

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

YOU HARRY (PLN230243)

RESOLUTION NO. 24-015

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project exempt from CEQA pursuant to CEQA Guidelines Section 15303, new structures, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow the construction of a 9,202 square foot two-story single family dwelling, inclusive of a 3-car garage, with 4,023 square foot basement, site walls, terrace, a 112 square foot pool cabana and pool;
 - b. Coastal Development Permit to allow development within 750 feet of known archaeological resources; and
 - c. Coastal Development Permit for removal of five Coast live oak trees.

[PLN230243, You Harry, 3414 17 Mile Drive,
Pebble Beach, Del Monte Forest Land Use Plan,
Coastal Zone (APN: 008-381-019-000)]

The You Harry application (PLN230243) came on for hearing before the Monterey County Zoning Administrator on March 28, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, written testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Monterey County Coastal Implementation Plan, Part 1, Zoning Ordinance (Title 20); and
 - Monterey County Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area (DMF CIP).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project consists of construction of a 9,202 square foot two-story single-family dwelling with full basement, attached garage, pool, spa and 112 square foot detached pool cabana on a vacant lot in Pebble Beach. The project also includes development within 750 feet of a known archaeological resources and the removal of five Coast live oak trees.
- c) Allowed Use. The property is located at 3414 17 Mile Drive, Pebble Beach (APN: 008-381-019-000), in the Del Monte Forest Land Use Plan. The parcel is zoned Low Density Residential with a density of 1 unit per 1.5 acres with Design Control overlay district in the Coastal Zone or “LDR/1.5-D (CZ)”, which allows the first single family dwelling on a lot pursuant to a Coastal Administrative Permit and Design Approval (Title 20 sections 20.14.040 and 20.44.020). Removal of protected trees requires a Coastal Development Permit pursuant to DMF CIP section 20.147.050.A. Development within 750 feet of a known archaeological resource also requires a Coastal Development Permit pursuant to section 20.147.080.A.1 of the DMF CIP. Therefore, the project is an allowed use for this site.
- d) Site Inspection. The project planner conducted a site inspection on July 14, 2023 and October 29, 2023 to verify that the project on the subject parcel conforms to the plans listed above.
- e) Lot Legality. An Unconditional Certificate of Compliance (CC120014) was recorded for the subject property following a lot line adjustment (PLN110274) in 2012. The Certificate of Compliance refers to the lot by its previous APN: 008-381-017-000 (Lot 1); after the certificates were issued the lot received a new APN in accordance with the County’s lot line adjustment process. The property’s description on the Certificate of Compliance matches the current size and configuration of the subject property. The lot has not undergone any lot line adjustments, subdivisions or mergers since the certificate was issued; therefore, the County recognizes it as a legal lot of record.
- f) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. Consistent with Title 20, Chapter 20.44, a Design Approval Application was submitted. The proposed colors and materials include cream colored limestone and light beige smooth finish stucco for the exterior walls, medium tone wood soffit, bronze aluminum window and door framing, bronze metal fascia trim and cladding, and bronze, class “A” zinc metal roofing. The glass windows and doors will be non-reflective, and clear tempered glass handrails will enclose each deck. Currently, the lot is vacant so any development in the lot would change the view from 17 Mile Drive. The proposed house is comparable in design and massing to those in the neighborhood. Although the new structure will be visible from 17 Mile Drive, there are existing trees partially blocking the ocean view where the house is proposed. The applicants have sited the house to

be partially screened by existing vegetation lining 17 Mile Drive. The home is setback approximately 155 feet from the center line of 17 Mile Drive. In addition to the existing trees, the applicant will landscape to further soften the visual impact as well as plant the replacement trees (Condition No. 10) appropriately throughout the property.

- g) Development Standards. Development standards for the Low Density Residential zoning district can be found in Title 20 section 20.14.060. The proposed development conforms with all regulated site development standards. The allowed site coverage for this lot is 15% (8,124 square feet), the proposed site coverage is 14.9% (8,122 square feet). The proposed 2 story single family dwelling will have a total floor area ratio (FAR) of 17.2% (9,314 square feet); this is below the maximum allowed 17.5% (9,479 square feet). The structure includes a 4,023 square foot basement that is located entirely below grade and therefore does not count towards the FAR for the property. The proposed development will be within all required setbacks. The structure will have a front setback of 125 feet, the side setbacks will each be over 24 feet, and the rear setback is proposed at 58 feet; these exceed the required minimum 30 foot front setback and 20 foot side and rear setbacks. The proposed height of the structure is 29 feet and .25 inches, consistent with the allowed maximum 30 foot height limit for LDR zoning districts.
- h) Tree Removal. As demonstrated in Finding 7 and supporting evidence, the required finding to allow tree removal has been made.
- i) Archaeological Sensitivity. As demonstrated in Finding 5 and supporting evidence, the required finding to allow development within 750 feet of a known archaeological resource has been made.
- j) Pescadero Watershed Pursuant to Policy 77 of the DMF LUP and DMF CIP section 20.147.030.A.b, the undeveloped parcel has an allowance of 9,000 square feet of impervious coverage as they are within the Pescadero Watershed. Consistent with the policies and regulations, the applicant has proposed a total impervious coverage of 8,251 square feet.
- k) Land Use Advisory Committee. The project was brought before the Del Monte Forest Land Use Advisory Committee on January 18, 2024. The committee unanimously recommended support of the application as proposed with recommendations. The LUAC members expressed concern for the proximity of landscaping elements to the proposed structures and advised checking fire codes and revising accordingly. The agent agreed to review the landscaping with the architect and to make any needed adjustments. The project has been conditioned requiring submittal of a final landscape plan to HCD-Planning for review and approval. This will ensure planting is installed in accordance with applicable regulations, including fire. No comments were made by the public at this meeting.
- l) The application, project plans, staking & flagging photos and related support materials submitted by the project applicant to Monterey County HCD- Planning for the proposed development are found in Project File PLN230243.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, Pebble Beach Community Services District (CSD), HCD-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Recommended conditions have been incorporated.
 - b) Staff identified potential impacts to archaeological resources, sensitive biological resources and protected trees. The following reports have been prepared:
 - “Phase I Archaeological Assessment” (LIB240023) prepared by Susan Morley, Marina, California, December 2, 2023.
 - “Arborist Report” (LIB240024) prepared by Albert Weisfuss, Carmel, California, December 1, 2023.
 - “Biological Assessment” (LIB240022) prepared by Fred Ballerini, Pacific Grove, CA November 27, 2023.
 - “Geotechnical Investigation” (LIB240021) prepared by Greg Bloom, Watsonville, California, August 1, 2023.The above-mentioned technical reports by outside consultants indicate that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions. All development shall be in accordance with these reports.
 - c) Staff conducted a site inspection on July 14, 2023 and October 29, 2023 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development are found in Project File PLN230243.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, Pebble Beach CSD, HCD-Environmental Services and Environmental Health Bureau. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public utilities will be provided. Water will be served by Cal Am and the applicant submitted a Monterey Peninsula Water Management District water permit showing they will have enough water, 1.0 acre feet, to support the proposed development. Sewage services by Pebble Beach CSD and ultimately conveyed to the Carmel Area Wastewater District.

- c) The Pebble Beach CSD reviewed the site plans and application materials for compliance with the fire safety regulations and found the project consistent.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD- Planning for the proposed development are found in Project File PLN230243.

- 4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No known violations exist on the property.
EVIDENCE:
 - a) Staff reviewed Monterey County HCD-Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on July 14, 2023 and October 29, 2023 and researched County records to assess if any violation exists on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230243.

- 5. **FINDING:** **CULTURAL RESOURCES** – The proposed project will not have an adverse impacts to archaeological or cultural resources.
EVIDENCE:
 - a) Pursuant to DMF CIP section 20.147.080.A.1, a Coastal Development Permit was added to the entitlement and an archaeological survey was prepared for this project because the project site is within 750 feet of known archaeological resources.
 - b) Pursuant to DMF CIP section 20.147.080.B, a Preliminary Cultural Resources Reconnaissance (LIB240023) was prepared for this project. The results of the pedestrian survey were negative, and the overall conclusion was that the proposed project would not likely have a significant impact on any archaeological resources. The archaeologist stated further investigation is not warranted and did not recommend mitigation.
 - c) The County's standard archaeological/cultural resource condition has been applied to the project. In the event of a resource being uncovered at the site, work will be halted immediately within 50 meters of the find until a qualified professional archaeologist can evaluate it.
 - d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230243.

- 6. **FINDING:** **BIOLOGICAL RESOURCES** – The proposed project will not have adverse impacts on any environmentally sensitive habitat areas or sensitive species.
EVIDENCE:
 - a) County GIS data identified the project site as being within an area known to contain sensitive plant species including Hooker's manzanita, Monterey pine forest and Oak woodland. Pursuant to DMF CIP section 20.147.040.B.1, a Biological Assessment (LIB240022) was prepared to

address concerns of potential impacts to environmentally sensitive species and habitats within the subject parcel.

- b) The biologist did not observe any protected or sensitive species during their site visit and did not recommend further investigation. The biologist concluded that special status species would not be impacted by the proposed development project.
- c) The biologist did recommend a raptor survey prior to tree removal to avoid potential impacts to nesting birds. This recommendation has been implemented as a Condition of Approval, Condition No. 11.
- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230243.

7. **FINDING:**

TREE REMOVAL – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.

EVIDENCE:

- a) Consistent with section 20.147.050.B.1 of the DMF CIP, an Arborist Report (LIB240024) was submitted to evaluate the proposed tree removal and address potential impacts.
- b) The project includes removal of approximately five protected trees consisting of five Coast live oaks. Pursuant to section 20.147.050.A, a Coastal Development Permit has been applied to this project for the proposed tree removal.
- c) The Arborist Report states the removal of these protected trees is necessary for the development to occur. Three trees are within the proposed development footprint. One tree is at the southern portion of the parcel away from the development but is in a state of advanced decline. The arborist found that this decline cannot be abated and therefore recommends removal. Another tree, located near the western property line, is dead with a lean towards the south. Should the tree fall, it could pose a potential hazard to the dwelling. As such, the arborist recommends removal.
- d) The applicants have sited the single-family dwelling to minimize tree removal; they are utilizing the most open area of the property to construct their dwelling. As designed, the structure could not be re-sited to avoid or further reduce tree removal.
- e) The arborist confirmed the proposed tree removal would not have adverse impacts on forest resources. The stand on the property is made up of mainly oak trees with other trees including one Monterey pine, one Eucalyptus, and one Monterey cypress. The project as proposed is not likely to significantly reduce the availability of wildlife habitat over the long term as the site has surrounding forested areas which will remain untouched, adjacent residential homes, as well as a highly used recreational area.
- f) The arborist has recommended a 1:1 replacement ratio for the oak trees. Therefore, the project has been conditioned (Condition No. 10) to replant five trees following the construction. These trees should be planted in the immediate area in areas with the greatest opening in the stand to allow for a minimum of competition and maximum sunlight with at least ten feet of space between each tree.

- g) Existing trees within the vicinity of the project site that are not being removed will be protected throughout construction. Protective fencing will be installed around the drip line of the protected trees to ensure no development occurs within the critical root zone. This measure has been implemented as a Condition of Approval, Condition No. 8. The arborist report also requires construction vehicles, heavy equipment and stockpiles to be located outside of the fenced off areas and away from the protected trees.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN230243.

8. **FINDING:** **VISUAL RESOURCES** – The proposed project will not have a significant impact on visual resources from 17 Mile Drive or Point Lobos State Park.

- EVIDENCE:**
- a) DMF LUP Figure 3 – Visual Resources, illustrates that the site is located within the viewshed of Point Lobos and 17-Mile Drive. The home has been sited to minimize impacts to views of the ocean and views of the forest from Point Lobos. The lot slopes downward towards the rear of the property allowing the finished floor level of the home to be located 23 feet below the street level, allowing pedestrians to maintain a partial ocean view from 17 Mile Drive.
 - b) In accordance with section 20.147.070.B.2, native plants will be used to help screen the development from the view of 17 Mile Drive.
 - c) In accordance with the purpose of section 20.147.070.B.12, the applicants have sited the proposed single-family dwelling as far from the edge of 17 Mile Drive (150 feet) while maintaining as many protected trees as possible.
 - d) Staff conducted a site visit to Point Lobos on November 16, 2023 to view the property from across the bay at the State Park. The staking and flagging was barely visible through binoculars and was not visible to the naked eye. The new structure will be heavily screened by vegetation and will not stand out or cause an adverse impact to visual resources. The subject parcel is surrounded by developed lots, and the new structure will blend in with the existing structures visible from Point Lobos.
 - e) Staff conducted a site visit to the project site on July 14, 2023 and October 29, 2023 to assess potential visual impacts from the view of 17 Mile Drive. The single-family dwelling will block some ocean views from 17 Mile Drive as the lot is currently vacant. However, most of the ocean views are already impacted by existing vegetation and the new construction would not constitute a significant visual impact. The house would be similar in size and mass to surrounding homes and would fit in with the eclectic Pebble Beach neighborhood.
 - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN230243.

9. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15303 categorically exempts the construction of new structures including the first single family dwelling on a vacant lot.
 - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project:
 - The location of a project site is not located within an environmentally sensitive area;
 - Successive projects of the same type and in the same place would not contribute to a significant cumulative impact;
 - There are no unusual circumstances regarding this project that would cause a significant effect to the environment (see Findings 1, 2, 5, 6, 7 and 8);
 - The project site is not visible from any scenic highways, and the proposed development would not result in damages to scenic resources; and
 - The project site is not located on or near any hazardous waste sites listed in Section 65962.5 of the Government Code.
 - c) Staff conducted a site inspection on July 14, 2023 and October 29, 2023 to verify that the site and proposed project meet the criteria for an exemption.
 - d) See supporting Finding Nos. 1, 2, 5, 6, 7 and 8. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230243.

10. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to/by the Board of Supervisors and the California Coastal Commission (CCC).
- EVIDENCE:**
- a) Pursuant to Title 20 section 20.86.030, an aggrieved party may appeal a decision of the Zoning Administrator to the Board of Supervisors.
 - b) Title 20 section 20.86.080 states an applicant or any aggrieved person who has exhausted all County appeals, or any two members of the California Coastal Commission, may appeal any approved project located between the sea and the first public road paralleling the sea to the CCC. The project parcel is between the sea and the first public road, that road being Highway 1.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find the project exempt from CEQA pursuant to section 15303, new structures, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Combined Development Permit consisting of a:
 - d. Coastal Administrative Permit and Design Approval to allow the construction of a 9,202 square foot two-story single family dwelling, inclusive of a 3-car garage, with 4,023 square foot basement, site walls, terrace, a 112 square foot pool cabana and pool;
 - e. Coastal Development Permit to allow development within 750 feet of known archaeological resources; and

- f. Coastal Development Permit for removal of five Coast live oak trees.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions which are incorporated herein by reference.

PASSED AND ADOPTED this 28th day of March, 2024:

DocuSigned by:

Mike Novo

9D45DC219AC247C...

Mike Novo AICP,
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **APRIL 3, 2024.**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **APRIL 15, 2024.**

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD- Planning and HCD- Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

This page intentionally left blank

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230243

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN230243) allows construction of a 9,202 square foot two-story single-family dwelling with full basement, attached garage, pool, spa and detached pool cabana; development within 750 feet of a known archaeological resource; and removal of five (5) Coast Live Oak trees. The property is located at 3414 17 Mile Drive (Assessor's Parcel Number 008-381-019-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number 24-015) was approved by the Zoning Administrator for Assessor's Parcel Number 008-381-019-000 on March 28, 2024. The permit was granted subject to 14 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD041 – HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD – Planning and HCD – Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

5. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

6. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

7. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

8. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

9. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

10. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to final, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1
- Replacement ratio recommended by arborist:
- Other:

Replacement tree(s) shall be located within the same general location as the tree being removed.

Replacement tree(s) shall be located in areas that will have the least impact on views from 17 Mile Drive.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

11. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

12. PD012(D) - LANDSCAPE PLAN AND MAINTENANCE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The landscaping plan will identify areas for tree planting sites that will have the least impact on views from 17 Mile Drive. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

13. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

14. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"An Arborist Report (LIB240024) was prepared by Monterey Bay Treeworks on December 1, 2023, and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

This page intentionally left blank

17 MILE DRIVE RESIDENCE

3414 17 MILE DRIVE

PEBBLE BEACH, CA 93953



LANDRY DESIGN GROUP

PROJECT INFORMATION

ARCHITECT	OWNER	GEOTECHNICAL	ADDRESS:
LANDRY DESIGN GROUP 1818 S. SEPULVEDA BLVD., LOS ANGELES, CA 90025 PHONE: 310-444-1404 FAX: 310-444-1405	RHY MANAGEMENT, LLC C/O DMY 1180 N. TOWN CENTER DRIVE, SUITE 100 LAS VEGAS, NV 89144 PHONE: 831-724-2612	BUTANO GEOTECHNICAL ENGINEERING, INC. 404 WESTRIDGE DRIVE, WATSONVILLE, CA 95070 PHONE: 831-724-2612	3414 17 MILE DRIVE, PEBBLE BEACH, CA 93953
SURVEYOR	CIVIL	LANDSCAPE	PROJECT DESCRIPTION:
RASMUSSEN LAND SURVEYING, INC. 2150 GARDEN ROAD, SUITE A-3, MONTEREY, CALIFORNIA 93942 PHONE: 831-375-7240 FAX: 831-375-2545	LANDSET ENGINEERS, INC. 520-B CRAZY HORSE CANYON ROAD, SALINAS, CALIFORNIA 93907 PHONE: 831-443-6970 FAX: 931-443-3801	JONI L. JANECKI & ASSOCIATES, INC. 515 SWIFT STREET, SANTA CRUZ, CA 95060 PHONE: 831-423-0940	NEW SINGLE FAMILY RESIDENCE INCLUDING GARAGE, BASEMENT, NEW POOL AND SPA, AND DETACHED POOL CABANA
ARBORIST	BIOLOGIST	ARCHAEOLOGIST	ALLOWABLE HEIGHT: MAIN HOUSE: 30 FT. ACCESSORY STRUCTURE: 15 FT
MONTEREY BAY TREEWORX PO BOX 223374 CARMEL, CA 93922 PHONE: 831-969-2767	FRED BALLERINI P.O. BOX 1023 PACIFIC GROVE, CA 93950 PHONE: 831-236-6832	ACHASTA ARCHAEOLOGICAL SERVICES 3059 BOSTICK AVENUE, MARINA, CALIFORNIA 93933 PHONE: 831-262-2300	REQUIRED PARKING: 2 REQUIRED; 3 PROVIDED
FIRE SPRINKLERS REQUIREMENTS:			
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D OR SECTION R313.3 SHALL BE INSTALLED IN SINGLE FAMILY DWELLINGS, INCLUDING ATTACHED GARAGES. (R309.6, R313.1, R313.2)			
PROVIDE AND COMPLY WITH THE FOLLOWING APPLICABLE CODES:			
THE DESIGN AND CONSTRUCTION OF THE BUILDING AND STRUCTURES SHALL CONFORM TO THE 2022 CALIFORNIA BUILDING STANDARDS CODE AS ADOPTED AND AMENDED BY THE CITY OF LOS ANGELES. THE CALIFORNIA BUILDING STANDARDS CODE SHALL INCLUDE THE BUILDING CODE (BC), PLUMBING CODE (PC), MECHANICAL CODE (MC), GREEN BUILDING CODE (GBC), ELECTRICAL CODE (EC), FIRE CODE (FC), CALIFORNIA RESIDENTIAL CODE (CRC) AND ENERGY CODE (ENC). THE DESIGN AND CONSTRUCTION SHALL ALSO INCLUDE ANY LOCAL, STATE, AND FEDERAL ORDINANCES, LAWS, RULES AND REGULATIONS THAT MAY BE APPLICABLE.			

LOT SIZE AND FLOOR AREA

FLOOR AREA RATIO MEANS THE TOTAL COMBINED GROSS FLOOR AREA OF ALL FLOORS CONTAINED IN ALL BUILDINGS ON THE BUILDING SITE AS MEASURED FROM THE EXTERIOR FACE OF THE ENCLOSING WALLS. FLOOR AREA SHALL INCLUDE, BUT NOT BE LIMITED TO ALL ENCLOSED SPACES WITHIN ALL BUILDINGS, FINISHED BASEMENTS, GUEST HOUSES, STUDIOS, GARAGES AND CARPORTS. AREAS OF ENCLOSED FLOOR SPACE CONSTRUCTED AND MAINTAINED ENTIRELY BELOW GROUND, INCLUDING GARAGES, SHALL NOT BE COUNTED AS FLOOR AREA.				
MAX. ALLOWABLE FLOOR AREA CALCULATION (17.5% OF LOT AREA)				
54,163 SF x .175 (PER SURVEY)				9,479 SF
TOTAL ALLOWABLE FAR				9,479 SF
PROPOSED MAIN RESIDENCE	NEW SF	EXEMPT(CREDIT)	TOTAL SF	
BASEMENT (EXEMPT)	4,023 SF	4,023 SF	0 SF	
FIRST FLOOR	4,813 SF	-	4,813 SF	
SECOND FLOOR	4,389 SF	-	4,389 SF	
TOTAL MAIN RESIDENCE FAR				9,202 SF
PROPOSED ACCESSORY	NEW SF	EXEMPT(CREDIT)	TOTAL SF	
POOL BATH	112 SF	-	112 SF	
TOTAL ACCESSORY FAR				112 SF
TOTAL PROPOSED FAR				9,314 SF
SF UNDER MAX. FLOOR AREA ALLOWED				165 SF

LOT COVERAGE

20.06 250 COVERAGE: COVERAGE MEANS ANY AREA COVERED BY A STRUCTURE, STRUCTURES OR STRUCTURE PROTRUSIONS INCLUDING DECKS TWENTY-FOUR INCHES OR MORE ABOVE GRADE BUT NOT INCLUDING BUILDING EAVES OF THIRTY INCHES OR LESS AND SIMILAR NON-USABLE AREAS, PAVED DRIVEWAYS, SIDEWALKS, PATHS, PATIOS AND DECKS LESS THAN TWENTY-FOUR INCHES ABOVE GRADE.	
MAX. ALLOWABLE LOT COVERAGE CALCULATION (15% OF LOT AREA)	
54,163 SF x .15 (PER SURVEY)	8,124 SF
TOTAL ALLOWABLE LOT COVERAGE	8,124 SF
PROPOSED LOT COVERAGE	
BUILDING	6,705 SF
HARDSCAPE / STRUCTURES OVER 24"	1,327 SF
OVERHANG > 30"	90 SF
TOTAL PROPOSED LOT COVERAGE	8,122 SF
SF UNDER MAX. LOT COVERAGE ALLOWED	2 SF

IMPERVIOUS SURFACE COVERAGE

CODE EXCERPT: PER DEL MONTE FOREST LAND USE PLAN 20.1473030 A.1(b) IMPERVIOUS SURFACE (STRUCTURAL AND SITE IMPROVEMENTS) COVERAGE FOR RESIDENTIAL DEVELOPMENT SHALL BE LIMITED TO A MAXIMUM OF 9,000 SQUARE FEET.			
MAX. ALLOWABLE PISCADERO COVERAGE CALCULATION:			
TOTAL ALLOWABLE PISCADERO COVERAGE		9,000 SF	
PROPOSED PISCADERO COVERAGE			
BUILDING	5,238 SF		
IMPERMEABLE	3,013 SF		
TOTAL PROPOSED PISCADERO COVERAGE		8,251 SF	
SF UNDER MAX. PISCADERO COVERAGE ALLOWED		749 SF	

SHEET INDEX

ARCHITECTURAL

A-0.0	TITLE SHEET
A-0.1A	PERSPECTIVES
A-0.1B	EXTERIOR ELEVATION - MATERIALS
A-1.0B	SITE PHOTOS - STAKING & FLAGGING
A-3.0	SURVEY
A-3.1	SITE PLAN
A-3.1A	PARTIAL SITE PLAN
A-3.1B	PARTIAL SITE PLAN
A-3.4	AREA CALCULATIONS AND LOT COVERAGE
A-4.0	BASEMENT FLOOR PLAN
A-4.1	FIRST FLOOR PLAN
A-4.2	SECOND FLOOR PLAN
A-4.3	ROOF PLAN
A-6.0	EXTERIOR ELEVATION
A-6.1	EXTERIOR ELEVATION
A-6.2	EXTERIOR ELEVATION
A-6.7	SITE ELEVATIONS
A-12.0	POOL CABANA
A-12.1	POOL CABANA

CIVIL

C-1	GRADING, DRAINAGE & UTILITY PLAN
C-2	CONCEPTUAL GRADING SECTIONS & BASEMENT FLOOR
C-3	EROSION & SEDIMENT CONTROL PLAN
C-4	CONSTRUCTION MANAGEMENT PLAN

LANDSCAPE

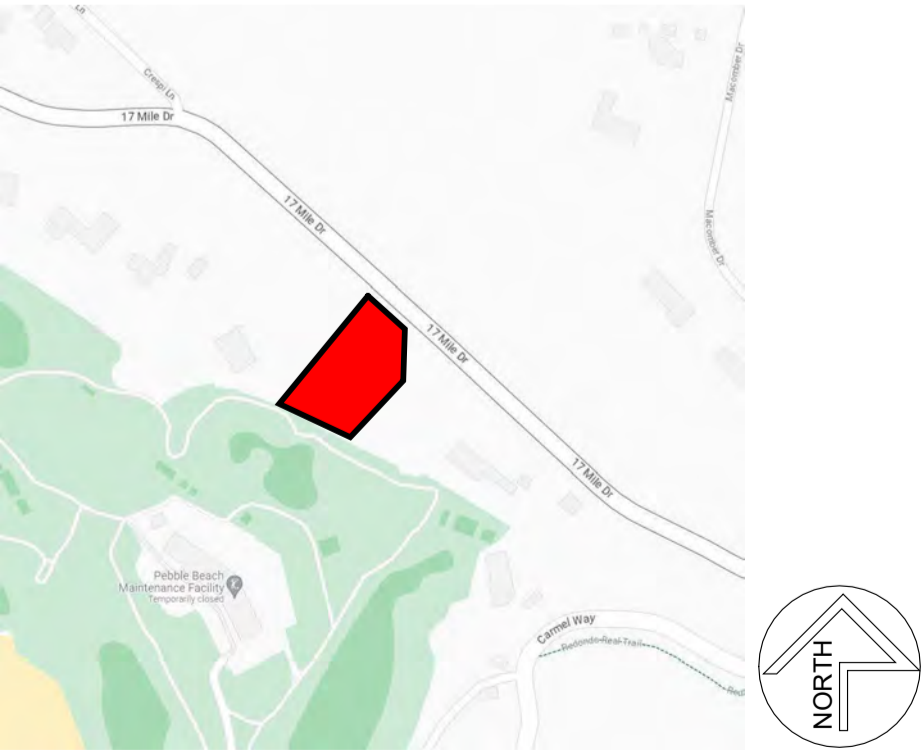
L0.00	LANDSCAPE TITLE SHEET
L1.00	LANDSCAPE PLAN
L1.01	TREE PROTECTION, MITIGATION, AND REMOVAL PLAN
L1.02	TREE PROTECTION NOTES
L2.00	IRRIGATION HYDROZONE PLAN AND MAWA CALCULATION



REVISION SCHEDULE	
NO.	DATE

17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953

VICINITY MAP



DATE	12.18.2023
JOB #	2022.10

TITLE SHEET

A-0.0

DISCLAIMER:
THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF LANDRY DESIGN GROUP. THE USE OF THESE PLANS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND DESIGNS REMAINS WITH LANDRY DESIGN GROUP. VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE OF ACCEPTANCE OF THESE RESTRICTIONS.
ARTIST'S RENDERING IS A CONCEPT IMAGE ONLY



ARTIST'S RENDERING IS A CONCEPT IMAGE ONLY

REAR RENDERING - TWILIGHT - NOT TO SCALE

2



ARTIST'S RENDERING IS A CONCEPT IMAGE ONLY

FRONT RENDERING - TWILIGHT - NOT TO SCALE

1



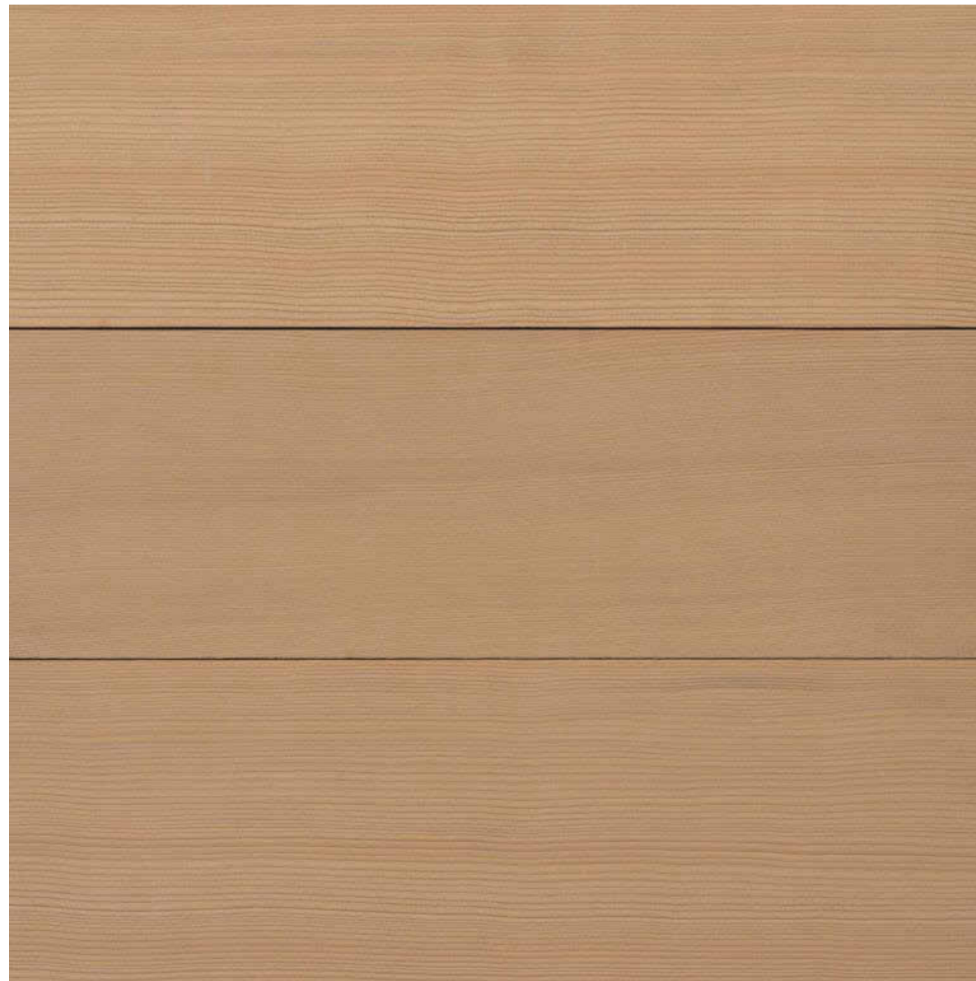
1. METAL - MEDIUM BRONZE



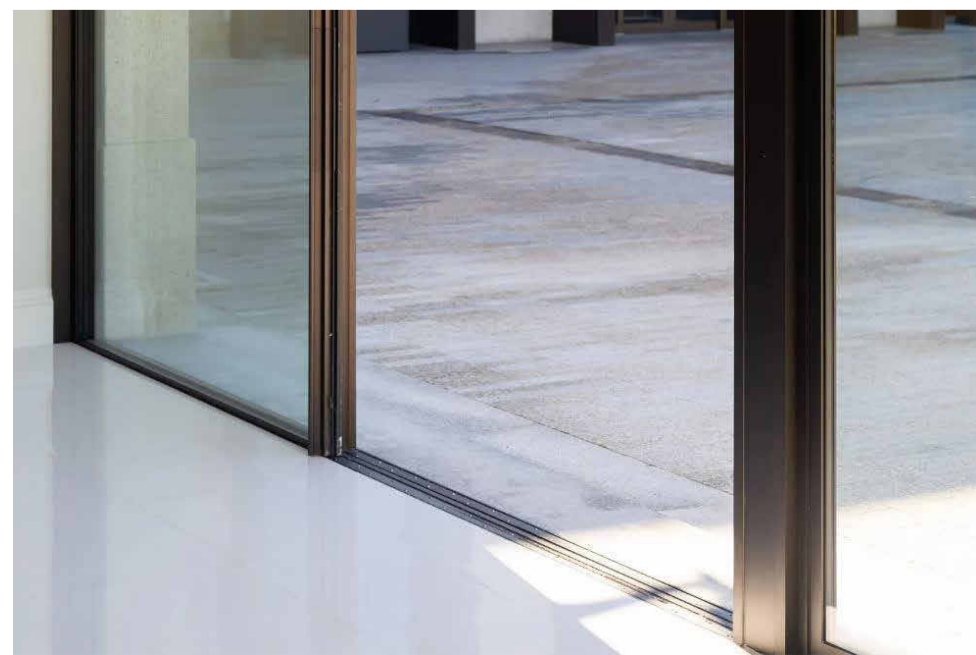
2. STONE - CREAM LIMESTONE, HONED



3. STUCCO - LA HABRA - EL DORADO - SMOOTH FINISH



4. WOOD - SOFFITS / CEILINGS



5. WINDOWS & DOORS - BRONZE COLOR ALUMINUM FRAMES

REVISION SCHEDULE	
NO.	DATE

17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93963

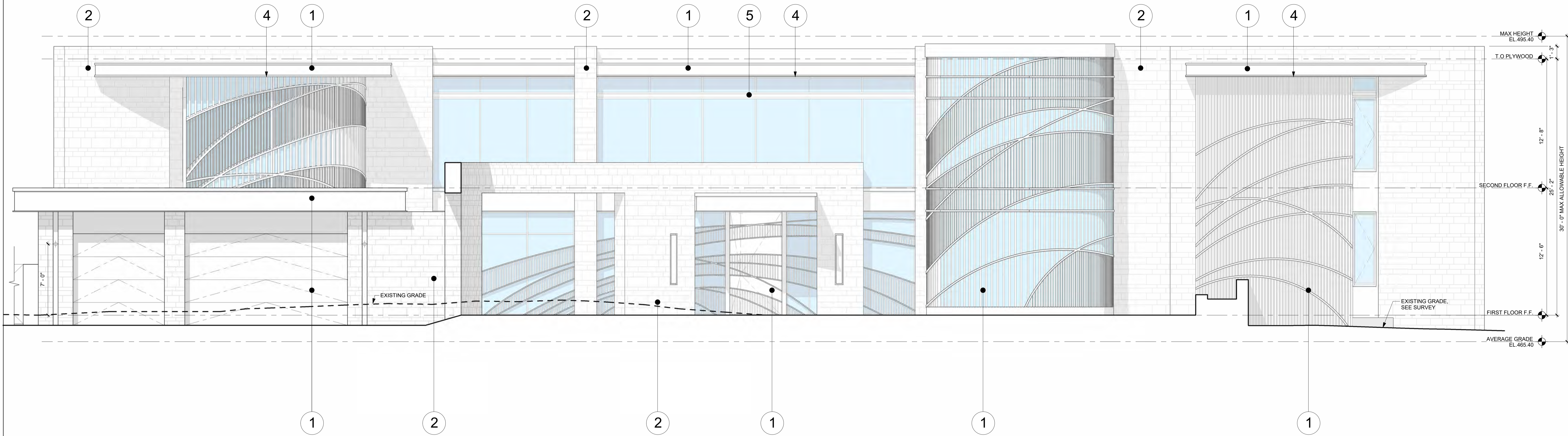


DATE	12.18.2023
JOB #	2022.10

PERSPECTIVES

A-0.1A

REVISION SCHEDULE	
NO.	DATE



NORTH ELEVATION - MATERIALS

SCALE: 1/4" = 1'-0"

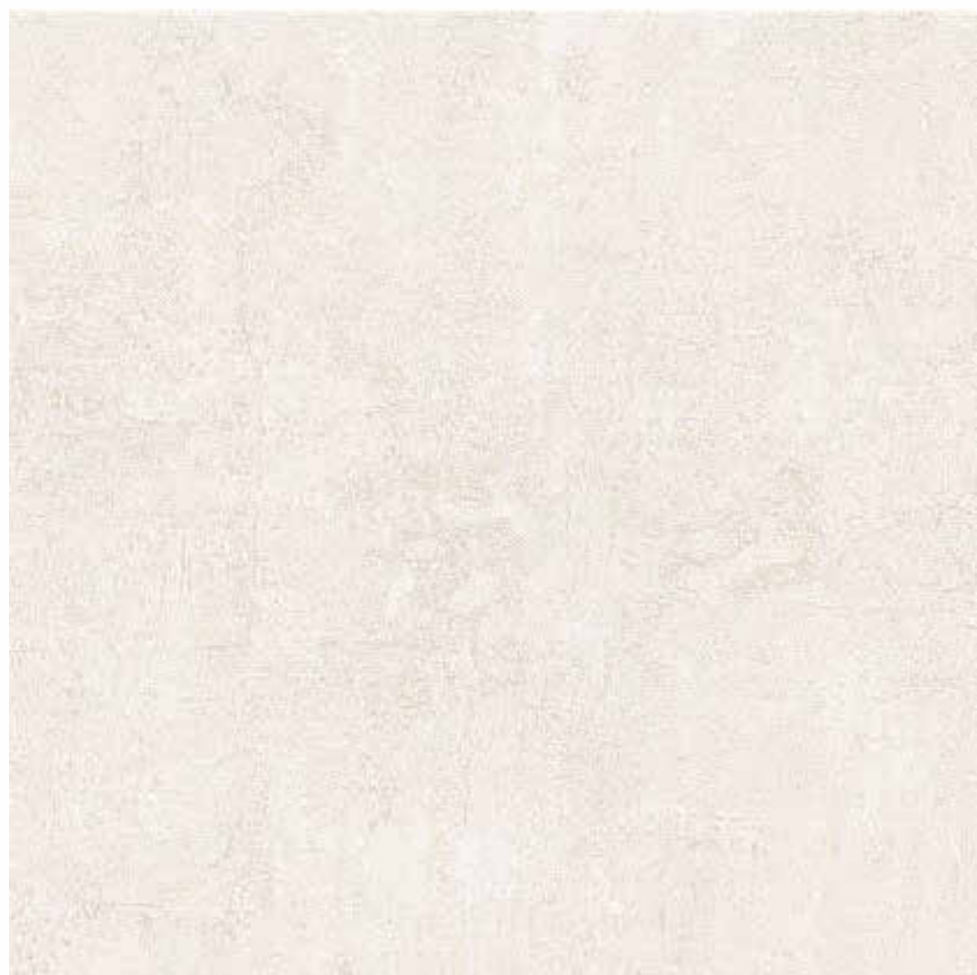
2



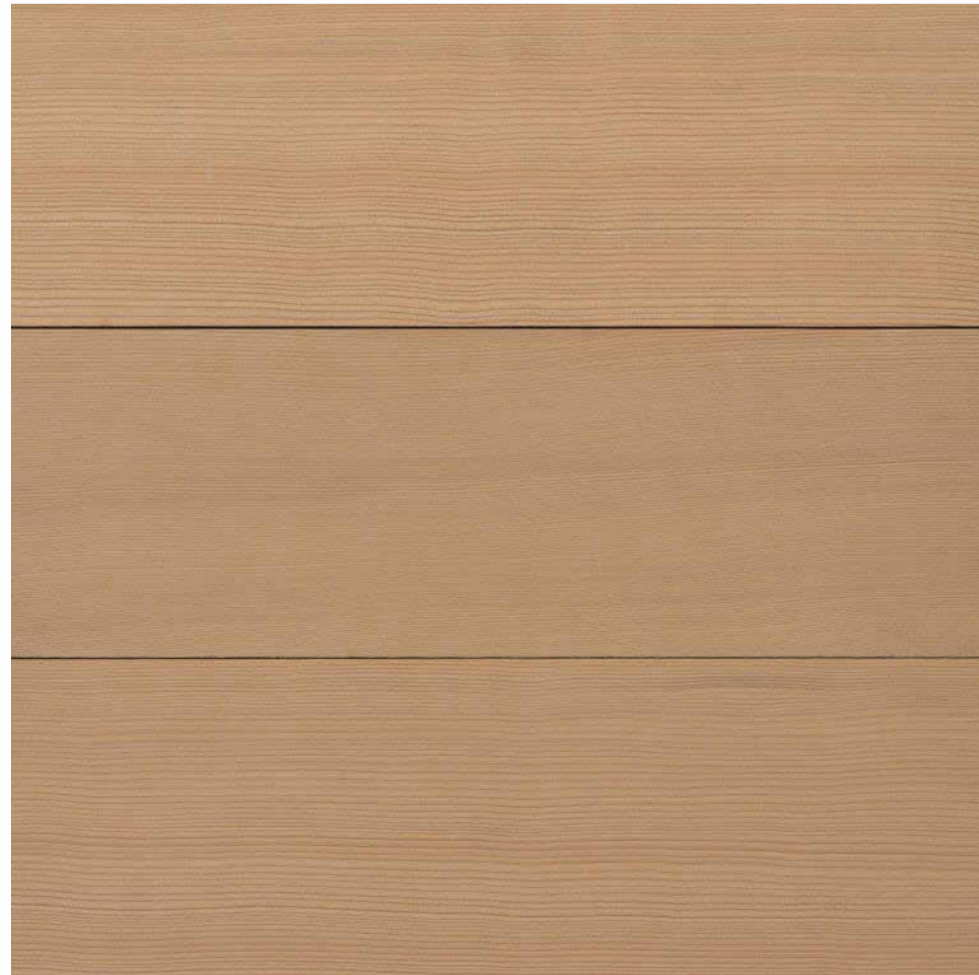
1. METAL - MEDIUM BRONZE



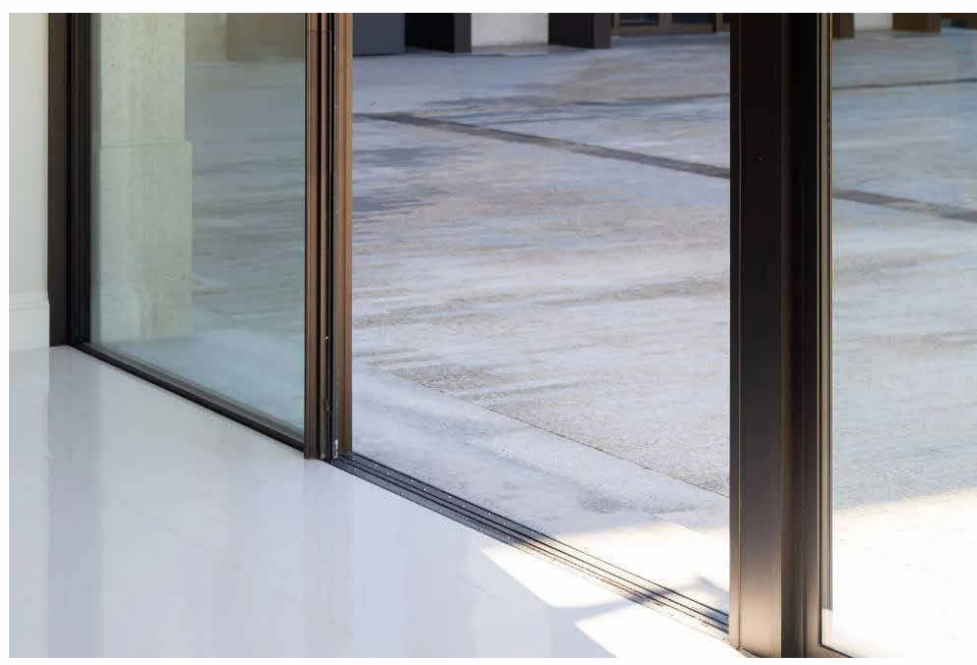
2. STONE - CREAM LIMESTONE, HONED



3. STUCCO - LA HABRA - EL DORADO - SMOOTH FINISH



4. WOOD SOFFIT / CEILINGS



5. WINDOWS & DOORS - BRONZE ALUMINUM FRAMES

MATERIALS



DATE 12.18.2023
JOB # 2022.10

EXTERIOR
ELEVATION -
MATERIALS

A-0.1B

1



SITE PHOTO - VIEW 5

5



SITE PHOTO - VIEW 2

2



SITE VIEW - VIEW 4

4



SITE VIEW - VIEW 1

1



SITE VIEW - VIEW 3

3



SITE MAP IMAGE

A

REVISION SCHEDULE	
NO.	DATE

17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93963



DATE 12.18.2023
JOB # 2022.10

SITE PHOTOS -
STAKING &
FLAGGING

A-1.0B

Map Legend:

Basis of Bearings: As shown or noted hereon.

Vertical Datum: Assumed. An elevation of 300.00' was assigned to Control Point #1.

Site Benchmark: Control Point #52, a Mag Nail & washer with an elevation of 490.88', as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

Boundary Legend

A.G.S. - above ground surface
A.S.O. - as shown on
AP - angle point
BC - brass cap or begin curve
BFP - backflow preventer
B.G.S. - below ground surface
BOC - back of curb
COR - corner
CP - control point
CTL - CONTROL
DOC - document
ENG/ENGR - engineer
FD/FND - found
F.T.C. - from true corner
I.P. - iron pipe
L-T/L&T - lead & tag
LS - land surveyor
M-T - MAG NAIL & tag
MAG - MAG NAIL
MKD - marked
MON - monument
N-T - nail & tag
N.R.F. - no reference found
O.R. - Official Records, Monterey County
O.U. - origin unknown
PER - map or corner record when monument was set
POL - point on line
RCE - registered civil engineer
ROW - right of way
S.F.N.F. - searched for, not found
SPK - spike
STA - station(control point)
TBM - temporary benchmark

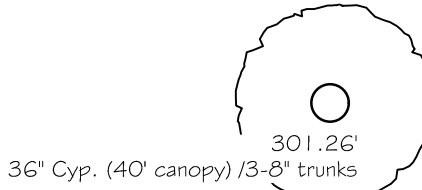
Topography Legend

AC - asphalt concrete
AD - area drain
AL - area light
BLD/BLDG - building
BLDR(S) - boulder(s)
BOC - back of curb
BRK - brick
BTM/BOT - bottom
BW - back of sidewalk
CF - curb face
CHIM - chimney
CL - centerline
CLM - column
CONC - concrete
D - dirt
DG - decomposed granite
DK - deck
DW - driveway
EA - exposed aggregate concrete
ENCL - enclosure
EP - edge of paving
FF - finished floor
FF-THRESH - finished floor threshold
FH - fire hydrant
FL - flow line
FL-NG - flow line natural grade
FNC - fence
FNC-BRD - board fence
FNC-BW - barbed wire fence
FNC-CL - chain-link fence
FNC-GS - grapestake fence
FNC-HW - hogwire fence
FNC-I - iron fence
FNC-LAT - lattice fence
FNC-PR - post & rail fence
FNC-WD - wood fence
FNC-WI - wrought iron fence
FNC-WR - wire fence
FOB - face of building
FOW - face of wall
FS - finished surface
FTG - footing
FW - front of sidewalk
GAR - garage
GB - grade break
GUT - edge of gutter
GUYA - guy anchor
GUYP - guy pole
GVL - gravel
HC - handicap
HDG - hedge
HRAIL - hand rail

INT - intersection
LNDG - landing
LIP - edge of conc gutter
MB - mailbox
MTL - metal
NG - natural grade
P - pool
PLTR - planter
PTO - patio
PVR - paver
RD - road
RDG - ridge
ROOF-P - roof peak
ROOF-R - roof ridge
STC - stucco
STN - stone
STP - step
STRP - stripe
SW - sidewalk
SWL - swale
TC - top of curb
TOP - top of slope
TOE - toe of slope
TW/TOW - top of wall
WALL-AB - Allen Block wall
WALL-CMU - concrete masonry unit wall
WALL-CRML - Carmel stone wall
WALL-DSTN - dry stack stone wall
WALL-RR - rrtle wall
WALL-STC - stucco wall
WLK - sidewalk

Utility Legend

CATV - cable tv
COMM - communications
CO or C/O - clean out
DDCV - double detector check valve
ELEC - electric
EM - electric meter
EO - electric outlet
GM - gas meter
GV - gas valve
HB - hose bib
ICV - irrigation control valve
IRR - irrigation
JP - joint utility pole
LT - light
LT-STD - light standard/pole
PB - utility pull box
PB-? - unmarked pull box
PF-PIN FLAG
PF-B - blue pin flag
PF-G - green pin flag
PF-O - orange pin flag
PF-P - pink pin flag
PF-PL - purple pin flag
PF-R - red pin flag
PF-W - white pin flag
PF-Y - yellow pin flag
PM - paint mark
PM-B - blue PM (water)
PM-G - green PM (sewer)
PM-O - orange PM (catv/comm)
PM-P - pink PM (unknown facilities)
PM-PL - purple PM (reclaimed water/irr)
PM-R - red PM (elec)
PM-W - white paint mark
PM-Y - yellow PM (gas)
PP - power pole
PVR - paver
SCO - sewer clean out
SDMH - storm drain manhole
SDMH - sanitary sewer manhole
ST LT - street light
STN - stone
TELCO - telephone
TG - top of drain grate
UP - utility pole
UTIL - utility
VLT - vault
VLT-GTE - GTE vault
VLT-PB - PacBell vault
VLT-PGE - PG&E vault
VLT-TELCOM - telecommunications vault
VLT-? - unmarked vault
VLT-VRZ - Verizon vault
WD-wood
WL - water line
WM - water meter
WV - water valve



Typical tree notation. Indicates an elevation of 301.26' at the trunk of a cypress tree with a 36" trunk diameter (inner circle) and a 40" diameter canopy (outer tree symbol). Multi-trunk trees denoted with an overall trunk diameter with clarifying notes following / symbol.

Finished surface elevation shot

Natural grade elevation shot

Indicates monument found as noted.

Subject Parcel Boundary
Parcel Boundary
Original Parcel Boundary
Right of Way
Right of Way Center Line

catch basin-drain
control point
electric meter or pull box
fire hydrant
gas meter or pull box
gas valve
guy anchor
irrigation pull box
irrigation control valve
light standard
manhole
point on line
sewer clean out
sign(pole)
storm drain manhole
sewer manhole
telephone manhole
telephone pull box
traffic signal box
cable television pull box
unmarked pull box
utility pole
water meter
water valve
well

3410 17 Mile Drive
APN: 008-381-003

3414 17 Mile Drive
APN: 008-381-019
Calculated Lot Area:
54,163.1 s.f. / 1.243 acres

3260 Macomber Dr.
APN: 008-162-007
Lot 6 (18 C&T 31)

APN: 008-381-020

Surveyor's Notes:

This map portrays the site at the time of the survey and does not show soils or geology information, underground conditions, easements, zoning or regulatory information or any other items not specifically requested by the property owner. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Underground utilities, if any, were not located. Information regarding underground utility locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an arbitrarily assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols are drawn to scale only approximately.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed. Survey markers located along the southwesterly line of 17 Mile Drive are in good condition and agree with the measurements shown on R1. Survey markers were not found along the rear boundary line or its production to the northwest and southeast nor along the southeasterly lines.

The found hubs along the easterly and southeasterly lines of the parcel, and noted hereon, were set by others.

If improvements are proposed near setback lines or the parcel boundary lines themselves, we recommend additional field work to locate survey markers on the rear lines of the parcels adjacent to the northwest and southeast. This will more precisely define the location of the rear line and boundary as a whole.



Topographic Survey

3414 17 Mile Drive, APN: 008-381-019
Located in Pebble Beach, Monterey County, State of California

Prepared For: Thomas & Elizabeth Laffont
Requested By: Jay Auburn, Studio Schicketanz

November 2020

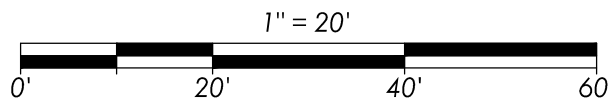
Rasmussen Land Surveying, Inc.
2150 Garden Road, Suite A-3, Monterey, California 93942
P: 831.375.7240 F: 831.375.2545

RLS W.O. # 2020-132 Laffont

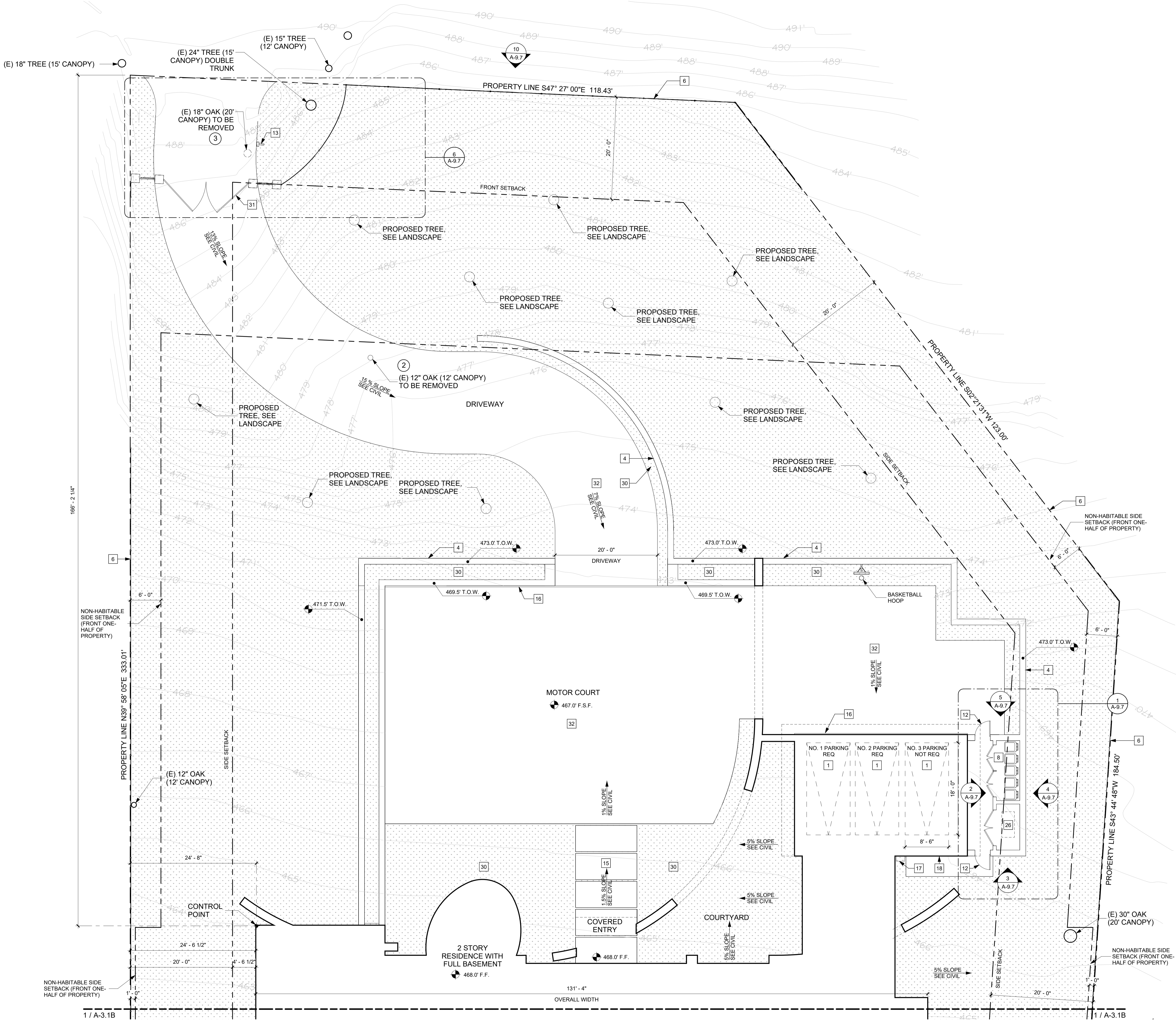
Sheet 1 of 1

DRAWING REVISIONS:
November 2020 - Original Survey

Pebble Beach Golf Links
APN: 008-381-009



17 MILE DRIVE



SITE PLAN NOTES

- A. CONTRACTOR TO PROVIDE SHORING AND BRACING PRIOR TO AND DURING ANY DEMOLITION AS REQUIRED
- B. CONTRACTOR TO PROVIDE WEATHER PROTECTION DURING DEMOLITION AND CONSTRUCTION OF ADJOINING SURFACES AND SPACES. ALL AREAS NOT IMPACTED BY CONSTRUCTION SHALL BE LEFT IN SAME CONDITION FOUND PRIOR TO START OF CONSTRUCTION UNLESS OTHERWISE NOTED
- C. CONTRACTOR TO PROVIDE DUST CONTROL DURING DEMOLITION AND CONSTRUCTION
- D. SITE TO BE KEPT CLEAN AND IN ACCORDANCE WITH A SITE MAINTENANCE PLAN
- E. STREET, CURB, AND GUTTER AND SIDEWALK ARE TO BE PROTECTED FROM DAMAGE SUCH AS INDENTATIONS FROM TRASH CONTAINER OR OTHER HEAVY OBJECTS PLACED ON PAVEMENT DURING CONSTRUCTION
- F. CONTRACTOR TO PROVIDE SECURITY CHAIN-LINK FENCE AROUND UNSECURED SITE AREAS
- G. VERIFY EXISTING HARDSCAPE AND LANDSCAPE TO BE REMOVED WITH LANDSCAPE DESIGNER, ARCHITECT, AND OWNER. ALL LANDSCAPING TO REMAIN SHALL BE MAINTAINED AND PROTECTED FROM DAMAGE
- H. CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED FOR OFFSITE IMPROVEMENTS
- I. ALL OFFSITE IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH PUBLIC WORKS STANDARD CONSTRUCTION SPECIFICATIONS AND LOCAL REQUIREMENTS
- J. AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE (SEPARATE PERMIT REQUIRED)
- K. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
- L. RESIDENTIAL SWIMMING POOLS SHALL HAVE A POOL ENCLOSURE AS REQUIRED BY SECTION AG105 OF THE 2022 CRC
- M. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT MINIMUM FALL, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM STRUCTURE
- N. ALL HARDSCAPE ADJACENT TO THE STRUCTURE SHALL DRAIN SURFACE WATER AWAY FROM THE FOUNDATION A MINIMUM OF 1/4 INCH PER FOOT (2%). PROVIDE SAMPLES AND MOCK-UPS FOR OWNER / ARCHITECT REVIEW, COORDINATE W/ CIVIL DRAWINGS FOR ELEVATIONS, DRAINAGE, GRADING, ETC.
- O. NOTIFY THE GRADING INSPECTOR PRIOR TO THE START OF GRADING
- P. THESE PLANS ARE FOR BUILDING PERMIT ONLY. A SEPARATE PERMIT SHALL BE REQUIRED FOR LANDSCAPE ELEMENTS, HARDSCAPE, SWIMMING POOL, SPA, WATER FEATURES, AND FOUNTAINS. A SEPARATE PERMIT SHALL BE REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING. ARCHITECT WILL PROCESS PLANS THROUGH PLAN CHECK FOR THE BUILDING PERMIT ONLY. THE CONTRACTOR WILL BE RESPONSIBLE TO SIGN AND OBTAIN THE BUILDING PERMIT ON BEHALF OF THE OWNER.
- Q. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS. ANY APPLICATION FORMS OR DRAWINGS REQUIRED FOR SAID PERMITS WILL BE PREPARED BY THE SUBCONTRACTOR AND REMUNERATION SHALL BE INCLUDED IN THE BID
- R. THE HEIGHT OF FENCES AND HEDGES ABOVE THE NATURAL GRADE SHALL NOT EXCEED 36 INCHES WITHIN THE REQUIRED FRONT YARD AND 6 FEET WITHIN THE REQUIRED SIDE YARDS AND REAR YARD
- S. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR THE LOCATION OF THE HOOK-UP. CONSTRUCTION SHALL NOT BE WITHIN 10 FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES
- T. PROVIDE A 42 INCH GUARDRAIL ON TOP OF THE WALL FOR YARD AREAS WHICH DROP VERTICAL MORE THAN 30 INCHES
- U. POOL ACCESS GATE SHALL BE EQUIPPED WITH SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54" ABOVE THE FLOOR
- V. POOL WITH INFINITY EDGE, PROVIDE A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM IN ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPACE IN ONE- AND TWO- FAMILY DWELLINGS FOR IRREGULAR-SHAPED POOL WHERE IT IS INFEASIBLE TO COVER 100% OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80% OF THE POOL SHALL BE COVERED

KEY NOTES

- 1 STANDARD PARKING STALL (8'-6" MIN. x 18'-0" MIN.)
- 2 COMPACT PARKING STALL (7'-6" MIN. x 15'-0" MIN.)
- 3 ELECTRIC VEHICLE CHARGING STATION
- 4 RETAINING WALL, SEE CIVIL DRAWINGS
- 5 SITE WALL, UNDER SEPARATE PERMIT
- 6 SITE FENCE, 6' MAX
- 7 FRONT ENTRY WALL, UNDER SEPARATE PERMIT
- 8 TRASH ENCLOSURE
- 9 POOL ENCLOSURE FENCE (5'-0" MIN.)
- 10 POOL ACCESS GATE
- 11 FRONT ENTRY GATE
- 12 PEDESTRIAN GATE
- 13 KEYPAD WITH ANNUNCIATOR
- 14 STEPPING STONE
- 15 PAVERS
- 16 TRENCH DRAIN, SEE CIVIL
- 17 GAS METER / SEISMIC SHUT-OFF VALVE, SEE PLUMBING DRAWINGS
- 18 MAIN ELECTRICAL SERVICE PANEL WITH METER, SEE ELECTRICAL DRAWINGS
- 19 TRANSFORMER WITH PAD
- 20 AUTOMATIC IRRIGATION CONTROLS, SEE LANDSCAPE DRAWINGS
- 21 POOL INFINITY EDGE
- 22 POOL CATCH BASIN
- 23 GUARDRAIL, 42" ABOVE FINISH FLOOR
- 24 WATER FEATURE, SEE DETAILS
- 25 UNDERGROUND EQUIPMENT VAULT WITH ACCESS HATCH, UNDER SEPARATE PERMIT
- 26 GENERATOR, UNDER SEPARATE PERMIT
- 27 MAILBOX
- 28 POOL EQUIPMENT
- 29 ART
- 30 PLANTER
- 31 MOTORIZED GATE LOOP
- 32 PERMEABLE HARDSCAPE, SEE HARDSCAPE PLAN

17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953

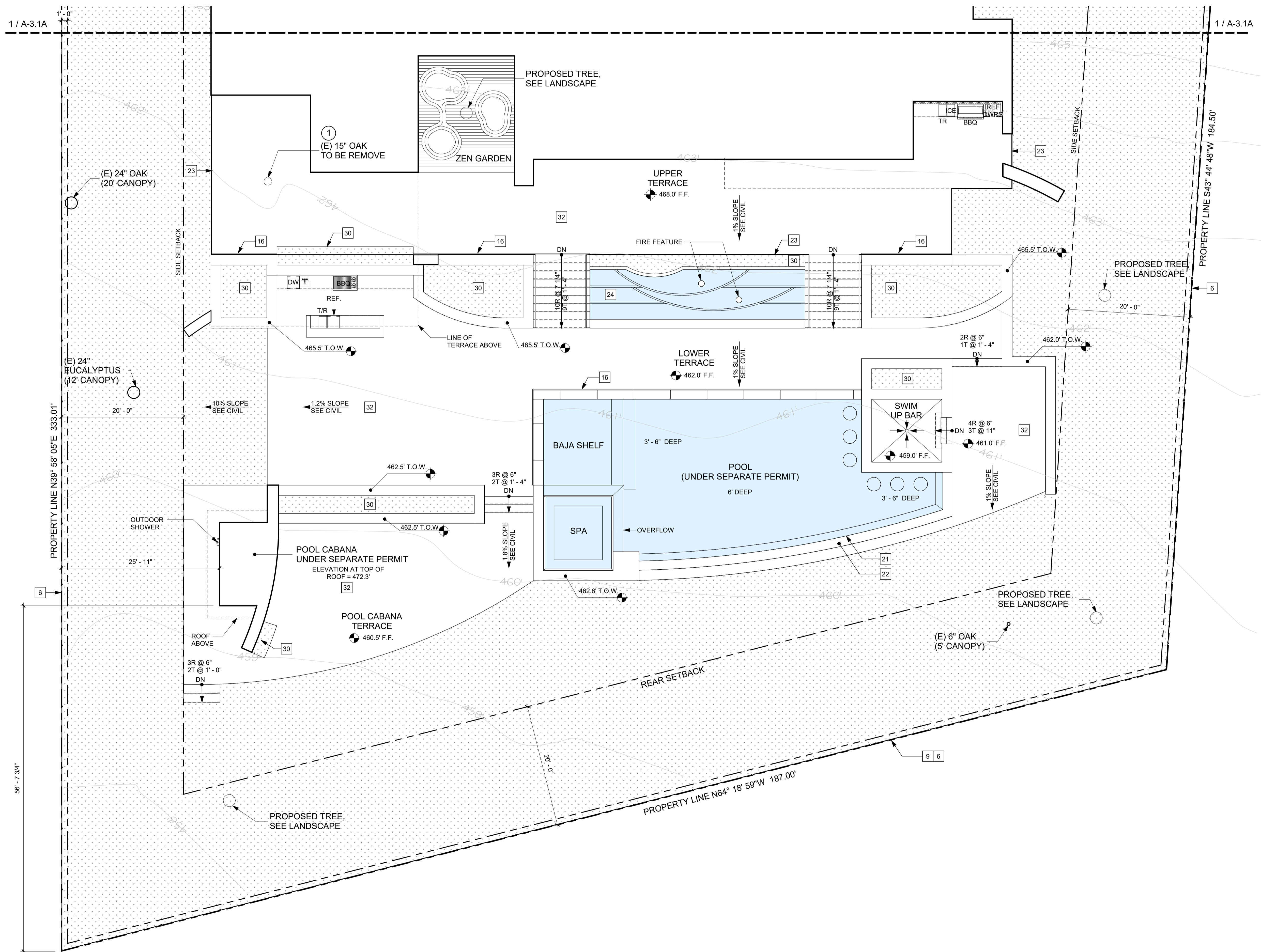


DATE 12.18.2023
JOB # 2022.10

PARTIAL SITE PLAN

A-3.1A

PLANNING SET



SITE PLAN NOTES

- A. CONTRACTOR TO PROVIDE SHORING AND BRACING PRIOR TO AND DURING ANY DEMOLITION AS REQUIRED
- B. CONTRACTOR TO PROVIDE WEATHER PROTECTION DURING DEMOLITION AND CONSTRUCTION OF ADJOINING SURFACES AND SPACES. ALL AREAS NOT IMPACTED BY CONSTRUCTION SHALL BE LEFT IN SAME CONDITION FOUND PRIOR TO START OF CONSTRUCTION UNLESS OTHERWISE NOTED
- C. CONTRACTOR TO PROVIDE DUST CONTROL DURING DEMOLITION AND CONSTRUCTION
- D. SITE TO BE KEPT CLEAN AND IN ACCORDANCE WITH A SITE MAINTENANCE PLAN
- E. STREET, CURB, AND GUTTER AND SIDEWALK ARE TO BE PROTECTED FROM DAMAGE SUCH AS INDENTATIONS FROM TRASH CONTAINER OR OTHER HEAVY OBJECTS PLACED ON PAVEMENT DURING CONSTRUCTION
- F. CONTRACTOR TO PROVIDE SECURITY CHAIN-LINK FENCE AROUND UNSECURED SITE AREAS
- G. VERIFY EXISTING HARDSCAPE AND LANDSCAPE TO BE REMOVED WITH LANDSCAPE DESIGNER, ARCHITECT, AND OWNER. ALL LANDSCAPING TO REMAIN SHALL BE MAINTAINED AND PROTECTED FROM DAMAGE
- H. CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED FOR OFFSITE IMPROVEMENTS
- I. ALL OFFSITE IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH PUBLIC WORKS STANDARD CONSTRUCTION SPECIFICATIONS AND LOCAL REQUIREMENTS
- J. AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE (SEPARATE PERMIT REQUIRED)
- K. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
- L. RESIDENTIAL SWIMMING POOLS SHALL HAVE A POOL ENCLOSURE AS REQUIRED BY SECTION AG105 OF THE 2022 CRC
- M. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT MINIMUM FALL, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM STRUCTURE
- N. ALL HARDSCAPE ADJACENT TO THE STRUCTURE SHALL DRAIN SURFACE WATER AWAY FROM THE FOUNDATION A MINIMUM OF 1/4 INCH PER FOOT (2%). PROVIDE SAMPLES AND MOCK-UPS FOR OWNER / ARCHITECT REVIEW, COORDINATE W/ CIVIL DRAWINGS FOR ELEVATIONS, DRAINAGE, GRADING, ETC.
- O. NOTIFY THE GRADING INSPECTOR PRIOR TO THE START OF GRADING
- P. THESE PLANS ARE FOR BUILDING PERMIT ONLY. A SEPARATE PERMIT SHALL BE REQUIRED FOR LANDSCAPE ELEMENTS, HARDSCAPE, SWIMMING POOL, SPA, WATER FEATURES, AND FOUNTAINS. A SEPARATE PERMIT SHALL BE REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING. ARCHITECT WILL PROCESS PLANS THROUGH PLAN CHECK FOR THE BUILDING PERMIT ONLY. THE CONTRACTOR WILL BE RESPONSIBLE TO SIGN AND OBTAIN THE BUILDING PERMIT ON BEHALF OF THE OWNER.
- Q. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS. ANY APPLICATION FORMS OR DRAWINGS REQUIRED FOR SAID PERMITS WILL BE PREPARED BY THE SUBCONTRACTOR AND REMUNERATION SHALL BE INCLUDED IN THE BID
- R. THE HEIGHT OF FENCES AND HEDGES ABOVE THE NATURAL GRADE SHALL NOT EXCEED 36 INCHES WITHIN THE REQUIRED FRONT YARD AND 6 FEET WITHIN THE REQUIRED SIDE YARDS AND REAR YARD
- S. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APURTANCES, ETC.) OR THE LOCATION OF THE HOOK-UP. CONSTRUCTION SHALL NOT BE WITHIN 10 FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES
- T. PROVIDE A 42 INCH GUARDRAIL ON TOP OF THE WALL FOR YARD AREAS WHICH DROP VERTICAL MORE THAN 30 INCHES
- U. POOL ACCESS GATE SHALL BE EQUIPPED WITH SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54" ABOVE THE FLOOR
- V. POOL WITH INFINITY EDGE, PROVIDE A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM IN ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPACE IN ONE- AND TWO- FAMILY DWELLINGS FOR IRREGULAR-SHAPED POOL WHERE IT IS INFEASIBLE TO COVER 100% OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80% OF THE POOL SHALL BE COVERED

KEY NOTES

- 1 STANDARD PARKING STALL (8'-6" MIN. x 18'-0" MIN.)
- 2 COMPACT PARKING STALL (7'-6" MIN. x 15'-0" MIN.)
- 3 ELECTRIC VEHICLE CHARGING STATION
- 4 RETAINING WALL, SEE CIVIL DRAWINGS
- 5 SITE WALL, UNDER SEPARATE PERMIT
- 6 SITE FENCE, 6' MAX
- 7 FRONT ENTRY WALL, UNDER SEPARATE PERMIT
- 8 TRASH ENCLOSURE
- 9 POOL ENCLOSURE FENCE (5'-0" MIN.)
- 10 POOL ACCESS GATE
- 11 FRONT ENTRY GATE
- 12 PEDESTRIAN GATE
- 13 KEYPAD WITH ANNUNCIATOR
- 14 STEPPING STONE
- 15 PAVERS
- 16 TRENCH DRAIN, SEE CIVIL
- 17 GAS METER / SEISMIC SHUT-OFF VALVE, SEE PLUMBING DRAWINGS
- 18 MAIN ELECTRICAL SERVICE PANEL WITH METER, SEE ELECTRICAL DRAWINGS
- 19 TRANSFORMER WITH PAD
- 20 AUTOMATIC IRRIGATION CONTROLS, SEE LANDSCAPE DRAWINGS
- 21 POOL INFINITY EDGE
- 22 POOL CATCH BASIN
- 23 GUARDRAIL, 42" ABOVE FINISH FLOOR
- 24 WATER FEATURE, SEE DETAILS
- 25 UNDERGROUND EQUIPMENT VAULT WITH ACCESS HATCH, UNDER SEPARATE PERMIT
- 26 GENERATOR, UNDER SEPARATE PERMIT
- 27 MAILBOX
- 28 POOL EQUIPMENT
- 29 ART
- 30 PLANTER
- 31 MOTORIZED GATE LOOP
- 32 PERMEABLE HARDSCAPE, SEE HARDSCAPE PLAN

LANDRY DESIGN GROUP

1818 S. SEPULVEDA BLVD.
LOS ANGELES, CA 90025
T: 310.444.1404
F: 310.444.1405
www.landrydesigngroup.com
info@landrydesign.net

REVISION SCHEDULE	
NO.	DATE

17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953



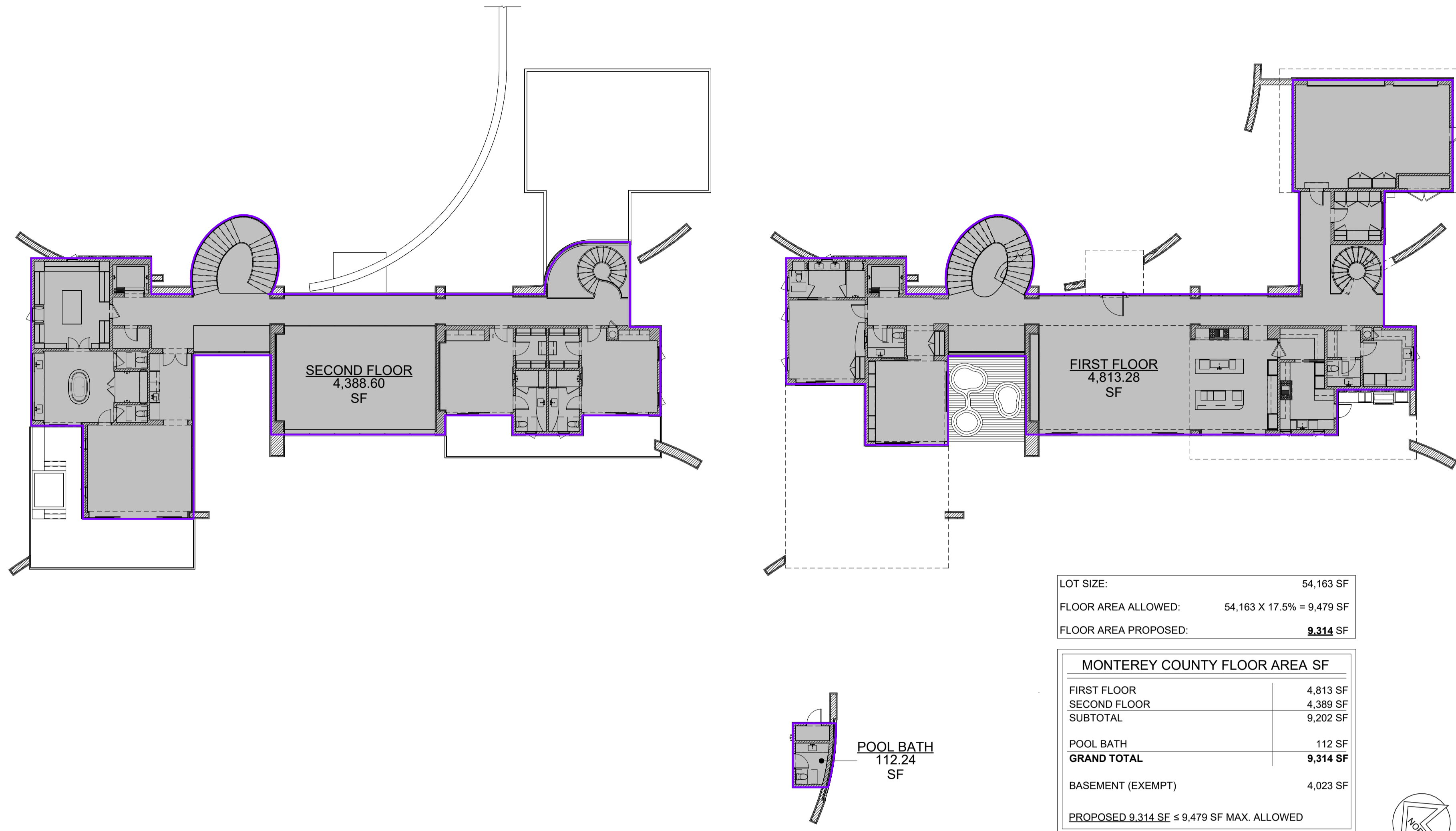
DATE 12.18.2023
JOB # 2022.10

PARTIAL SITE PLAN

A-3.1B

PLANNING SET

REVISION SCHEDULE	
NO.	DATE



SECOND FLOOR FLOOR AREA

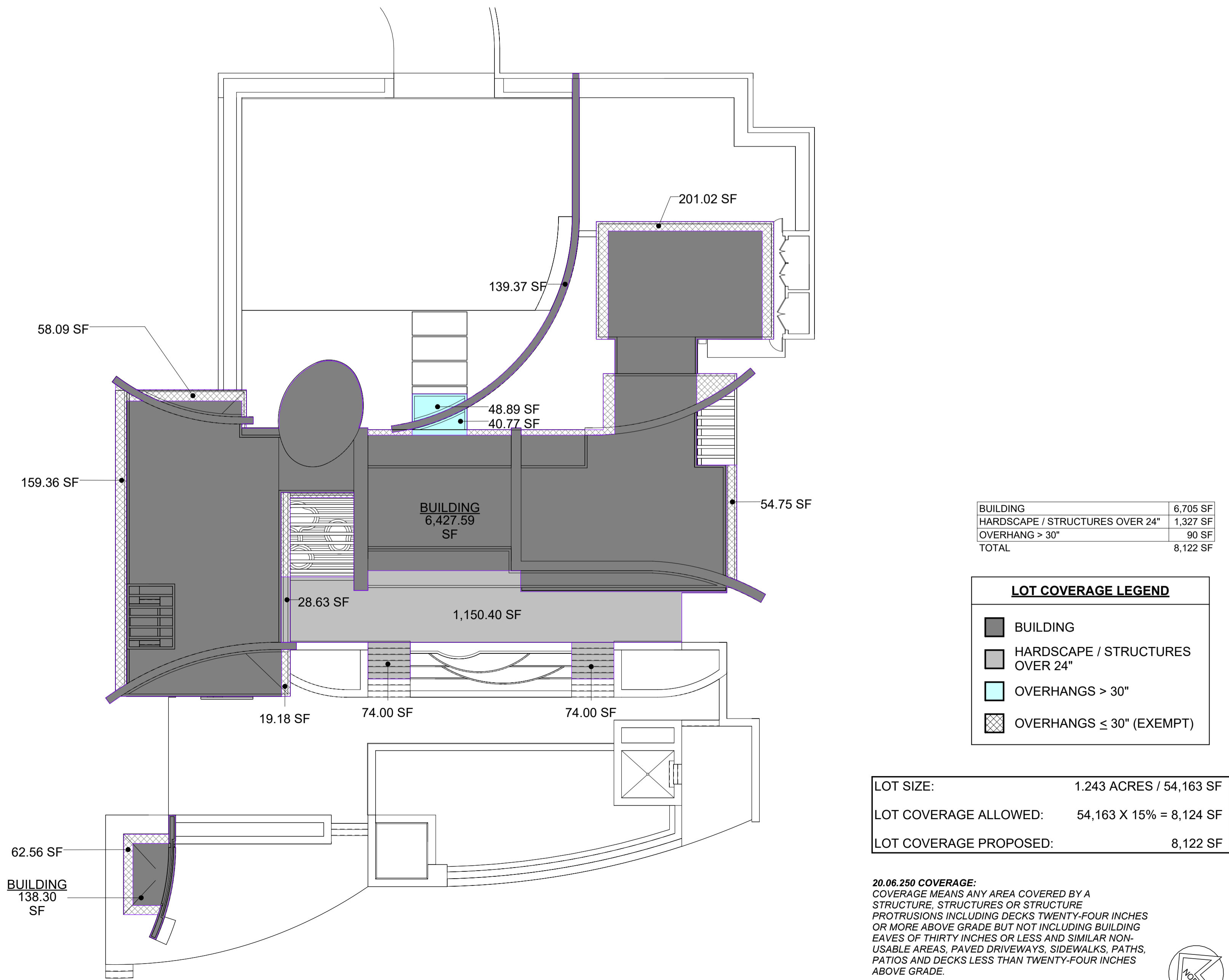
SCALE: 1/16" = 1'-0"

4

FIRST FLOOR FLOOR AREA

SCALE: 1/16" = 1'-0"

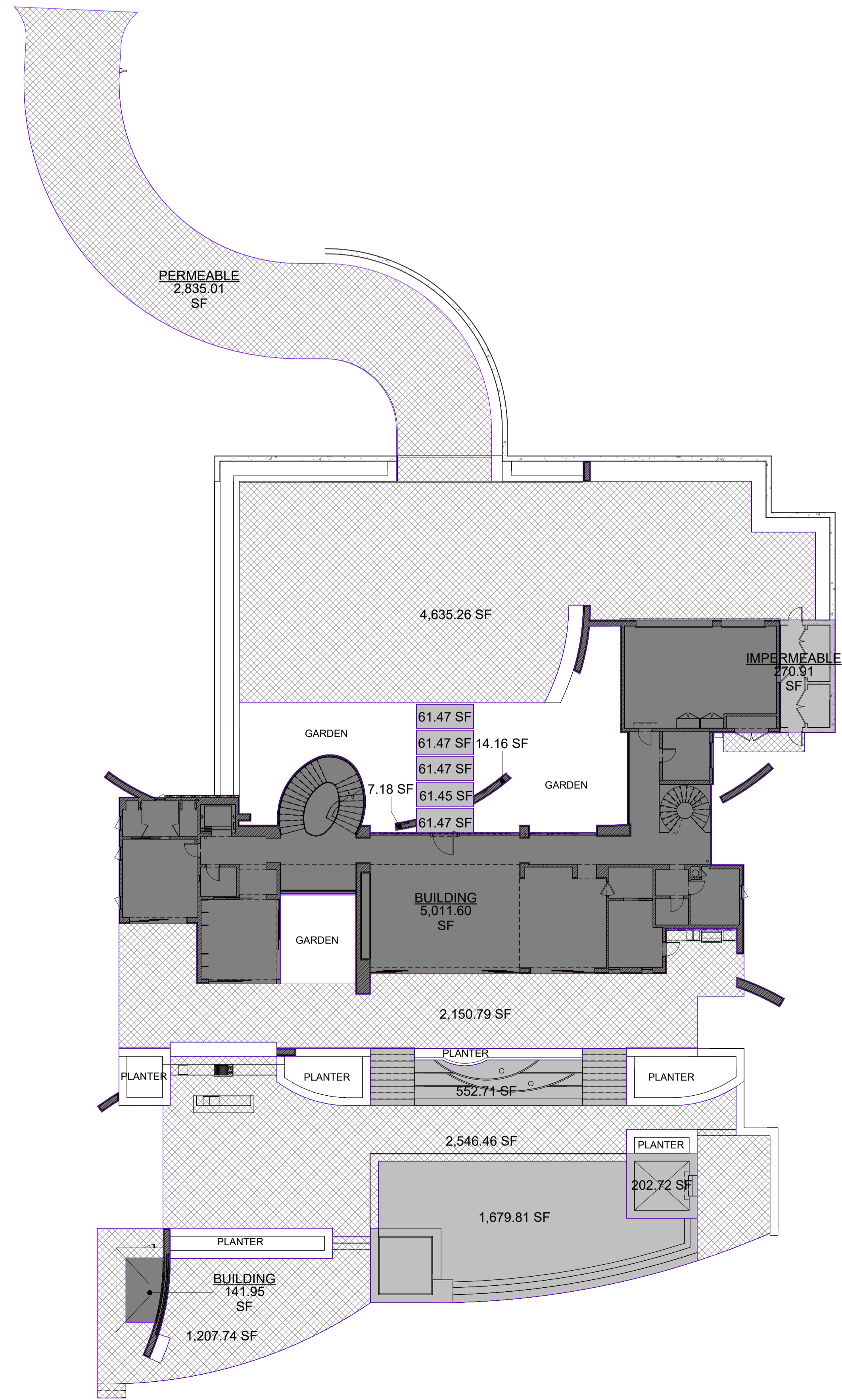
3



MONTEREY LOT COVERAGE DIAGRAM

SCALE: 1/16" = 1'-0"

2

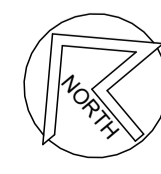
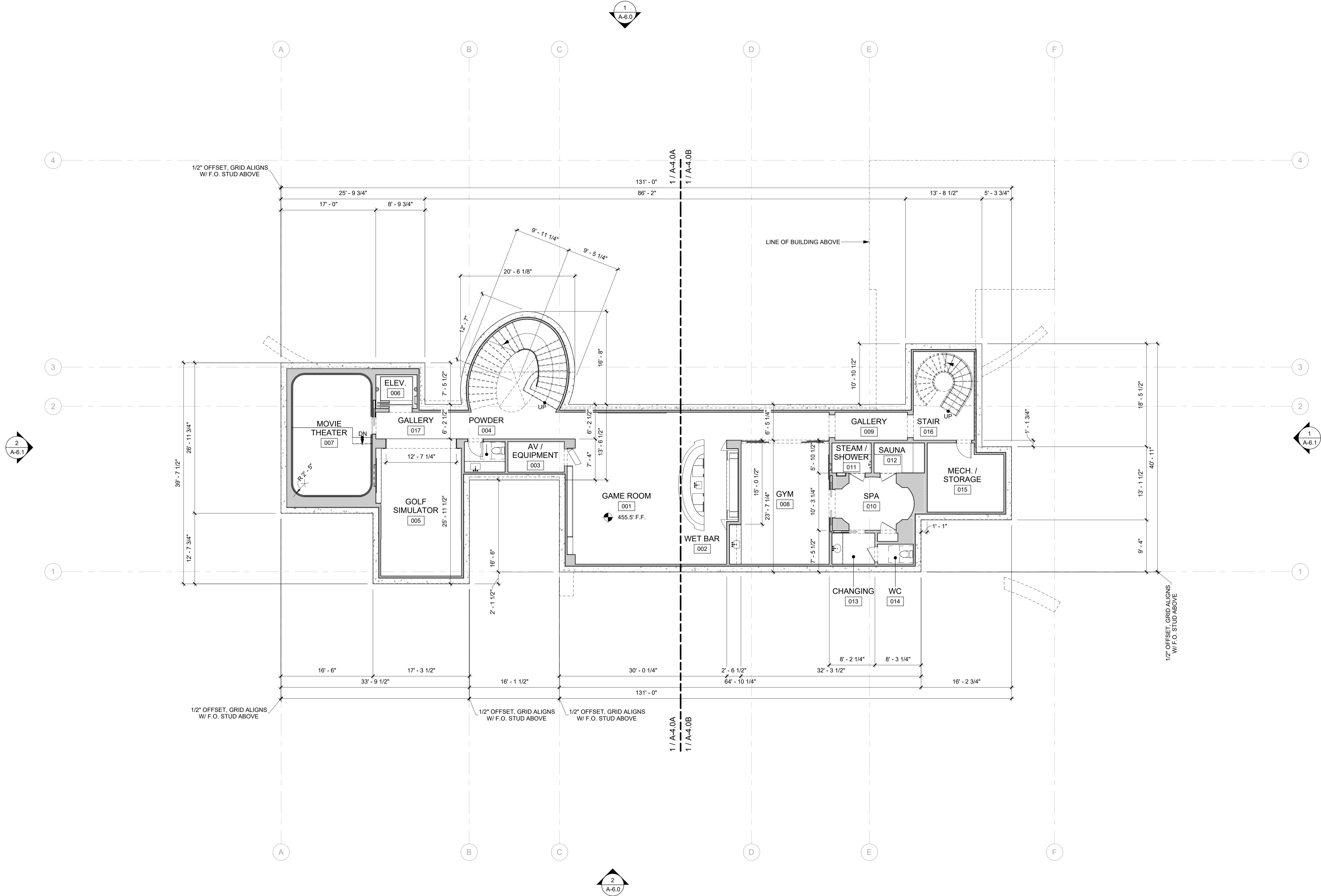


PESCADERO COVERAGE DIAGRAM

SCALE: 1/16" = 1'-0"

1

12/20/2023 1:45:54 PM



OVERALL BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

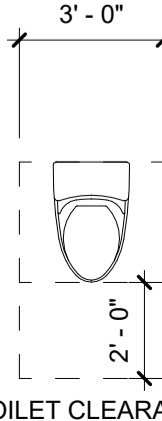
1

FLOOR PLAN NOTES

- A DO NOT SCALE DRAWINGS, REFER TO DIMENSIONS AS SHOWN
- B VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES
- C CONTACT ARCHITECT FOR ANY MISSING DIMENSIONS OR INFORMATION
- D ALL DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF STUD
- E INSULATION: PROVIDE R-19 MIN. AT ALL EXTERIOR WALLS, INCLUDING GARAGE. PROVIDE R-30 INSULATION IN ATTIC SPACES. PROVIDE R-19 INSULATION AT ALL INTERIOR WALLS. PROVIDE R-30 INSULATION AT ALL FLOOR FRAMING. SEE TITLE 24 FOR ADDITIONAL REQUIREMENTS. PROVIDE INSULATION AROUND PLUMBING PIPES AND HVAC DUCTS. SEE MECHANICAL AND PLUMBING PLANS FOR ADDITIONAL REQUIREMENTS
- F ROUGH CARPENTER TO COORDINATE FRAMING LAYOUT WITH LIGHTING, PLUMBING, AND MECHANICAL PLANS AND INFORM ARCHITECT OF ANY DISCREPANCIES. ALL REQUIRED FURRING, SOFFITS, VOLUME CEILINGS AND NON-STRUCTURAL FRAMING SHALL BE INCLUDED IN BID
- G REFER TO REFLECTED CEILING PLANS, BUILDING SECTIONS, AND INTERIOR ELEVATIONS FOR VOLUME CEILINGS
- H ALL EXTERIOR STUDS SHALL BE 2X8 FRAMING OR MULTIPLE ROWS OF 2X6 FRAMING UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS SHALL BE 2X6 FRAMING UNLESS OTHERWISE NOTED. SPACING AND SPECIFICATION ARE PER STRUCTURAL
- I PROVIDE DRAFT STOPS AS REQUIRED IN SECTION R302.11 OF THE 2022 CRC OR CURRENT BUILDING CODE. ENCLOSED SPACES IN STUD WALLS, PARTITIONS, AND FURRED WALLS SHALL HAVE FIRE STOPS AT TOP AND BOTTOM AND AT MID POINT IN WALLS MORE THAN 10 FEET HIGH
- J CONTRACTOR SHALL PROVIDE ALL REQUIRED SHIMMING SO THAT FINISH FLOOR MATERIALS ALIGN AT THE SAME ELEVATION, UNLESS OTHERWISE NOTED
- K CONTRACTOR SHALL COORDINATE ALL WINDOW AND DOOR ROUGH OPENINGS WITH MANUFACTURER PRIOR TO INSTALLATION
- L PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS ACCORDING TO SECTION R310 OF THE 2022 CRC. MINIMUM 24 INCHES CLEAR HEIGHT, 20 INCHES CLEAR WIDTH, 5.7 SQ. FT. MINIMUM AREA (5.0 SQ. FT. AT GRADE), AND 44 INCHES MAXIMUM TO WINDOW SILL
- M FOR ALL PLUMBING FIXTURES AND APPLIANCES VERIFY WITH INTERIOR DESIGNER
- N PROVIDE A WHOLE-HOUSE VENTILATION SYSTEM FOR ALL HABITABLE SPACES

KEY NOTES

- 1 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON ALL GARAGE WALLS, CEILINGS, POSTS, AND SUPPORTING BEAMS, AND SHALL EXTEND FROM THE GARAGE CONCRETE SLAB TO THE CEILING
- 2 GARAGE DOOR OPENER: PUSH BUTTON SHALL BE PRE-WIRED BEFORE GYPSUM BOARD IS INSTALLED
- 3 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILINGS IN ENCLOSED USEABLE SPACE UNDER STAIRS
- 4 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILINGS OF SHAFT ENCLOSURES
- 5 PROVIDE SELF-CLOSING, SELF-LATCHING DEVICE ON 20 MINUTE FIRE RATED DOOR. SEE DOOR SCHEDULE
- 6 PROVIDE STATE FIRE MARSHALL APPROVED SMOKE ALARMS (DETECTORS) AS SHOWN ON THE PLANS AND ACCORDING TO SECTION R314 OF THE 2022 CRC. ALARMS SHALL BE HARD WIRED TO SEPARATE CIRCUITS WITH BATTERY BACK UP. ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND CENTRALLY LOCATED IN CORRIDORS GIVING DIRECT ACCESS TO SLEEPING ROOMS, WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, A SMOKE ALARM SHALL BE LOCATED IN CLOSE PROXIMITY TO STAIRWAYS. ALARMS SHALL BE AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING WHICH THEY SERVE. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
- 7 PROVIDE STATE MARSHALL APPROVED CARBON MONOXIDE ALARMS AS SHOWN ON PLANS AND ACCORDING TO SECTION R315 OF THE 2022 CRC. ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCES ARE INSTALLED, INCLUDING FIRE PLACES, AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IMMEDIATELY OUTSIDE EACH SLEEPING AREA AND ON EVERY LEVEL OF THE DWELLING UNIT, INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATED ALL OF THE ALARMS IN THE DWELLING.
- 8 30" X 30" ROOF ACCESS. SEE DETAILS
- 9 30" X 30" ATTIC ACCESS. SEE DETAILS
- 10 30" X 54" ACCESS WITH PULL-DOWN LADDER. SEE DETAILS
- 11 CRAWLSPACE (UNDERFLOOR) ACCESS. SEE DETAILS
- 12 6" X 14" UNDERFLOOR SCREENED VENT, SEE EXTERIOR ELEVATIONS AND DETAILS
- 13 BUILT-IN CABINETRY, SEE DETAILS FOR LEVELS A, B, C, D, AND E
- 14 CLOSET MILLWORK, SEE DETAILS FOR LEVELS A, B, C, D, AND E
- 15 BATHROOM EXHAUST FAN CAPABLE OF PROVIDING THE MINIMUM RATE OF 25 CUBIC FEET PER MINUTE (12 L/s) CONTINUOUS VENTILATION PER SECTION R303.3 OF THE 2022 CRC. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT.
- 16 PRE-FABRICATED SEALED NONCOMBUSTION, DIRECT VENT FIREPLACE UNIT; PROVIDE UNIT CONTROLS AND VENTING SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS. SEE FIREPLACE DETAIL & SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION
- 17 WASHER: PROVIDE RECESSED HOT AND COLD WATER DRAIN STAND PIPE, AND FLOOR DRAIN UNDER WASHER
- 18 DRYER: PROVIDE WEATHER HOOD VENT WITH DAMPER TO OUTSIDE AIR AT ROOF. VENT DUCT SHALL BE MINIMUM 4" DIAMETER, SMOOTH GALVANIZED METAL, LIMITED TO TWO (2) 14'-0" LENGTH WITH TWO (2) ELBOWS, SEE MECHANICAL PLANS
- 19 DRIP-DRY CABINET WITH FLOOR DRAIN
- 20 F.A.U. WITH NIGHT SETBACK THERMOSTAT AND SUMMER FANS SWITCH; PROVIDE COMBUSTION AIR VENT AND CONDENSATION LINE TO OUTSIDE AIR. PROVIDE 20" HIGH PLYWOOD PLATFORM FOR UNIT AS REQUIRED. VERIFY WITH MECHANICAL PLANS. SEE TITLE 24 FOR SIZE AND MODEL
- 21 ELECTRICAL SUB-PANEL, SEE ELECTRICAL PLANS
- 22 PHONE PANEL: ALL LINES TO BE HOME RUNS, SEE ELECTRICAL AND AV PLAN
- 23 GAS FIRED, HIGH RECOVERY, WATER HEATER / STORAGE TANK WITH CIRCULATION PUMP AND R-5 INSULATION. VERIFY WITH TITLE 24. SET ON AN 18" WOOD PLATFORM AND SECURE TO WALL FRAMING WITH METAL STRAPS FOR LATERAL SUPPORT IN THE EVENT OF AN EARTHQUAKE. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION, AT THE LOWER POINT, THE STRAPPING SHALL BE A MINIMUM DISTANCE OF FOUR (4) INCHES ABOVE THE CONTROLS PER 2022 CRC SECTIONS 508.2. PROVIDE PLUMBING LOOPS FOR WATER SOFTENER.
- 24 TUB / SHOWER WITH TILE / STONE FINISH ON WALLS, FLOORS TO CEILING, SEE INTERIOR ELEVATIONS
- 25 SHOWER WITH TILE / STONE FINISH ON WALLS, FLOOR TO CEILING, SEE INTERIOR ELEVATIONS
- 26 FRAMELESS 3/8" THICK TEMPERED GLASS ENCLOSURE WITH SET-IN GLAZING CHANNEL, SEE SPECS AND INTERIOR ELEVATIONS
- 27 SOAP / SHAMPOO NICHE, SEE DETAILS AND INTERIOR ELEVATIONS FOR SIZE
- 28 BUILT-IN WHIRLPOOL TUB: PROVIDE DECK, SKIRT, BACK SPLASH, AND WOOD FRAMED PLATFORM WITH ACCESS TO EQUIPMENT AS REQUIRED BY MANUFACTURER. ELECTRICAL SUB CONTRACTOR SHALL PROVIDE ELECTRICAL SUPPLY AND CONNECTIONS AS REQUIRED.
- 29 STEAM SHOWER: INSTALL STEAM UNIT PER MANUFACTURER'S RECOMMENDATIONS (NR. STEAM MS SUPPLIER I, UNLESS OTHERWISE NOTED). ENCLOSURE SHALL BE FRAMELESS 3/8" THICK TEMPERED GLASS SET IN RECESSED GLAZING CHANNEL, WITH HOPPER WINDOW ABOVE DOOR.
- 30 "INSTA-HOT" DISPENSER AND WATER FILTRATION SYSTEM, VERIFY WITH OWNER
- 31 PROVIDE PURIFIED COLD WATER SUPPLY LINE TO ICE-MAKER WITH RECESSED SHUT-OFF VALVE, VERIFY WITH MANUFACTURER
- 32 LINE OF EXHAUST HOOD ABOVE, VENT TO OUTSIDE AIR WITH REMOTE EXHAUST FANS. VERIFY VENTING REQUIREMENTS WITH MECHANICAL PLANS AND MANUFACTURER'S RECOMMENDATIONS
- 33 HOSE BIBB IN RECESSED ENCLOSURE, FIXTURE TO MATCH WINDOW / DOOR FRAME FINISH. COORDINATE LOCATIONS WITH ARCHITECT.
- 34 GUARDRAIL, 42" ABOVE FINISH FLOOR
- 35 HANDRAIL, 34-38" ABOVE FINISH FLOOR WITH 1 1/2" - 2" HANDGRIP, SEE DETAILS SHEET A-9.5
- 36 ELECTRIC VEHICLE CHARGING STATION. INSTALL CONDUIT AND ELECTRICAL PANEL CAPACITY FOR FUTURE VEHICLE PARKING FOR AT LEAST ONE (4, 107 AND AS.106.5.33)
- 37 TOILETS TO HAVE 30" MIN. CLEAR WIDTH, 15" CLEARANCE FROM CENTERLINE AND 24" MIN. CLEARANCE IN FRONT.
- 38 SHOWER DRAIN, SEE DETAILS



TOILET CLEARANCES

LANDRY
DESIGN GROUP

1818 S. SEPULVEDA BLVD.
LOS ANGELES, CA 90025
T: 310.444.1404
F: 310.444.1405
www.landrydesigngroup.com
info@landrydesign.net

REVISION SCHEDULE	
NO.	DATE

17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953



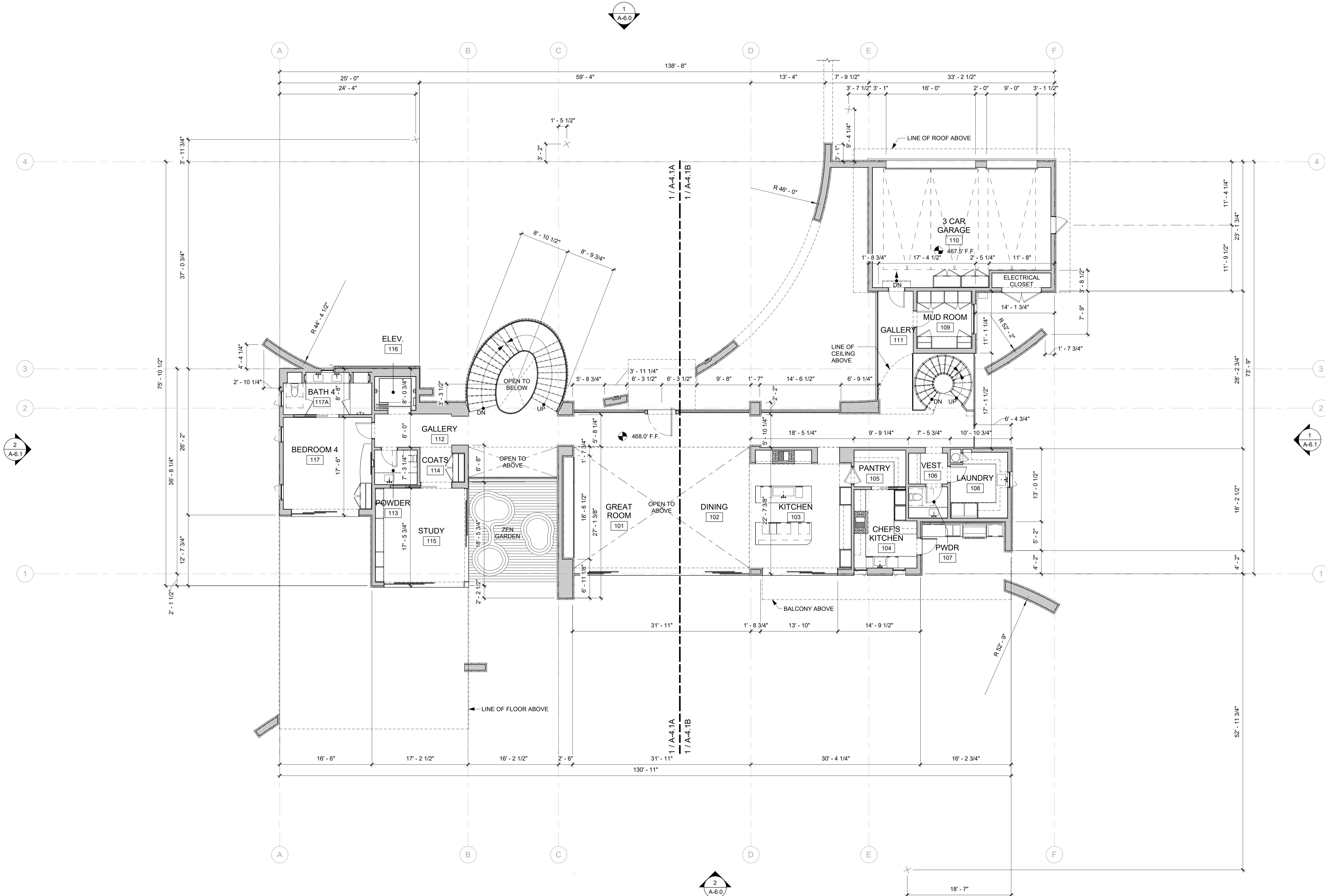
DATE 12.18.2023
JOB # 2022.10

BASEMENT FLOOR
PLAN

A-4.0

PLANNING SET

12/18/2023 1:45:06 PM



OVERALL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

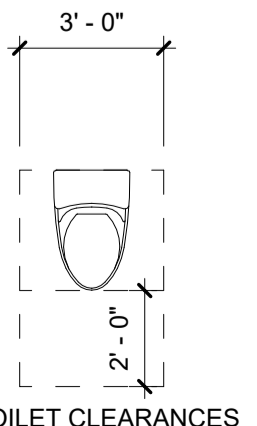
1

FLOOR PLAN NOTES

- A DO NOT SCALE DRAWINGS, REFER TO DIMENSIONS AS SHOWN
- B VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES
- C CONTACT ARCHITECT FOR ANY MISSING DIMENSIONS OR INFORMATION
- D ALL DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF STUD
- E INSULATION: PROVIDE R-19 MIN. AT ALL EXTERIOR WALLS, INCLUDING GARAGE. PROVIDE R-30 INSULATION IN ATTIC SPACES. PROVIDE R-19 INSULATION AT ALL INTERIOR WALLS. PROVIDE R-30 INSULATION AT ALL FLOOR FRAMING. SEE TITLE 24 FOR ADDITIONAL REQUIREMENTS. PROVIDE INSULATION AROUND PLUMBING PIPES AND HVAC DUCTS. SEE MECHANICAL AND PLUMBING PLANS FOR ADDITIONAL REQUIREMENTS
- F ROUGH CARPENTER TO COORDINATE FRAMING LAYOUT WITH LIGHTING, PLUMBING, AND MECHANICAL PLANS AND INFORM ARCHITECT OF ANY DISCREPANCIES. ALL REQUIRED FURRING, SOFFITS, VOLUME CEILINGS AND NON-STRUCTURAL FRAMING SHALL BE INCLUDED IN BID
- G REFER TO REFLECTED CEILING PLANS, BUILDING SECTIONS, AND INTERIOR ELEVATIONS FOR VOLUME CEILINGS
- H ALL EXTERIOR STUDS SHALL BE 2X8 FRAMING OR MULTIPLE ROWS OF 2X6 FRAMING UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS SHALL BE 2X6 FRAMING UNLESS OTHERWISE NOTED. SPACING AND SPECIFICATION ARE PER STRUCTURAL
- I PROVIDE DRAFT STOPS AS REQUIRED IN SECTION R302.11 OF THE 2022 CRC OR CURRENT BUILDING CODE. ENCLOSED SPACES IN STUD WALLS, PARTITIONS, AND FURRED WALLS SHALL HAVE FIRE STOPS AT TOP AND BOTTOM AND AT MID POINT IN WALLS MORE THAN 10 FEET HIGH
- J CONTRACTOR SHALL PROVIDE ALL REQUIRED SHIMMING SO THAT FINISH FLOOR MATERIALS ALIGN AT THE SAME ELEVATION, UNLESS OTHERWISE NOTED
- K CONTRACTOR SHALL COORDINATE ALL WINDOW AND DOOR ROUGH OPENINGS WITH MANUFACTURER PRIOR TO INSTALLATION
- L PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS ACCORDING TO SECTION R310 OF THE 2022 CRC. MINIMUM 24 INCHES CLEAR HEIGHT, 20 INCHES CLEAR WIDTH, 5.7 SQ. FT. MINIMUM AREA (5.0 SQ. FT. AT GRADE), AND 44 INCHES MAXIMUM TO WINDOW SILL
- M FOR ALL PLUMBING FIXTURES AND APPLIANCES VERIFY WITH INTERIOR DESIGNER
- N PROVIDE A WHOLE-HOUSE VENTILATION SYSTEM FOR ALL HABITABLE SPACES

KEY NOTES

- 1 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON ALL GARAGE WALLS, CEILINGS, POSTS, AND SUPPORTING BEAMS, AND SHALL EXTEND FROM THE GARAGE CONCRETE SLAB TO THE CEILING
- 2 GARAGE DOOR OPENER: PUSH BUTTON SHALL BE PRE-WIRED BEFORE GYPSUM BOARD IS INSTALLED
- 3 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILINGS IN ENCLOSED USEABLE SPACE UNDER STAIRS
- 4 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILINGS OF SHAFT ENCLOSURES
- 5 PROVIDE SELF-CLOSING, SELF-LATCHING DEVICE ON 20 MINUTE FIRE RATED DOOR. SEE DOOR SCHEDULE
- 6 PROVIDE STATE FIRE MARSHALL APPROVED SMOKE ALARMS (DETECTORS) AS SHOWN ON THE PLANS AND ACCORDING TO SECTION R314 OF THE 2022 CRC. ALARMS SHALL BE HARD WIRED TO SEPARATE CIRCUITS WITH BATTERY BACK UP. ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND CENTRALLY LOCATED IN CORRIDORS GIVING DIRECT ACCESS TO SLEEPING ROOMS. WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, A SMOKE ALARM SHALL BE LOCATED IN CLOSE PROXIMITY TO STAIRWAYS. ALARMS SHALL BE AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING WHICH THEY SERVE. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
- 7 PROVIDE STATE MARSHALL APPROVED CARBON MONOXIDE ALARMS AS SHOWN ON PLANS AND ACCORDING TO SECTION R315 OF THE 2022 CRC. ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCES ARE INSTALLED, INCLUDING FIRE PLACES, AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IMMEDIATELY OUTSIDE EACH SLEEPING AREA AND ON EVERY LEVEL OF THE DWELLING UNIT, INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATED ALL OF THE ALARMS IN THE DWELLING.
- 8 30" X 30" ROOF ACCESS. SEE DETAILS
- 9 30" X 30" ATTIC ACCESS. SEE DETAILS
- 10 30" X 54" ACCESS WITH PULL-DOWN LADDER. SEE DETAILS
- 11 CRAWLSPACE (UNDERFLOOR) ACCESS. SEE DETAILS
- 12 6" X 14" UNDERFLOOR SCREENED VENT. SEE EXTERIOR ELEVATIONS AND DETAILS
- 13 BUILT-IN CABINETRY. SEE DETAILS FOR LEVELS A, B, C, D, AND E
- 14 CLOSET MILLWORK. SEE DETAILS FOR LEVELS A, B, C, D, AND E
- 15 BATHROOM EXHAUST FAN CAPABLE OF PROVIDING THE MINIMUM RATE OF 25 CUBIC FEET PER MINUTE (12 L/s) CONTINUOUS VENTILATION PER SECTION R303.3 OF THE 2022 CRC. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE EXTERIOR. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT.
- 16 PRE-FABRICATED SEALED NONCOMBUSTION, DIRECT VENT FIREPLACE UNIT; PROVIDE UNIT CONTROLS AND VENTING SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS. SEE FIREPLACE DETAIL & SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION
- 17 WASHER: PROVIDE RECESSED HOT AND COLD WATER DRAIN STAND PIPE, AND FLOOR DRAIN UNDER WASHER
- 18 DRYER: PROVIDE WEATHER HOOD VENT WITH DAMPER TO OUTSIDE AIR AT ROOF. VENT DUCT SHALL BE MINIMUM 4" DIAMETER, SMOOTH GALVANIZED METAL, LIMITED TO TWO (2) 14'-0" LENGTH WITH TWO (2) ELBOWS. SEE MECHANICAL PLANS.
- 19 DRIP-DRY CABINET WITH FLOOR DRAIN
- 20 F.A.U. WITH NIGHT SETBACK THERMOSTAT AND SUMMER FANS SWITCH; PROVIDE COMBUSTION AIR VENT AND CONDENSATION LINE TO OUTSIDE AIR. PROVIDE 20" HIGH PLYWOOD PLATFORM FOR UNI AS REQUIRED. VERIFY WITH MECHANICAL PLANS. SEE TITLE 24 FOR SIZE AND MODEL
- 21 ELECTRICAL SUB-PANEL. SEE ELECTRICAL PLANS
- 22 PHONE PANEL: ALL LINES TO BE HOME RUNS. SEE ELECTRICAL AND AV PLAN
- 23 GAS FIRED, HIGH RECOVERY, WATER HEATER / STORAGE TANK WITH CIRCULATION PUMP AND R-5 INSULATION. VERIFY WITH TITLE 24. SET ON AN 18" WOOD PLATFORM AND SECURE TO WALL FRAMING WITH METAL STRAPS FOR LATERAL SUPPORT IN THE EVENT OF AN EARTHQUAKE. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION. AT THE LOWER POINT, THE STRAPPING SHALL BE A MINIMUM DISTANCE OF FOUR (4) INCHES ABOVE THE CONTROLS PER 2022 CRC SECTIONS 608.2. PROVIDE PLUMBING LOOPS FOR WATER SOFTENER.
- 24 TUB / SHOWER WITH TILE / STONE FINISH ON WALLS, FLOORS TO CEILING. SEE INTERIOR ELEVATIONS
- 25 SHOWER WITH TILE / STONE FINISH ON WALLS, FLOOR TO CEILING. SEE INTERIOR ELEVATIONS
- 26 FRAMELESS 3/8" THICK TEMPERED GLASS ENCLOSURE WITH SET-IN GLAZING CHANNEL. SEE SPECS AND INTERIOR ELEVATIONS
- 27 SOAP / SHAMPOO NICHE. SEE DETAILS AND INTERIOR ELEVATIONS FOR SIZE
- 28 BUILT-IN WHIRLPOOL TUB: PROVIDE DECK, SKIRT, BACK SPLASH, AND WOOD FRAMED PLATFORM WITH ACCESS TO EQUIPMENT AS REQUIRED BY MANUFACTURER. ELECTRICAL SUB CONTRACTOR SHALL PROVIDE ELECTRICAL SUPPLY AND CONNECTIONS AS REQUIRED.
- 29 STEAM SHOWER: INSTALL STEAM UNIT PER MANUFACTURER'S RECOMMENDATIONS (MR. STEAM MS SUPPLIER). UNLESS OTHERWISE NOTED, ENCLOSURE SHALL BE FRAMELESS 3/8" THICK TEMPERED GLASS SET IN RECESSED GLAZING CHANNEL, WITH HOPPER WINDOW ABOVE DOOR.
- 30 *INSTA-HOT* DISPENSER AND WATER FILTRATION SYSTEM. VERIFY WITH OWNER
- 31 PROVIDE PURIFIED COLD WATER SUPPLY LINE TO ICE-MAKER WITH RECESSED SHUT-OFF VALVE. VERIFY WITH MANUFACTURER
- 32 LINE OF EXHAUST HOOD ABOVE, VENT TO OUTSIDE AIR WITH REMOTE EXHAUST FANS. VERIFY VENTING REQUIREMENTS WITH MECHANICAL PLANS AND MANUFACTURER'S RECOMMENDATIONS
- 33 HOSE BIBB IN RECESSED ENCLOSURE. FIXTURE TO MATCH WINDOW / DOOR FRAME FINISH. COORDINATE LOCATIONS WITH ARCHITECT.
- 34 GUARDRAIL, 42" ABOVE FINISH FLOOR
- 35 HANDRAIL, 34-38" ABOVE FINISH FLOOR WITH 1 1/2" - 2" HANDGRIP. SEE DETAILS SHEET A-9.5
- 36 ELECTRIC VEHICLE CHARGING STATION. INSTALL CONDUIT AND ELECTRICAL PANEL CAPACITY FOR FUTURE VEHICLE PARKING FOR AT LEAST 3% OF THE TOTAL PARKING SPACES BUT NOT LESS THAN ONE. (4.107 AND A5.106.5.33)
- 37 TOILETS TO HAVE 30" MIN. CLEAR WIDTH, 15" CLEARANCE FROM CENTERLINE AND 24" MIN. CLEARANCE IN FRONT.
- 38 SHOWER DRAIN. SEE DETAILS



TOILET CLEARANCES

LANDRY
DESIGN GROUP

1818 S. SEPULVEDA BLVD.
LOS ANGELES, CA 90025
T: 310.444.1404
F: 310.444.1405
www.landrydesigngroup.com
info@landrydesign.net

REVISION SCHEDULE	
NO.	DATE

17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953

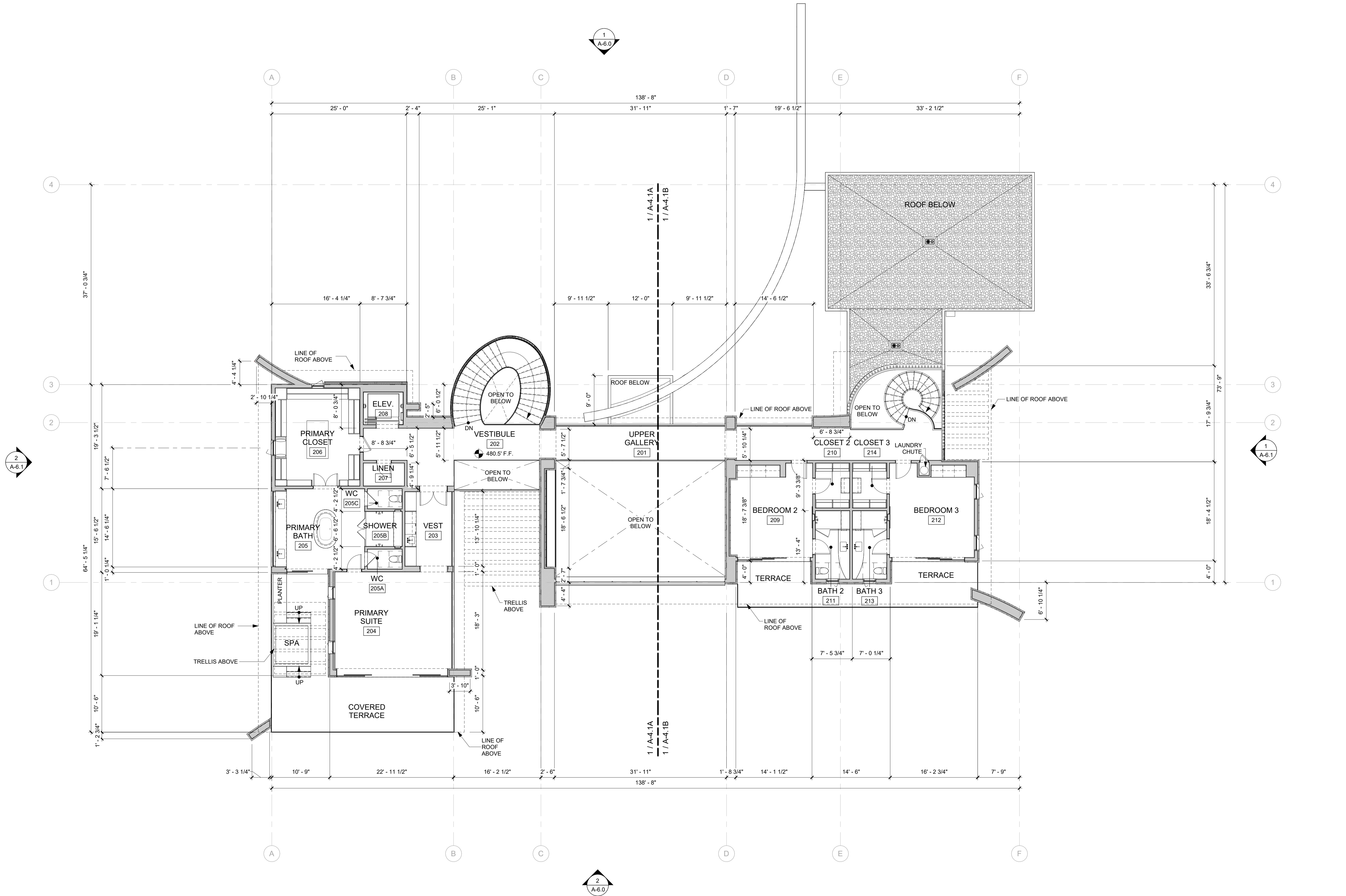


DATE 12.18.2023
JOB # 2022.10

FIRST FLOOR PLAN

A-4.1

PLANNING SET



OVERALL SECOND FLOOR PLAN

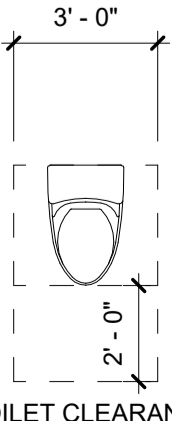
SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES

- A DO NOT SCALE DRAWINGS, REFER TO DIMENSIONS AS SHOWN
- B VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES
- C CONTACT ARCHITECT FOR ANY MISSING DIMENSIONS OR INFORMATION
- D ALL DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF STUD
- E INSULATION: PROVIDE R-19 MIN. AT ALL EXTERIOR WALLS, INCLUDING GARAGE. PROVIDE R-30 INSULATION IN ATTIC SPACES. PROVIDE R-19 INSULATION AT ALL INTERIOR WALLS. PROVIDE R-30 INSULATION AT ALL FLOOR FRAMING. SEE TITLE 24 FOR ADDITIONAL REQUIREMENTS. PROVIDE INSULATION AROUND PLUMBING PIPES AND HVAC DUCTS. SEE MECHANICAL AND PLUMBING PLANS FOR ADDITIONAL REQUIREMENTS
- F ROUGH CARPENTER TO COORDINATE FRAMING LAYOUT WITH LIGHTING, PLUMBING, AND MECHANICAL PLANS AND INFORM ARCHITECT OF ANY DISCREPANCIES. ALL REQUIRED FURRING, SOFFITS, VOLUME CEILINGS AND NON-STRUCTURAL FRAMING SHALL BE INCLUDED IN BID
- G REFER TO REFLECTED CEILING PLANS, BUILDING SECTIONS, AND INTERIOR ELEVATIONS FOR VOLUME CEILINGS
- H ALL EXTERIOR STUDS SHALL BE 2X8 FRAMING OR MULTIPLE ROWS OF 2X6 FRAMING UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS SHALL BE 2X6 FRAMING UNLESS OTHERWISE NOTED. SPACING AND SPECIFICATION ARE PER STRUCTURAL
- I PROVIDE DRAFT STOPS AS REQUIRED IN SECTION R302.11 OF THE 2022 CRC OR CURRENT BUILDING CODE. ENCLOSED SPACES IN STUD WALLS, PARTITIONS, AND FURRED WALLS SHALL HAVE FIRE STOPS AT TOP AND BOTTOM AND AT MID POINT IN WALLS MORE THAN 10 FEET HIGH
- J CONTRACTOR SHALL PROVIDE ALL REQUIRED SHIMMING SO THAT FINISH FLOOR MATERIALS ALIGN AT THE SAME ELEVATION, UNLESS OTHERWISE NOTED
- K CONTRACTOR SHALL COORDINATE ALL WINDOW AND DOOR ROUGH OPENINGS WITH MANUFACTURER PRIOR TO INSTALLATION
- L PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS ACCORDING TO SECTION R310 OF THE 2022 CRC. MINIMUM 24 INCHES CLEAR HEIGHT, 20 INCHES CLEAR WIDTH, 5.7 SQ. FT. MINIMUM AREA (5.0 SQ. FT. AT GRADE), AND 44 INCHES MAXIMUM TO WINDOW SILL
- M FOR ALL PLUMBING FIXTURES AND APPLIANCES VERIFY WITH INTERIOR DESIGNER
- N PROVIDE A WHOLE-HOUSE VENTILATION SYSTEM FOR ALL HABITABLE SPACES

KEY NOTES

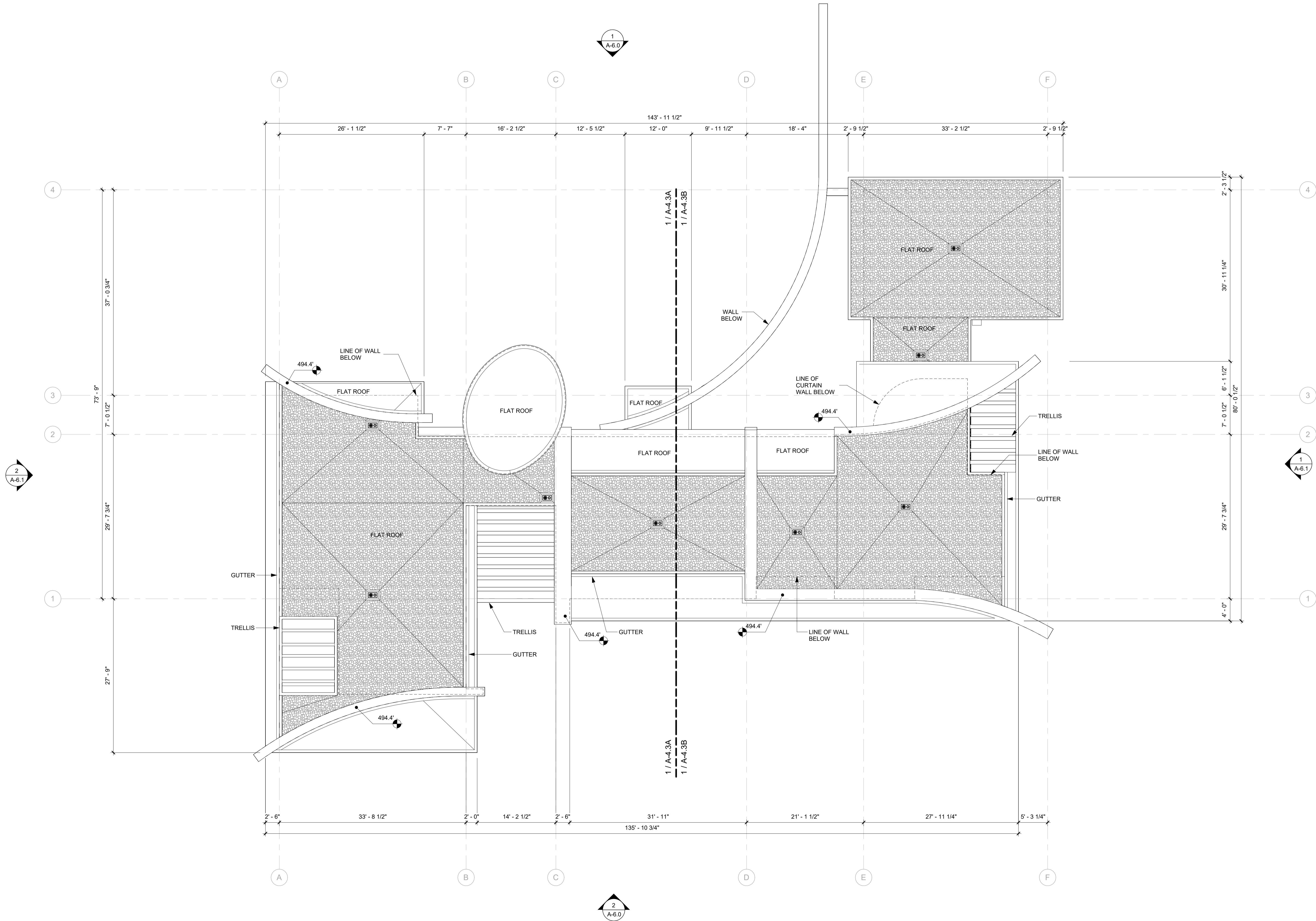
- 1 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON ALL GARAGE WALLS, CEILINGS, POSTS, AND SUPPORTING BEAMS, AND SHALL EXTEND FROM THE GARAGE CONCRETE SLAB TO THE CEILING
- 2 GARAGE DOOR OPENER: PUSH BUTTON SHALL BE PRE-WIRED BEFORE GYPSUM BOARD IS INSTALLED
- 3 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILINGS IN ENCLOSED USEABLE SPACE UNDER STAIRS
- 4 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILINGS OF SHAFT ENCLOSURES
- 5 PROVIDE SELF-CLOSING, SELF-LATCHING DEVICE ON 20 MINUTE FIRE RATED DOOR. SEE DOOR SCHEDULE
- 6 PROVIDE STATE FIRE MARSHALL APPROVED SMOKE ALARMS (DETECTORS) AS SHOWN ON THE PLANS AND ACCORDING TO SECTION R314 OF THE 2022 CRC. ALARMS SHALL BE HARD WIRED TO SEPARATE CIRCUITS WITH BATTERY BACK UP. ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND CENTRALLY LOCATED IN CORRIDORS GIVING DIRECT ACCESS TO SLEEPING ROOMS, WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, A SMOKE ALARM SHALL BE LOCATED IN CLOSE PROXIMITY TO STAIRWAYS. ALARMS SHALL BE AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING WHICH THEY SERVE. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
- 7 PROVIDE STATE MARSHALL APPROVED CARBON MONOXIDE ALARMS AS SHOWN ON PLANS AND ACCORDING TO SECTION R315 OF THE 2022 CRC. ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCES ARE INSTALLED, INCLUDING FIRE PLACES, AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IMMEDIATELY OUTSIDE EACH SLEEPING AREA AND ON EVERY LEVEL OF THE DWELLING UNIT, INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATED ALL OF THE ALARMS IN THE DWELLING.
- 8 30" X 30" ROOF ACCESS. SEE DETAILS
- 9 30" X 30" ATTIC ACCESS. SEE DETAILS
- 10 30" X 54" ACCESS WITH PULL-DOWN LADDER. SEE DETAILS
- 11 CRAWLSPACE (UNDERFLOOR) ACCESS. SEE DETAILS
- 12 6" X 14" UNDERFLOOR SCREENED VENT. SEE EXTERIOR ELEVATIONS AND DETAILS
- 13 BUILT-IN CABINETRY. SEE DETAILS FOR LEVELS A, B, C, D, AND E
- 14 CLOSET MILLWORK. SEE DETAILS FOR LEVELS A, B, C, D, AND E
- 15 BATHROOM EXHAUST FAN CAPABLE OF PROVIDING THE MINIMUM RATE OF 25 CUBIC FEET PER MINUTE (12 L/s) CONTINUOUS VENTILATION PER SECTION R303.3 OF THE 2022 CRC. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT.
- 16 PRE-FABRICATED SEALED NONCOMBUSTION, DIRECT VENT FIREPLACE UNIT; PROVIDE UNIT CONTROLS AND VENTING SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS. SEE FIREPLACE DETAIL & SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION
- 17 WASHER: PROVIDE RECESSED HOT AND COLD WATER DRAIN STAND PIPE, AND FLOOR DRAIN UNDER WASHER
- 18 DRYER: PROVIDE WEATHER HOOD VENT WITH DAMPER TO OUTSIDE AIR AT ROOF. VENT DUCT SHALL BE MINIMUM 4" DIAMETER, SMOOTH GALVANIZED METAL, LIMITED TO TWO (2) 14'-0" LENGTH WITH TWO (2) ELBOWS. SEE MECHANICAL PLANS.
- 19 DRIP-DRY CABINET WITH FLOOR DRAIN
- 20 F.A.U. WITH NIGHT SETBACK THERMOSTAT AND SUMMER FANS SWITCH; PROVIDE COMBUSTION AIR VENT AND CONDENSATION LINE TO OUTSIDE AIR. PROVIDE 20" HIGH PLYWOOD PLATFORM FOR UNIT AS REQUIRED. VERIFY WITH MECHANICAL PLANS. SEE TITLE 24 FOR SIZE AND MODEL
- 21 ELECTRICAL SUB-PANEL, SEE ELECTRICAL PLANS
- 22 PHONE PANEL: ALL LINES TO BE HOME RUNS. SEE ELECTRICAL AND AV PLAN
- 23 GAS FIRED, HIGH RECOVERY, WATER HEATER / STORAGE TANK WITH CIRCULATION PUMP AND R-5 INSULATION. VERIFY WITH TITLE 24. SET ON AN 18" WOOD PLATFORM AND SECURE TO WALL FRAMING WITH METAL STRAPS FOR LATERAL SUPPORT IN THE EVENT OF AN EARTHQUAKE; STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION, AT THE LOWER POINT, THE STRAPPING SHALL BE A MINIMUM DISTANCE OF FOUR (4) INCHES ABOVE THE CONTROLS PER 2022 CRC SECTIONS 508.2. PROVIDE PLUMBING LOOPS FOR WATER SOFTENER.
- 24 TUB / SHOWER WITH TILE / STONE FINISH ON WALLS, FLOORS TO CEILING. SEE INTERIOR ELEVATIONS
- 25 SHOWER WITH TILE / STONE FINISH ON WALLS, FLOOR TO CEILING. SEE INTERIOR ELEVATIONS
- 26 FRAMELESS 3/8" THICK TEMPERED GLASS ENCLOSURE WITH SET-IN GLAZING CHANNEL. SEE SPECS AND INTERIOR ELEVATIONS
- 27 SOAP / SHAMPOO NICHE. SEE DETAILS AND INTERIOR ELEVATIONS FOR SIZE
- 28 BUILT-IN WHIRLPOOL TUB: PROVIDE DECK, SKIRT, BACK SPLASH, AND WOOD FRAMED PLATFORM WITH ACCESS TO EQUIPMENT AS REQUIRED BY MANUFACTURER. ELECTRICAL SUB CONTRACTOR SHALL PROVIDE ELECTRICAL SUPPLY AND CONNECTIONS AS REQUIRED.
- 29 STEAM SHOWER: INSTALL STEAM UNIT PER MANUFACTURER'S RECOMMENDATIONS (NR. STEAM MS SUPPLIER I. UNLESS OTHERWISE NOTED). ENCLOSURE SHALL BE FRAMELESS 3/8" THICK TEMPERED GLASS SET IN RECESSED GLAZING CHANNEL, WITH HOPPER WINDOW ABOVE DOOR.
- 30 "INSTA-HOT" DISPENSER AND WATER FILTRATION SYSTEM. VERIFY WITH OWNER
- 31 PROVIDE PURIFIED COLD WATER SUPPLY LINE TO ICE-MAKER WITH RECESSED SHUT-OFF VALVE. VERIFY WITH MANUFACTURER
- 32 LINE OF EXHAUST HOOD ABOVE, VENT TO OUTSIDE AIR WITH REMOTE EXHAUST FANS. VERIFY VENTING REQUIREMENTS WITH MECHANICAL PLANS AND MANUFACTURER'S RECOMMENDATIONS
- 33 HOSE BIBB IN RECESSED ENCLOSURE, FIXTURE TO MATCH WINDOW / DOOR FRAME FINISH. COORDINATE LOCATIONS WITH ARCHITECT.
- 34 GUARDRAIL, 42" ABOVE FINISH FLOOR
- 35 HANDRAIL, 34-38" ABOVE FINISH FLOOR WITH 1 1/2" - 2" HANDGRIP. SEE DETAILS SHEET A-9.5
- 36 ELECTRIC VEHICLE CHARGING STATION. INSTALL CONDUIT AND ELECTRICAL PANEL CAPACITY FOR FUTURE VEHICLE PARKING FOR AT LEAST ONE (4.107 AND A5.106.5.33) TOTAL PARKING SPACES BUT NOT LESS THAN ONE. (4.107 AND A5.106.5.33)
- 37 TOILETS TO HAVE 30" MIN. CLEAR WIDTH, 15" CLEARANCE FROM CENTERLINE AND 24" MIN. CLEARANCE IN FRONT.
- 38 SHOWER DRAIN. SEE DETAILS



TOILET CLEARANCES

REVISION SCHEDULE	
NO.	DATE

12/18/2023 1:44:06 PM



SCALE: 1/8" = 1'-0"

ROOF PLAN NOTES

ROOFING MATERIAL

FLAT ROOF:
SHALL BE CERTAINTEEED CLASS "A", SINGLE-PLY SARNAFIL ROOFING SYSTEM OR
APPROVED EQUAL, ICC-ESR 1157
1-LAYER COMBUSTABLE ROOF SUBSTRATE
1-LAYER RIGID INSULATION
1-LAYER DENSEDECK
1-LAYER SARNAFIL G410
1-LAYER NWP FLEECE
1-LAYER SARNAFIL PE10 BALLAST (TO BE SELECTED BY OWNER)

(CONTRACTOR SHALL VERIFY CLASS "A" ASSEMBLY WITH MANUFACTURER), SEE
SPECS. PROVIDE WALK PADS FROM ROOF ACCESS HATCH TO ALL MECHANICAL
EQUIPMENTDD

ZINC:
SHALL BE RHEINZINK PRE-WASHED BRONZE .7MM OVER 1-LAYER ENKAMAT (7008 /
7010) OVER 1-LAYER SHARKSIN ULTRA, ICC# ESR 1708. SEE SPECIFICATIONS

- ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN
- ALL FLAT ROOFS AND BALCONIES SHALL SLOPE A MINIMUM OF 2% TOWARD DRAINS
- PROVIDE 5/8" PLYWOOD SHEATHING OVER 2X STRIPPING @ 16" O.C. OVER ROOF DIAPHRAGM TO PROVIDE SLOPE TO DRAINS
- WATER SHALL NOT BE ALLOWED TO PUDDLE ON ANY PART OF THE ROOF AND NO OBSTACLE SHALL PREVENT WATER TO FLOW TO DRAINS
- CRICKETS TO BE 16 OZ. COPPER FLASHING OVER 5/8" CDX PLYWOOD SHEATHING FRAMED WITH 2X @ 16" O.C. MIN
- MOCK-UP OF ROOFING SHALL BE REVIEWED BY ARCHITECT AND APPROVED BY OWNER PRIOR TO PROCEEDING WITH WORK

GUTTERS, DOWNSPOUTS & ROOF DRAINS

- GUTTERS SHALL BE CONSTRUCTED OF 16 OZ. COPPERWITH 5/8" EXPANSION JOINTS EVERY 30 FEET MAXIMUM. GUTTERS SHALL SLOPE 1/16" PER FOOT TOWARD DOWNSPOUTS
- PROVIDE DOME WIRE BASKET AT EACH DOWNSPOUT AND ROOF DRAIN. CONTRACTOR SHALL TEST ALL CONCEALED DOWNSPOUTS FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDING AND SHALL PROVIDE A 10 YEAR WARRANTY AGAINST LEAKAGE. SEE ROOF PLAN & ELEVATIONS FOR DOWNSPOUT LOCATIONS.
- ROOF DAMAGE TO BE CONNECTED TO EXISTING CITY APPROVED DRAINAGE DEVICE. ALL RAIN WATER TO BE DIRECTED TO STREET OR APPROVED OUTLET
- MECHANICAL EQUIPMENT SHALL BE MOUNTED ON MASON SPRING ISOLATORS #SLR4-125 OR APPROVED EQUAL. PROVIDE 1 1/2" LIGHTWEIGHT CONC. OVER EQUIP. PLATFORM
- VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS. COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL. UNLESS SPECIFIED OTHERWISE BY ARCHITECT. PROVIDE PAINT SAMPLES FOR ARCHITECT TO REVIEW AND APPROVE BY OWNER
- PROVIDE WATERPROOFING AT ALL ROOF PENETRATIONS. ALL JOINTS AT SHEETMETAL SHALL BE CAULKED
- ATTIC VENTILATION SHALL BE A MIN. OF 1/150 OF THE AREA TO BE VENTILATED AND SHALL HAVE A VAPOR RETARDER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM. INSTALLED ON THE WARM SIDE OF THE INSULATION. VENTILATION IS NOT REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACE BETWEEN INSULATION AND EXTERIOR SHEATHING. VENTS SHALL BE CONSTRUCTED WITH 16 OZ COPPER LOUVERS AND MAX. 1/4"x1/4" COPPER WIRE CLOTH PER S.M.A.C.N.A. GUIDELINES. LOUVERS SHALL BE DESIGNED SO THAT WATER IS DEFLECTED IN A DRIVING RAIN
- TOP OF CHIMNEY SHALL EXTEND 2' MIN. ABOVE ANY PART OF THE BUILDING WITHIN 10' AND SHALL HAVE A U.L. APPROVED SPARK ARRESTOR

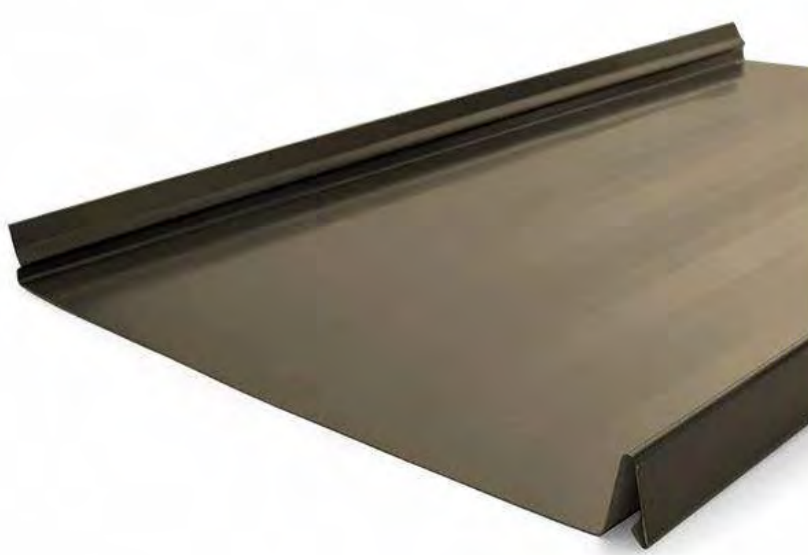
KEY NOTES

- VENT
- INTEGRATED GUTTER
- DOWNSPOUT
- OVERFLOW DRAIN
- FLASHING
- CHIMNEY
- ACCESS LADDER
- METAL TRELLIS
- ELECTRICAL OUTLET
- SOLAR PANELS
- SKYLIGHT
- CURB
- ACCESS HATCH
- BALLAST ROOF
- MECHANICAL EQUIPMENT
- SWITCHED OUTLET
- PARAPET



FLAT ROOF - SARNAFIL W/ BALLAST

3



METAL ROOF - 22 GAUGE METAL W/ BRONZE FINISH

2

REVISION SCHEDULE	
NO.	DATE

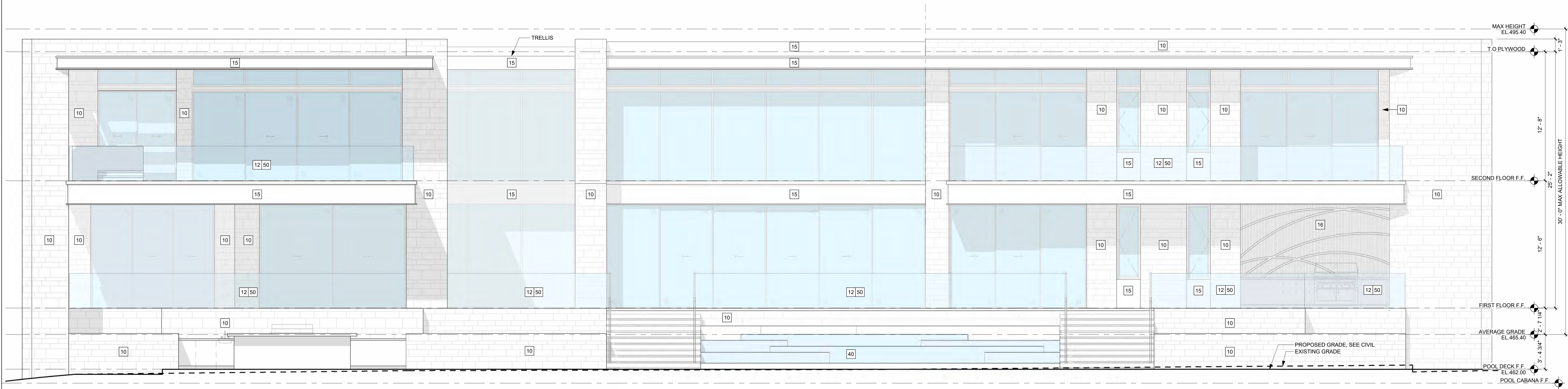
17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953



DATE 12.18.2023
JOB # 2022.10

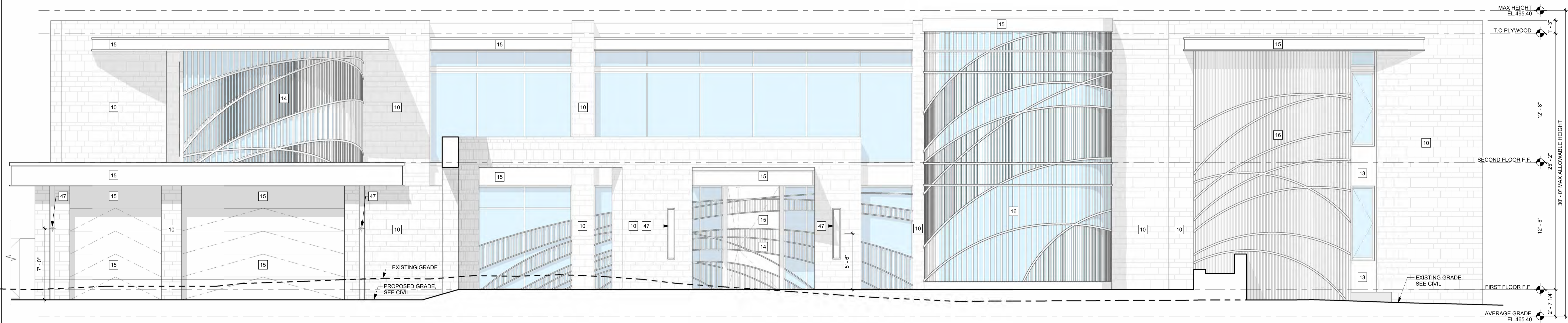
ROOF PLAN

A-4.3



SOUTH ELEVATION

SCALE: 1/4" = 1'-0" 2



NORTH ELEVATION

SCALE: 1/4" = 1'-0" 1

EXTERIOR ELEVATION NOTES

- A CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
- B CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDSCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES
- C AT STUCCO (CEMENT PLASTER), PROVIDE CONTINUOUS METAL WEEP SCALED AS REQUIRED BY CODE, SEC R703.6.2.1. SEE DETAILS
- D AT MECHANICALLY ATTACHED STONE AND BRICK, PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2
- E STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
- F ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
- G CONTRACTOR SHALL PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES AND ASSEMBLIES FOR ARCHITECT'S REVIEW AND OWNER'S APPROVAL PRIOR TO FABRICATION AND INSTALLATION
- H STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED

EXTERIOR FINISH MATERIALS

STUCCO
3-COAT CEMENT PLASTER (STUCCO), SEE SPECIFICATIONS

STONE VENEER
THIN STONE VENEER ADHERED
A. LIMESTONE - CREAM
B. ROUGH HONED
C. DRY STACK

METAL
FASCIA, TRIM, + LOUVERED FACADE
A. METAL CLADDING
B. MBR. BRONZE ANODIZED 22 GAUGE

WOOD / EXTERIOR MILLWORK
EAVE
A. REDWOOD
B. STAIN SMOOTH

SAMPLES AND MOCK-UPS OF ALL EXTERIOR MATERIALS TO BE SUBMITTED FOR ARCHITECT REVIEW AND OWNER APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

KEY NOTES

MATERIALS, GENERAL

- 1 PRE-CAST (CFRC)
- 2 CEMENT PLASTER (STUCCO)
- 3 PLASTER
- 4 VENETIAN PLASTER
- 5 5/8" TYPE "X" GYPSUM BOARD W/ SKIM COAT
- 6 CONCRETE
- 7 WOOD
- 8 STAIN GRADE HARD WOOD
- 9 PAINT GRADE WOOD
- 10 STONE - VENEER
- 11 STONE - SLAB
- 12 TEMPERED GLASS
- 13 SPANDREL GLASS
- 14 METAL - SCREEN AT GLASS
- 15 METAL
- 16 METAL, DECORATIVE SCREEN
- 17 TILE, PORCELAIN / CERAMIC
- 18 SPECIALTY FINISH
- 19 EPOXY COATING
- 20 CARPET

BUILDING ELEMENTS

- 25 FOUNDATION / FOOTING
- 26 CONCRETE SLAB ON GRADE
- 27 CONCRETE SLAB
- 28 FLOOR JOIST
- 29 PLYWOOD SUB-FLOOR
- 30 3" FINISH FLOOR ASSEMBLY
- 31 THERMAL INSULATION PER TITLE 24
- 32 SOUND INSULATION
- 33 CEILING JOIST
- 34 ROOF RAFTERS
- 35 ROOF SHEATHING
- 36 CLASS "A" ROOFING ASSEMBLY
- 37 BELOW GRADE WATERPROOFING
- 38 WEEP SCREED
- 39 COPPER GUTTER
- 40 WATER FEATURE
- 41 ATTIC VENT
- 42 ENTRY DOOR
- 43 DECORATIVE UNDERFLOOR VENT
- 44 HOSE BIB, RECESSED SUPPLY BOX

- 45 HOSE BIB, STANDARD
- 46 WATERPROOF ELECTRIC OUTLET
- 47 CUSTOM LIGHT FIXTURE
- 48 NATURAL GAS SUPPLY
- 49 SKYLIGHT
- 50 GUARDRAIL AT 42" ABOVE FINISH FLOOR
- 51 HANDRAIL AT 34" - 38" ABOVE FINISH FLOOR

17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953



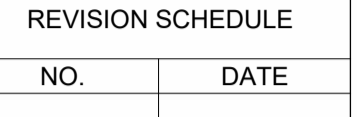
DATE 12.18.2023

JOB # 2022.10

EXTERIOR
ELEVATION

A-6.0

PLANNING SET



17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953



DATE 12.18.2023

OB #	2022.10
------	---------

EXTERIOR ELEVATION

A-6.1

PLANNING SET



SCALE: 1/4" = 1'-0" (2)



SCALE: 1/4" = 1'-0" 1

A	CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
B	CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL INTERIOR FINISHES WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES
C	AT STUCCO (CEMENT PLASTER), PROVIDE CONTINUOUS METAL WEED SCREED AS REQUIRED BY CODE, SEE R703.6.2.1. SEE DETAILS
D	WEED SCREED SHALL BE 1/4" THICK AND 1/2" HIGH. PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEED HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2
E	STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
F	ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
G	CONTRACTOR SHALL PROVIDE MOCKUPS OF ALL EXTERIOR FINISHES AND ASSEMBLIES FOR ARCHITECT'S REVIEW AND OWNER'S APPROVAL PRIOR TO FABRICATION AND INSTALLATION
H	STRUCTURAL SHALL BE REVIEWED TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED

STUCCO
3-COAT CEMENT PLASTER (STUCCO). SEE SPECIFICATIONS

STONE VENEER
THIN STONE VENEER ADHERED

A. LIMESTONE - CREAM
B. ROUGH HONED
C. DRY STACK

METAL
FASCIA, TRIM & LOUVERED FACADE

A. METAL CLADDING
B. MBR. BRONZE ANODIZED 22 GAUGE

WOOD / EXTERIOR MILLWORK
EAVE

A. REDWOOD
B. STAIN SMOOTH

SAMPLES AND MOCK-UPS OF ALL EXTERIOR MATERIALS TO
FOR ARCHITECT REVIEW AND OWNER APPROVAL PRIOR TO
AND INSTALLATION.

MATERIALS, GENERAL

2	PRE-CAST (CFRC)	25	FOUNDATION / FOOTING
3	CEMENT PLASTER (STUCCO)	26	CONCRETE SLAB ON GRADE
3	PLASTER	27	CONCRETE SLAB
4	VENETIAN PLASTER	28	FLOOR JOIST
5	5/8" TYPE "X" GYPSUM BOARD W/ SKIM COAT	29	PLYWOOD SUB-FLOOR
6	CONCRETE	30	3" FINISH FLOOR ASSEMBLY
7	WOOD	31	THERMAL INSULATION PER TITLE 24
8	STAIN GRADE HARD WOOD	32	SOUND INSULATION
9	PAINT GRADE WOOD	33	CEILING JOIST
10	STONE - VENEER	34	ROOF RAFTERS
11	STONE - SLAB	35	ROOF SHEATHING
12	TEMPERED GLASS	36	CLASS "A" ROOFING ASSEMBLY
13	SPANDREL GLASS	37	BELOW GRADE WATERPROOFING
14	METAL - SCREEN AT GLASS	38	WEEP SCREEN
15	METAL	39	COPPER GUTTER
16	METAL, DECORATIVE SCREEN	40	WATER FEATURE
17	TILE, PORCELAIN / CERAMIC	41	ATTIC VENT
18	SPECIALTY FINISH	42	ENTRY DOOR
19	EPOXY COATING	43	DECORATIVE UNDERFLOOR VENT
20	CARPET	44	HOSE BIB, RECESSED SUPPLY BOX

45	HOSE BIB, STANDARD
46	WATERPROOF ELECTRIC OUTLET
47	CUSTOM LIGHT FIXTURE
48	NATURAL GAS SUPPLY
49	SKYLIGHT
50	GUARDRAIL AT 42" ABOVE FINISH FLOOR
51	HANDRAIL AT 34" - 38" ABOVE FINISH FLOOR

REVISION SCHEDULE	
NO.	DATE

17 MILE DRIVE RESIDENCE
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953

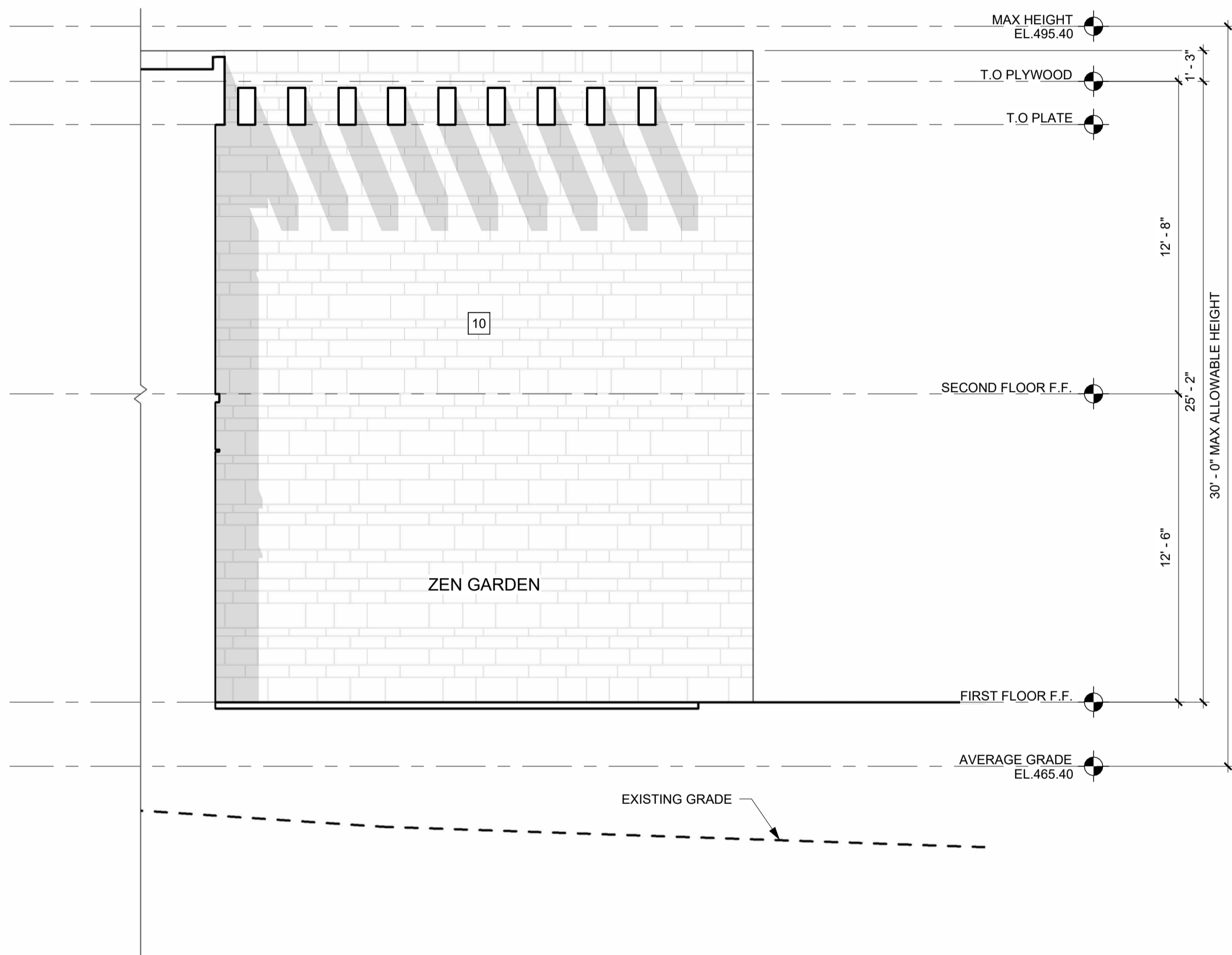


DATE 12.18.2023
JOB # 2022.10

EXTERIOR
ELEVATION

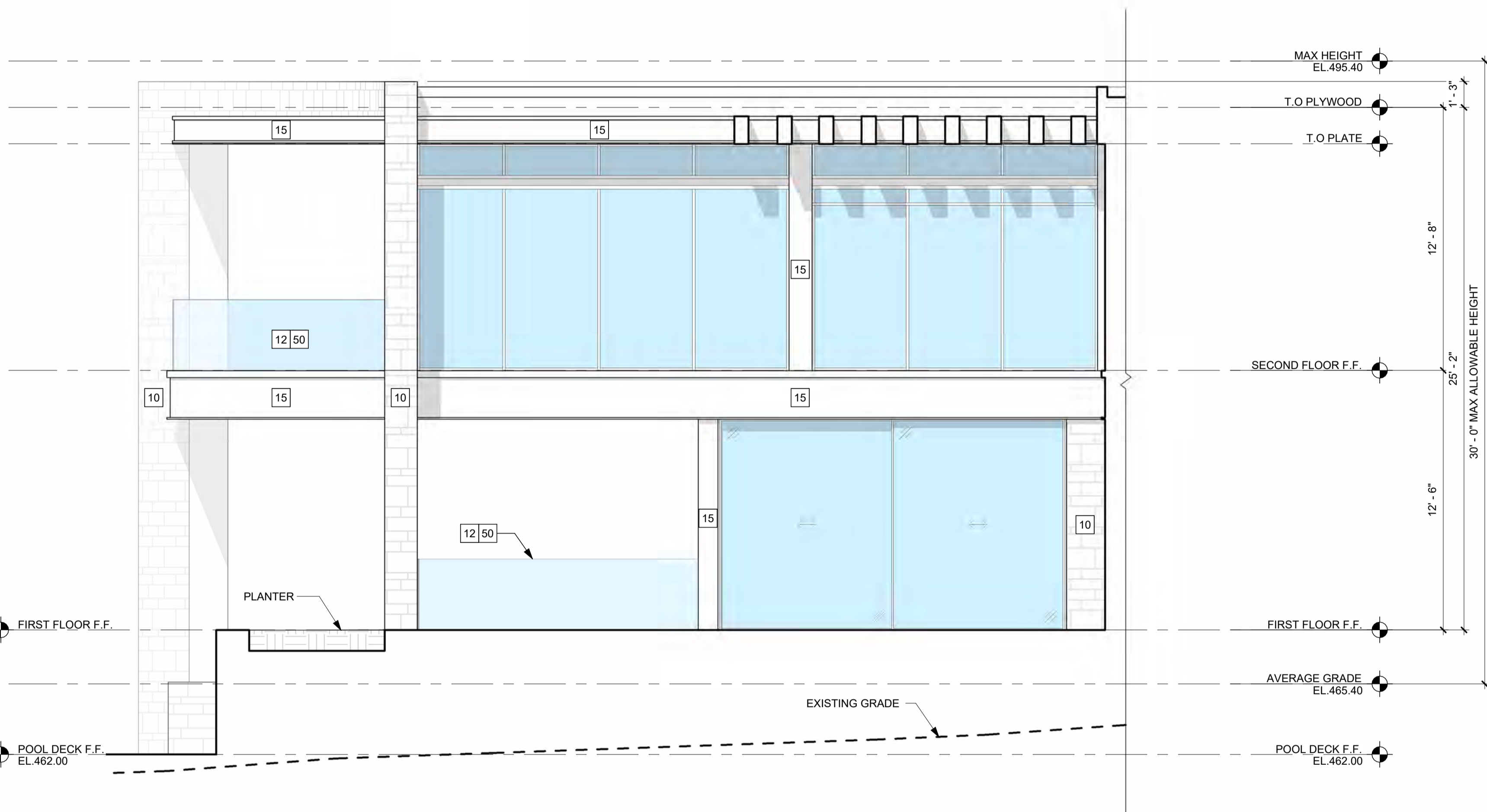
A-6.2

PLANNING SET



PARTIAL WEST ELEVATION

SCALE: 1/4" = 1'-0" 2



PARTIAL EAST ELEVATION

SCALE: 1/4" = 1'-0" 1

EXTERIOR ELEVATION NOTES

- A CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
- B CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDSCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES
- C AT STUCCO (CEMENT PLASTER), PROVIDE CONTINUOUS METAL WEEP SCREED AS REQUIRED BY CODE, SEC R703.6.2.1, SEE DETAILS
- D AT MECHANICALLY ATTACHED STONE AND BRICK, PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2
- E STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
- F ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
- G CONTRACTOR SHALL PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES AND ASSEMBLIES FOR ARCHITECT'S REVIEW AND OWNER'S APPROVAL PRIOR TO FABRICATION AND INSTALLATION
- H STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED

EXTERIOR FINISH MATERIALS

STUCCO
3-COAT CEMENT PLASTER (STUCCO), SEE SPECIFICATIONS

STONE VENEER
THIN STONE VENEER ADHERED
A. LIMESTONE - CREAM
B. ROUGH HONED
C. DRY STACK

METAL
FASCIA, TRIM, + LOUVERED FACADE
A. METAL CLADDING
B. MBR. BRONZE ANODIZED 22 GAUGE

WOOD / EXTERIOR MILLWORK
EAVE
A. REDWOOD
B. STAIN SMOOTH

SAMPLES AND MOCK-UPS OF ALL EXTERIOR MATERIALS TO BE SUBMITTED FOR ARCHITECT REVIEW AND OWNER APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

KEY NOTES

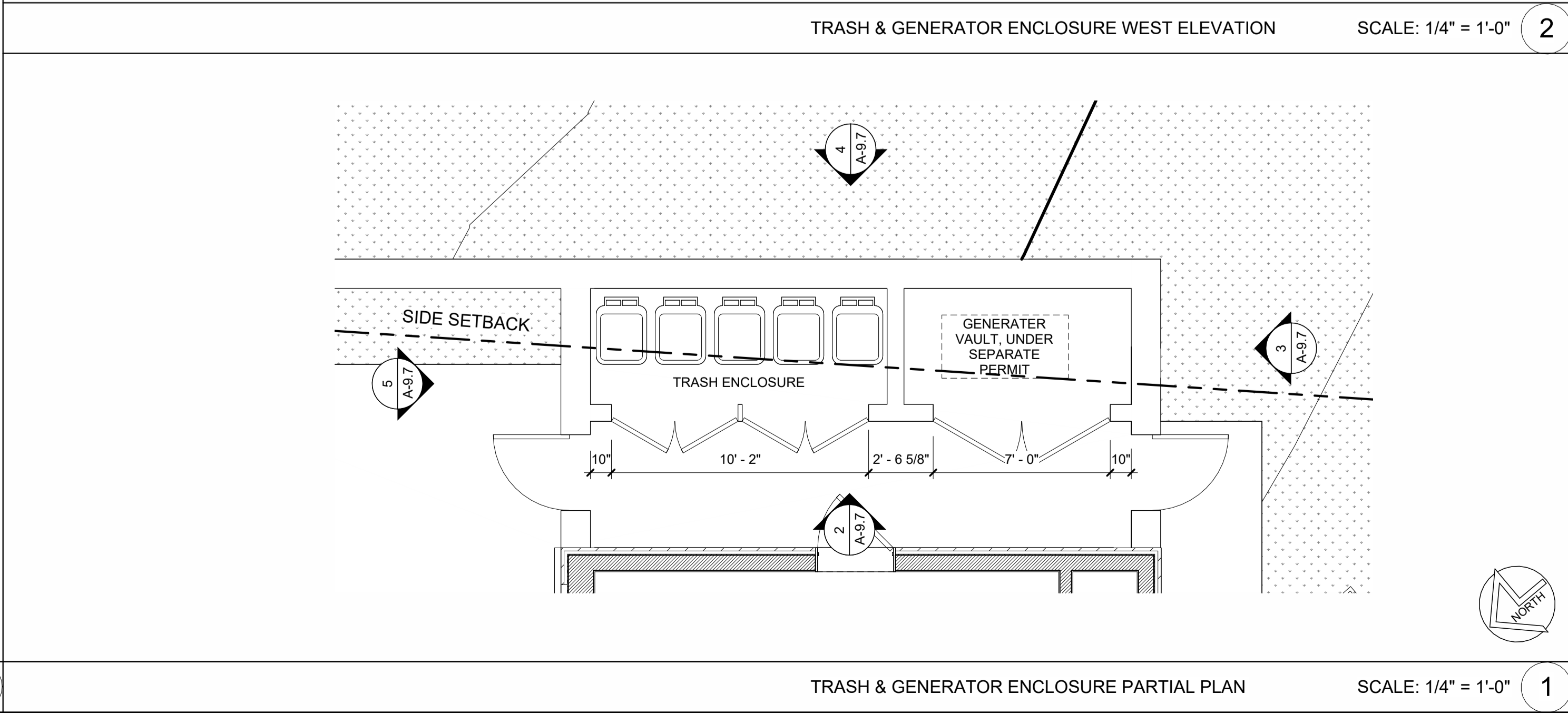
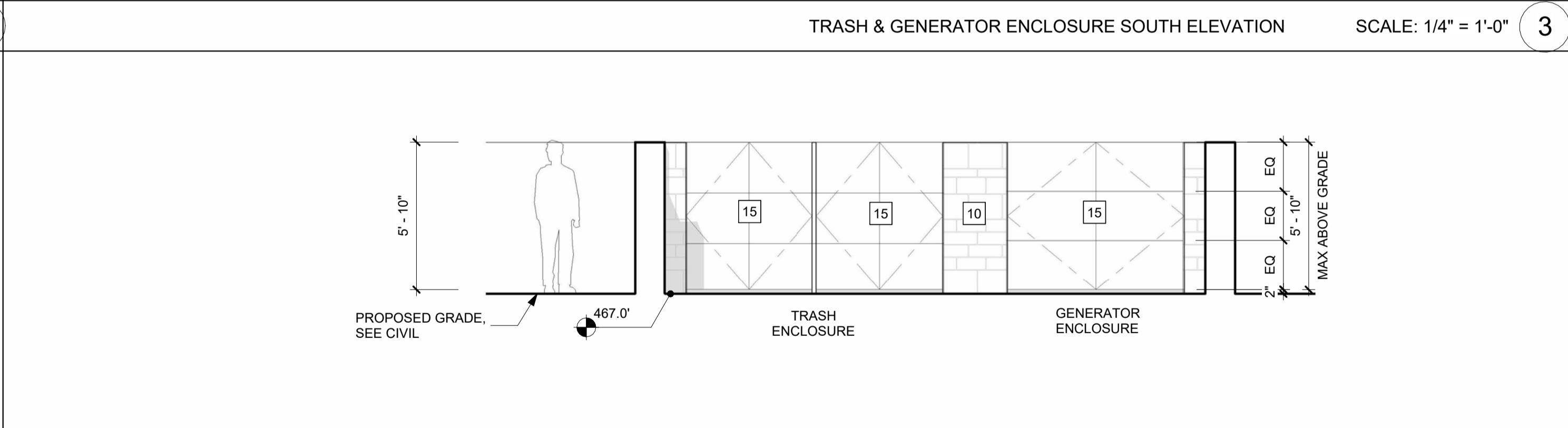
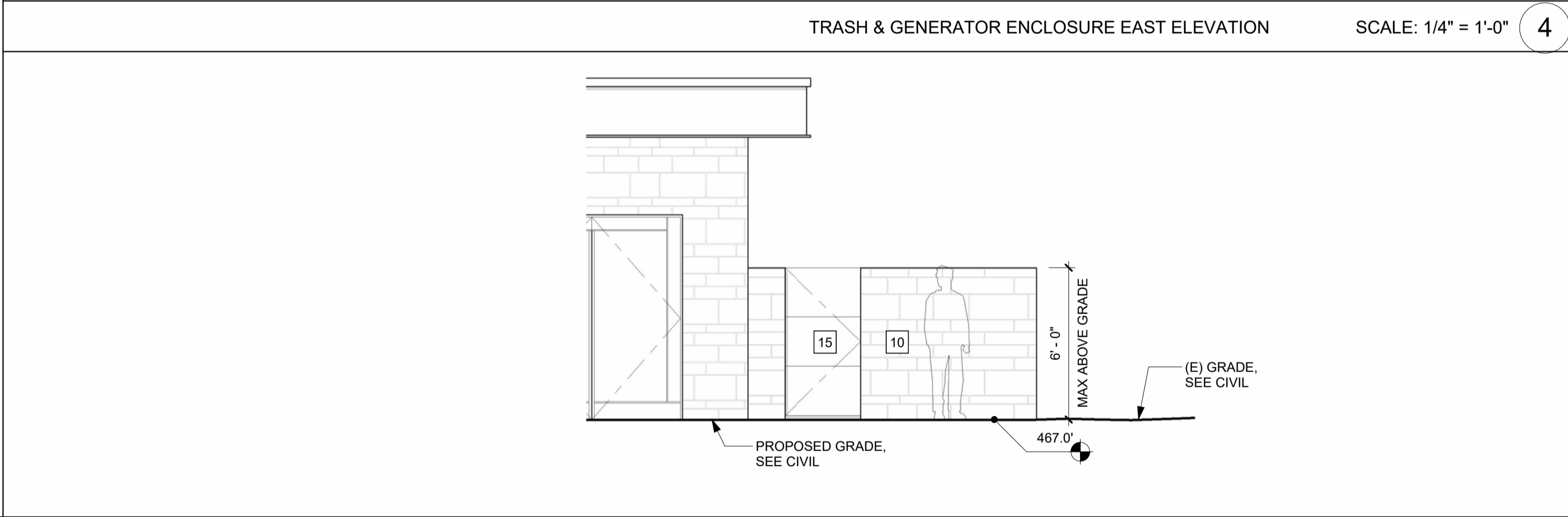
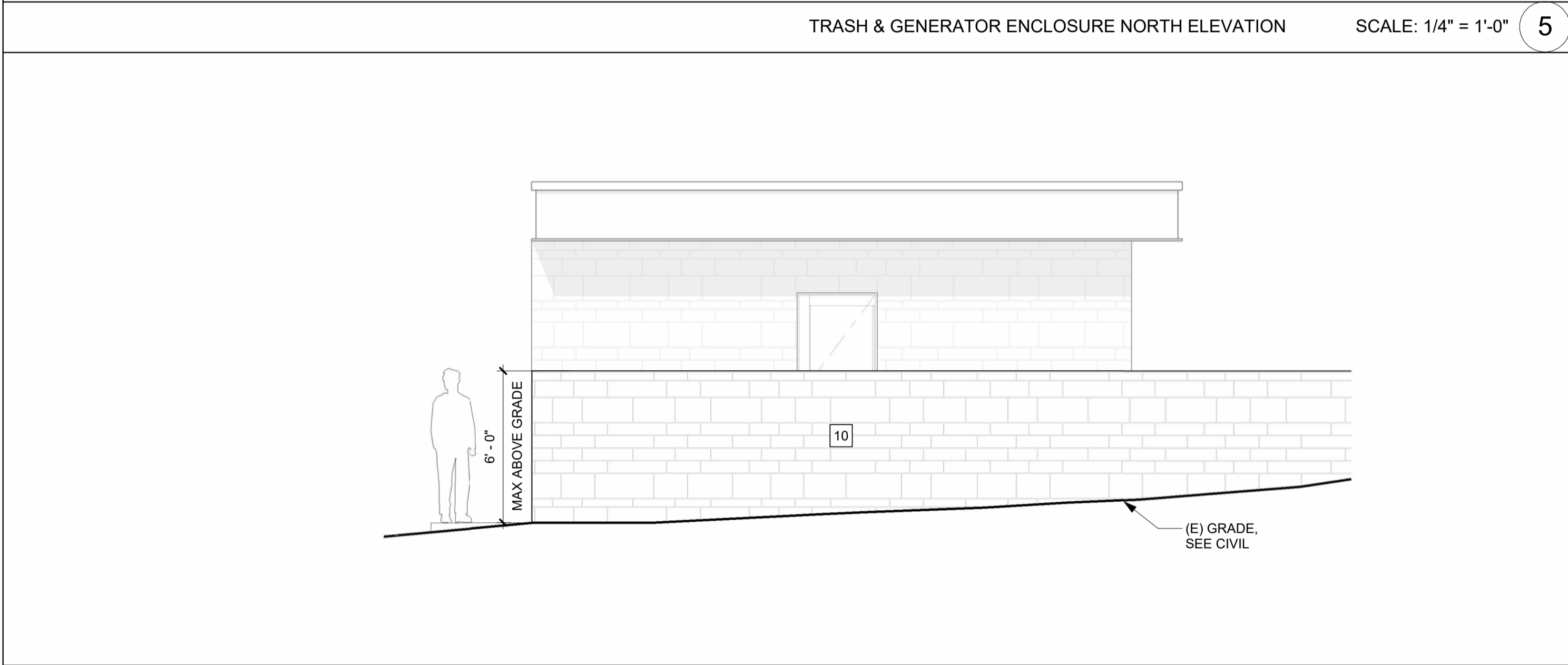
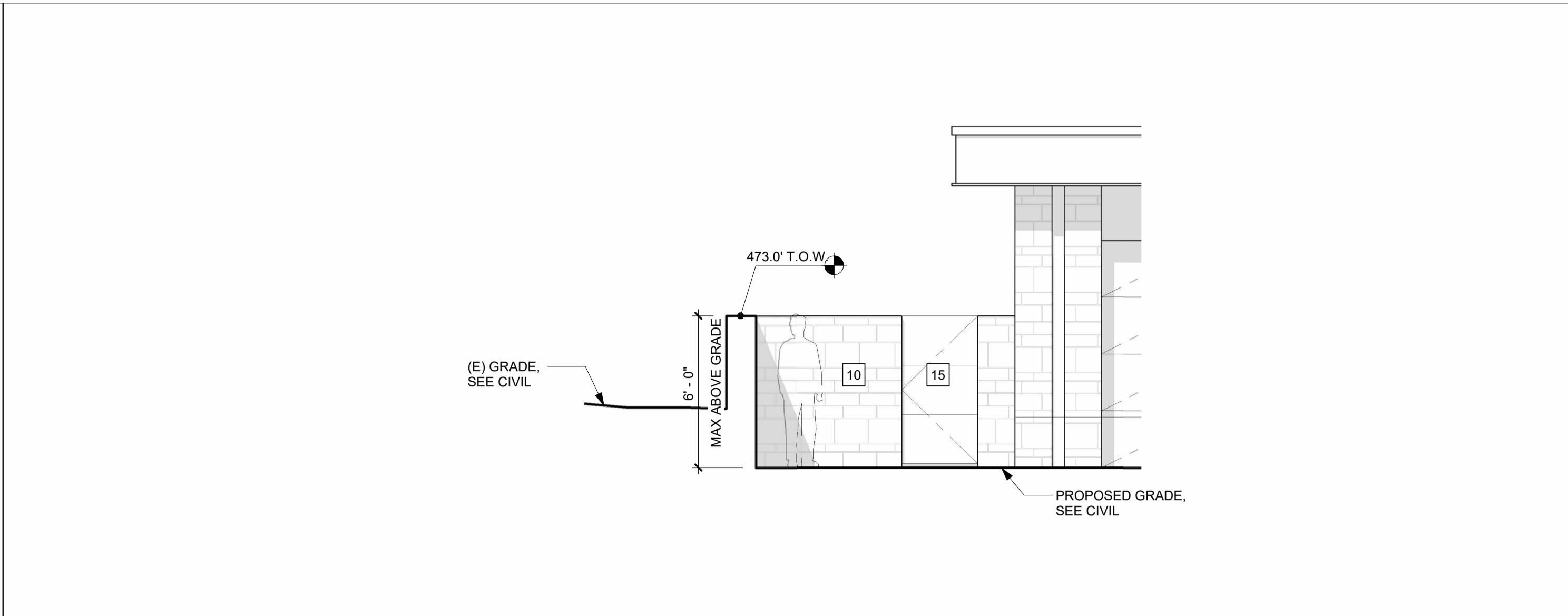
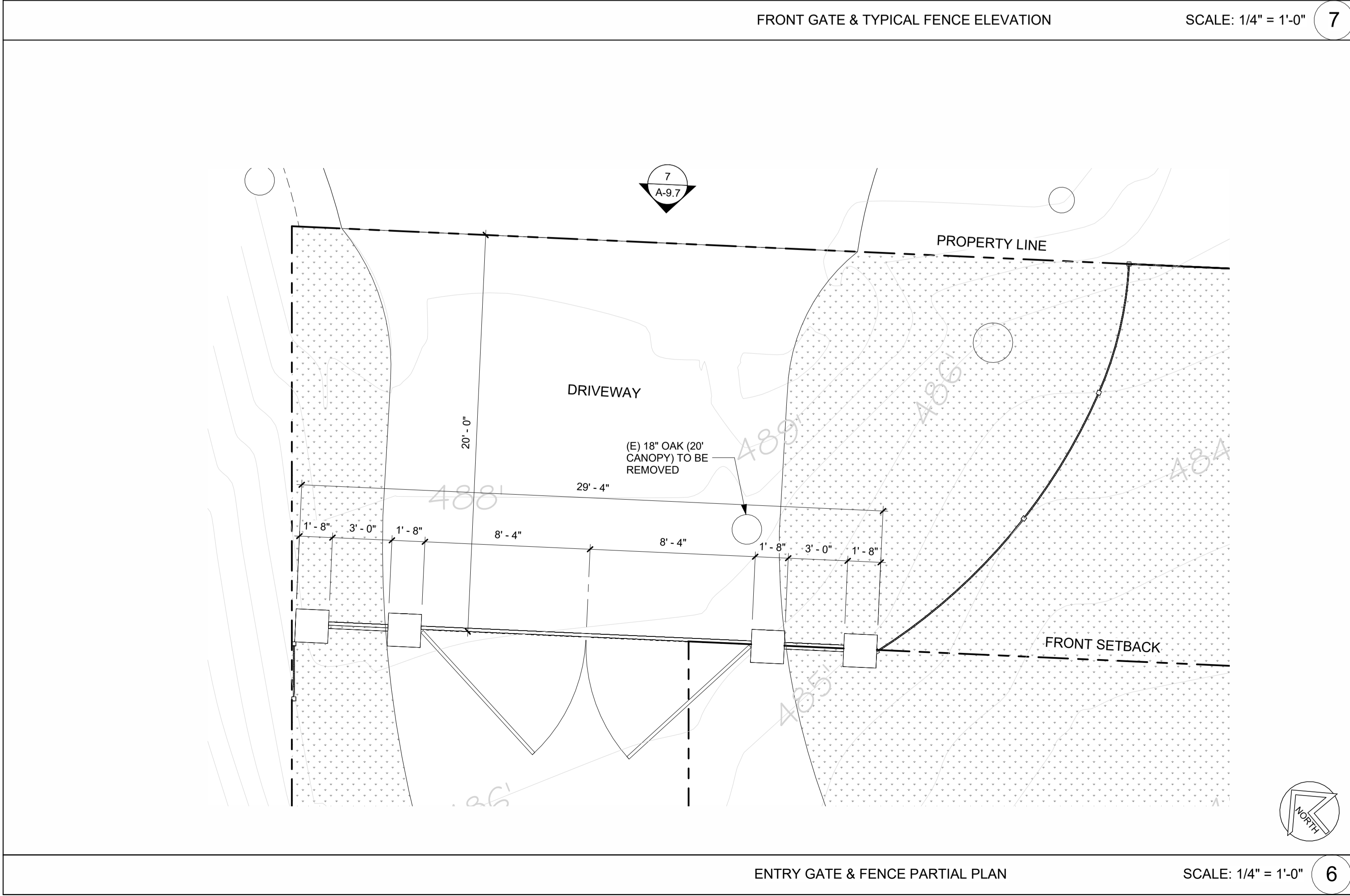
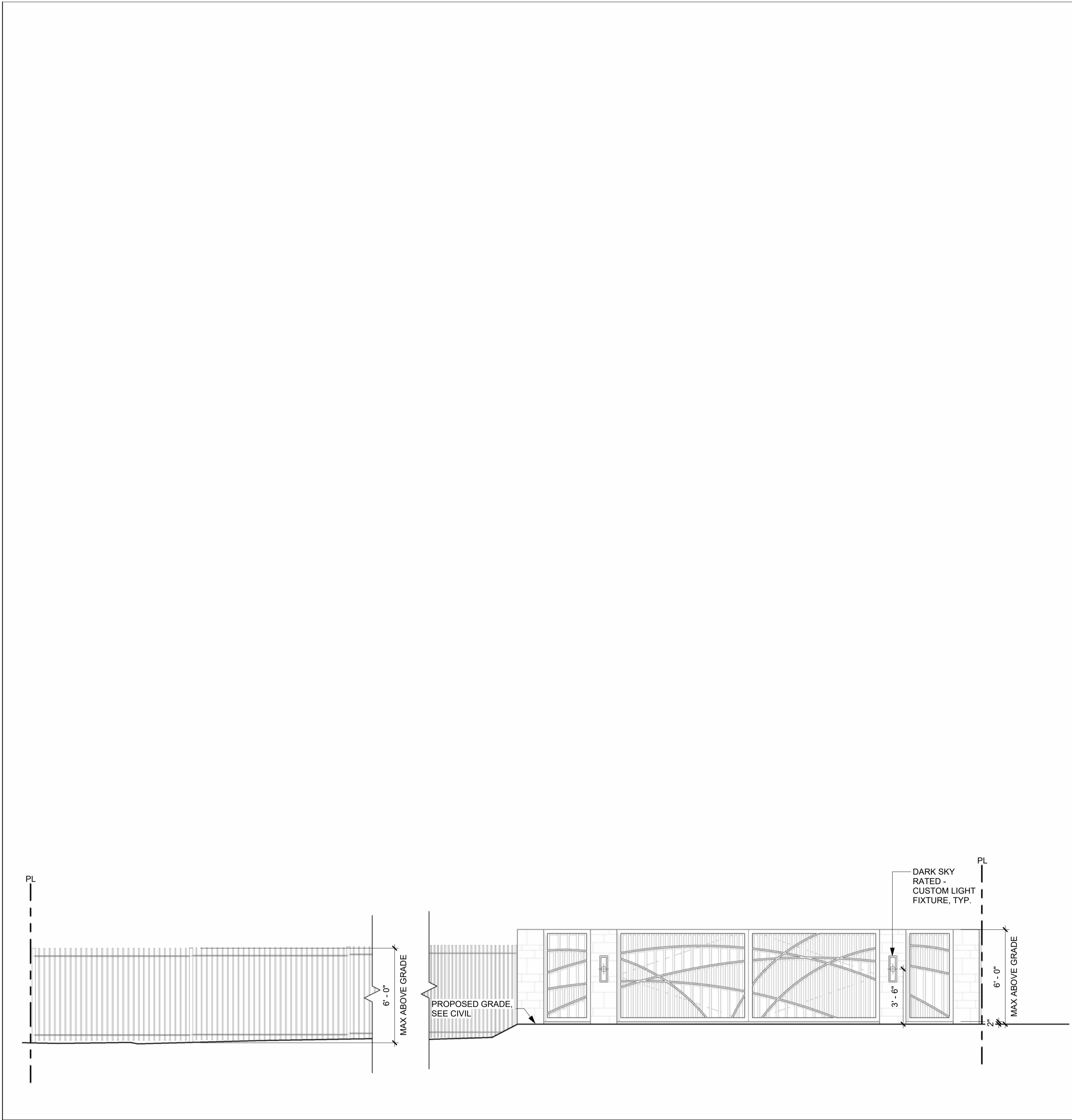
MATERIALS, GENERAL

- 1 PRE-CAST (CFRC)
- 2 CEMENT PLASTER (STUCCO)
- 3 PLASTER
- 4 VENETIAN PLASTER
- 5 5/8" TYPE "X" GYPSUM BOARD W/ SKIM COAT
- 6 CONCRETE
- 7 WOOD
- 8 STAIN GRADE HARD WOOD
- 9 PAINT GRADE WOOD
- 10 STONE - VENEER
- 11 STONE - SLAB
- 12 TEMPERED GLASS
- 13 SPANDREL GLASS
- 14 METAL - SCREEN AT GLASS
- 15 METAL
- 16 METAL, DECORATIVE SCREEN
- 17 TILE, PORCELAIN / CERAMIC
- 18 SPECIALTY FINISH
- 19 EPOXY COATING
- 20 CARPET

BUILDING ELEMENTS

- 25 FOUNDATION / FOOTING
- 26 CONCRETE SLAB ON GRADE
- 27 CONCRETE SLAB
- 28 FLOOR JOIST
- 29 PLYWOOD SUB-FLOOR
- 30 3" FINISH FLOOR ASSEMBLY
- 31 THERMAL INSULATION PER TITLE 24
- 32 SOUND INSULATION
- 33 CEILING JOIST
- 34 ROOF RAFTERS
- 35 ROOF SHEATHING
- 36 CLASS "A" ROOFING ASSEMBLY
- 37 BELOW GRADE WATERPROOFING
- 38 WEEP SCREED
- 39 COPPER GUTTER
- 40 WATER FEATURE
- 41 ATTIC VENT
- 42 ENTRY DOOR
- 43 DECORATIVE UNDERFLOOR VENT
- 44 HOSE BIB, RECESSED SUPPLY BOX

- 45 HOSE BIB, STANDARD
- 46 WATERPROOF ELECTRIC OUTLET
- 47 CUSTOM LIGHT FIXTURE
- 48 NATURAL GAS SUPPLY
- 49 SKYLIGHT
- 50 GUARDRAIL AT 42" ABOVE FINISH FLOOR
- 51 HANDRAIL AT 34" - 38" ABOVE FINISH FLOOR



EXTERIOR ELEVATION NOTES

- A CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
- B CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDSCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES
- C AT STUCCO (CEMENT PLASTER), PROVIDE CONTINUOUS METAL WEEP SCREED AS REQUIRED BY CODE, SEC R703.6.2.1, SEE DETAILS
- D AT MECHANICALLY ATTACHED STONE AND BRICK, PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2
- E STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
- F ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
- G CONTRACTOR SHALL PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES AND ASSEMBLIES FOR ARCHITECT'S REVIEW AND OWNER'S APPROVAL PRIOR TO FABRICATION AND INSTALLATION
- H STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED
- I THE FIRST NINE FEET, MEASURED FROM GRADE, OF EXTERIOR WALLS AND DOORS SHALL BE BUILT AND MAINTAINED WITH GRAFFITI-RESISTANT FINISH. EXCEPTION: A BUILDING WHERE THE BUILDING OWNER FILES A 'COVENANT AND AGREEMENT REGARDING MAINTENANCE OF BUILDING (GRAFFITI REMOVAL)' WITH THE DEPARTMENT, AGREEING TO REMOVE THE GRAFFITI WITHIN SEVEN DAYS OF THE GRAFFITI BEING APPLIED OR WITHIN 72 HOURS OF BEING NOTIFIED BY THE DEPARTMENT TO REMOVE THE GRAFFITI (SEC 91.6306)

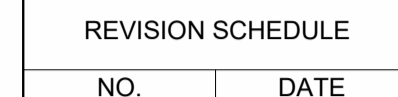
EXTERIOR FINISH MATERIALS

- STUCCO
3-COAT CEMENT PLASTER (STUCCO), SEE SPECIFICATIONS
- STONE VENEER
THIN STONE VENEER ADHERED
A. LIMESTONE - CREAM
B. ROUGH HONED
C. DRY STACK
- METAL
FASCIA, TRIM + LOUVERED FACADE
A. METAL CLADDING
B. MBR. BRONZE ANODIZED 22 GAUGE
- WOOD / EXTERIOR MILLWORK
A. REDWOOD
B. STAIN SMOOTH

SAMPLES AND MOCK-UPS OF ALL EXTERIOR MATERIALS TO BE SUBMITTED FOR ARCHITECT REVIEW AND OWNER APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

KEY NOTES

MATERIALS - GENERAL	BUILDING ELEMENTS
1 PRE-CAST (CFRC)	25 FOUNDATION / FOOTING
2 CEMENT PLASTER (STUCCO)	26 CONCRETE SLAB ON GRADE
3 PLASTER	27 CONCRETE SLAB
4 VENETIAN PLASTER	28 FLOOR JOIST
5 5/8" TYPE "X" GYPSUM BOARD W/ SKIM COAT	29 PLYWOOD SUB-FLOOR
6 CONCRETE	30 3" FINISH FLOOR ASSEMBLY
7 WOOD	31 THERMAL INSULATION PER TITLE 24
8 STAIN GRADE HARD WOOD	32 SOUND INSULATION
9 PAINT GRADE WOOD	33 CEILING JOIST
10 STONE - VENEER	34 ROOF RAFTERS
11 STONE - SLAB	35 ROOF SHEATHING
12 TEMPERED GLASS	36 CLASS "A" ROOFING ASSEMBLY
13 SPANDREL GLASS	37 BELOW GRADE WATERPROOFING
14 METAL - SCREEN AT GLASS	38 WEEP SCREED
15 METAL	39 COPPER GUTTER
16 METAL, DECORATIVE SCREEN	40 WATER FEATURE
17 TILE, PORCELAIN / CERAMIC	41 ATTIC VENT
18 SPECIALTY FINISH	42 ENTRY DOOR
19 EPOXY COATING	43 DECORATIVE UNDERFLOOR VENT
20 CARPET	44 HOSE BIB, RECESSED SUPPLY BOX
	45 HOSE BIB, STANDARD
	46 WATERPROOF ELECTRIC OUTLET
	47 CUSTOM LIGHT FIXTURE
	48 NATURAL GAS SUPPLY
	49 SKYLIGHT
	50 GUARDRAIL AT 42" ABOVE FINISH FLOOR
	51 HANDRAIL AT 34" - 38" ABOVE FINISH FLOOR



A CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES

B CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL INTERSECTIONS WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES

C AT STUCCO (CEMENT PLASTER), PROVIDE CONTINUOUS METAL WEEP SCREED AS REQUIRED BY CODE, SEE R703.6.21. SEE DETAILS

D AT MECHANICALLY ATTACHED STONE AND BRICK, PROVIDE FINISHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. C. AS REQUIRED PER SEC R703.7.2

E STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER

F ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED

G CONTRACTOR SHALL PROVIDE MOCK-UPS OF ALL EXTERIOR FINISHES AND ASSEMBLIES FOR ARCHITECT'S REVIEW AND OWNER'S APPROVAL PRIOR TO FABRICATION AND INSTALLATION

H STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY AS REQUIRED

I THE FIRST NINE FEET, MEASURED FROM GRADE, OF EXTERIOR WALLS AND DOORS SHALL BE BUILT AND MAINTAINED WITH GRAFFITI-RESISTANT FINISH. EXCEPTION: A BUILDING WHERE THE BUILDING OWNER FILES A COMPLAINT AND AGREES TO REMOVE THE GRAFFITI WITHIN 30 DAYS OF THE GRAFFITI REMOVAL WITH THE DEPARTMENT. AGREEING TO REMOVE THE GRAFFITI WITHIN SEVEN DAYS OF THE GRAFFITI BEING APPLIED OR WITHIN 30 DAYS OF THE GRAFFITI BEING NOTIFIED BY THE DEPARTMENT TO REMOVE THE GRAFFITI (SEE 91.6306)

STUCCO
3-COAT CEMENT PLASTER (STUCCO), SEE SPECIFICATIONS

STUCCO
3-COAT CEMENT PLASTER (STUCCO), SEE SPECIFICATIONS

THIN STONE VENEER ADHERED

- A. LIMESTONE - CREAM
- B. ROUGH HONED
- C. DRY STACK

THIN STONE VENEER ADHERED

- A. LIMESTONE - CREAM
- B. ROUGH HONED
- C. DRY STACK

FASCIA, TRIM. + LOUVERED FACADE
A. METAL CLADDING
B. MBR. BRONZE ANODIZED 22

FASCIA, TRIM. + LOUVERED FACADE
A. METAL CLADDING
B. MBR. BRONZE ANODIZED 22

A. REDWOOD
B. STAIN SMOOTH

SAMPLES AND MOCK-UPS OF ALL EXTERIOR MATERIALS TO BE SUBMITTED FOR ARCHITECT REVIEW AND OWNER APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

MATERIALS. GENERAL BUILDING ELEMENTS

1	PRE-CAST (CIRC)	25	FOUNDATION / FOOTING
2	CEMENT PLASTER (STUCCO)	26	CONCRETE SLAB ON GRADE
3	PLASTER	27	CONCRETE SLAB
4	VENETIAN PLASTER	28	FLOOR JOIST
5	5/8" TYPE "X" GYPSUM BOARD W/ SKIN COAT	29	PLYWOOD SUB-FLOOR
6	CONCRETE	30	3" FINISH FLOOR ASSEMBLY
7	WOOD	31	THERMAL INSULATION PER TITLE 24
8	STAIN GRADE HARD WOOD	32	SOUND INSULATION
9	PAINT GRADE WOOD	33	CEILING JOIST
10	STONE - VENEER	34	ROOF RAFTERS
11	STONE - SLAB	35	ROOF SHEATHING
12	TEMPERED GLASS	36	CLASS "A" ROOFING ASSEMBLY
13	SPANDREL GLASS	37	BELOW GRADE WATERPROOFING
14	METAL - SCREEN AT GLASS	38	WEEP SCREED
15	METAL	39	COPPER GUTTER
16	METAL DECORATIVE SCREEN	40	WATER FEATURE
17	TILE, PORCELAIN / CERAMIC	41	ATTIC VENT
18	SPECIALTY FINISH	42	ENTRY DOOR
19	EPOXY COATING	43	DECORATIVE UNDERFLOOR VENT
20	CARPET	44	HOSE BIB, RECESSED SUPPLY BOX
		45	HOSE BIB, STANDARD
		46	WATERPROOF ELECTRIC OUTLET
		47	CUSTOM LIGHT FIXTURE
		48	NATURAL GAS SUPPLY
		49	SKYLIGHT
		50	GUARDRAIL AT 42" ABOVE FINISH FLOOR
		51	HANDRAIL AT 34" - 38" ABOVE FINISH FLOOR

MATERIALS, GENERAL

1	PRE-CAST (CFRC)	25	FOUNDATION / FOOTING
2	CEMENT PLASTER (STUCCO)	26	CONCRETE SLAB ON GRADE
3	PLASTER	27	CONCRETE SLAB
4	VENETIAN PLASTER	28	FLOOR JOIST
5	5/8" TYPE "X" GYPSUM BOARD W/ SKIM COAT	29	PLYWOOD SUB-FLOOR
6	CONCRETE	30	3" FINISH FLOOR ASSEMBLY
7	WOOD	31	THERMAL INSULATION PER TITLE 24
8	STAIN GRADE HARD WOOD	32	SOUND INSULATION
9	PAINT GRADE WOOD	33	CEILING JOIST
10	STONE - VENEER	34	ROOF RAFTERS
11	STONE - SLAB	35	ROOF SHEATHING
12	TEMPERED GLASS	36	CLASS "A" ROOFING ASSEMBLY
13	SPANDREL GLASS	37	BELOW GRADE WATERPROOFING
14	METAL - SCREEN AT GLASS	38	WEEP SCREED
15	METAL	39	COPPER GUTTER
16	METAL DECORATIVE SCREEN	40	WATER FEATURE
17	TILE, PORCELAIN / CERAMIC	41	ATTIC VENT
18	SPECIALTY FINISH	42	ENTRY DOOR
19	EPOXY COATING	43	DECORATIVE UNDERFLOOR VENT
20	CARPET	44	HOSE BIB, RECESSED SUPPLY BOX
		45	HOSE BIB, STANDARD
		46	WATERPROOF ELECTRIC OUTLET
		47	CUSTOM LIGHT FIXTURE
		48	NATURAL GAS SUPPLY
		49	SKYLIGHT
		50	GUARDRAIL AT 42" ABOVE FINISH FLOOR
		51	HANDRAIL AT 34" - 38" ABOVE FINISH FLOOR
		52	PEDESTAL DECK SYSTEM
		53	PERMEABLE Hardscape, (40%PASSTHROUGH MIN)



SCALE: 1/4" = 1'-0"

5



SCALE: 1/4" = 1'-0"

3



SCALE: 1/4" = 1'-0"

1



SCALE: 1/4" = 1'-0"

 Δ 

SCALE: 1/4" = 1'-0"

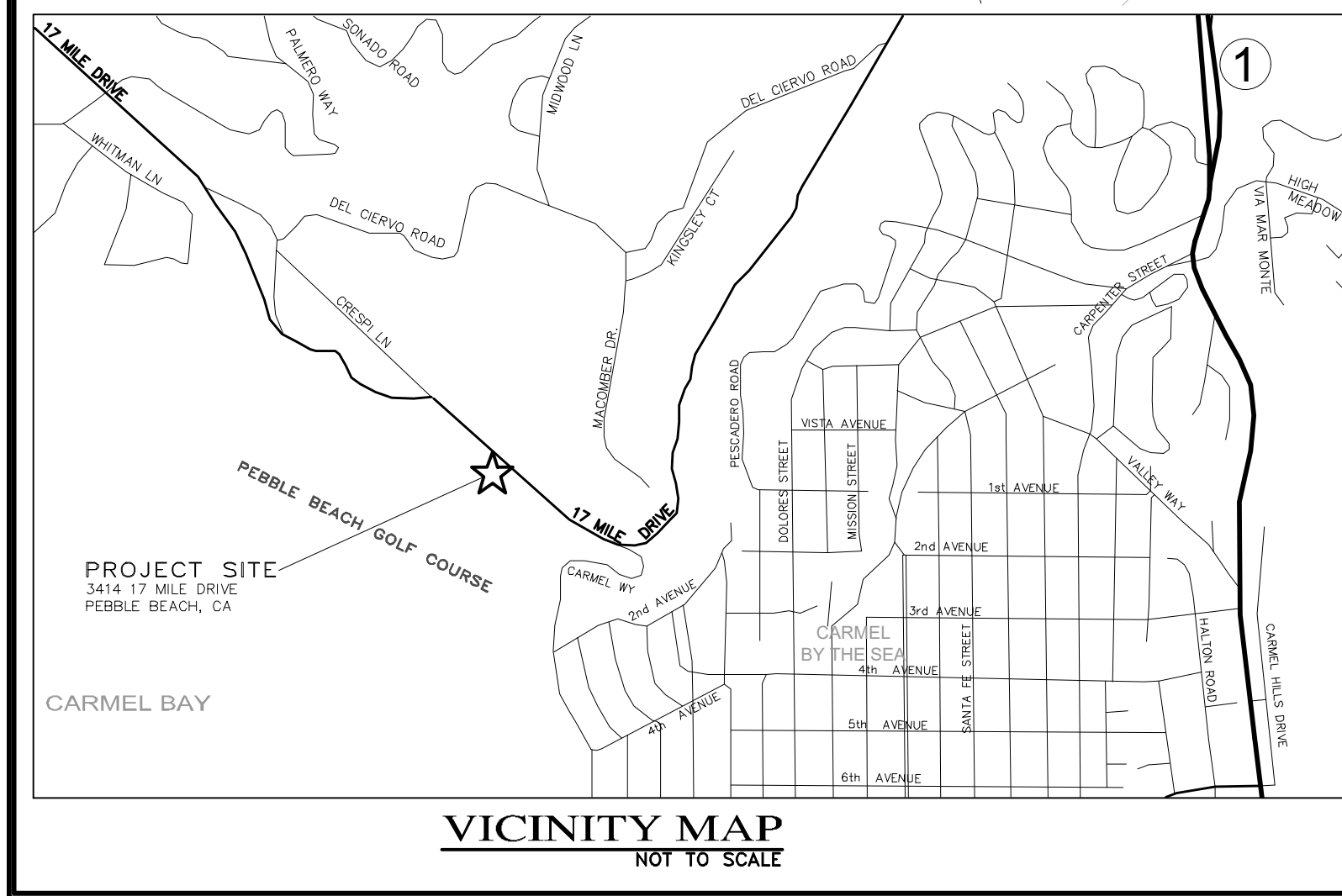
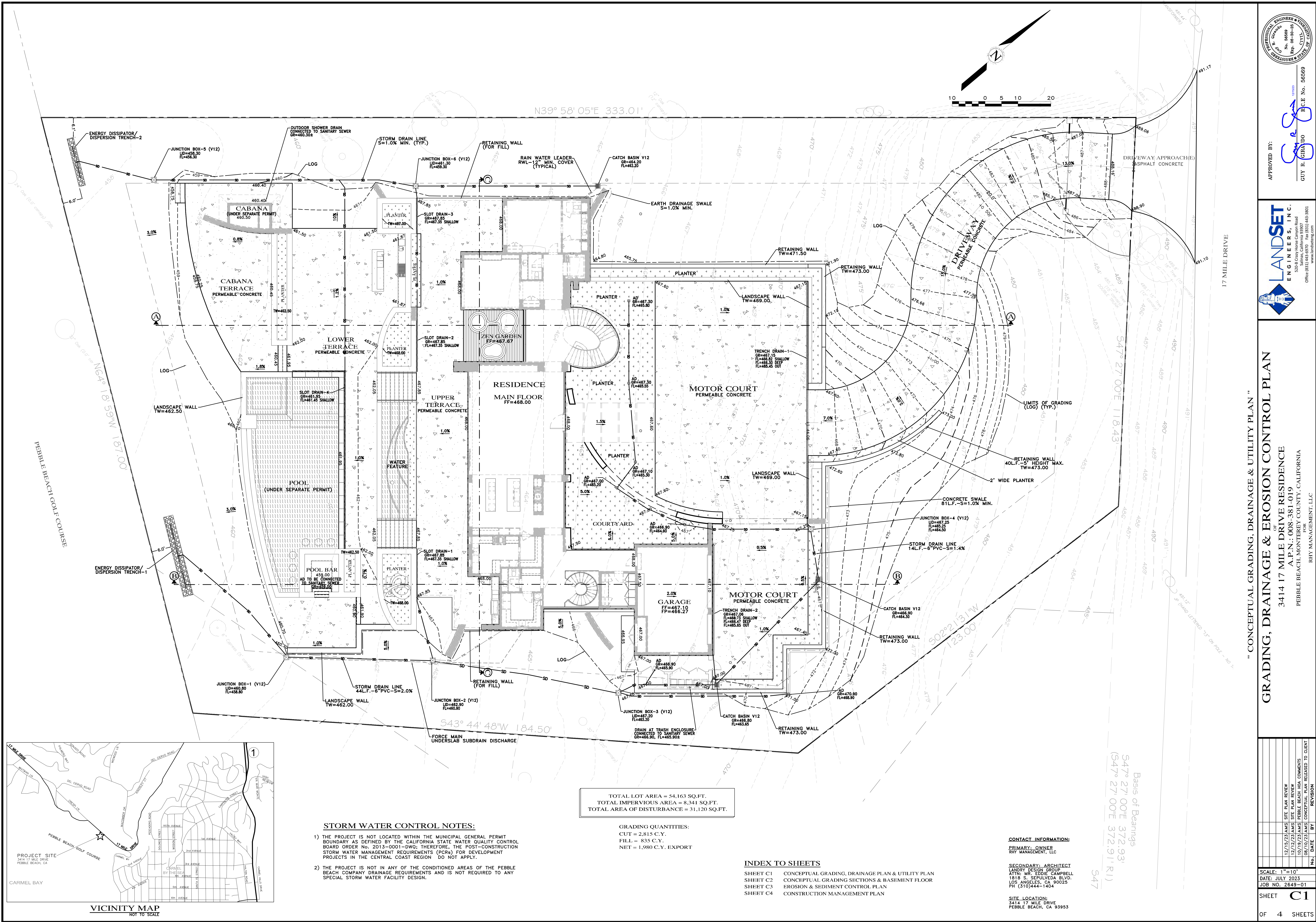
2



DATE	12.18.2023
JOB #	2022.10

POOL CABANA

A-12.1



STORM WATER CONTROL NOTES:

1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWD; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION, DO NOT APPLY.

2) THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.

TOTAL LOT AREA = 54,163 SQ.FT.
TOTAL IMPERVIOUS AREA = 8,341 SQ.FT.
TOTAL AREA OF DISTURBANCE = 31,120 SQ.FT.

GRADING QUANTITIES:
CUT = 2,815 C.Y.
FILL = 835 C.Y.
NET = 1,980 C.Y. EXPORT

INDEX TO SHEETS

SHEET C1	CONCEPTUAL GRADING, DRAINAGE PLAN & UTILITY PLAN
SHEET C2	CONCEPTUAL GRADING SECTIONS & BASEMENT FLOOR
SHEET C3	EROSION & SEDIMENT CONTROL PLAN
SHEET C4	CONSTRUCTION MANAGEMENT PLAN

CONTACT INFORMATION:

PRIMARY: OWNER
RHY MANAGEMENT, LLC

SECONDARY: ARCHITECT
LANDRY DESIGN GROUP
ATTN: MR. EDDIE CAMPBELL
1818 S. SEPULVEDA BLVD.
LOS ANGELES, CA 90025
PH (310)444-1404

SITE LOCATION:
3414 17 MILE DRIVE
PEBBLE BEACH, CA 93953

CONCEPTUAL GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
GRADING, DRAINAGE & EROSION CONTROL PLAN
3414 17 MILE DRIVE RESIDENCE
A.P.N.: 008-381-019
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

11. CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN 11.

SCALE:	1"=10'
DATE:	JULY 2023
JOB NO.	2649-01
SHEET	C1
OF	4 SHEETS

APPROVED BY:

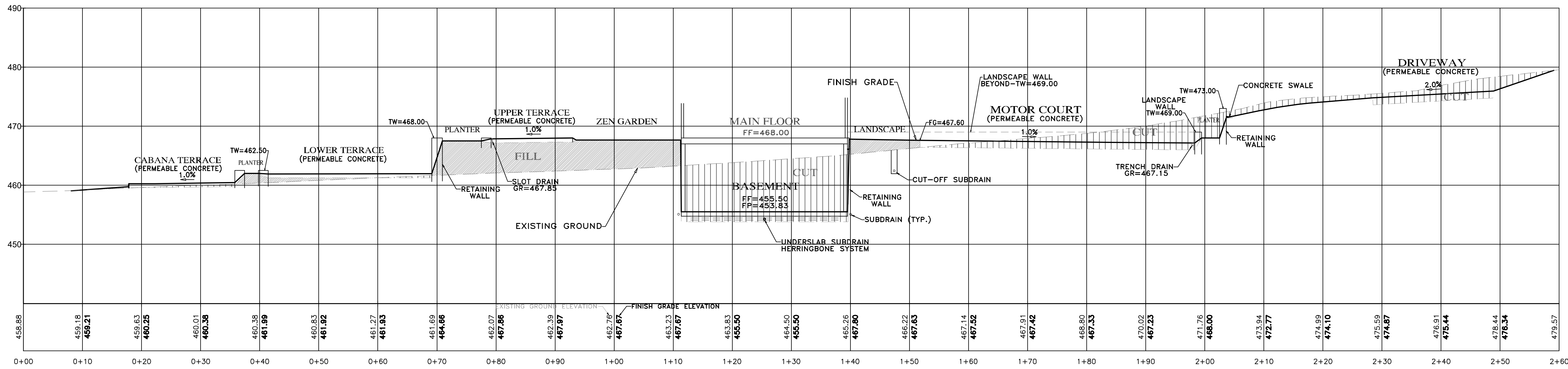
GUY R. GUY DO

R.C.E. No. 66669

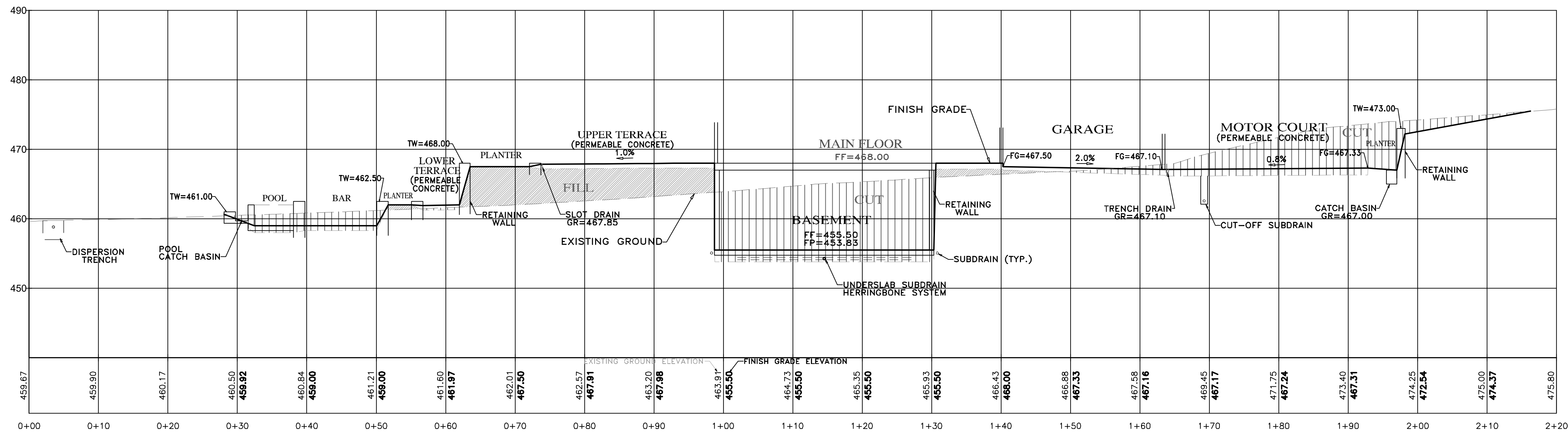
LANDSET

ENGINEERS, INC.

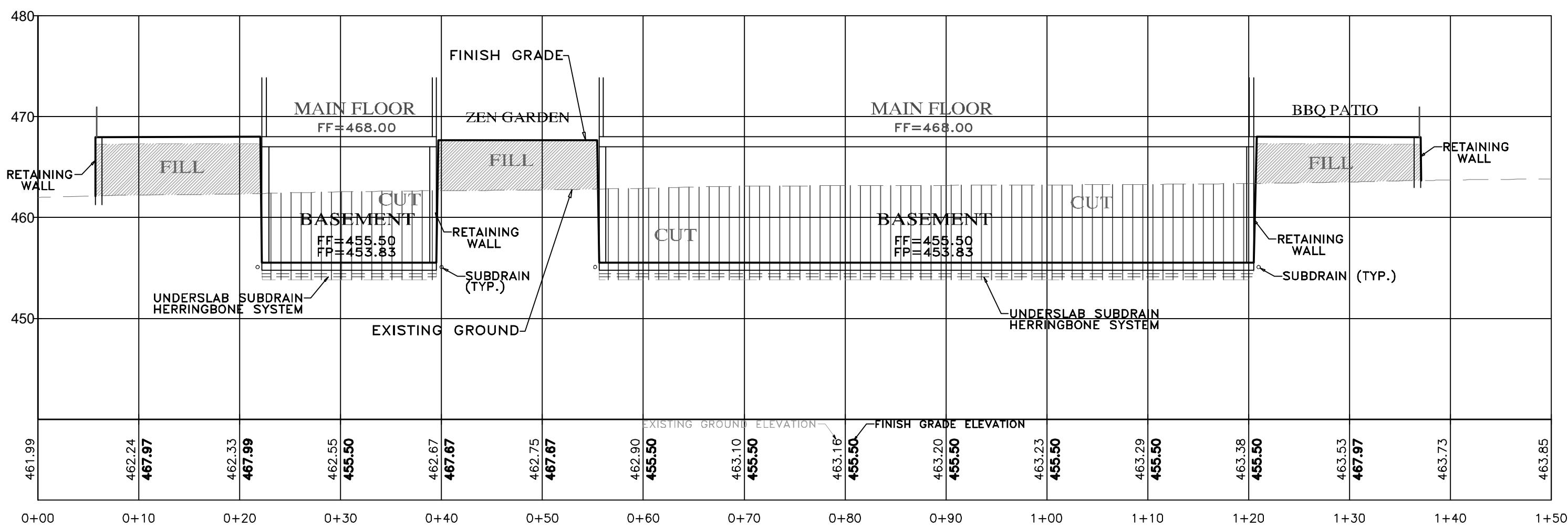
520-B Clay Horse Canyon Road
Salinas, California 93907
Office (831) 338-1000
Fax (831) 338-1001



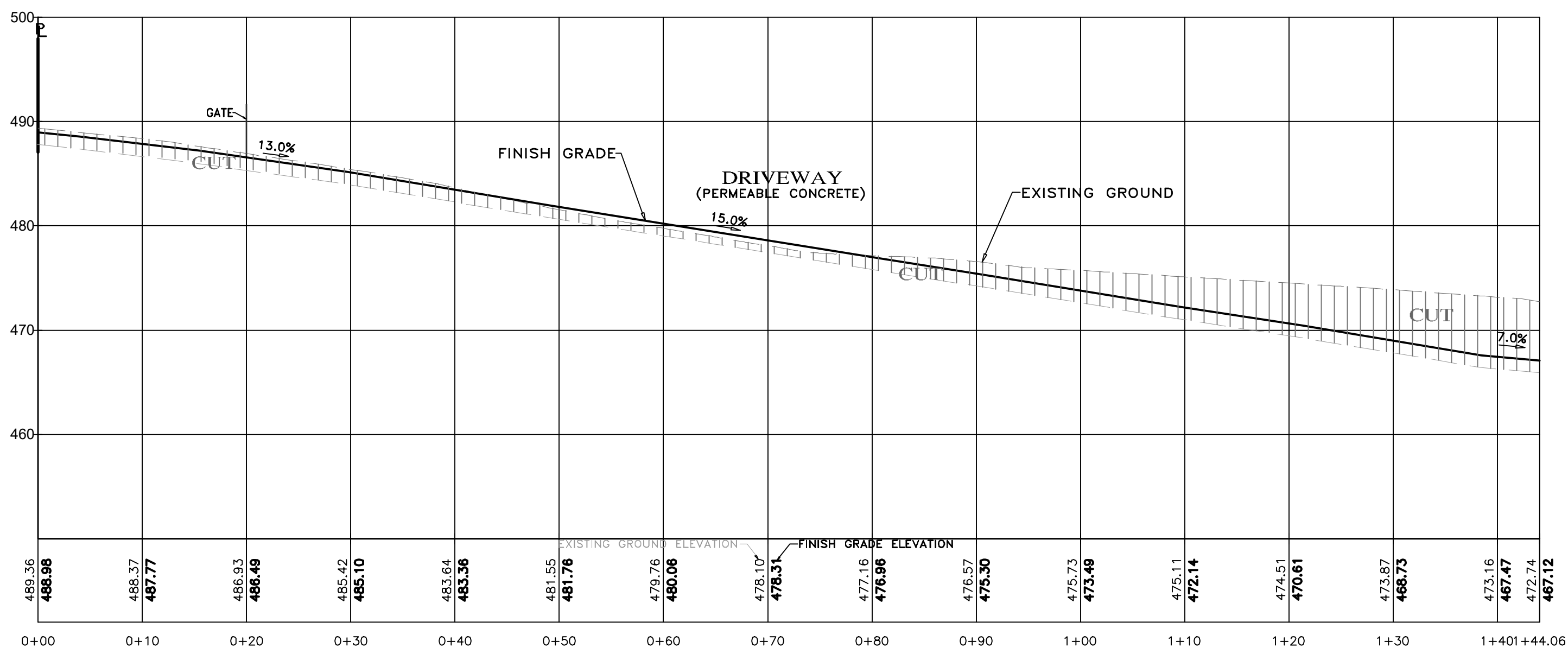
SECTION A-A
SCALE: 1"=10' H&V



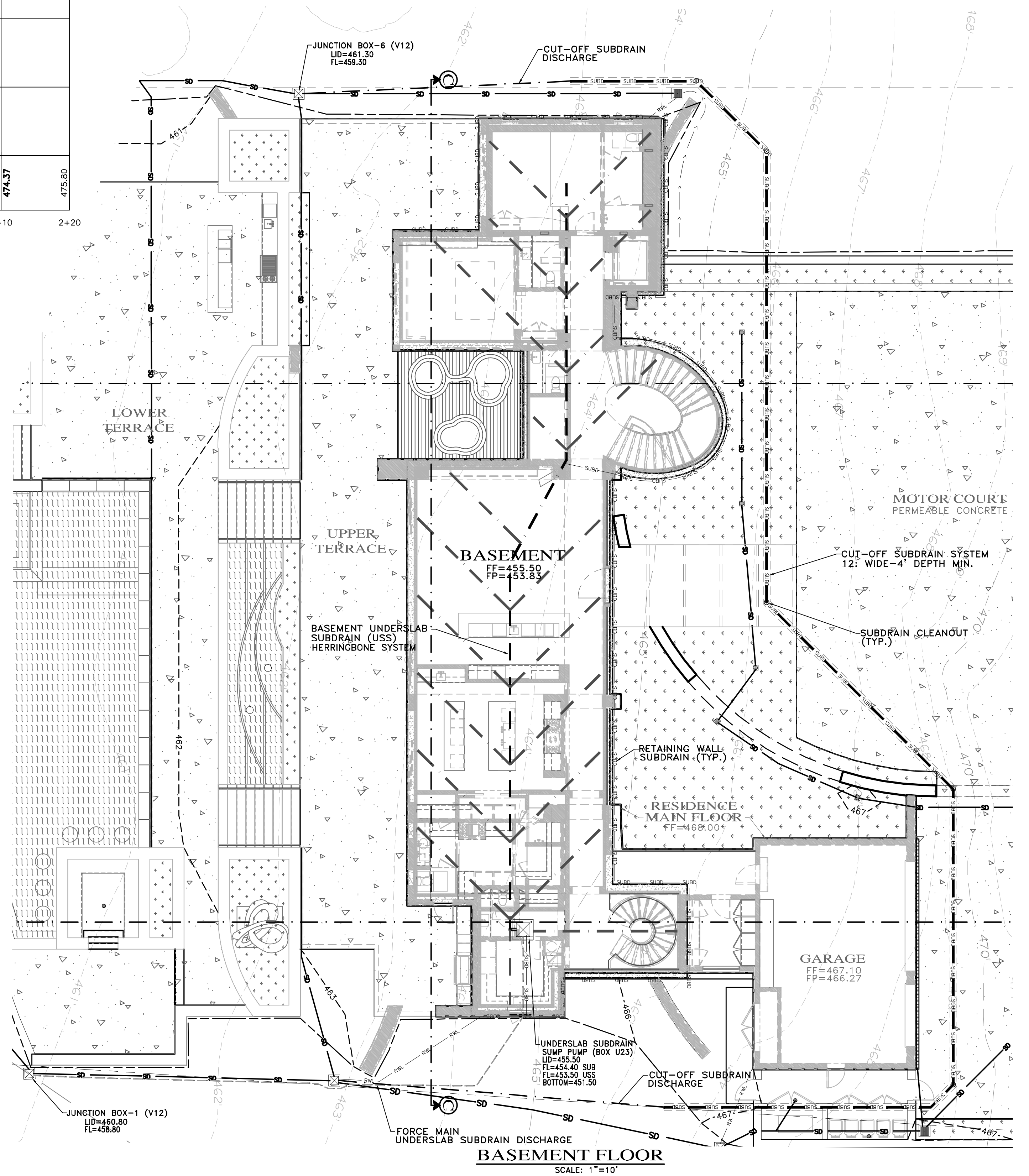
SECTION B-B
SCALE: 1"=10' H&V



SECTION C-C
SCALE: 1"=10' H&V



DRIVEWAY PROFILE
SCALE: 1"=10' H&V



APPROVED BY:
CUTY R. GIRA
P.E. No. 56669

LANDSET
ENGINEERS, INC.
520-B Gray Horse Canyon Road
Salinas, California 93907
Office: (831) 445-1445 Fax: (831) 445-3801
www.landseteng.com

" CONCEPTUAL GRADING SECTIONS & BASEMENT FLOOR "

GRADING, DRAINAGE & EROSION CONTROL PLAN

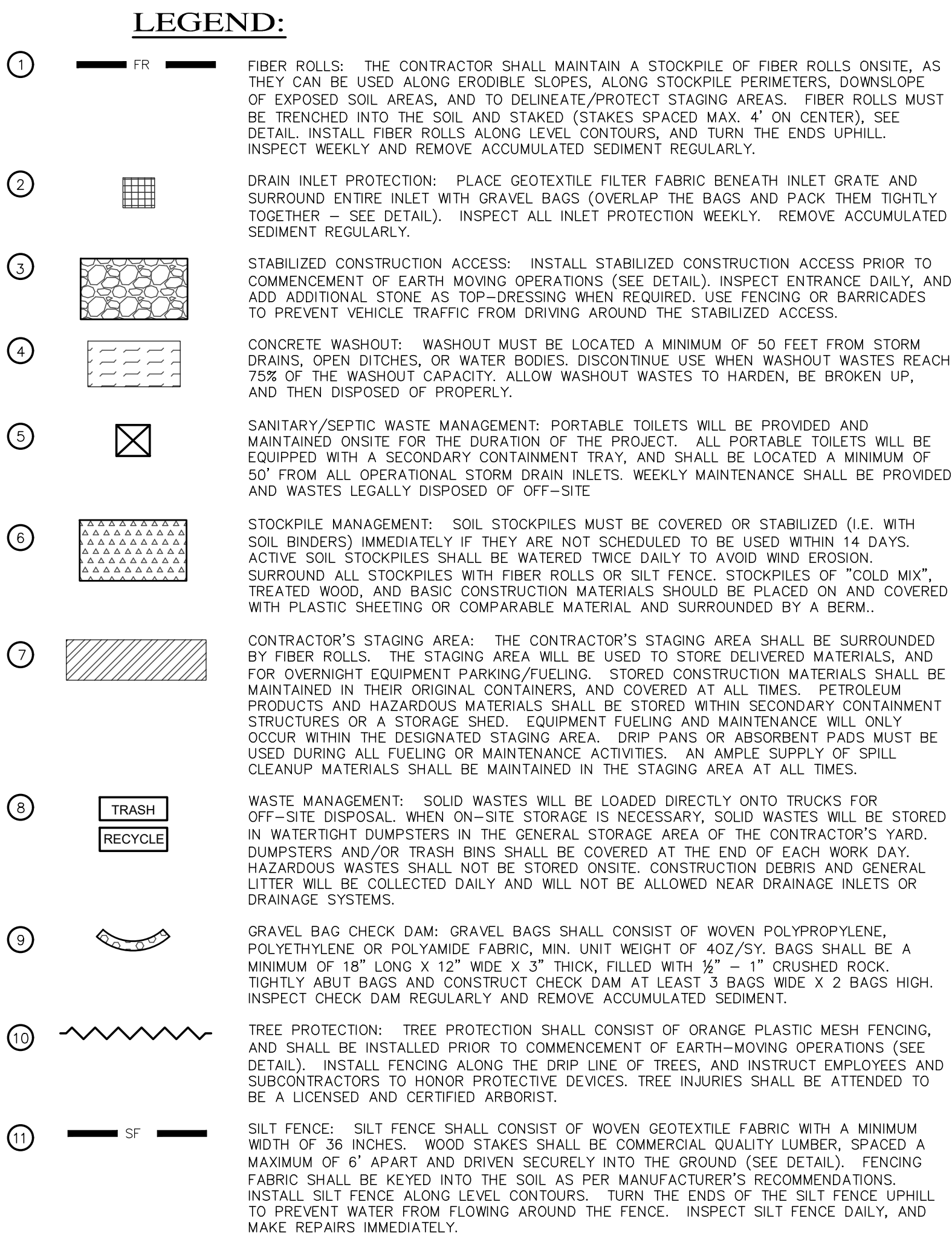
3414 17 MILE DRIVE RESIDENCE

A.P.N.: 008-381-019

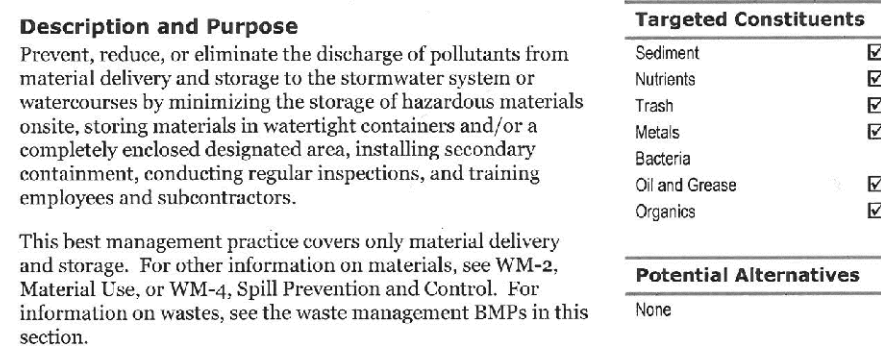
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

RHY MANAGEMENT, LLC

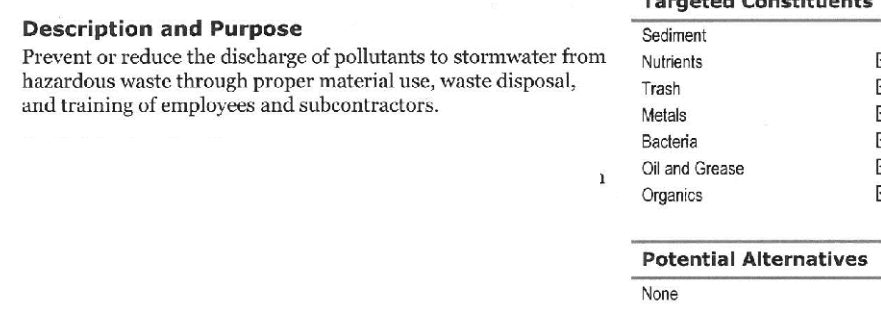
NO.	DATE	BY	REVISION
1	12/15/23	JAMS	12/15/23
2	12/15/23	JAMS	12/15/23
3	12/15/23	JAMS	12/15/23
4	12/15/23	JAMS	12/15/23
5	12/15/23	JAMS	12/15/23
6	12/15/23	JAMS	12/15/23
7	12/15/23	JAMS	12/15/23
8	12/15/23	JAMS	12/15/23
9	12/15/23	JAMS	12/15/23
10	12/15/23	JAMS	12/15/23
11	12/15/23	JAMS	12/15/23
12	12/15/23	JAMS	12/15/23
13	12/15/23	JAMS	12/15/23
14	12/15/23	JAMS	12/15/23
15	12/15/23	JAMS	12/15/23
16	12/15/23	JAMS	12/15/23
17	12/15/23	JAMS	12/15/23
18	12/15/23	JAMS	12/15/23
19	12/15/23	JAMS	12/15/23
20	12/15/23	JAMS	12/15/23
21	12/15/23	JAMS	12/15/23
22	12/15/23	JAMS	12/15/23
23	12/15/23	JAMS	12/15/23
24	12/15/23	JAMS	12/15/23
25	12/15/23	JAMS	12/15/23
26	12/15/23	JAMS	12/15/23
27	12/15/23	JAMS	12/15/23
28	12/15/23	JAMS	12/15/23
29	12/15/23	JAMS	12/15/23
30	12/15/23	JAMS	12/15/23
31	12/15/23	JAMS	12/15/23
32	12/15/23	JAMS	12/15/23
33	12/15/23	JAMS	12/15/23
34	12/15/23	JAMS	12/15/23
35	12/15/23	JAMS	12/15/23
36	12/15/23	JAMS	12/15/23
37	12/15/23	JAMS	12/15/23
38	12/15/23	JAMS	12/15/23
39	12/15/23	JAMS	12/15/23
40	12/15/23	JAMS	12/15/23
41	12/15/23	JAMS	12/15/23
42	12/15/23	JAMS	12/15/23
43	12/15/23	JAMS	12/15/23
44	12/15/23	JAMS	12/15/23
45	12/15/23	JAMS	12/15/23
46	12/15/23	JAMS	12/15/23
47	12/15/23	JAMS	12/15/23
48	12/15/23	JAMS	12/15/23
49	12/15/23	JAMS	12/15/23
50	12/15/23	JAMS	12/15/23
51	12/15/23	JAMS	12/15/23
52	12/15/23	JAMS	12/15/23
53	12/15/23	JAMS	12/15/23
54	12/15/23	JAMS	12/15/23
55	12/15/23	JAMS	12/15/23
56	12/15/23	JAMS	12/15/23
57	12/15/23	JAMS	12/15/23
58	12/15/23	JAMS	12/15/23
59	12/15/23	JAMS	12/15/23
60	12/15/23	JAMS	12/15/23
61	12/15/23	JAMS	12/15/23
62	12/15/23	JAMS	12/15/23
63	12/15/23	JAMS	12/15/23
64	12/15/23	JAMS	12/15/23
65	12/15/23	JAMS	12/15/23
66	12/15/23	JAMS	12/15/23
67	12/15/23	JAMS	12/15/23
68	12/15/23	JAMS	12/15/23
69	12/15/23	JAMS	12/15/23
70	12/15/23	JAMS	12/15/23
71	12/15/23	JAMS	12/15/23
72	12/15/23	JAMS	12/15/23
73	12/15/23	JAMS	12/15/23
74	12/15/23	JAMS	12/15/23
75	12/15/23	JAMS	12/15/23
76	12/15/23	JAMS	12/15/23
77	12/15/23	JAMS	12/15/23
78	12/15/23	JAMS	12/15/23
79	12/15/23	JAMS	12/15/23
80	12/15/23	JAMS	12/15/23
81	12/15/23	JAMS	12/15/23
82	12/15/23	JAMS	12/15/23
83	12/15/23	JAMS	12/15/23
84	12/15/23	JAMS	12/15/23
85	12/15/23	JAMS	12/15/23
86	12/15/23	JAMS	12/15/23
87	12/15/23	JAMS	12/15/23
88	12/15/23	JAMS	12/15/23
89	12/15/23	JAMS	12/15/23
90	12/15/23	JAMS	12/15/23
91	12/15/23	JAMS	12/15/23
92	12/15/23	JAMS	12/15/23
93	12/15/23	JAMS	12/15/23
94	12/15/23	JAMS	12/15/23
95	12/15/23	JAMS	12/15/23
96	12/15/23	JAMS	12/15/23
97	12/15/23	JAMS	12/15/23
98	12/15/23	JAMS	12/15/23
99	12/15/23	JAMS	12/15/23
100	12/15/23	JAMS	12/15/23



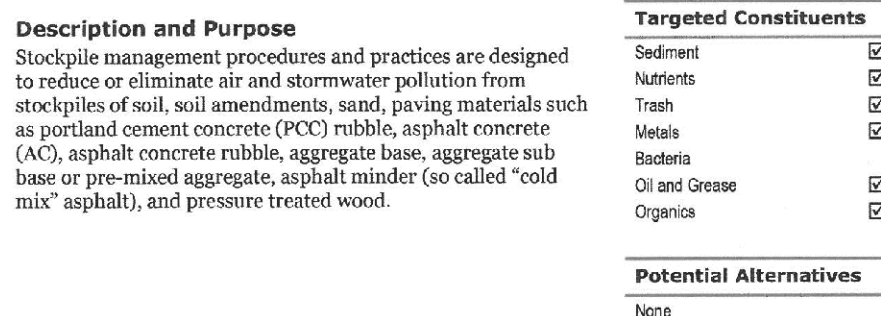
- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENTS FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TIEING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO PREVENT EROSION. ANY SLOPES WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCCUS (BLUE WILD RYE), HORDEUM BRACHYANTHRUM (MEADOW BARLEY), FESTUCA RUNRUA/MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHAL BE SEEDDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCCUS (BLUE WILD RYE), HORDEUM BRACHYANTHRUM (MEADOW BARLEY), FESTUCA RUNRUA/MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION, MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.



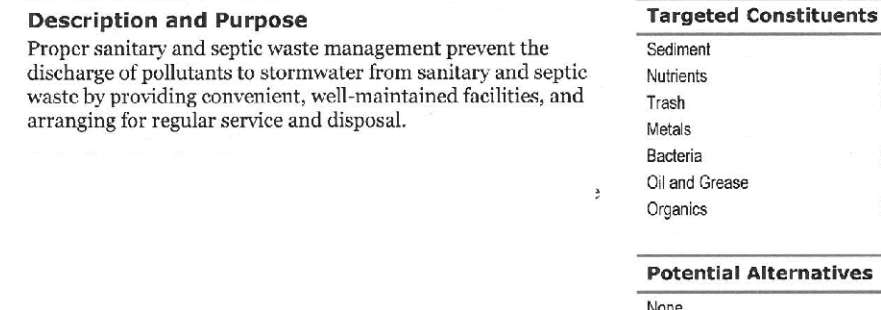
Hazardous Waste Management WM-6



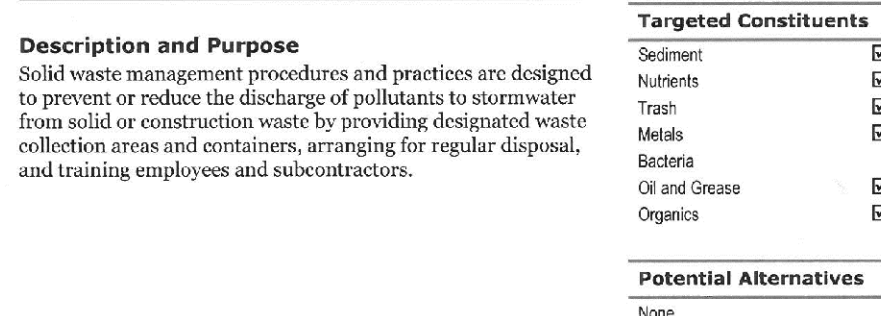
Stockpile Management **WM-3**



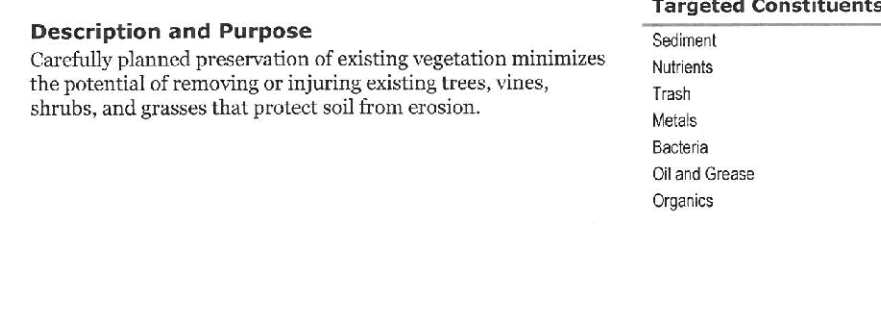
Sanitary/Septic Waste Management WM-9



Solid Waste Management WM-5



Preservation Of Existing Vegetation EC-3



VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

A- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY EROSION CONTROL MEASURES ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTGOMERY COUNTY GRADING AND EROSION CONTROL REGULATIONS.


B- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS VERIFY THAT CONTINGENCY AND FINAL GRADING SPECIFICATIONS ARE DISCHARGED FROM THE SITE.

C- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO VERIFY THE QUALITY OF THE EROSION CONTROL MEASURES AND A GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED, THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN DELETED.

" EROSION & SEDIMENT CONTROL PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

3414 17 MILE DRIVE RESIDENCE
OF
A.P.N.: 008-381-019
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
RHY MANAGEMENT, LLC

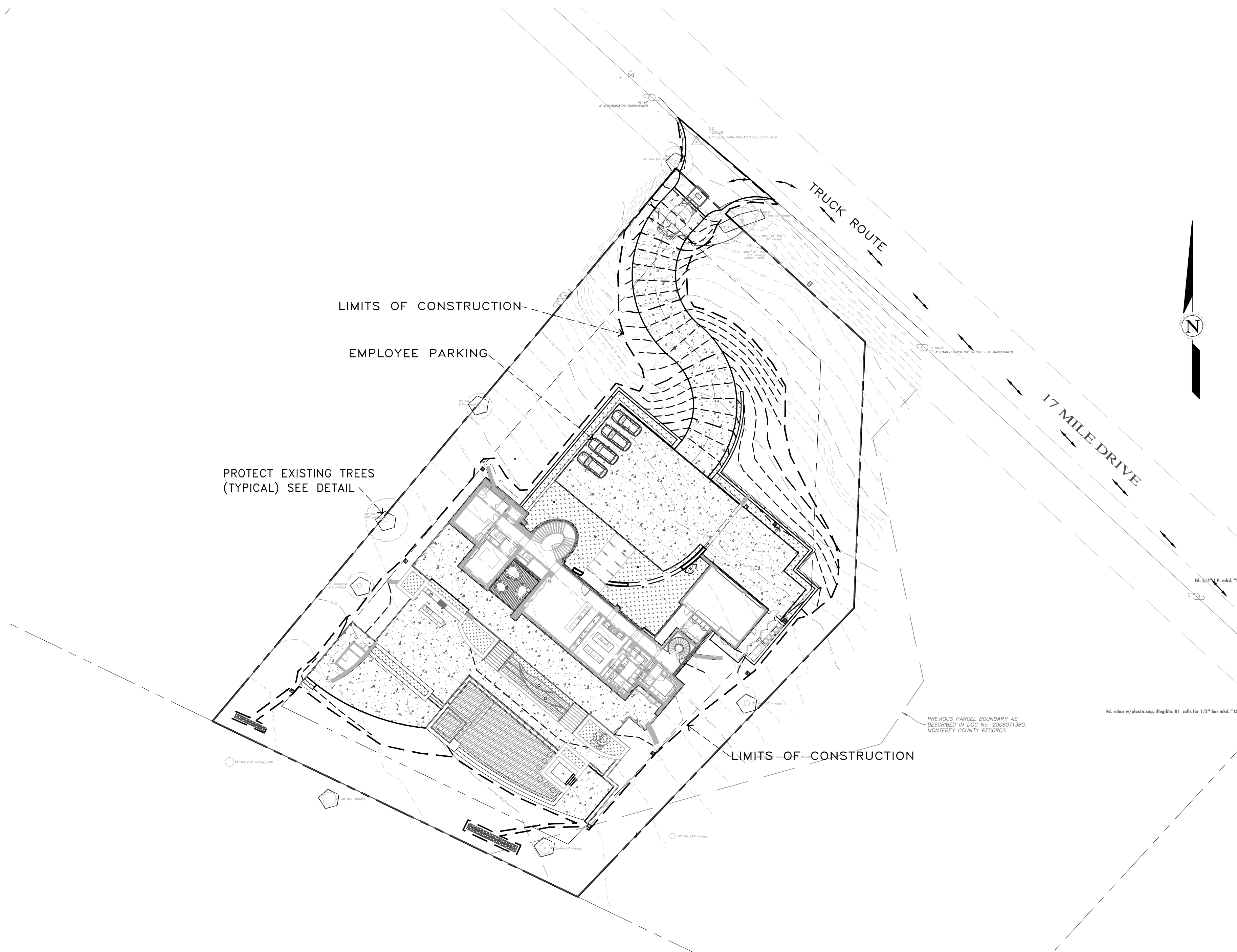
APPROVED BY:  R.C.E. No. 56569

GUY R. GIRARDO

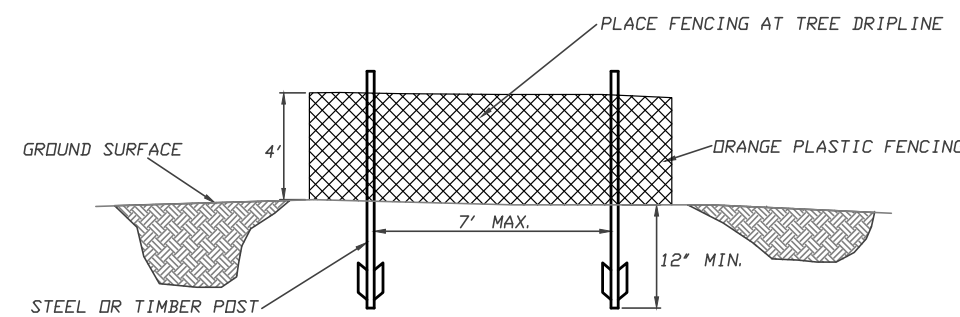
12/15/23

PROFESSIONAL ENGINEER • REGISTERED
Guy R. Girardo
No. 56569
Exp. 06-30-25
CIVIL
STATE OF CALIFORNIA

LANDSET
ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landset.com



PLAN
SCALE: 1"=30'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
2,815 CY CUT
835 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES. PROPOSED MOTOR COURT AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW POROUS CONCRETE DRIVEWAY AND MOTOR COURT AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON 17 MILE DRIVE AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO 17 MILE. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON 17 MILE DRIVE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN PROPOSED MOTOR COURT AND IN LEGAL SPACES ALONG 17 MILE DRIVE, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

A CONSTRUCTION STAGING PLAN

TRUCK TRIP GENERATION CHART:

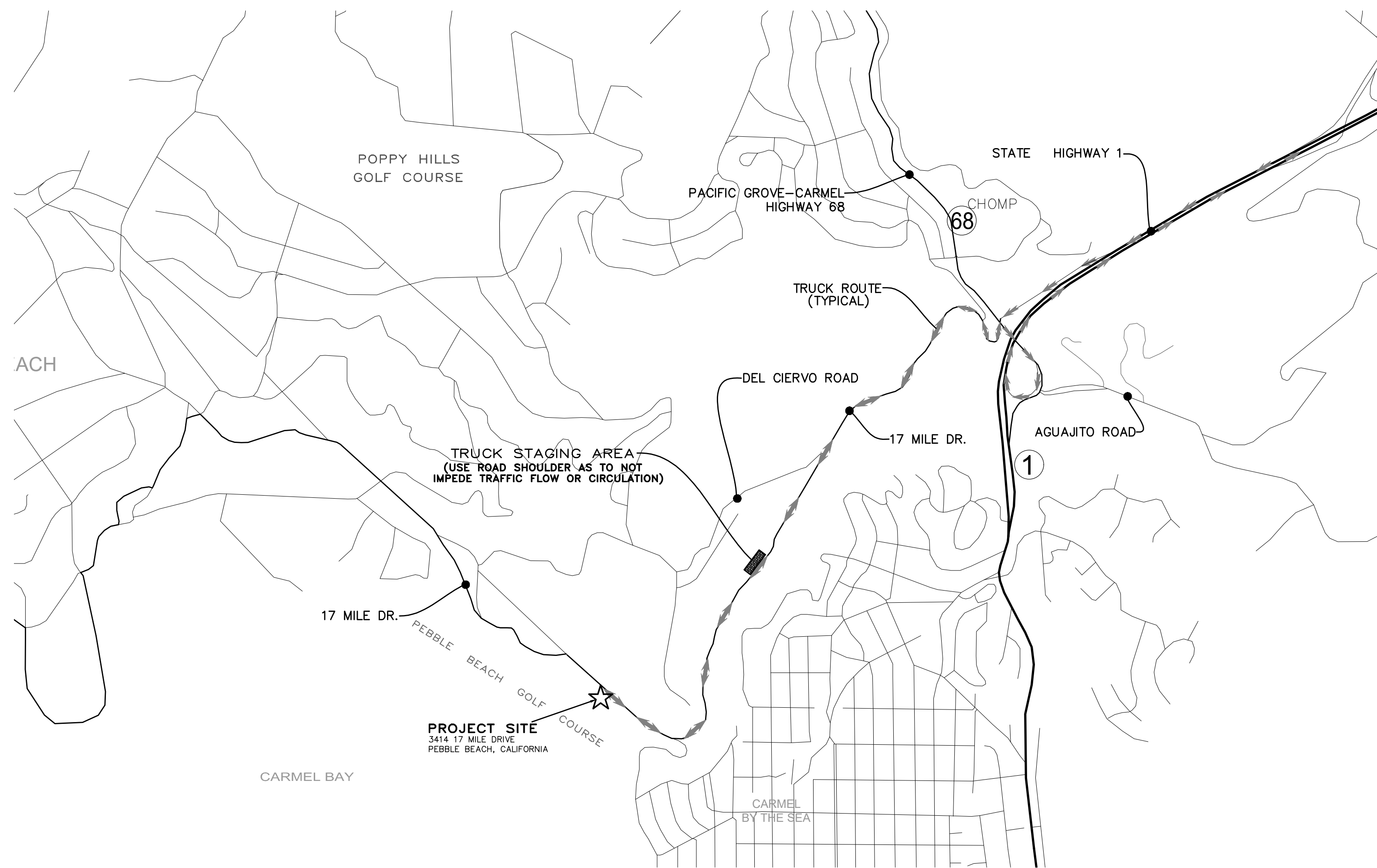
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
CLEARING & DEMOLITION	4	2
GRADING & SOIL REMOVAL (EXPORT)	99	14
ENGINEERING MATERIALS (IMPORT)	2	2
TOTALS	105	18

TRUCK TRIP GENERATION NOTES:

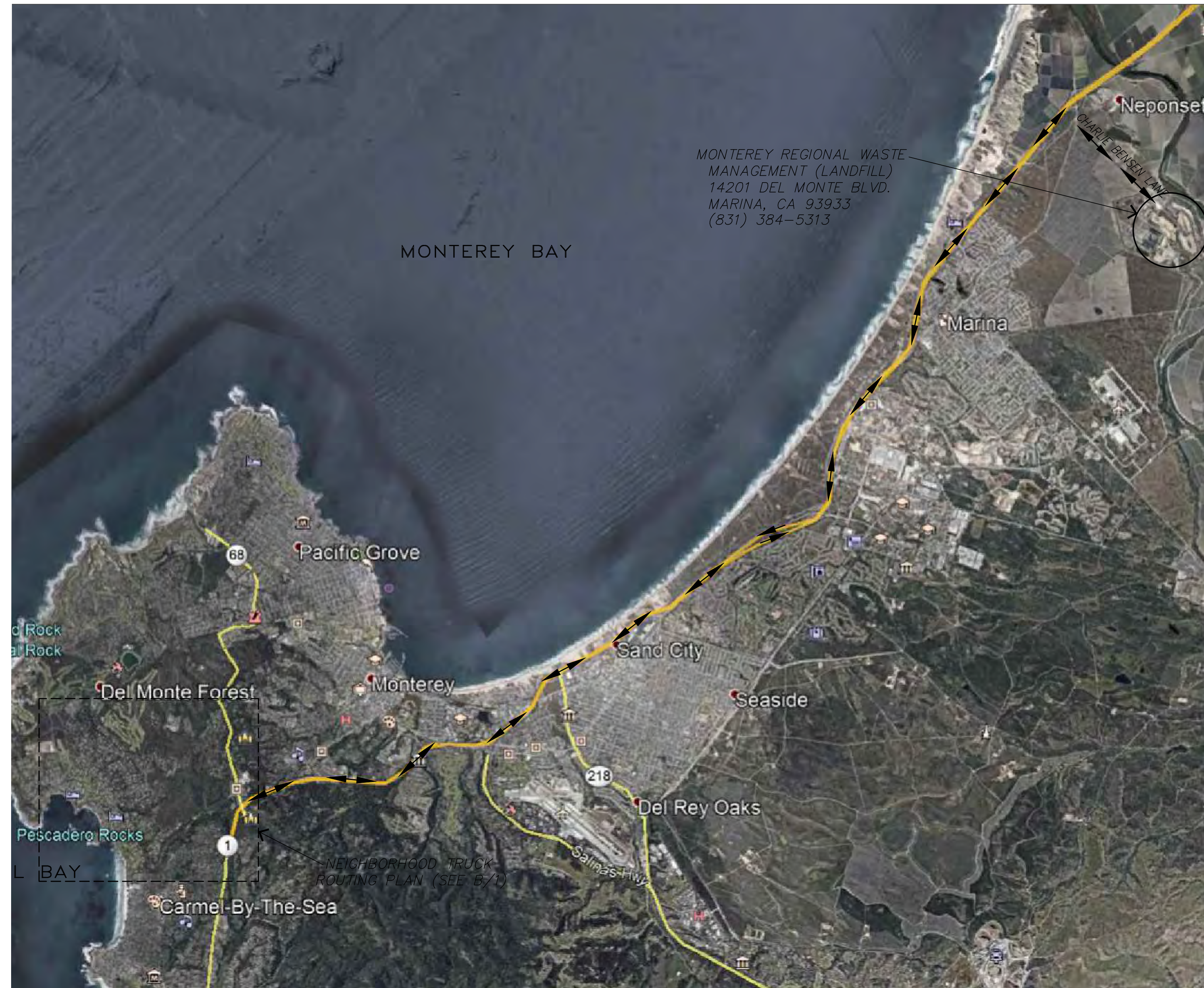
1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 7 TRUCK LOADS PER DAY.
 2. THERE ARE 1,980 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
 3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
 4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.
- NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 20 NOVEMBER 2023, 18 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 18 MONTHS.



B NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

" CONSTRUCTION MANAGEMENT PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

3414 17 MILE DRIVE RESIDENCE
A.P.N.: 008-381-019
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR RHY MANAGEMENT, LLC

NO.	DATE	BY	REVISION
1	12/17/23	AMS	SITE PLAN REVIEW
2	12/17/23	AMS	SITE PLAN REVIEW
3	12/17/23	AMS	PEBBLE BEACH AND COMMENTS
4	12/17/23	AMS	CONSTRUCTION PLAN
5	12/17/23	AMS	REVISION

SCALE: AS SHOWN
DATE: JULY 2023
JOB NO. 2649-01
SHEET C4
OF 4 SHEETS

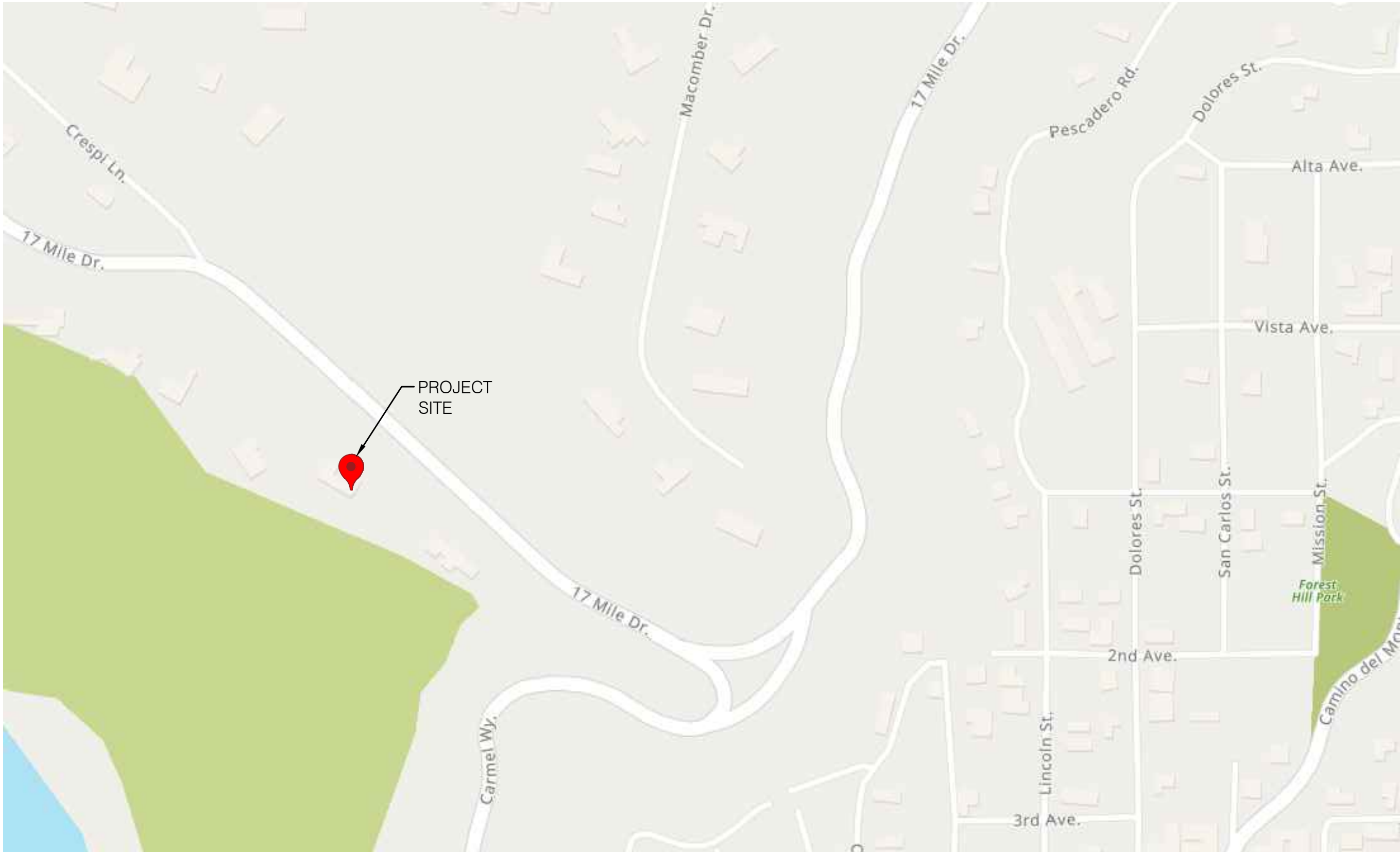
APPROVED BY:
GUY R. GIBSON
P.E. No. 56569
LANDSET ENGINEERS, INC.
5208 Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 845-8650 Fax (831) 443-3801
www.landseteng.com



MONTEREY COUNTY PLANNING SUBMITTAL

3414 17 MILE DRIVE
PEBBLE BEACH, CALIFORNIA 93953
APN: 008-381-019

VICINITY MAP



PROJECT DESCRIPTION/SCOPE OF WORK

- NEW WATER-CONSERVING NATIVE AND REGIONALLY ADAPTED NON-INVASIVE PLANTING, INCLUDING SHRUB PLANTINGS FOR VISUAL SCREENING TO NEIGHBORING PROPERTIES.
- TREE MITIGATION PLANTING AS REQUIRED BY MONTEREY COUNTY AS DESCRIBED IN ARBORIST REPORT AND NOTED HEREIN.
- IRRIGATION WATER USE CALCULATIONS.

PROJECT TEAM

OWNER
RHY MANAGEMENT, LLC
C/O DMY
1180 N. TOWN CENTER DRIVE, SUITE 100
LAS VEGAS, NV 89144

GENERAL CONTRACTOR
STOCKER & ALLAIR, INC.
21 MANDEVILLE COURT
MONTEREY, CA 93940
PHONE: (831) 375-1890
CONTACT: DAVID STOCKER
EMAIL: DSTOCKERALLAIRE.COM

ARCHITECT
LANDRY DESIGN GROUP
1818 S. SEPULVEDA BLVD.
LOS ANGELES, CA 90025
PHONE: (310) 444-1404
FAX: (310) 444-1405
CELL: (949) 375-1421
CONTACT: KATIE KING
EMAIL: KATIE@LANDRYDESIGN.NET

CIVIL ENGINEER
LANDSET ENGINEERS, INC.
520-B CRAZY HORSE CANYON ROAD
SALINAS, CA 93907
PHONE: (831) 443-6970
FAX: (831) 443-3901
CELL: (831) 970-6481
CONTACT: GUY R. GIRAUDO
EMAIL: GGIRAUDO@LANDSETENG.COM

PREPARED BY

LANDSCAPE ARCHITECT
JONI L. JANECKI AND ASSOCIATES, INC.
515 SWIFT STREET
SANTA CRUZ, CA 95060
PHONE: (831) 423-6040

LANDSCAPE ARCHITECT
JONI L. JANECKI AND ASSOCIATES, INC.
515 SWIFT STREET
SANTA CRUZ, CA 95060
PHONE: (831) 423-6040
CONTACT: JONI L. JANECKI
EMAIL: JIJ@JLJA.COM

ARBORIST
MONTEREY BAY TREEWORKS
P.O. BOX 223374
CARMEL, CA 93922
PHONE: (831) 869-2767
CONTACT: ALBERT WEISFUSS
EMAIL: ALBERTWEISFUSS@GMAIL.COM

BIOLOGIST
FRED BALLERINI
P.O. BOX 1023
PACIFIC GROVE, CA 93950
PHONE: (831) 238-6832
EMAIL: FRED@FREDBALLERINI.COM

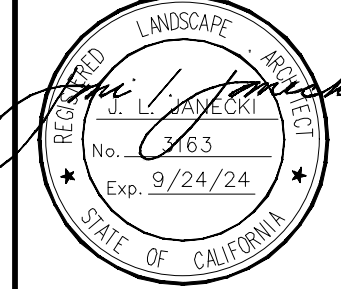
SHEET INDEX

SHEET	DESCRIPTION
L0.00	LANDSCAPE TITLE SHEET
L1.00	LANDSCAPE PLAN
L1.01	TREE PROTECTION, MITIGATION, AND REMOVAL PLAN
L1.02	TREE PROTECTION NOTES
L2.00	IRRIGATION HYDROZONE PLAN AND MAWA CALCULATION

I CERTIFY THAT THIS LANDSCAPE AND IRRIGATION
PLAN COMPLIES WITH THE REQUIREMENTS OF THE
WATER EFFICIENT LANDSCAPE ORDINANCE.

Joni L. Janeck 12/18/2023
JONI L. JANECKI, ASLA DATE

REVISIONS AND RECORD OF ISSUE		NO.	DATE	DESCRIPTION
1.	12/18/2023	1.		PLANNING SUBMITTAL
2.		2.		
3.		3.		
4.		4.		
5.		5.		
6.		6.		



JONI L. JANECKI
& ASSOCIATES
515 SWIFT ST. SANTA CRUZ, CA 95060
PHONE: (831) 423-6040 | WWW.JLJA.COM
California Landscape Architect License 3189

3414 17 MILE DRIVE
PEBBLE BEACH, CALIFORNIA
APN: 008-381-019

LANDSCAPE TITLE SHEET

SCALE:
DRAWN BY: JH/MO
DATE: 12/18/2023



LEGEND

PROPERTY LINE

SETBACK LINE

CRITICAL ROOT ZONE

EXISTING TREE TO REMAIN AND PROTECT IN PLACE

TREE TAG NUMBER

MULCH (GRAVEL OR WOOD CHIP)

TREES (17 TOTAL, INCLUDES 5 REPLACEMENT TREES)

LOW WATER USE SHRUBS AND GRASSES

PLANT LIST

TREES
ARBUTUS 'MARINA' (MARINA STRAWBERRY TREE)
MELALEUCA NESOPHILA (PINK MELALEUCA)
PINUS THUNBERGII (JAPANESE BLACK PINE)
QUERCUS AGRIFOLIA (COAST LIVE OAK)

LIVE OAK WOODLAND
ARCTOSTAPHYLOS PUMILA (SANDMAT MANZANITA)
ARTEMISIA CALIFORNICA (CALIFORNIA SAGEBRUSH)
HETEROMELES ARBUTIFOLIA (TOYON)
RHAMNUS CALIFORNICA (COFFEEBERRY)
SALVIA SPATHACEA (HUMMINGBIRD SAGE)

COASTAL PRAIRIE
(INCLUDING 5'-0" MINIMUM NON-COMBUSTIBLE SUCCULENTS AND GRAVEL ADJACENT TO RESIDENCE)
ACMISPON TOMENTOSUS (HERMANN'S BIRD'S-FOOT TREFOIL)
CAREX PRAEGRACILIS (CALIFORNIA FIELD SEDGE)
CORETHROGYNE FILAGINIFOLIA (CALIFORNIA ASTER)
DESCHAMPSIA CAESPITOSA SSP. HOLCIFORMIS (CALIFORNIA HAIRGRASS)
ERIGERON GLAUCUS (SEASIDE DAISY)
ERIOGONUM PARVIFOLIUM (SEACLIFF BUCKWHEAT)
ERIOPHYLLUM STAECHADIFOLIUM (SEASIDE WOOLLY SUNFLOWER)
ESCHSCHOLZIA CALIFORNICA (CALIFORNIA POPPY)
LUPINUS NANUS (FIELD LUPINE)
STIPA LEPIDA (FOOTHILL SEDGE)

NOTES:
1. REFER TO TREE PROTECTION, MITIGATION, AND REMOVAL PLAN, SHEET L1.01

0' 4' 8' 16' 32'

SCALE: 1/16"=1'-0"

NOT FOR CONSTRUCTION

ORIGINAL SHEET SIZE: 30" X 42"

REVISIONS AND RECORD OF ISSUE

NO.	DATE	DESCRIPTION
1	12/18/2023	PLANNING SUBMITTAL
2		
3		
4		
5		
6		

UNISCAPE

NO. 1463

Exp. 9/24/24

STATE OF CALIFORNIA

JONI L. JANECKI & ASSOCIATES

515 SHAW ST. SANTA CRUZ, CA 95060

PHONE 831.422.6545 | WWW.J.L.A.COM

California Landscape Architect License 3163

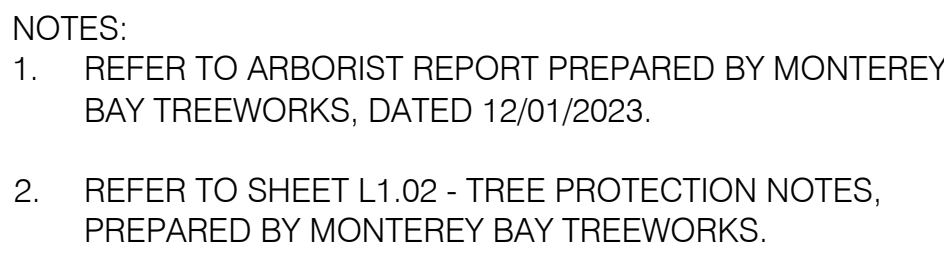
3414 17 MILE DRIVE

PEBBLE BEACH, CALIFORNIA

APN: 008-381-019

LANDSCAPE PLAN

L1.00



**JONI L. JANECKI
& ASSOCIATES**
515 SWIFT ST. SANTA CRUZ CA 95060
PHONE 831.423.6049 | WWW.JLJA.COM
California Landscape Architect License 3163

L1.01



NOTIFICATION. CONTRACTOR SHALL NOTIFY THE PROJECT ARBORIST A MINIMUM OF 24 HOURS IN ADVANCE OF THE ACTIVITY IN THE TPZ.

1. ROOT SEVERANCE. ROOTS THAT ARE ENCOUNTERED SHALL BE CUT TO SOUND WOOD AND REPAIRED ROOTS 2- INCHES AND GREATER MUST REMAIN INJURY FREE.
2. EXCAVATION. ANY APPROVED EXCAVATION, DEMOLITION OR EXTRACTION OF MATERIAL SHALL BE PERFORMED WITH EQUIPMENT SITTING OUTSIDE THE TPZ. METHODS PERMITTED ARE BY HAND DIGGING, HYDRAULIC OR PNEUMATIC AIR EXCAVATION TECHNOLOGY. AVOID EXCAVATION WITHIN THE TPZ DURING HOT, DRY WEATHER. IF EXCAVATION OR TRENCHING FOR DRAINAGE, UTILITIES, IRRIGATION LINES, ETC., IT IS THE DUTY OF THE CONTRACTOR TO TUNNEL UNDER ANY ROOTS 2-INCHES IN DIAMETER AND GREATER. PRIOR TO EXCAVATION FOR FOUNDATION/FOOTINGS/WALLS, GRADING OR TRENCHING WITHIN THE TPZ, ROOTS SHALL FIRST BE SEVERED CLEANLY 1- FOOT OUTSIDE THE TPZ AND TO THE DEPTH OF THE FUTURE EXCAVATION. THE TRENCH MUST THEN BE HAND DUG AND ROOTS PRUNED WITH A SAW. SAWZALL, NARROW TRENCHER WITH SHARP BLADE OR OTHER APPROVED ROOT PRUNING EQUIPMENT.
3. HEAVY EQUIPMENT. USE OF BACKHOES, STEEL TREAD TRACTORS OR ANY HEAVY VEHICLES WITHIN THE TPZ IS PROHIBITED UNLESS APPROVED BY THE PROJECT ARBORIST. IF ALLOWED, A PROTECTIVE ROOT BUFFER IS REQUIRED. THE PROTECTIVE BUFFER SHALL CONSIST OF A BASE COURSE OF TREE CHIPS SPREAD OVER THE ROOT AREA TO A MINIMUM OF 6-INCH DEPTH, LAYERED BY 3/4-INCH QUARRY GRAVEL TO STABILIZE 3/4-INCH PLYWOOD ON TOP. THIS BUFFER WITHIN THE TPZ SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.

- **STRUCTURAL DESIGN.** IF INJURIOUS ACTIVITY OR INTERFERENCE WITH ROOTS GREATER THAN 2-INCHES WILL OCCUR WITHIN THE TPZ, PLANS SHALL SPECIFY A DESIGN OF SPECIAL FOUNDATION, FOOTING, WALLS, CONCRETE SLAB OR PAVEMENT DESIGNS SUBJECT TO PROJECT ARBORIST APPROVAL. DISCONTINUOUS FOUNDATIONS SUCH AS CONCRETE PIER AND STRUCTURAL GRADE BEAM MUST MAINTAIN NATURAL GRADE (NOT TO EXCEED A 4-INCH CUT), TO MINIMIZE ROOT LOSS AND ALLOW THE TREE TO USE THE EXISTING SOIL.

REMOVAL OF REGULATED TREES SHALL NOT BE ATTEMPTED BY DEMOLITION OR CONSTRUCTION PERSONNEL, GRADING OR OTHER HEAVY EQUIPMENT. A CERTIFIED ARBORIST OR TREE WORKER SHALL REMOVE THE TREE CAREFULLY IN A MANNER THAT CAUSES NO DAMAGE ABOVE OR BELOW GROUND TO TREES THAT ARE RETAINED.

THE PROJECT ARBORIST OR LANDSCAPE ARCHITECT RETAINED BY THE APPLICANT SHALL CONDUCT INSPECTIONS OF PROPOSED CONSTRUCTION SITE CONTAINING PROTECTED AND DESIGNATED TREES. INSPECTIONS SHALL VERIFY THAT THE TYPE OF TREE PROTECTION AND/OR PLANTINGS ARE CONSISTENT WITH THE STANDARDS OUTLINED WITHIN THIS ARBORIST ASSESSMENT.

PLANNING PHASE

1. BEFORE ASSESSING TREES AND OTHER SITE STRUCTURES AND CONDITIONS, MARK THE SITE BOUNDARIES ON PLANS AND IN THE FIELD TO DELINEATE WHICH TREES AND STANDS OF TREES WILL BE INVENTORIED.
2. PERFORM A TREE INVENTORY THAT INCLUDES AT MINIMUM THE LOCATION, SIZE, AND HEALTH OF EACH TREE AND DELINEATES QUALITY STANDS OF TREES. SCOPE OF THE INVENTORY SHOULD BE BASED ON COMMUNICATION AND NEEDS OF THE PROJECT TEAM (DEVELOPER, PLANNER, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, AND OTHER PROFESSIONALS INVOLVED), AS WELL AS COMMUNITY STANDARDS. THIS IS THE TIME TO CONFER WITH THE PROJECT TEAM ON CONCEPTUALIZATIONS FOR SITE DESIGN, SO THAT WAY LONG- TERM TREE PROTECTION AND HEALTH GETS INTEGRATED INTO THE DESIGN.

3. COMMUNICATE WITH THE PROJECT TEAM TO ACCURATELY SITE STRUCTURES AND UTILITIES AND DETERMINE THE TREES TO REMAIN ON SITE. CONSERVE AND PROTECT TREES IN STANDS OR GROUPS WHERE POSSIBLE. MAKE SURE THE TREES AND STANDS OF TREES SELECTED TO BE SAVED GO INTO PLANS AND CONSTRUCTION DOCUMENTS. INCLUDE IN ALL PLANS THE TREE PROTECTION ZONE (TPZ) FOR ALL SAVED TREES TO AVOID CONFLICT WITH THE PROTECTED AREA AND PLACEMENT OF STRUCTURES AND UTILITIES DURING CONSTRUCTION.

4. PRIOR TO PRE-CONSTRUCTION ACTIVITIES, INCLUDING TREE REMOVAL, ACCESS ROADS, CONSTRUCTION STAGING AREAS, AND BUILDING LAYOUT, ERECT TREE PROTECTION BARRIERS TO VISUALLY INDICATE TPZs. BE SURE TO:

- USE TREE PROTECTION BARRIERS THAT ARE HIGHLY VISIBLE, STURDY, AND RESTRICT ENTRY INTO THE TPZ.
- INSTALL OR ERECT SIGNS ALONG THE TREE PROTECTION BARRIER STATING THAT NO ONE IS ALLOWED TO DISTURB THIS AREA.
- REMOVE ANY BRANCHES OR TREES THAT POSE AN IMMEDIATE RISK TO STRUCTURES OR PEOPLE PRIOR TO ANY CONSTRUCTION ACTIVITIES.

5. COMMUNICATE THE INTENT OF THE TREE PROTECTION BARRIERS TO THE CONSTRUCTION MANAGER AND WORKERS TO ENSURE THAT TPZS ARE NOT DISTURBED DURING CONSTRUCTION ACTIVITIES. HAVE THE CONSTRUCTION MANAGER SIGN A CONTRACT OF COMPLIANCE.

- STOCKPILING OF ANY TYPE, INCLUDING CONSTRUCTION MATERIAL, DEBRIS, SOIL, AND MULCH
- ALTERING SOILS, INCLUDING GRADE CHANGES, SURFACE TREATMENT, AND COMPACTION DUE TO VEHICLE, EQUIPMENT, AND FOOT TRAFFIC
- TRENCHING FOR UTILITY INSTALLATION OR REPAIR AND IRRIGATION SYSTEM INSTALLATION
- ATTACHING ANYTHING TO TRUNKS OR USE OF EQUIPMENT THAT CAUSES INJURY TO THE TREE

7. SCHEDULE SITE VISITS TO ENSURE THE CONTRACT IS BEING MET BY THE CONSTRUCTION MANAGER AND THAT TREE HEALTH IS NOT BEING COMPROMISED BY CONSTRUCTION ACTIVITY. INSPECT AND MONITOR TREES FOR ANY DECLINE OR DAMAGES.
8. KEEP IN PLACE ALL TREE PROTECTION BARRIERS UNTIL THE PROJECT IS COMPLETED.

9. PERFORM A FINAL INSPECTION AND CONTINUE MONITORING AFTER CONSTRUCTION. MONITORING INCLUDES MAINTAINING MULCH, MANAGING SOIL MOISTURE, ASSESSING TREE DAMAGE, INSPECTING FOR INSECTS AND PESTS, AND FERTILIZATION IF NEEDED.

1. GRADE CHANGES OUTSIDE OF THE TPZ SHALL NOT SIGNIFICANTLY ALTER DRAINAGE TO THE TREE.
2. GRADE CHANGES WITHIN THE TPZ ARE NOT PERMITTED.
3. GRADE CHANGES TO THE EXISTING APPROVED CIRCUMFERENCE SHALL NOT ALLOW MORE THAN 6-INCHES OF FILL SOIL ADDED OR ALLOW MORE THAN 4-INCHES OF EXISTING SOIL TO BE REMOVED FROM NATURAL GRADE UNLESS MITIGATED.
4. GRADE FILLS OVER 6-INCHES OR IMPERVIOUS OVERLAY SHALL INCORPORATE NOTES: AN APPROVED PERMANENT AERATION SYSTEM PERMANENTLY INSTALLED TO IMPROVE MITIGATION.
5. GRADE CUTS EXCEEDING 4-INCHES SHALL INCORPORATE RETAINING WALLS OR AN APPROPRIATE TRANSITION EQUIVALENT.

REMOVAL IS BASED ON CONDITION OR IMPACTS FROM DEVELOPMENT OF TREES AT THE TIME OF THIS ASSESSMENT. ONE TREE ASSESSED IN THE EXCELLENT CATEGORY. SEVEN TREES ASSESSED IN THE FAIR CATEGORY THREE TREES ASSESSED IN THERE POOR CATEGORY ONE TREE ASSESSED IN THE DEAD CATEGORY FIVE TREES ARE REQUESTED FOR REMOVAL

RETENTION IS BASED ON CONDITION OF TREES AT THE TIME OF THE ASSESSMENT. FUTURE MAINTENANCE OF THE TREES IS RECOMMENDED. TREES RETAINED ARE OUTSIDE OF THE SCOPE OF WORK AND WILL REQUIRE TREE PROTECTION PRIOR TO ANY WORK. SEVEN TREES ARE RECOMMENDED FOR RETENTION.

SUMMARY AND CONCLUSION
MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY REQUIRES A 1:1 RATIO REPLACEMENT FOR PROTECTED TREES MEASURING LESS THAN 24" IN DIAMETER AND 2:1 RATIO REPLACEMENT FOR PROTECTED TREES MEASURING GREATER THAN 24" IN DIAMETER. THE SUBJECT TREES REMOVED WILL BE REPLANTED IN LOCATIONS ON THE PROPERTY IN AREAS THAT ALLOW FOR OPTIMUM CANOPY AND ROOT DEVELOPMENT. SPACING BETWEEN TREES SHOULD BE AT LEAST 15 FEET. OCCASIONAL DEEP WATERING (1 TO 2 TIMES PER WEEK) DURING THE LATE SPRING, SUMMER, AND FALL IS RECOMMENDED DURING THE FIRST TWO YEARS AFTER ESTABLISHMENT WITH SUPPLEMENTAL WATERING DURING DRY WINTER MONTHS.

REPLANT LIST			
SPECIES	COMMON NAME	SIZE	NUMBER OF TREES REPLANTED
QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GALLON	5

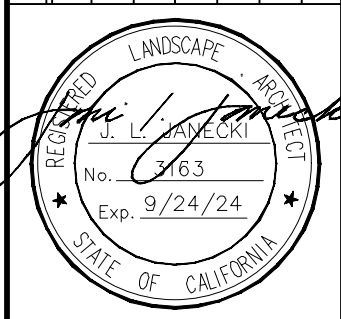
SUBJECT TREES REQUESTED FOR REMOVAL WILL NOT INVOLVE A RISK OF ADVERSE ENVIRONMENTAL IMPACTS SUCH AS:

1. SOIL EROSION; TITLE 21 - 246
2. WATER QUALITY: THE REMOVAL OF THE TREES WILL NOT SUBSTANTIALLY LESSEN THE ABILITY FOR THE NATURAL ASSIMILATION OF NUTRIENTS, CHEMICAL POLLUTANTS, HEAVY METALS, SILT AND OTHER NOXIOUS SUBSTANCES FROM GROUND AND SURFACE WATERS;
3. ECOLOGICAL IMPACTS: THE REMOVAL WILL NOT HAVE A SUBSTANTIAL ADVERSE IMPACT UPON EXISTING BIOLOGICAL AND ECOLOGICAL SYSTEMS; CLIMATIC CONDITIONS WHICH AFFECT THESE SYSTEMS, OR SUCH REMOVAL WILL NOT CREATE CONDITIONS WHICH MAY ADVERSELY AFFECT THE DYNAMIC EQUILIBRIUM OF ASSOCIATED SYSTEMS;
4. NOISE POLLUTION: THE REMOVAL WILL NOT SIGNIFICANTLY INCREASE AMBIENT NOISE LEVELS TO THE DEGREE THAT A NUISANCE IS ANTICIPATED TO OCCUR;
5. AIR MOVEMENT: THE REMOVAL WILL NOT SIGNIFICANTLY REDUCE THE ABILITY OF THE EXISTING VEGETATION TO REDUCE WIND VELOCITIES TO THE DEGREE THAT A NUISANCE IS ANTICIPATED TO OCCUR;
6. WILDLIFE HABITAT: THE REMOVAL WILL NOT SIGNIFICANTLY REDUCE THE HABITAT FOR WILDLIFE EXISTENCE AND REPRODUCTION OR RESULT IN THE IMMIGRATION OF WILDLIFE FROM ADJACENT OR ASSOCIATED ECOSYSTEMS; OR C. THE TREE IS DISEASED, INJURED, IN DANGER OF FALLING TOO CLOSE TO EXISTING OR PROPOSED STRUCTURES, CREATES UNSAFE VISION CLEARANCE, OR IS LIKELY TO PROMOTE THE SPREAD OF INSECTS OF DISEASE.

CONDITIONS OF APPROVAL

IN GRANTING ANY PERMIT AS PROVIDED HEREIN, THE APPROPRIATE AUTHORITY MAY ATTACH REASONABLE CONDITIONS TO MITIGATE ENVIRONMENTAL IMPACTS AND ENSURE COMPLIANCE WITH THE PROVISIONS OF THIS SECTION, INCLUDING BUT NOT LIMITED TO REPLACEMENT OF TREES REMOVED.

REVISIONS AND RECORD OF ISSUE:		
NO	DATE	DESCRIPTION
1.	12/18/2023	PLANNING SUBMITTAL
2.		
3.		
4.		
5.		
6.		



**JONI L. JANECKI
& ASSOCIATES**
515 SWIFT ST. SANTA CRUZ CA 95060
PHONE 831.423.6049 | WWW.JLJA.COM
California Landscape Architect License 3163

3414 17 MILE DRIVE
PEBBLE BEACH, CALIFORNIA
APN: 008-381-019

PROJECT.

TREE PROTECTION NOTES

SHEET 11 OF 13

SCALE: -
DRAWN BY: JH/MO
DATE: 12/18/2023

L1.02

NOT FOR CONSTRUCTION

ORIGINAL SHEET SIZE: 30" X 42

PROJECT: 3414 17 MILE DRIVE, PEBBLE BEACH, CALIFORNIA, APN: 008-381-019



LEGEND

- PROPERTY LINE
- SETBACK LINE
- HYDROZONE, LOW WATER USE SHRUBS
- HYDROZONE, LOW WATER USE TREES

- NOTES**
- ALL PLANT SPECIES ARE VERY LOW TO LOW WATER USE (0.1-0.3).
 - ALL PLANTINGS WILL BE IRRIGATED WITH LOW-FLOW, MATCHED PRECIPITATION RATE EMITTERS AND CONTROLLED BY WEATHER-BASED CONTROLLER WITH RAIN SENSOR.
 - REFER TO ARCHITECTURAL PLANS FOR SPA, POOL, AND WATER FEATURE.

IRRIGATION HYDROZONE TABLE

ZONE OR VALVE	HYDROZONE*	IRRIGATION METHOD**
1	LW	D
2	LW	D
3	LW	D
4	LW	D
5	LW	D
6	LW	D
7	LW	D
8	LW	D
9	LW	D
10	LW	D
11	LW	D
12	LW	D

*HYDROZONE
LW = LOW WATER USE
**IRRIGATION METHOD
D = DRIP

MAWA CALCULATION

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Enter value in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Click on the blue cell on right to Pick City Name
ET_a of City from Appendix A

Monterey	Name of City
36.00	ET _a (inches/year)
0	Overhead Landscape Area (ft ²)
14997	Drip Landscape Area (ft ²)
0	SLA (ft ²)
14,997.00	Total Landscape Area
184,103.17	Gallons
24,611.10	Cubic Feet
246.11	HCF
0.56	Acres-foot
0.18	Millions of Gallons

Results:
(ET_a) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA]

Estimated Total Water Use

Equation: ETWU = ET_a x 0.62 x [(PF x HA)/(ET) + SLA] Considering precipitation ETWA = (ETWU - E_{prec}) x 0.62 x [(PF x HA)/(ET) + SLA]

Enter values in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81

Plant Water Use Type

Plant Factor

Hydrozone	Select System From the Dropdown List Click on cell below	Plant Water Use Type (in Low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Enter Irrigation Efficiency (ET)	Enter (PF x HA)/(ET) (ft ²)
Zone 1	Drip	Low	0.30	2,100	0.81	2,605
Zone 2	Drip	Low	0.30	480	0.81	590
Zone 3	Drip	Low	0.30	480	0.81	590
Zone 4	Drip	Low	0.30	480	0.81	590
Zone 5	Drip	Low	0.30	1,800	0.81	2,237
Zone 6	Drip	Low	0.30	500	0.81	620
Zone 7	Drip	Low	0.30	1,000	0.81	1,240
Zone 8	Drip	Low	0.30	1,000	0.81	1,240
Zone 9	Drip	Low	0.30	480	0.81	590
Zone 10	Drip	Low	0.30	480	0.81	590
Zone 11	Drip	Low	0.30	480	0.81	590
Zone 12	Drip	Low	0.30	4,633	0.81	5,718
Zone 13	Drip	Low	0.30	0	0.81	0
SLA				0		0
Sum				14,997		18,410

Results

MAWA = 184,103

ETWU = 122,575 Gallons

ETWA = 122,575 Gallons

ETWA complies with MAWA

REVISIONS AND RECORD OF ISSUE

NO.	DATE	DESCRIPTION
1	12/18/2023	PLANNING SUBMITTAL
2		
3		
4		
5		
6		

PROJECT: 3414 17 MILE DRIVE, PEBBLE BEACH, CALIFORNIA, APN: 008-381-019

SHEET TITLE: IRRIGATION HYDROZONE PLAN AND MAWA CALCULATION

L2.00