

**Before the Housing and Community Development Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**BRADFORD DONNA (PLN240226)**

**RESOLUTION NO. 24-041**

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the proposed test well qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303, and there are no exceptions pursuant to Section 15300.2 action; and
- 2) Approving a Coastal Administrative Permit to allow construction of a test well for residential use.

[PLN240226, Donna Bradford, 343 Paradise Road, Salinas, North County Land Use Plan, Coastal Zone (Accessor’s Parcel Number: 129-093-016-000)]

**The BRADFORD DONNA application (PLN240226) came on for an administrative decision before the County of Monterey HCD Chief of Planning on October 16, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey HCD Chief of Planning finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 1982 Monterey County General Plan;
    - North County Land Use Plan;
    - Monterey County Coastal Implementation Plan, Part 2 (CIP); and
    - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) Allowed Use. The property is located at 343 Paradise Road, Salinas, North County Land Use Plan, Coastal Zone (Accessor’s Parcel Number: 129-093-016-000). The subject parcel is zoned Low Density Residential with a maximum gross density of 2.5 acres/unit in the Coastal Zone or “LDR/2.5(CZ)” which allows for wells and small water systems serving 14 or fewer connections pursuant to Title 20 section 20.14.040.J. The project consists of a Coastal Administrative Permit to allow construction

of a test well to secure a potable water supply for residential use. Therefore, the project is an allowed land use for this site.

- c) Lot Legality. The subject parcel (shown as 2.606 acres) is located on a residential subdivision, identified as Parcel C on the Mr. & Mrs. Nicewonger parcel map filed December 7, 1988. The survey can be found in Parcel Map of Volume 17, Page 146. Therefore, the County recognizes the subject parcel as a legal lot of record.
- d) Setbacks. Pursuant to Title 15, Section 15.08.110, the minimum distance between wells and subsurface sewage leaching fields or septic tanks shall be 100 feet, and the minimum distance between wells and seepage pits shall be 150 feet. As proposed, the new test well will be over 200 feet from the nearest septic system and over 400 feet from the nearest well. Therefore, the project meets the required setbacks for new wells. See Finding No. 3 and supporting evidence.
- e) Cultural Resources. The project site is in an area identified in County records as having a low archaeological sensitivity; therefore, a Preliminary Archaeological Report was not required. The County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction was added as a condition of approval for the proposed project. Also see Finding 5, Evidence "b" below.
- f) Environmentally Sensitive Habitat Area (ESHA). Monterey County GIS spatial data suggest that a stream is present on the property and potentially within 100 feet of the project. However, previous planning staff verified that the stream location is actually in the public Right-of-Way (HCD-Planning File No. PLN190311, Resolution No. 21-005). The proposed test well will be located more than 100 feet from the existing stream and within a flat area previously utilized as a horse arena. As demonstrated in the project plans, the development is not within 100 feet of ESHA and is consistent with the ESHA policies and regulations within the NC LUP and North County CIP. Once the test well passes source capacity testing (Condition No. 5), the well can be made a permanent water supply. The owner will disconnect from the mutual water supply system. An equal amount of groundwater is anticipated to be used. Therefore, drawdown on the aquifer that interacts with surface water would have a no net change that could negatively impact the nearby stream. See Finding No. 3, Evidence "b".
- g) Public Access. The project will not conflict with an existing access point to the coastline and does not require new access pursuant to standards in the North County Coastal Land Use Plan and Coastal Implementation Plan, Part 2. See Finding No. 6.
- h) Land Use Advisory Committee (LUAC) Review. Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application does not meet any of the criteria in the guidelines requiring LUAC review because the project is for a test well and does not require a public hearing for approval.
- i) Staff conducted a virtual site inspection using Google Earth on August 2, 2024, to verify that the project on the subject parcel conforms to the plans listed above.

j) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN240226.

**2. FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

**EVIDENCE:**

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, North County Fire Protection District (FPD), Water Resources Agency, and the California Coastal Commission. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) Staff conducted a virtual site inspection using Google Earth on August 2, 2024, to verify that the site is suitable for this use.
- c) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN240226.

**3. FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:**

- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, North County FPD, Water Resources Agency, and the California Coastal Commission. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Current Water System Configuration. The existing single family dwelling is served by a private onsite wastewater treatment system (OWTS) and potable water is provided by a 16-connection mutual water system (Paradise Road No. 21). On June 7, 2024, the Environmental Health Bureau (EHB) received and reviewed this well application (Permit No. 24-000869) for a new single connection domestic well due to water quality issues of the existing water system. The applicant is seeking their own private water supply separate from the existing system because the current shareholders cannot collectively agree on a uniform point-of-entry (POE) treatment system which is subject to water quality sampling from EHB. On September 30, 2024, EHB confirmed with staff that the Paradise Road No. 21 water system is testing at 28 parts per billion (ppb) of Hexavalent Chromium. On October 1, 2024, the California State Water Resources Control Board

(SWRCB) reduced the maximum contaminate level (MCL) for Hexavalent Chromium from 50 ppb to 10 ppb. The proposed test well, if entitled as a permanent water source will have a treatment system installed to meet current health regulations. Additionally, the applicant will be required by EHB to disconnect from the existing mutual water system. Pursuant to NC LUP Policy 2.5.3.A.3, the project has been conditioned by EHB to include a water quality analysis (Condition No. 4), a source capacity test (Condition No. 5), and apply for a well construction permit (Condition No. 6) as a means of regulating groundwater wells and checking for compliance with extraction rates within the North County Coastal Zone. A Coastal Administrative Permit will be required to convert the test well to a permanent well. Although a test well is proposed at this time, no intensification of water use will result from this project as the applicant is required to have only one potable water supply.

- c) Pursuant to Title 15, Section 15.08.110, the minimum distance between wells and subsurface sewage leaching fields or septic tanks shall be 100 feet, and the minimum distance between wells and seepage pits shall be 150 feet. The existing OWTS that serves the single family dwelling is approximately 292 feet from the proposed test well. The distance from the neighboring OWTS is 365 feet northeast and 438 feet west of the proposed well. Therefore, the proposed well meets the minimum setbacks required by Title 15.
- d) Water Resources Agency Review (WRA). On June 21, 2024, the well permit application No. 24-000869 was analyzed and reviewed by the WRA. The analysis concluded that the proposed well is exempt from Governor Gavin Newsom's Executive Order N-3-23 which restricts new groundwater wells because the amount of water produced for individual domestic consumption will be less than 2 acre-feet per year. On October 4, 2024, the WRA provided additional analysis on the potential impact of the proposed well in relation to the existing water system (Paradise Road No. 21). The simulated well impact assessment indicated that the proposed well is below the threshold of significance of additional drawdown by 5 feet to the nearest water system. Furthermore, on March 3, 2023, Executive Order N-3-23 was lifted and is no longer in effect which required Groundwater Sustainability Agency (GSA) approval for new well permits. Therefore, the proposed project is anticipated to have a less than significant environmental impact. See Exhibit C for the Well Impact Assessment Summary for Permit No. 24-000869.
- e) Staff conducted a virtual site inspection using Google Earth on August 2, 2024, to verify that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- f) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN240226.

**4. FINDING: NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any

other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) Staff conducted a virtual site inspection using Google Earth on August 2, 2024, and researched County records to assess if any violation exists on the subject property.
  - c) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN240226.

**5. FINDING: CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts new construction of small new facilities. The proposed project is to allow a test well for the purpose of providing a safe water supply meeting current health regulations to serve the existing single family dwelling. Therefore, the project qualifies for a Class 3 categorical exemption.
  - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. The project site is located within the Aromas Sand Aquifer which interfaces with the "180 foot" and "400 foot" Salinas Valley pressure aquifers that are mainly recharged by upstream rainfall and surface water percolation from the San Antonio and Nacimiento Reservoirs. Historically, agriculture has been the major water user within this 180/400-foot Aromas Sand Aquifer which has contributed to groundwater overdraft in the region. The WRA along with the local GSA monitor groundwater extraction and intensification of water use for the region. As mentioned in Finding No. 3, Evidence "d", the WRA reviewed this proposed well application (No. 24-000869) and found that the anticipated water use will not have an increased cumulative adverse impact to the existing Paradise Road No. 21 water system or the 180/400-foot Aromas Sand Aquifer. No development from this permit will be visible from the scenic highway. The project site is located within an area of low archaeology sensitivity and therefore did not require a Phase 1 Archaeological Report. A standard condition of approval has been incorporated to assure construction work be halted if archaeological resources are accidentally uncovered.
  - c) No adverse environmental effects were identified during staff review of the development application during a virtual site inspection using Google Earth on August 2, 2024.
  - d) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to the

County of Monterey HCD-Planning can be found in Project File PLN240226.

- 6. FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.144.150 of the Monterey County Coastal Implementation Plan (Part 2) can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 6, North County General Plan Shoreline Access/Trails, in North County Land Use Plan).
  - d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning can be found in Project File PLN240226.
- 7. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors, but not by or to the California Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
  - b) Coastal Commission. Pursuant to Title 20 Section 20.86.080, this project is not subject to appeal by/to the California Coastal Commission because it does not involve development located between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1), within 100 feet of a wetland or stream, or within 300 feet of the top of the seaward face of any coastal bluff, and development that is permitted in the underlying zone as a conditional use.

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find that the proposed test well qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303, and there are no exceptions pursuant to Section 15300.2 action; and
2. Approve the Coastal Administrative Permit to allow construction of a test well for residential use.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 16th day of October 2024.

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Melanie Beretti, AICP,  
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON **OCTOBER 22, 2024**.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **NOVEMBER 1, 2024**.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

**NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or

until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# County of Monterey HCD Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240226

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Coastal Administrative Permit (PLN240226) allows construction of a test well for residential use. The property is located at 343 Paradise Road, Salinas, (Assessor's Parcel Number 129-093-016-000), North County Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Coastal Administrative Permit (Resolution Number 24-041) was approved by HCD Chief of Planning for Assessor's Parcel Number 129-093-016-000 on October 16, 2024. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. EHSP3 - NEW DOMESTIC WELL: WATER QUALITY

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** A residential building shall be provided with an adequate supply of potable water pursuant to Section 601.1 of the Uniform Plumbing Code. In order to demonstrate a potable supply, a new domestic well shall first undergo water quality testing. Sample collection shall be done after development of the well and shall include analysis of coliform bacteria, and primary inorganics and secondary compounds as listed in Tables 64431-A and 64449-A&B in Title 22 of the California Code of Regulations. Waivers for asbestos, MTBE, and thiobencarb may be available upon request. Sample collection shall be done by a person approved by EHB and shall be analyzed by a laboratory certified by the Environmental Laboratory Accreditation Program (ELAP). If water quality results indicate that the well exceeds a primary drinking water standard(s), an EHB approved water treatment system shall installed before a building is occupied and the applicant shall record a deed restriction indicating that treatment is necessary for the well water to meet Title 22, CCR primary drinking water standards. (Environmental Health)

**Compliance or Monitoring Action to be Performed:** Prior to converting the test well to a production well, the applicant shall submit water quality analysis results to the Environmental Health Bureau (EHB) for review. If EHB determines that the water quality is adequate, no further action is required.

If EHB determines that treatment is necessary:

- Prior to issuance of a construction permit, the applicant shall provide plans including treatment wastewater management prepared by a qualified individual for a water treatment system to EHB for review and approval.

The applicant shall provide a legal description for the parcel and a copy of the Grant Deed to the EHB. The EHB will prepare the deed restriction form. The property owner shall sign and notarize the deed restriction form obtained from the EHB.

- Prior to occupancy of a building, the applicant shall install the EHB-approved water treatment system and provide to the EHB as-built plans prepared by a qualified individual and water quality analysis of samples of raw water and treated water that demonstrate the treatment system is able to reduce the contaminant(s) to Title 22, CCR primary drinking water standards.

Record the notarized deed restriction with the Monterey County Recorder. Proof of recordation shall be provided to the EHB.

If the applicant chooses not to pursue utilizing the well as a source for domestic use, this condition shall not be applicable.

## 5. EHSP2 – NEW DOMESTIC WELL: SOURCE CAPACITY

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** In order to assess the adequacy of the proposed well to serve as a source for domestic use the applicant shall submit documentation to the satisfaction of the Environmental Health Bureau (“EHB”) that the source capacity of the well has been tested in accordance with the EHB’s Source Capacity Test Procedure, available from the EHB.

**Compliance or Monitoring Action to be Performed:** Prior to converting the test well to a production well, the applicant shall submit to the satisfaction of EHB documentation of the source capacity of the constructed well.

If the applicant chooses not to pursue utilizing the well as a source for domestic use, this condition shall not be applicable.

## 6. EHSP1- WELL CONSTRUCTION PERMIT

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** Obtain a water well construction permit from the Environmental Health Bureau pursuant to Monterey County Code Chapter 15.08, Water Wells.

**Compliance or Monitoring Action to be Performed:** Prior to drilling the well, a CA-licensed well drilling contractor shall obtain a water well construction permit from the Environmental Health Bureau on behalf of the property owner.

## 7. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

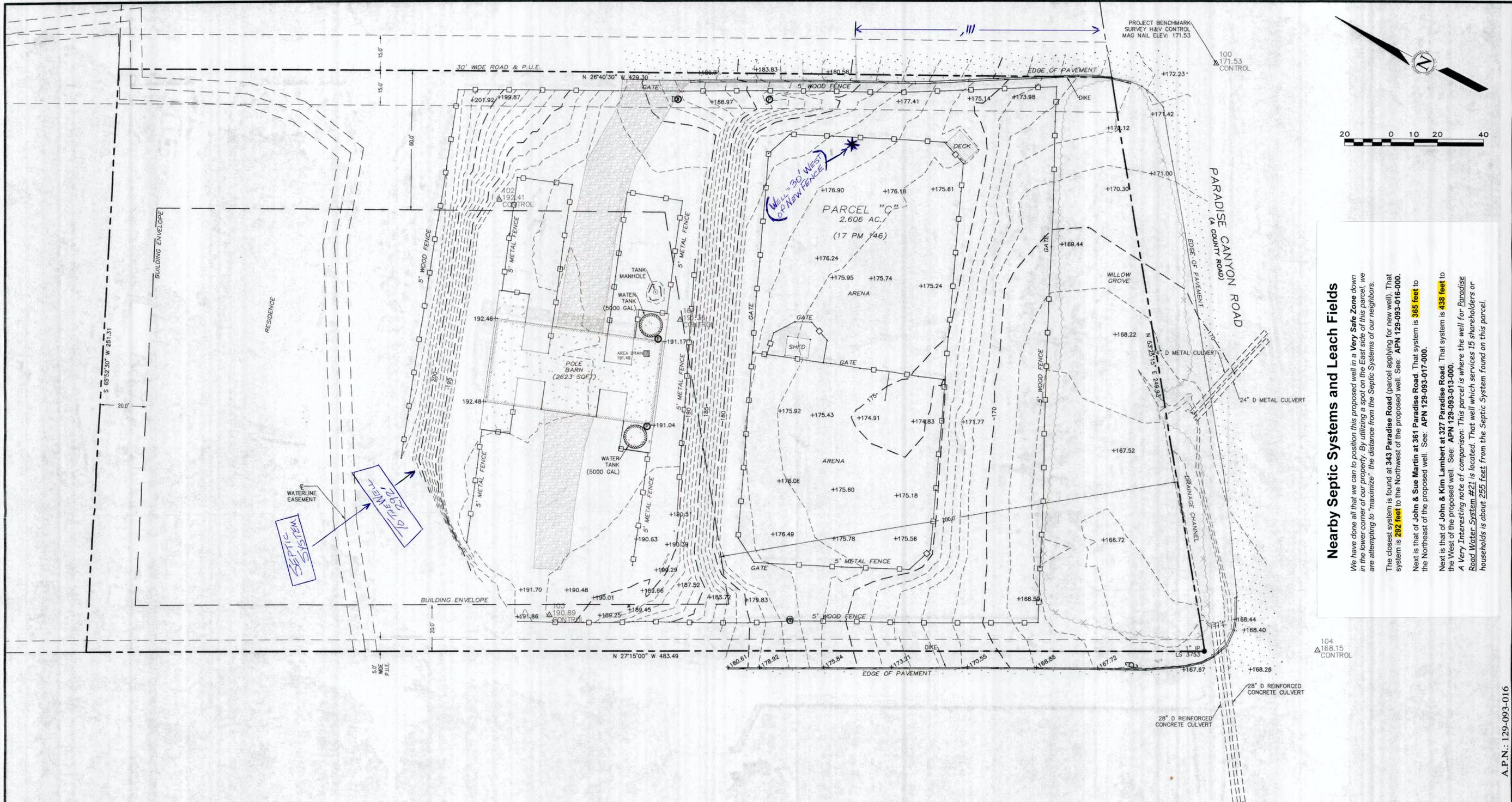
**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

## 8. PD005(A) - NOTICE OF EXEMPTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to CEQA Guidelines § 15062, a Notice of Exemption shall be filed for this project. The filing fee shall be submitted prior to filing the Notice of Exemption. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** After project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.



**Nearby Septic Systems and Leach Fields**

We have done all that we can to position this proposed well in a Very Safe Zone down in the lower corner of our property. By utilizing a spot on the East side of this parcel, we are attempting to "maximize" the distance from the Septic Systems of our neighbors.

The closest system is found at 343 Paradise Road (parcel applying for new well). That system is 292 feet to the Northwest of the proposed well. See: APN 129-093-016-000.

Next is that of John & Sue Martin at 381 Paradise Road. That system is 365 feet to the Northeast of the proposed well. See: APN 129-093-017-000.

Next is that of John & Kim Lambert at 327 Paradise Road. That system is 438 feet to the West of the proposed well. See: APN 129-093-013-000.

A Very Interesting note of comparison: This parcel is where the well for Paradise Road Water System #21 is located. That well which services 15 shareholders or households is about 255 feet from the Septic System found on this parcel.

**LEGEND:**

---	PROPERTY BOUNDARY LINE
- - -	ADJACENT PROPERTY BOUNDARY LINE
---	ORIGINAL PROPERTY BOUNDARY LINE
- - -	EASEMENT LINE (TYPE AS SHOWN)
---	ROADWAY CENTERLINE
---	MAJOR CONTOUR LINE (5' INTERVAL)
---	MINOR CONTOUR LINE (1' INTERVAL)
---	FENCE (TYPE AS MARKED)
---	ASPHALT CONCRETE SURFACE
---	CONCRETE SURFACE
---	GRAVEL SURFACE
---	WOODEN SURFACE
---	NATURAL GROUND SURFACE/LANDSCAPED AREA

○	CONDUIT	⊕	GAS LINE
○	PIPE	⊕	TELEPHONE SERVICE
○	CLEANOUT	⊕	UNKNOWN UTILITY
○	DOWNSPOUT	⊕	FUSE BOX
○	HOSEBIB	⊕	ELECTRICAL OUTLET
○	WATER SERVICE	○	UTILITY POLE
○	IRRIGATION BOX	○	GUY WIRE
○	IRRIGATION CONTROL VALVE	○	MAILBOX
○	WATER VALVE	○	AREA DRAIN
○	DRAIN LINE	○	HYDRANT
○	STREET LIGHT	○	SIGN

⊕	GAS METER	⊕	GAS METER
⊕	WATER METER	⊕	PGE BOX
⊕	UTILITY HUB	⊕	TELEPHONE BOX
⊕	TELEPHONE BOX	⊕	ELECTRICAL HUB
⊕	ELECTRICAL PANEL	⊕	ELECTRICAL PANEL
⊕	ELECTRICAL METER	⊕	ELECTRICAL METER
⊕	SANITARY SEWER MANHOLE	⊕	STORM DRAIN MANHOLE
⊕	PGE GAS MANHOLE	⊕	ELECTRICAL MANHOLE

○	FOUND MONUMENT - TYPE NOTED	○	FOUND MONUMENT - TYPE NOTED
○	SURVEY H&V CONTROL POINT	○	SURVEY H&V CONTROL POINT
○	SPOT ELEVATION	○	SPOT ELEVATION
○	RIDGELINE	○	RIDGELINE
○	FINISHED FLOOR	○	FINISHED FLOOR
○	TREE (TYPE AND SIZE AS MARKED)	○	TREE (TYPE AND SIZE AS MARKED)
○	CENTER OF TREE	○	CENTER OF TREE
○	TWO-PRONGED TREE (2P)	○	TWO-PRONGED TREE (2P)
○	THREE-PRONGED TREE (3P)	○	THREE-PRONGED TREE (3P)
○	MULTIPRONGED TREE (MP)	○	MULTIPRONGED TREE (MP)

CE	= CEDAR	PA	= PALM
CW	= COTTON WOOD	PE	= PEPPER
CYP	= CYPRESS	P	= PINE
E	= EUCALYPTUS	R	= REDWOOD
H	= HOLLY	TR	= TREE
O	= OAK	W	= WILLOW

**GENERAL NOTES:**

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED IN PARADISE ROAD APPROXIMATELY 46 FEET SOUTHEAST OF THE SOUTHEASTERLY PROPERTY CORNER, ELEVATION = 171.53' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (05/21/20) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- ZONING: LDR/2.5 (C2)
- NEW IMPERVIOUS AREA FOR THE POLE BARN AND WATER TANKS: 3321 SF

**STOP CONSTRUCTION**

If ..... during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.

**CONTACT INFORMATION:**

OWNER:  
MS. DONNA BRADFORD  
P.O. BOX 85  
MOSS LANDING, CA 95039

SITE LOCATION:  
343 PARADISE ROAD  
PRUNEDALE, CA 95907

A.P.N.: 129-093-016

**SITE PLAN**

OF  
**PARCEL "C" - VOLUME 17 OF PARCEL MAPS AT PAGE 146**  
MONTEREY COUNTY RECORDS  
SALINAS, CALIFORNIA  
FOR  
MS. DONNA BRADFORD

SCALE: 1" = 20'  
DATE: JUNE 2020  
JOB NO. 1684-01

SHEET 1

OF 1 SHEETS

No.	DATE	BY	REVISION
06/05/20	JK		RELEASED TO CLIENT

APPROVED BY:

GUY R. GIRAUDO  
P.E. No. 8703

**LANDSET**  
ENGINEERS, INC.  
520 S. Gray St., Salinas, CA 95076  
Office (831) 443-6970 Fax (831) 443-3801  
www.landseteng.com





BARN

The Creation of a New Water Well

Di Minimus Domestic Use 2 Acre Feet

At 343 Paradise Road In North Monterey County

Parcel Number 129-093-016-000 Property Owner: Donna Bradford

Project Contact: Kim Kobow 831-663-6992



ARENA FENCE

ARENA FLOOR = FLAT

ARENA FENCE



30'

PRIVATE LANE

NEW FENCE

Old Fence

GATE

Willow

Property Line

TREES



24'

20'

0.0277777" = 1'  
2 3/4" = 100'

PARADISE ROAD  
← WEST EAST →

BARN

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FRED ASH & SONS  
LYNCH PUMP COMPANY  
LIC.#408285-C36-C61-D21-C57  
13245 MONTEREY ROAD  
SAN MARTIN, CA 95046

(408) 683-4561 (831) 663-3507  
(831) 637-8534

"SPOILS" ..... from Water Well Drilling Project

At 343 Paradise Road in Prunedale

To STAY ON THE PROPERTY

On Level Arena Floor.....

DRILL RIG



PRIVATE LANE

30'

ARENA FENCE

Old Fence

GATE

Willow

Property Line

TREES

DRIVEWAY

24'

20'

NEW FENCE

0.0277777 = 1'  
2 3/4" = 100'

PARADISE ROAD  
← WEST EAST →

BARN

The Creation of a New Water Well

Di Minimus Domestic Use 2 Acre Feet

At 343 Paradise Road In North Monterey County

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EMBANKMENT



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"SPOILS" ..... from Water Well Drilling Project  
At 343 Paradise Road in Prunedale  
To STAY ON THE PROPERTY  
On Level Arena Floor.....

WELL →



30'

PRIVATE LANE

ARENA FENCE

Old Fence

GATE

Willow

Property Line

TREES

DRIVEWAY

24'

20'

0.0277777 = 1'  
2 3/4" = 100'

PARADISE ROAD  
← WEST EAST →