

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

44 YPD LLC (PLN220070)

RESOLUTION NO. 24-032

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding the project categorically exempt from CEQA pursuant to CEQA Guidelines section 15303, and there are no exceptions to these exemptions set forth in CEQA Guidelines section 15300.2;
- 2) Approving a Coastal Administrative Permit and Design Approval to allow the demolition of an existing 239 square foot carport and construction of a 579 square foot attached garage; and
- 3) Approving a Coastal Administrative Permit for development within 750 feet of known archaeological resources.

[PLN220070 44 YPD LLC, 44 Yankee Point Drive, Carmel, Carmel Area Land Use Plan, Coastal Zone (Assessor's Parcel Number 243-141-014-000)]

The 44 YPD LLC application (PLN220070) came on for a public hearing before the Monterey County HCD Chief of Planning on July 17, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan;
 - Carmel Area Coastal Implementation Plan (CIP), Part 4;
 - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The project consists of the demolition of an existing 239 carport and construction of a 579 square foot attached garage. The development will take place within 750 feet of known archaeological resources.

- c) Allowed Use. The property is located at 44 Yankee Point Drive, Carmel, Carmel Area Land Use Plan, Coastal Zone (Assessor's Parcel Number [APN]: 234-141-014-000). The parcel is zoned as Low Density Residential, 1 acre per unit, with a height restriction of 20 feet and a Design Control Overlay (Coastal Zone) [LDR/1-D(20)(CZ)]. Per Title 20 section 20.14.040, non-habitable accessory structures on the lot are allowed pursuant to a Coastal Administrative Permit. A Coastal Administrative Permit has been applied to allow development within 750 feet of a known archaeological resource, per section 20.146.090 of the Carmel Area CIP. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. Lot 23 (APN: 234-141-014-000; 0.97 acres) is shown in its current configuration in Volume 5 of Cities & Towns, page 37, showing tract 22 of the Yankee Point Acres, a portion of the Rancho San Jose Y Sur Chiquito. This map was recorded with the County of Monterey's Recorder's Office on July 11, 1949. Therefore, the County recognizes this property as a legal lot of record. A Coastal Development Permit to allow a Lot Line Adjustment (PLN230285; Planning Commission Resolution No. 24-018) was approved on May 29, 2024, prior to taking action on this Coastal Administrative Permit. Following to filing the Certificate of Compliance for lot line adjustment, the subject property will receive a new APN. The size and configuration on the site plan are shown in the same configuration as the resulting lot and a non-standard condition has been applied (see Finding 1, Evidence "e").
- e) Non-Standard Condition of Approval. Development of the site would be contingent upon approval of a Lot Line Adjustment (PLN230285) and compliance with all adopted conditions. Once deeds reflecting the adjustment, as required by California Government Code section 66412(d), and an Unconditional Certificate of Compliance is recorded, the subject property will be formally recognized as a legal 0.97 acre parcel. Therefore, this entitlement has been conditioned to require compliance with the conditions reference above, prior to issuance of construction permits.
- f) Development Standards. The proposed attached garage will conform with the applicable standards for the LDR district contained in Title 20 section 20.14.060. There is a minimum lot size requirement of 1 acre for the LDR zoning district pursuant to Title 20 section 20.14.060.A. The parcel will not meet the minimum building site and will maintain its legal non-conformity pursuant to the Carmel Area Land Use Plan Policy 4.4.3.11, which allows for the existing parcel to remain as less than the minimum parcel size and shall be considered a legal parcel. The parcel is consistent with the Coastal Implementation Plan sections 20.146.120.B.4.d & f due to the status of the current septic system disposal of waste without contamination or creating hazards to public health, as is demonstrated through meeting the requirements of the resource protection policies and consistency with the land use plan designation.

Pursuant to Title 20 section 20.14.060.E, the maximum site coverage in this LDR district is 15% (6,142 square feet). The proposed site coverage including the attached garage will result in 8% (3,469 square feet).

Pursuant to Title 20 section 20.62.040.K, accessory structures that are structurally attached to the main structure shall be subject to the same setback requirements as the main structure. The required main structure setbacks in this LDR zoning district (Title 20 section 20.14.060.C) are 30 feet (front), 20 feet (rear), and 20 feet (sides). The existing single-family dwelling and proposed attached garage meet the required setbacks. There is a height restriction of 20 feet, the proposed garage height will be 11 feet 4-1/2 inches. Therefore, the proposed development will conform to all applicable development standards.

- g) Design. The proposed development is subject to the Design Control “D” zoning regulations which require design review of proposed development to ensure protection of the public viewshed and neighborhood character. Consistent with Title 20 Chapter 20.44, a Design Approval Application was submitted. The proposed colors are to match the existing colors of the house, wood siding will be painted in a dark tan color, with dark bronze clad windows and composition shingles in a tan color to match the existing roof of the main dwelling. The proposed development will blend in with the existing house and neighborhood character, and is consistent with the policies within Carmel Area LUP and the proposed development will not block any views of the ocean.
- h) Archaeological Sensitivity. Pursuant to section 20.146.090 of the Carmel Area CIP, a Coastal Administrative Permit has been applied to the project to allow development within 750 feet of known archaeological resources. A Phase II Archaeological Assessment (LIB230119, see Finding 2, Evidence “b”) was prepared for this project. The report indicated, due to the findings of the auger tests and research, further archaeological review was not warranted (see Finding 5 and supporting evidence). However, due to the site’s high archaeological sensitivity and the proximity of known resources, a standard condition of approval has been incorporated, Condition No. 3, which requires the applicant to stop work if any cultural resources or human remains are identified during grading and construction.
- i) Land Use Advisory Committee (LUAC) Review. Although this application is not required to be referred to the LUAC, the project was referred to the Carmel Highlands LUAC for review at the same time as the Lot Line Adjustment application (PLN230285) on March 18, 2024. The LUAC voted 5-0 to support the project as proposed.
- j) The project planner conducted a site inspection on March 18, 2024 to verify that the project on the subject parcel conforms to the plans listed above.
- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220070.

- 2. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed use.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands Fire Protection District. County staff reviewed the application materials and plans, as well as the County’s GIS database, to verify that the project conforms to the applicable lot line adjustment plans, and that the subject property is suitable for the proposed development. Recommended conditions have been incorporated.
 - b) Staff identified potential impacts to archaeological resources. The following report has been prepared:
 - “Phase I and Phase II Archaeological Assessment” (LIB240010) prepared by Susan Morley, Marina, March 28, 2022.
 - c) The above-mentioned technical report by outside consultants indicates that there are no physical environmental constraints that would indicate that the site is not suitable for the proposed development. County staff has independently reviewed this report and concurs with the conclusion. All development shall be in accordance with the report.
 - d) Staff conducted a site inspection on March 18, 2024 to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220070.
- 3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are currently existing and will not be affected by this project. Potable water for the existing single-family dwelling is managed through the Monterey Peninsula Water Management District and provided by California American Water. A private onsite wastewater treatment system (OWTS) is located on the parcel. However, there are no additional water or wastewater fixtures proposed as part of the construction of the garage. The Environmental Health Bureau reviewed the project application, found no issues with the proposal, and did not require any conditions of approval.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220070.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject properties.
 - b) Staff conducted a site inspection on March 18, 2024 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220070.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15303(e), categorically exempts the conversion of existing small accessory structures including carports and garages.
 - b) The project consists of demolition of an existing carport and construction of a new 579 square foot attached garage.
 - c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. The project does not involve alterations to a designated historical resource, a hazardous waste site, or development that would result in cumulatively impact. The project includes a small conversion of an accessory structure of similar use, and would not intensify the use of the property. A similar project for a small conversion has been approved within close proximity to the property; however, a Construction Management Plan will minimize the impact to traffic within the neighborhood and the temporary status of the project would not result in a cumulative impact. The proposed development does not impact environmentally sensitive habitats or sensitive resources therefore it wouldn’t contribute to any cumulative environmental effects. There are no unusual circumstances associated with undertaking the project that would create the reasonable possibility that the project would have a significant effect on the environment (See Findings 1, 2, 3 and supporting evidence).
 - d) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220070.
6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in CIP section 20.146.130 of the Monterey County Coastal Implementation Plan can be demonstrated.

- b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 3, Major Public Access, in the Carmel Area Land Use Plan); however, the property is subject to lateral access. The project location has been identified as inappropriate for beach access. The proposed garage height will not block or interfere with ocean views as seen from Yankee Point Drive or surrounding areas.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220070.

7. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Title 20 section 20.86.030 allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. Pursuant to Title 20 section 20.86.080.A.3, the project is subject to appeal by/to the California Coastal Commission because the project is located between the sea and the first through public road paralleling the sea and development within 750 feet of a known archaeological resource is a conditionally allowed use.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303(e), and find that none of the exceptions to these exemptions set forth in CEQA Guidelines section 15300.2 apply;
2. Approve a Coastal Administrative Permit and Design Approval to allow the demolition of an existing 239 square foot carport and the construction of a 579 square foot attached garage; and
3. Approve a Coastal Administrative Permit for development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 17th day of July 2024.

DocuSigned by:
Melanie Beretti
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Melanie Beretti, AICP
Acting, HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON **JULY 18, 2024**.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **JULY 29, 2024**.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220070

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN220070) allows the demolition of an existing carport, construction of a 579 square foot attached garage and development within 750 feet of known archaeological resources. The property is located at 44 Yankee Point Drive, Carmel (Assessor's Parcel Number 243-141-014-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit (Resolution Number 24-032) was approved by HCD Chief of Planning for Assessor's Parcel Number 243-141-014-000 on July 17, 2024. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PDSP001 - DEVELOPMENT AFTER COMPLIANCE WITH PLN230285 CONDITIONS (NON-STANDARD)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This permit (PLN220070) is contingent upon approval of a Lot Line Adjustment (PLN230285) and compliance with all adopted conditions. Once deeds reflecting the adjustment, as required by California Government Code section 66412(d), and an Unconditional Certificate of Compliance is recorded, the subject property will be formally recognized as a legal 0.97 acre parcel.

Compliance or Monitoring Action to be Performed: Prior to the issuance of any building or grading permits, the applicants shall satisfy all Conditions of Approval under PLN230285.

5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

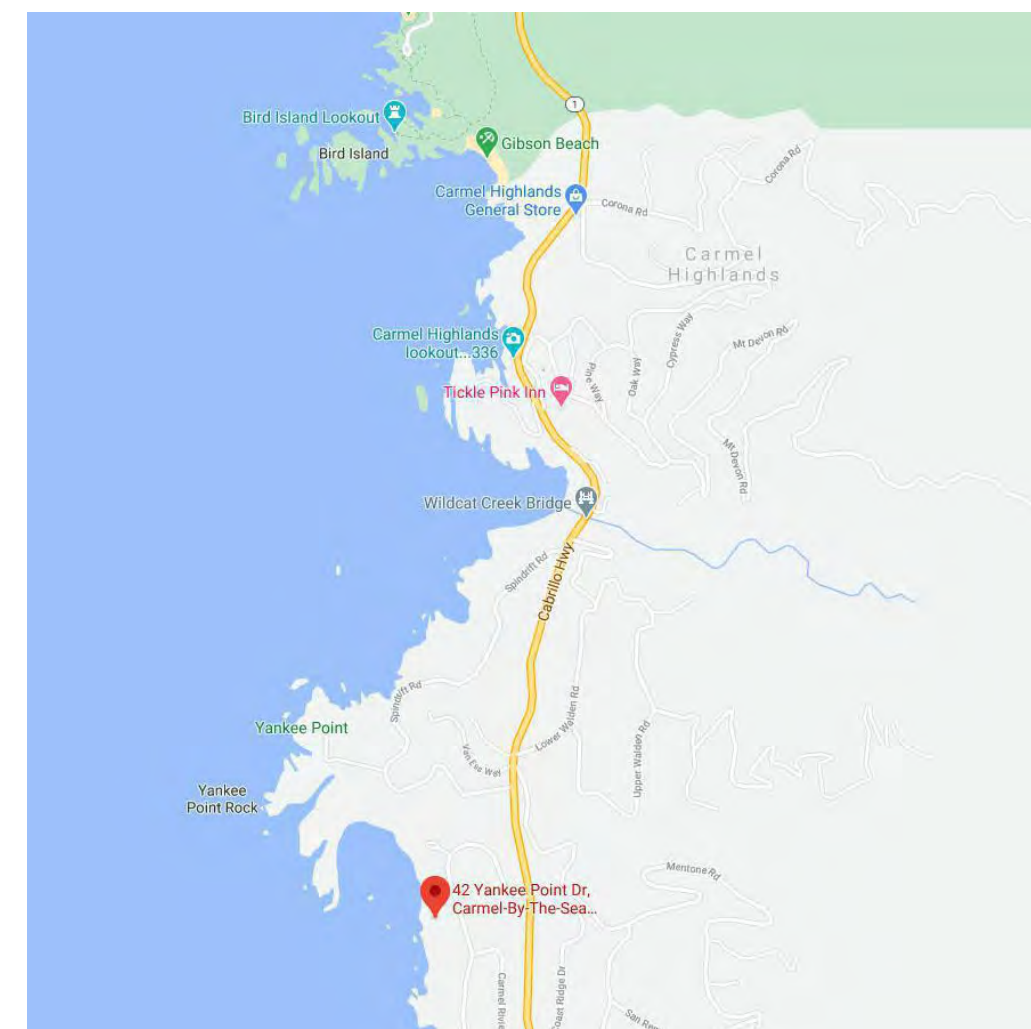
Condition/Mitigation Monitoring Measure: The Owner/Applicant/Agent shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of the payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant/Agent shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

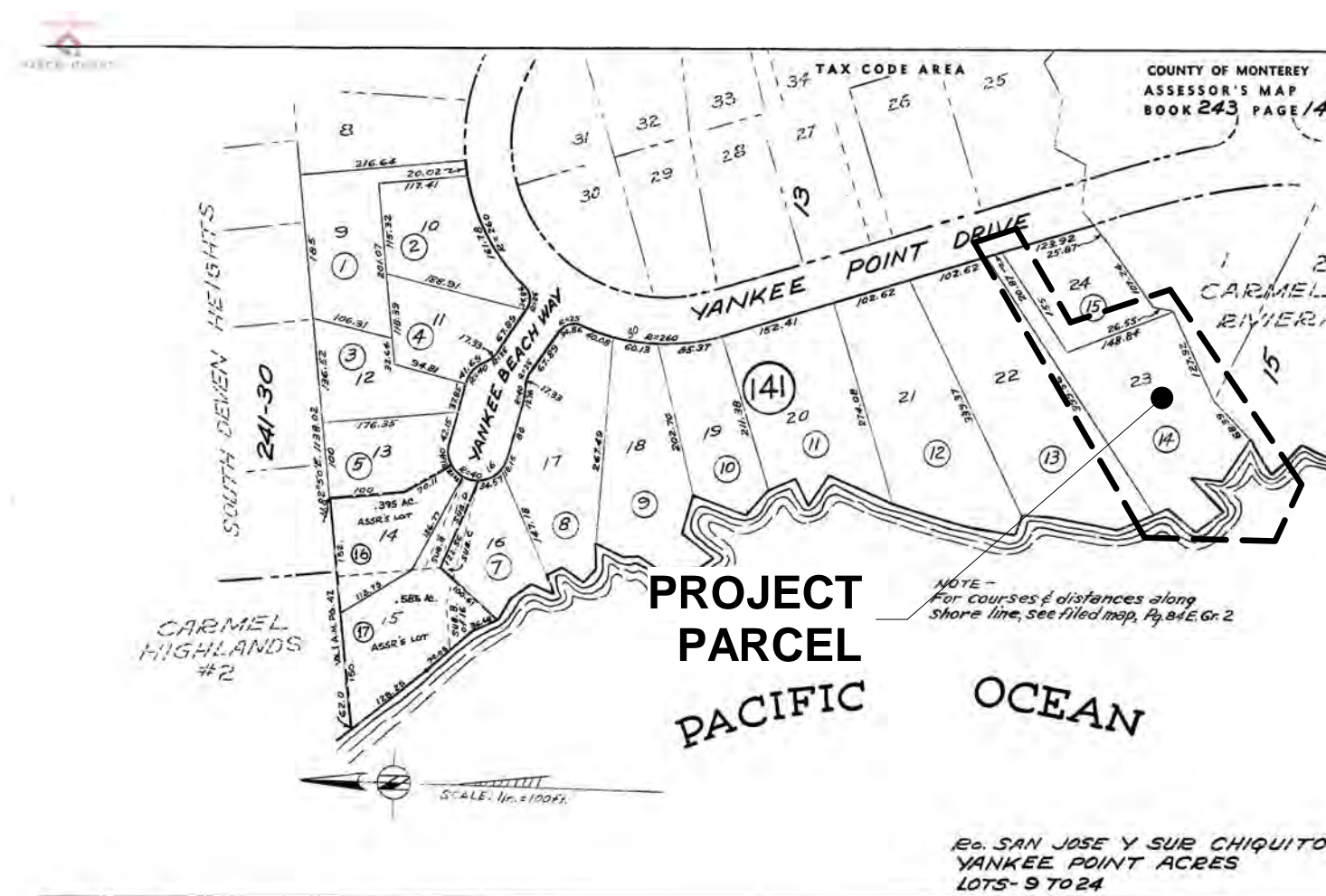
SITE PHOTOS



VICINITY MAP



PARCEL MAP



PROJECT TEAM

OWNER: 42 YPD, LLC
42 Yankee Point Dr.
Carmel, Ca 93923
Contact: Architect

ARCHITECT: Lx Design Studio
3771 Rio Road, Suite 101A
Carmel, CA 93921
Phone: 206-427-3539
E-mail: patrick@lxdesignstudio.com
Contact: Patrick LeMaster, AIA, LEED AP

STRUCTURAL: T.B.D.

CONTRACTOR: McMahan Construction
McMahan Construction,
P.O. Box 3808, Carmel Ca. 93921
Phone: 831-915-1505
E-mail: johnmcmahan@me.com
Contact: John McMahan

MECHANICAL: Monterey Energy Group
26465 Carmel, Ca 93921
Phone: (831) 372-8328
E-mail: dave@meg4.com
Contact: Dave Knight

SURVEYOR: Rasmussen Land Surveying, Inc.
2150 Garden Road, Suite A-3
Monterey, Ca 93942
Phone: 831-375-7240
Fax: 831-375-2545
E-mail: @rasmussenland.com
Contact: Kate Edwards

SHEET NO.	SHEET NAME	PLANNING RE-SUBMITTAL 12.11.23
GENERAL INFORMATION		
G1.00	COVER SHEET- GENERAL INFO	•
G1.12	GENERAL NOTES	•
G1.30	FUEL MANAGEMENT PLAN	•
G5.10	EROSION CONTROL & C.M.P PLAN	•
G5.11	EROSION CONTROL & C.M.P PLAN	•
CIVIL		
C-01	SURVEY	
ARCHITECTURE		
A1.00	SITE PLAN	•
A1.10	ENLARGED SITE PLAN	•
A1.20	GRADING & DRAINAGE PLAN	•
A2.01	(E) FIRST FLOOR / DEMOLITION PLAN	•
A2.11	PROPOSED FLOOR & ROOF PLAN	•
A3.01	EXISTING/ DEMO EXTERIOR ELEVATIONS	•
A3.20	PROPOSED EXTERIOR ELEVATIONS	•
A6.00	DOOR AND WINDOW SCHEDULE	•
LANDSCAPE		
L1.0	LANDSCAPE PLAN & EXTERIOR LIGHTING	•

ZONING INFORMATION

PROPERTY ADDRESS	44 YANKEE POINT DR. CARMEL, CA 93923
APN:	243-141-014-000
ZONING	LDR1-D(20)(CZ)
LOT SIZE	94 ACRES (41,077 SF)
SITE COVERAGE (MAX 15% = 6,162 SF)	
EXISTING RESIDENCE	2,890 SF
EXISTING DETACHED CARPORT	239 SF
TOTAL (E) COVERAGE (8%)	3,129 SF
PROPOSED ATTACHED GARAGE ADDITION	575 SF
EXISTING DETACHED CARPORT (TO BE REMOVED)	-239 SF
TOTAL (P) COVERAGE (9%)	3,465 SF

SCOPE OF WORK

- NEW 575 S.F. ATTACHED GARAGE
- LOT LINE ADJUSTMENT BETWEEN 42 YANKEE POINT & 44 YANKEE POINT IS BEING PROCESSED SIMULTANEOUSLY UNDER PLN 230285

GRADING ESTIMATES

GRADING CUT	4	CU.YDS.
GRADING FILL	3	CU.YDS.
GRADING NET CUT OR FILL	1	CU.YDS. (CUT)

MISCELLANEOUS

WATER SOURCE	CAL AM
SEWER SYSTEM	SEPTIC
TREES TO BE REMOVED	NONE

BUILDING CODE INFO

FIRE SPRINKLERS	NO
CONSTRUCTION TYPE	VB
OCCUPANCY GROUP	R3 / U

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA ENERGY CODE (CEC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS

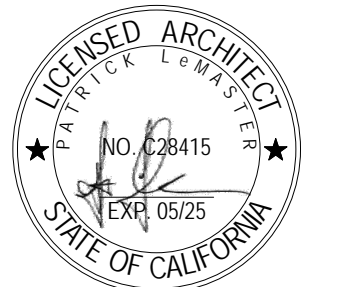
BUILDING AREA

EXISTING RESIDENCE	2,890 SF
TOTAL	2,890 SF
PROPOSED ATTACHED GARAGE ADDITION	579 SF
TOTAL FLOOR AREA	3,469 SF
SETBACKS	
MAIN STRUCTURE	ACCESSORY STRUCTURE
FRONT 30'	FRONT 50'
SIDE 20'	SIDE 6'
REAR 20'	REAR 6'

HEIGHT LIMIT:
20' MAIN STRUCTURE
15' ACCESSORY STRUCTURE



ARCHITECTURE
+
PLANNING
3771 Rio Road - Suite 101A
Carmel CA 93923
(PH) 206.427.3539
lxdesignstudio.com



SHEET ISSUE

REVISION #

OWNER:
44 YPD, LLC
44 YANKEE POINT DRIVE
CARMEL, CA 93923

GARAGE ADDITION TO THE:
MORIARTY RESIDENCE
44 YANKEE POINT DRIVE
CARMEL, CA 93923

CD

Scale:
Job: 2212

Sheet
COVER SHEET-
GENERAL INFO

G1.00

12/11/2023 11:18:06 AM

ABBREVIATIONS

Table listing various abbreviations and their corresponding full names, organized in columns. Includes terms like AND ANGLE, EXISTING, EACH INCHES, DIAMETER, etc.

ELECTRICAL NOTES

- 1. PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. ALL 120-VOLT 15 AND 20 AMPERE OR BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, KITCHENS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS, BATHROOMS, AND GARAGES SHALL BE PROTECTED BY LISTED ARC-FAULT CIRCUIT INTERRUPTER PROVIDED WITH PERMANENT PROVISIONS FOR COOKING SHALL HAVE AFCI (210-12[B]).

ARCHAEOLOGICAL & CULTURAL RESOURCES NOTES:

- 1. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA-PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE.

FIRE DEPARTMENT NOTES:

- FIRE007- DRIVEWAYS (ONLY APPLIES TO MONTEREY COUNTY) DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT. WHERE THE GRADE IS GREATER THAN 15 PERCENT, THE ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE OR 0.34 FEET OF AGGREGATE BASE SHALL BE REQUIRED.

GENERAL NOTES

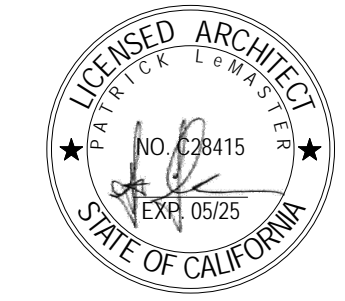
EQUIPMENT
1. DRAWINGS ARE PREPARED USING DIMENSIONS AND PRODUCT CONFIGURATIONS OR DETAILS OF SPECIFIC MANUFACTURERS. TYPICALLY THE FIRST MANUFACTURER LISTED UNDER "ACCEPTABLE MANUFACTURERS" IN THE SPECIFICATIONS, THE SIZES, LOCATIONS FOR MOUNTING AND ATTACHMENTS AND LOCATIONS OF UTILITY CONNECTIONS FOR EACH ITEM OF EQUIPMENT SHOWN ON THE DRAWINGS ARE FOR ILLUSTRATION PURPOSES ONLY.

CONFLICTS
1. IN THE EVENT OF AN INCONSISTENCY BETWEEN THE DRAWINGS AND SPECIFICATIONS OR BETWEEN DRAWINGS WHETHER DURING THE BIDDING PROCESS OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO SEEK CLARIFICATION/RESOLUTION WITH THE DESIGN INTENT FROM THE ARCHITECT. FOR BIDDING PURPOSES, WHEN INFORMATION IN THE DRAWINGS AND/OR SPECIFICATIONS IS INCONSISTENT, THE CONTRACTOR SHALL BASE ITS BID ON THE MORE STRINGENT REQUIREMENT, THE HIGHER QUALITY OR GREATER QUANTITY OF WORK.



ARCHITECTURE + PLANNING

3771 Rio Road - Suite 101A
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SHEET ISSUE

OWNER: 44 YPD, LLC
44 YANKEE POINT DRIVE
CARMEL, CA 93823

REVISION #

- 1. ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS SHOW WHERE DUCTWORK IS TO BE INSTALLED AT A SPECIFIC ELEVATION IN A CONTROLLED PATTERN. THE CONTRACTOR MUST RELY ON ALL OF THESE DISCIPLINES TO COMPLETE THE WORK AND SHOULD NOTIFY THE ARCHITECT OF ANY DISCREPANCY IN THE DRAWINGS PRIOR TO BEGINNING WORK. MECHANICAL CLEARANCES, AND LOCATION OF HEAD HEIGHTS WITH THE STRUCTURE, MECHANICAL DUCTWORK, ELECTRICAL LIGHTING, DRAINAGE PIPING, AND THE ARCHITECTURAL REFLECTED CEILING PANELS.

OWNER: 44 YPD, LLC
44 YANKEE POINT DRIVE
CARMEL, CA 93823

PLANNING

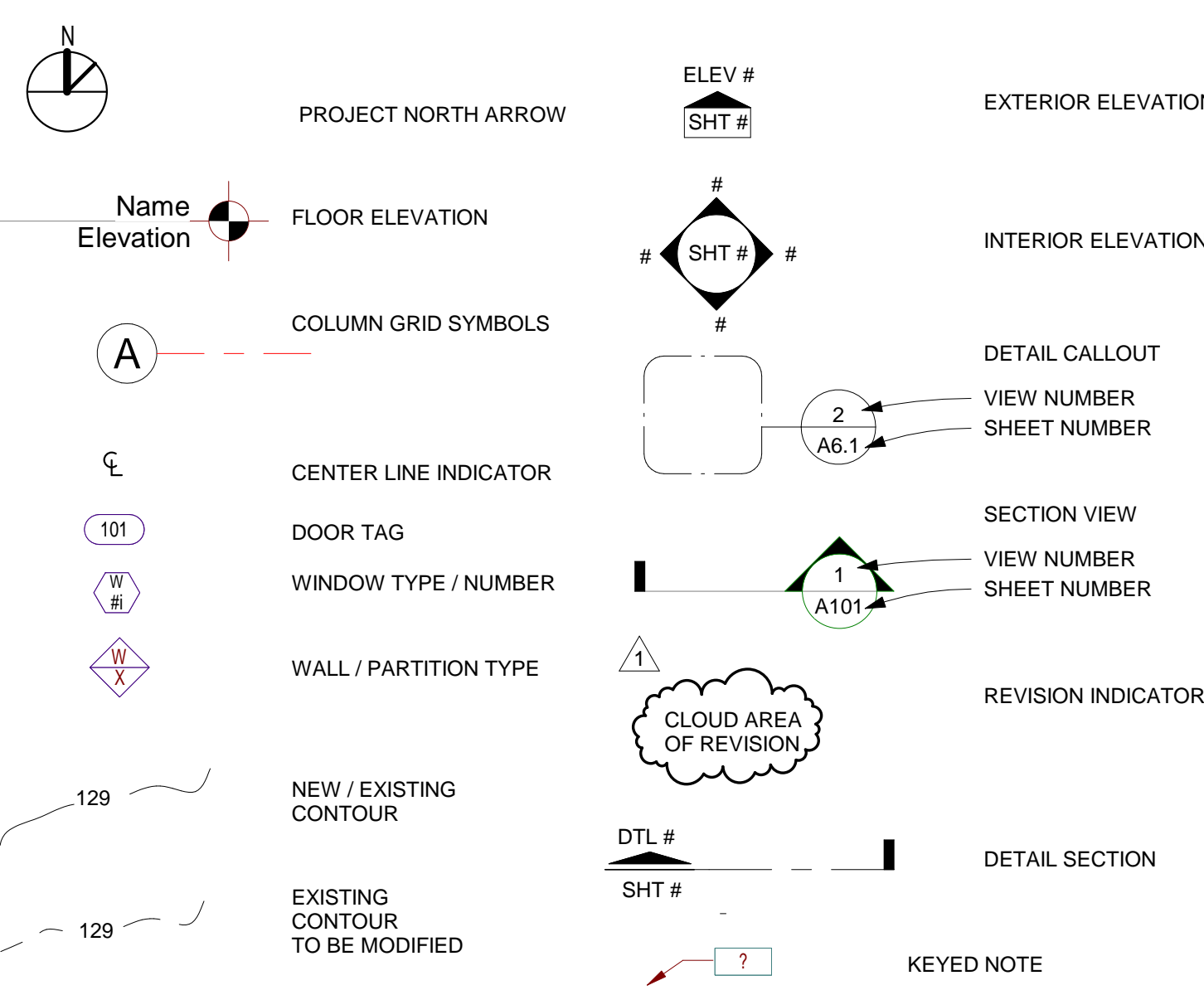
Scale: As indicated
Job: 2212

Sheet GENERAL NOTES

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ARCHITECTURAL SYMBOLS



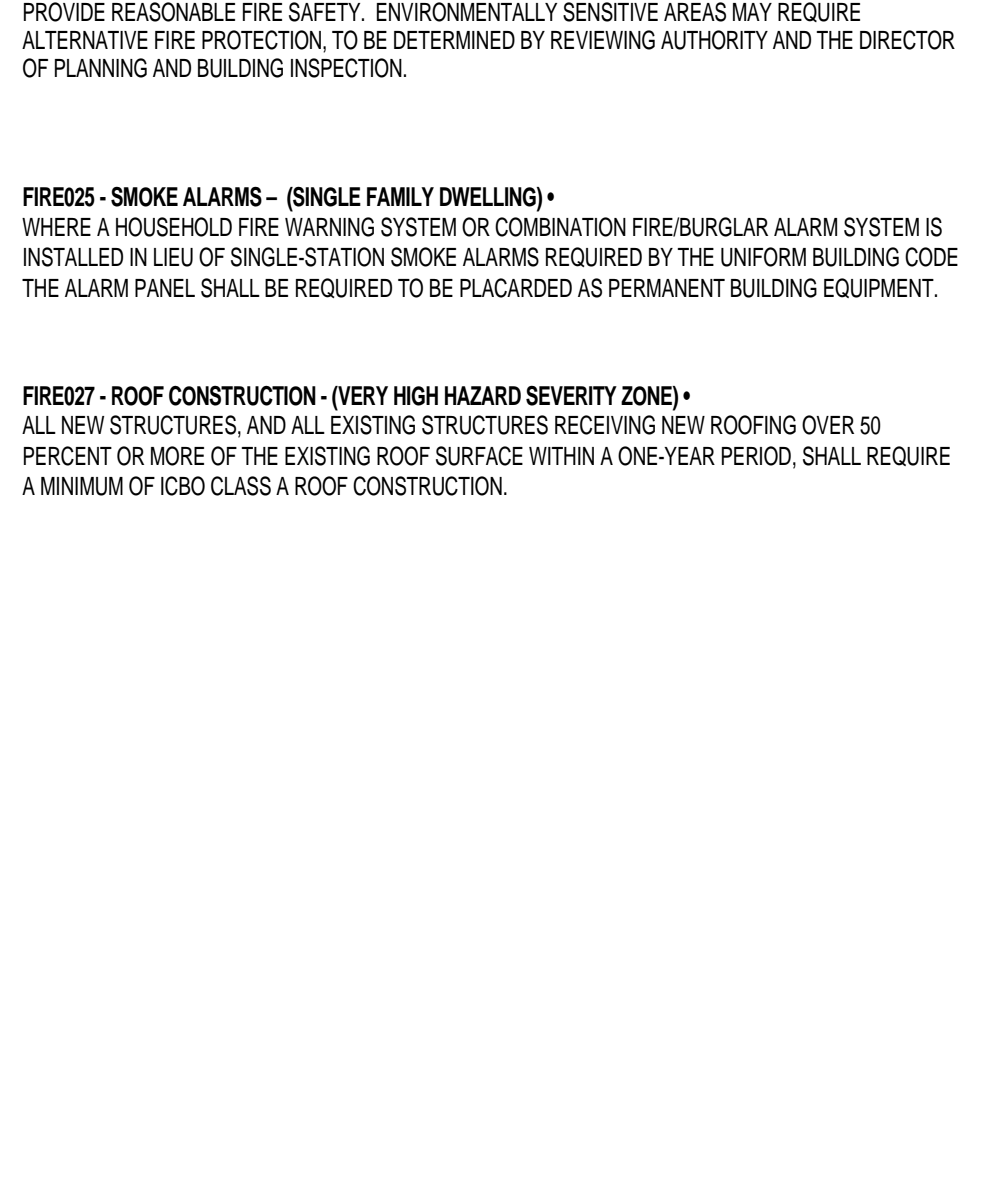
MECHANICAL NOTES

- 1. EACH BATHROOM CONTAINING A BATH TUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED AT A RATE OF 50 CFM. VENTILATION SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING ENVELOPE.

PLUMBING NOTES

- 1. SHOWERS AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. [CPC 408.3]

ARCHITECTURAL SYMBOLS

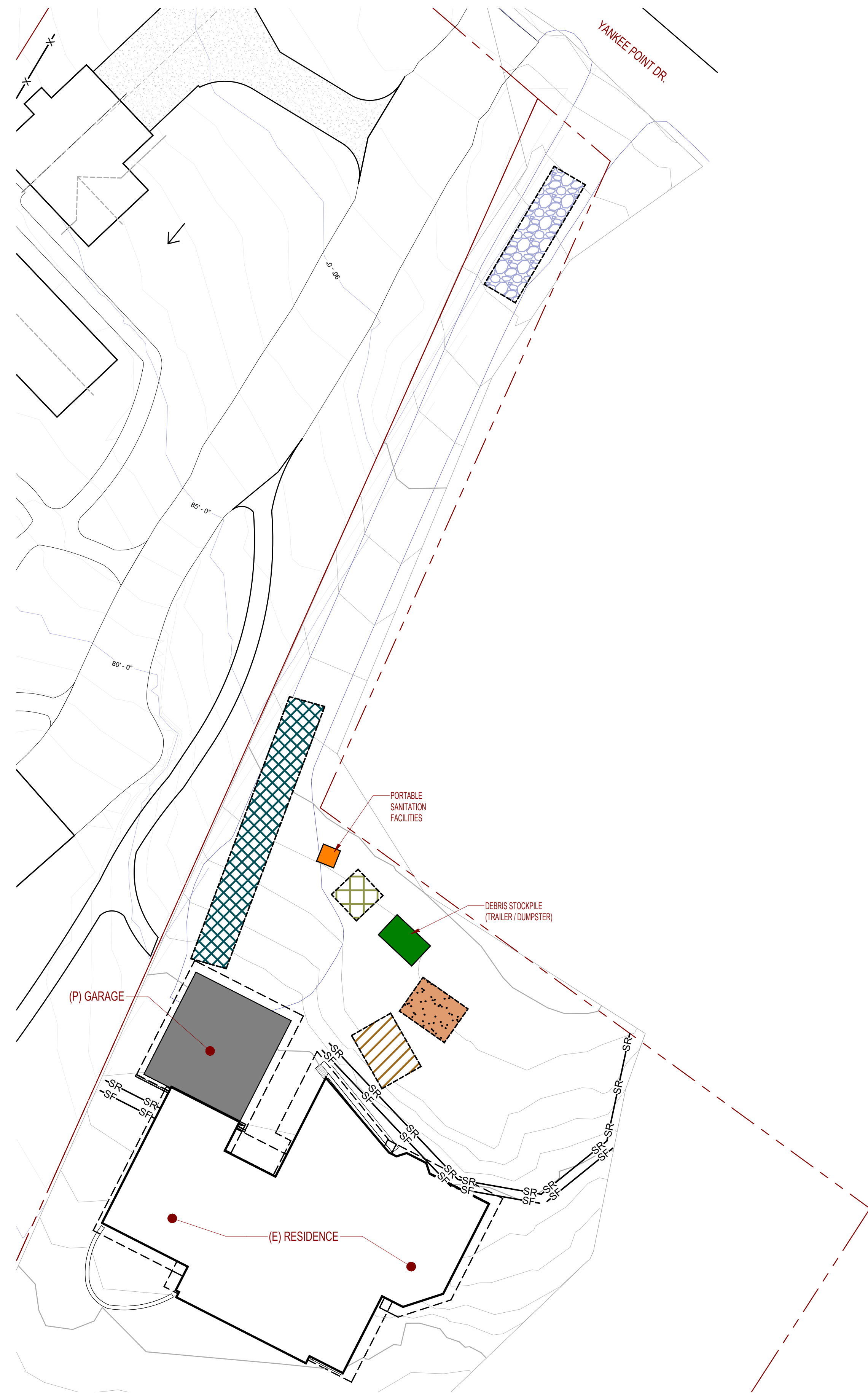


MECHANICAL NOTES

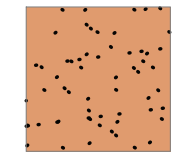
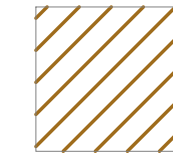
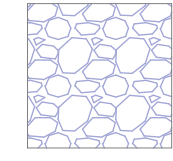

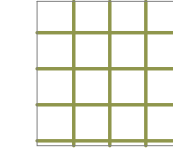
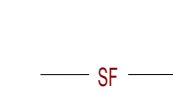


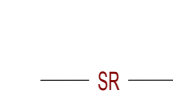

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1 CONSTRUCTION MANAGEMENT PLAN
1/16" = 1'-0"

-  STOCKPILE MATERIAL
-  CONSTRUCTION MATERIAL STORAGE
-  CONSTRUCTION ENTRANCE
-  DUMPSTER / TRAILER
-  WASHOFF AREA
-  SILT FENCE BARRIER
-  PORTABLE SANITATION FACILITY
-  WORKER PARKING
-  SEDIMENT RETENTION FIBER ROLL
-  DIRECTION OF DRAINAGE

EROSION CONTROL NOTES

- ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
- THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 15 AND APRIL 15.
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
 - RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 - CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE SANTA LUCIA PRESERVE.
- AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, AN IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADED RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.

EROSION CONTROL MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- STRAW BALE INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FOOT.

EROSION AND SEDIMENT CONTROL MEASURES

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCESWAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.
- APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTER SEEDING. ANCHOR STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.

CONSTRUCTION NOTES:

- ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 8AM TO 5PM.
- HAUL TRUCKS SHALL MAINTAIN 2 FEET FREEBOARD AND BE COVERED.
- COVER INACTIVE STORAGE PILES.
- THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES AND COPIES ARE TO BE AVAILABLE FOR AGENCY REVIEW UPON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ON SITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE THE EROSION CONTROL PLAN FOR FURTHER SPECIFICATIONS.
- THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G.: CLEAN-UP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF RAIN, INCLUDING COVERING EXPOSED PILES OF SOILS AND WASTES, DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER.)
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION RELATED RUNOFF AND / OR SEDIMENT FROM LEAVING THE SITE.
- STOP WORK WITHIN 50 METERS (165 FT.) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.
- DUE TO THE PROXIMITY OF EXISTING RECORDED ARCHAEOLOGICAL RESOURCES, THERE IS POTENTIAL FOR HUMAN REMAINS TO BE ACCIDENTALLY DISCOVERED. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE INADVERTENTLY ENCOUNTERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (165 FT.) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.

- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER; 2) BLOWN STRAW; 3) TACKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.

EMPLOYEE TRAINING

- STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - SPILL PREVENTION AND RESPONSE;
 - LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
 - GOOD HOUSEKEEPING;
 - FINES AND PENALTIES;
 - MATERIAL MANAGEMENT PRACTICES.

OBSERVATION AND MAINTENANCE

- VISUALLY OBSERVE AND MAINTAIN BMPs AS FOLLOWS:
 - INSPECT BMPs:
 - WEEKLY, AND
 - WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
 - WITHIN 48 HOURS AFTER EACH STORM EVENT.
 - REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
 - SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
 - TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
 - REMOVE SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
 - REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

NON-STORM WATER DISCHARGES

- NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
- MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
- HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
 - FIRE HYDRANT FLUSHING,
 - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
 - PIPE FLUSHING AND TESTING,
 - WATER TO CONTROL DUST,
 - UNCONTAMINATED GROUND WATER FROM DEWATERING,
 - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
- THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
 - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
 - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
 - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
 - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
 - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
 - THE DISCHARGE IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS
 - THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT
- IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

CONSTRUCTION COORDINATOR:

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRIES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRIES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF THE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

CONSTRUCTION ACTIVITY DESCRIPTION:

- DURATION: NOV. 2023 - MARCH 2024
- MONDAY THRU FRIDAY, 8AM - 5PM
- 4 WORKERS
2 REGULAR PICKUP TRUCKS
- 85% RECYCLE RATE FOR LUMBER
- TRASH AND UN-RECYCLED DEBRIS ARE COLLECTED ON SITE IN A PORTABLE TRAILER AND REMOVED BY TOWING BEHIND REGULAR PICKUP TRUCK, ONCE A MONTH TO THE MARINA LANDFILL.

GRADING: 4 CY CUT / 3 CY FILL = 1 CY OF EXPORT

Lx
Design Studio
ARCHITECTURE + PLANNING
3771 Rio Road - Suite 101A
Carmel CA 93923
(PH) 206.427.3539
lxdesignstudio.com



SHEET ISSUE

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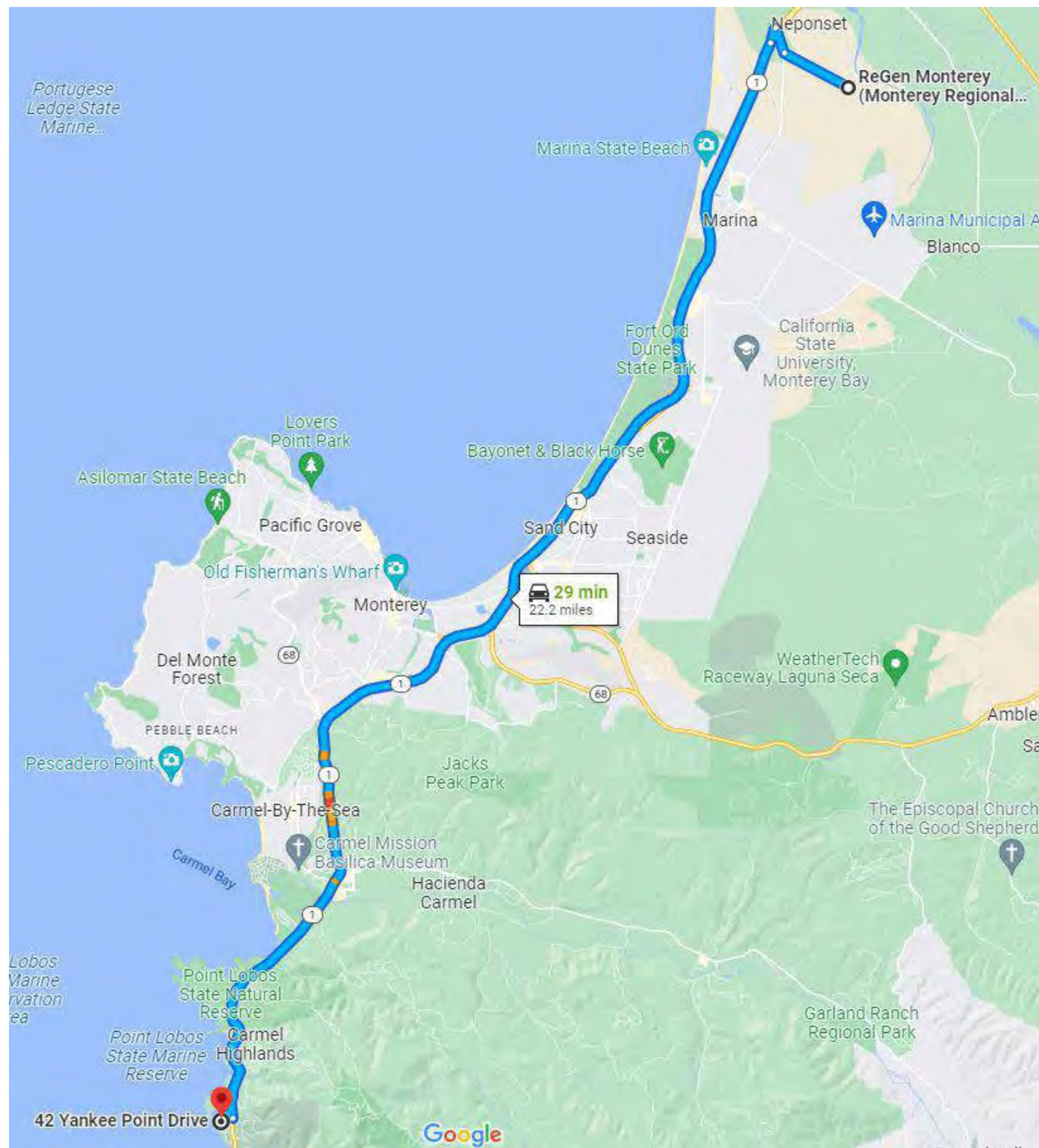
OWNER: 44 YPD, LLC
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GARAGE ADDITION TO THE: MORIARITY RESIDENCE
44 YANKEE POINT DRIVE
CARMEL, CA 93923

PLANNING

Scale: As indicated
Job: 2212

Sheet
EROSION CONTROL & C.M.P PLAN
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TRUCK ROUTE - MAP AND DIRECTIONS

29 min (22.2 miles)

via CA-1 S

Fastest route now due to traffic conditions.

⚠️ This route has restricted usage or private roads.

ReGen Monterey (Monterey Regional Waste Management District)

14201 Del Monte Blvd, Salinas, CA 93908

↑ Head northwest on Charlie Benson Rd

33 ft

↑ Continue onto Charles Benson Rd

⚠️ Restricted usage road

1.1 mi

↪ Turn right onto Del Monte Blvd

0.4 mi

↶ Turn left onto the State Route 1 S ramp

0.2 mi

↗ Merge onto CA-1 S

20.2 mi

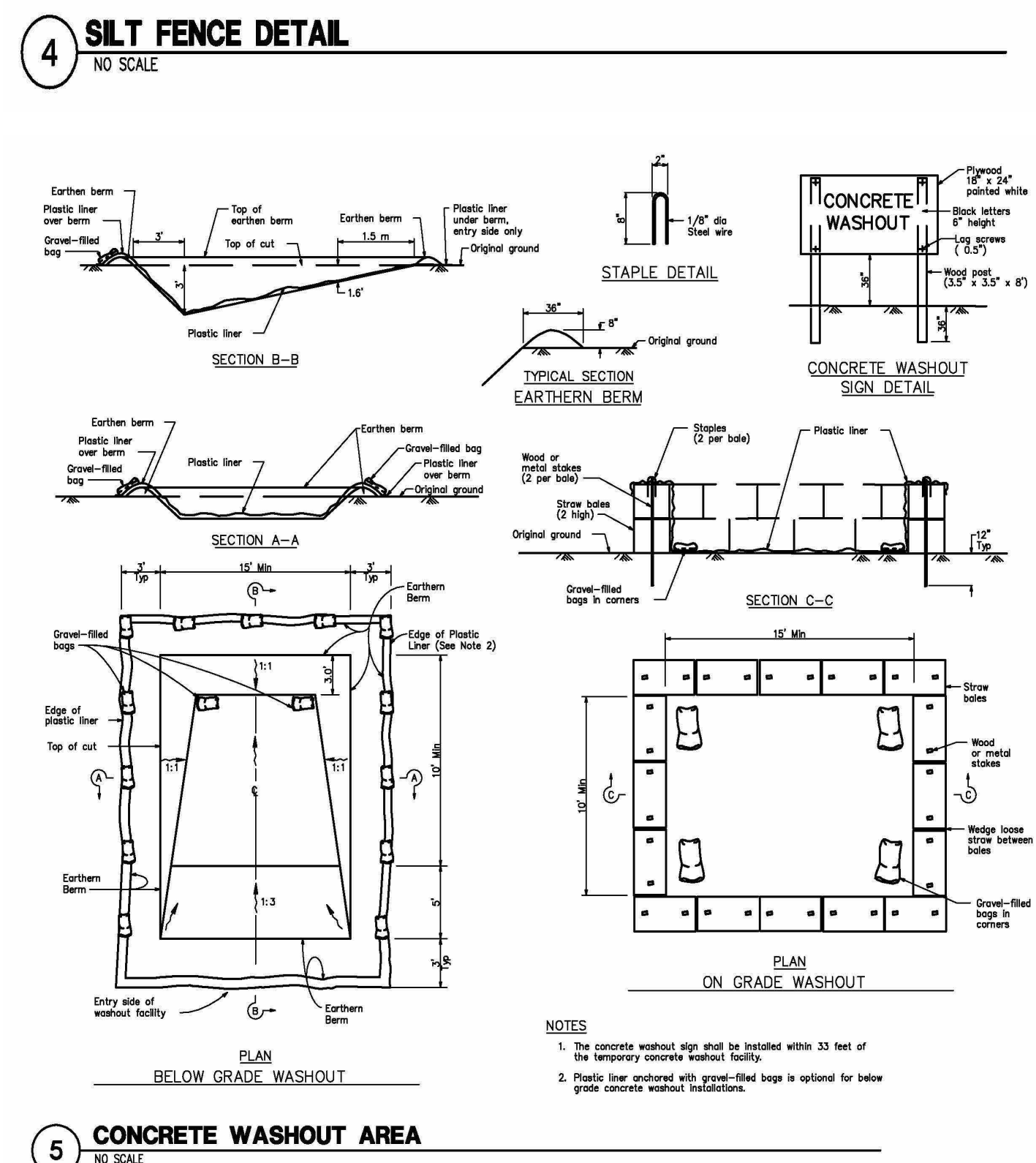
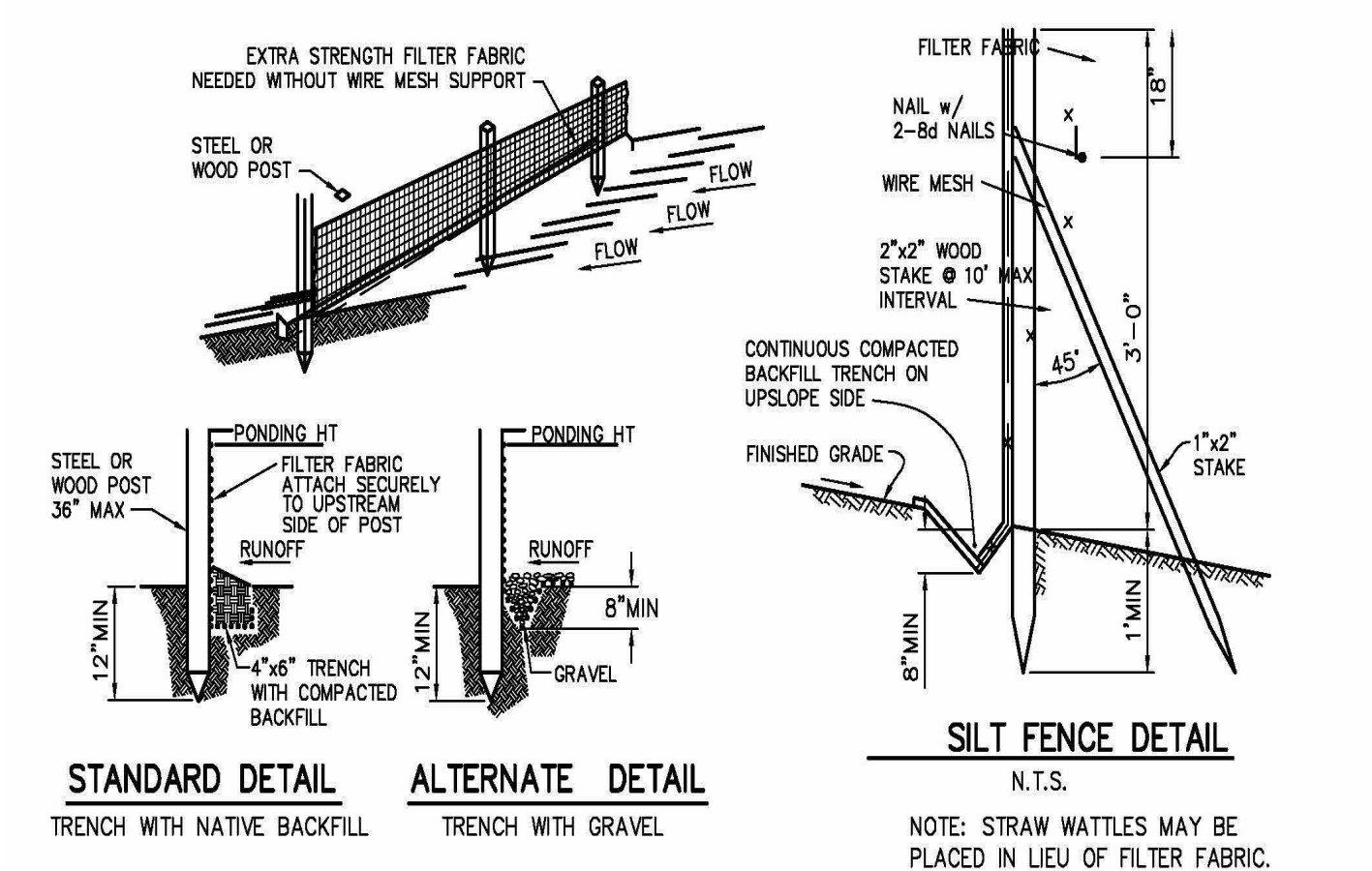
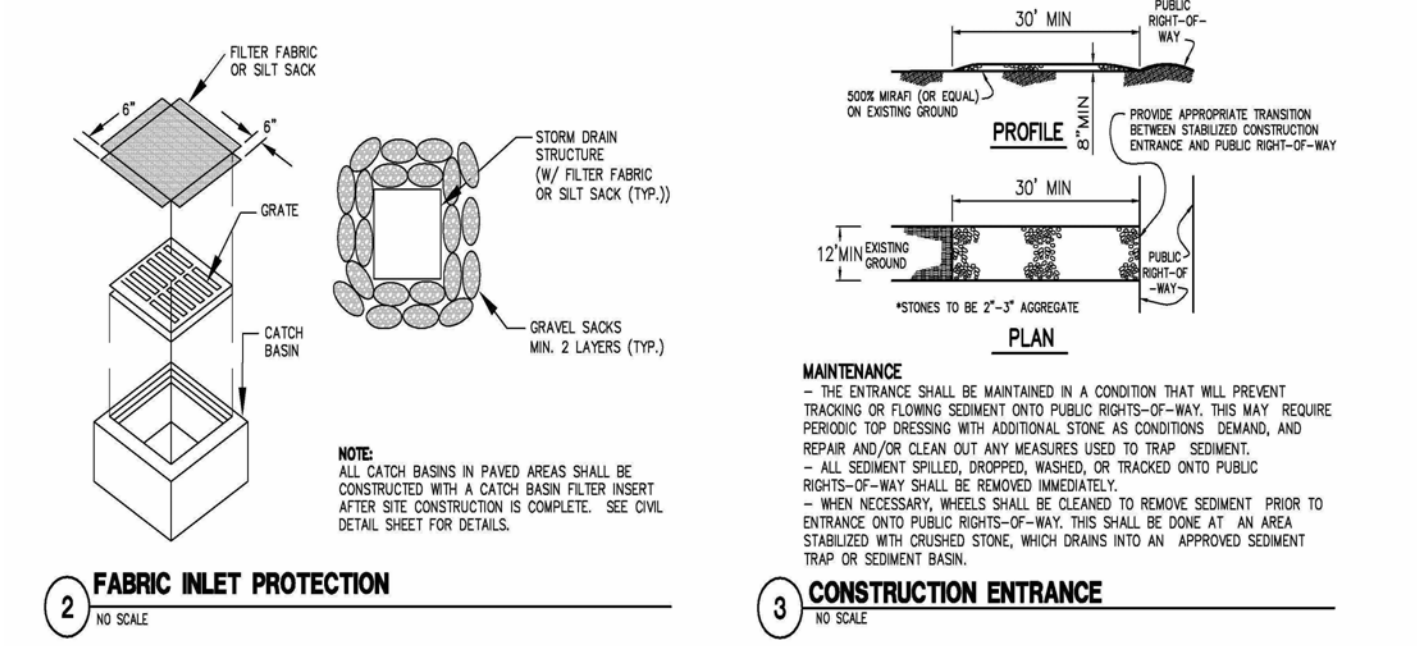
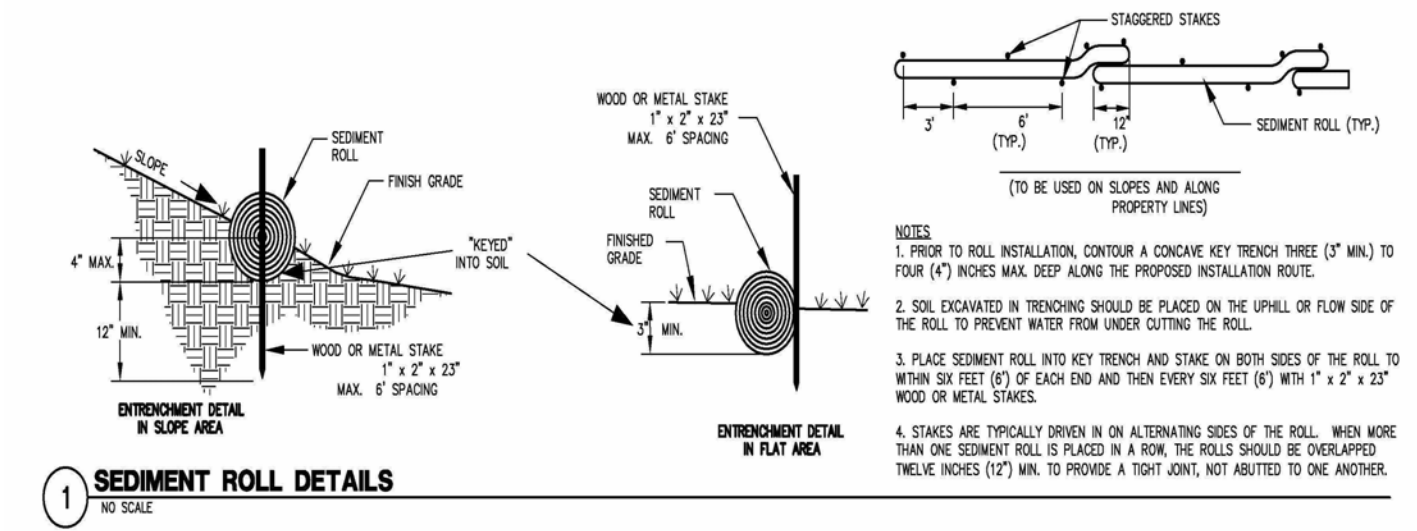
↪ Turn right onto Yankee Point Dr

📍 Destination will be on the right

0.3 mi

42 Yankee Point Dr

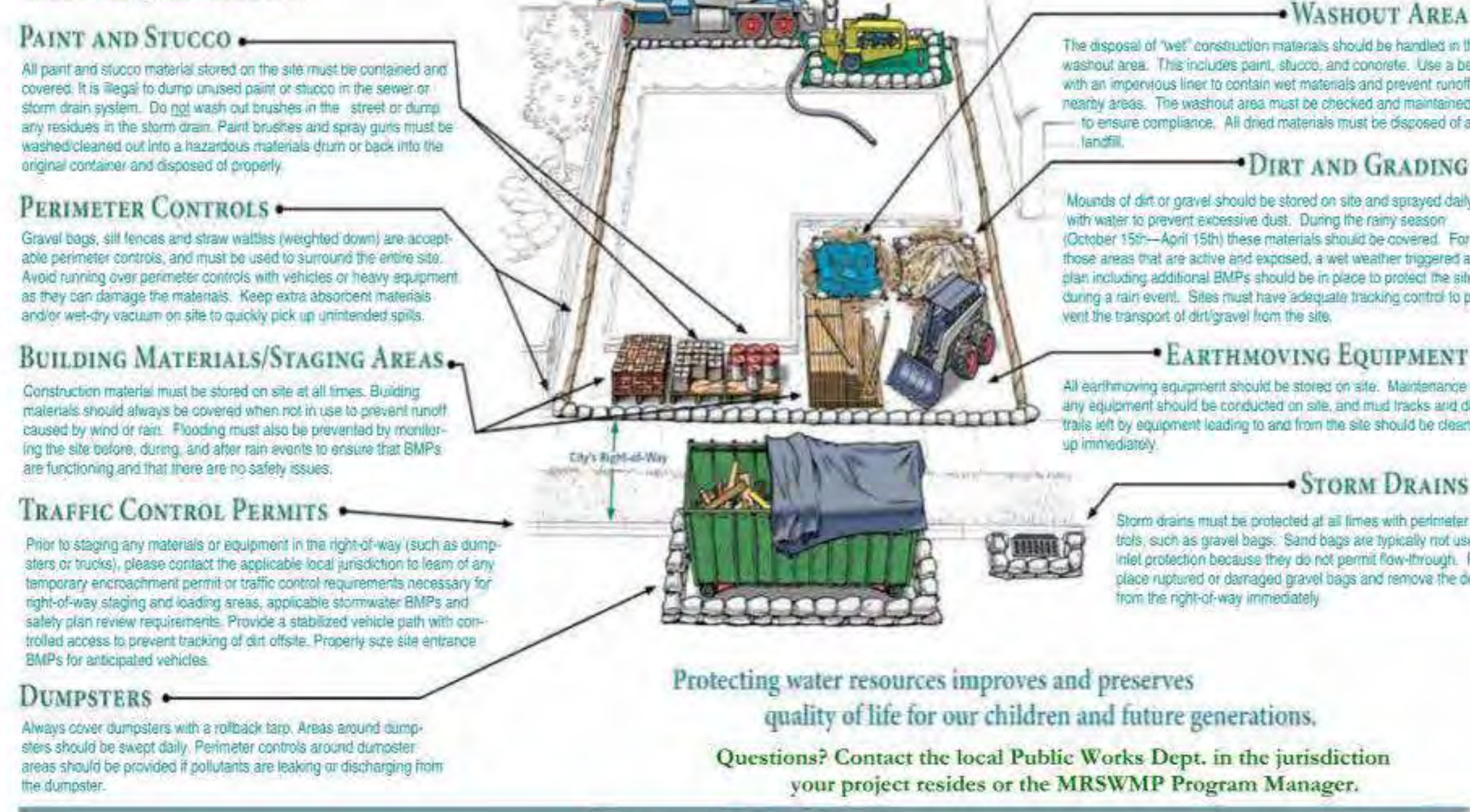
Carmel-By-The-Sea, CA 93923



CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLUTION.

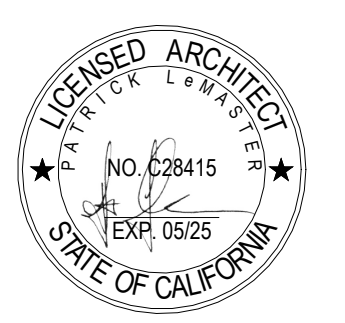
The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.



Protecting water resources improves and preserves quality of life for our children and future generations.

Questions? Contact the local Public Works Dept. in the jurisdiction your project resides or the MRSWMP Program Manager.

Photo courtesy of the City of San Diego.



SHEET ISSUE

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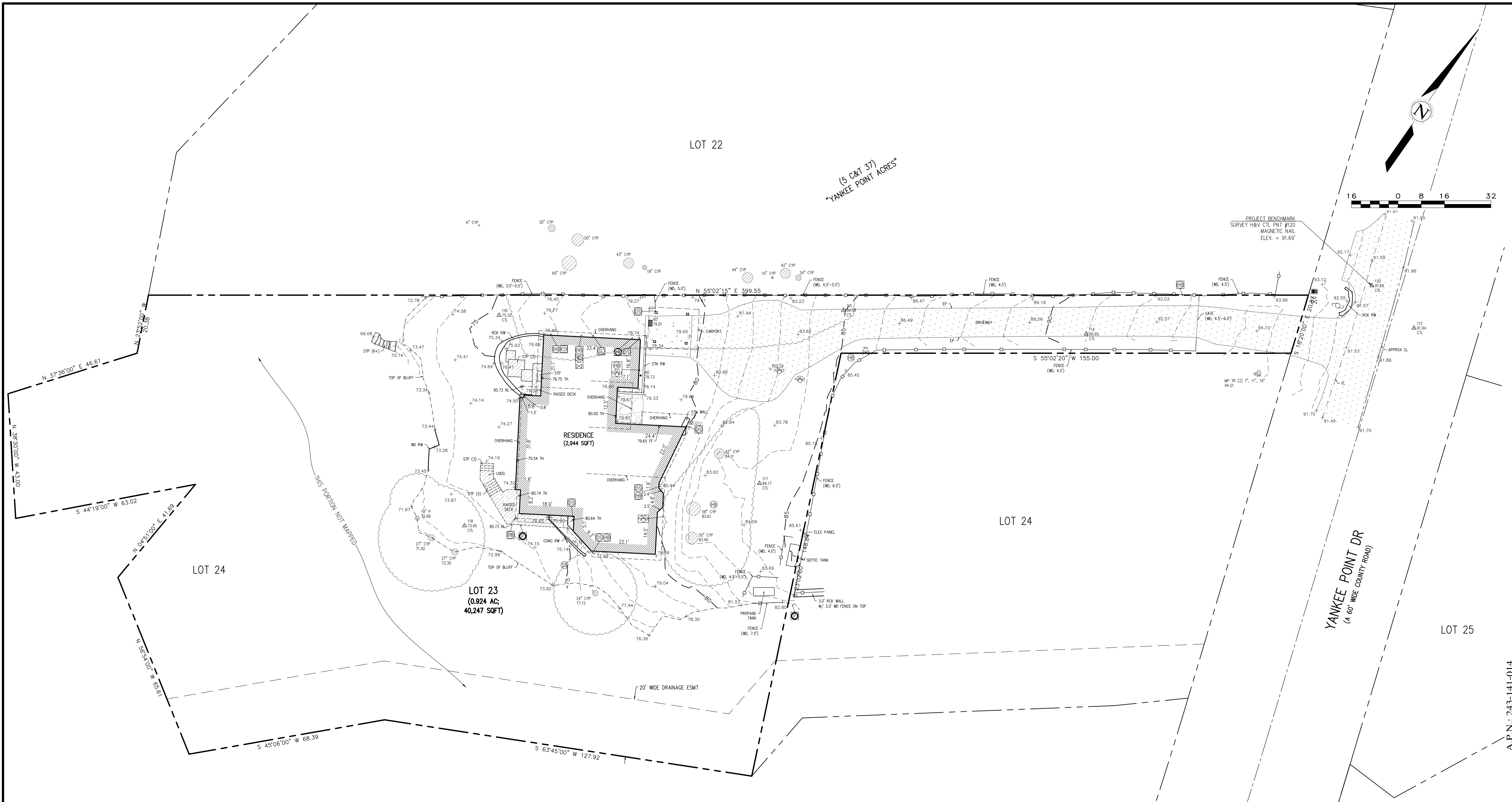
GARAGE ADDITION TO THE:
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PLANNING

Scale:
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Sheet
EROSION CONTROL & C.M.P PLAN

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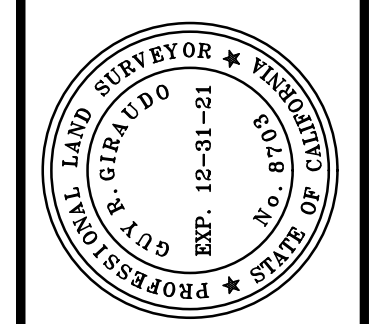
LEGEND:

--- PROPERTY BOUNDARY	○ CONDUIT	⊗ GAS LINE	⊗ GAS METER	● FOUND MONUMENT - TYPE NOTED
- - - ADJACENT PROPERTY BOUNDARY	⊙ PIPE	⊗ TELEPHONE SERVICE	⊗ WATER METER	△ SURVEY H&V CONTROL POINT
- - - ORIGINAL PROPERTY BOUNDARY	⊙ CLEANOUT	⊙ UNKNOWN UTILITY	⊗ PG&E BOX	+100.00 SPOT ELEVATION
- - - EASEMENT (TYPE AS SHOWN)	⊙ DOWNSPOUT	⊗ FUSE BOX	⊗ UTILITY HUB	X100.00 RL RIDGELINE
- - - ROADWAY CENTERLINE	⊙ HOSEBIB	⊗ ELECTRICAL OUTLET	⊗ ELECTRICAL HUB	X100.00 FF FINISHED FLOOR
- - - MAJOR CONTOUR LINE (5' INTERVAL)	⊙ WATER SERVICE	⊗ UTILITY POLE	⊗ ELECTRICAL PANEL	X100.00 TH THRESHOLD
- - - MINOR CONTOUR LINE (1' INTERVAL)	⊙ IRRIGATION BOX	⊗ GUY WIRE	⊗ ELECTRICAL METER	⊙ TREE (TYPE AND SIZE AS MARKED)
- - - FENCE (TYPE AS MARKED)	⊙ IRRIGATION CONTROL VALVE	⊗ TELEPHONE BOX	⊗ SANITARY SEWER MANHOLE	⊙ CENTER OF SYMBOL IS APPROX. CENTER OF TREE
ASPHALT CONCRETE	⊙ WATER VALVE	⊗ AREA DRAIN	⊗ STORM DRAIN MANHOLE	⊙ APPROXIMATE TREE CANOPY
PORTLAND CEMENT CONCRETE	⊙ DRAIN LINE	⊗ HYDRANT	⊗ PGE GAS MANHOLE	
WOOD	⊙ STREET LIGHT	⊗ SIGN	⊗ ELECTRICAL MANHOLE	
STONE				
NATURAL GROUND SURFACE/ LANDSCAPED AREA				

- GENERAL NOTES:**
- ELEVATIONS ARE BASED ON A PROJECT DATUM AS SHOWN ON THE TOPOGRAPHIC SURVEY OF LOT 22 PREPARED BY RASMUSSEN LAND SURVEYING, INC., W.O. #2019-086, DATED JULY 2019. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #120, A MAGNETIC NAIL LOCATED APPROXIMATELY 15' NORTHERLY AND 16' EASTERLY OF THE MOST NORTHERLY CORNER OF LOT 23, ELEVATION = 91.69' AS SHOWN.
 - NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
 - TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN. TREE CANOPIES ALONG DRIVEWAY ARE NOT SHOWN.
 - THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (07/12/21) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
 - BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED.
 - THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

CE = CEDAR PA = PALM
 CW = COTTON WOOD PE = PEPPER
 CYP = CYPRESS P = PINE
 E = EUCALYPTUS R = REDWOOD
 H = HOLLY TR = TREE
 O = OAK W = WILLOW

CONTACT INFORMATION:
 CLIENT:
 MR. DANIEL PATTERSON
 STUDIO CARVER ARCHITECTS
 P.O. BOX 2684
 CARMEL, CA 93921
 SITE LOCATION:
 44 YANKEE POINT
 CARMEL, CA 93923



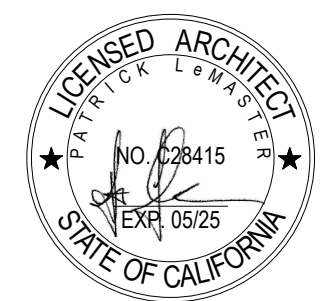
APPROVED BY:
 GUY R. GIRARDO
 P.L.S. No. 87703



TOPOGRAPHIC MAP
 OF
LOT 23 - TRACT NO. 181, YANKEE POINT ACRES
VOLUME 5 OF CITIES AND TOWNS AT PAGE 37
 CARMEL, CALIFORNIA
 FOR
 STUDIO CARVER ARCHITECTS
 A.P.N.: 243-141-014

07/21/21	JAN	RELEASED TO CLIENT
No.	DATE	BY REVISION

SCALE: 1" = 16'
 DATE: JULY 2021
 JOB NO. 2334-01
 SHEET 1
 OF 1 SHEETS



SHEET ISSUE

REVISION #

OWNER:
44 YPD, LLC
44 YANKEE POINT DRIVE
CARMEL, CA 93923

GARAGE ADDITION TO THE:
MORIARTY RESIDENCE
44 YANKEE POINT DRIVE
CARMEL, CA 93923

CD

Scale: As indicated
Job: 2212

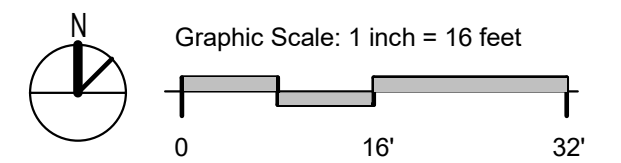
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SITE PLAN

A1.00

6/17/2024 9:15:02 AM



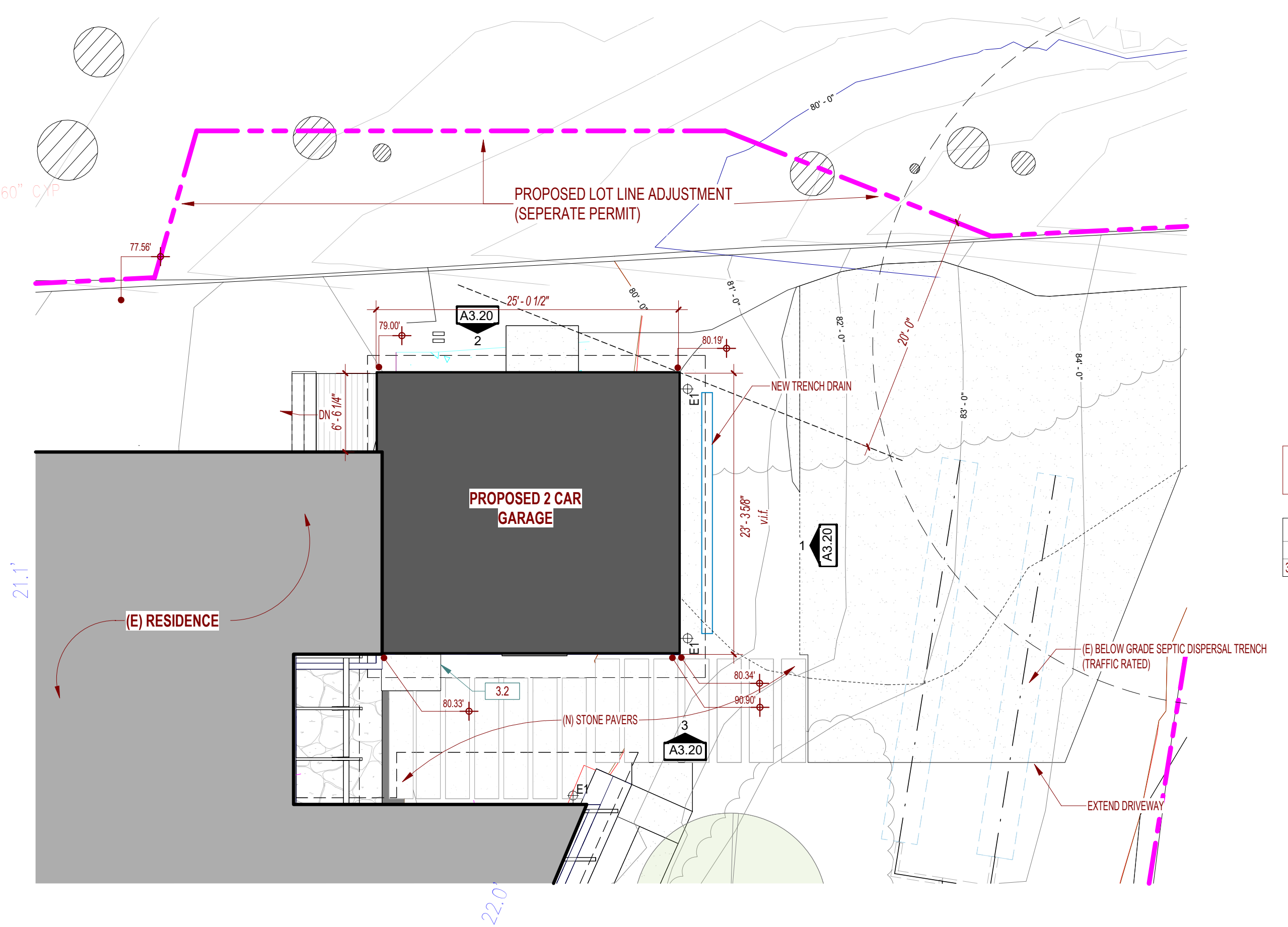
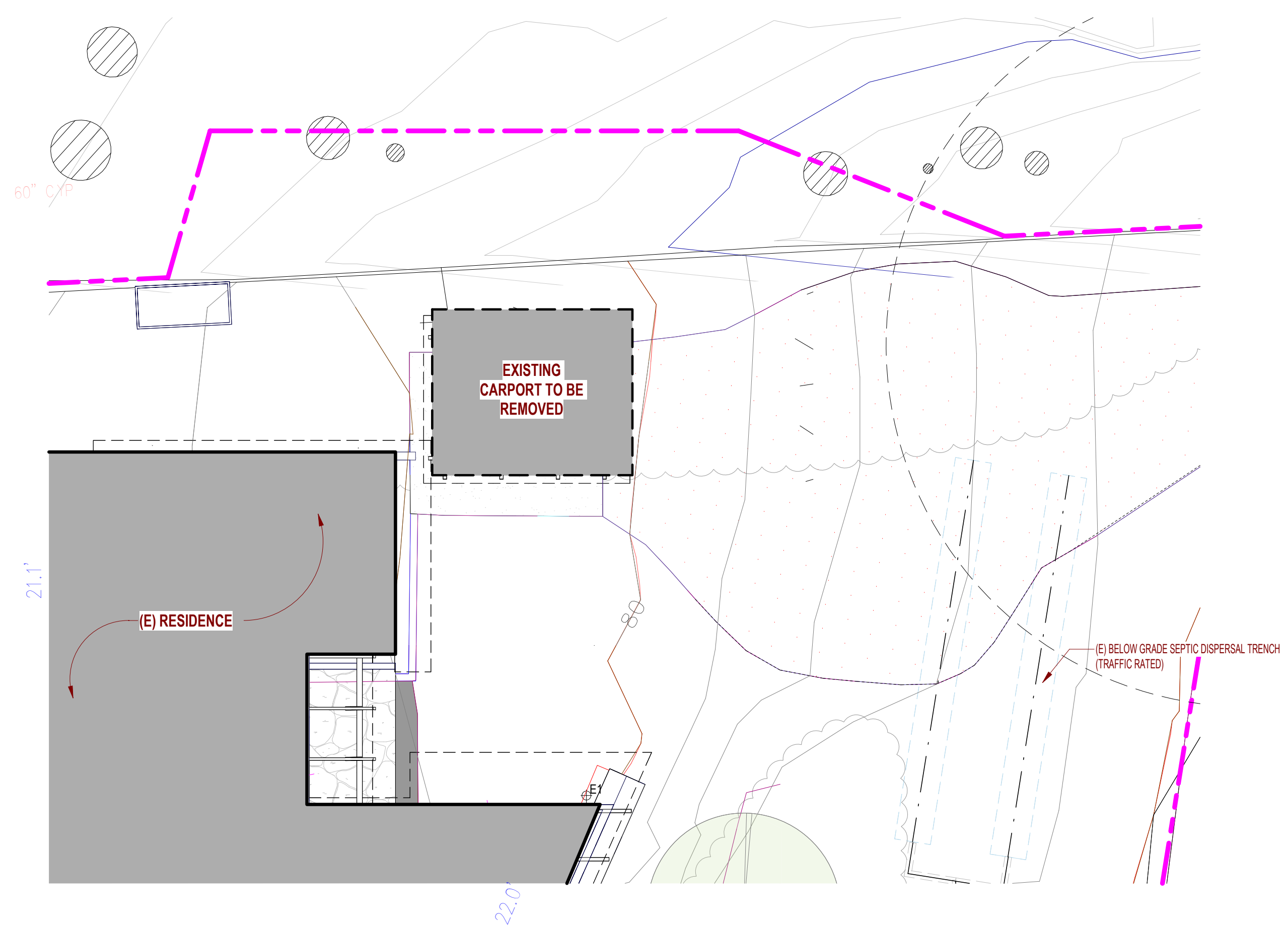
1 OVERALL SITE PLAN / LOT LINE ADJUSTMENT
1/16" = 1'-0"



GENERAL NOTES



SHEET ISSUE



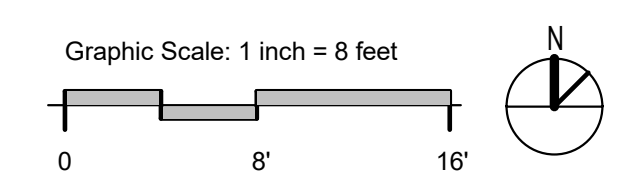
SHEET KEYNOTES

KEYNOTE#	DESCRIPTION
32	4" CONCRETE SLAB ON GRADE

REVISION #

2 EXISTING ENLARGED SITE PLAN
 1/8" = 1'-0"

1 ENLARGED SITE PLAN
 1/8" = 1'-0"



AVERAGE GRADE CALCULATION

LOW GRADE =	79.00
HIGH GRADE =	80.34
TOTAL =	159.34
CALCULATIONS:	
159.34 / 2 =	79.67

LEGEND

OWNER:
 44 YPD, LLC
 44 YANKEE POINT DRIVE
 CARMEL, CA 93923

GARAGE ADDITION TO THE:
MORIARIY RESIDENCE
 44 YANKEE POINT DRIVE
 CARMEL, CA 93923

CD

Scale: 1/8" = 1'-0"
 Job: 2212

Sheet
 ENLARGED SITE PLAN

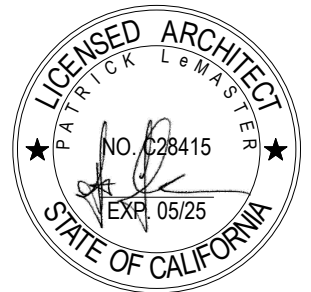
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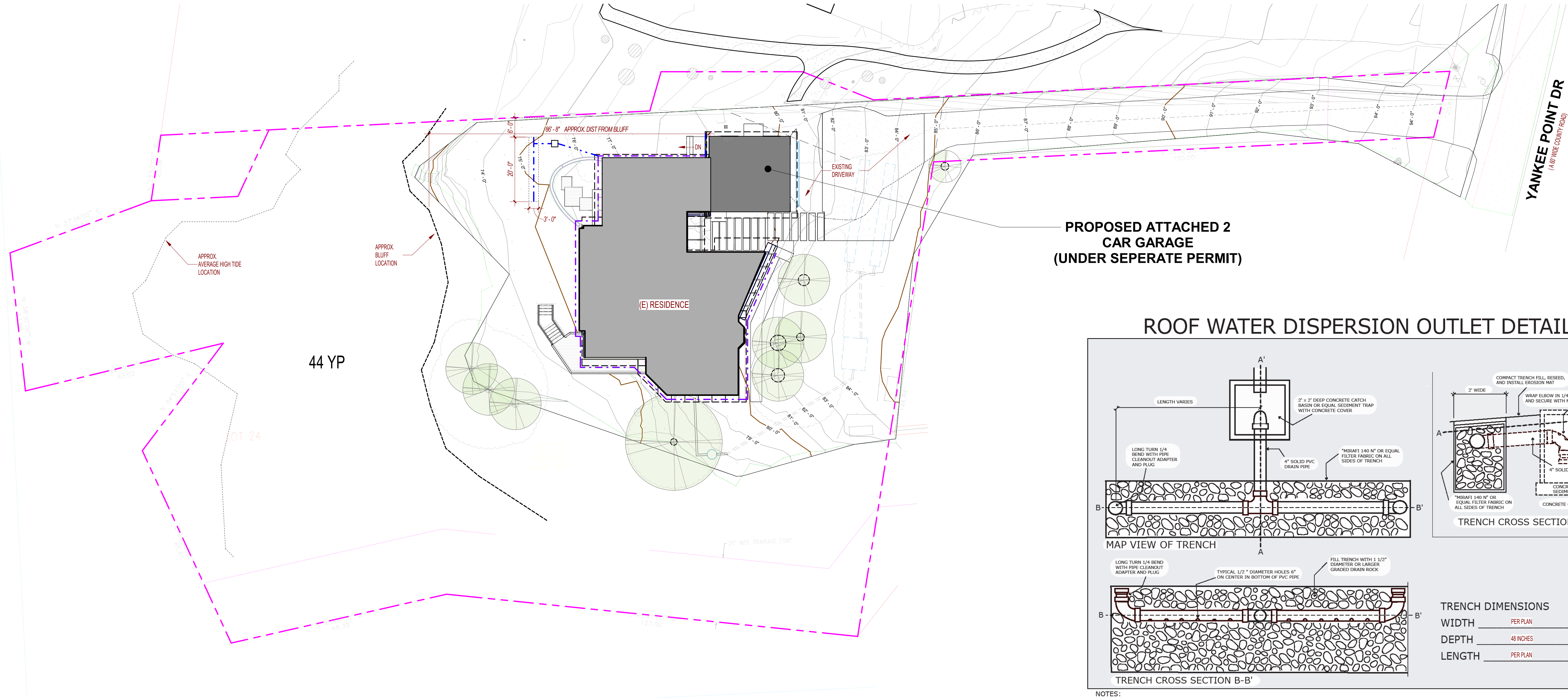
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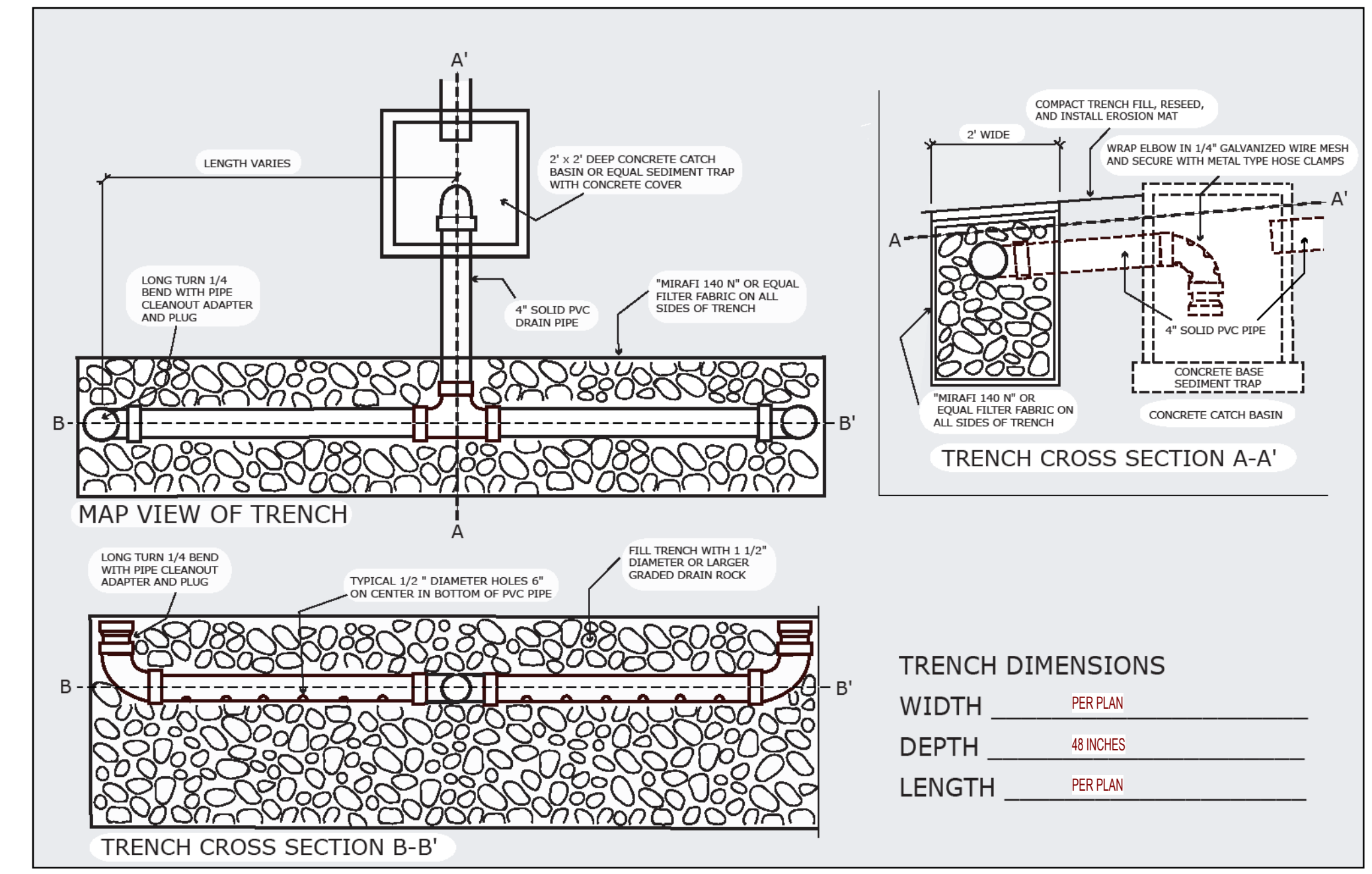


SHEET ISSUE



PROPOSED ATTACHED 2 CAR GARAGE (UNDER SEPERATE PERMIT)

ROOF WATER DISPERSION OUTLET DETAIL



- NOTES:**
- DISPERSION PIPE SHALL BE LEVEL AND TRENCH SHALL BE PARALLEL TO CONTOURS.
 - MIRAFI 140 N" OR EQUAL FILTER FABRIC SHALL BE INSTALLED ON SIDES, ENDS, TOP AND BOTTOM OF TRENCH.
 - DISPERSION TRENCH SHALL BE LOCATED 20 FEET, AT A MINIMUM, FROM ANY STRUCTURES.
 - DISPERSION TRENCH SHALL BE LOCATED ON THE LEAST STEEP AVAILABLE SLOPE.
 - DISPERSION TRENCH SHALL BE LOCATED AWAY FROM AND BELOW SEPTIC FIELDS.

GENERAL SHEET NOTES

- SITE PREPARATION AND GRADING:**
ALL GRADING AND FOUNDATION WORK SHALL CONFORM TO THE GEOTECHNICAL REPORT DATED OCTOBER 19TH, 2022 BY:

ROCK SOLID ENGINEERS
1100 MAIN STREET, SUITE A
WATSONVILLE, CA 95076
831-724-5868
- THE GEOTECHNICAL CONSULTANT SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR OTHER EARTHWORK OPERATIONS ON THE SUBJECT PROJECT IN ORDER TO OBSERVE THE STOPPING AND DISPOSAL OF UNSUITABLE MATERIALS AND TO ENSURE COORDINATION WITH THE GRADING CONTRACTOR. DURING THIS PERIOD, A PRECONSTRUCTION CONFERENCE SHOULD BE HELD ON THE SITE TO DISCUSS PROJECT SPECIFICATIONS, OBSERVATION TESTING REQUIREMENTS AND RESPONSIBILITIES, AND SCHEDULING. THIS CONFERENCE SHOULD INCLUDE AT LEAST THE GRADING CONTRACTOR, THE ARCHITECT, AND THE GEOTECHNICAL CONSULTANT.
- FIELD OBSERVATION AND TESTING MUST BE PROVIDED BY A REPRESENTATIVE OF ROCK SOLID ENGINEERING, INC. TO ENABLE THEM TO FORM AN OPINION REGARDING THE ADEQUACY OF THE SITE PREPARATION, AND THE EXTENT TO WHICH THE EARTHWORK IS PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL CONDITIONS PRESENT. THE REQUIREMENTS OF THE REGULATING AGENCIES, THE PROJECT SPECIFICATIONS AND THE RECOMMENDATIONS PRESENTED IN THIS REPORT. ANY EARTHWORK PERFORMED IN CONNECTION WITH THE SUBJECT PROJECT WITHOUT THE FULL KNOWLEDGE OF, AND NOT UNDER THE DIRECT OBSERVATION OF ROCK SOLID ENGINEERING, INC., THE GEOTECHNICAL CONSULTANT, WILL RENDER THE RECOMMENDATIONS OF THIS REPORT INVALID.

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
-----------	-------------

LEGEND

- EXISTING PVC STORM DRAIN. CONTRACTOR TO VERIFY EXACT LOCATION AND WORKING CONDITION.
- 4" SDR18S PVC STOR DRAIN PROVIDE 12" MIN. COVER AND (1/8" / 1/2") SLOPE.

REVISION #

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44 YANKEE POINT DRIVE
CARMEL, CA 93923

GARAGE ADDITION TO THE:
MORIARTY RESIDENCE

44 YANKEE POINT DRIVE
CARMEL, CA 93923

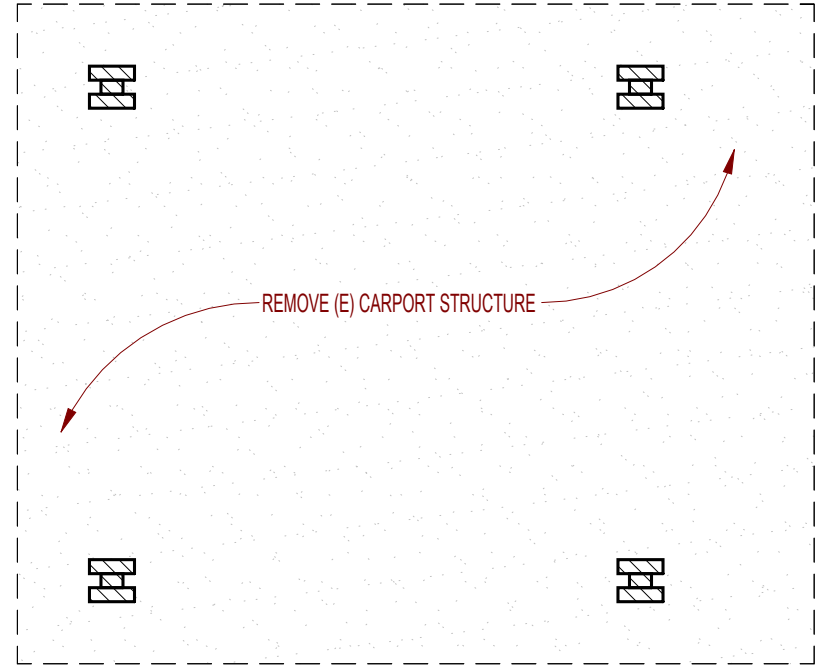
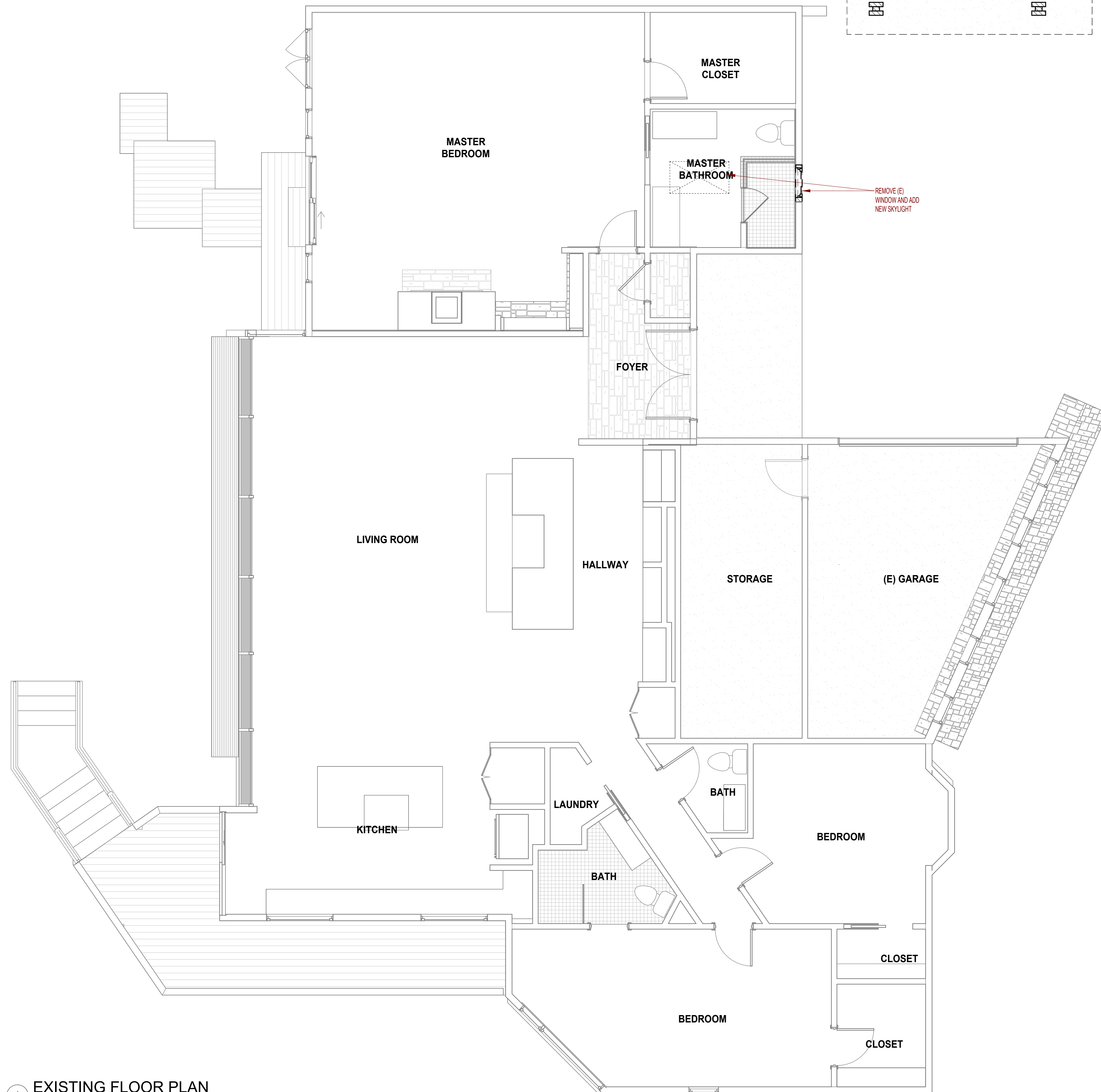
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Scale: 1/16" = 1'-0"
Job: 2212

Sheet
GRADING & DRAINAGE PLAN

A1.20

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REMOVE (E) WINDOW AND ADD NEW SKYLIGHT

1 EXISTING FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

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SHEET KEYNOTES

REVISION #

OWNER:
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CARMEL, CA 93923

GARAGE ADDITION TO THE:
MORIARIY RESIDENCE
44 YANKEE POINT DRIVE
CARMEL, CA 93923

PLANNING

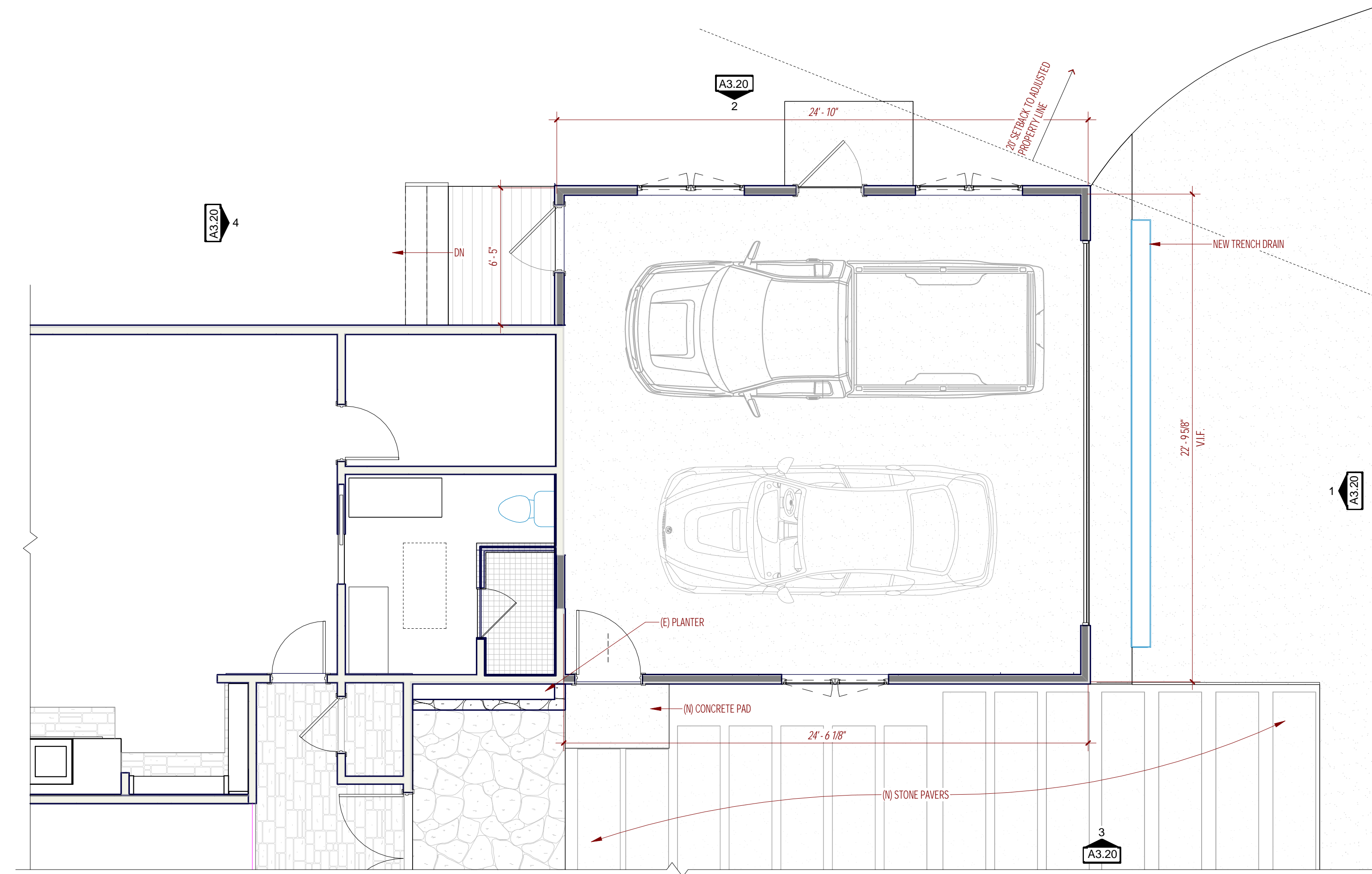
Scale: 1/4" = 1'-0"
Job: 2212

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(E) FIRST FLOOR /
DEMOLITION
PLAN

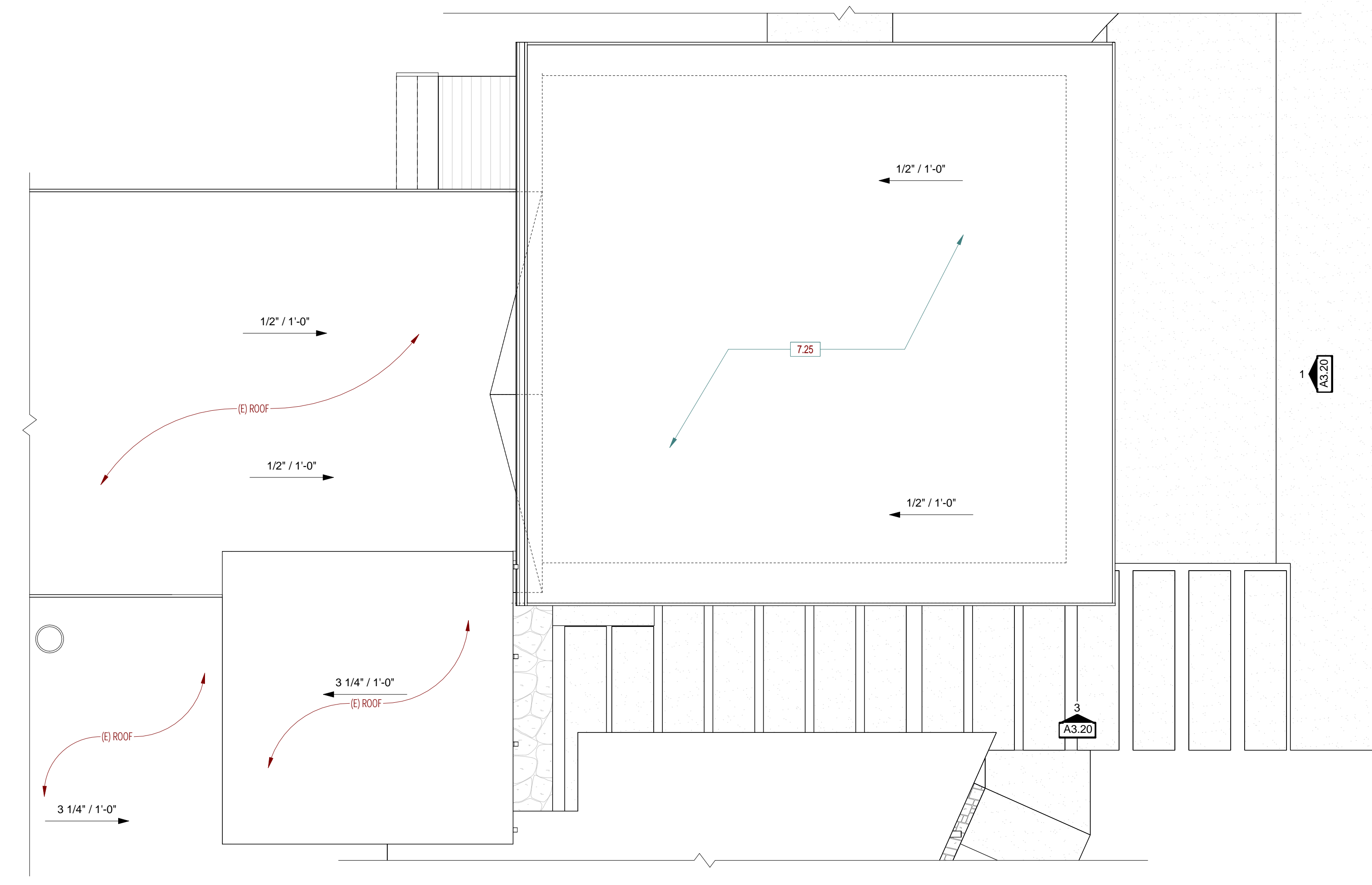
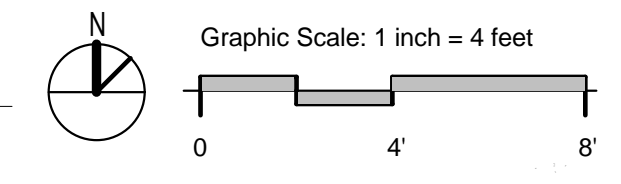
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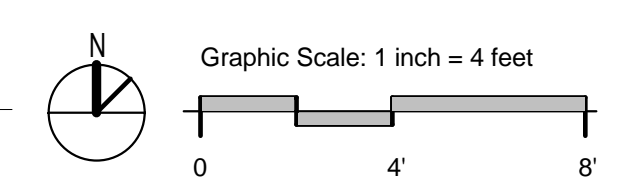
LEGEND



1 PARTIAL FLOOR PLAN
1/4" = 1'-0"



2 PARTIAL ROOF PLAN
1/4" = 1'-0"



7.20 - PVC LOW SLOPE ROOF - COLOR GRAY

GENERAL NOTES

GENERAL PARTITION TYPE NOTES

- ALL PARTITIONS SHALL EXTEND TO UNDERSIDE OF STRUCTURE UNLESS OTHERWISE NOTED.
- ALL PARTITIONS TO SUPPORT LATERAL LOADS OF NOT LESS THAN 5 LBS./SQUARE FOOT. PROVIDE BRACING ABOVE AS REQUIRED.
- PROVIDE LATERAL BRACING FOR ALL PARTITIONS NOT EXTENDING TO STRUCTURE.
- WALLS WITH ACOUSTIC BATT INSULATION SHALL BE SEALED AROUND THE PERIMETER WITH NON-HARDENING ACOUSTIC SEALANT.
- SOUND-RATED PARTITIONS SHALL BE FLOOR TO CEILING CONSTRUCTION TO ACHIEVE THE STATED STC* SOUND TRANSMISSION CLASS RATING AND "IC" IMPACT INSULATION CLASS RATING.
- ALL SHOWER & BATH WALLS SHALL USE EITHER SCHLUTER TILE BACKER BOARDS OR CEMENTITIOUS BACKER BOARD MORTAR BED WITH LIQUID APPLIED WATERPROOFING.
- PROVIDE WATER-RESISTANT GYPSUM BOARD IN ALL AREAS POTENTIALLY IN CONTACT WITH WATER, SUCH AS BEHIND TOILET FIXTURES, COUNTERMOUNTED SINKS.
- PARTITION TYPES ARE INDICATED ON FLOOR PLANS. UNMARKED PARTITIONS SHALL MATCH ADJACENT TYPES.
- PROVIDE ALL NECESSARY BLOCKING, BACKING PLATES, FRAMING, SUPPORTS AND ANCHORING DEVICES WITHIN PARTITION FRAMING REQUIRED FOR THE PROPER INSTALLATION OF ELECTRICAL DEVICES, MECHANICAL EQUIPMENT, TOILET ACCESSORIES, SPECIAL EQUIPMENT AND OTHER MOUNTED ITEMS.

SHEET KEYNOTES

KEYNO TE#	DESCRIPTION
7.25	NEW CLASS A SINGLE PLY PVC ROOFING MEMBRANE (LIGHT GREY COLOR), FULLY ADHERED OVER TAPERED INSULATION AND PROTECTION BOARD.

LEGEND

- EXISTING STUD WALL TO REMAIN (RENOVATION PROJECTS ONLY)
- NEW WALL - SEE WALL / PARTITION TYPES (SEE SHEET A0.1 SERIES SHEETS)
- CMU WALL
- CONCRETE WALL
- PARTITION WALL ASSEMBLY INDICATOR - (SEE A0.10 SERIES SHEETS)
- PARTITION WALL MODIFIER
- PARTITION WALL TYPE
- FLOOR/ ROOF ASSEMBLY TAG (SEE SHEET A0.1 SERIES SHEETS)
- DOOR TAG (SEE A6 SERIES SHEETS)
- WINDOW TAG (SEE A6 SERIES SHEETS)

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SHEET ISSUE

REVISION #	DESCRIPTION

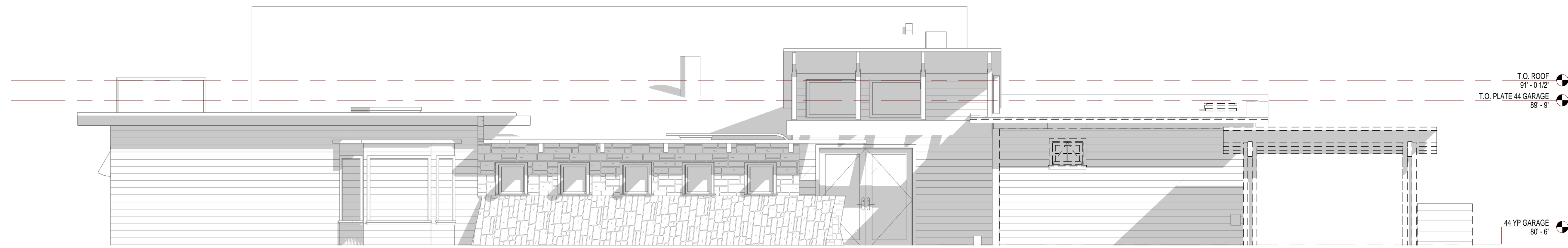
OWNER: 44 YPD, LLC
44 YANKEE POINT DRIVE
CARMEL, CA 93923

GARAGE ADDITION TO THE: **MORIARITY RESIDENCE**
44 YANKEE POINT DRIVE
CARMEL, CA 93923

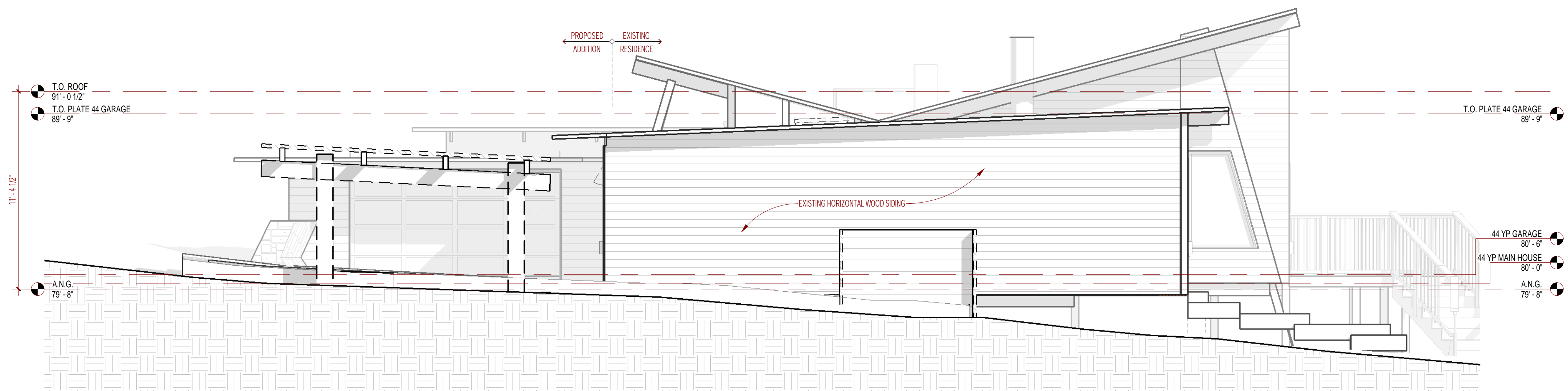
PLANNING

Scale: 1/4" = 1'-0"
Job: 2212

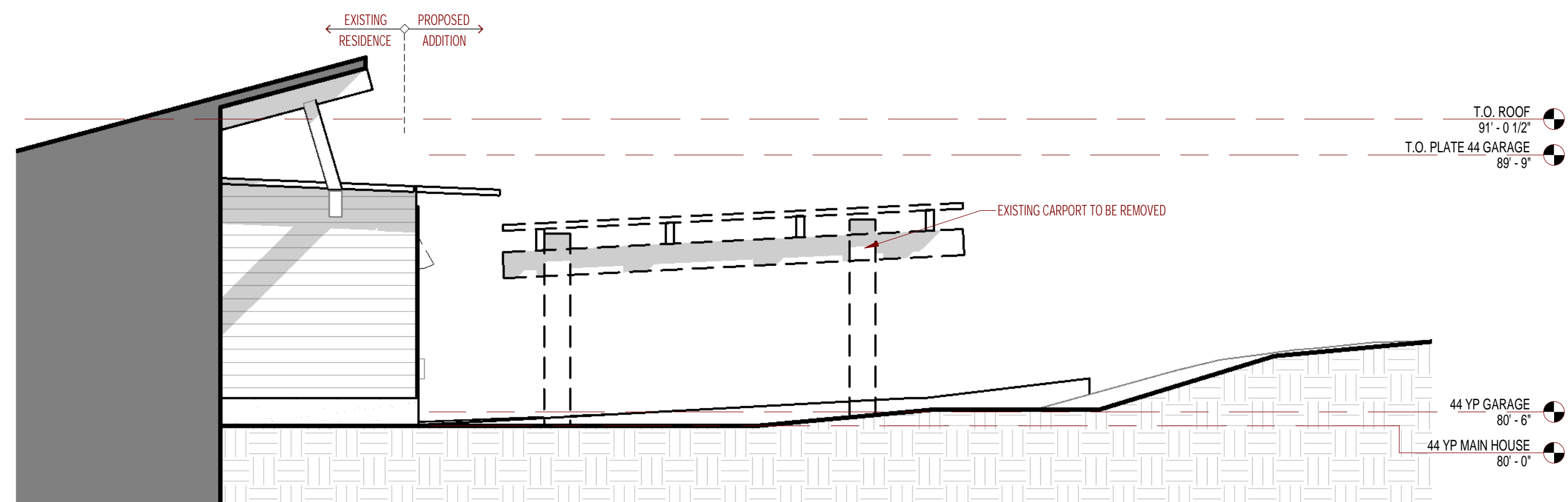
Sheet
PROPOSED FLOOR & ROOF PLAN
A2.11
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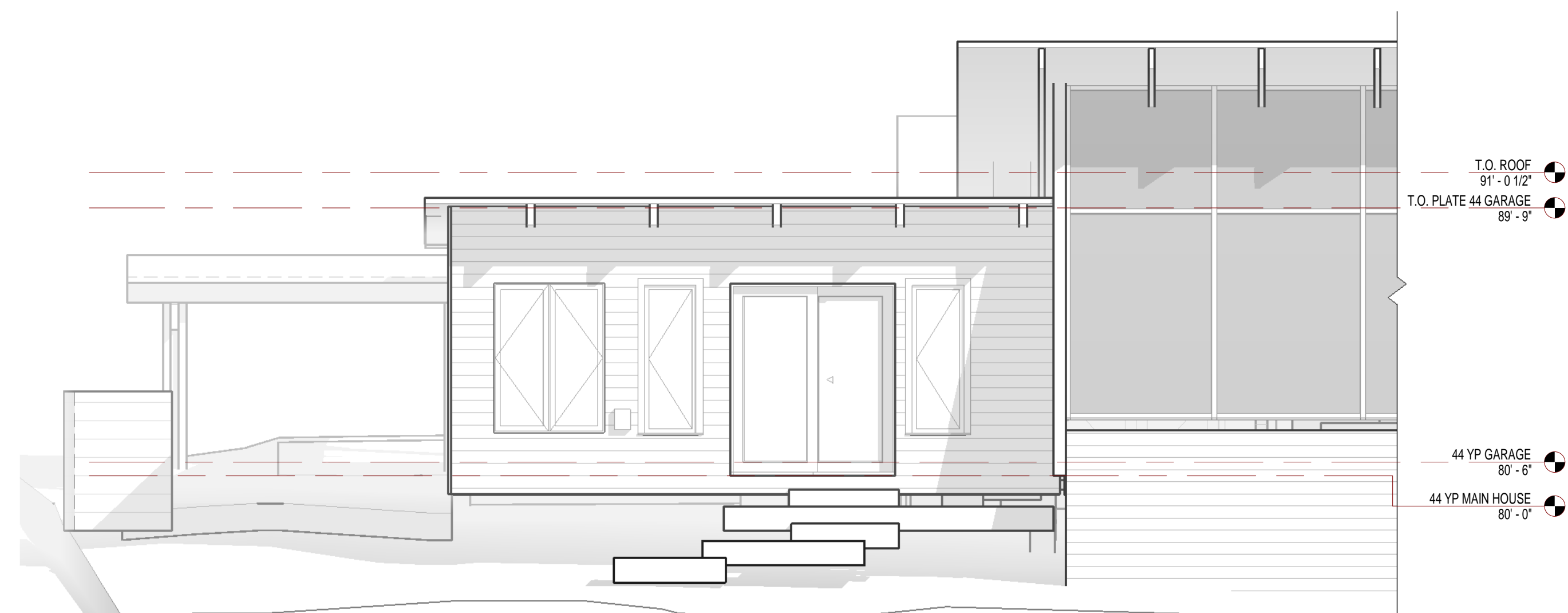
1 EXISTING/ DEMO EAST ELEVATION
1/4" = 1'-0"



2 EXISTING/ DEMO NORTH ELEVATION
1/4" = 1'-0"



3 EXISTING/ DEMO SOUTH ELEVATION
1/4" = 1'-0"



4 EXISTING/ DEMO WEST ELEVATION
1/4" = 1'-0"

SHEET KEYNOTES

KEYNOTE#	DESCRIPTION
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GENERAL NOTES

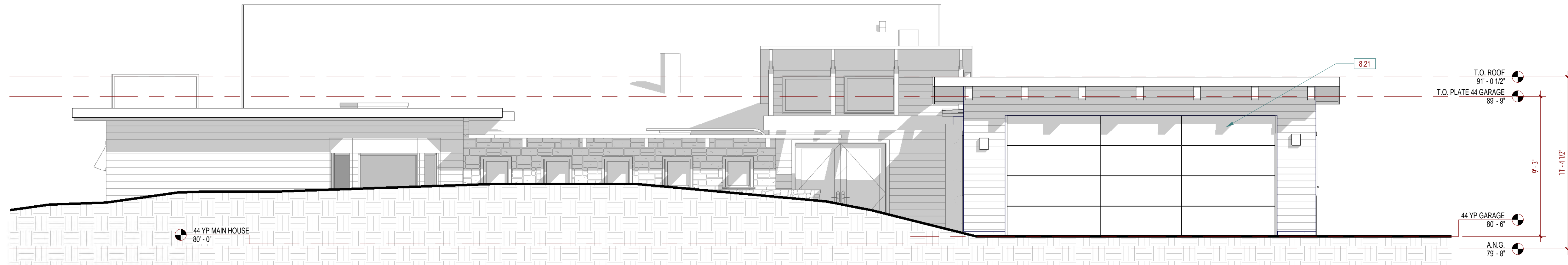


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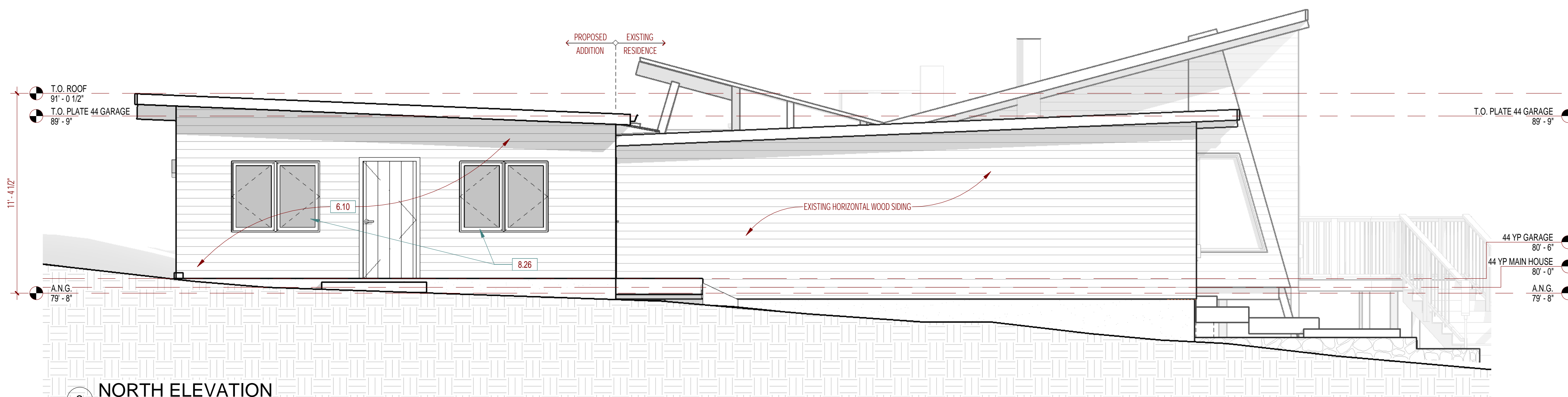
1 EAST ELEVATION
1/4" = 1'-0"



8.13 - ALUMINUM CLAD WOOD EXTERIOR DOORS AND WINDOWS - "MIDNIGHT BRONZE" COLOR BY LOEWEN WINDOWS



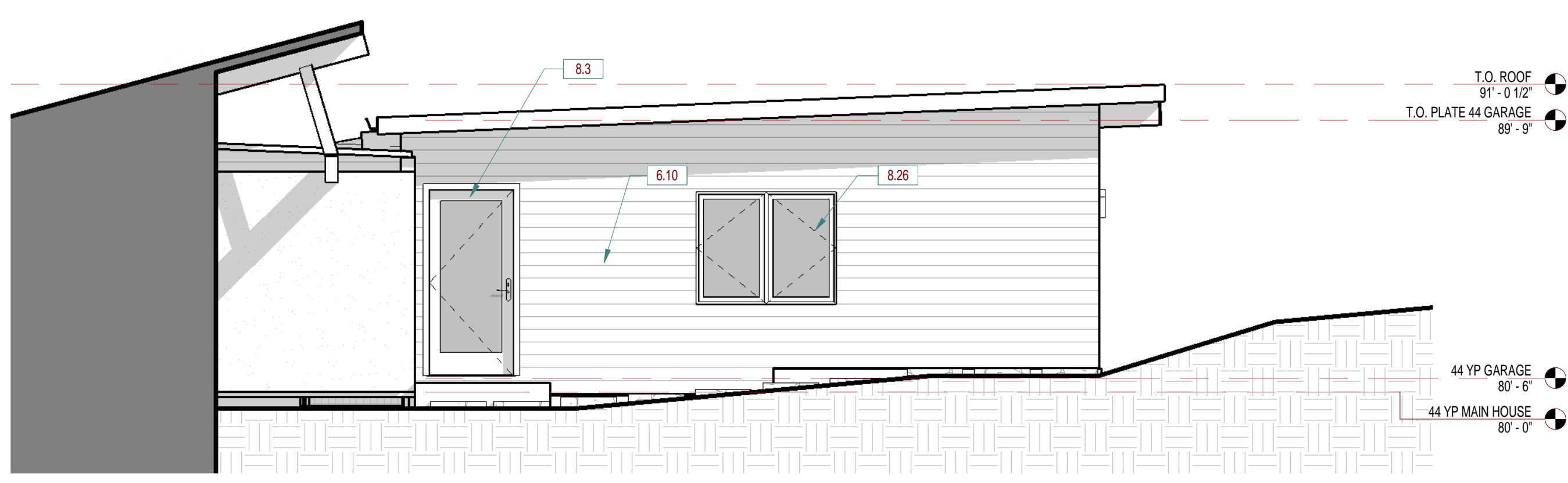
6.10 - CEDAR T&G HORIZONTAL SIDING (PAINTED TO MATCH EXISTING)



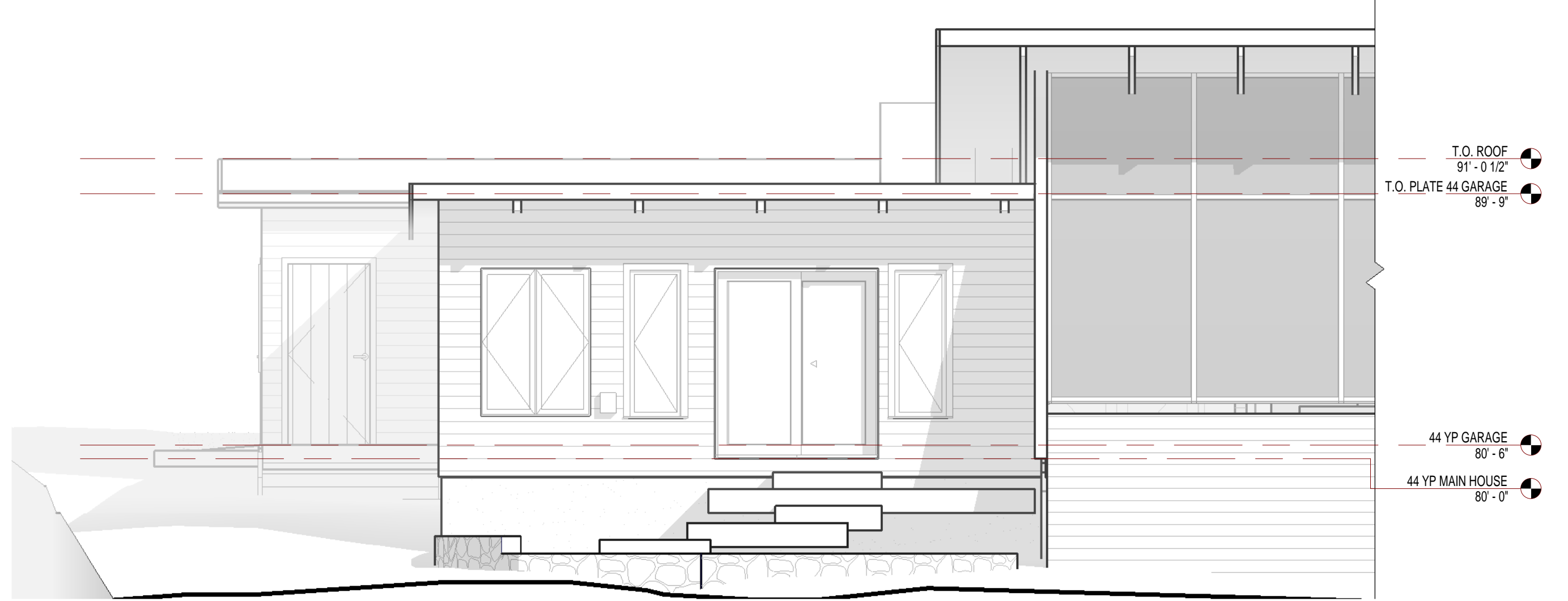
2 NORTH ELEVATION
1/4" = 1'-0"

SHEET KEYNOTES

KEYNOTE#	DESCRIPTION
6.10	NEW WOOD SIDING TO MATCH EXISTING (PAINTED)
8.3	NEW ALUMINUM DOOR / WINDOW TO MATCH EXISTING
8.21	NEW GARAGE DOOR
8.26	DARK BRONZE ALUMINUM WINDOWS PAINTED TO MATCH EXISTING



3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

REVISION #

OWNER:
44 YPD, LLC
44 YANKEE POINT DRIVE
CARMEL, CA 93823

GARAGE ADDITION TO THE:
MORIARTY RESIDENCE
44 YANKEE POINT DRIVE
CARMEL, CA 93823

PLANNING

Scale: 1/4" = 1'-0"
Job: 2212

Sheet
EXTERIOR
ELEVATIONS

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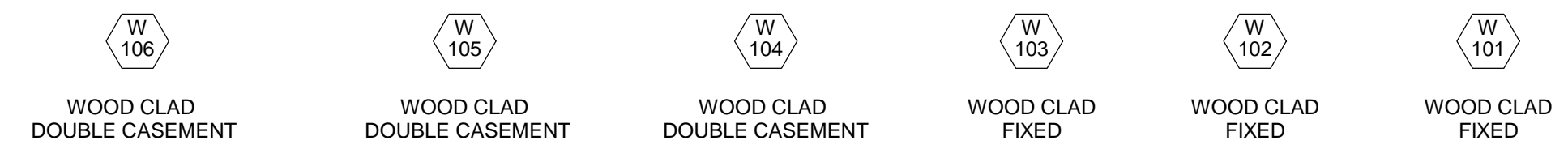
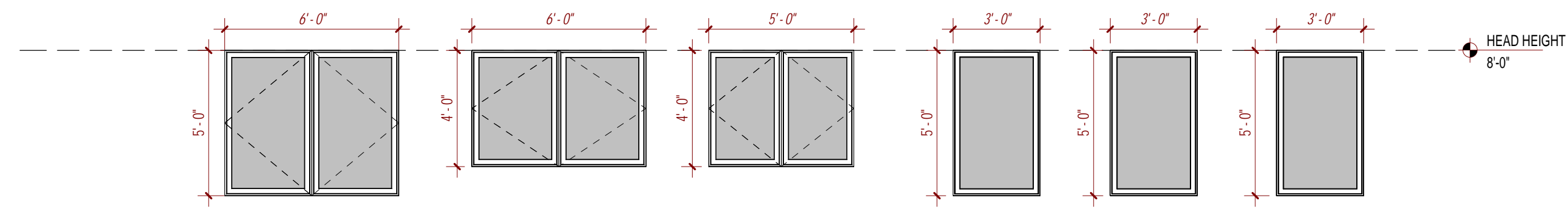
DOOR NOTES:

- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING DOORS.
- ALL GLASS IN DOORS TO BE SAFETY TEMPERED GLAZING TO MEET LOCAL AND STATE BUILDING CODES.
- SEE DOOR TYPES FOR ELEVATIONS
- GENERAL ABBREVIATIONS:
WD = WOOD STN = STAIN PNT = PAINT ALUM = ALUMINIUM
GLS = TEMPERED GLASS FG = FIBERGLASS

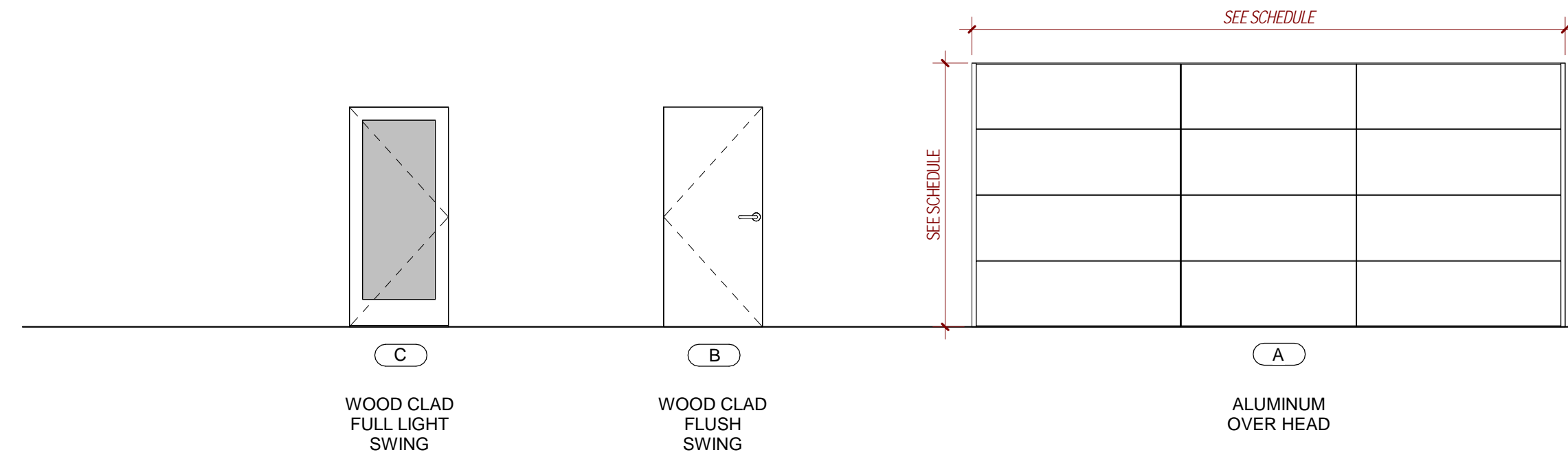
WINDOW NOTES:

- WINDOWS ARE BY LOEWEN WINDOWS
GLAZING: HEAT SMART DOUBLE 366 - DUAL GLAZED
MTL: ALUMINIUM / WOOD CLAD / DARK BRONZE COLOR
- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING WINDOWS.
- ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
(A) THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET - AND
(B) THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR, AND
(C) THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR, AND
(D) ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 40 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING DOORS AND WINDOWS.
- ALL WINDOWS TO BE DUAL GLAZED - THERMAL SPACER - DARK BRONZE OR BLACK COLOR.

DOOR SCHEDULE 1													
DOOR NO.	ORIENTATION		DOOR			Fire Rating	DOOR TYPE	DOOR MTL	DOOR FINISH	FRAME MTL.	FRAME FINISH	HRDW GROUP	COMMENTS
	FROM ROOM NAME	TO ROOM NAME	WIDTH	HEIGHT	THICK								
101a	EXTERIOR	ATTACHED GARAGE	3' - 0"	6' - 8"	0" - 1 3/8"		C	WD/ CLAD	PAINTED	WOOD CLAD	STAINED		TO MATCH EXISTING
101b	ATTACHED GARAGE	EXTERIOR	18' - 0"	8' - 0"			A	ALUMINIUM	PAINTED	ALUMINIUM	PAINTED		PAINTED TO MATCH SIDING
101c	ATTACHED GARAGE	EXTERIOR	3' - 0"	6' - 8"	0" - 1 3/4"	-	B	WOOD	PAINTED	WOOD CLAD	STAINED		TO MATCH EXISTING
101d	ATTACHED GARAGE	EXTERIOR	3' - 0"	6' - 8"	0" - 1 3/4"	-	B	WOOD	PAINTED	WOOD CLAD	STAINED		TO MATCH EXISTING



WINDOW TYPES
1/4" = 1'-0"



DOOR TYPES
1/4" = 1'-0"

SHEET ISSUE

REVISION #

OWNER:
44 YPD, LLC
44 YANKEE POINT DRIVE
CARMEL, CA 93823

GARAGE ADDITION TO THE:
MORIARIY RESIDENCE
44 YANKEE POINT DRIVE
CARMEL, CA 93823

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Scale: 1/4" = 1'-0"
Job: 2212

Sheet
DOOR AND WINDOW SCHEDULE

A6.00

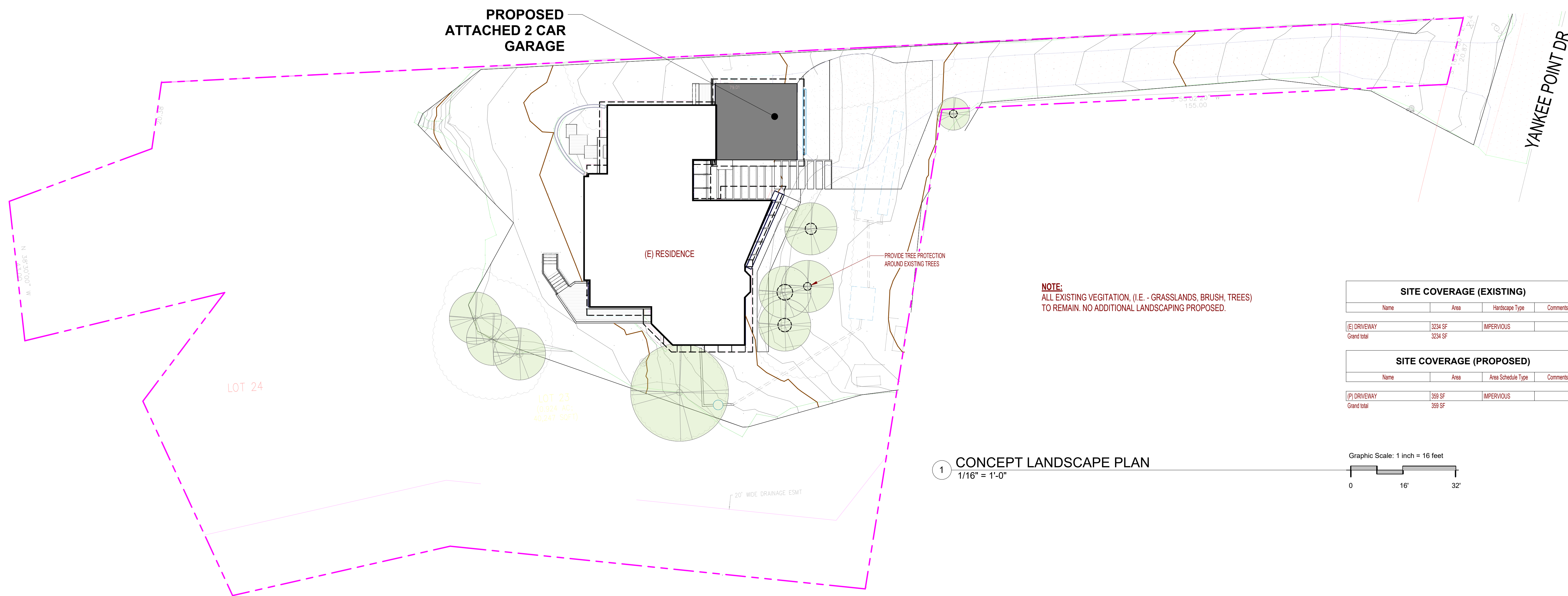
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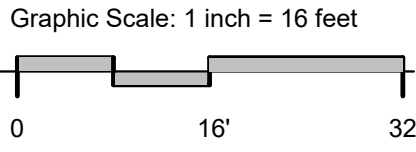


NOTE:
ALL EXISTING VEGETATION, (I.E. - GRASSLANDS, BRUSH, TREES)
TO REMAIN. NO ADDITIONAL LANDSCAPING PROPOSED.

SITE COVERAGE (EXISTING)			
Name	Area	Hardscape Type	Comments
(E) DRIVEWAY	3234 SF	IMPERVIOUS	
Grand total	3234 SF		

SITE COVERAGE (PROPOSED)			
Name	Area	Area Schedule Type	Comments
(P) DRIVEWAY	359 SF	IMPERVIOUS	
Grand total	359 SF		

1 CONCEPT LANDSCAPE PLAN
1/16" = 1'-0"



SHEET ISSUE

REVISION #

OWNER:
44 YPD, LLC

GARAGE ADDITION TO THE:
MORIARITY RESIDENCE

PLANNING

Scale: 1/16" = 1'-0"
Job: 2212

Sheet
CONCEPT
LANDSCAPE
PLAN

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PROJECT FILE NO. _____

PHOTOGRAPHS



Date: _____ Site Address: _____ Planner: _____

Description: _____

PROJECT FILE NO. _____

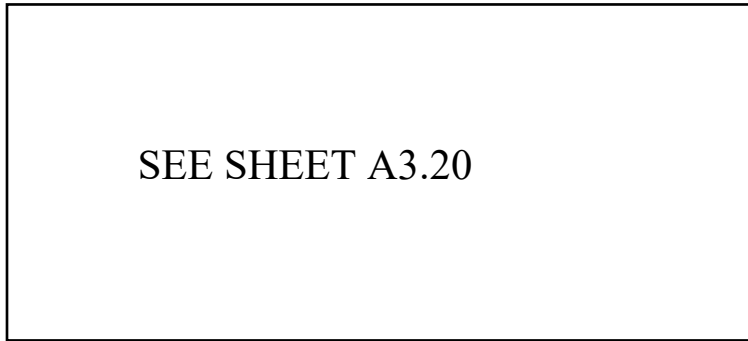
PHOTOGRAPHS



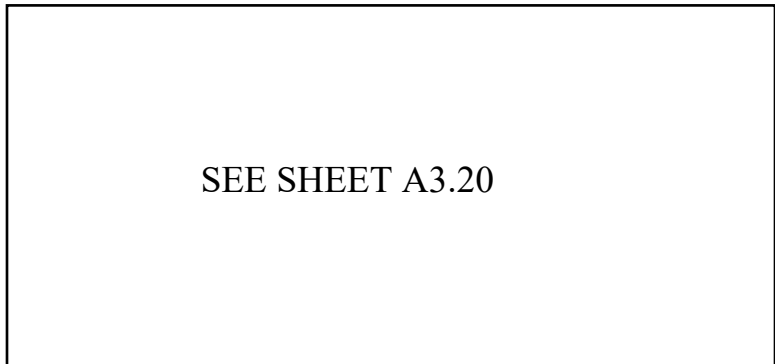
Date: _____ Site Address: _____ Planner: _____

Description: _____

COLOR SAMPLES FOR PROJECT FILE NO. _____



Materials: _____ Colors: _____
Description: _____



Materials: _____ Colors: _____
Description: _____



Materials: _____ Colors: _____
Description: _____