

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

CURTIS ALASTAIR STUART & AMANDA JANE (PLN250060)

RESOLUTION NO. 26-

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines section 15301 and there are no exceptions pursuant to section 15300.2; and
- 2) Approve a Combined Development Permit consisting of:
 - a) Coastal Administrative Permit and Design Approval to allow 930 square foot addition to an existing two-story 5,622 square foot single family dwelling, and associated site improvements; and
 - b) Waiver of a Coastal Development Permit to allow the removal of 3 Monterey Pines; and
 - c) A Coastal Development Permit to allow development on slopes in excess of 30 percent.

[PLN250060, Curtis Alastair Stuart and Amanda Jane, 3158 Don Lane, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-361-024-000)]

The Curtis application (PLN250060) came on for public hearing before the County of Monterey Zoning Administrator on January 29, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan (General Plan) ;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Monterey County Coastal Implementation Plan Part 5;
 - Monterey County Zoning Ordinance (Title 20);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) Allowed Use. The property is located at 3158 Don Lane, Pebble Beach, (APN: 008-361-024-000), in the Del Monte Forest Land Use Plan. The parcel is zoned Low Density Residential, 1 unit per 1.5 acres and Design Control overlay district in the Coastal Zone “LDR/1.5-

D (CZ)”. Additions to single family dwellings are typically exempt from a Coastal Development Permit; however, the subject property is between the sea and first public road and exceed ten percent of the structure’s internal floor area (Title 20 section 20.70.120.A). Therefore, the addition requires a Coastal Administrative Permit. The project consists of a 930 square foot addition consisting of new decking and new gym, addition to the garage, and exterior colors and materials change to the residence and accessory structures. Additionally, the project includes removal of 3 hazardous Monterey Pines; a Waiver of a Coastal Development Permit was applied pursuant to Del Monte Forest CIP Policy 20.147.050. The project also includes additions taking place on slopes exceeding 30 percent; a Coastal Development Permit was applied pursuant to Title 20 section 20.14.030. Therefore, the project is an allowed land use for this site.

- c) Lot Legality. The property is shown in its current configuration as lot 24 on the 1964 and 1972 Assessor’s Maps of El Pescadero Rd, book 8 on page 36. The legal description on the grant deed refers to a record of survey which was recorded with the County Recorder on August 15th, 1962. This record of survey also shows the lot in its current configuration. The subject parcel was under the same ownership as an adjacent parcel in 1972 but there is no record of the property undergoing a lot line adjustment, subdivision or merger. Based on the evidence, the County recognizes it as a legal lot of record.
- d) Design/Neighborhood and Community Character. The property is subject to the Design Control “D” overlay zoning district regulations contained in Title 20 Chapter 20.44, which requires design review of proposed development to assure protection of the public viewshed and neighborhood character. The proposed development will remain consistent with the neighborhood character, and proposes exterior changes including new dark brown metal standing seam roof, light brown painted vertical wood siding, dark bronze aluminum clad windows and doors, and replacement of entry gate and new property line fencing to match existing fencing. The addition is within existing space of the residence and garage, to include a new gym in the lower-level of the residence, and additional loft space within the garage. The colors and materials will continue to blend with the surrounding area and remain consistent with neighborhood character.
- e) Visual Resources. DMF LUP Policy 48, states development located in visually prominent settings, as identified within Figure 3, shall be designed, and sited in a manner that avoids blocking significant public views, or that may create a significant adverse impact. The subject parcel is located within the green shaded area of Figure 3, which is indicated as having viewshed points from Point Lobos, 17-Mile Drive and Vista Points. The proposed residence and accessory structures are sited further back than the required and include colors and materials that blend the structures into the surrounding forested areas. Staff conducted a site visit on November 4, 2025 and the development does not have any potential to create an adverse visual impact from these vista points. Therefore, as designed and sited, the project assures protection of the

public viewshed, is consistent with scenic and visual resources policy of the Del Monte Forest Land Use Plan.

- f) Development Standards. Development standards for Low Density Residential zoning can be found in Title 20, section 20.14.060. The proposed development is consistent with all applicable development standards. The maximum floor area and building coverage are 17.5% and 15%. The proposed addition will result in a slight increase; however still comply with these regulations at 7.6% and 5.5%. The setbacks will continue to comply with the minimum required 30 feet (front), 20 feet (side and rear). The proposed development as illustrated in the attached plans will continue to comply with these standards. Therefore, the proposed work conforms with the site development standards in Title 20.
- g) Cultural Resources. Monterey County Geographic Information System records identifies the subject property to be within a high archaeological sensitivity area and within 750 feet of known archaeological resources. Pursuant to DMF CIP section 20.147.080.B, an archaeological report was prepared for this property (County of Monterey Library No. LIB250144) and this report concluded that no indicators that define cultural resources were present on the project parcel, and therefore construction should not be delayed due to concern for cultural resources. The proposed residential development will primarily occur within the existing footprint of the structure and does not include any major ground disturbance with proposed grading quantities of 69 cubic yards of cut and fill, and an area of disturbance indicated as 3,542 square feet. Therefore, the project does not pose any potential impacts to archaeological resources. Standard Condition No. 3 has been applied to assure that in the event during construction or ground disturbance, if a potential resource is discovered a certified Archaeologist will be notified to visit the site and determine the extent of resources and develop proper mitigation measures required for the discovery.
- h) Pescadero Watershed. Figure 2b of the DMF LUP identifies the subject property is within the area of drainage to Carmel Bay Area of Special Biological Significance/Pescadero Watershed. Therefore the subject parcel is required to comply with Del Monte Forest LUP Policy 77 which identifies that any new development shall be limited to a maximum of 9,000 square feet of impervious coverage. The project includes a 930 square foot addition, replacement of the existing driveway and updates to hardscaping around the property. With implementation of this project, the property continues to be under the maximum allowed impervious coverage and proposes 6,176 square feet of impervious surface coverage.
- i) Tree Removal. As demonstrated in Finding 7, the development is consistent with forest resources regulations and granting of a Coastal Development Permit.
- j) Development on slopes in excess of 30%. As demonstrated in Finding 8, the project involves development on slopes exceeding 30 percent and is consistent with the applicable policies outlined in Title 20.
- k) Public Access. As demonstrated in Finding 6, the development is consistent with public access policies of the DMF LUP.

- l) Land Use Advisory Committee. The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) on November 6, 2025, for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC because the project included a Design Approval subject to review by the Zoning Administrator. The LUAC voted unanimously in support of the project as proposed.
- m) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN250060.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD- Planning, Pebble Beach Community Services District (CSD Fire Protection District), HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) The following reports have been prepared:
 - “Tree Impact Assessment” (County of Monterey Library No. LIB250135) prepared by Thompson Wildland Management, Monterey, CA, May 10, 2025.
 - “Phase 1 Archaeological Assessment” (County of Monterey Library No. LIB250144) prepared by Susan Morley, Marina, CA, April 1, 2025.
 - “Geotechnical Investigation” (County of Monterey Library No. LIB250309) prepared by Greg Bloom, Watsonville, CA, August 19, 2025.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on November 4, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN250060.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood, or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, Pebble Beach Community Services District (PBCSD), HCD-

Environmental Services and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) The EHB reviewed the project and confirmed the property currently receives water and wastewater services from the PBCSD. The property will continue to be served by PBCSD following the proposed development. New water or wastewater systems are not proposed so they did not request any “Can and Will Serve” letters.
- c) The EHB did not add any conditions of approval to the proposed development permit.
- d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD- Planning for the proposed development are found in Project File PLN250060.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Staff reviewed County of Monterey HCD-Planning and Building Services records to assess if any violation exists on the subject property, there are no open code enforcement cases for the property.
- b) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN250060.
5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Article 19 Section 15301 categorically exempts minor alterations to existing structures provided the alterations result in negligible or no expansion of the use. The current use is residential, and the proposed use is also residential, therefore, there will be no expansion.
- b) This project qualifies for a Class 1 exemption because it is an addition to a residence and conversion of existing internal space within the garage. The project will not increase the floor area by 50% or 2,500 square feet.
- c) No adverse environmental effects were identified during staff review of the development application during a site visit on November 4, 2025.
- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. Project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. Removal of three native trees will not result in an adverse environmental impact or significant long-term impacts.

No known historical resources are found in the geotechnical and the results of the archaeological reports concluded there will be no impacts to any potential resources.

- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN250060.

6. **FINDING:** **PUBLIC ACCESS-** The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP Section 20.147.130, can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - d) The subject project site is not identified as an area where the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the DMF LUP).
 - e) Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along 17-Mile Drive or from Point Lobos. Consistent with DMF LUP Policies 123 and 137, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
 - f) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN250060.

7. **FINDING:** **HAZARDOUS TREE REMOVAL** – The siting, location, size and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.
- EVIDENCE:**
- a) The project includes application for the removal of three hazardous Monterey Pine trees. In accordance with DMF CIP section 20.147.050, hazardous trees may be removed that pose an immediate danger to life, health, property or essential public services, or removal of diseased trees if it is determined by a professional forester that such trees present a severe and serious infection hazard to the rest of the forest.
 - b) Pursuant to Section 20.147.050.B.1 of the DMF CIP, an Arborist Report prepared for the proposed project (County of Monterey Library No. LIB250135). The arborist report evaluated the health, structure, and preservation suitability for each tree within or adjacent to the proposed development. Three Monterey Pines are located within the proposed

construction footprint of the replacement driveway and are proposed for removal due to the current hazard all three trees pose to the property, nearby home, and nearby trees that are to be retained. The arborist provided hazard ratings for each of these trees that confirm the need for removal. As stated in the report, the remaining trees located in the vicinity of the project operations will be retained and protected in place for the duration of the project. According to the arborist report, tree #1 has a diameter at breast height (DBH) of 28 inches and is in declining condition with physiological and structure disorders, that include a notable lean towards the residence. Tree # 2 has a DBH of 25 inches and similarly to Tree #1, is in poor declining health and condition, and in close proximity to both trees 1 and 3. Tree #3 has a DBH of 19 inches is also in declining health and condition, and also has a notable lean towards the residence, with a majority of its canopy weight on the leaning side of the tree. Additionally, the project has been designed and sited to minimize the removal of protected trees to the greatest extent possible under the circumstances.

- c) Measures for tree protection of trees to be retained during construction have been incorporated as Condition No. 5. Condition No. 4 requires the applicant to replant five one-gallon Monterey Pines, and after six months of replanting the replacement trees, the applicant shall submit evidence demonstrating that the replacement trees are in healthy, growing condition.
- d) No significant long-term effects on the forest ecosystem are anticipated. The project as proposed will not significantly reduce the availability of wildlife over the long term as the site as surrounding forested areas which are to remain untouched.
- e) Staff conducted a site inspection on November 4, 2025 to verify that the site and proposed project meet the criteria for an exemption.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN250060.

8. **FINDING:** **DEVELOPMENT ON SLOPES IN EXCESS OF 30%** - The proposed development on slopes in excess of 30% better achieves the goals, policies, and objectives of the Monterey County General Plan and Del Monte Forest Land Use Plan and the Monterey County Zoning Ordinance (Title 20) than other development alternatives.

- EVIDENCE:**
- a) Pursuant to Title 20 section 20.64.230, development on slopes exceeding 30 percent is allowed subject to the granting of a Coastal Development Permit if there are no feasible alternatives that would allow development to occur on slopes less than 30 percent or if the project better achieves the goals, policies, and objectives of the County of Monterey General Plan and applicable area plan. In this case, the proposed project involves development on slopes and the criteria to grant the Coastal Development Permit have been met.
 - b) According to County of Monterey GIS records, approximately half of the subject parcel contains slopes exceeding 30 percent. If the project were to relocate or adjust the footprint of the additions to the residence, it would likely result in new impacts to other resources not previously

considered, such as increase in the tree removal count. The property is heavily forested, and placing the additions within existing disturbed areas reduces the potential to impact nearby trees as result of construction, and is located on an area of the property containing the least amount of slopes. Therefore, the development taking place on slopes exceeding 30 percent better meets the goals and policies by reducing impacts to other resources, and there is no feasible alternative to development on slopes, as most of the property contains slopes exceeding 30 percent.

- c) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD-Planning for the proposed development found in Project File PLN250060.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Title 20, Section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project qualifies as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA guidelines and there are no exceptions pursuant to Section 15300.2 of the CEQA guidelines; and
2. Approve a Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval to allow a 930 square foot addition to an existing two-story 5,622 square foot single family dwelling, and associated site improvements; and 2) Waiver of a Coastal Development Permit to allow removal of three hazardous Monterey Pines; and 3) A Coastal Development Permit to allow development on slopes in excess of 30 percent.
- 3.

PASSED AND ADOPTED this 29th day of January, 2026.

Mike Novo, AICP

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250060

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN250060) allows 930 square foot addition and change of exterior colors and materials to an existing two-story 5,622 square foot single family dwelling, and associated site improvements including new hardscaping and replacement driveway; and removal of 3 Monterey Pines. The property is located at 3158 Don Lane, Pebble Beach (Assessor's Parcel Number 008-361-024-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 008-361-024-000 on January 29, 2026. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1
- Replacement ratio recommended by arborist: Replace with (5) one-gallon Monterey Pines
- Other:

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

5. PD049 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

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Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

PROPOSED MATERIALS



PROPOSED METAL STANDING SEAM ROOF - DARK BROWN



ALUM. CLAD WINDOWS & DOORS - BRONZE



VERTICAL WOOD SIDING - PAINTED TAN/KHAKI
EXPOSED WOOD POSTS & BEAMS - PAINTED DARK BROWN

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY SURVEY AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
- CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".
- SMOKE DETECTORS IN THE MAIN DWELLING SHALL BE INSTALLED AND FIELD VERIFIED IN EACH BEDROOM, IN THE HALLWAY LEADING TO THE BEDROOMS AND ON EACH FLOOR PER CRC R314.2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND FIELD VERIFIED ON EACH FLOOR PER CRC R315.2.
- ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
- THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS
- CONTRACTOR TO OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND TO MAINTAIN THE TICKET IN ACTIVE STATUS AND ON SITE FOR INSPECTION THROUGHOUT THE PROJECT.

DEFERRED SUBMITTALS

- PHOTOVOLTAIC SYSTEM DRAWINGS & DETAILS.

EXISTING PROPERTY PHOTOS



STREET VIEW OF PROPERTY



FRONT OF HOUSE & GARAGE



BACK OF HOUSE

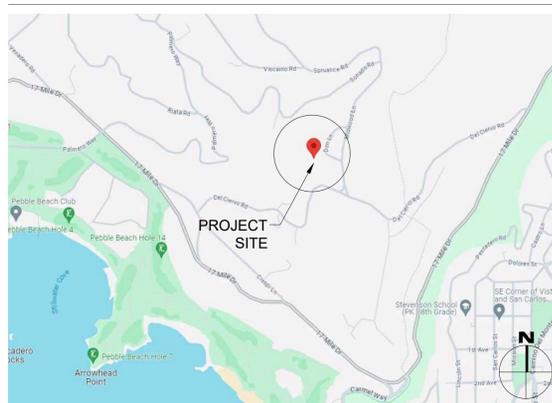
BUILDING CODE INFO

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2022 CBC, AND CHAPTER 3, SECTION 337R OF THE 2022 CRC.

VICINITY MAP



SHEET INDEX

G1.0	PROJECT INFORMATION
G1.1	CONSTRUCTION MANAGEMENT & EROSION CONTROL PLAN
G1.2	GRADING PLAN
G1.3	FUEL MANAGEMENT PLAN
G1.4	SURVEY / EXISTING SITE PLAN
A1.0	PROPOSED SITE PLAN
A1.1	PROPOSED SITE LIGHTING
A2.0	EXISTING LOWER LEVEL FLOOR PLAN
A2.1	EXISTING MAIN LEVEL FLOOR PLAN
A2.2	EXISTING UPPER LEVEL FLOOR PLAN
A2.3	EXISTING ROOF PLAN
A2.4	PROPOSED LOWER LEVEL GYM FLOOR PLAN
A2.5	PROPOSED LOWER LEVEL FLOOR PLAN
A2.6	PROPOSED MAIN LEVEL FLOOR PLAN
A2.7	PROPOSED UPPER LEVEL FLOOR PLAN
A2.8	PROPOSED ROOF PLAN
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING ELEVATIONS
A3.3	BUILDING ELEVATIONS
A4.0	DOOR & WINDOW SCHEDULES
L-0.1	OVERALL SITE PLAN
L-1.0	SITE PLAN
L-2.0	GRADING PLAN
L-2.1	DRAINAGE PLAN
L-3.0	SITE DETAILS
L-3.1	SITE DETAILS
L-4.0	PLANTING NOTES
L-4.1	PLANTING PLAN
L-5.0	SITE LIGHTING PLAN
L-5.1	SITE LIGHTING SPECS

SCOPE OF WORK

REMODEL & ADDITION TO AN (E) SINGLE FAMILY HOUSE & ATTACHED GARAGE. CONSTRUCT NEW 375 SF LOWER LEVEL GYM BELOW (E) HOUSE. CONSTRUCT NEW 24 SF ELEVATOR SHAFT. ADD 260 SF TO (E) STORAGE LOFT ABOVE GARAGE. ADD 502 SF OF NEW EXTERIOR DECKING.

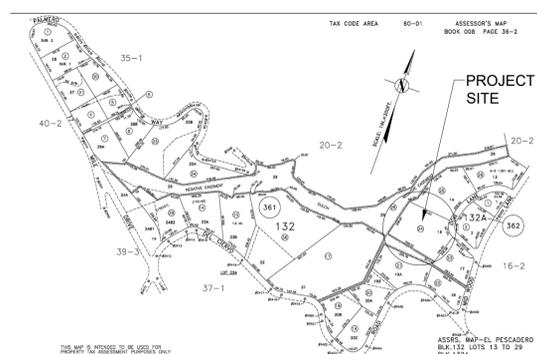
REPLACE (E) EXT. WOOD WINDOWS & DOORS WITH NEW ALUM. CLAD WINDOWS & DOORS. REPLACE (E) SKYLIGHTS & ADD 1 NEW SKYLIGHT. REPLACE (E) COMPOSITE TILE ROOF WITH NEW METAL STANDING SEAM ROOF. REPAINT (E) WOOD SIDING & EXPOSED STRUCTURE.

REPLACE (E) DRIVEWAY & DRIVEWAY GATE. INSTALL NEW HARDSCAPING & LANDSCAPING AROUND HOUSE.

MISCELLANEOUS

WATER SOURCE	CAL AM
WASTE DISPOSAL SYSTEM	SEWER - P.B.C.S.D.
TREES TO BE REMOVED	(1) 15" MONTEREY PINE (2) 36" MONTEREY PINE 3 TREES TOTAL
GRADING ESTIMATES:	
(P) CUT	69 CU.YDS.
(P) FILL	166 CU.YDS.
(P) NET FILL	97 CU.YDS.
(E) PARKING	2 SPACES (COVERED)
(P) PARKING	2 SPACES (COVERED)
(E) BUILDING SPRINKLERED	NO
(P) BUILDING SPRINKLERED	NO (SEE ALTERATION CALC'S)

PARCEL MAP



PROJECT TEAM

OWNER	AMANDA & ALASTAIR CURTIS 3158 DON LANE PEBBLE BEACH, CA 93953
ARCHITECT	SAMUEL PITNICK ARCHITECTS, INC. LICENSE # C-34362 PO BOX 22412, CARMEL, CA 93922 PHONE: (831) 241-1895 SAMUEL@PITNICK.COM
SURVEYOR	RASMUSSEN LAND SURVEYING 2150 GARDEN ROAD, SUITE A-3 MONTEREY, CA 93940 PHONE: (831) 375-7240
LANDSCAPE ARCHITECT	SEVEN SPRINGS STUDIOS 2548 EMPIRE GRADE SANTA CRUZ, CA 95060 PHONE: (831) 466-9617
ARBORIST	THOMPSON WILDLAND MANAGEMENT 57 VIA DEL REY MONTEREY, CA. 93940 PHONE: (831) 372-3796
ARCHAEOLOGIST	ACHASTA ARCHAEOLOGICAL SERVICES 3059 BOSTICK AVENUE MARINA, CA 93933 PHONE: (831) 277-9071

PROJECT INFORMATION

PROPERTY ADDRESS	3158 DON LANE PEBBLE BEACH, CA 93953
APN	008-361-024-000
ZONING	LDR/1.5-D(CZ)
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE
YEAR BUILT	1984

BUILDING INFORMATION & LOT COVERAGE

LOT SIZE	93,203 SF (2.14 ACRES)
ALLOWABLE SITE COVERAGE	15% OR 13,980 SF
(E) SITE COVERAGE:	
(E) STRUCTURES	4,167 SF
(E) EAVES >30"	44 SF
(E) DECKS/PATIOS >24"	360 SF
(E) TOTAL	4,571 SF OR 4.9%
(P) SITE COVERAGE:	
(P) STRUCTURES	4,191 SF
(P) EAVES >30"	44 SF
(P) DECKS/PATIOS >24"	957 SF
(P) TOTAL	5,192 SF OR 5.5%
ALLOWABLE FLOOR AREA	17.5% OR 16,310 SF
(E) FLOOR AREA:	
(E) LOWER LEVEL	1,465 SF
(E) MAIN LEVEL	2,515 SF
(E) UPPER LEVEL	870 SF
(E) GARAGE & LOFT	772 SF
(E) GUEST HOUSE	516 SF
(E) TOTAL	6,138 SF
(P) FLOOR AREA:	
(P) LOWER LEVEL GYM	375 SF
(P) ELEVATOR	24 SF
(E) LOWER LEVEL	1,465 SF
(E) MAIN LEVEL	2,515 SF
(E) UPPER LEVEL	870 SF
(P) GARAGE & LOFT	1,032 SF
(E) GUEST HOUSE	516 SF
(P) TOTAL	7,067 SF

PESCADERO WATERSHED COVERAGE CALC'S

ALLOWABLE IMPERVIOUS COVERAGE	9,000 SF
(E) IMPERVIOUS COVERAGE:	
(E) STRUCTURES	4,167 SF
(E) EAVES >30"	44 SF
(E) DRIVEWAY & HARDSCAPE	2,120 SF
(E) TOTAL	6,331 SF
(P) IMPERVIOUS COVERAGE:	
(P) STRUCTURES	4,191 SF
(P) EAVES >30"	44 SF
(P) HARDSCAPE	1,941 SF
(P) TOTAL	6,176 SF

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REVISIONS DATE

ARCHITECTURAL

PROJECT INFORMATION

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.0

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GENERAL NOTES

1. TREE PROTECTION SHALL BE IN PLACE PRIOR TO ANY PERMITS BEING ISSUED.
2. ALSO SEE BEST MANAGEMENT PRACTICES SHEET.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".

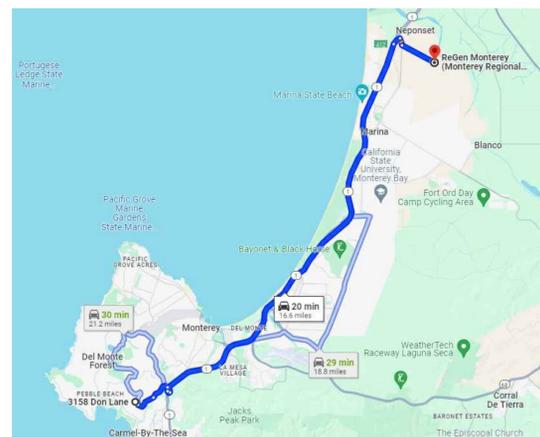
CONSTRUCTION MANAGEMENT NOTES

1. DURATION OF CONSTRUCTION IS APPROX. 12-16 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
2. WORK SHALL BE PERFORMED BETWEEN THE HOURS OF 8 AM AND 5 PM. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR)
3. TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING THE PEBBLE BEACH EXIT OFF OF HIGHWAY ONE. TRUCKS WILL TAKE HIGHWAY ONE NORTH AND EXIT DEL MONTE BLVD. TO TRANSPORT WASTE AND DEBRIS TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT. REFER TO MAP ON THIS SHEET.
4. THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
5. EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS.
6. STERILE STRAW WATTLES SHALL BE PLACED BEFORE AND DURING RAIN STORM EVENTS TO CONTAIN STORM WATER AND EROSION DURING CONSTRUCTION.
7. ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES.
8. SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
9. USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
10. CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
11. DUST CONTROL MEASURES WILL BE IMPLEMENTED INCLUDING THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE.
12. ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.
13. TRUCK STAGING - ALL TRUCK STAGING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE STAGED ON PRIVATE PROPERTY.

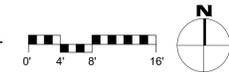
CONSTRUCTION MANAGEMENT LEGEND

-  CONSTRUCTION MATERIAL STORAGE
-  STRAW WATTLE
-  PAINT & SOLVENT CLEAN-OUT AREA
-  TREE PROTECTION
-  CONCRETE CONTAINMENT WASHOUT
-  SILT FENCING

TRUCK ROUTING FROM SITE TO DUMP



1 CONSTRUCTION MANAGEMENT, EROSION CONTROL & DRAINAGE PLAN
SCALE: 3/32" = 1'-0"



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REVISIONS	DATE

ARCHITECTURAL

CONSTRUCTION MANAGEMENT PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

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GENERAL NOTES

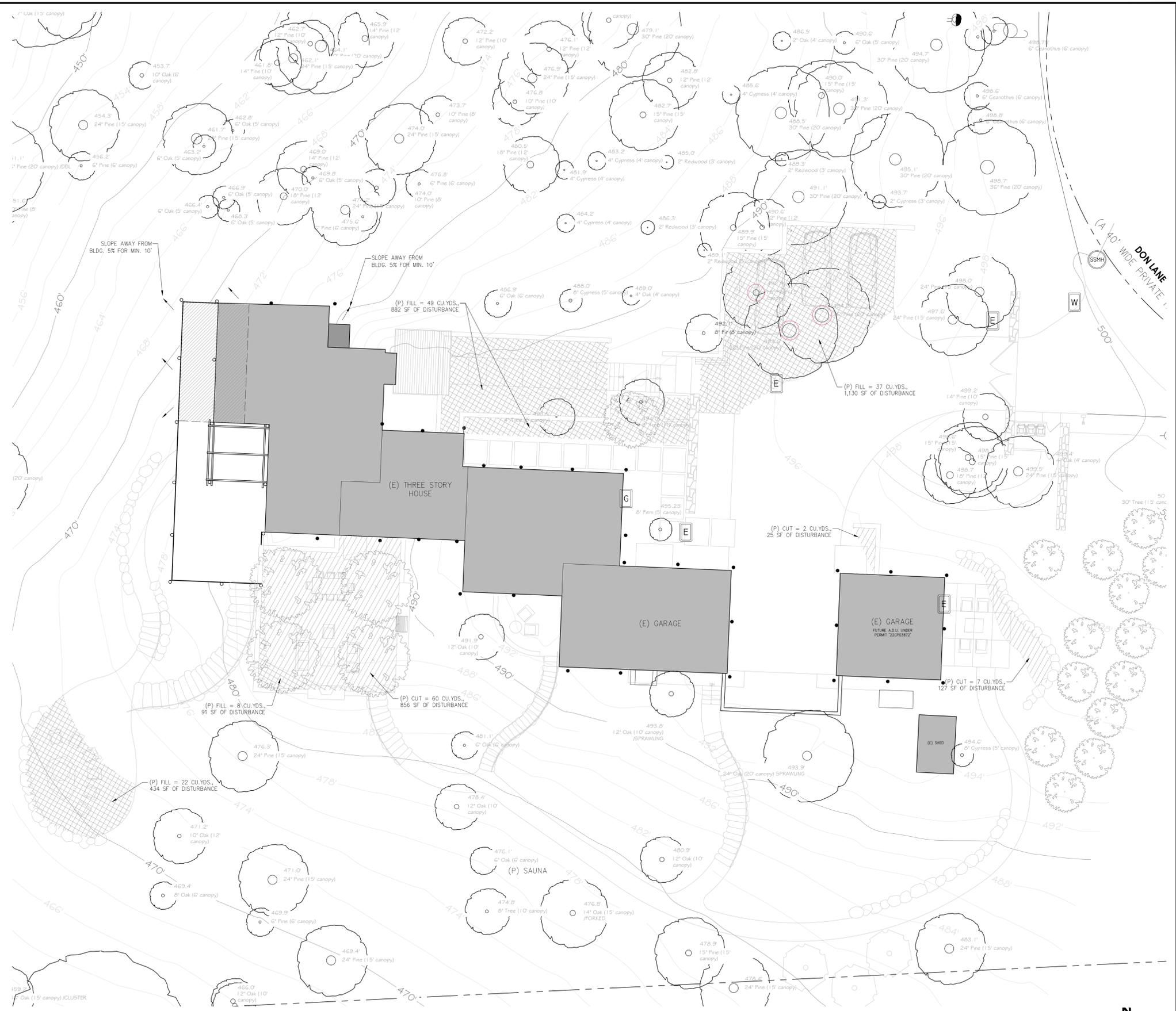
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3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".

GRADING LEGEND

- CUT MATERIAL
- FILL MATERIAL

GRADING ESTIMATES:
 (P) CUT = 69 CU.YDS.
 (P) FILL = 166 CU.YDS.
 (P) NET FILL = 97 CU.YDS.
 AREA OF DISTURBANCE = 3,542 SF

Inspection item:	When the inspection is to be completed:	Who will conduct the inspection:	Inspection completed by:	Date completed:
Site stripping and clearing	Beginning of project	SOIL SURVEYS GROUP		
Overexcavation	Prior to placement of structural fill	SOIL SURVEYS GROUP		
Subexcavation, fill placement, and compaction	Throughout grading operations	SOIL SURVEYS GROUP		
Foundations excavations	Prior to placement of formwork and reinforcing steel	SOIL SURVEYS GROUP		
Surface and subsurface drainage improvements	Prior to trench backfill	SOIL SURVEYS GROUP		
Utility trench compaction	During backfill operations	SOIL SURVEYS GROUP		



1 GRADING PLAN
 SCALE: 3/32" = 1'-0"

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ARCHITECTURAL
GRADING PLAN

Scale: SEE DWG.
 Drawn By: SBP
 Job: -

G1.2
 05/02/2025

FUEL MANAGEMENT NOTES

'GREEN ZONE' WITHIN 30 FEET SURROUNDING THE BUILDING:

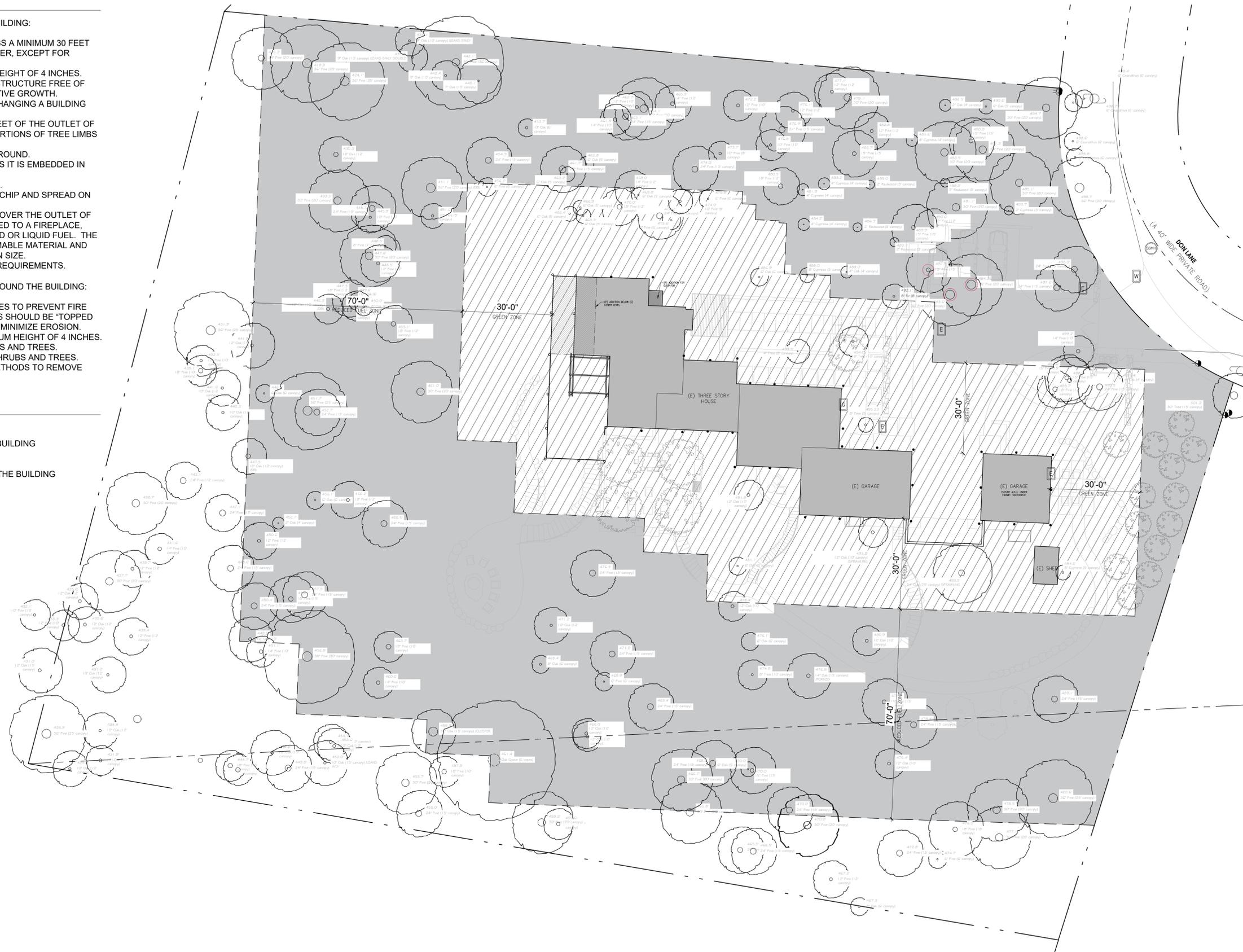
1. CUT FLAMMABLE VEGETATION AROUND BUILDINGS A MINIMUM 30 FEET OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER, EXCEPT FOR LANDSCAPING, AS FOLLOWS:
 - 1.1. CUT DRY AND DEAD GRASS TO A MAXIMUM HEIGHT OF 4 INCHES.
 - 1.2. MAINTAIN THE ROOF AND GUTTERS OF THE STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER DEAD VEGETATIVE GROWTH.
 - 1.3. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD.
 - 1.4. TRIM TREE LIMBS THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVE PIPE. O TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10 FEET FROM THE GROUND.
 - 1.5. REMOVE ALL LIMBS WITHIN 6 FEET OF THE GROUND.
 - 1.6. REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL.
 - 1.7. REMOVE ALL CUT MATERIAL FROM THE AREA.
2. REMOVE ALL CUT MATERIAL FROM THE AREA OR CHIP AND SPREAD ON SITE.
3. PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVEPIPE THAT IS ATTACHED TO A FIREPLACE, STOVE OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NONFLAMMABLE MATERIAL AND OPENINGS OF NOT MORE THAN ONE-HALF INCH IN SIZE.
4. POST HOUSE NUMBERS PER FIRE DEPARTMENT REQUIREMENTS.

'REDUCED FUEL ZONE' BETWEEN 30 AND 100 FEET AROUND THE BUILDING:

1. CUT PLANTS AND GRASS BENEATH TREE CANOPIES TO PREVENT FIRE FROM SPREADING TO THE TREES. THESE PLANTS SHOULD BE 'TOPPED OFF' LEAVING THE ROOT STRUCTURE INTACT TO MINIMIZE EROSION.
2. CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
3. CREATE HORIZONTAL SPACING BETWEEN SHRUBS AND TREES.
4. CREATE VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES.
5. DO NOT USE HERBICIDE OR OTHER CHEMICAL METHODS TO REMOVE VEGETATION.

FUEL MANAGEMENT LEGEND

-  'GREEN ZONE' WITHIN 30 FEET SURROUNDING THE BUILDING
-  'REDUCED FUEL ZONE' BETWEEN 30 AND 100 FEET AROUND THE BUILDING



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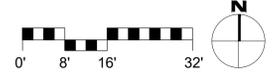


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REVISIONS	DATE

ARCHITECTURAL
FUEL MANAGEMENT PLAN
Scale: SEE DWG.
Drawn By: SBP
Job: -

1 FUEL MANAGEMENT PLAN
SCALE: 1/16" = 1'-0"



Map Legend:

Basis of Bearings: The bearing of North 87° 15' 13" East as shown on X3 Surveys 24 and as found monumented is taken as the basis of bearings for this survey.

Vertical Datum: Assumed.

Site Benchmark: Control Point 1 as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

Surveyor's Notes:

This map portrays the site at the time of the survey and does not show soils or geologic information, underground conditions, easements, zoning setbacks, regulatory information or any other items not specifically identified by the party requesting the survey. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Visible evidence of underground utilities such as utility meters, manhole lids, clean outs, valve covers, pull boxes and similar features are shown hereon. Underground utility pipes, conduits, transmission lines sewer laterals, etc. were not located. Information regarding underground utility line locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

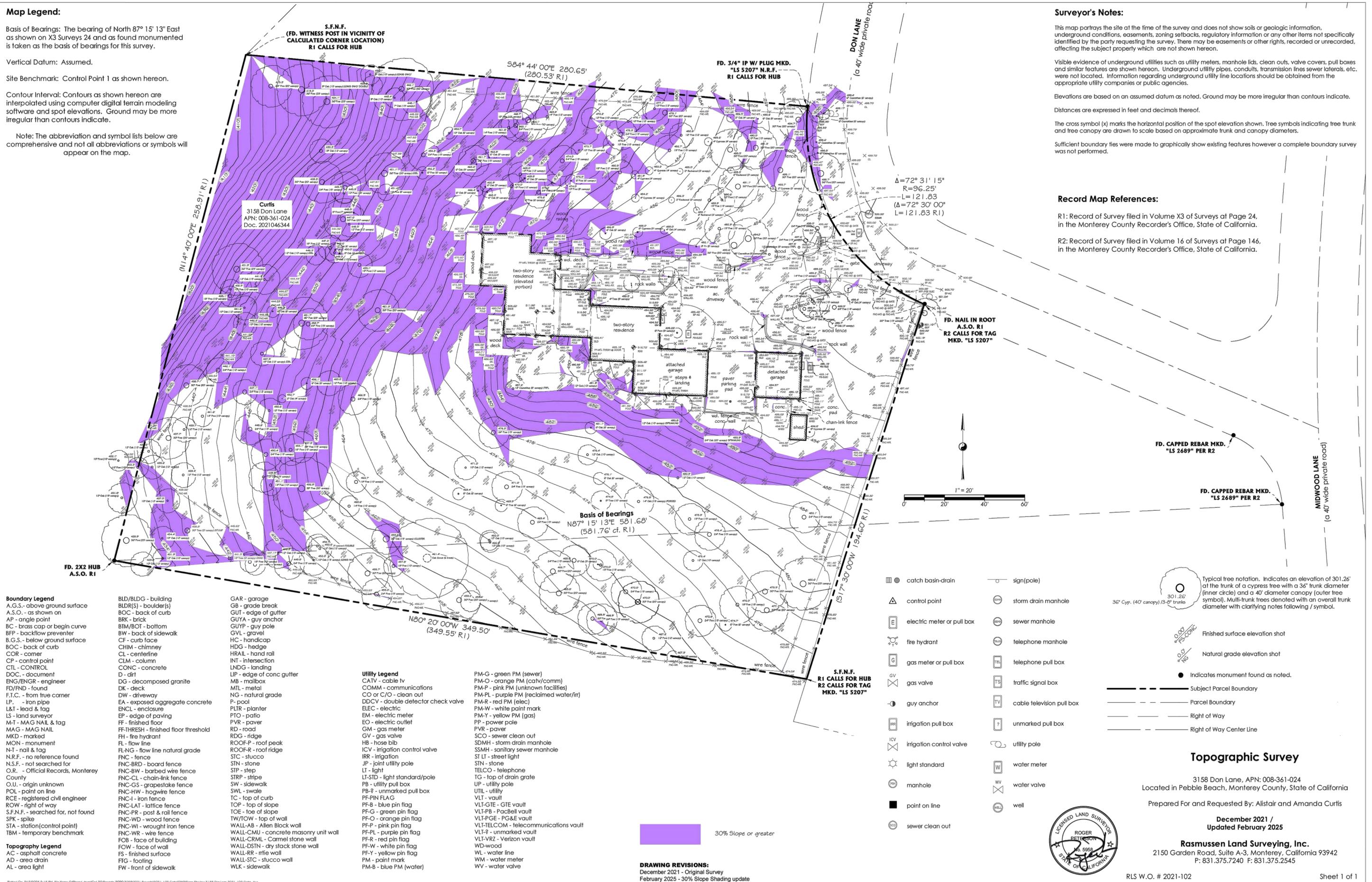
The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols indicating tree trunk and tree canopy are drawn to scale based on approximate trunk and canopy diameters.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.

Record Map References:

R1: Record of Survey filed in Volume X3 of Surveys at Page 24, in the Monterey County Recorder's Office, State of California.

R2: Record of Survey filed in Volume 16 of Surveys at Page 146, in the Monterey County Recorder's Office, State of California.



- Boundary Legend**
- A.G.S. - above ground surface
 - A.S.O. - as shown on
 - AP - angle point
 - BC - brass cap or begin curve
 - BFP - backflow preventer
 - B.G.S. - below ground surface
 - BOC - back of curb
 - COR - corner
 - CP - control point
 - CTL - CONTROL
 - DOC - document
 - ENG/ENGR - engineer
 - FD/FND - found
 - F.T.C. - from true corner
 - IP. - iron pipe
 - L&T - lead & tag
 - LS - land surveyor
 - M-T - MAG NAIL & tag
 - MAG - MAG NAIL
 - MKD - marked
 - MON - monument
 - NT - nail & tag
 - N.R.F. - no reference found
 - N.S.F. - not searched for
 - O.R. - Official Records, Monterey County
 - O.U. - origin unknown
 - POL - point on line
 - RCE - registered civil engineer
 - ROW - right of way
 - S.F.N.F. - searched for, not found
 - SPK - spike
 - STA - station/control point
 - TBM - temporary benchmark

- BLD/BLDG - building**
- BLDR(S) - boulder(s)
 - BOC - back of curb
 - BRX - brick
 - BTM/BOT - bottom
 - BW - back of sidewalk
 - CF - curb face
 - CHIM - chimney
 - CL - centerline
 - CLM - column
 - CONC - concrete
 - D - dirt
 - DC - decomposed granite
 - DK - deck
 - DW - driveway
 - EA - exposed aggregate concrete
 - ENCL - enclosure
 - EP - edge of paving
 - FF - finished floor
 - FF-THRESH - finished floor threshold
 - FH - fire hydrant
 - FL - flow line
 - FL-NG - flow line natural grade
 - FNC - fence
 - FNC-BRD - board fence
 - FNC-BW - barbed wire fence
 - FNC-CL - chain-link fence
 - FNC-GS - grapestake fence
 - FNC-HW - hogwire fence
 - FNC-I - iron fence
 - FNC-LAT - lattice fence
 - FNC-PR - post & rail fence
 - FNC-WD - wood fence
 - FNC-WI - wrought iron fence
 - FNC-WR - wire fence
 - FOB - face of building
 - FOW - face of wall
 - FF - finished surface
 - FTG - footing
 - FW - front of sidewalk

- GAR - garage**
- CB - grade break
 - GUT - edge of gutter
 - GUYA - guy anchor
 - GUYP - guy pole
 - GVL - gravel
 - HC - handcap
 - HDG - hedge
 - HRAIL - hand rail
 - INT - intersection
 - LNDG - landing
 - LIP - edge of conc gutter
 - MB - mailbox
 - MIL - metal
 - NG - natural grade
 - P - pool
 - PLTR - planter
 - PTO - patio
 - PVR - paver
 - RD - road
 - RDG - ridge
 - ROOF-P - roof peak
 - ROOF-R - roof ridge
 - ICV - irrigation control valve
 - IRR - irrigation
 - JP - joint utility pole
 - LT - light
 - LT-STD - light standard/pole
 - PB - utility pull box
 - PB-? - unmarked pull box
 - PF-PIN FLAG
 - PF-B - blue pin flag
 - PF-G - green pin flag
 - PF-O - orange pin flag
 - PF-P - pink pin flag
 - PF-PL - purple pin flag
 - PF-R - red pin flag
 - PF-W - white pin flag
 - PF-Y - yellow pin flag
 - PM - paint mark
 - PM-B - blue PM (water)

- Utility Legend**
- PM-G - green PM (sewer)
 - PM-O - orange PM (cath/comrm)
 - PM-P - pink PM (unknown facilities)
 - PM-PL - purple PM (reclaimed water/ir)
 - PM-R - red PM (elec)
 - PM-W - white paint mark
 - PM-Y - yellow PM (gas)
 - PP - power pole
 - PVR - paver
 - SCO - sewer clean out
 - SDMH - storm drain manhole
 - STL - street light
 - SIN - stone
 - TELECO - telephone
 - TG - top of drain grate
 - UP - utility pole
 - UTIL - utility
 - VLT - vault
 - VLT-GTE - GTE vault
 - VLT-PB - PacBell vault
 - VLT-PGE - PG&E vault
 - VLT-TELCOM - telecommunications vault
 - VLT-? - unmarked vault
 - VLT-VZ - Verizon vault
 - WD-wood
 - WL - water line
 - WM - water meter
 - WV - water valve

- catch basin-drain
- control point
- electric meter or pull box
- fire hydrant
- gas meter or pull box
- gas valve
- guy anchor
- irrigation pull box
- irrigation control valve
- light standard
- manhole
- point on line
- sewer clean out
- sign(pole)
- storm drain manhole
- sewer manhole
- telephone manhole
- telephone pull box
- traffic signal box
- cable television pull box
- unmarked pull box
- utility pole
- water meter
- water valve
- well

- Typical tree notation. Indicates an elevation of 301.26' at the trunk of a cypress tree with a 36" trunk diameter (inner circle) and a 40' diameter canopy (outer tree symbol). Multi-trunk trees denoted with an overall trunk diameter with clarifying notes following / symbol.
- Finished surface elevation shot
- Natural grade elevation shot
- Indicates monument found as noted.
- Subject Parcel Boundary
- Parcel Boundary
- Right of Way
- Right of Way Center Line

DRAWING REVISIONS:
December 2021 - Original Survey
February 2025 - 30% Slope Shading update



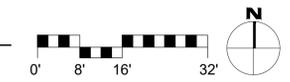
3158 Don Lane, APN: 008-361-024
Located in Pebble Beach, Monterey County, State of California
Prepared For and Requested By: Alistair and Amanda Curtis
December 2021 / Updated February 2025
Rasmussen Land Surveying, Inc.
2150 Garden Road, Suite A-3, Monterey, California 93942
P: 831.375.7240 F: 831.375.2545
RSL W.O. # 2021-102

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- SITE PLAN LEGEND**
- TREE TO BE REMOVED, SEE ARBORIST REPORT FOR MORE INFORMATION.
 - (1) 15" PINE TREE
 - (2) 36" PINE TREES
 - (3) PINE TREES TOTAL
 - SLOPES 30% OR GREATER

1 PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"



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ARCHITECTURAL
PROPOSED SITE PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

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Caliber LED Outdoor Wall Sconce

By dweLED



Product Options

Finish: Black, Bronze, Brushed Aluminum, White
 Size: One-Way Light, Two-Way Light

Details

- Construction, Aluminum hardware with lens diffuser
- Weather-resistant powder coated finish
- Driver concealed within the fixture
- ELV dimming, 100% to 10%
- Material: Aluminum
- Dimmable When Used With a Electronic low voltage (ELV) dimmer Dimmer (Not Included)
- Dimmer Range: 100 - 10%
- ADA compliant
- ETL Listed Wet
- Warranty: 5 Year Functional, 2 Year Finish
- Made In China

Dimensions

One-Way Light Option Fixture: Width 4.5", Height 10", Depth 4", Diameter 3"
 One-Way Light Option Wall Plate: Width 4.5", Height 5.5", Depth 0.5"
 Two-Way Light Option Fixture: Width 4.5", Height 14", Depth 4", Diameter 3"
 Two-Way Light Option Wall Plate: Width 4.5", Height 5.5", Depth 0.5"

Lighting

- One-Way Light Option: 11 Watt (735 Lumens) 120 Volt Integrated LED; CRI: 90 Color Temp: 3000K Lifespan: 72000 hours
- Two-Way Light Option: 21 Watt (1500 Lumens) 120 Volt Integrated LED; CRI: 90 Color Temp: 3000K Lifespan: 72000 hours

Additional Details

Product URL:
<https://www.lumens.com/caliber-led-outdoor-wall-sconce-by-dweled-DWEP154866.html>
 Rating: ETL Listed Wet

Product ID: DWEP154866

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:



Created November 18th, 2020



Notes:



3 PROPOSED EXTERIOR WALL SCONCE @ EXT. SIDE DOORS
 SCALE: N.T.S.

Lightology Cylinder Adjustable Double Outdoor Wall Light

SPEC #

WAC1206436



BRAND

WAC Lighting

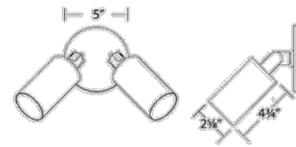
DESCRIPTION

The Cylinder Adjustable Double Outdoor Wall Light provides bright, energy-efficient spot lighting from its sleek, cylindrical housings. The adjustable cylinders house integrated LED light sources with TIR reflectors, and they can be aimed independently with its grooved swivel joint. Can be mounted on wall or ceiling. Dimmable 100% to 10% with ELV dimmers.



Shown in: Bronze

SHADE COLOR	N/A
BODY FINISH	Bronze
WATTAGE	33W
DIMMER	Low Voltage Electronic
DIMENSIONS	5"W x 5"H x 5"D
INTEGRATED LED MODULE	
LAMP	2 x LED/65W/120V LED
Technical Information	
LUMINOUS FLUX	2770 lumens
LUMENS/WATT	131.52
LAMP COLOR	3000K
COLOR RENDERING	90 CRI
SPEC #	WAC1206436



COMPANY	PROJECT	FIXTURE TYPE	APPROVED BY	DATE

LIGHTOLOGY.COM | RUSHQUOTES@LIGHTOLOGY.COM Oct 03, 2024 | 1.866.954.4489

2 PROPOSED EXTERIOR WALL SCONCE @ BACK DECK
 SCALE: N.T.S.

Lightology Alumilux Line Linear Outdoor Wall Sconce

SPEC #

ET21072450



BRAND

E12

DESCRIPTION

The Alumilux Line 120V Outdoor Wall Sconce is a linear sconce featuring aluminum construction and indirect lighting. Can be mounted in a vertical or horizontal position.



Shown in: Bronze

SHADE COLOR	N/A
BODY FINISH	Bronze
WATTAGE	33W
DIMMER	Low Voltage Electronic
DIMENSIONS	4.5"W x 2.4"H x 2.25"D
INTEGRATED LED MODULE	
LAMP	2 x LED/65W/120V LED
Technical Information	
LUMINOUS FLUX	1040 lumens
LUMENS/WATT	160.00
LAMP COLOR	3000K
COLOR RENDERING	90 CRI
SPEC #	ET21072450

COMPANY	PROJECT	FIXTURE TYPE	APPROVED BY	DATE

LIGHTOLOGY.COM | RUSHQUOTES@LIGHTOLOGY.COM Sep 25, 2024 | 1.866.954.4489

1 PROPOSED EXTERIOR WALL SCONCE @ ENTRY
 SCALE: N.T.S.

CURTIS RESIDENCE
 3158 DON LANE
 PEBBLE BEACH, CA
 93953



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 EMAIL: SAMUELPITNICK@GMAIL.COM

REVISIONS DATE

REVISIONS	DATE

ARCHITECTURAL

PROPOSED SITE LIGHTING

Scale: SEE DWG.

Drawn By: SBP

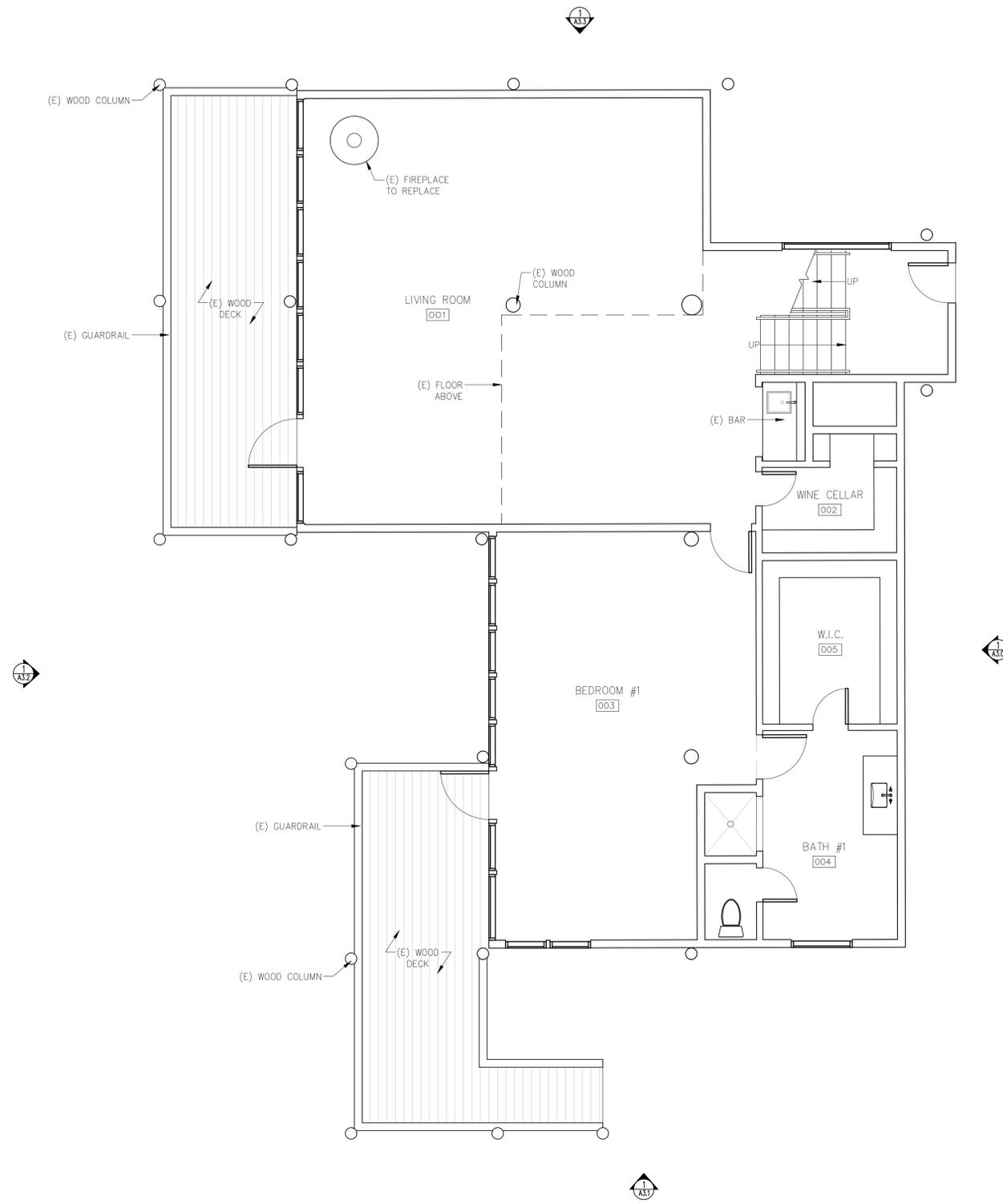
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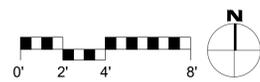
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WALL TYPE LEGEND:
 (E) WALL TO REMAIN
 (E) WALL TO REMOVE
 (P) WALL



1 EXISTING LOWER LEVEL FLOOR PLAN
 SCALE: 1/4"=1'-0"



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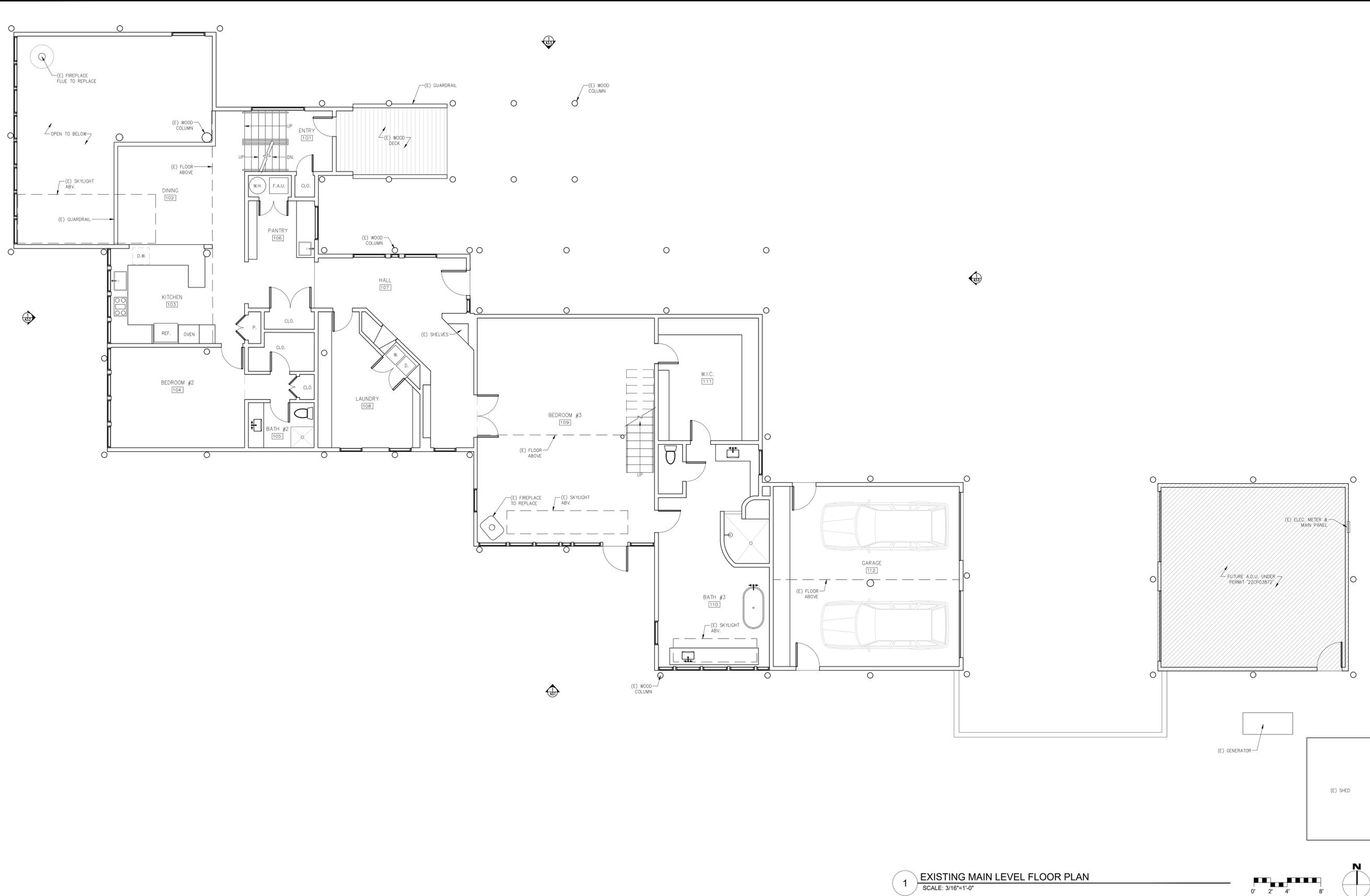
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ARCHITECTURAL
 EXISTING LOWER LEVEL FLOOR PLAN
 Scale: SEE DWG.
 Drawn By: SBP
 Job: -

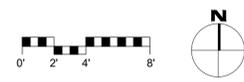
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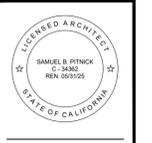


WALL TYPE LEGEND:
 (E) WALL TO REMAIN
 (E) WALL TO REMOVE
 (P) WALL

1 EXISTING MAIN LEVEL FLOOR PLAN
 SCALE: 3/16"=1'-0"



CURTIS RESIDENCE
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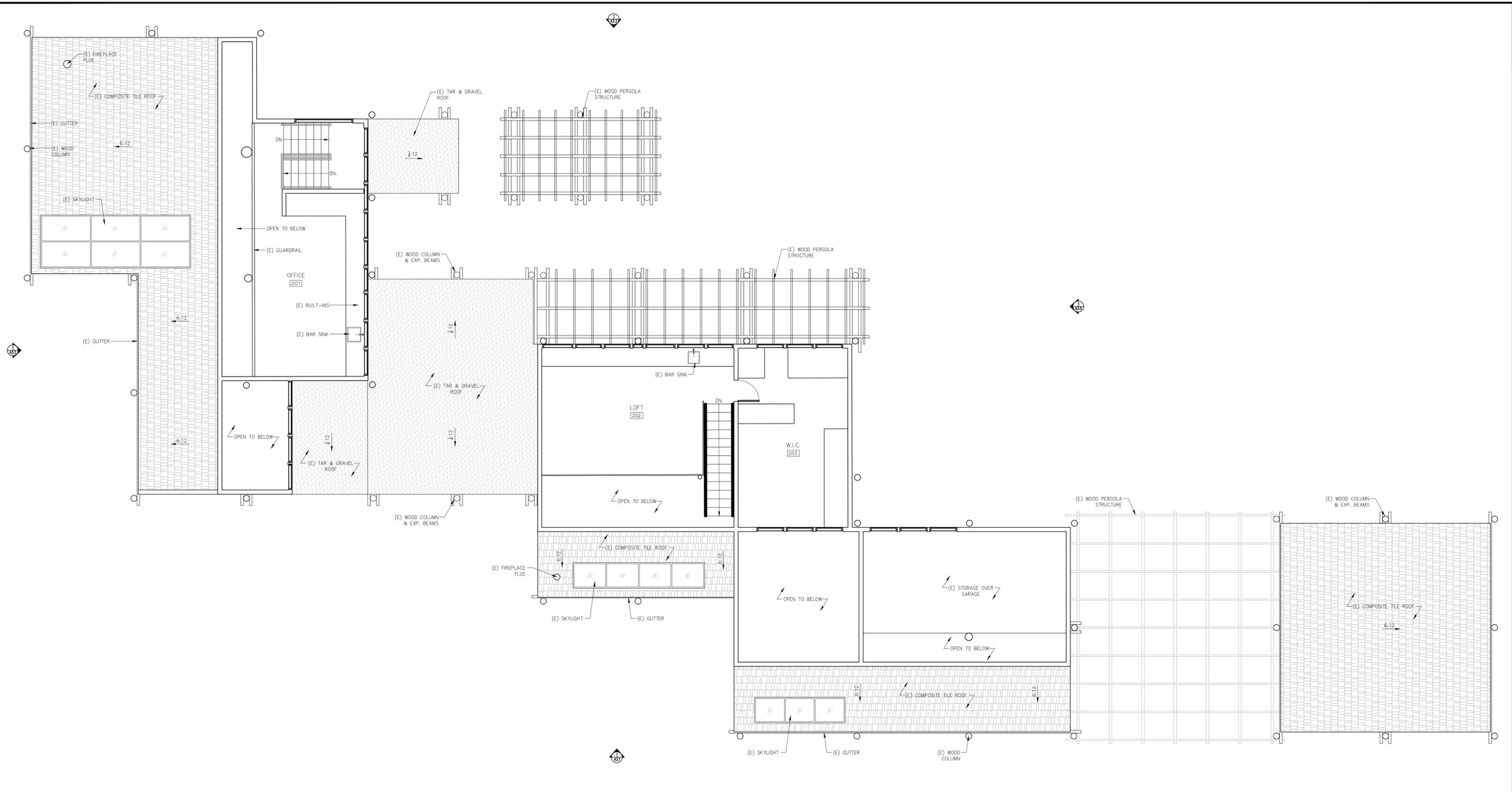
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ARCHITECTURAL
 EXISTING MAIN LEVEL FLOOR PLAN
 Scale: SEE DWG.
 Drawn By: SBP
 Job: -

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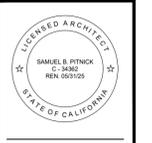


WALL TYPE LEGEND:
 (E) WALL TO REMAIN
 (E) WALL TO REMOVE
 (P) WALL

1 EXISTING UPPER LEVEL FLOOR PLAN
 SCALE: 3/16"=1'-0"



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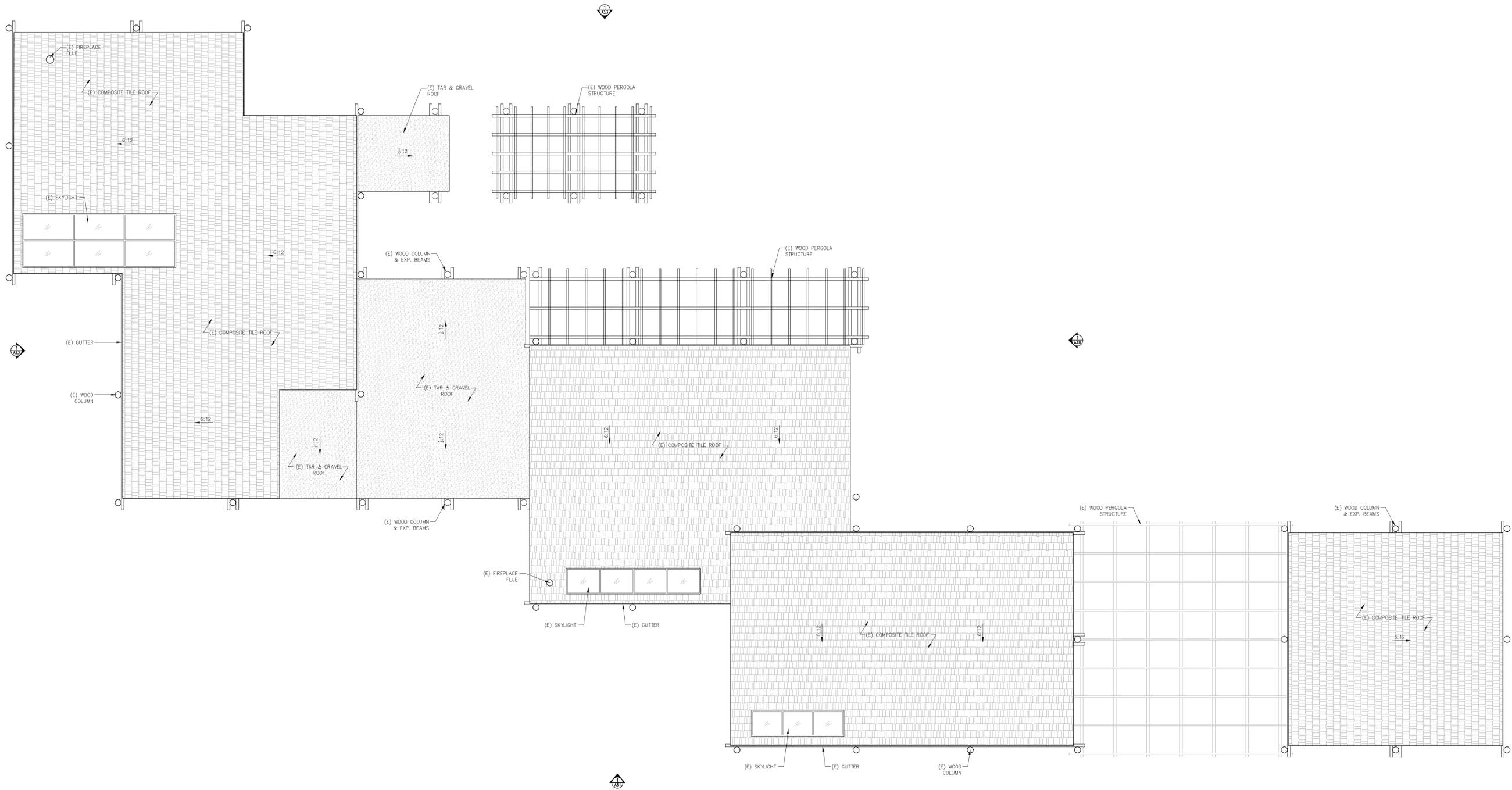
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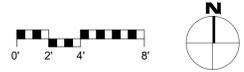
ARCHITECTURAL
 EXISTING
 UPPER LEVEL
 FLOOR PLAN
 Scale: SEE DWG.
 Drawn By: SBP
 Job: -

A2.2
 02/28/2025

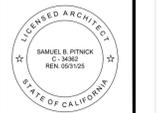
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1 EXISTING ROOF PLAN
SCALE: 3/16"=1'-0"



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REVISIONS DATE

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ARCHITECTURAL

EXISTING ROOF PLAN

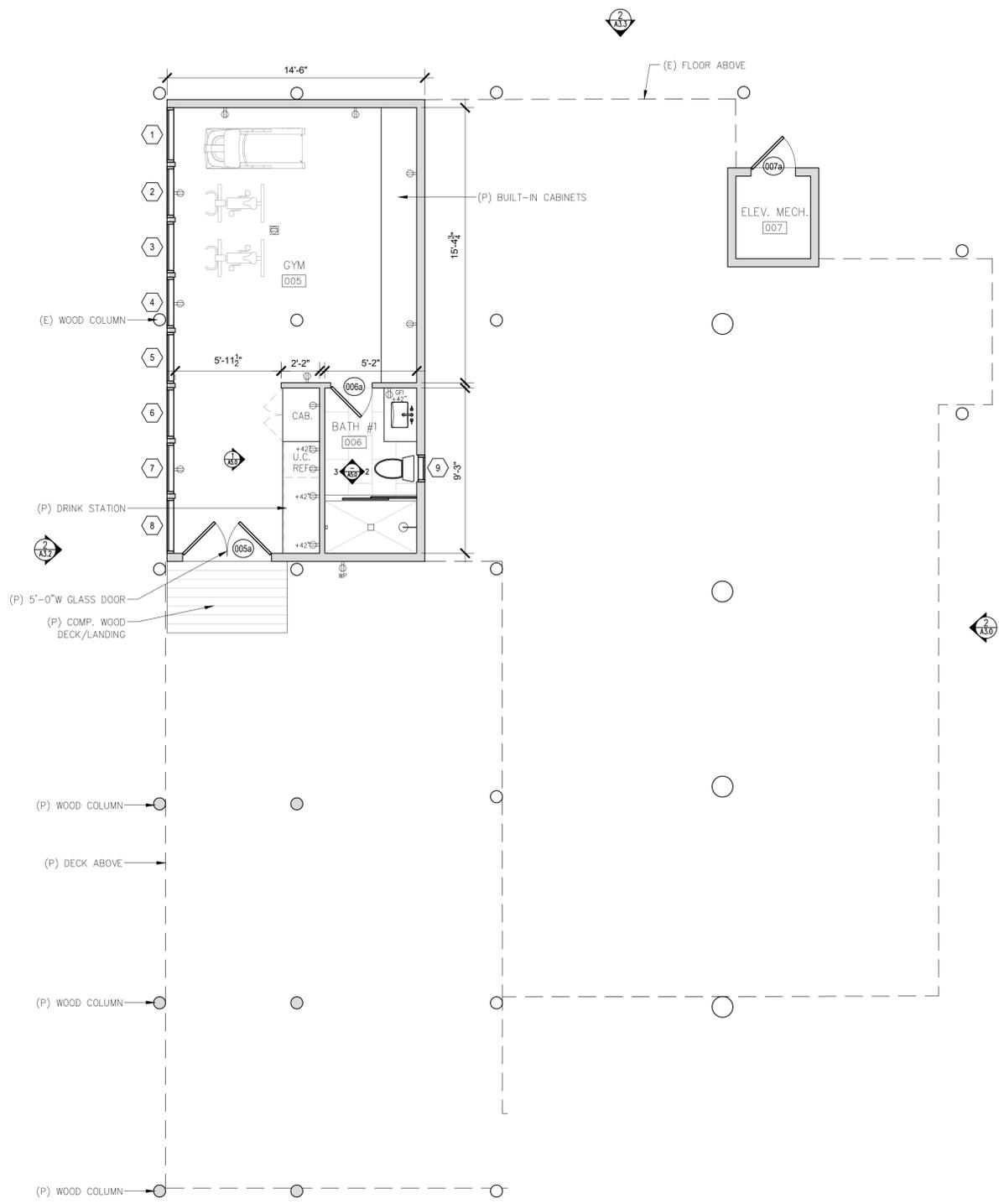
Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.3
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FLOOR PLAN SYMBOLS LEGEND

-  TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
-  TAMPER RESISTANT QUAD OUTLET
-  220V TAMPER RESISTANT DUPLEX OUTLET
-  TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
-  GROUND FAULT CIRCUIT INTERRUPT OUTLET
-  WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
-  TAMPER RESISTANT FLOOR OUTLET
-  GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
-  HOSE BIBB W/ ANTI-SIPHON DEVICE
-  THERMOSTATIC CONTROL FOR HEATING SYSTEM



- WALL TYPE LEGEND:
-  (E) WALL TO REMAIN
 -  (E) WALL TO REMOVE
 -  (P) WALL

1 PROPOSED GYM LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



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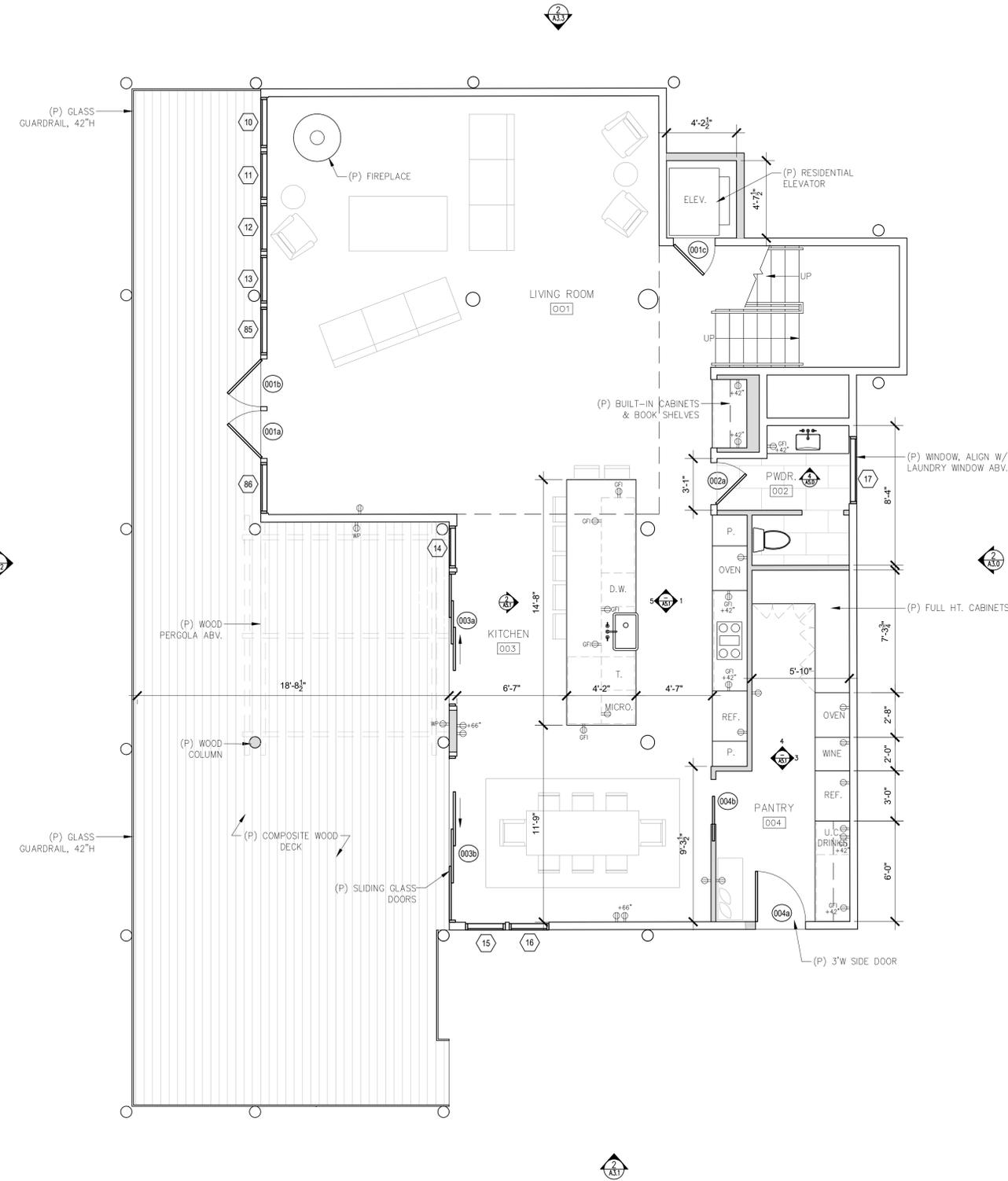
ARCHITECTURAL
PROPOSED GYM LEVEL FLOOR PLAN
Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.4
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FLOOR PLAN SYMBOLS LEGEND

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-  TAMPER RESISTANT QUAD OUTLET
-  220V TAMPER RESISTANT DUPLEX OUTLET
-  TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
-  GROUND FAULT CIRCUIT INTERRUPT OUTLET
-  WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
-  TAMPER RESISTANT FLOOR OUTLET
-  GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
-  HOSE BIBB W/ ANTI-SIPHON DEVICE
-  THERMOSTATIC CONTROL FOR HEATING SYSTEM

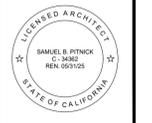


- WALL TYPE LEGEND:
-  (E) WALL TO REMAIN
 -  (E) WALL TO REMOVE
 -  (P) WALL

1 PROPOSED LOWER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



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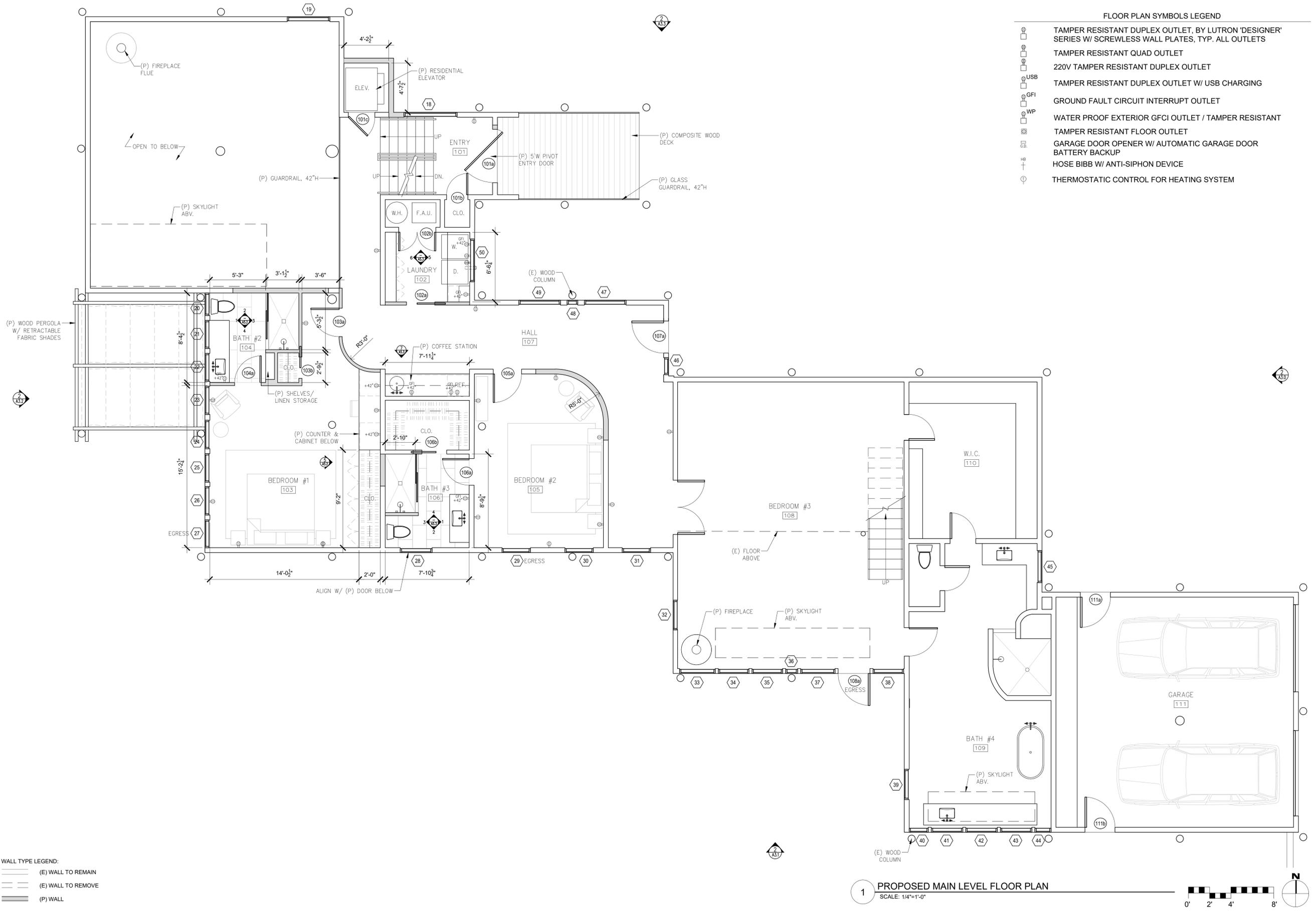
PROPOSED LOWER LEVEL FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.5

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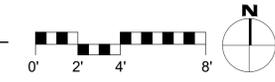
FLOOR PLAN SYMBOLS LEGEND

- TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
- TAMPER RESISTANT QUAD OUTLET
- 220V TAMPER RESISTANT DUPLEX OUTLET
- TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
- GROUND FAULT CIRCUIT INTERRUPT OUTLET
- WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
- TAMPER RESISTANT FLOOR OUTLET
- GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
- HOSE BIBB W/ ANTI-SIPHON DEVICE
- THERMOSTATIC CONTROL FOR HEATING SYSTEM

WALL TYPE LEGEND:

- (E) WALL TO REMAIN
- (E) WALL TO REMOVE
- (P) WALL

1 PROPOSED MAIN LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



CURTIS RESIDENCE
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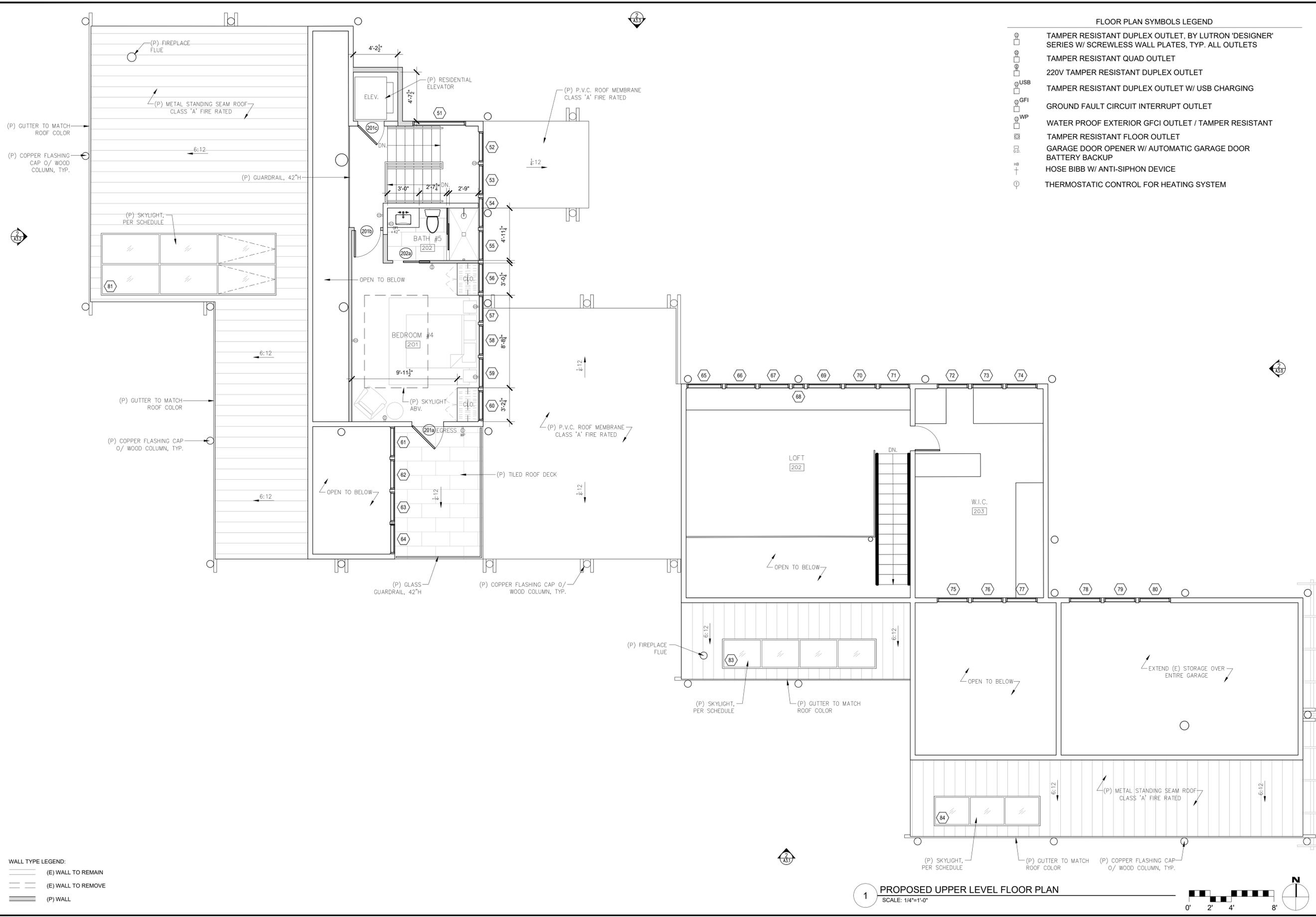
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PROPOSED MAIN LEVEL FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.6
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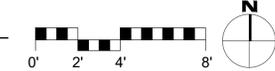
FLOOR PLAN SYMBOLS LEGEND

[Symbol]	TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
[Symbol]	TAMPER RESISTANT QUAD OUTLET
[Symbol]	220V TAMPER RESISTANT DUPLEX OUTLET
[Symbol]	TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
[Symbol]	GROUND FAULT CIRCUIT INTERRUPT OUTLET
[Symbol]	WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
[Symbol]	TAMPER RESISTANT FLOOR OUTLET
[Symbol]	GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
[Symbol]	HOSE BIBB W/ ANTI-SIPHON DEVICE
[Symbol]	THERMOSTATIC CONTROL FOR HEATING SYSTEM

WALL TYPE LEGEND:

[Solid Line]	(E) WALL TO REMAIN
[Dashed Line]	(E) WALL TO REMOVE
[Thick Solid Line]	(P) WALL

1 PROPOSED UPPER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



CURTIS RESIDENCE
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PEBBLE BEACH, CA
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EMAIL: SAMUEL@PITNICK.COM

REVISIONS	DATE

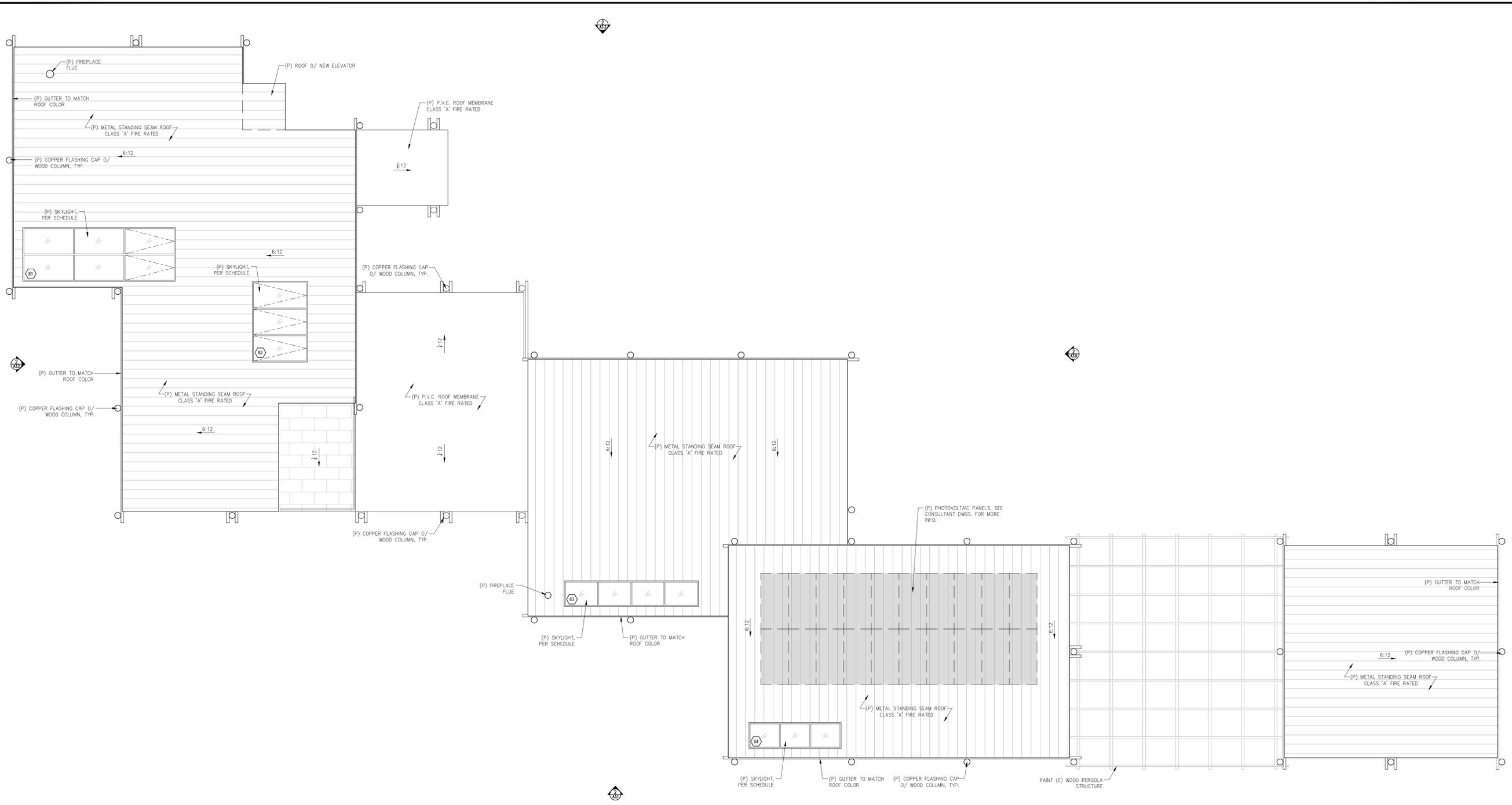
ARCHITECTURAL

PROPOSED UPPER LEVEL FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.7
02/28/2025

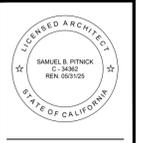
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1 PROPOSED ROOF PLAN
SCALE: 3/16"=1'-0"



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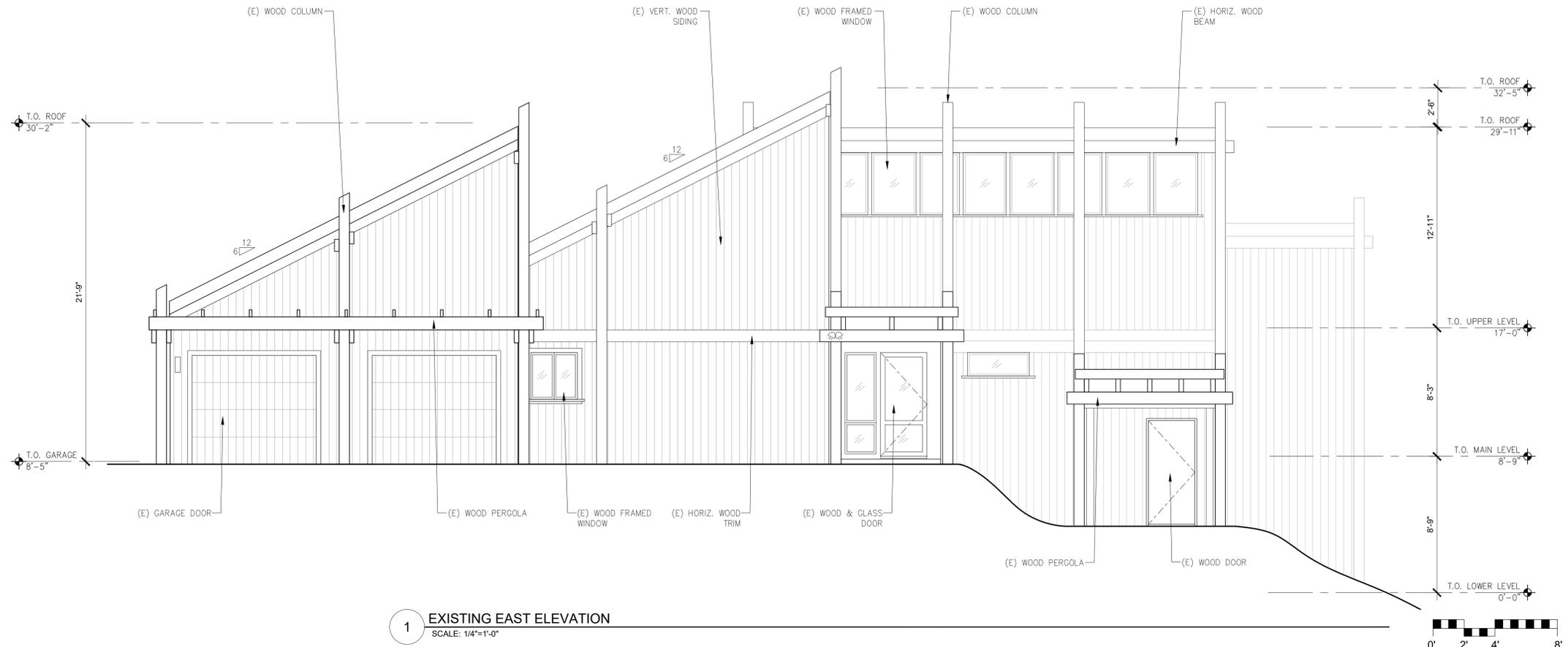
PROPOSED ROOF PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

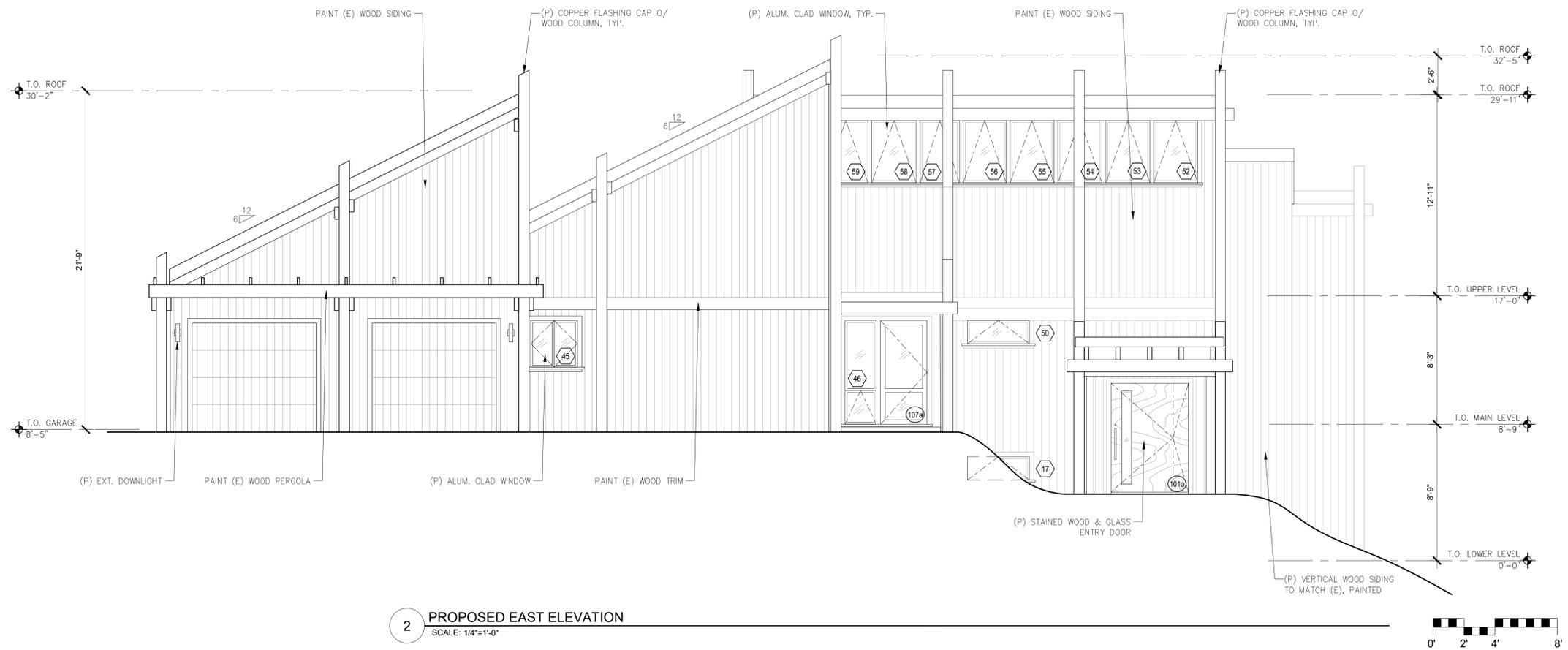
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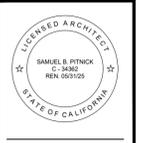


1 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

CURTIS RESIDENCE
3158 DON LANE
PEBBLE BEACH, CA
93953



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PHONE: (831) 241-1885
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REVISIONS	DATE

ARCHITECTURAL

BUILDING ELEVATIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

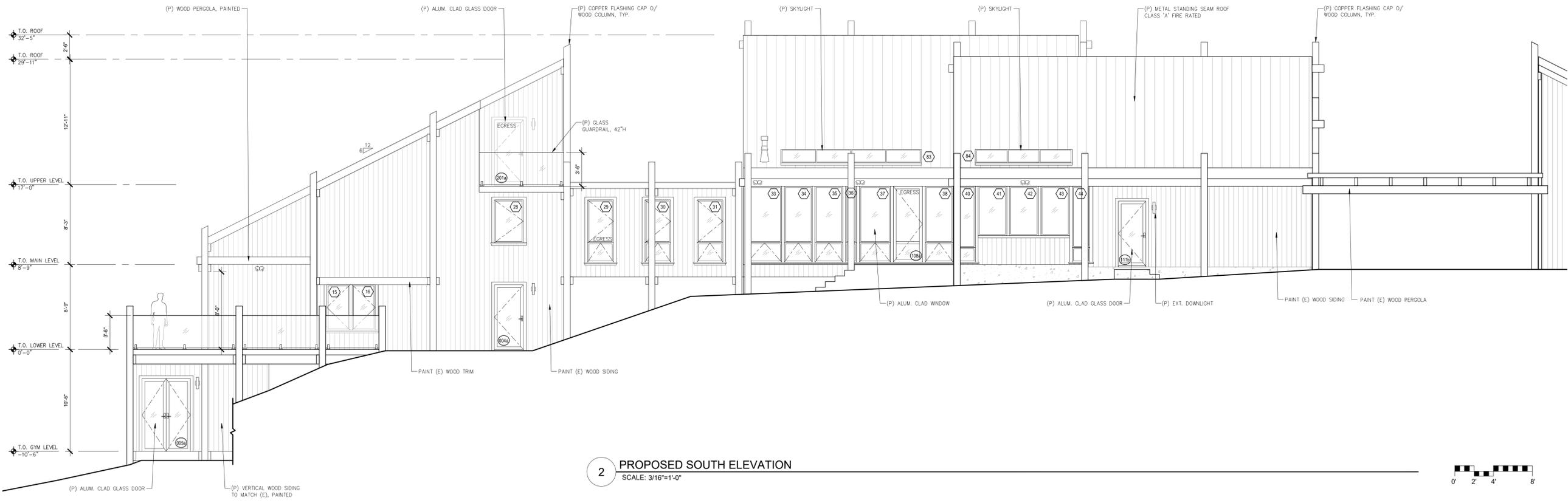
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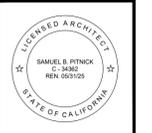


1 EXISTING SOUTH ELEVATION
SCALE: 3/16"=1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 3/16"=1'-0"

CURTIS RESIDENCE
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PEBBLE BEACH, CA
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REVISIONS	DATE

ARCHITECTURAL
BUILDING ELEVATIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

A3.1

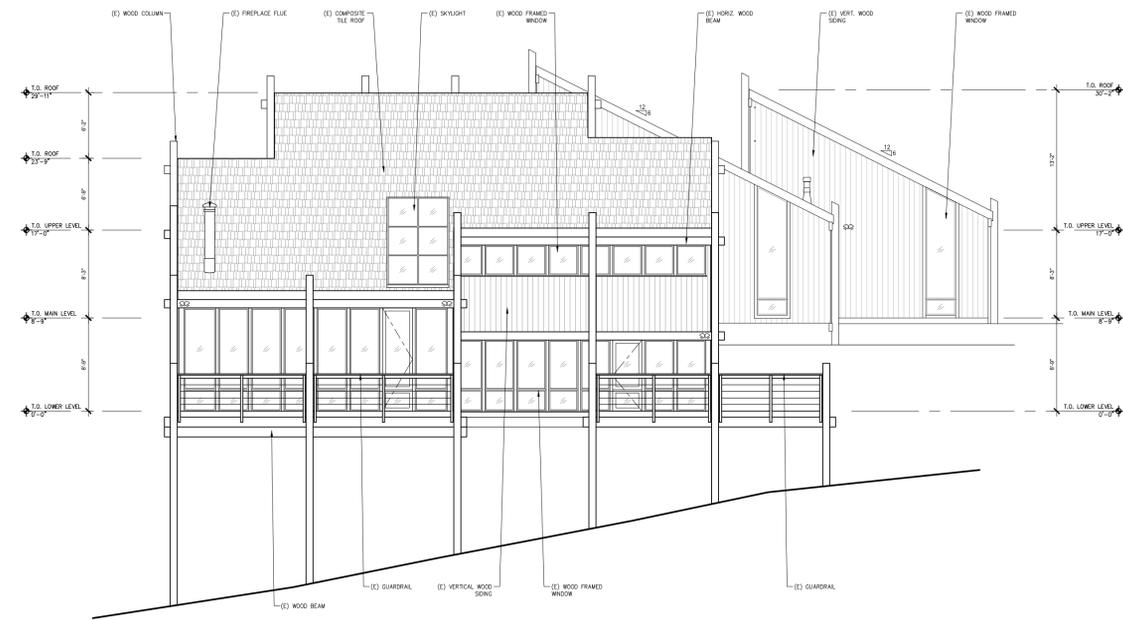
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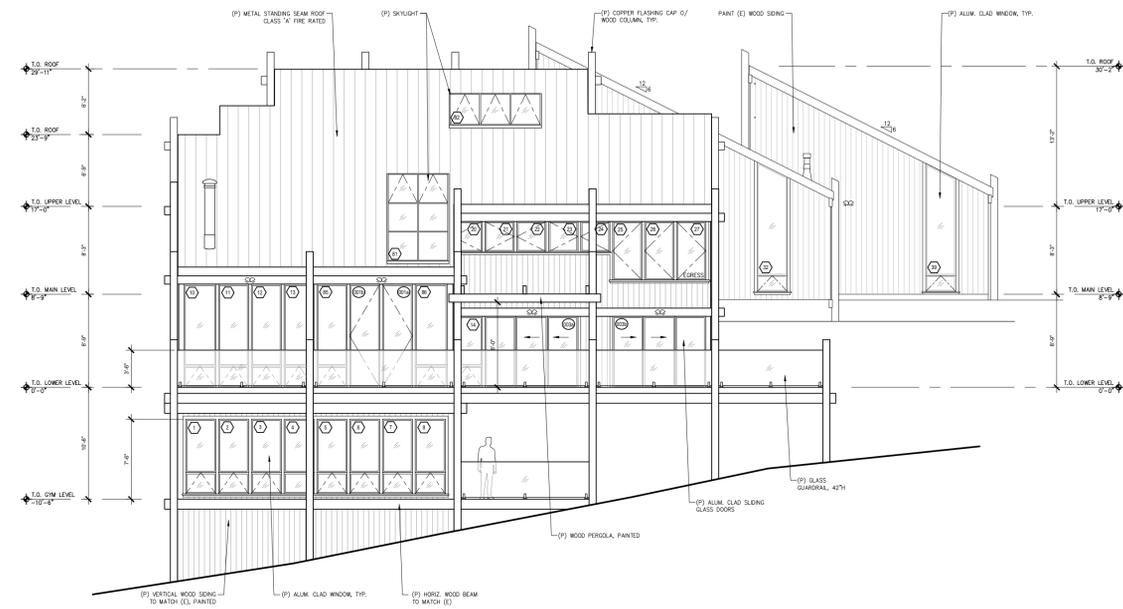
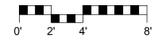
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PHONE: (831) 241-1885
EMAIL: SAMUEL@PITNICK.COM



1 EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/8"=1'-0"



REVISIONS DATE

REVISIONS	DATE

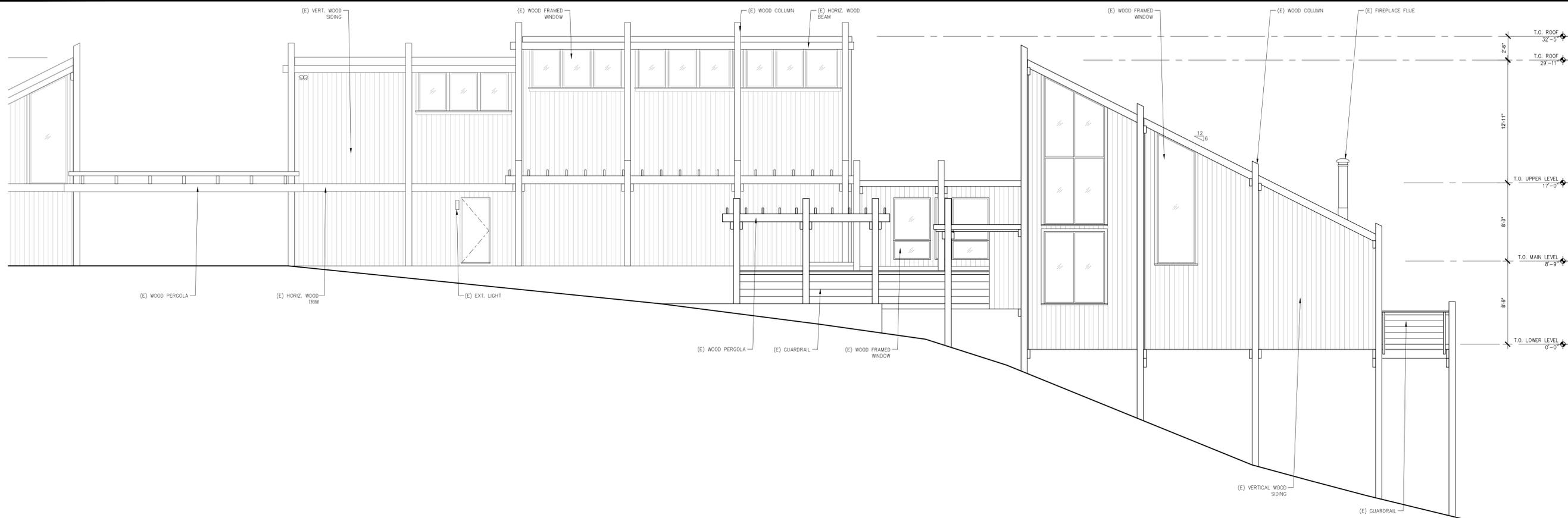
**ARCHITECTURAL
BUILDING
ELEVATIONS**

Scale: SEE DWG.
Drawn By: SBP
Job: -

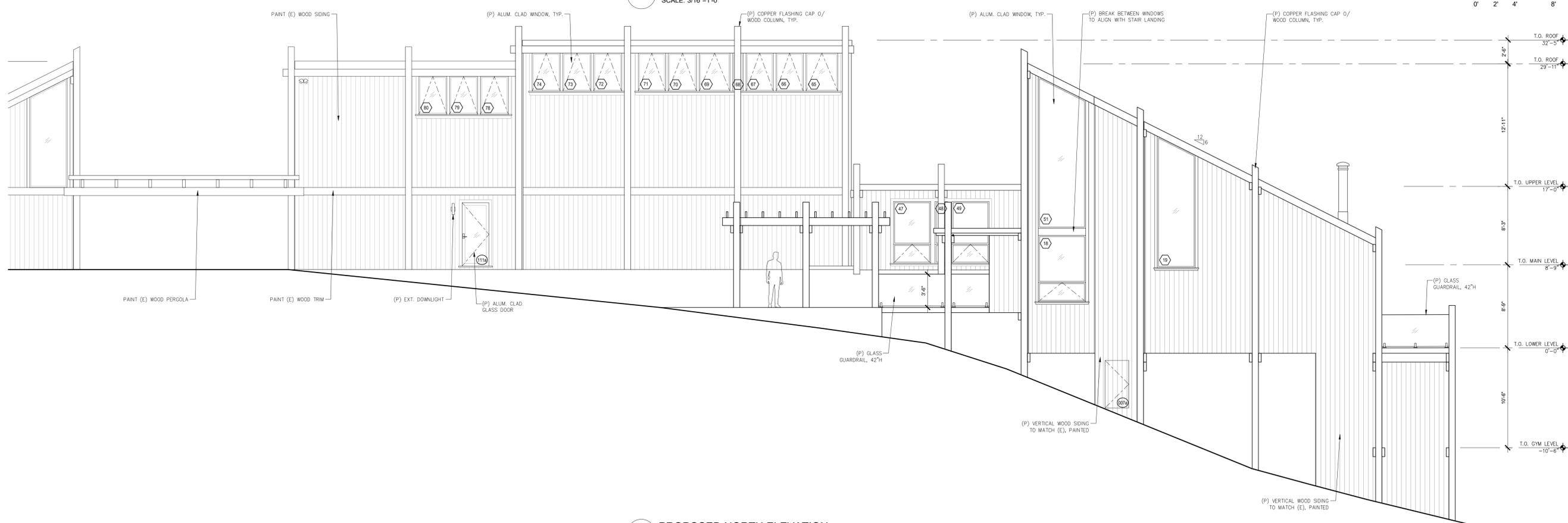
A3.2

02/28/2025

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

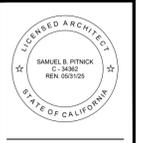


1 EXISTING NORTH ELEVATION
SCALE: 3/16"=1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 3/16"=1'-0"

CURTIS RESIDENCE
3158 DON LANE
PEBBLE BEACH, CA
93953



SAMUEL PITNICK ARCHITECTS
P.O. BOX 22412, CARMEL, CA 93922
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REVISIONS	DATE

ARCHITECTURAL
BUILDING ELEVATIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

A3.3
02/28/2025

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

WINDOW SCHEDULE (CONTINUED)							
TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
42	3'-0"	5'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
43	3'-0"	5'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
44	1'-8"	7'-10"		GLASS	ALUM. CLAD	FIXED/FIXED	TEMPERED GLAZING
45	3'-0"	3'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
46	2'-0"	6'-8"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
47	4'-0"	6'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
48	1'-4"	6'-6"		GLASS	ALUM. CLAD	FIXED/FIXED	TEMPERED GLAZING
49	4'-0"	6'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
50	4'-0"	1'-6"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
51	5'-0"	VARIABLE		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
52	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
53	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
54	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
55	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
56	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
57	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
58	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
59	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
60	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
61	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
62	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
63	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
64	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
65	3'-4"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
66	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
67	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
68	1'-2"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
69	3'-3"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
70	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
71	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
72	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
73	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
74	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
75	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
76	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
77	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
78	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
79	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
80	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
81	5'-10"	16'-6"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING, OPERABLE
82	8'-8"	6'-0"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING, OPERABLE W/ BLACKOUT SHADES
83	14'-6"	3'-0"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING
84	10'-0"	3'-0"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING
85	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
86	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING

EXTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
001a	2'-10"	9'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING
001b	2'-10"	9'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING
003a	8'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SLIDING	TEMPERED GLAZING
003b	9'-11"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SLIDING	TEMPERED GLAZING
004a	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING
005a	5'-0"	7'-6"	-	ALUM. CLAD/GLASS	ALUM. CLAD	FRENCH	TEMPERED GLAZING
007a	2'-8"	5'-0"	-	WOOD	WOOD	SWING	TO MATCH ADJ. SIDING
101a	5'-0"	7'-0"	-	WOOD/GLASS	WOOD	PIVOT	TEMPERED GLAZING
107a	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING
108a	3'-0"	7'-10"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING, EGRESS
111a	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING, OBSCURE
111b	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING, OBSCURE
201a	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING, EGRESS

INTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
001c	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	VERIFY SIZE W/ ELEV. MANUF.
002a	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
004b	2'-8"	6'-8"	1.75"	WOOD	WOOD	POCKETING	
006a	2'-4"	6'-8"	1.75"	WOOD	WOOD	SWING	
101b	2'-0"	6'-8"	1.75"	WOOD	WOOD	SWING	
101c	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	VERIFY SIZE W/ ELEV. MANUF.
102a	2'-8"	6'-8"	1.75"	WOOD	WOOD	POCKETING	
102b	3'-6"	6'-8"	1.75"	WOOD	WOOD	FRENCH/CLOSET	
103a	2'-8"	6'-8"	1.75"	WOOD	WOOD	SWING	
103b	2'-0"	6'-8"	1.75"	WOOD	WOOD	POCKETING	
104a	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
105a	2'-8"	6'-8"	1.75"	WOOD	WOOD	SWING	
106a	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
106b	2'-4"	6'-8"	1.75"	WOOD	WOOD	POCKETING	
201b	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
201c	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	VERIFY SIZE W/ ELEV. MANUF.
202a	2'-6"	6'-8"	1.75"	WOOD	WOOD	POCKETING	

WINDOW SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
1	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
2	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
3	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
4	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
5	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
6	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
7	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
8	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
9	1'-6"	3'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
10	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
11	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
12	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
13	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
14	2'-6"	6'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
15	2'-4"	4'-8"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
16	2'-4"	4'-8"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
17	4'-0"	1'-6"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
18	5'-0"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
19	4'-0"	VARIABLE		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
20	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
21	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
22	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
23	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
24	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
25	2'-10"	5'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
26	2'-10"	5'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
27	2'-10"	5'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING, EGRESS
28	3'-0"	4'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
29	2'-8"	6'-6"		GLASS	ALUM. CLAD	CASEMENT/AWNING	TEMPERED GLAZING, EGRESS
30	2'-8"	6'-6"		GLASS	ALUM. CLAD	CASEMENT/AWNING	TEMPERED GLAZING
31	2'-8"	6'-6"		GLASS	ALUM. CLAD	CASEMENT/AWNING	TEMPERED GLAZING
32	3'-0"	VARIABLE		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
33	3'-4"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
34	2'-10"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
35	2'-10"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
36	1'-2"	7'-10"		GLASS	ALUM. CLAD	FIXED/FIXED	TEMPERED GLAZING
37	2'-10"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
38	2'-10"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
39	3'-0"	VARIABLE		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
40	1'-8"	7'-10"		GLASS	ALUM. CLAD	FIXED/FIXED	TEMPERED GLAZING
41	3'-0"	5'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING

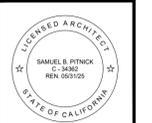
WINDOW & EXTERIOR DOOR NOTES

- WINDOWS & DOORS ARE BY 'KOLBE - VISTALUX' (OR APP'VD EQUAL)
GLAZING: DUAL GLAZING, ARGON GAS, LOWE2
EXTERIOR MTL: DARK BRONZE ALUM.
INTERIOR MTL: STAIN GRADE WOOD
- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE
FIELD CONDITIONS PRIOR TO ORDERING WINDOWS & DOORS.
- ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
- ALL OPERABLE WINDOWS TO BE PROVIDED WITH SCREENS.
- REQUIRED SAFETY GLAZING SHALL CONFIRM TO THE HUMAN IMPACT
LOADS PER CRC SECTIONS R308.3 & R308.4.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE
PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
(A) THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER
THAN 9 SQUARE FEET ; AND
(B) THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18
INCHES ABOVE THE FLOOR; AND
(C) THE TOP EDGE OF THE GLAZING IS MORE THAN 36
INCHES ABOVE THE FLOOR; AND
(D) ONE OR MORE WALKING SURFACES ARE WITHIN 36
INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE
GLAZING; AND
(E) GLAZING IN ENCLOSURES FOR, OR WALLS FACING BATHTUBS
& SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS
THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR
WALKING SURFACE.
(F) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND
BI-FOLD DOOR ASSEMBLIES.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE
PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE
IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND
WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR
OR WALKING SURFACE.
- CONTRACTOR TO PROVIDE SHOP DRAWING TO ARCHITECT FOR
REVIEW PRIOR TO ORDERING DOORS AND WINDOWS.
- ALL WINDOWS TO BE DUAL GLAZED - ARGON FILLED WITH THERMAL
SPACER
- MIN. U-VALUE & SGHC = PER TITLE 24 CALCULATIONS
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE
MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE,
GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20
MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET
THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE
CONSTRUCTION OR IGNITIONRESISTANT MATERIAL, SOLID CORE
WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK
WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1- 1/4 INCHES
THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20
MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE
REQUIREMENTS OF SFM-7A-1. [§R327.8.3]

SKYLIGHT NOTES

- SKYLIGHTS ARE BY "VELUX" (OR APP'VD EQUAL)
- SKYLIGHTS SHALL HAVE SOLAR SHADING DEVICES INSTALLED.
- SKYLIGHTS SHALL USE NON-REFLECTIVE GLASS TO MINIMIZE THE
AMOUNT OF LIGHT AND GLARE VISIBLE FROM ADJOINING PROPERTIES.
- SKYLIGHTS SHALL BE FLAT IN PROFILE.
- SKYLIGHT FLASHING SHALL MATCH THE ADJACENT ROOF COLOR.

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REVISIONS	DATE

ARCHITECTURAL
DOOR & WINDOW SCHEDULES

Scale: SEE DWG.
Drawn By: SBP
Job: -

A4.0
02/28/2025



PROJECT NAME:

CURTIS RESIDENCE

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

APN: 008-361-024-000

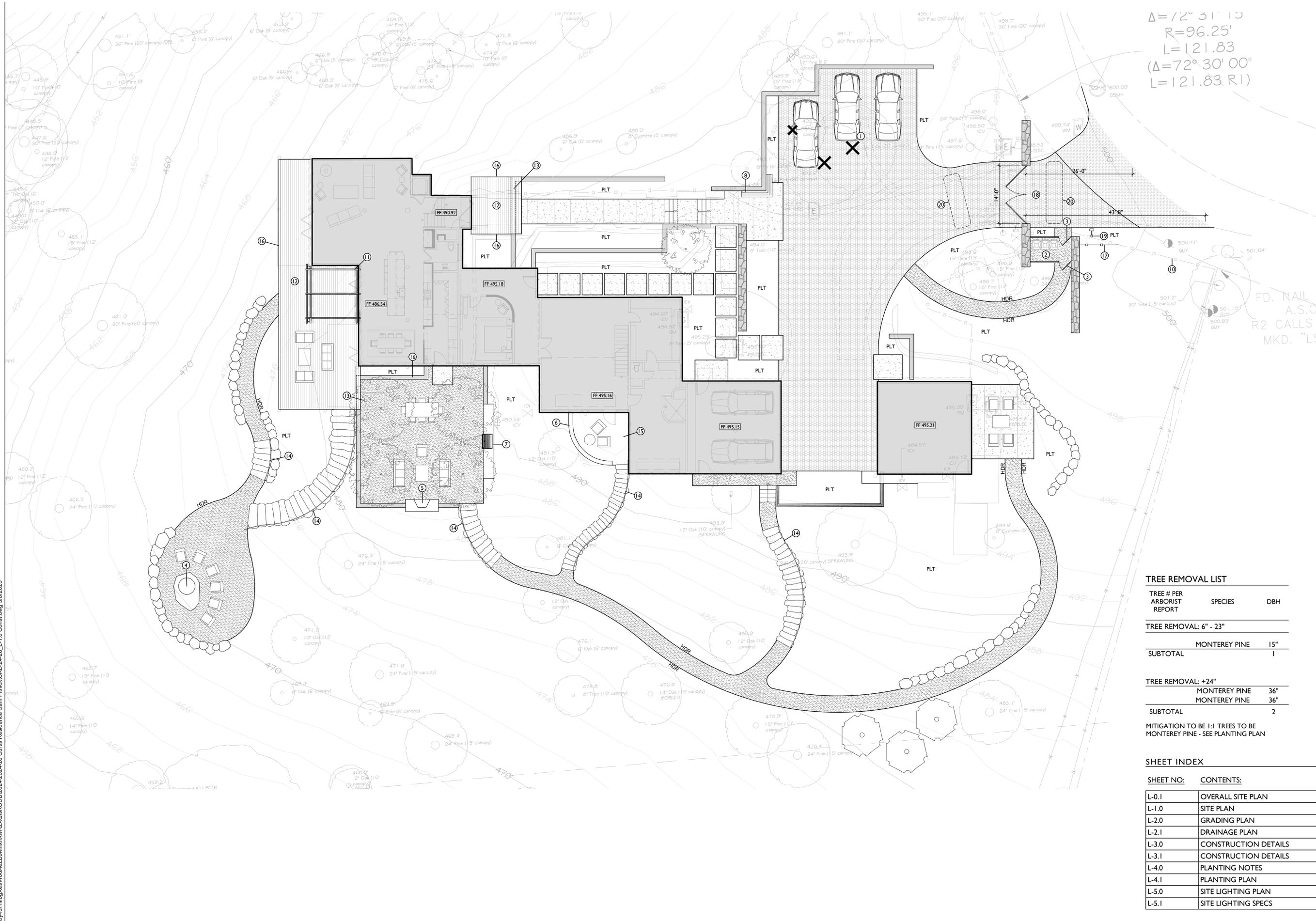
$$\Delta = 72^\circ 31' 13''$$

$$R = 96.25'$$

$$L = 121.83'$$

$$(\Delta = 72^\circ 30' 00''$$

$$L = 121.83 R1)$$



TREE REMOVAL LIST

TREE # PER ARBORIST REPORT	SPECIES	DBH
----------------------------	---------	-----

TREE REMOVAL: 6" - 23"

SUBTOTAL	MONTEREY PINE	15"
		1

TREE REMOVAL: +24"

SUBTOTAL	MONTEREY PINE	36"	MONTEREY PINE	36"
		2		

MITIGATION TO BE 1:1 TREES TO BE MONTEREY PINE - SEE PLANTING PLAN

SHEET INDEX

SHEET NO: CONTENTS:

L-0.1	OVERALL SITE PLAN
L-1.0	SITE PLAN
L-2.0	GRADING PLAN
L-2.1	DRAINAGE PLAN
L-3.0	CONSTRUCTION DETAILS
L-3.1	CONSTRUCTION DETAILS
L-4.0	PLANTING NOTES
L-4.1	PLANTING PLAN
L-5.0	SITE LIGHTING PLAN
L-5.1	SITE LIGHTING SPECS

ISSUANCE:

PLANNING DEPARTMENT
SUBMITTAL

PROJECT NO: 2024-26

DATE: 05/06/2025

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

OVERALL SITE PLAN

SHEET NO:

SCALE: 1" = 10'-0"





PROJECT NAME:

CURTIS RESIDENCE

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

APN: 008-361-024-000

ISSUANCE:

PLANNING DEPARTMENT SUBMITTAL

PROJECT NO: 2024-26

DATE: 05/06/2025

REVISIONS:

DATE	DESCRIPTION

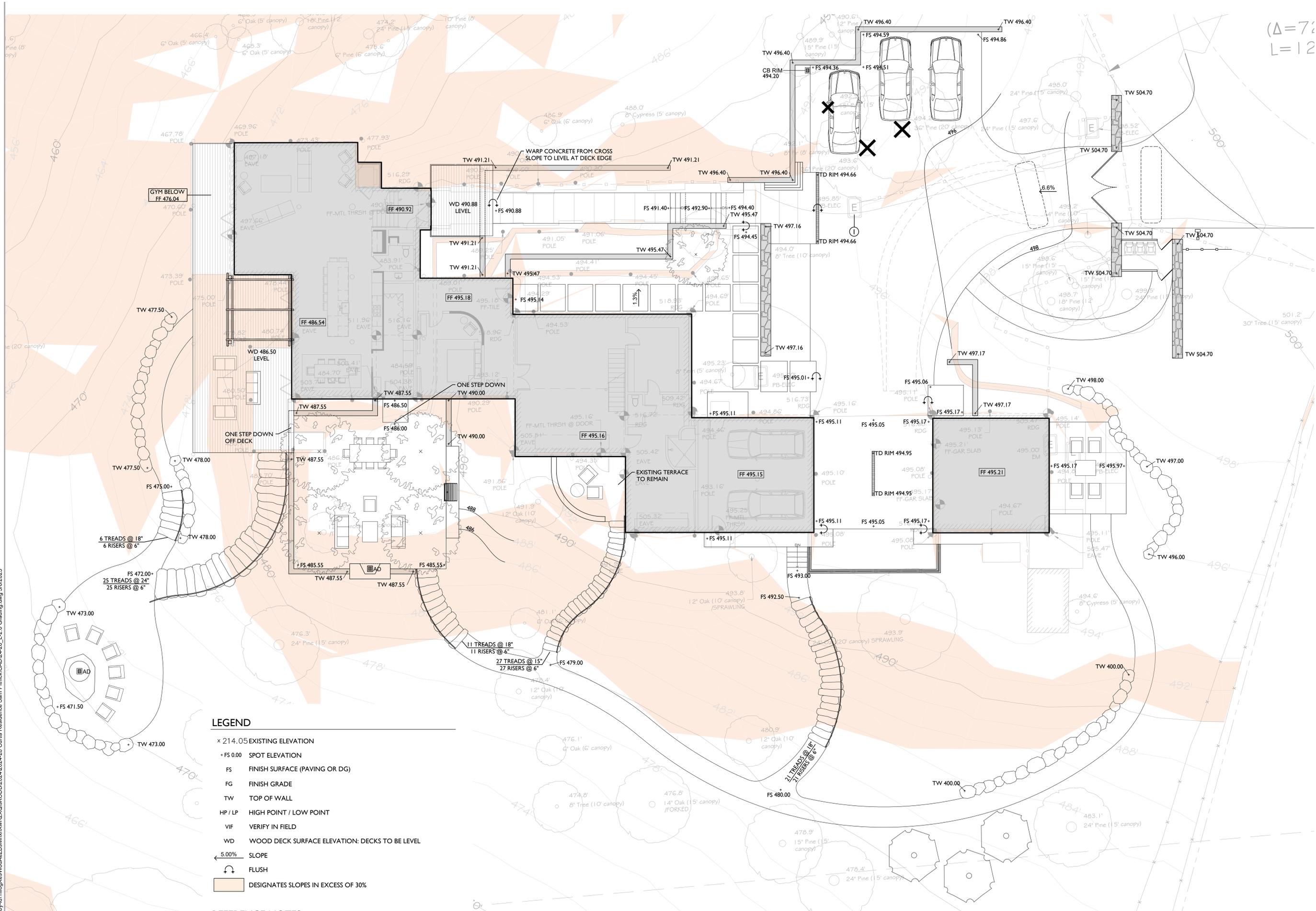
SHEET NAME:

GRADING PLAN

SHEET NO:

L-2.0

(Δ=7'
L=12'



LEGEND

- × 214.05 EXISTING ELEVATION
- + FS 0.00 SPOT ELEVATION
- FS FINISH SURFACE (PAVING OR DG)
- FG FINISH GRADE
- TW TOP OF WALL
- HP / LP HIGH POINT / LOW POINT
- VIF VERIFY IN FIELD
- WD WOOD DECK SURFACE ELEVATION: DECKS TO BE LEVEL
- ← 5.00% SLOPE
- ↻ FLUSH
- DESIGNATES SLOPES IN EXCESS OF 30%

REFERENCE NOTES

- ① ADJUST UTILITY BOX TO NEW FINISH GRADE - CONTRACTOR TO VERIFY IF BOX COULD BE RELOCATED.

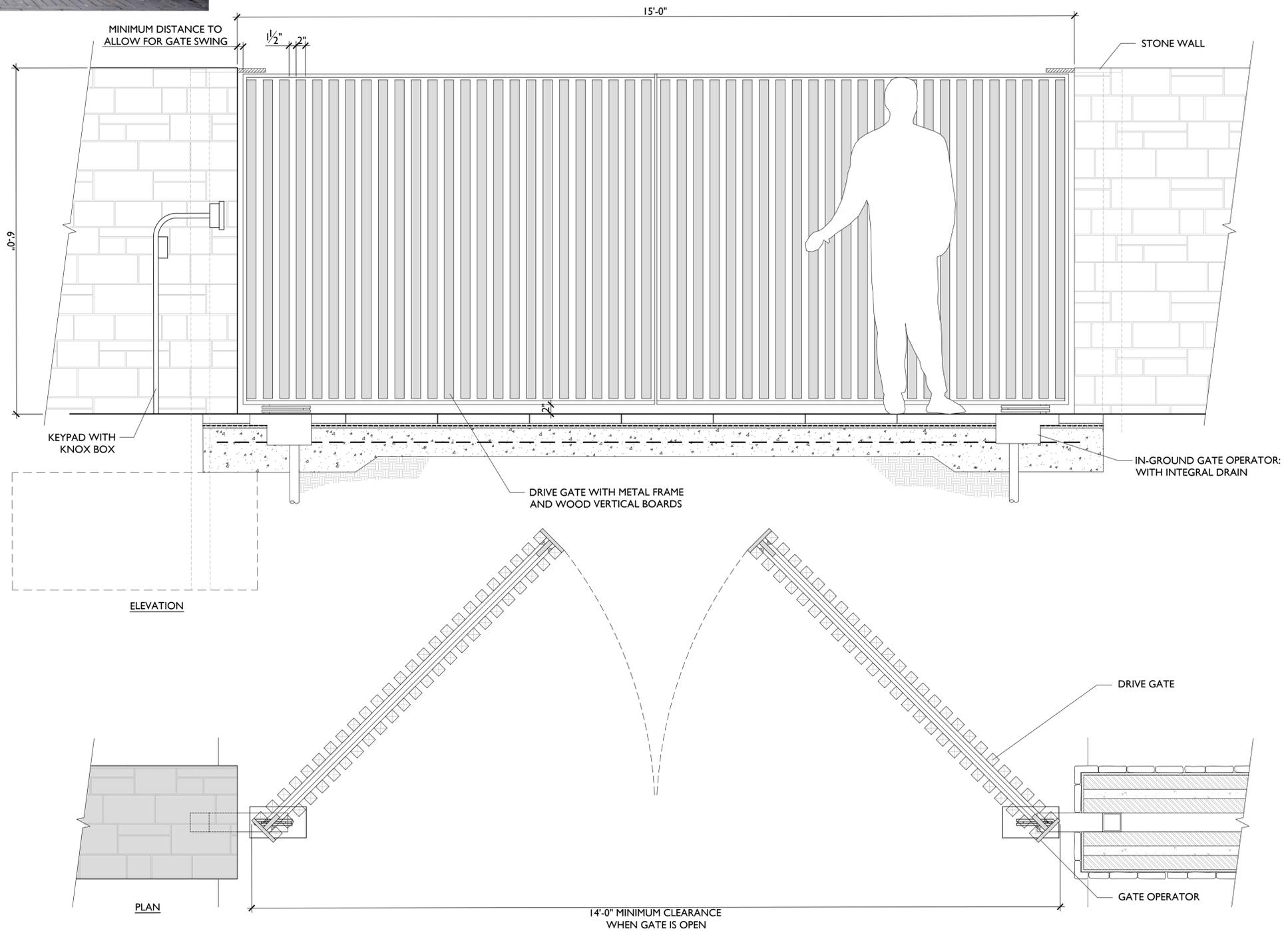
SCALE: 1/8" = 1'-0"



G:\shortcuts\targets-by-h1\110103\Xs9W64AZB9\mxd\2024-26_Curtis Residence Sam Plimack\CAD\24-26_L-2.0 Grading.dwg 5/16/2025



DRIVE GATE INSPIRATION



I DRIVE GATE
1" = 1'-0"



PROJECT NAME:

CURTIS RESIDENCE

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

APN: 008-361-024-000

ISSUANCE:

PLANNING DEPARTMENT
SUBMITTAL

PROJECT NO: 2024-26

DATE: 05/06/2025

REVISIONS:

DATE	DESCRIPTION

SHEET NAME:

CONSTRUCTION
DETAILS

SHEET NO:



PROJECT NAME:

**CURTIS
RESIDENCE**

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

APN: 008-361-024-000

ISSUANCE:
PLANNING DEPARTMENT
SUBMITTAL

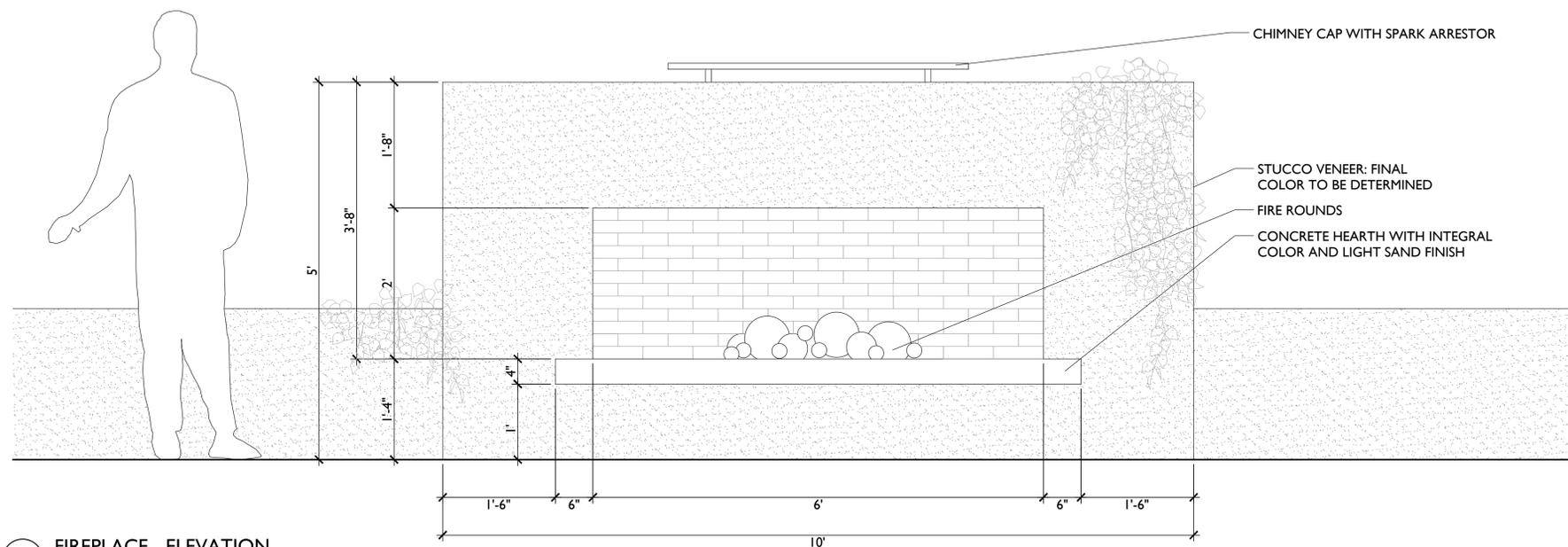
PROJECT NO: 2024-26
DATE: 05/06/2025

REVISIONS:
DATE DESCRIPTION

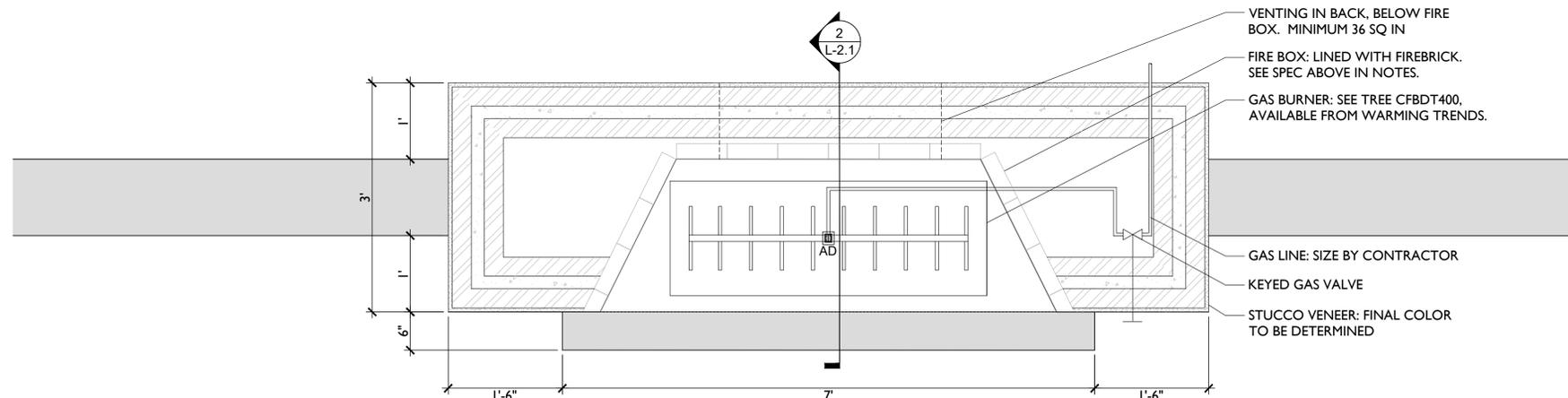
SHEET NAME:

**CONSTRUCTION
DETAILS**

SHEET NO:



2 FIREPLACE - ELEVATION
1" = 1'-0"



1 FIREPLACE - PLAN
1" = 1'-0"



INSPIRATION



PROJECT NAME:

CURTIS RESIDENCE

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

APN: 008-361-024-000

ISSUANCE:

PLANNING DEPARTMENT SUBMITTAL

PROJECT NO: 2024-26
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DATE	DESCRIPTION
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SHEET NAME:

PLANTING NOTES

SHEET NO:

GENERAL NOTES

- ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- CONTRACTOR TO TAKE SAMPLES OF PLANTING AREA SOIL, FROM 0"-12" DEEP FROM AT LEAST THREE SEPARATE LOCATIONS FROM PLANTING AREAS ON THE SITE, MIXED TO FORM A SINGLE COMPOSITE SAMPLE. COMBINED VOLUME OF COMPOSITE SAMPLE SHALL BE AT LEAST 1-QUART. SAMPLE LOCATIONS SHALL BE MARKED ON THE PLANTING PLAN AND SHALL BE REPRESENTATIVE OF SITE CONDITIONS AND PROPOSED PLANTING TYPES.
- FORWARD THE COMPOSITE SAMPLES TO THE TESTING LABORATORY FOR TESTING AND THEIR RECOMMENDATIONS AS TO EXACT FERTILIZERS AND SOIL AMENDMENTS TO BE USED IN PLANTING. WAYPOINT ANALYTICAL A05-2 COMPLETE ANALYSIS.
LAB REPORT TO INCLUDE RECOMMENDATION LETTER AND TESTING RESULTS.
LAB REPORT TO INCLUDE AN ESTIMATED INFILTRATION RATE FOR SOIL TESTED.
LAB REPORT TO NOTE THE PROPOSED PLANTING TYPES SPECIFIC TO THE PROJECT, GROUND-COVERS, NATIVE GRASSES AND TREES.
- AMENDMENT AND FERTILIZER RECOMMENDATIONS BY THE TESTING LAB SHALL BE SPECIFIC TO THE PROPOSED AMENDMENTS TO BE USED AND INCLUDE THE AMENDMENT LAB TEST / SAMPLE ID NUMBER AND TESTING DATE AS REFERENCE. GENERIC RECOMMENDATIONS WILL BE REJECTED AND WILL REQUIRE SPECIFIC RECOMMENDATIONS TO BE OBTAINED FROM THE TESTING LAB.
- FOR BIDDING PURPOSES ASSUME SOIL AMENDMENT FERTILIZER TO BE COMMERCIAL FERTILIZER, 16-4-8 (N-P-K) UNIFORM PELLETT, EXACT FERTILIZER TO BE DETERMINED BY TESTING LAB ANALYSIS.
- INSTALL COMMERCIAL PLANT FERTILIZER PACKETS / TABLETS, TWO-YEAR CONTROLLED RELEASE 20-10-05 (N-P-K), BEST TABS BY SIMPLOT PROFESSIONAL PRODUCTS, AGRIFORM BY THE SCOTTS COMPANY.
- SOIL AMENDMENTS TO BE MINERALIZED AND NITRIFIED BARK OR SAWDUST, WITH WETTING AGENT AND PROPERLY PULVERIZED, CONTAINING A MINIMUM OF 270LBS. PER CUBIC YARD OF ORGANIC MATTER. SUBMIT SAMPLE ANALYSIS FOR APPROVAL.
- AMENDMENT CHEMISTRY – SUITABILITY CONSIDERATIONS
1. NITROGEN (DRY WEIGHT BASIS): 0.4 TO 0.6%
2. IRON (MINIMUM): 0.08%
3. ORGANIC CONTENT: ABOVE 17%
4. CARBON-NITROGEN RATIO: BELOW 25
5. PH: BELOW 8.0
6. SALINITY (ECE): A VALUE SUCH THAT WHEN COMBINED WITH THE EXISTING SITE SOIL AT A USE RATE DETERMINED BY THE TESTING LAB ANALYSIS, THE SALINITY OF THE AMENDED SOIL SHALL NOT EXCEED 4.0 DS/M (MMHDS/CM).
- GYPSUM (IF REQUIRED BY EXISTING SOILS TEST): AGRICULTURAL GRADE, OMRI LISTED.
1. CAL-SUL PELLETTIZED GYPSUM BY NORTH PACIFIC, PORTLAND OR
2. ULTRA FINE AG GYPSUM BY WESTERN MINING & MINERALS
3. APPROVED EQUAL
- SULFUR (IF REQUIRED BY EXISTING SOILS TEST): GRANULAR DEGRADABLE SULFUR PRODUCT, TIGER 90CR ORGANIC 0-0-90 SULFUR BY TIGERSUL.COM, OR APPROVED EQUAL.
- ALL PLANTING AREAS TO BE CULTIVATED TO A MINIMUM DEPTH OF 10". SOIL AMENDMENTS AND COMMERCIAL FERTILIZERS TO BE APPLIED AT THE RATES SPECIFIED IN THE TESTING LAB ANALYSIS.
- CROSS-RIP OR CULTIVATE SUB-GRADE TO THE 10" MINIMUM DEPTH. ADD WATER IF NECESSARY AND CONTINUE RIPPING OR CULTIVATION UNTIL THE ENTIRE SPECIFIED DEPTH IS LOOSE AND FRIABLE. CROSS RIPING SHALL INCLUDE AREAS IN BETWEEN TREE AND PLANT PITS. UPON COMPLETION OF CROSS RIPING APPLY THE AMENDMENTS AS SPECIFIED IN THE TESTING LAB ANALYSIS. SETTLE THE SOIL WITH WATER AS NEEDED AND REGRADE HIGH/LOW AREAS TO CREATE A SMOOTH FINISH GRADE.
- UNIFORMLY SPREAD AND INCORPORATED THE MATERIALS TO OBTAIN A HOMOGENEOUSLY BLENDED SOIL, 6-INCHES IN DEPTH. IF GYPSUM AND/OR SULFUR ARE REQUIRED TO BE ADDED AS PART OF AMENDMENTS PER SOILS REPORT FROM THE TESTING LAB, MANUALLY WATER THE AMENDED SOILS USING IMPACT SPRINKLERS OR HOSE-END SPRINKLERS - TO APPLY 1/2-INCH OF WATER OVER ALL PLANTING AREAS. EXISTING SOILS WITH HIGH ALKALINITY AS DETERMINED BY THE SOILS REPORT FROM THE TESTING LAB WILL BE REQUIRED TO BE SIMILARLY MANUALLY WATERED TO LEACH THE SALTS DEEPER INTO THE SOIL, AMOUNT OF WATER TO BE DETERMINED BY THE TESTING LAB.
- PRE-MIX AMENDMENTS INTO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLOUDS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
- INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".
- NO PLANTING OR MULCH TO BE INSTALLED WITHIN 5' OF ANY STRUCTURES.
- ALL NEW PLANTING TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM, IRRIGATION CONTROLLER TO HAVE EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSING CAPABILITIES AND A RAIN SENSOR.
- IRRIGATION SYSTEM TO HAVE A DEDICATED BACKFLOW PREVENTER AND FLOW SENSOR AND MASTER VALVE AT THE POINT OF CONNECTION.
- PRESSURE REGULATORS SHALL BE INSTALLED AT EACH DRIP VALVE AND SET TO THE OPTIMAL PRESSURE AS SUGGESTED BY THE MANUFACTURER OF THE DRIP EMITTERS. ALL DRIP ZONES INSTALLED ON SLOPES TO BE FITTED WITH CHECK VALVES AND ALL LINES TO INCLUDE FLUSH PORTS.
- MANUAL SHUT-OFF VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION AND AT VALVE MANIFOLDS. HOSE BIBS TO BE INSTALLED, VERIFY LAYOUT IN FIELD WITH OWNER & LANDSCAPE ARCHITECT
- IRRIGATION VALVES TO CORRESPOND TO HYDROZONE LIMITS.
- IRRIGATION SYSTEM TO BE A DESIGN BUILD. ALL PLANTING AREAS TO BE DRIP IRRIGATED.
- CONTRACTOR TO DISCUSS IRRIGATION DESIGN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT PRODUCT INFORMATION TO LANDSCAPE ARCHITECT FOR ALL IRRIGATION EQUIPMENT INCLUDING VALVES, FILTERS, PRESSURE REGULATORS, DRIP EMITTERS, VALVE BOXES, SHUT OFF VALVES, LINE TYPES AND CONTROLLER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- TEMPORARY IRRIGATION INSTALLED FOR HYDROSEED AREAS TO BE REMOVED AFTER PLANT ESTABLISHMENT OR 2 YEARS FROM DATE OF INSTALLATION. IRRIGATION TO BE INSTALLED ABOVE GROUND. IRRIGATION HEADS TO BE SECURED TO STAKES ABOVE GRADE. INSTALL DEDICATED VALVES FOR THE HYDROSEED SYSTEMS WITH SHUT OFF VALVES UPSTREAM OF SOLENOID VALVE. CAP MAIN LINE ONCE VALVES ARE REMOVED. ADJUST SPRAY AS NEEDED TO AVOID OVER SPRAY ONTO EXISTING OAK TREES.

MWEO COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

	SIMON PHILLIPS	4532	05-06-2025
SIGNED	NAME	CLA#	DATE

MONTEREY COUNTY COMPLIANCE STATEMENT

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

	SIMON PHILLIPS	4532	05-06-2025
SIGNED	NAME	CLA#	DATE

PLANT LEGEND

*WUCCODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
TREES				
M	Aa ALSOPHILA AUSTRALIS	AUSTRALIAN TREE FERN	15 GAL.	
L	Am ARBUTUS MARINA	STRAWBERRY TREE	24" BOX	
VL	Co CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL.	
L	Dk DIOSPYROS KAKI 'FUJU'	FUYU PERSIMMON	24" BOX	
M	Pr PINUS RADIATA	MONTEREY PINE	15 GAL.	MULTI
SHRUBS				
M	Ac ACANTHUS MOLLIS	BEAR'S BREECH	1 GAL.	
L	Au AEONIUM URBICUM 'SALAD BOWL'	SALAD BOWL AEONIUM	1 GAL.	
L	Adh ARCTOSTAPHYLOS 'DR. HURD'	DR. HURD MANZANITA	15 GAL.	
L	Ap ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL.	
L	Ahm ARCTOSTAPHYLOS 'HOWARD MC MINN'	HOWARD MCMINN MANZANITA	15 GAL.	
M	Bc BERGENIA CORDIFOLIA	HEARTLEAF BERGENIA	1 GAL.	
L	Cy CEANOTHUS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	1 GAL.	
L	Cr CEANOTHUS 'RAY HARTMAN'	RAY HARTMAN CEANOTHUS	15 GAL.	
M	Dt DIANELLA TASMANICA	TASMAN FLAX-LILY	1 GAL.	
L	Ee ECHEVERIA ELEGANS	HENS AND CHICKS	1 GAL.	
L	Em EUPHORBIA 'MARTINI'	MARTIN'S SPURGE	1 GAL.	
M	Fr FRANCOA RAMOSA	BRIDAL WREATH	1 GAL.	
M	Hj HEMEROCALLIS 'JOAN SENIOR'	JOAN SENIOR DAYLILY	1 GAL.	
L	Jp JUNCUS 'ELK BLUE'	COMMON RUSH	1 GAL.	
L	Lp LOMANDRA 'POM POM'	SHORTY MAT RUSH	1 GAL.	
L	Ms MAHONIA 'SOFT CARESS'	SOFT CARESS MAHONIA	5 GAL.	
L	Mc MUHLENBERGIA CAPILLARIS	MUHLY GRASS	1 GAL.	
L	Rs RIBES S. V. GLUTINOSUM	PINK-FLOWERING CURRANT	5 GAL.	
L	Sj SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	1 GAL.	
VL	Vb VERBENA BONARIENSIS	PURPLETOP VERVAIN	1 GAL.	
M	Vp VIBURNUM PLICATUM	JAPANESE SNOWBALL	15 GAL.	
L	Wm WESTRINGIA 'MUNDI'	COAST ROSEMARY	1 GAL.	
M	Wf WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	1 GAL.	
MEADOW				
M	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL @ 18" O.C., 435 SF	
MISCELLANEOUS				
	CRUSHED GRAVEL: 2" THICK OVER 4" COMPACTED CLASS II BASE.			
	MULCH			
	METAL EDGE WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.			

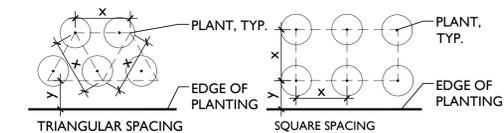
REFERENCE NOTES

- HYDROSEED TO FOLLOW GRADING LIMITS AS DETERMINED DURING CONSTRUCTION.
- HYDROSEED TO BE APPLIED AT 36 LBS/AC EVENLY BETWEEN THE SPECIES LISTED
- EXISTING TREE: TO BE REMOVED
- FINAL PLACEMENT OF MITIGATION TREES TO BE DETERMINED IN FIELD. TOTAL MITIGATION TREES TO BE PLANTED - 3.
- CITRUS TREES AVAILABLE FROM MENLO GROWERS IN GILROY
- 5' NON-COMBUSTIBLE ZONE AROUND ALL STRUCTURES
- IRRIGATION FOR MITIGATION TREES BY THE YOGA STUDIO TO BE CONNECTED TO THE YOGA STUDIO POTABLE LINE - INSTALL WITH BACKFLOW PREVENTER AND BATTERY OPERATED VALVE.

*** WATER USE CATEGORY (WUC) KEY**

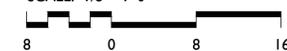
WUCOLS REGION APPLICABLE TO THIS PROJECT: REGION I
H = HIGH; M = MODERATE; L = LOW; VL = VERY LOW; NL = SPECIES NOT LISTED
* FROM: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS (WUCOLS) UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, L.R. COSTELLO, K.S. JONES

PLANT SPACING AND PLANTING SETBACK DIAGRAM



- FOR SPACING 'X', SEE PLANTING PLAN LEGEND
- $Y = 1/2X + 12"$ UON

SCALE: 1/8" = 1'-0"





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CURTIS RESIDENCE

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

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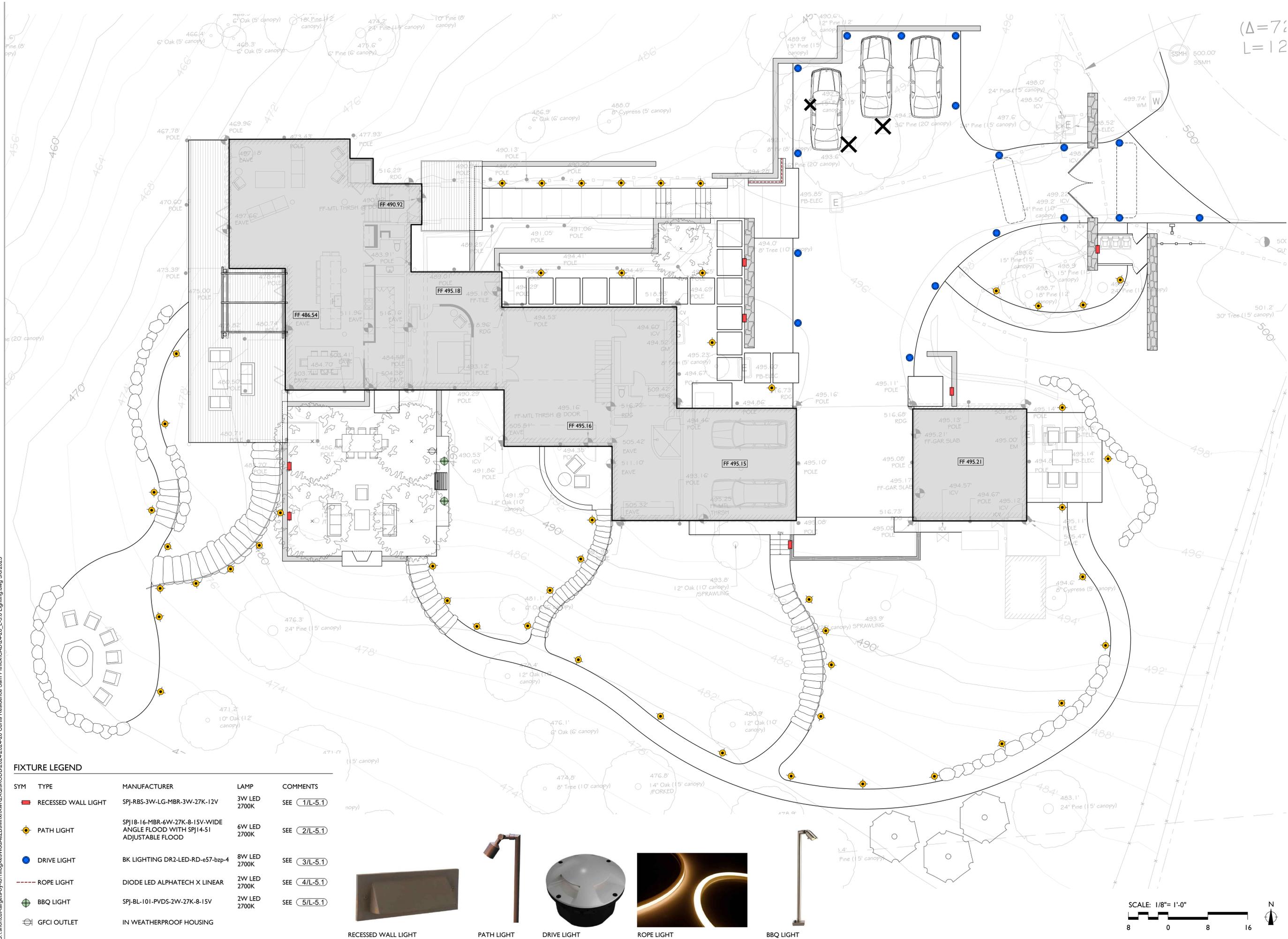
SHEET NAME:

SITE LIGHTING PLAN

SHEET NO:

L-5.0

(Δ=7'
L=12'



FIXTURE LEGEND

SYM	TYPE	MANUFACTURER	LAMP	COMMENTS
	RECESSED WALL LIGHT	SPJ-RBS-3W-LG-MBR-3W-27K-12V	3W LED 2700K	SEE 1/L-5.1
	PATH LIGHT	SPJ18-16-MBR-6W-27K-8-15V-WIDE ANGLE FLOOD WITH SPJ14-51 ADJUSTABLE FLOOD	6W LED 2700K	SEE 2/L-5.1
	DRIVE LIGHT	BK LIGHTING DR2-LED-RD-e57-bzp-4	8W LED 2700K	SEE 3/L-5.1
	ROPE LIGHT	DIODE LED ALPHATECH X LINEAR	2W LED 2700K	SEE 4/L-5.1
	BBQ LIGHT	SPJ-BL-101-PVDS-2W-27K-8-15V	2W LED 2700K	SEE 5/L-5.1
	GFCI OUTLET	IN WEATHERPROOF HOUSING		



RECESSED WALL LIGHT



PATH LIGHT



DRIVE LIGHT



ROPE LIGHT



BBQ LIGHT

SCALE: 1/8" = 1'-0"



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