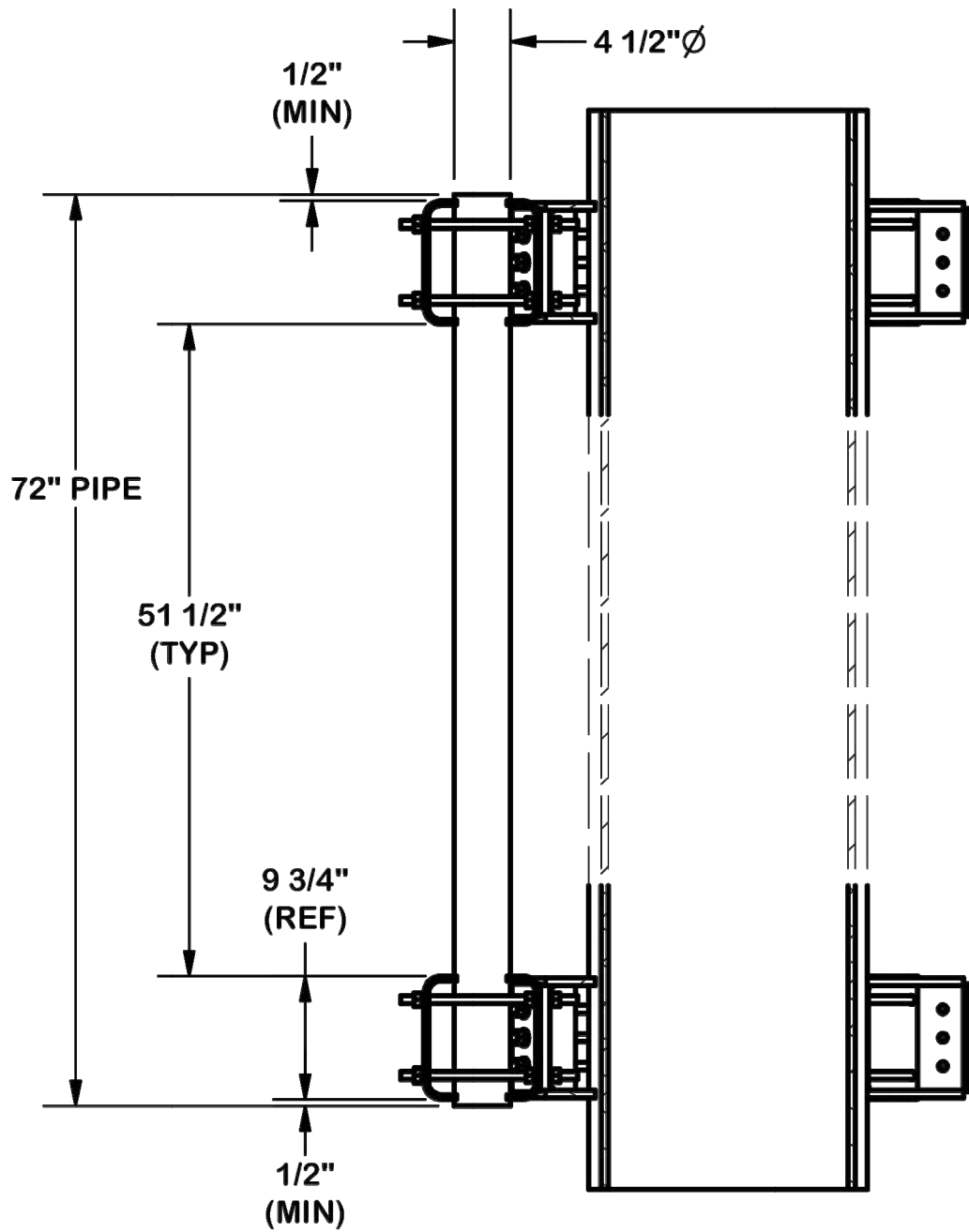
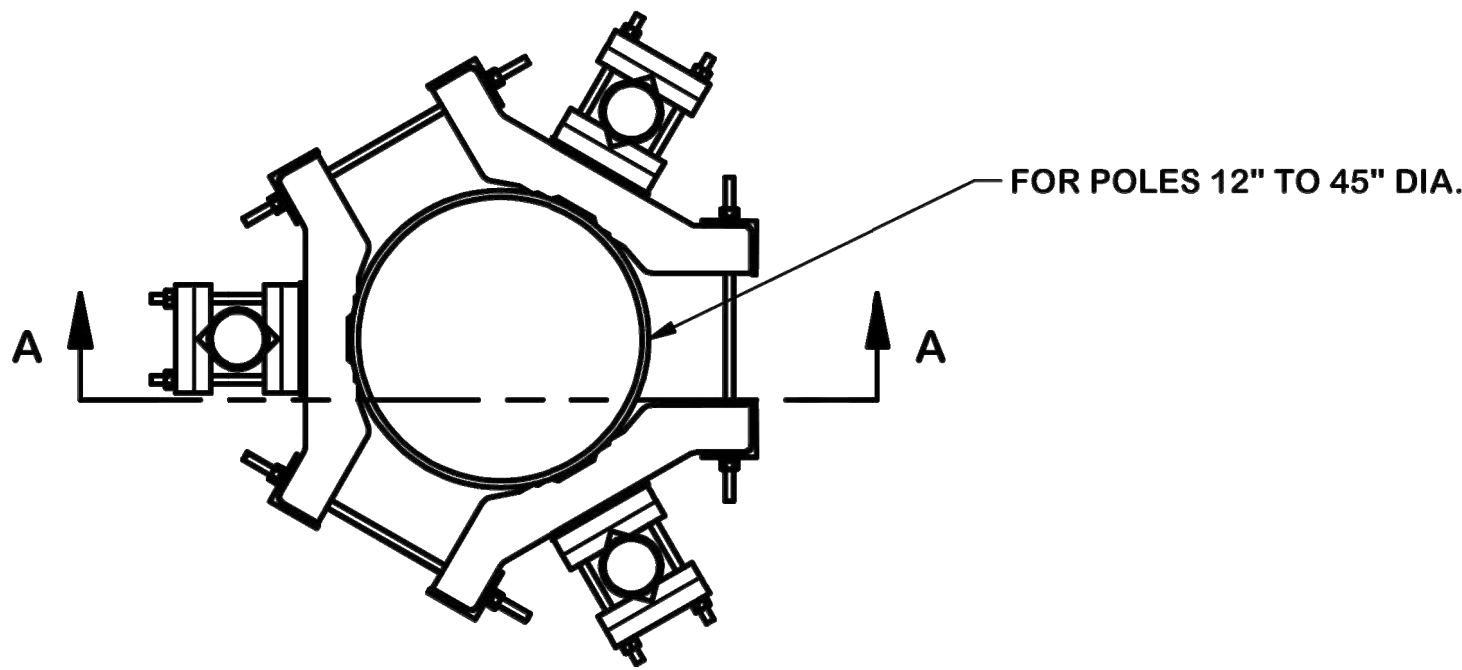
25TMO_08N-004

SHEET DESCRIPTION:

EQUIPMENT DETAILS

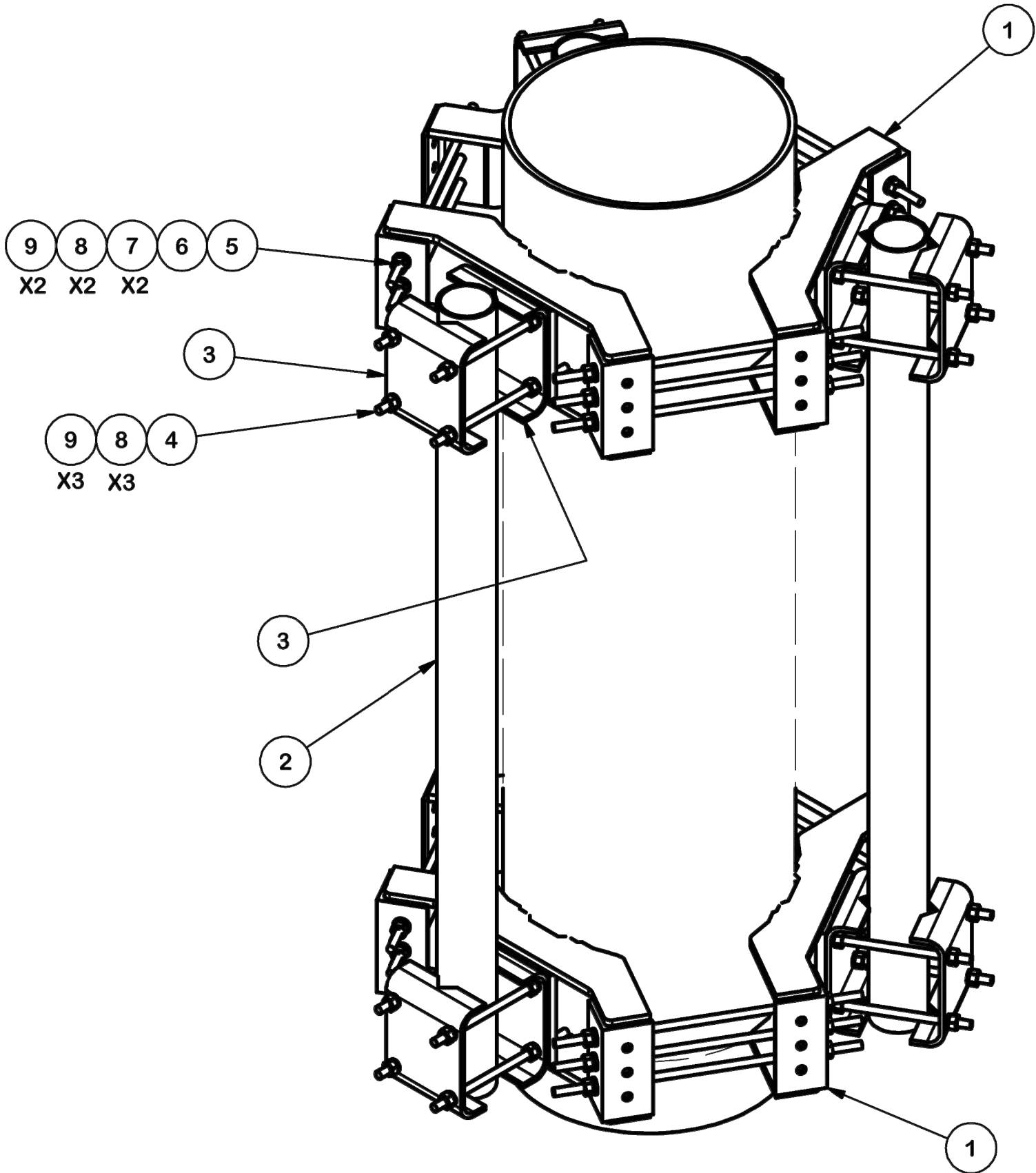
SHEET NUMBER:

A-14.4



SECTION A-A

PARTS LIST						
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT
1	6	X-LWRM	RING MOUNT WELDMENT		68.16	408.96
2	3	P472	4-1/2" X 72" SCH. 40 GALVANIZED PIPE	72 in	64.89	194.68
3	12	X-214130	BENT PLATE V-CLAMP	12 5/8 in	11.43	137.16
4	24	G58R-14	5/8" x 14" THREADED ROD (HDG.)	14 in	0.40	9.57
5	18	G58R-48	5/8" x 48" THREADED ROD (HDG.)	48 in	.55	9.90
6	18	G58R-24	5/8" x 24" THREADED ROD (HDG.)	24 in	.55	9.90
7	36	A58FW	5/8" HDG A325 FLATWASHER		.03	1.08
8	108	G58LW	5/8" HDG LOCKWASHER		0.03	3.24
9	108	A58NUT	5/8" HDG A325 HEX NUT		0.13	14.04
TOTAL WT. #						788.53



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DESCRIPTION

MONOPOLE SECTOR FRAME
ATTACHMENT ASSEMBLY



Engineering
Support Team:
1-888-753-7446

Locations:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, IN
Salem, OR
Dallas, TX

A valmont COMPANY

CPD NO.

DRAWN BY

ENG. APPROVAL

PART NO.

KC8 3/18/2016

3RD PARTY

MSFAA

CLASS

SUB

DRAWING USAGE

CHECKED BY

DWG. NO.

01

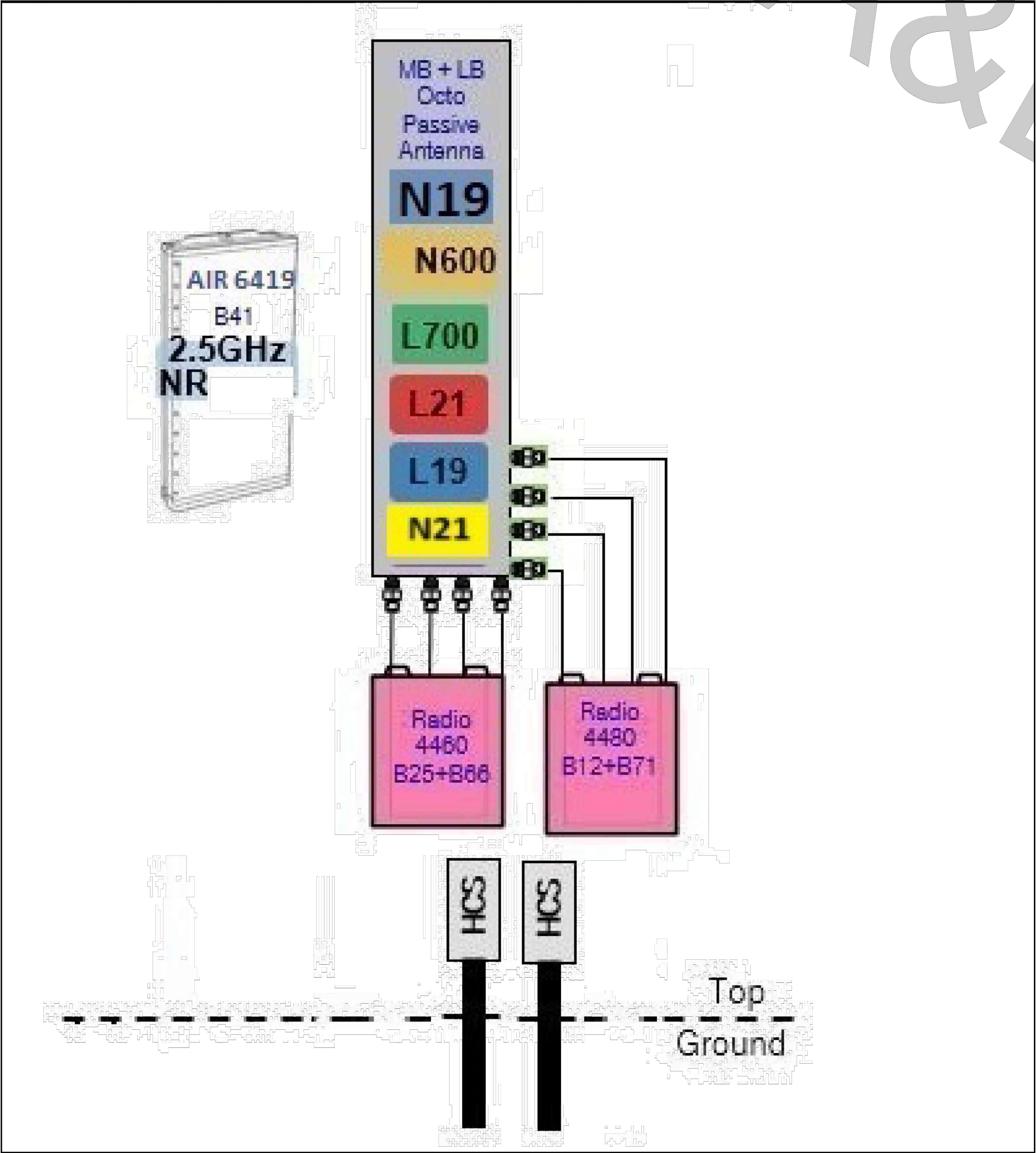
01

CUSTOMER

BMC 5/2/2016

MSFAA

PAGE
1 OF 1



Notes:

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PM&A PROJECT:

25TMO_08N-004

SHEET DESCRIPTION:

PLUMBING DIAGRAM

SHEET NUMBER:

RF-1

GENERAL ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
- CONTRACTOR SHALL OBTAIN OWNER/TENANT SPECIFICATIONS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC UTILITY FOR THE EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND SERVICE ROUTING. CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE UTILITY FOR THE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING.
- PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. PROVIDE MAX AFC SIGNAGE AS REQUIRED PER NEC 110.24 . THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
- CONTRACTOR TO PROVIDE 2-200 LB TEST POLYETHYLENE PULL CORDS SECURELY FASTENED AT EACH END OF POWER AND TELCO CONDUIT. PROVIDE CAPS ON ENDS OF UNUSED CONDUIT.
- CONTRACTOR TO PROVIDE A REBAR MARKER WITH AT LEAST 2 FEET EXPOSED ABOVE GRADE AND PAINTED BRIGHT ORANGE TO INDICATE LOCATION OF CONDUIT CAPPED BELOW GRADE.
- PRIOR TO TRENCHING, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR AT CONTRACTOR'S EXPENSE ANY DAMAGE TO EXISTING UTILITIES.
- CONTRACTOR TO VERIFY EXACT ROUTING OF POWER AND TELCO CONDUIT WITH LOCAL UTILITIES AND OWNER/TENANT. ENSURE ALL CONDUIT STUB-UPS ACCOMMODATE EQUIPMENT REQUIREMENTS.
- UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE. USE SCHEDULE 80 PVC UNDER ROADS. USE LONG-SWEEP RIGID GALVANIZED STEEL (RGS) FOR ELBOWS. USE RGS FOR RISERS TO EQUIPMENT. MANUFACTURED BENDS SHALL HAVE A MINIMUM RADIUS OF 36" FOR CONDUIT .
- CONDUIT RUNS SHALL HAVE A CONTINUOUS SLOPE DOWNWARD AND AWAY FROM THE EQUIPMENT TO ALLOW WATER TO FLOW AWAY FROM THE EQUIPMENT AND SHELTER. EXCAVATE TRENCHES ALONG STRAIGHT LINES PRIOR TO INSTALLING CONDUIT TO ACCOMMODATE ADJUSTING THE ELEVATION , AS NEEDED.
- CONDUIT ENTERING EQUIPMENT SHALL BE SEALED WITH A SEALANT THAT IS IDENTIFIED FOR USE WITH THE CABLE/CONDUCTOR INSULATION, SHIELDING, ETC.
- THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL ADDITIONAL SIGNAGE TO BE LOCATED AT THE COMPOUND FENCE. CONTRACTOR SHALL COORDINATE WITH OWNER/TENANT ECO-SITE CONSTRUCTION MANAGER FOR PLACEMENT OF SIGNAGE.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE LANDSCAPING AREA.
- CONTRACTOR SHALL PROVIDE A LABEL TO READ: "OPENING THE SHELTER DISCONNECT WILL CAUSE THE SHELTER GENERATOR TO START. TO REMOVE POWER ENTIRELY FROM THE SHELTER, THE GENERATOR MUST BE TURNED OFF AND THE GENERATOR BREAKER MUST BE OPENED."
- CONTRACTOR SHALL ENSURE A MINIMUM 3' CLEARANCE IN FRONT OF ELECTRICAL PANELS PER NEC.
- ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE LABEL LISTED BY AN APPROVED THIRD PARTY TESTING AGENCY.
- ALL EQUIPMENT SHALL BE NEMA 3R RATED.
- ALL EQUIPMENT SHALL BE LIGHTNING PROTECTED IN ACCORDANCE WITH TIA-222-G AND T-MOBILE STANDARDS.
- CONDUCTOR SIZES AND DISTANCES HAVE BEEN SIZED FOR 3% MAX VOLTAGE DROP (TOTAL SYSTEM VOLTAGE DROP ON BOTH FEEDERS AND BRANCH CIRCUITS TO THE FARTHEST DEMAND SHALL NOT EXCEED 5%).
- WIRE SIZING AND MAXIMUM DISTANCE FROM GENERATOR TO PPC ASSUMES POWER FACTOR OF 0.9.
- BELOW GRADE CONDUIT SHALL BE SCHEDULE 40 PVC. ABOVE GRADE CONDUIT SHALL BE GALVANIZED RIGID CONDUIT. BELOW GRADE PVC CONDUIT SHALL TRANSITION TO GRC PRIOR TO RISING ABOVE GRADE. ALL BENDS SHALL HAVE A MINIMUM 24" RADIUS. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. VERIFY CONDUIT TYPE WITH LOCAL CONSTRUCTION MANAGER AND ADJUST IF NECESSARY. ALL CONDUIT SHALL MEET NEC, STATE, AND LOCAL CODE REQUIREMENTS AS REQUIRED.

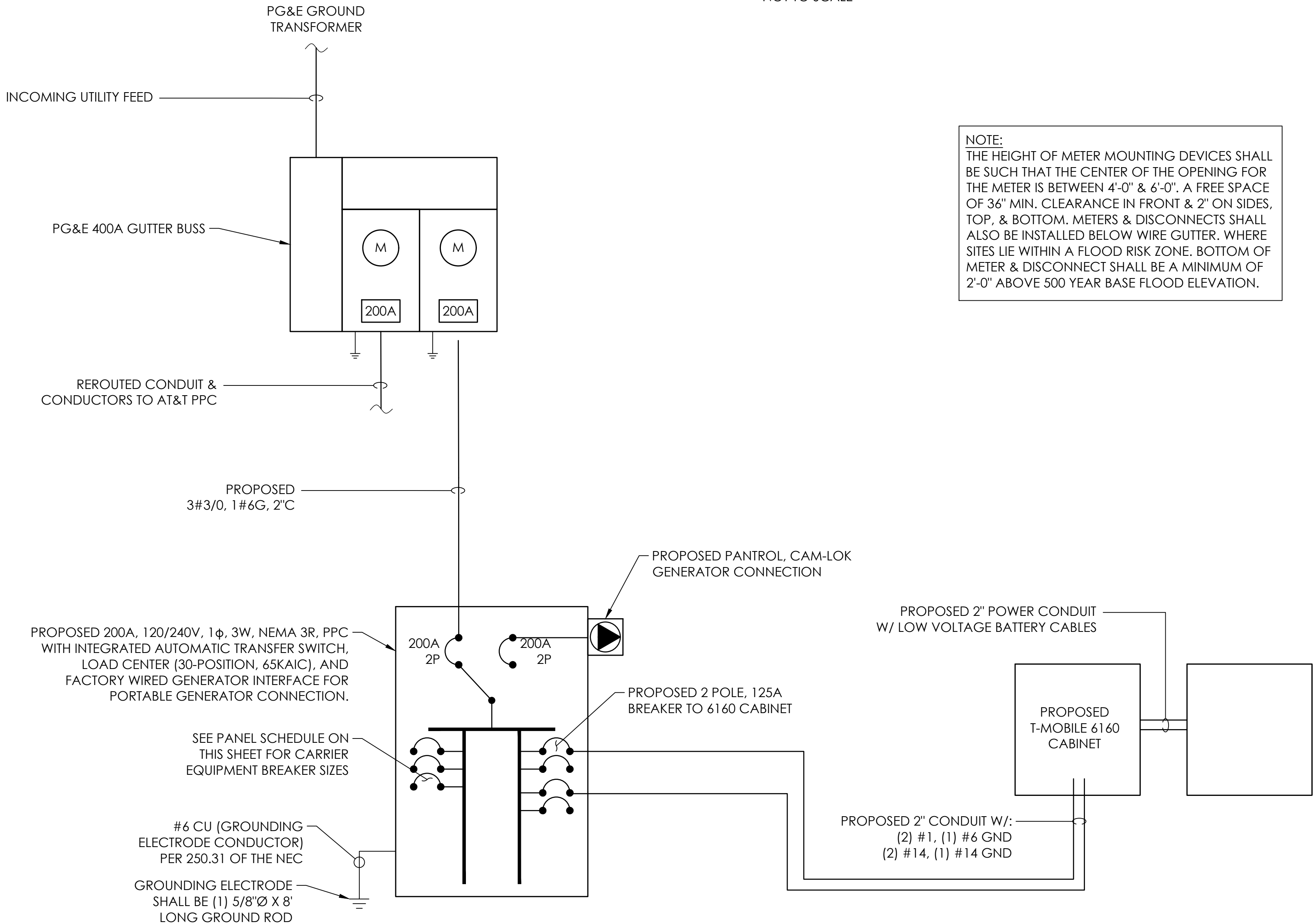
T-MOBILE SITE #:				LOCATION:		VOLTAGE: 240/120 1Ø						ENCLOSURE: NEMA 3R				
SFL0050A				T-MOBILE PLATFORM UTILITY FRAME		MAIN C/B: 200 AMPS						AVAIL. FAULT CURRENT:				
3/7/2025						BUS RATING: 200 AMPS						SHORT CIRCUIT RATING: 65,000				
AMPS/ POLES	WIRE & CONDUIT	TYPE	DESCRIPTION	KVA	CKT	A		B	CKT	KVA	DESCRIPTION	TYPE	WIRE & CONDUIT	AMPS/ POLES		
-	-	EQ	-	0.10	1	8.74			2	8.64	RBS 6160 V2 AC CABINET	EQ	(2) #1, (1) #6 GND, 2" C	125/2		
60/2	(3) #6, (1) #10 GND, 3/4" C	EQ	SURGE	0.10	3			8.74	4	8.64	-	EQ	-	-		
20/2	(2) #12, (1) #12 GND, 1/2" C	R	GFCI	0.18	5	0.36			6	0.18	RBS 6160 GFCI	R	(2) #12, (1) #12 GND, 1/2" C	20/1		
20/2	(2) #12, (1) #12 GND, 1/2" C	L	TECH LIGHT	0.50	7			0.50	8		KNOCKOUT					
			KNOCKOUT		9				10		KNOCKOUT					
			KNOCKOUT		11				12		KNOCKOUT					
			KNOCKOUT		13				14		KNOCKOUT					
			KNOCKOUT		15				16		KNOCKOUT					
			KNOCKOUT		17				18		KNOCKOUT					
			KNOCKOUT		19				20		KNOCKOUT					
			KNOCKOUT		21				22		KNOCKOUT					
			KNOCKOUT		23				24		KNOCKOUT					
			KNOCKOUT		25				26		KNOCKOUT					
			KNOCKOUT		27				28		KNOCKOUT					
			KNOCKOUT		29				30		KNOCKOUT					
PHASE TOTAL						9.1		9.2	KVA							
TOTAL CONNECTED LOAD															18.3 KVA	76 A
TOTAL DEMAND LOAD															22.8 KVA	95 A
NOTES:																
* ALL EQUIPMENT LOADS CONSIDERED CONTINUOUS LOADS																

LOAD TYPE	DESCRIPTION	CONN. LOAD		DEMAND FACTOR	DESIGN LOAD	
		KVA	AMPS		KVA	AMPS
L	LIGHTING	0.5	2.1	1.25	0.6	2.6
R	RECEPTACLE	0.4	1.5	NEC	0.4	1.5
M	MOTOR	0.0	0.0	NEC	0.0	0.0
H	HEATING	0.0	0.0	1.00	0.0	0.0
AC	HVAC	0.0	0.0	1.00	0.0	0.0
EQ	EQUIPMENT	17.5	72.8	1.25	21.9	91.0
E	EXISTING	0.0	0.0	1.25	0.0	0.0

* ALL EQUIPMENT LOADS CONSIDERED CONTINUOUS LOADS

PANEL SCHEDULE

NOT TO SCALE



ONE-LINE DIAGRAM, PANEL SCHEDULE & LOAD ANALYSIS

1

NOT TO SCALE

PLANS PREPARED FOR:



PLANS PREPARED BY:



P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:



MLA PARTNER:

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SHEET DESCRIPTION:

ONE-LINE DIAGRAM
& PANEL SCHEDULE

SHEET NUMBER:

E-1

GROUNDING KEY NOTES:

- 1
- #2 AWG BARE TINNED SOLID COPPER GROUND RING BURIED 30" BELOW GRADE (TYP).
- 2
- BOND ALL ICE BRIDGE, ICE CANOPY POSTS & H-FRAME POSTS TO GROUND RING (TYP).
- 3
- PROPOSED GROUND BAR.
- 4
- PROPOSED #2 AWG STRANDED GREEN INSULATED COPPER WIRE FROM PROPOSED EQUIPMENT TO GROUND RING. GROUND EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
- 5
- GROUND EQUIPMENT CABINET PER MANUFACTURER'S SPECIFICATIONS.
- 6
- BOND EACH ICE BRIDGE SECTION TOGETHER WITH JUMPERS (TYP. FOR ENTIRE LENGTH OF ICE BRIDGE). BOND FIRST AND LAST SECTION TO GROUND BAR.
- 7
- BOND GROUND BAR TO GROUND RING WITH #2 AWG SOLID BARE TINNED COPPER WIRE.
- 8
- PROPOSED GROUND ROD (TYP).
- 9
- PROPOSED GROUND ROD WITH INSPECTION WELL (TYP).
- 10
- BOND PROPOSED GROUND RING TO EXISTING MAIN GROUND RING.
- 11
- BOND ALL PROPOSED TECH LIGHTS TO GROUND RING.
- 12
- GROUND POWER METER PER NEC AND LOCAL UTILITY SPECIFICATIONS
- 13
- GROUND POWER DISCONNECT SWITCH AS REQUIRED BY NEC AND LOCAL UTILITY SPECIFICATIONS

GROUNDING LEGEND

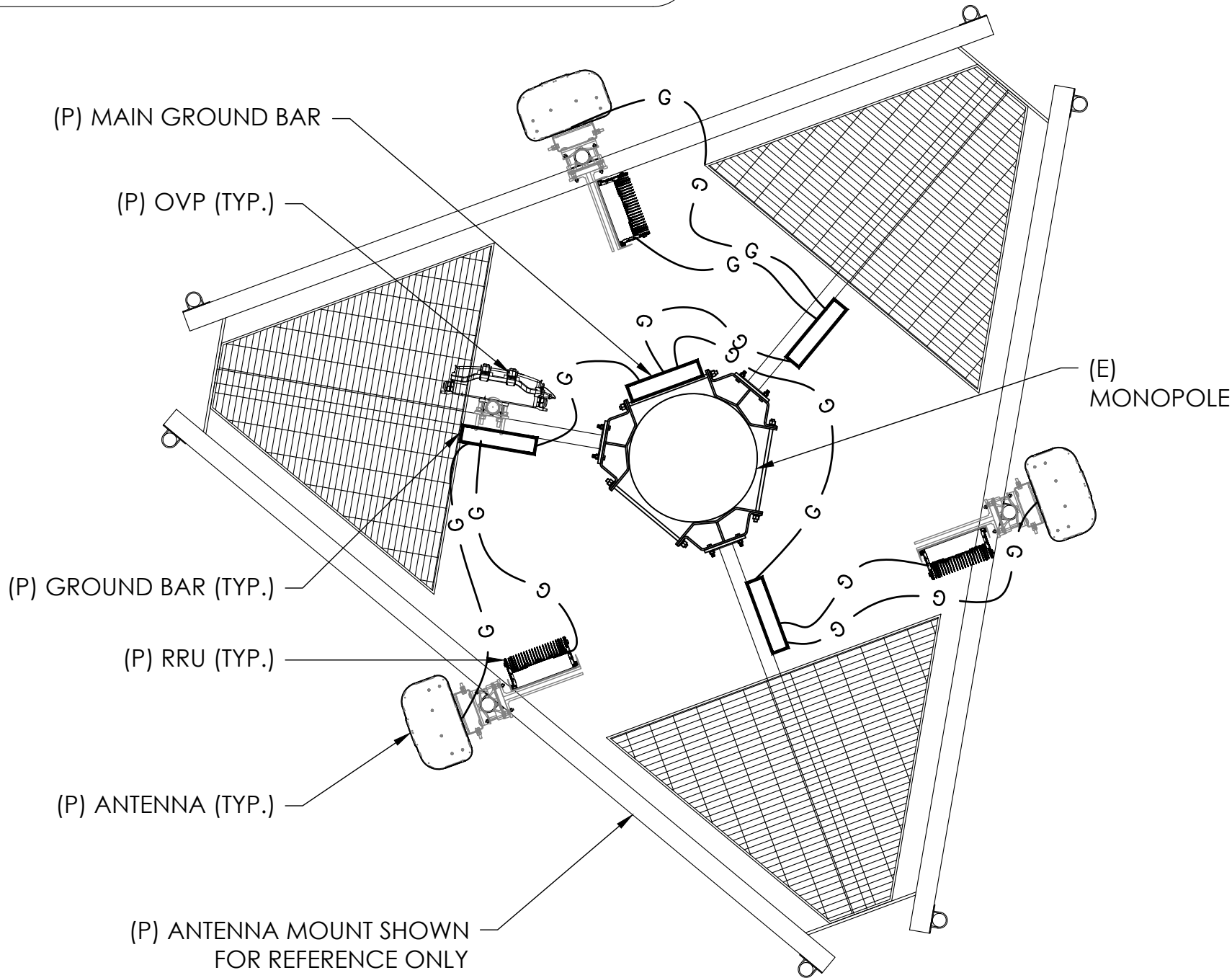
MECHANICAL CONNECTION

G

G

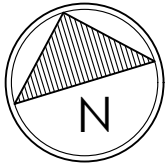
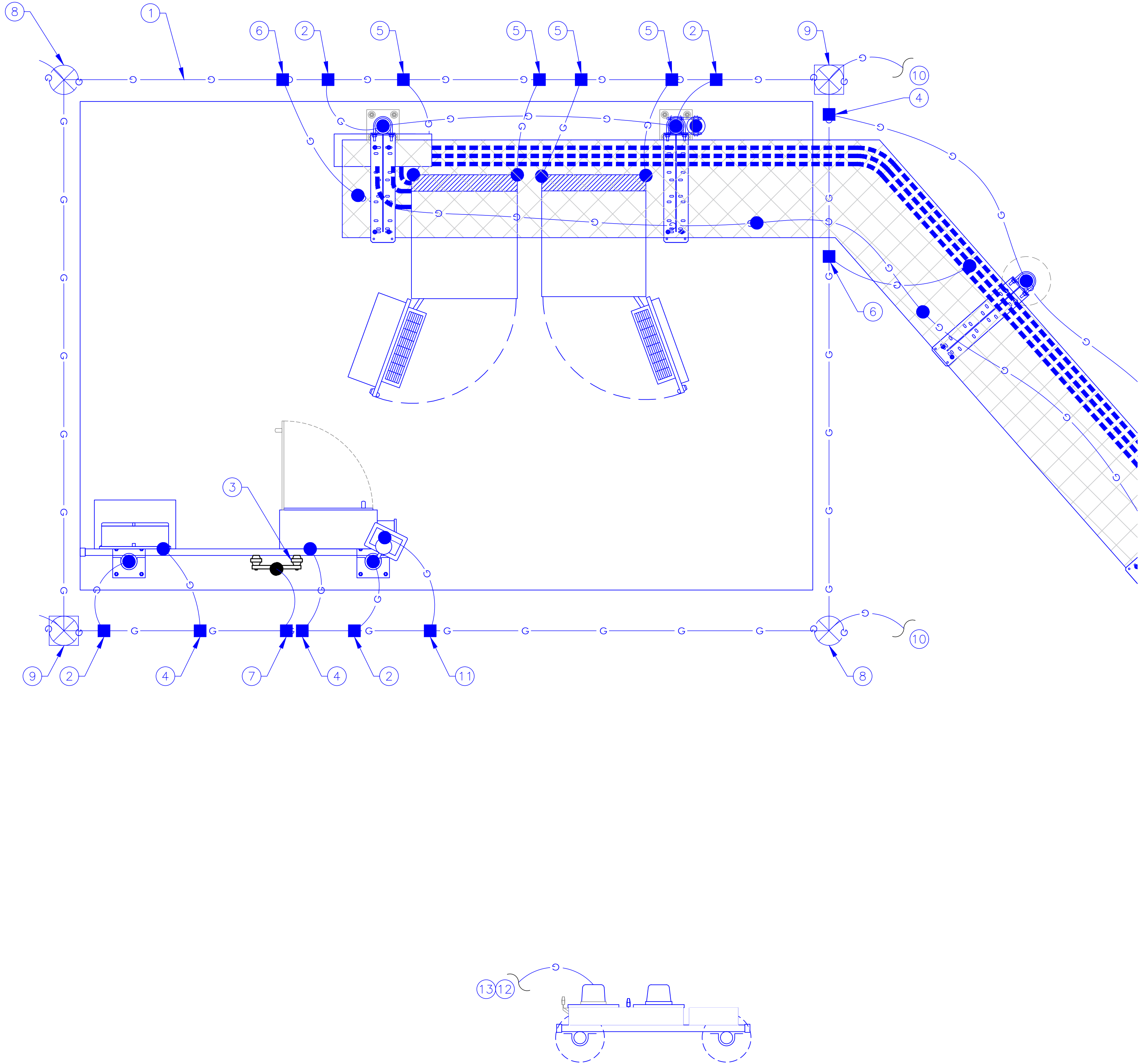
#6 AWG STRANDED & INSULATED

GROUND BUS BAR



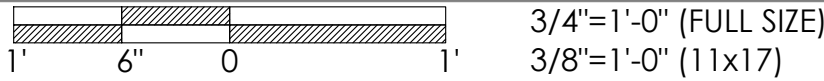
TYPICAL ANTENNA GROUNDING

1



GROUNDING PLAN

2



3/4"=1'-0" (FULL SIZE)
3/8"=1'-0" (11x17)

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KING CITY, CA 93930

PM&A PROJECT:

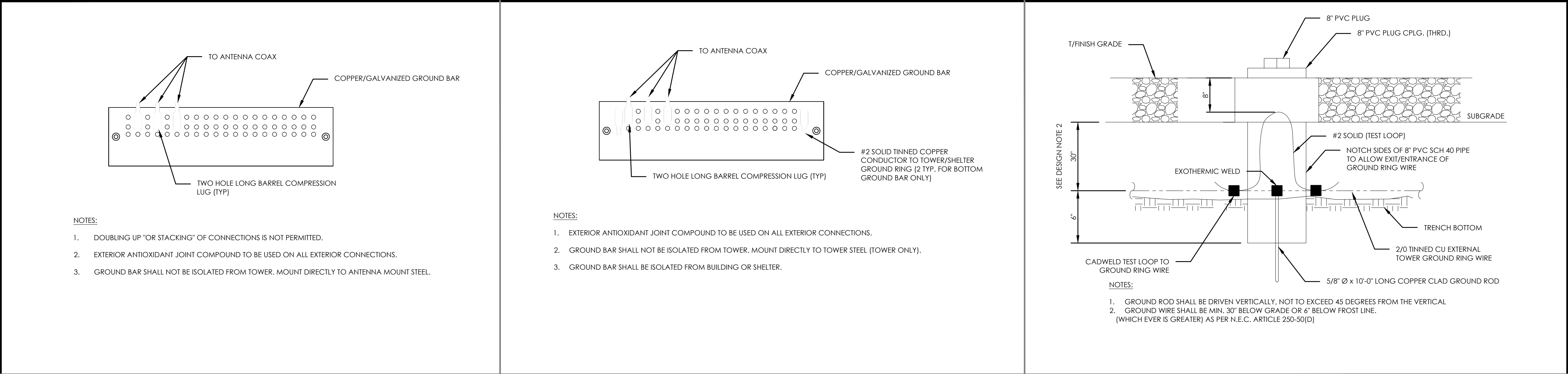
25TMO_08N-004

SHEET DESCRIPTION:

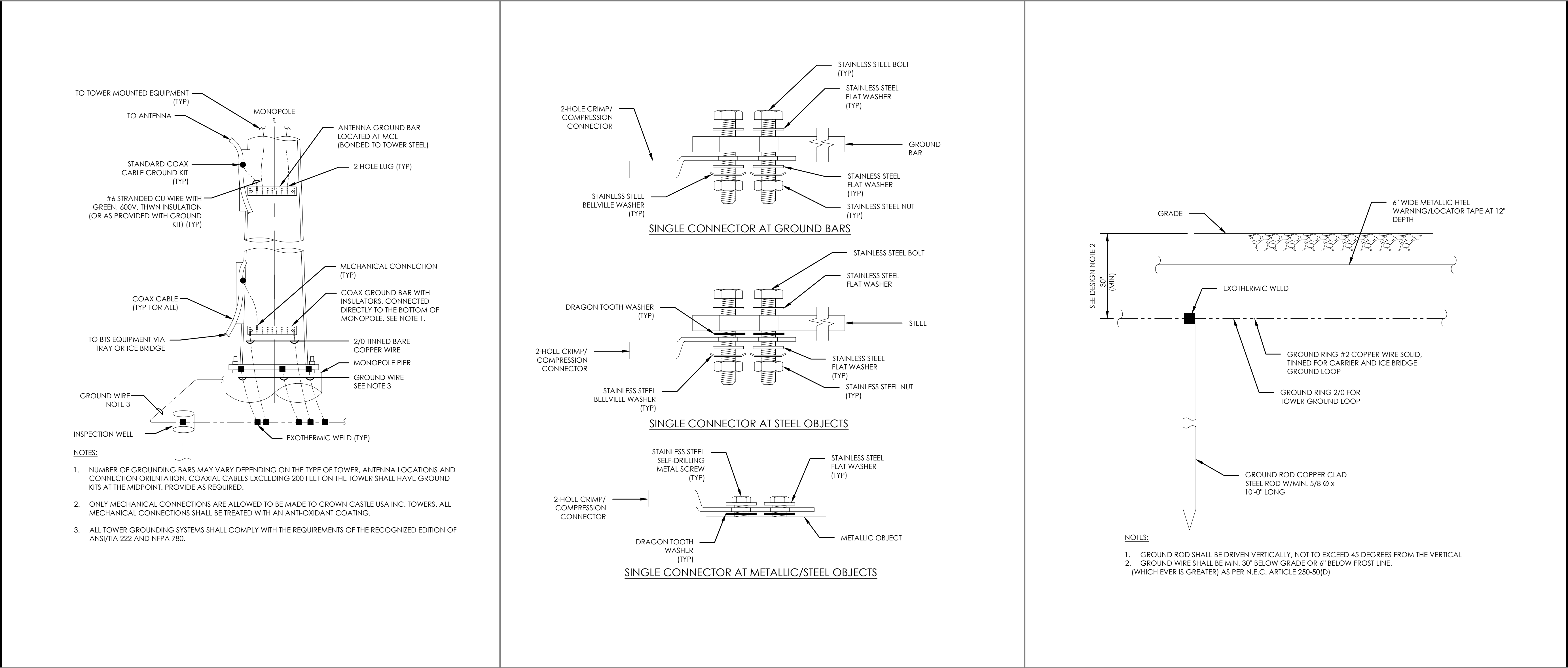
**ELECTRICAL
GROUNDING PLAN**

SHEET NUMBER:

E-3



ANTENNA SECTOR GROUND BAR DETAIL	1	TOWER/SHELTER GROUND BAR DETAIL	2	INSPECTION WELL DETAIL	3
NOT TO SCALE		NOT TO SCALE		NOT TO SCALE	



TYPICAL ANTENNA CABLE GROUNDING	4	HARDWARE DETAIL FOR EXTERIOR CONNECTIONS	5	GROUND ROD DETAIL	6
NOT TO SCALE		NOT TO SCALE		NOT TO SCALE	

PLANS PREPARED FOR:
T-Mobile
1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:
PM&A
P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:
NETWORK CONNEX

MLA PARTNER:

ENGINEERING SEAL:
ISSUED FOR REVIEW

DRAWING NOTICE:
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REVISIONS:

DESCRIPTION	DATE	BY	REV
PRELIMINARY	03/07/2025	DAD	A
PRELIMINARY	05/14/2025	SM	B
PRELIMINARY	06/06/2025	SM	C

SITE NAME:
AT&T: KING CITY

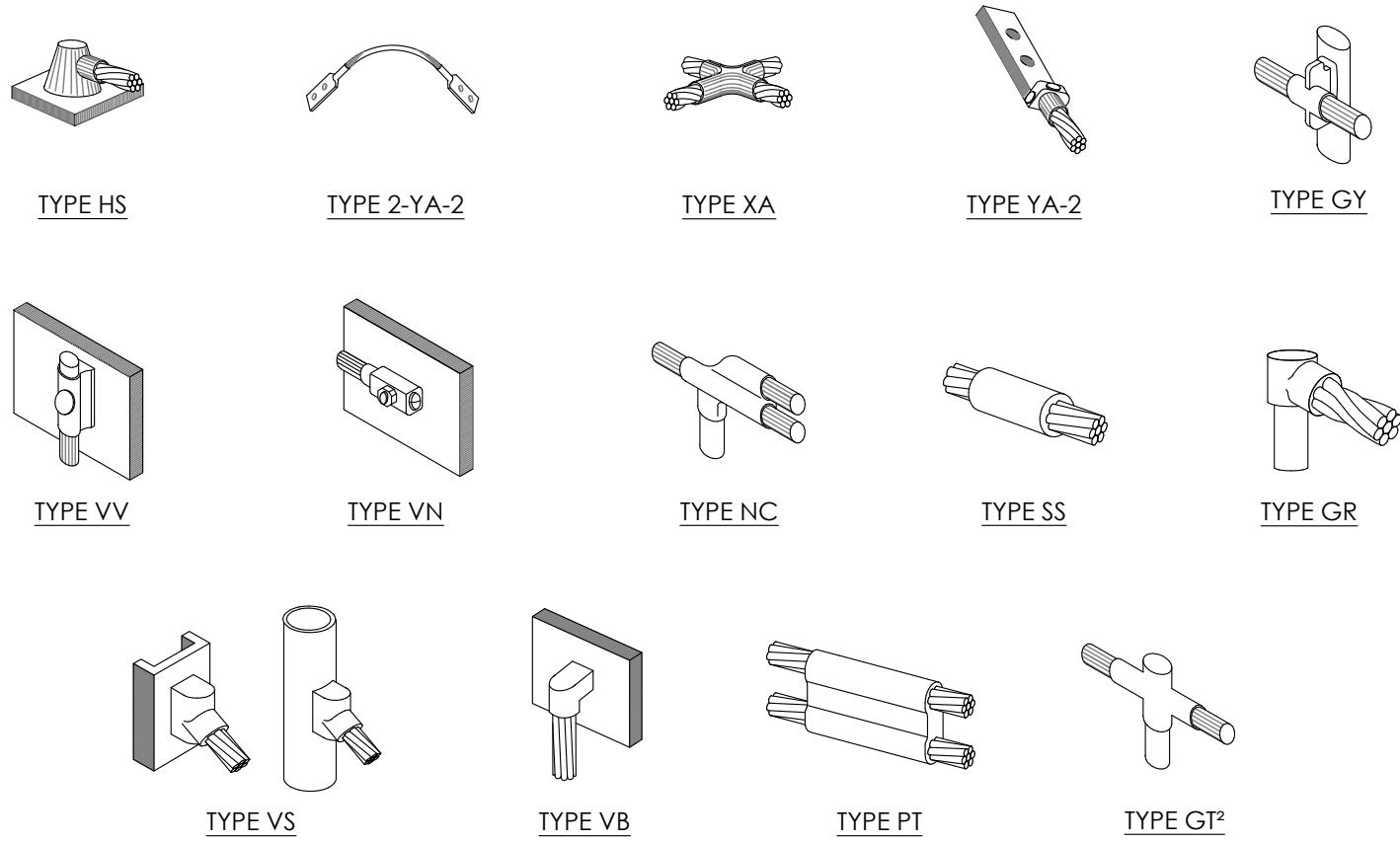
SITE NUMBER:
SFL0050A

SITE ADDRESS:
**51950 PINE CANYON RD
KING CITY, CA 93930**

PM&A PROJECT:
25TMO_08N-004

SHEET DESCRIPTION:
GROUNDING DETAILS

SHEET NUMBER:
E-4

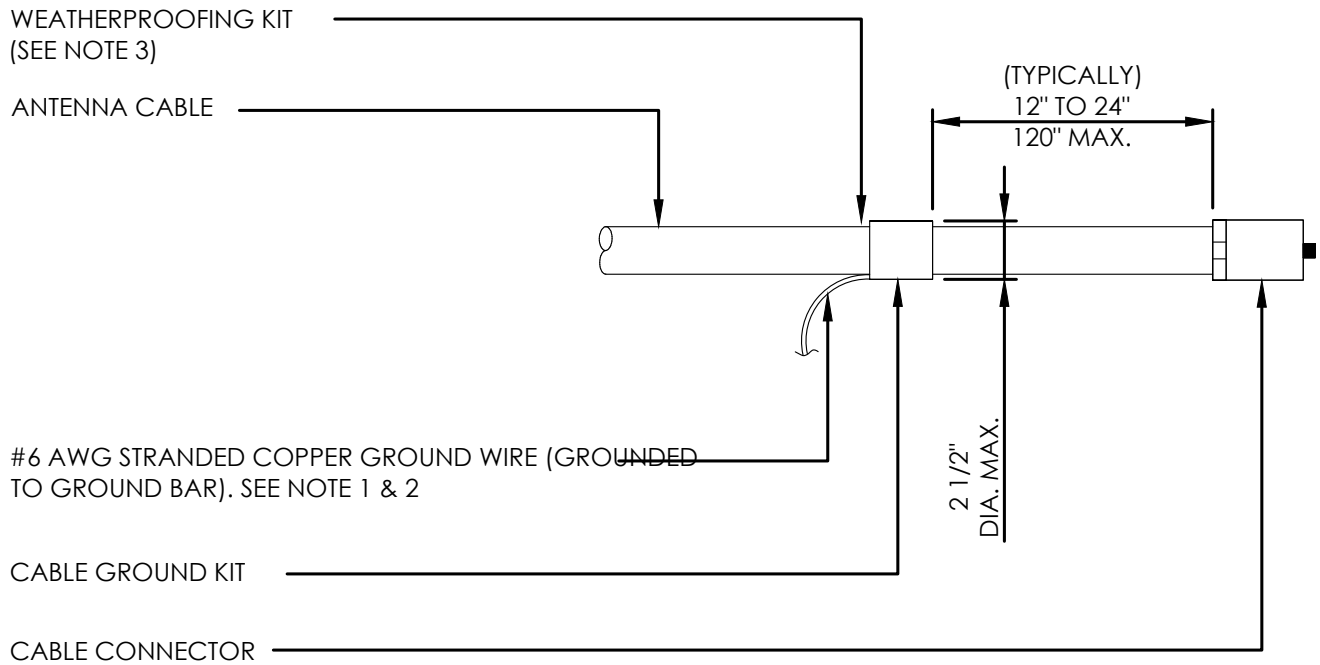


- NOTE:
1. ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH CONSTRUCTION MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.
 2. MOLD TYPE ONLY TO BE USED BELOW GRADE WHEN CONNECTING GROUND RING TO GROUND ROD.

CADWELD GROUNDING CONNECTIONS

1

NOT TO SCALE

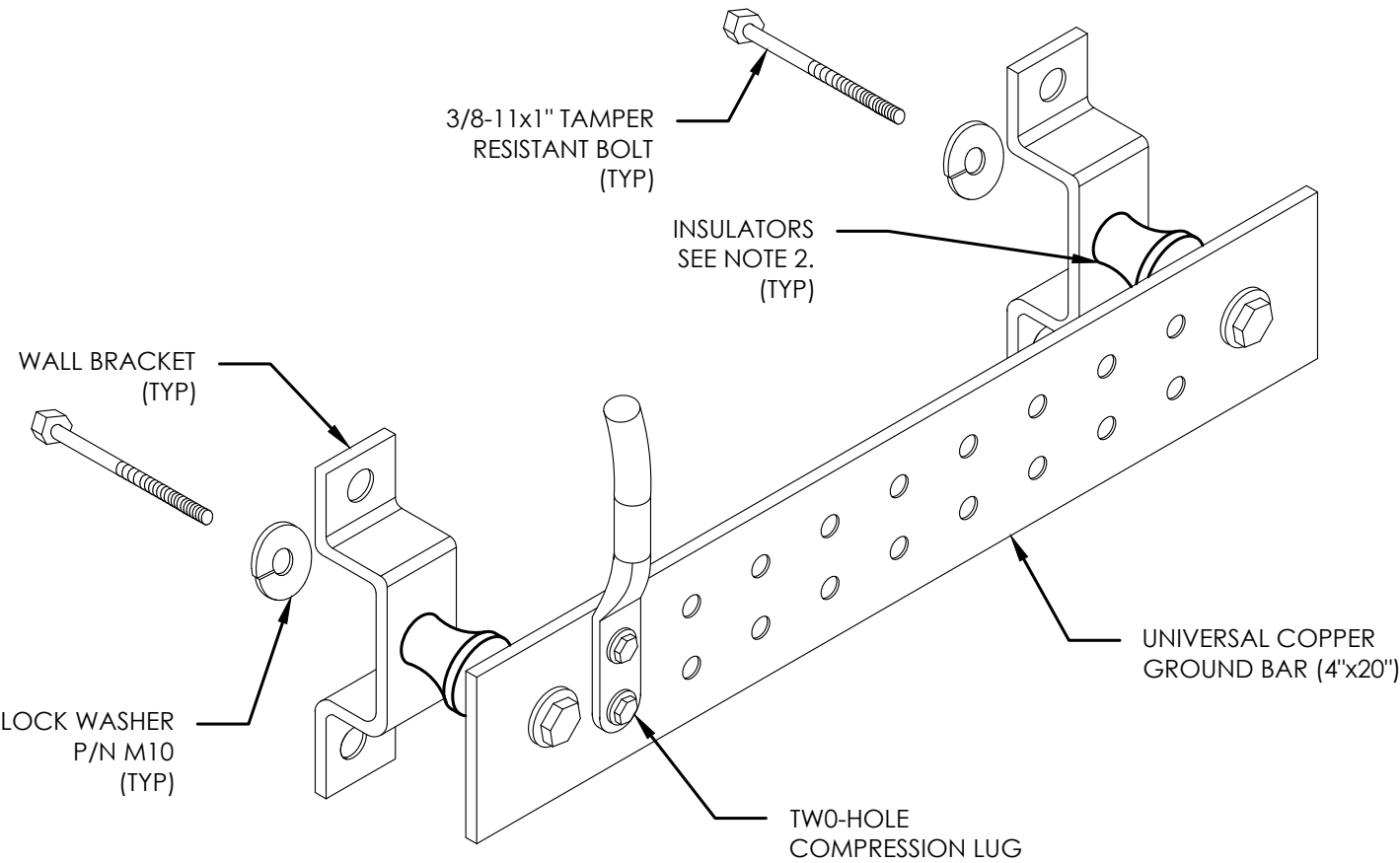


- NOTES:
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
 3. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.

CABLE GROUND KIT CONNECTION

3

NOT TO SCALE

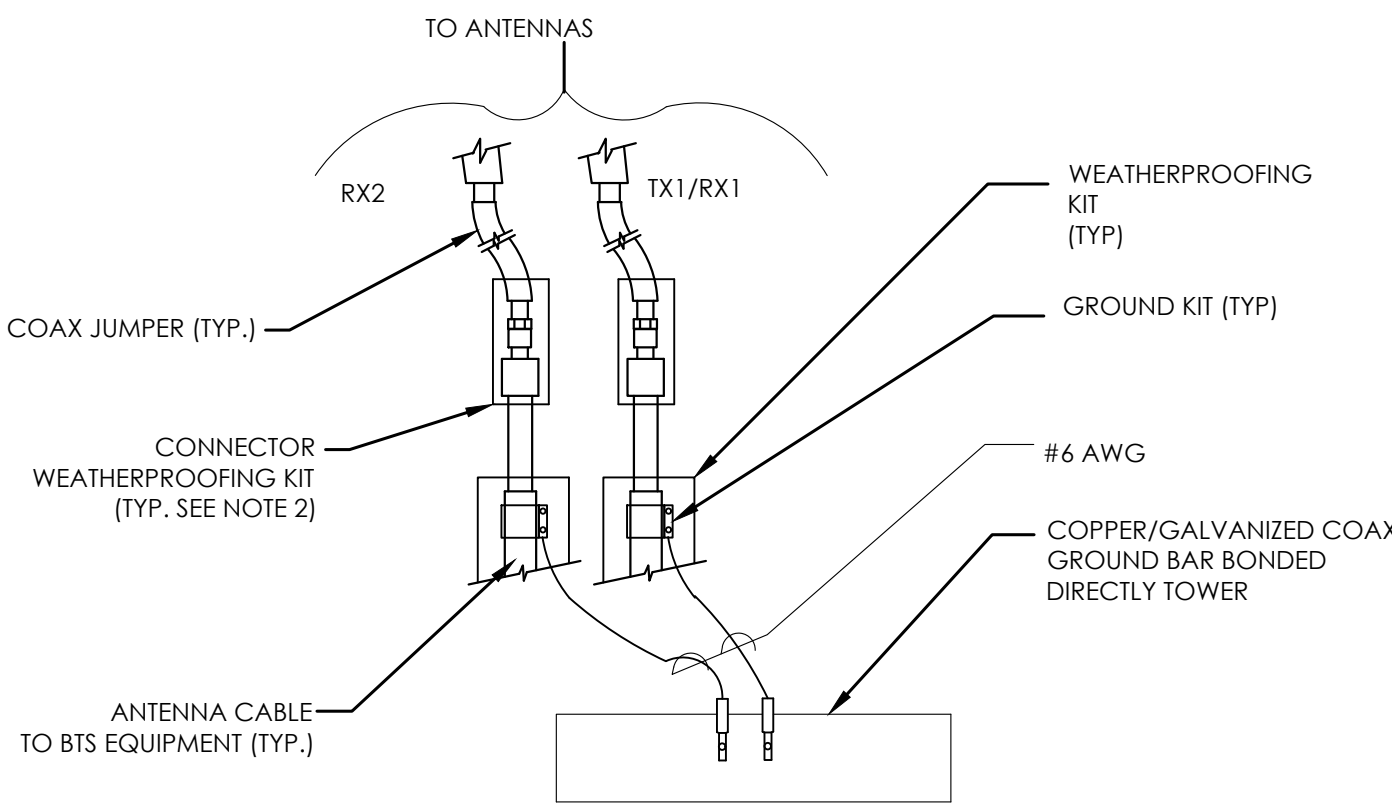


- NOTES:
1. DOWN LEAD (HOME RUN) CONDUCTORS ARE NOT TO BE INSTALLED ON CROWN CASTLE USA INC. TOWER. PER THE GROUNDING DOWN CONDUCTOR POLICY GAS-STD-10091. NO MODIFICATION OR DRILLING TO TOWER STEEL IS ALLOWED IN ANY FORM OR FASHION, CAD-WELDING ON THE TOWER AND/OR IN THE AIR ARE NOT PERMITTED.
 2. OMIT INSULATOR WHEN MOUNTING TO TOWER STEEL OR PLATFORM STEEL. USE INSULATORS WHEN ATTACHING TO BUILDING OR SHELTERS.

GROUND BAR DETAIL

6

NOT TO SCALE

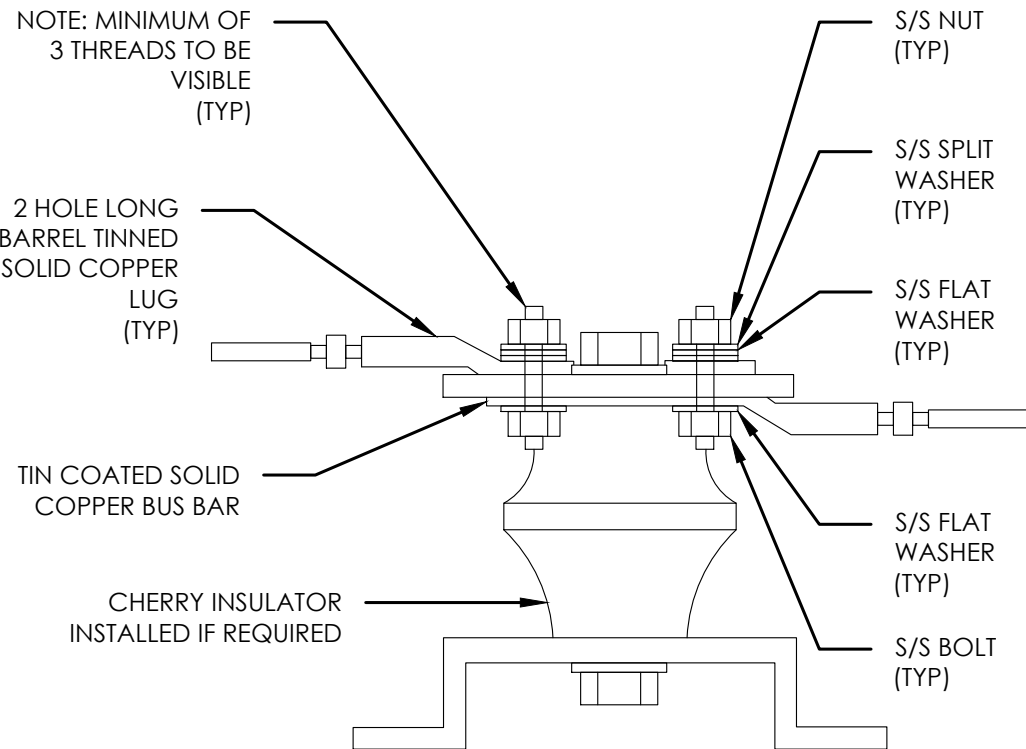


- NOTES:
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
 2. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

GROUND CABLE CONNECTION

4

NOT TO SCALE

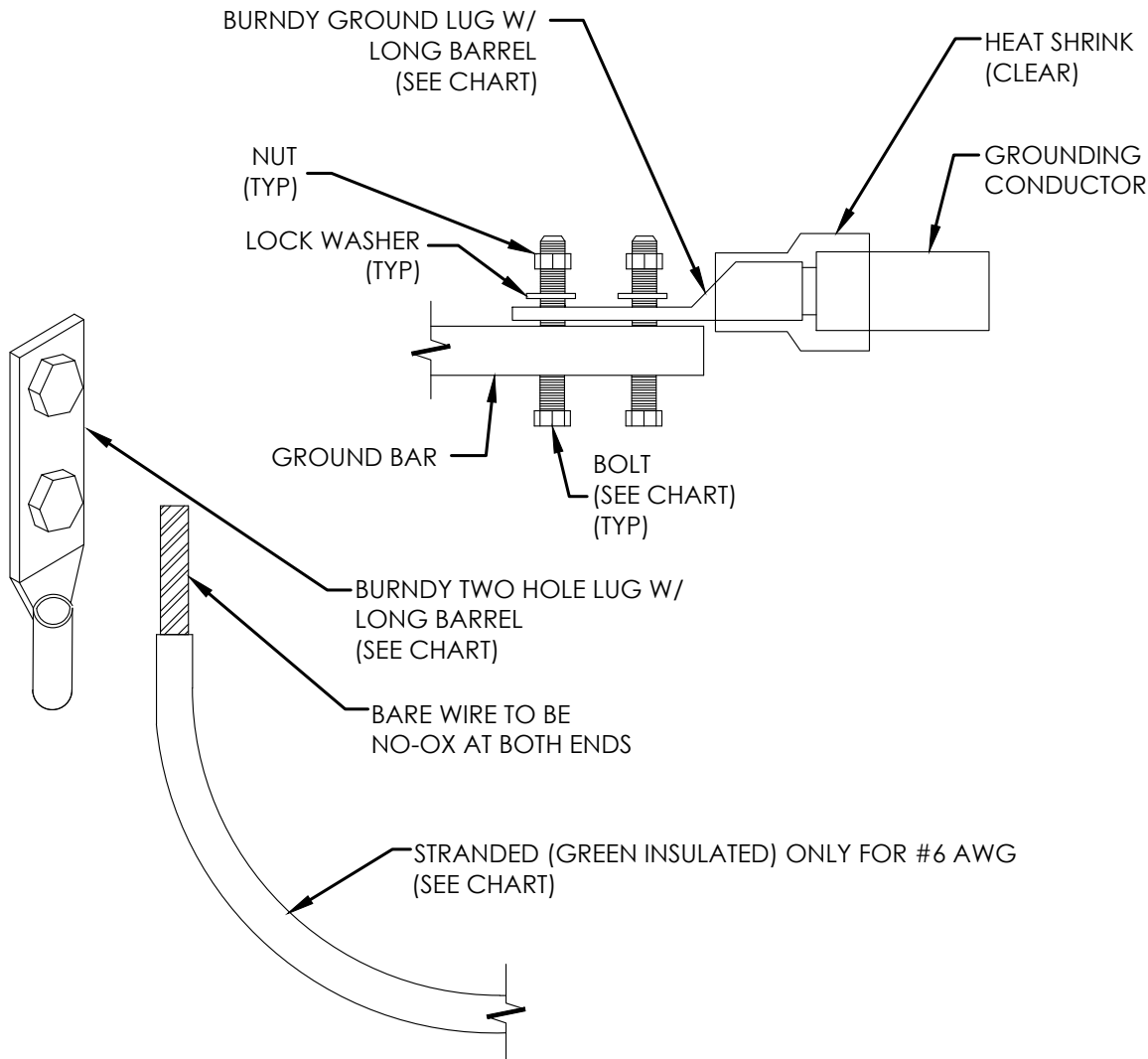


LUG DETAIL

7

NOT TO SCALE

WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINNED	YA3C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA26-2TC38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA28-2N	1/2" - 16 NC S 2 BOLT

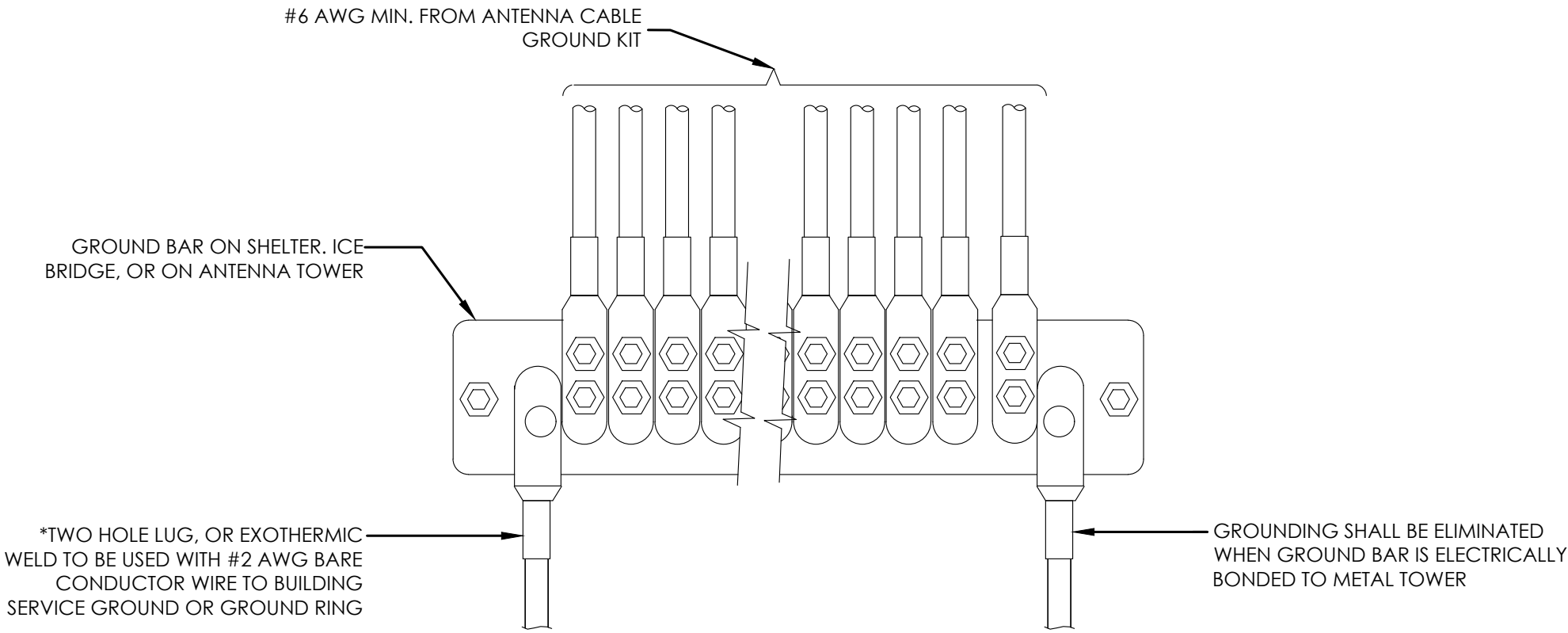


- NOTES:
1. ALL GROUNDING LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.

MECHANICAL LUG CONNECTION

2

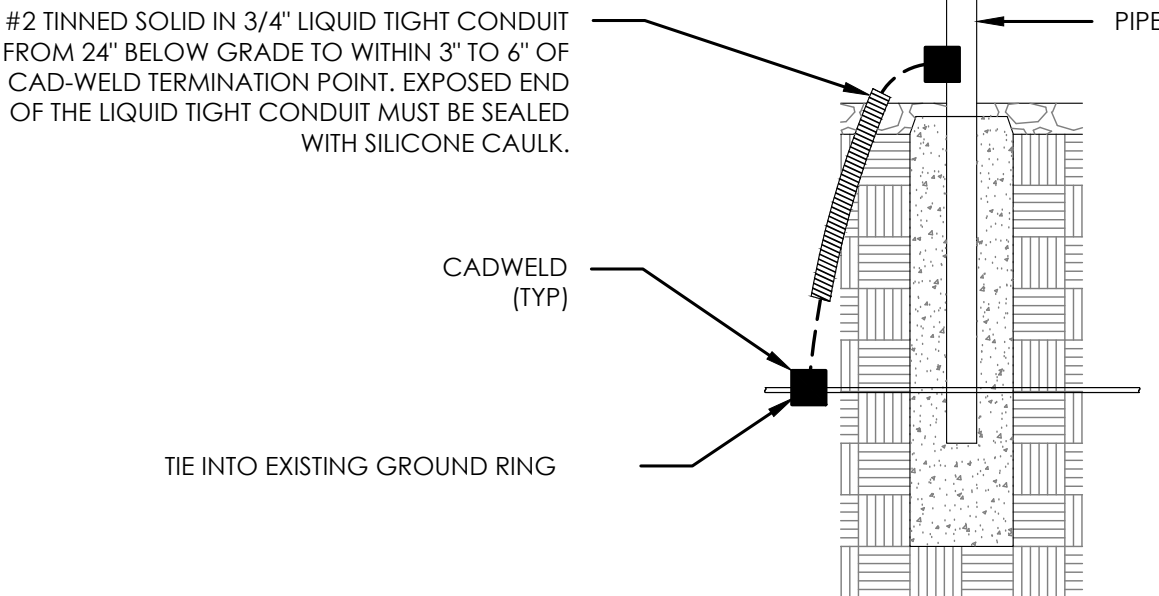
NOT TO SCALE



GROUND WIRE INSTALLATION

5

NOT TO SCALE



TRANSITIONING GROUND DETAIL

8

NOT TO SCALE

PLANS PREPARED FOR:

T-Mobile

1200 CONCORD AVENUE SUITE 500
CONCORD CA 94520

PLANS PREPARED BY:

PM&A

P. MARSHALL & ASSOCIATES
6801 PORTWEST DR., SUITE 100
HOUSTON, TX 77024

OEM:

NETWORK CONNEX

MLA PARTNER:

ENGINEERING SEAL:

ISSUED FOR REVIEW

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REVISIONS:	DESCRIPTION	DATE	BY	REV
	PRELIMINARY	03/07/2025	DAD	A
	PRELIMINARY	05/14/2025	SM	B
	PRELIMINARY	06/06/2025	SM	C

SITE NAME:

AT&T: KING CITY

SITE NUMBER:

SFL0050A

SITE ADDRESS:

**51950 PINE CANYON RD
KING CITY, CA 93930**

PM&A PROJECT:

25TMO_08N-004

SHEET DESCRIPTION:

GROUNDING DETAILS

SHEET NUMBER:

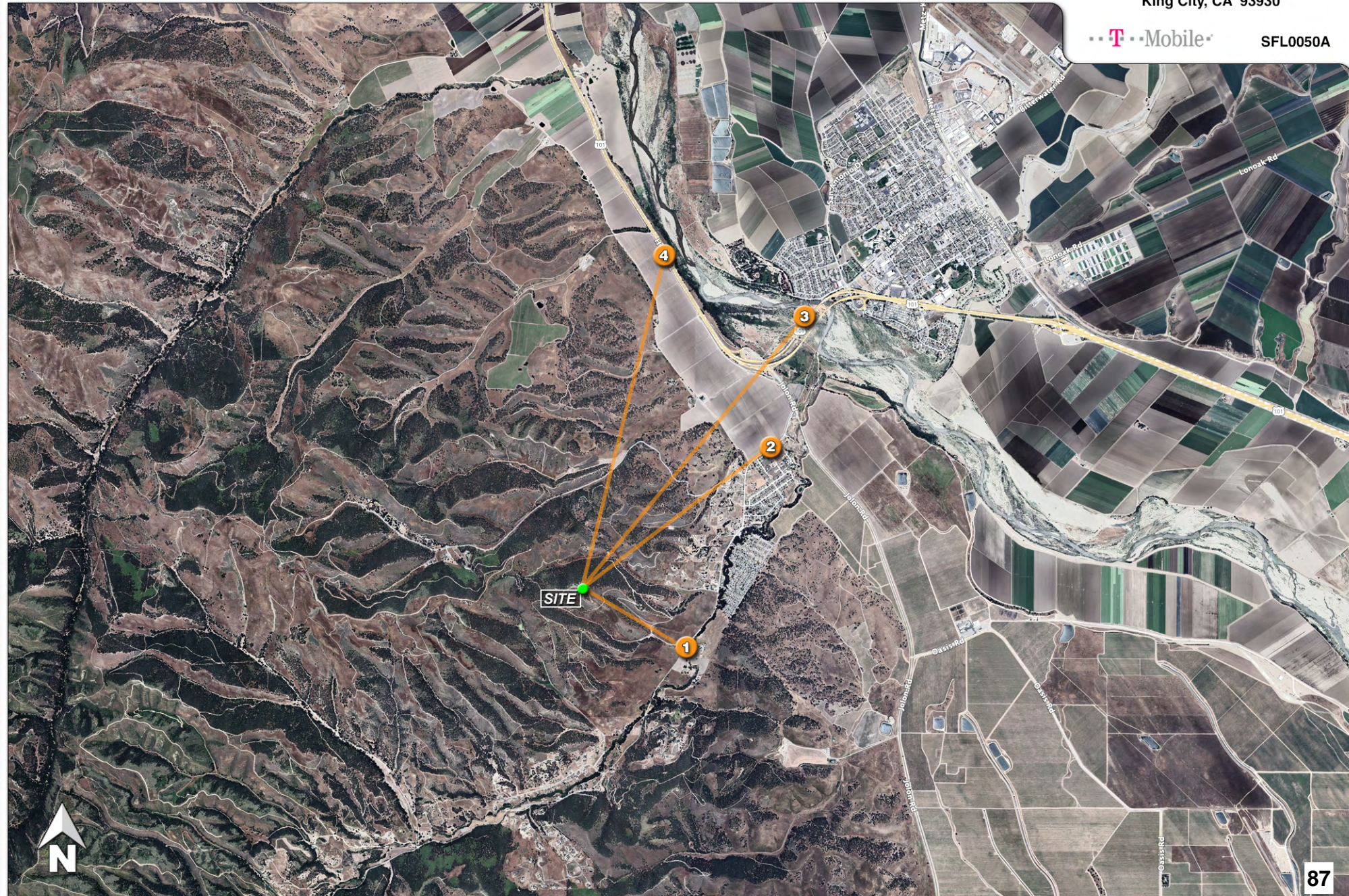
E-5

AT&T: King City51950 Pine Canyon Rd
King City, CA 93930

T-Mobile

SFL0050A

Aerial photograph showing the viewpoints for the photosimulations.



AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930



SFL0050A

Photosimulation of the view from an airborne camera, looking easterly. Not a public vantage point.

Proposed new antennas on an existing tower

Proposed cabinets

Aerial Oblique View

1

Existing tower and antennas to remain in place

Existing

Photosimulation of the view looking northwest from the access gate and nearest public road to the site.

AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930

..T..Mobile

SFL0050A

Proposed new antennas on an existing tower

Proposed

89

2

Existing tower and antennas to remain in place

Existing

Photosimulation of the view looking southwest along Pine Canyon Road, just west of Jolon Road.

AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930

..T..Mobile..

SFL0050A

Proposed new antennas on an existing tower

Proposed

90

3

Existing tower and antennas to remain in place

Existing

Photosimulation of the view looking southwest along northbound Hwy 101, crossing over the Salinas River.

AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930

..T..Mobile

SFL0050A

Proposed new antennas on an existing tower

Proposed

91

4

Existing tower and antennas to remain in place

EXIT 283
Fort Hunter Liggett
Jolon Road
1 MILE

Existing

Photosimulation of the view looking southwest along southbound Hwy 101, a mile north of Jolon Road.

AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930

..T..Mobile..

SFL0050A

Proposed new antennas on an existing tower

EXIT 283
Fort Hunter Liggett
Jolon Road
1 MILE

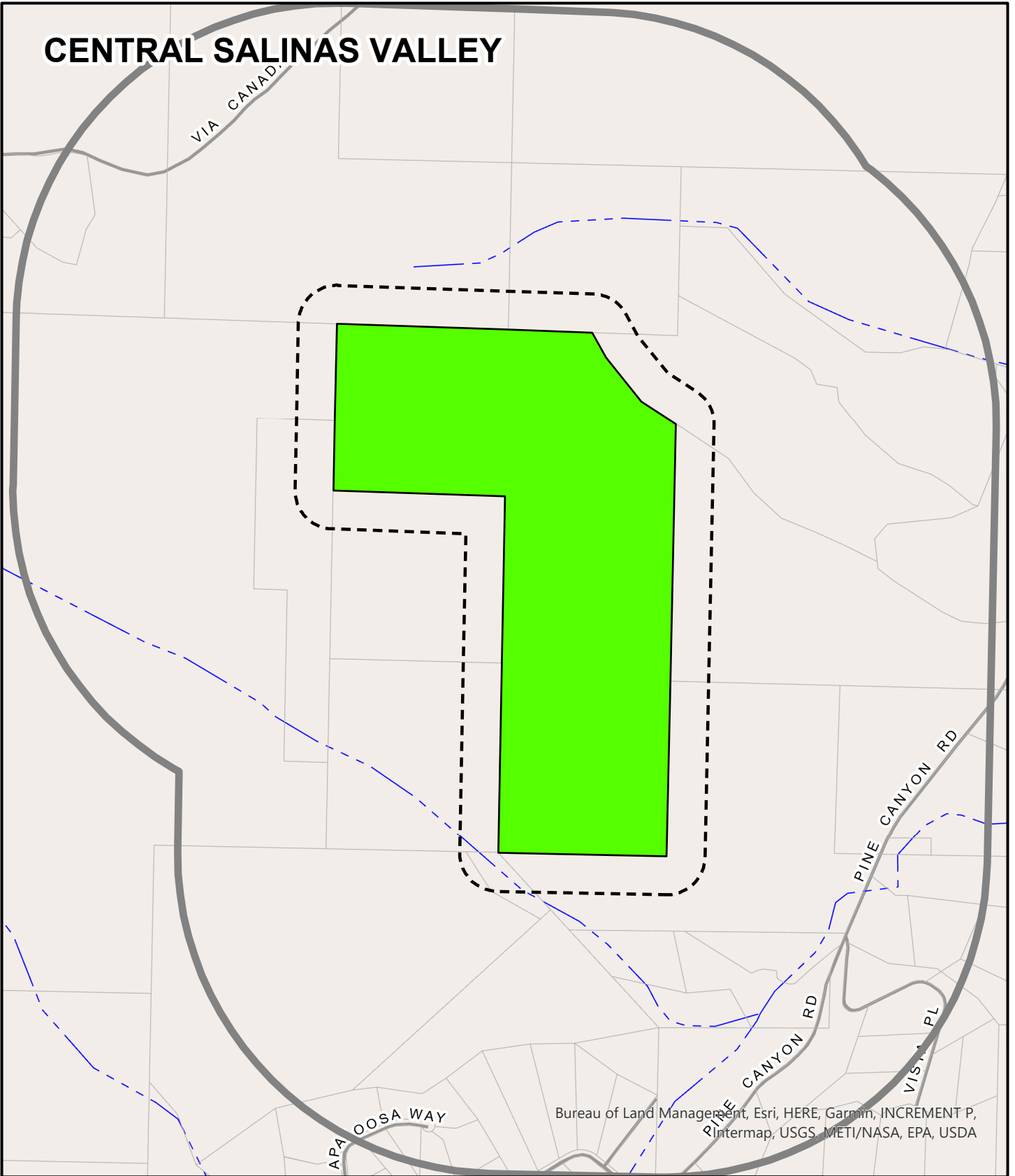
Proposed

92

Exhibit B

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CENTRAL SALINAS VALLEY



APPLICANT: CUERVO HOLDINGS LP (T-MOBILE)

APN: 420071067000

FILE # PLN250162



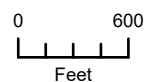
Project Site



300 FT Buffer



2500 FT Buffer



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Exhibit C

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RADIO FREQUENCY - ELECTROMAGNETIC ENERGY (RF-EME) COMPLIANCE REPORT

Report Type: Antenna Modification/Theoretical

FCC COMPLIANT SITE

Site ID: SFL0050A

Site Name: AT&T: King City

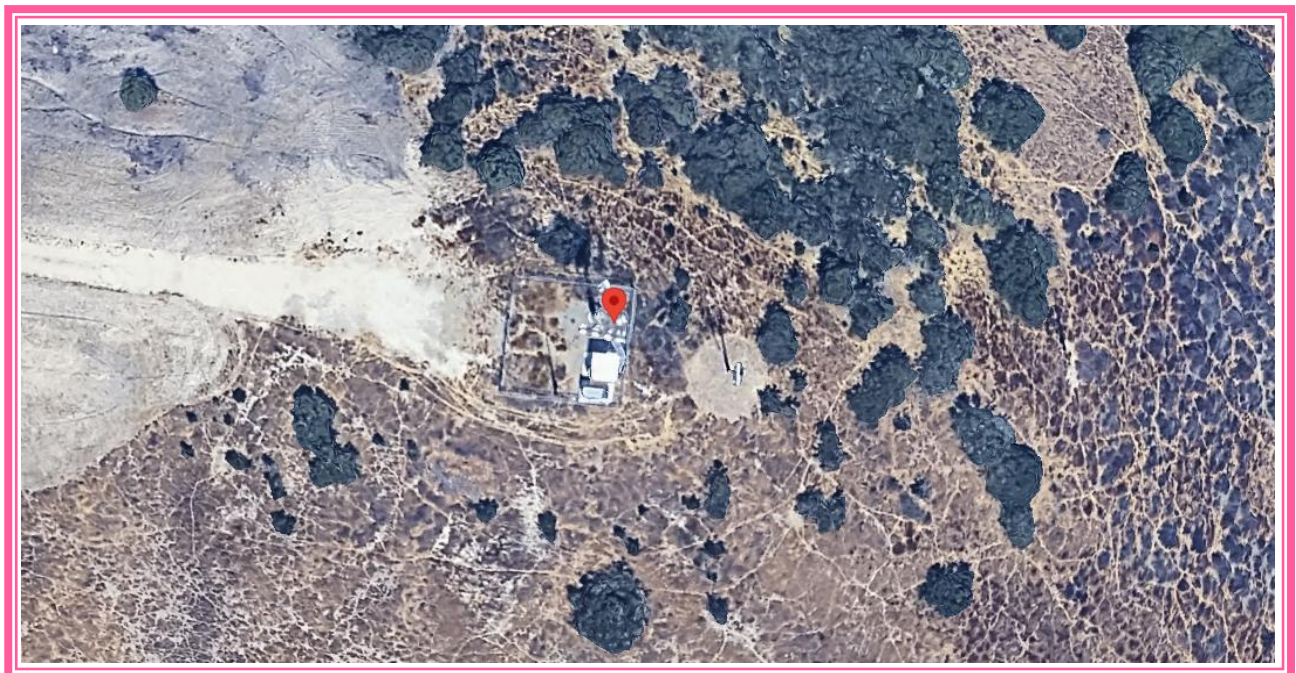
Address: 51950 Pine Canyon Rd. King City, CA 93930

Date of Calculation: October 23, 2025

Date of Report: October 23, 2025

Latitude: 36.1758389 N

Longitude: -121.168914 W



Prepared By:

TABLE OF CONTENTS

1.0	Executive Summary / Report Summary.....	3
2.0	MPE Calculations.....	5
3.0	Antenna Inventory	6
4.0	Federal Communications Commission (FCC) Requirements	8
5.0	Limitations.....	10
6.0	Safety Recommendations	11
7.0	Federal Communications Commission (FCC) Limits.....	12
8.0	Compliance Measures	13
9.0	Summary and Conclusions	16
10.0	Certification	17

1.0 Executive Summary / Report Summary

Purpose of Report

Global Technology Associates (GTA) has been contracted by T-Mobile to conduct radio frequency electromagnetic (RF-EME) modeling for the T-Mobile site **SFL0050A** located at **51950 Pine Canyon Rd. King City, CA 93930** to determine RF-EME exposure levels from existing and proposed T-Mobile wireless communications equipment at this site.

This report summarizes the results of RF-EME modeling to relevant FCC RF-EME compliance standards for limiting human exposure to RF-EME fields. This report contains a detailed summary of the RF-EME analysis for the site.

As described in greater detail in the Section titled **“Federal Communications Commission (FCC) Requirements”** of this report, the Federal Communications Commission (FCC) has developed Maximum Permissible Exposure (MPE) Limits for general population exposures and occupational exposures. This report summarizes the results of RF-EME modeling to relevant FCC RF-EME compliance standards for limiting human exposure to RF-EME fields.

T-Mobile Site Summary			
Site ID	SFL0050A	Street Address	51950 Pine Canyon Rd.
Site Name	AT&T: King City	City, State, Zip	King City, CA 93930
Site Type	monopole	Latitude	36.1758389 N
Classification	general population	Longitude	-121.168914 W
Access Restrictions	controlled	Access Type	locked chain link fence gate
Site Description	all the antennas are mounted on the monopole		
Max Predictive RF-EME at T-Mobile Facility (General Population)	235.4% of FCC's general population limit at the ground level 249.7% of FCC's general population limit at the ground level (Cumulative)		
Max Predictive RF-EME at T-Mobile Facility (General Population)	235.4% of FCC's general population limit at the ground level 249.7% of FCC's general population limit at the ground level (Cumulative)		
Predictive RF-EME Analysis at T-Mobile Facility	The Proposed Antenna Configuration is In Compliance With FCC Rules & Regulations Upon Completion of the GTA Recommendations. All maximum GP radiations are enclosed within the locked fenced area.		

Table 1

A result of over 100% does not make a site out of compliance with FCC guidelines. For predicted EME over 100% of the applicable FCC limit, A mitigation plan (e.g., installation of signages and/or barriers/stripping to prevent the access) is required to consider the site compliant. Areas exceeding the FCC limit are presented with the barriers and appropriate signages. Accessible areas outside the demarcated are the safety zones that have predicted EME values below the FCC's limits. Installation of the recommended mitigation measures ensures that the site remains fully compliant. The prediction model antennas as if they are operating at full power, and this assumption yields a worst-case scenario with more conservative results. On-site measurements may yield different results, as antennas do not always operate at full capacity.

Methodology

The site is to be determined as the compliance is based on theoretical modeling using the RoofView® modeling tool, appropriate RF signage placement recommendations, proposed antenna inventory as provided by T-Mobile in the construction drawings, and the type & level of restricted access to the antennas at the site.

Compliance Statement

T-Mobile's operation at **51950 Pine Canyon Rd. King City, CA 93930** will comply with FCC rules and regulations upon completion of recommendations that include the installation of appropriate RF Safety Signages and/or Barriers as described in Section 8.

Actions for Site Compliance

Based on common industry practice and our understanding of FCC and OSHA requirements, this section provides a statement of recommendations for site compliance. If required, RF alert signage recommendations have been proposed based on theoretical analysis of MPE levels. Where applicable, barriers can consist of locked doors, fencing, railing, rope, chain, paint striping, or tape, combined with RF alert signage.

T-Mobile will be compliant when the following changes are implemented:

T-Mobile proposed Access Point Location

Ensure that 1 Guideline, 1 Information & 1 Notice signs are installed at the Access Point location, as depicted in the site map in the later sections of the report.

T-Mobile proposed Alpha Sector Location

1 Notice sign & 1 Caution sign on the sector as depicted in the site map in the later sections of the report. There is no need to install Barrier & Chain/Striping/Tapes enclosing this sector.

T-Mobile proposed Beta Sector Location

1 Notice sign & 1 Caution sign on the sector as depicted in the site map in the later sections of the report. There is no need to install Barrier & Chain/Striping/Tapes enclosing this sector.

T-Mobile proposed Gamma Sector Location

1 Notice sign & 1 Caution sign on the sector as depicted in the site map in the later sections of the report. There is no need to install Barrier & Chain/Striping/Tapes enclosing this sector.

T-Mobile proposed Equipment/BTS Location

Ensure that 1 Guideline, 1 Information & 1 Notice signs are installed at the Equipment/BTS location, as depicted in the site map in the later sections of the report.

2.0 MPE Calculations

For this MPE predictive analysis, GTA considered the area around the accessible areas of the T-Mobile antennas on the site to determine EME field strength levels for the FCC's human exposure limits. Further, GTA has identified any areas with higher levels exceeding FCC MPE limits and then determined spatially averaged field levels in areas with the highest fields.

GTA has utilized computer-generated modeling software RoofView® 4.15 to generate the compliance report.

Modeling & Input Assumptions

In this Site Compliance Report, it is assumed that

- All antennas are operating at full power at all times.
- The Antenna Inventory Table (Section 3) shows all transmitting antennas at the site.
- A 75% duty cycle and maximum radiated power for each antenna is assumed unless T-Mobile has specified otherwise.
- Obstructions like (screens, trees, buildings, etc.) that would normally attenuate the signal are not taken into account.
- GTA obtained information used in this Compliance Report from T-Mobile, which is considered reliable and believes it to be true and correct.
- Due to the complexity of some wireless sites, GTA performed this analysis and created this report utilizing best industry practices and due diligence. The scales and the determinations are based on the A&E drawings provided by T-Mobile.
- On a case-by-case basis, appropriate static gains and losses are considered while doing the simulations to simulate the closest field radiations of the antennas.
- Any active/live/radiating antenna configuration for the site and the premises is fully compliant with the FCC's regulations.

3.0 Antenna Inventory

ID	Technology	Antenna Make	Antenna Model	Azimuth (°)	Bottom of ANT from Ground (ft)
TMO S1A1	N600	Amphenol	APXVAALL24M-U-J20	70	21.16
TMO S1A1	L700	Amphenol	APXVAALL24M-U-J20	70	21.16
TMO S1A1	L1900	Amphenol	APXVAALL24M-U-J20	70	21.16
TMO S1A1	N1900	Amphenol	APXVAALL24M-U-J20	70	21.16
TMO S1A1	L2100	Amphenol	APXVAALL24M-U-J20	70	21.16
TMO S1A1	N2100	Amphenol	APXVAALL24M-U-J20	70	21.16
TMO S1A4	N2500	ERICSSON	AIR6419 B41	70	25.99
TMO S2A2	N600	Amphenol	APXVAALL24M-U-J20	170	21.16
TMO S2A2	L700	Amphenol	APXVAALL24M-U-J20	170	21.16
TMO S2A2	L1900	Amphenol	APXVAALL24M-U-J20	170	21.16
TMO S2A2	N1900	Amphenol	APXVAALL24M-U-J20	170	21.16
TMO S2A2	L2100	Amphenol	APXVAALL24M-U-J20	170	21.16
TMO S2A2	N2100	Amphenol	APXVAALL24M-U-J20	170	21.16
TMO S2A5	N2500	ERICSSON	AIR6419 B41	170	25.99
TMO S3A3	N600	Amphenol	APXVAALL24M-U-J20	280	21.16
TMO S3A3	L700	Amphenol	APXVAALL24M-U-J20	280	21.16
TMO S3A3	L1900	Amphenol	APXVAALL24M-U-J20	280	21.16
TMO S3A3	N1900	Amphenol	APXVAALL24M-U-J20	280	21.16
TMO S3A3	L2100	Amphenol	APXVAALL24M-U-J20	280	21.16
TMO S3A3	N2100	Amphenol	APXVAALL24M-U-J20	280	21.16
TMO S3A6	N2500	ERICSSON	AIR6419 B41	280	25.99

Table 2

Antenna Inventory (Other Carrier)

ID	Technology	Antenna Make	Antenna Model	Azimuth (°)	Bottom of ANT from Ground (ft)
OTH S1A7	LTE	Powerwave	7750	70	44.71
OTH S1A7	LTE	Powerwave	7750	70	44.71
OTH S1A8	LTE	Powerwave	7750	70	44.71
OTH S1A8	LTE	Powerwave	7750	70	44.71
OTH S1A9	LTE	Powerwave	7750	70	44.71
OTH S1A9	LTE	Powerwave	7750	70	44.71
OTH S1A10	LTE	Powerwave	7750	70	44.71
OTH S1A10	LTE	Powerwave	7750	70	44.71
OTH S2A11	LTE	Powerwave	7750	170	44.71
OTH S2A11	LTE	Powerwave	7750	170	44.71
OTH S2A12	LTE	Powerwave	7750	170	44.71
OTH S2A12	LTE	Powerwave	7750	170	44.71
OTH S2A13	LTE	Powerwave	7750	170	44.71
OTH S2A13	LTE	Powerwave	7750	170	44.71
OTH S2A14	LTE	Powerwave	7750	170	44.71
OTH S2A14	LTE	Powerwave	7750	170	44.71

Table 3

4.0 Federal Communications Commission (FCC) Requirements

The FCC has established Maximum Permissible Exposure (MPE) limits for human exposure to Radio frequency Electromagnetic (RF-EME) energy fields, based on exposure limits recommended by the National Council on Radiation Protection and Measurements (NCRP) and, over a wide range of frequencies, the exposure limits developed by the Institute of Electrical and Electronics Engineers, Inc. (IEEE) and adopted by the American National Standards Institute (ANSI) to replace the 1982 ANSI guidelines. Limits for localized absorption are based on recommendations of both ANSI/IEEE and NCRP.

The FCC guidelines incorporate two separate tiers of exposure limits that are based upon occupational/controlled exposure limits (for workers) and general population/uncontrolled exposure limits for members of the general population.

Occupational/controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is transient as a result of incidental passage through a location where exposure levels may be above general population/uncontrolled limits (see below), as long as the exposed person has been made fully aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means.

General population/uncontrolled exposure limits apply to situations in which the general population may be exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general population would always be considered under this category when exposure is not employment-related, for example, in the case of a telecommunications tower that exposes persons in a nearby residential area.

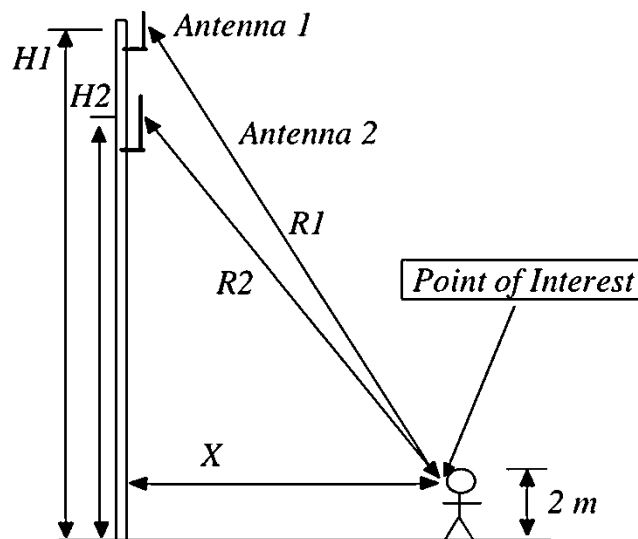


Figure 1

Table 44 and Figure 2 (below), which are included in the FCC's OET Bulletin 65, summarize the MPE limits for RF emissions. These limits are designed to provide a substantial margin of safety. They vary by frequency to take into account the different types of equipment that may be in operation at a particular facility and are "time-averaged" limits to reflect different durations resulting from controlled and uncontrolled exposures.

The FCC's MPEs are measured in terms of power (mW) over a unit surface area (cm²). Known as the power density, the FCC has established an occupational MPE of 5 milliwatts per square centimeter (mW/cm²) and an uncontrolled MPE of 1 mW/cm² for equipment operating in the 1900 MHz frequency range. For the T-Mobile equipment operating at 800 MHz, the FCC's occupational MPE is 2.66 mW/cm² and an uncontrolled MPE of 0.53 mW/cm². These limits are considered protective of these populations.

(A) Limits for Occupational/Controlled Exposure				
Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time [E] ² , [H] ² , or S (minutes)
0.3-3.0	6 4	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f ²)*	6
30-300	61.4	0.163	1	6
300-1,500	--	--	f/300	6
1,500-100,000	--	--	5	6
(B) Limits for General Population/Uncontrolled Exposure				
Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time [E] ² , [H] ² , or S (minutes)
0.3-1.34	6 4	1.63	(100)*	30
1.34-30	1842/f	2.19/f	(180/f ²)*	30
30-300	27.5	0.073	0.2	30
300-1,500	--	--	f/1,500	30
1,500-100,000	--	--	1.0	30

Table 4

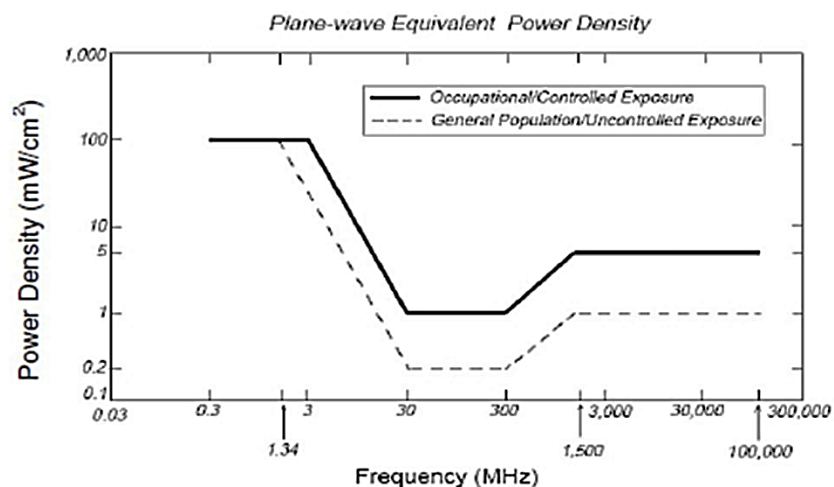


Figure 2

Based on the above, the most restrictive thresholds for exposures of unlimited duration to RF energy for several personal wireless services are summarized below:

Personal Wireless Service	Approximate Frequency	Occupational MPE	Public MPE
Personal Communication (PCS)	1,950 MHz	5.00 mW/cm ²	1.00 mW/cm ²
Cellular Telephone	870 MHz	2.90 mW/cm ²	0.58 mW/cm ²
Specialized Mobile Radio	855 MHz	2.85 mW/cm ²	0.57 mW/cm ²
Most Restrictive Freq. Range	30-300 MHz	1.00 mW/cm ²	0.20 mW/cm ²

Table 5

Personal Communication (PCS) facilities used by T-Mobile in this area operate within a frequency range of 600-2500 MHz. Facilities typically consist of:

- 1) Electronic transceivers (the radios or cabinets) connected to wired telephone lines; and
- 2) Antennas that send the wireless signals created by the transceivers to be received by individual subscriber units (PCS telephones). Transceivers are typically connected to antennas by coaxial cables.

Because of the short wavelength of PCS services, the antennas require line-of-site paths for good propagation and are typically installed above ground level. Antennas are constructed to concentrate energy towards the horizon, with as little energy as possible scattered towards the ground or the sky. This design, combined with the low power of PCS facilities, generally results in no possibility for exposure to approach Maximum Permissible Exposure (MPE) levels, except in areas directly in front of the antennas.

Statement of Compliance

A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier that has an installation that contributes more than 100% of the applicable MPE must participate in mitigating these RF hazards.

5.0 Limitations

This report was prepared for the use of T-Mobile. It was performed following generally accepted practices of other consultants undertaking similar studies at the same time and in the same locale under similar circumstances. The conclusions provided by GTA are based solely on the information provided by T-Mobile. The observations in this report are valid on the date of the investigation. Any additional information that becomes available concerning the site should be provided to GTA so that our conclusions may be revised and modified, if necessary. This report has been prepared by Standard Conditions for Engagement and authorized proposal, both of which are integral parts of this report. No other warranty, expressed or implied, is made.

6.0 Safety Recommendations

Occupational Safety and Health Administration (OSHA) Requirements

OSHA requires that those in the Occupational classification must complete training in RF Safety, RF Awareness, and Utilization of Personal Protective Equipment. OSHA also provides options for Hazard Prevention and Control:

Hazard Prevention	Control
<ul style="list-style-type: none"> Utilization of good equipment Enact control of hazard areas Limit exposures Employ medical surveillance and accident response 	<ul style="list-style-type: none"> Employ Lockout/Tag out Utilize personal alarms & protective clothing Prevent access to hazardous locations Develop or operate an administrative control program

Table 6

RF Signage and Barriers

All RF signs should be obeyed by at all times.

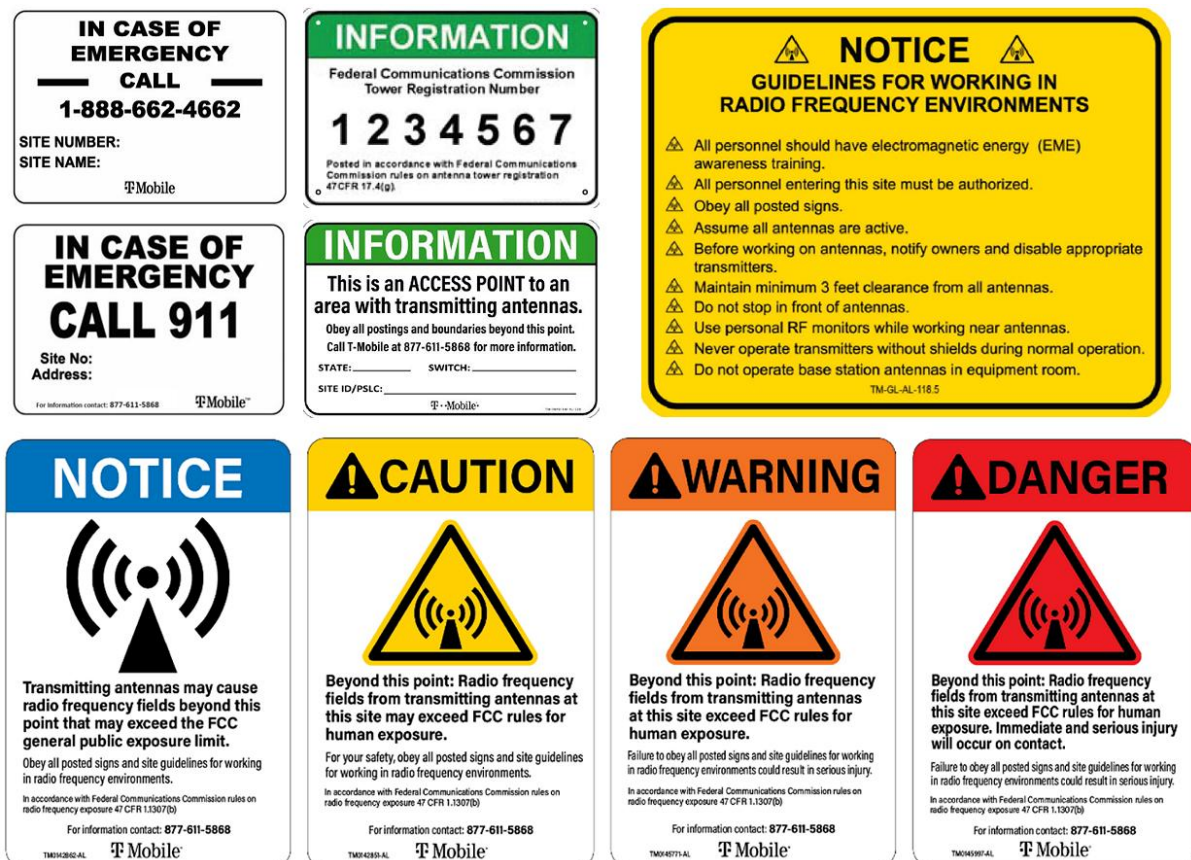


Figure 3

If there are workers in an area with a sign that they do not understand, they can call the NOC Number at 877-611-5868 for guidance.

7.0 Federal Communications Commission (FCC) Limits

Contribution to Co-Located areas

Any wireless operator that contributes 5% or greater of the MPE limit in an area that is identified to be greater than 100% of the MPE limit is responsible for o take corrective actions like installation of mitigation measures that ensures the site remains fully compliant. All co-located sites should have a separate 5% modeling that shows only T-Mobile antennas transmitting. This separate modeling indicates T-Mobile's contribution in all areas that is recognized to be greater than 100% MPE limits.

Occupational Limits

Apply in situations in which persons are exposed as a consequence of their employment provided those persons are fully aware of the potential for exposure and can exercise control over their exposure. Limits for occupational/controlled exposure also apply in situations when an individual is transient through a location where occupational/controlled limits apply provided he or she is made aware of the potential for exposure.

General Population limits

Apply in situations in which the general population may be exposed, or in which persons who are exposed as a consequence of their employment may not be fully aware of the potential for exposure or cannot exercise control over their exposure. (Those without significant and documented RF Safety & Awareness training)

Controlled Environment

This applies to environments that are restricted or "controlled" to prevent access from members of the General Population classification.

Uncontrolled Environment

This applies to environments that are unrestricted or "uncontrolled" that allow access from members of the General Population classification.

Generic Values

The use of "Unknown" for an operator means the information about the carrier, their FCC license, and/or antenna information was not available. Generic values are used as estimation for Effective Radiated Power (ERP) and antenna characteristics for unknown antennas.

8.0 Compliance Measures

The site needs the following mitigation and/or compliance plan.

The compliance determination is based on theoretical modeling, RF signage placement recommendations, proposed antenna inventory and the level of restricted access to the antennas at the site. At the time of our analysis, T-Mobile will be complaint with the FCC rules and regulations, as described in OET Bulletin 65 Installation of the recommended mitigation measures shown below, ensures that the site remains fully compliant.

On monopole:









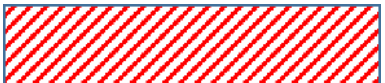
Recommendations for Site Compliance	Signages on Access Points, Sectors & Equipment										Enclosing Sectors								
																			
	Guidelines		NOC INFO		NOTICE		CAUTION		WARNING		NOTICE		CAUTION		WARNING		OC Length	GP Length	Striping
Access Point(s)	✓	1	✓	1	✓	1													
Sector Alpha					✓	1	✓	1											
Sector Beta					✓	1	✓	1											
Sector Gamma					✓	1	✓	1											
Equipment/BTS	✓	1	✓	1	✓	1													
Total Signage	2		2		5		3		0		0		0		0		0 sq. ft.	0 sq. ft.	Total = 0 sq.ft.

Table 7

CAUTION: - The table above represents EVERY compliance item that MUST be implemented by the carrier at the site location; please see the Site Mitigation Plan shown in Diagram 1.

It is recommended to have periodic inspections of the components that are involved in the radiation of RF energy. Periodic Electromagnetic Emission (EME) measurement should be conducted to reevaluate the RF radiation level at this site.

GTA recommends that T-Mobile and the authorized personal at the site take additional measures to ensure that persons accessing the roof/structure (for example, roofers or other maintenance workers) are informed of areas where RF levels exceed the FCC general population limit and made aware that these areas must be avoided to maintain compliance with FCC requirements. This is important especially when the placement of barriers, striping, taping, or any other positive access control (areas of the roof that exceed the RF levels of the general population limit) is not possible due to the physical construction or constraints or safety measures surrounding the antennas or on the roof/structure like the sloped roof, tiled roof, chimney, steeples, cupolas, hilly terrain, etc.

It is further recommended to distribute this report to anyone accessing the roof/structure and ensure the confirmation that it has been read and understood.

Diagram 1: Site Mitigation Plan

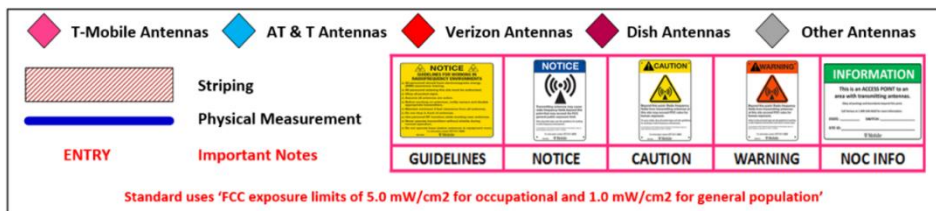
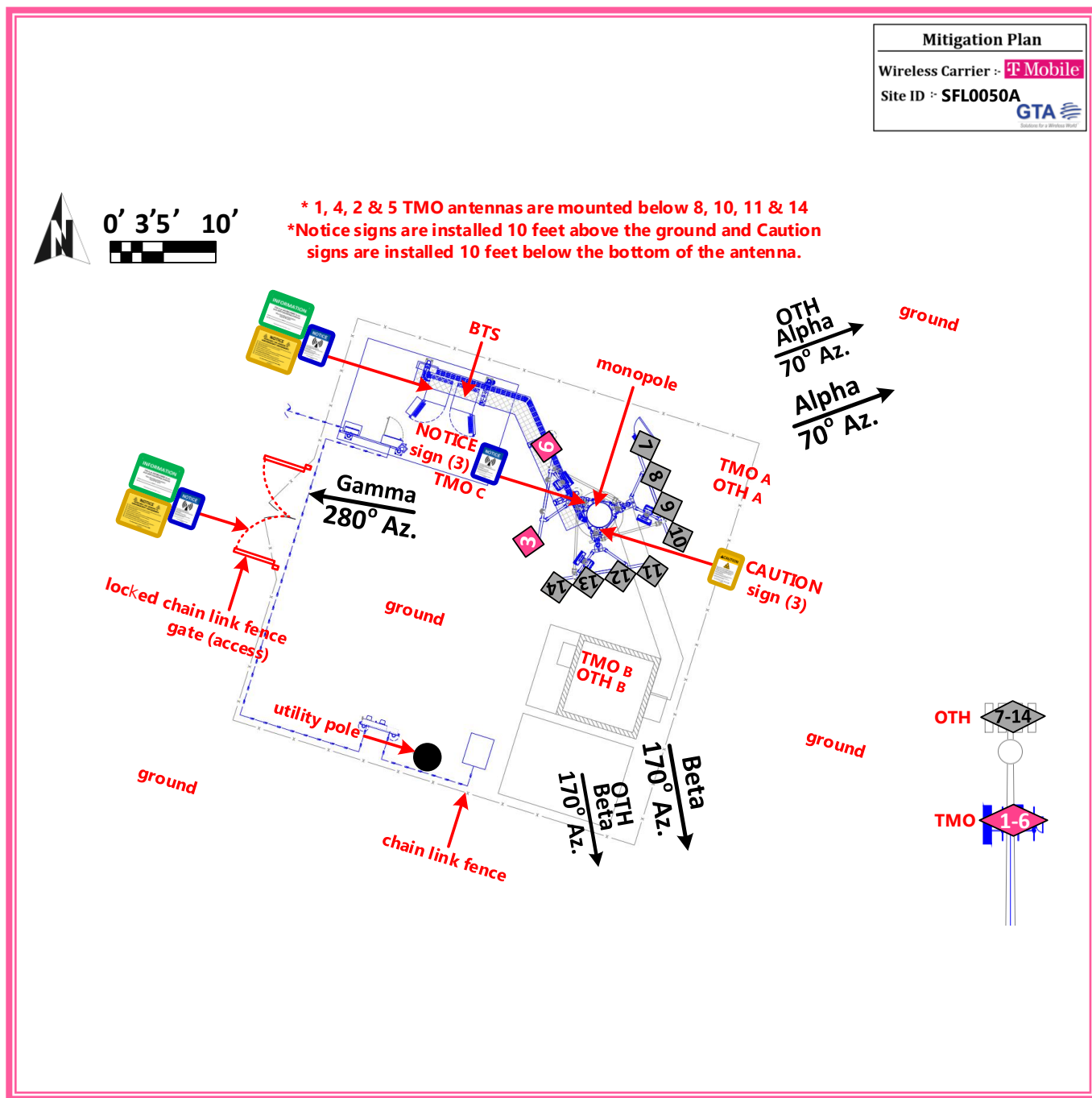
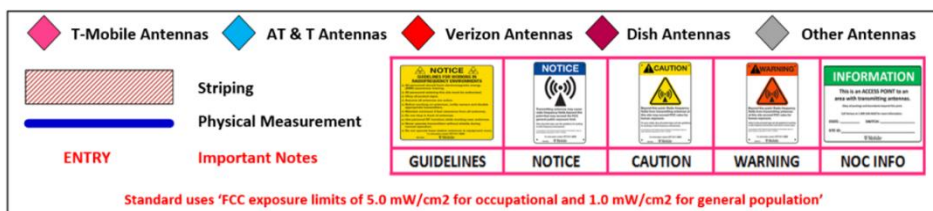
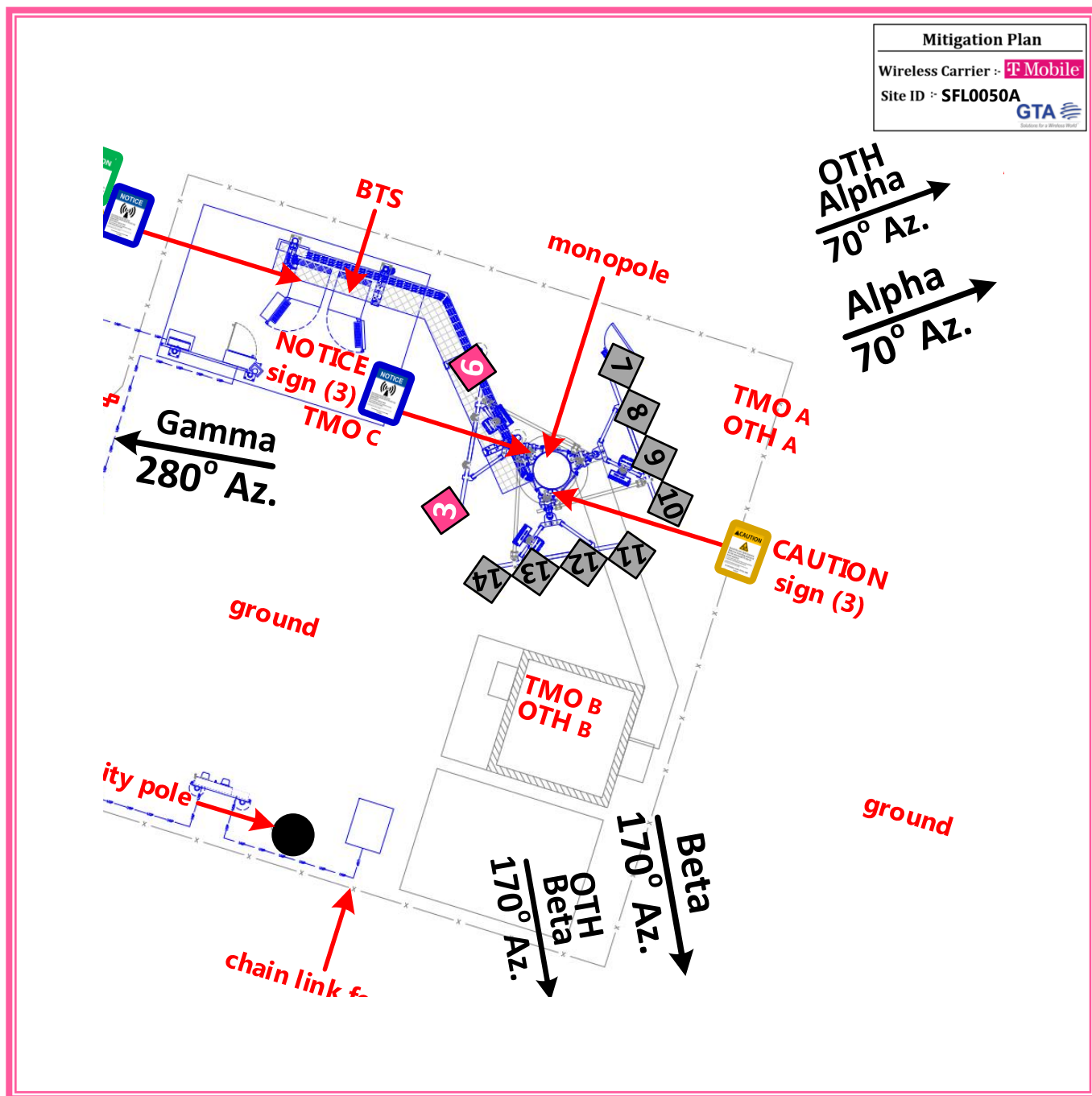


Diagram 2: Site Mitigation Plan - Zoom View



9.0 Summary and Conclusions

GTA has prepared this Radiofrequency Emissions Compliance Report for the proposed T-Mobile telecommunications equipment at the site located at **51950 Pine Canyon Rd. King City, CA 93930.**

GTA has conducted theoretical modeling to estimate the worst-case power density from T-Mobile antennas to document potential MPE levels at this location and ensure that site control measures are adequate to meet FCC and OSHA requirements.

As presented in the preceding sections, based on worst-case predictive modeling, **there are no modeled exposures on any accessible ground-level walking/working surface** related to proposed equipment in the area that exceed the FCC's **general population** exposure limits at this site. Any of the modeled exposure areas exceeding the **general population** limits need to follow the mitigation/compliance plan proposed in the report to ensure that the site remains fully compliant. As such, the proposed T-Mobile project complies with FCC rules and regulations. **Posting of the signages and the recommendations** presented in Section 8 **ensures that the site remains fully compliant with FCC rules and regulations.**

At ground-level the anticipated maximum predictive RF-EME at the T-Mobile facility will be 235.4% of FCC's general population limit. This was determined through calculations along a radial from each sector, taking full power values into account as well as actual vertical plane antenna gain values per the manufacturer-supplied specifications for gain. Based on worst-case predictive modeling, there are areas at ground level related to the proposed antennas that exceed the FCC's occupational or general population exposure limits at this site. **At ground level, the maximum power density generated by the antennas is approximately 235.4% of FCC's general population limit (47.08% of the FCC's occupational limit).**

A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier that has an installation that contributes more than 5% of the applicable MPE must participate in mitigating these RF hazards.

Modeling indicates that there will be no accessible areas on the walking/working surfaces at the **ground-level** in front of the T-Mobile antennas that may exceed the FCC standards for the general population and/or occupational exposure after the implementation of mitigation measures. To reduce the risk of exposure and/or injury, GTA recommends that access to the **monopole** or areas associated with the active antenna installation or mitigation measures are restricted and secured where possible.

To alert any workers or general population potentially accessing the site, a blue Notice sign and/or yellow Caution sign, and/or orange Warning sign based on the simulated exposure limits along with a yellow Guidelines sign are recommended for installation at the access to the rooftop/structure along with the barriers/stripping to exclude the RF radiations exceeding areas per the applicable limits.

10.0 Certification

This report has been prepared under the direction of the following Registered Professional Engineer:

I, **Michael A. McGuire PE**, on the date indicated near my seal below, hereby certify that:

I am registered as a Professional Engineer with the License number listed below and I am thoroughly familiar with the Regulations of the Federal Communication Commission (FCC), both in general and specifically, as they apply to FCC guidelines for human exposure to Radiofrequency electromagnetic radiation and the EME predictive analysis for the site identified as **SFL0050A** located at **51950 Pine Canyon Rd. King City, CA 93930**, has been performed on **October 23, 2025** to determine where there might be electromagnetic energy that is more than both the Controlled Environment and Uncontrolled Environment levels; and that I have thoroughly reviewed this Site FCC COMPLIANT Report and believe it to be true and accurate to the best of my knowledge.



sealed 03nov2025

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Exhibit D

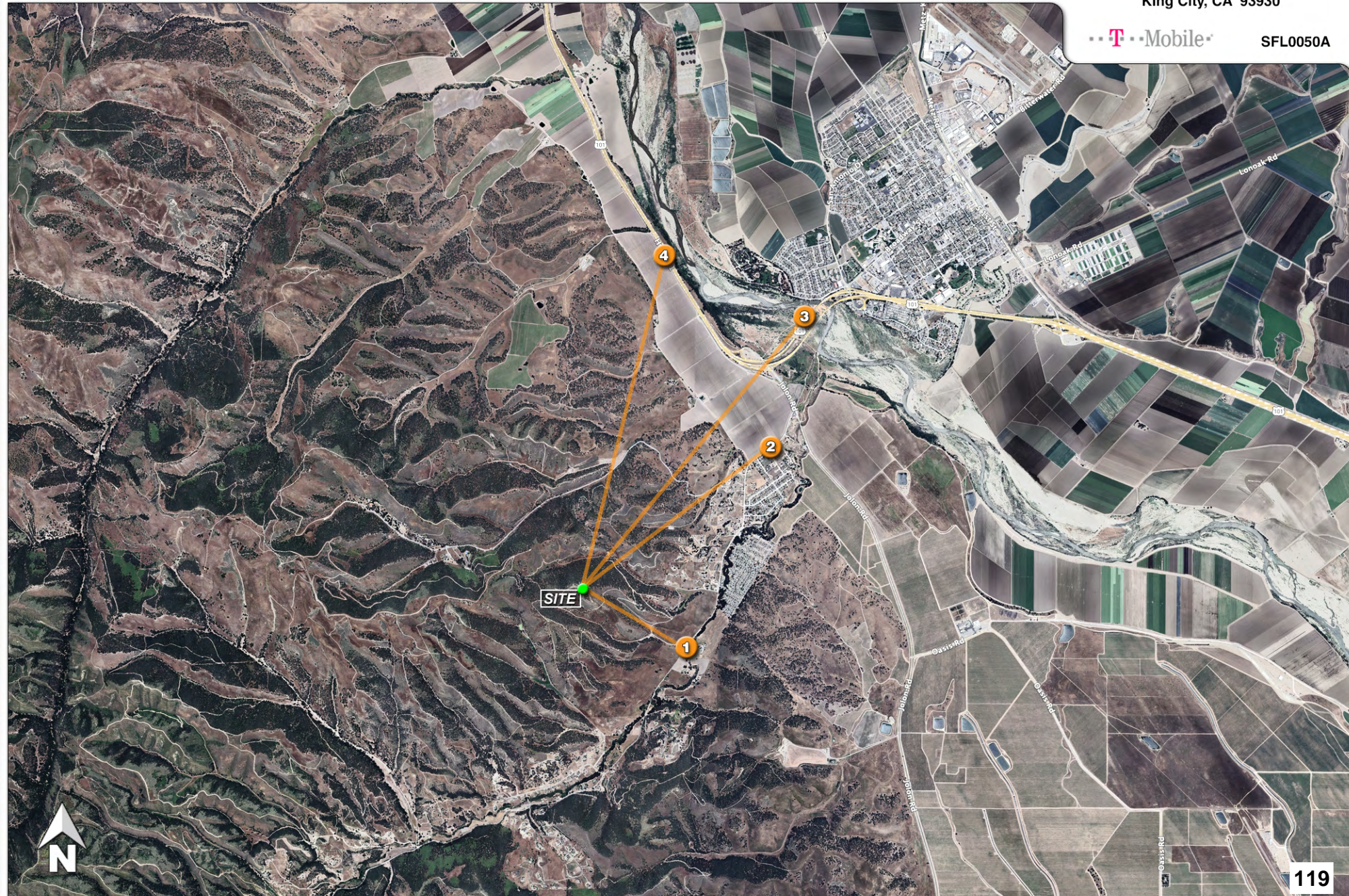
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AT&T: King City51950 Pine Canyon Rd
King City, CA 93930

T-Mobile

SFL0050A

Aerial photograph showing the viewpoints for the photosimulations.



AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930

..T..Mobile..

SFL0050A

Photosimulation of the view from an airborne camera, looking easterly. Not a public vantage point.

Proposed new antennas on an existing tower

Proposed cabinets

Aerial Oblique View

120

1

Existing tower and antennas to remain in place

Existing

Photosimulation of the view looking northwest from the access gate and nearest public road to the site.

AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930

..T..Mobile

SFL0050A

Proposed new antennas on an existing tower

Proposed

121

2

Existing tower and antennas to remain in place

Existing

Photosimulation of the view looking southwest along Pine Canyon Road, just west of Jolon Road.

AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930

..T..Mobile..

SFL0050A

Proposed new antennas on an existing tower

Proposed

122

3

Existing tower and antennas to remain in place

Existing

Photosimulation of the view looking southwest along northbound Hwy 101, crossing over the Salinas River.

AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930

..T..Mobile

SFL0050A

Proposed new antennas on an existing tower

Proposed

123

4

Existing tower and antennas to remain in place

EXIT 283
Fort Hunter Liggett
Jolon Road
1 MILE

Existing

Photosimulation of the view looking southwest along southbound Hwy 101, a mile north of Jolon Road.

AT&T: King City

51950 Pine Canyon Rd
King City, CA 93930

..T..Mobile..

SFL0050A

Proposed new antennas on an existing tower

EXIT 283
Fort Hunter Liggett
Jolon Road
1 MILE

Proposed

124



County of Monterey

Item No.3

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: AP 26-011

January 21, 2026

Introduced: 1/14/2026

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN230251 - SNYDER NANCY & SANDERS CAROLYN A AND BRITTON JACK ROBERT TR

Administrative hearing to consider a Lot Line Adjustment between two legal lots of records: Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey, resulting in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2).

Project Location: No address assigned, located at the intersection of Gabilan Drive and San Vicente Road, Soledad

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2; and
- b. Approve a Lot Line Adjustment between two legal lots of records: Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey, resulting in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2).

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**).

Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION

Agent: Cody Phillips

Property Owner: Nancy Snyder & Carolyn A Sanders and Jack Robert Britton Trust

APN: 257-091-009-000 (Parcel 2) & 257-091-011-000 (Parcel 1)

Parcel Size: 33.93 acres & 41.33 acres

Zoning: Farmland with a density of 40 acres per unit or [F/40] (Parcel 2) & Community Commercial District (Parcel 1)

Plan Area: Central Salinas Valley Area Plan

Flagged and Staked: N/A, no development proposed.

SUMMARY

Staff is recommending approval of an Administrative Permit (Lot Line Adjustment) subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On January 21, 2026, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, January 20, 2026. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services
Environmental Health Bureau
HCD-Environmental Services
Mission Soledad Rural Fire Protection District
City of Soledad

Prepared by: Jade Mason, Assistant Planner

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations

Exhibit B - Vicinity Map

cc: Front Counter Copy; City of Soledad (Ariana Mora), Mission Soledad Rural Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade Mason, Assistant Planner; Jacquelin Nickerson, Principal Planner; Nancy Snyder & Carolyn A Sanders and Jack Robert Britton Trust, Property Owners; Cody Phillips, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Christina McGinnis, Keep Big Sur Wild, Planning File PLN230251



County of Monterey

Item No.3

Administrative Permit

Registrar File Number: AP 26-011

January 21, 2026

Introduced: 1/14/2026

Current Status: Agenda Ready

Version: 1

Matter Type: Administrative Permit

PLN230251 - SNYDER NANCY & SANDERS CAROLYN A AND BRITTON JACK ROBERT TR

Administrative hearing to consider a Lot Line Adjustment between two legal lots of records: Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey, resulting in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2).

Project Location: No address assigned, located at the intersection of Gabilan Drive and San Vicente Road, Soledad

Proposed CEQA action: Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2.

RECOMMENDATIONS

It is recommended that the Chief of Planning adopt a resolution to:

- a. Find the project Categorically Exempt pursuant to CEQA Guidelines section 15305 and there are no exceptions under Section 15300.2; and
- b. Approve a Lot Line Adjustment between two legal lots of records: Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey, resulting in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2).

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 5 conditions of approval.

PROJECT INFORMATION

Agent: Cody Phillips

Property Owner: Nancy Snyder & Carolyn A Sanders and Jack Robert Britton Trust

APN: 257-091-009-000 (Parcel 2) & 257-091-011-000 (Parcel 1)

Parcel Size: 33.93 acres & 41.33 acres

Zoning: Farmland with a density of 40 acres per unit or [F/40] (Parcel 2) & Community Commercial District (Parcel 1)

Plan Area: Central Salinas Valley Area Plan

Flagged and Staked: N/A, no development proposed.

SUMMARY

Staff is recommending approval of an Administrative Permit (Lot Line Adjustment) subject to the findings and evidence in the attached Resolution (see **Exhibit A**), and subject to the conditions of approval attached to the Resolution. Please read these carefully and contact the planner if you have any questions. Unless otherwise noted in the conditions, the applicant will be required to satisfy all permit conditions prior to the issuance of a building/grading permits and/or commencement of the approved use.

On January 21, 2026, an administrative decision will be made. A public notice has been distributed for this project. The deadline for submittal of written comments in opposition to the project, its findings, or conditions, based on a substantive issue, is 5:00 p.m. on Tuesday, January 20, 2026. The permit will be administratively approved the following day if we do not receive any written comments by the deadline. You will receive a copy of your approved permit in the mail. We will notify you as soon as possible in the event that we receive correspondence in opposition to your project or if the application is referred to a public hearing.

Note: This project will be referred to the Monterey County Zoning Administrator if a public hearing is necessary. The decision on this project is appealable to the Board of Supervisors.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services
Environmental Health Bureau
HCD-Environmental Services
Mission Soledad Rural Fire Protection District
City of Soledad

Prepared by: Jade Mason, Assistant Planner

Reviewed and Approved by: Fionna Jensen, Principal Planner

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans & Elevations

Exhibit B - Vicinity Map

cc: Front Counter Copy; City of Soledad (Ariana Mora), Mission Soledad Rural Fire Protection District; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Jade Mason, Assistant Planner; Jacquelin Nickerson, Principal Planner; Nancy Snyder & Carolyn A Sanders and Jack Robert Britton Trust, Property Owners; Cody Phillips, Agent; The Open Monterey Project; LandWatch (Executive Director); Lozeau Drury LLP; Chrstina McGinnis, Keep Big Sur Wild, Planning File PLN230251

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

**SNYDER NANCY & SANDERS CAROLYN A AND BRITTON JACK ROBERT TR
(PLN230251)**

RESOLUTION NO. 26-011

Resolution by the County of Monterey Chief of
Planning:

- 1) Finding that the project qualifies as a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305(a), and none of the exceptions contained in Section 15300.2 apply, and
- 2) Approve a Lot Line Adjustment between two legal lots of records: Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey, resulting in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2).

[PLN230251, SNYDER NANCY & SANDERS CAROLYN A, NO ADDRESS ASSIGNED San Vicente Rd, Soledad (Assessor's Parcel Numbers: 257-091-011-000 and 257-091-009-000), Central Salinas Valley Area Plan]

The SNYDER NANCY & SANDERS CAROLYN A AND BRITTON JACK ROBERT TR application (PLN230251) came on for an administrative decision before the County of Monterey Chief of Planning on January 21, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Central Salinas Valley Area Plan; the requirements of the applicable subdivision and zoning ordinances (Titles 19 and 21); and other County health, safety, and welfare ordinances related to land use development.
EVIDENCE: a) The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 2010 Monterey County General Plan;
 - Central Salinas Valley Area Plan;

- Monterey County Zoning Ordinance (Title 19); and
- Monterey County Zoning Ordinance - (Title 21)

No conflicts were found to exist. The County received no communications from interested members of the public during the course of project review indicating any inconsistencies with the text, policies, and/or regulations of the Monterey County Code (MCC), and the County finds that the project is consistent with the text, policies, and regulations in the applicable documents.

- b) Project. The proposed project involves a Lot Line Adjustment between two legal lots of records: Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey, resulting in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2). The lot line adjustment proposes to transfer 4.35 acres of Parcel 2 into Parcel 1. Per the Applicant/Owner, the project is being proposed as a way to resolve boundary issues and to address ongoing ownership disputes (error in transfer) regarding the 4.35 acres of land (see subsequent Evidence "e"). 41.33 acres of Adjusted Parcel 1 will be within the City of Soledad's jurisdiction, and 4.35 acres of Adjusted Parcel 1 will be within the County of Monterey jurisdiction. Adjusted Parcel 2 (29.58 acres) will remain within the County of Monterey's jurisdiction. See evidence below. This LLA does not adjust the jurisdictional boundaries, only parcel boundaries. Any future development of the 4.35 acres of land transferred to Parcel 1 and development of Adjusted Parcel 2 will be subject to County Code Chapter 21.92 (Regulations to Mitigate for Development on Farmland) as they are currently designated Agricultural and contain Prime Farmland.
- c) Allowed Use. The properties are located off San Vicente Road with no addresses in both the City and County jurisdiction of Soledad (Assessor's Parcel Numbers 257-091-011-000 and 257-091-009-000), within the Central Salinas Valley Area Plan. Parcel 1 is located in the County of Monterey and is zoned Farmland with a density of 40 acres per unit or [F/40]. Parcel 2 is located in the City of Soledad and is zoned Community Commercial District. The lot line adjustment proposes to transfer 4.35 acres of Parcel 2 into Parcel 1. The newly configured parcels will maintain their respective historical use, and no new land uses are proposed with this Lot Line Adjustment. The reconfiguration of the parcels will not otherwise intensify water use, create new building areas, or development potential beyond what currently exists. Therefore, the proposed project involves an allowed use.
- d) Lot Legality. Parcel 1 was created through the recordation of a Parcel Map, entitled "Parcel Map Soledad Plaza", filed October 24, 2007, in Volume 22, Page 78, in the Office of the County Recorder of the County of Monterey (Document No. 432000151). Therefore, the County recognizes Parcel 1 as legal lots of record. Parcel 2 is recognized on this Parcel Map as "Designated Remainder [Parcel] A". Remainder parcels on Parcel or Final Maps are not recognized as legal lots of record until recognized through issuance of a Certificate

of Compliance or other recognition (Government Code § 66424.6). In this case, the remainder parcel (Parcel 2) is under separate ownership from Parcel 1 and has been conveyed in the current configuration since being subdivided from Parcel 1. The Parcel 2 meets is non-conforming to lot size, as described in subsequent evidence “e”, but complies with all other site development standards and subdivision map act requirements. Therefore, Parcel 2 is also recognized by the County as a legal lot of record. Condition No. 4 has been applied to require issuance of Certificates of Compliance, which will recognize Adjusted Parcels 1 and 2 as legal lots of record.

- e) Review of Development Standards. The development standards for the County’s F zoning district, as outlined in Title 21 section 21.30.060, establish a minimum building site of 40 acres. Development standards for the City of Soledad’s “C-C” or Community Commercial District are found in Municipal Code Chapter 17.22, which establishes a 2-acre minimum. Parcel 1 (41.33 acres), located within the City of Soledad, meets the City’s 2-acre requirement. Adjusted Parcel 1 (45.68 acres), which will be split zoned C-C and F and within both the City’s and County’s jurisdiction, will meet the respective 2-acre and 40-acre requirements. Parcel 2, at 33.93 acres, does not meet the County’s 40-acre requirement for the F zoning district. Adjusted Parcel 2, at 29.58, will also not meet the 40-acre requirement and is decreasing in size by 4.35 acres.

General Plan Policy LU-1.16 allows lot line adjustments between or among lots that do not conform to minimum parcel size standards, provided the resultant lots are consistent with all other General Plan policies, zoning and building ordinances, and the lot line adjustment resolves parcel boundaries between affected owners, produces a superior parcel configuration, or other configuration that better achieves the goals, policies and objectives of the General Plan. in this case, Adjusted Parcel 2 does not conform to minimum parcel size standards, however, the LLA will resolve boundary issues by transferring 4.35 acres of Parcel 2 to Adjusted Parcel 1, as described below.

After Parcels 1 and 2 were created through subdivision in 2007, the property owners (Synders) entered into a Memorandum of Ground Lease with the Braga Ranch. This lease cites that the “Landlord [Synder] is the owner of approximately 45.69 acres...”, referencing Parcel 1 of the 2007 subdivision. Although the lease describes the affected parcel as 45.96 acres, Parcel 1 of the 2007 subdivision is clearly shown and illustrated as 41.33 acres. Over the years, the inaccurate description of Parcel 1’s acreage has caused confusion between Parcel 1 and Parcel 2 landowners. Parcel 1 is owned by Jack Britton, yet the 4.34-acre portion of Parcel 2 is also owned by Jack Britton and has been conveyed via a separate deed. The remainder of Parcel 2 is owned by Nancy Synder. The current grant deed for Parcel 1 (APN: 257-091-011-000) in the City of Soledad, makes reference to “Parcel 1” of the 2007 Final Map for legal description purposes.

However, the grant deed for the 4.35-acre portion of Parcel 2 (APN: 257-091-011-000), also makes reference to “Parcel 1” of the 2007 Final Map for legal description purposes. This is incorrect as Parcel 1 of the 2007 Final Map is only 41.33 acres. However, this demonstrates the error in transferring of land since the creation of these parcels and should be corrected to resolve the dispute/confusion. To resolve this issue, the LLA transfers 4.35 acres of Parcel 2 to Adjusted Parcel 1. Accordingly, the LLA also produces a superior parcel configuration, as it will align ownership with the intended boundaries. Thus, reducing the size of Parcel 2 is allowed in this case, pursuant to 2010 General Plan Policy LU-1.16.

As there are no existing or proposed structures on either parcel, this LLA will not affect the maximum development potential, setbacks, heights, etc.

- f) Land Use Advisory Committee (LUAC) Review. The project was not referred a Land Use Advisory Committee (LUAC) for review, as one does not exist for the Central Salinas Valley planning area and does not involve a public hearing Design Approval, a Lot Line Adjustment in the Coastal Zone, preparation of an Initial Study, or a Variance.
- g) Subdivision Map Act Consistency. Pursuant to Section 66412(d) of the Subdivision Map Act (SMA), the SMA is inapplicable to the lot line adjustment due to the fact that the final outcome of the LLA is not more than four adjoining parcels, and a greater number of parcels than previously existed is not being created. See Finding No. 6 and supporting evidence
- h) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in are File No. PLN230251.

2. FINDING:

SITE SUITABILITY - The site is physically suitable for the use proposed.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: City of Soledad, County HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Mission Soledad Rural Fire Protection District, and Environmental Health Bureau. County staff reviewed the application materials and plans, as well as the County’s GIS database, and conducted a site visit via Google Earth, to verify that the project conforms to the applicable lot line adjustment plans and that the subject property is suitable for the proposed development. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Recommended conditions have been incorporated.
- b) There are no physical or environmental constraints that indicate that the property is not suitable for the use proposed and no technical reports were prepared as no environmental concerns were raised by HCD-Planning.
- c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development are found in File No. PLN230251.

3. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property.
 - b) There are no known violations on the subject parcels.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in File No. PLN230251.
4. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by City of Soledad, County HCD-Planning, Mission Soledad Rural FPD (Fire Protection District), HCD-Engineering Services, HCD-Environmental Services, and the Environmental Health Bureau, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) This LLA will not affect existing utility connections.
 - c) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in File No. PLN230251.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15305(a) categorically exempts minor lot line adjustments not resulting in the creation of any new parcel. The proposed lot line adjustment reconfigures the meets and bounds for two parcels and will not create any new parcels after adjustment. Therefore, the project is consistent with the parameters of the Class 5 categorical exemptions.
 - b) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. There is no substantial evidence of unusual circumstances because there is no feature or condition of the project that distinguishes the project from the exempt class. The properties are not located in an area where an environmental resource of hazardous or critical concern has been designated or precisely mapped by a federal, state, or local agency trees are proposed for removal. The project does not involve a designated historical resource or a hazardous waste site. There is no substantial evidence

that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.

- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in File No. PLN230251.

6. FINDING:

LOT LINE ADJUSTMENT – Section 66412(d) of the California Government Code (Subdivision Map Act) and Title 19 (Subdivision Ordinance – Inland) of the Monterey County Code (MCC) allow a lot line adjustment that meets the following standards:

1. The lot line adjustment is between four or fewer existing adjoining parcels;
2. A greater number of parcels than originally existed will not be created as a result of the lot line adjustment; and
3. The parcels resulting from the lot line adjustment conform to the County's general plan, any applicable specific plan, any applicable coastal plan, and zoning and building ordinances.

As proposed, the project meets these standards.

EVIDENCE:

- a) Parcel 2 (County of Monterey jurisdiction) is zoned F/40. Parcel 1 (City of Soledad jurisdiction) is zoned C-C.
- b) The lot line adjustment is between four or fewer existing adjoining parcels. The two existing legal lots of record are as follows: Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey. The combined area is a total of 75.36 acres. After the adjustment, there will be two (2) legal lots of record and maintain the total 75.26 acres. This LLA will result in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2).
- c) The lot line adjustment will not create a greater number of parcels than originally existed. Two contiguous separate legal parcels of record will be adjusted, resulting in one legal parcel of record. Therefore, no new parcels will be created.
- d) The proposed lot line adjustment is consistent with the Monterey County Zoning Ordinance (Title 21) and Subdivision Ordinance (Title 19). County staff verified that the subject property is in compliance with all rules and regulations pertaining to the use of the property, and that no violations exist on the property (see Finding Nos. 1, 2, 3, and 4; and supporting evidence).
- e) The subject properties are zoned for commercial and agricultural purposes, and none of the property areas are under Williamson Act contract. The proposed lot line adjustment does not interfere with existing access and/or utility easements, which will remain unchanged.
- f) As an exclusion to the Subdivision Map Act, no map is recorded for a Lot Line Adjustment. To appropriately document the boundary changes, execution and recordation of deeds reflecting the lot line adjustment as well as a Certificate of Compliance for each adjusted

lot is required per incorporated standard conditions of approval (Condition No. 4).

- h) The project planner conducted a site inspection via Google Earth to verify that the project would not conflict with zoning or building ordinances.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in File No. PLN230251.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Board of Supervisors.
- EVIDENCE:** a) Board of Supervisors. Section 19.16.020.A of the Monterey County Subdivision Ordinance (Title 19) states that the Board of Supervisors is the Appeal Authority to consider appeals from the discretionary decisions of the Director of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey Chief of Planning does hereby:

1. Finding that the project qualifies as a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15305(a), and none of the exceptions contained in Section 15300.2 apply, and
2. Approve a Lot Line Adjustment between two (2) legal lots of records Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey, resulting in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2).

All of which are in general conformance with the attached sketch and subject to the attached 8 conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 21st day of January 2026.

Melanie Beretti, AICP,
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230251

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit (PLN230251) allows a Lot Line Adjustment between two legal lots of records: Parcel 1 [41.33-acres; Assessor's Parcel Number 257-091-011-000] in the City of Soledad and Parcel 2 [33.93-acres; Assessor's Parcel Number 257-091-009-000] in the County of Monterey, resulting in two parcels containing 45.68 acres (Adjusted Parcel 1) and 29.58 acres (Adjusted Parcel 2). The properties are located at [NO ADDRESS ASSIGNED] San Vicente Rd (Assessor's Parcel Numbers 257-091-009-000 and 257-091-011-000), Central Salinas Valley Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "An Administrative Permit (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Numbers 257-091-009-000 and 257-091-011-000 on January 21, 2026. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Prior to the issuance of grading and building permits, certificates of compliance, or
Action to be commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Performed: shall provide proof of recordation of this notice to the HCD - Planning.

3. LOT LINE ADJUSTMENT DEED (NON-STANDARD CONDITION)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Owner(s)/Applicant(s) shall prepare, execute and record deeds that reflect the lot line adjustment as required by California Government Code §66412(d) and request an unconditional Certificate of Compliance for each of the adjusted parcels. (HCD-Planning)

Compliance or Monitoring Action to be Performed:

1. An updated title report (current within 30 days) for each subject parcel of the lot line adjustment.
2. Draft legal descriptions, plats and closure calculations for each newly adjusted parcel of the lot line adjustment for which a Certificate of Compliance will be issued. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B."
3. Draft deeds for all adjustment parcels, being all areas being conveyed by Owners in conformance to the approved lot line adjustment. The deeds shall contain a legal description and plat of the areas to be conveyed in conformance to the approved lot line adjustment. The legal description, plat, and closure calculations shall be prepared by a professional land surveyor. The legal description shall be entitled "Exhibit A" and shall have the planning permit no. (PLN) in the heading. The plat may be incorporated by reference into Exhibit "A," or be entitled Exhibit "B." The deed shall comply with the Monterey County Recorder's guidelines as to form and content.
 - a. The Owner(s)/Applicant(s) shall be responsible for ensuring the accuracy and completeness of all parties listed as Grantor and Grantee on the deeds.
 - b. Each deed shall state in the upper left corner of the document the party requesting the recording and to whom the recorded document shall be returned.
 - c. The purpose of the deed shall be stated on the first page of the deed, as follows:

"The purpose of this deed is to adjust the parcel boundaries in conformance to the lot line adjustment approved by the County of Monterey, PLN230251. This deed is being recorded pursuant to §66412(d) of the California Government Code and shall reconfigure the subject parcels in conformance to said approved lot line adjustment."

PLEASE NOTE: Owner(s) is/are responsible for securing any reconveyance, partial reconveyance and/or subordination in connection with any loan, mortgage, lien or other financial obligation on all property being transferred between parties.

4. Following review and any corrections of the legal descriptions and plats by County Surveyor:
 - a. Owner/Applicant submit copies of the fully executed and acknowledged deed(s) for the adjustment parcels to the project planner for review & approval by County Surveyor
 - b. Owner/Applicant shall submit the legal description and plat for each Certificate of Compliance to HCD-Planning for final processing.
 - c. Using a title company, execute the deeds before a notary public, and have the deeds recorded.
 - d. Owner/Applicant shall submit copies of all recorded deeds to the project planner.

4. PD045 - COC (LOT LINE ADJUSTMENTS)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall request unconditional Certificates of Compliance for the newly configured parcels. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration of the entitlement, the Owner/Applicant/Surveyor shall prepare legal descriptions for each newly configured parcel and submit them to HCD -Planning for review and approval. The legal descriptions shall be entitled "Exhibit A." The legal description shall comply with the Monterey County Recorder's guidelines as to form and content. The Applicant shall submit the legal descriptions with a check, payable to the Monterey County Recorder, for the appropriate fees to record the Certificates of Compliance.

Prior to the expiration of the entitlement and after the Certificates are recorded, the Owner/Applicant shall file a request and pay the fees for separate assessments or combination assessments (for lot mergers) with the Assessor's Office.

5. PROOF OF ACCESS (NON-STANDARD CONDITION)

Responsible Department: Planning

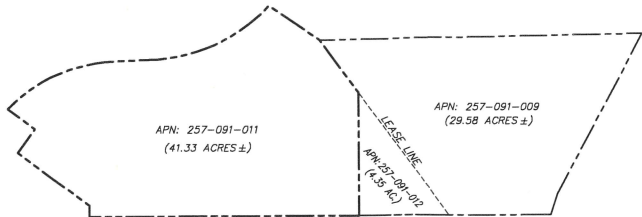
Condition/Mitigation Monitoring Measure: The subject property does not currently have existing right-of-way access, and coordination with the City's Planning Department is highly advisable to initiate the required Annexation and Sphere of Influence Amendment without completing these processes to the satisfaction of the City. Prior and on-going to any future development, the property owner shall consult with the City of Soledad to obtain right-of-way access through San Vicente Road, which is maintained and operated by the City.

Compliance or Monitoring Action to be Performed: Prior and on-going to any future development, the property owner shall consult with the City of Soledad to obtain right-of-way access through San Vicente Road, which is maintained and operated by the City.



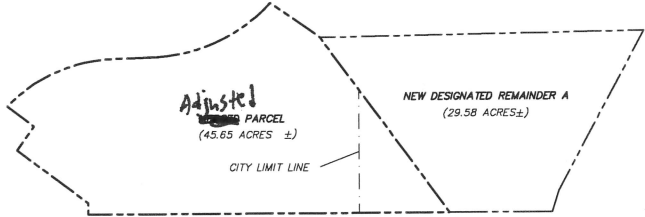
LEGEND:

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- CITY LIMITS LINE (NOTE: THE CITY LIMIT LINE COINCIDES WITH PROPERTY AND RIGHT-OF-WAY LINES BUT HAS BEEN SHOWN OFFSET FOR CLARITY)
- P.O.B. POINT OF BEGINNING



EXISTING

LOT CONFIGURATION SUMMARY
SCALE: 1"=500'



PROPOSED

RECEIVED
MONTEREY, COUNTY
AUG 31 2023
HOUSING & COMMUNITY
DEVELOPMENT DEPARTMENT

CONTACT INFORMATION:
OWNER:
JACK BRITTON
211 HOFFMAN AVENUE
MONTEREY, CA 93940
SITE LOCATION:
SAN VICENTE ROAD
SOLEDAD, CA

LOT LINE ADJUSTMENT
THOSE CERTAIN PARCELS AS DESCRIBED IN
DOCUMENT NOS. 2017045833 & 2007084191
OFFICIAL RECORDS OF MONTEREY COUNTY
FOR
SOLEDAD, CALIFORNIA
MR. JACK BRITTON

EXHIBIT "C"
APN'S: 257-091-011 & 257-091-012

SCALE: 1" = 200'
DATE: JUNE 2023
JOB NO. 2645-01
SHEET 1
OF 1 SHEETS

LANDSET
ENGINEERS, IN C.
520-B Crazy Horse Canyon Road
Salinas, California 93901
Office (831) 443-3801
www.landseteng.com

APPROVED BY:
GUY R. GIBRADO
P.L.S. No. 8703

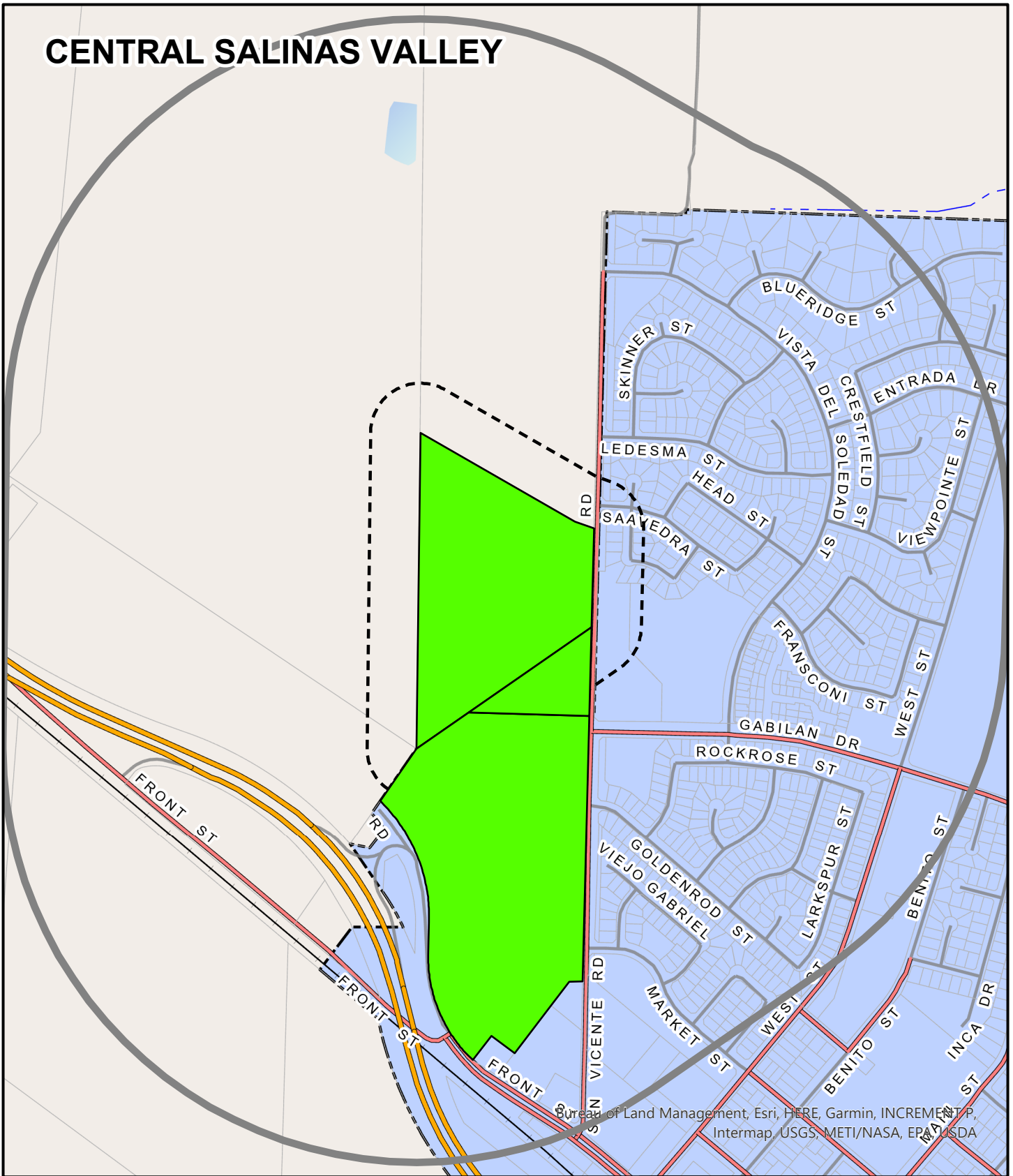


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Exhibit B

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CENTRAL SALINAS VALLEY





APPLICANT: SNYDER NANCY & SANDERS CAROLYN A AND BRITTON JACK ROBERT TR

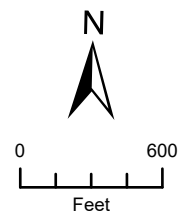
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FILE # PLN230251

 Project Site

 300 FT Buffer

 2500 FT Buffer



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