

**COUNTY OF MONTEREY
DEPARTMENT OF PUBLIC WORKS**

Old Jail

Roof Replacement & Limited Weatherization

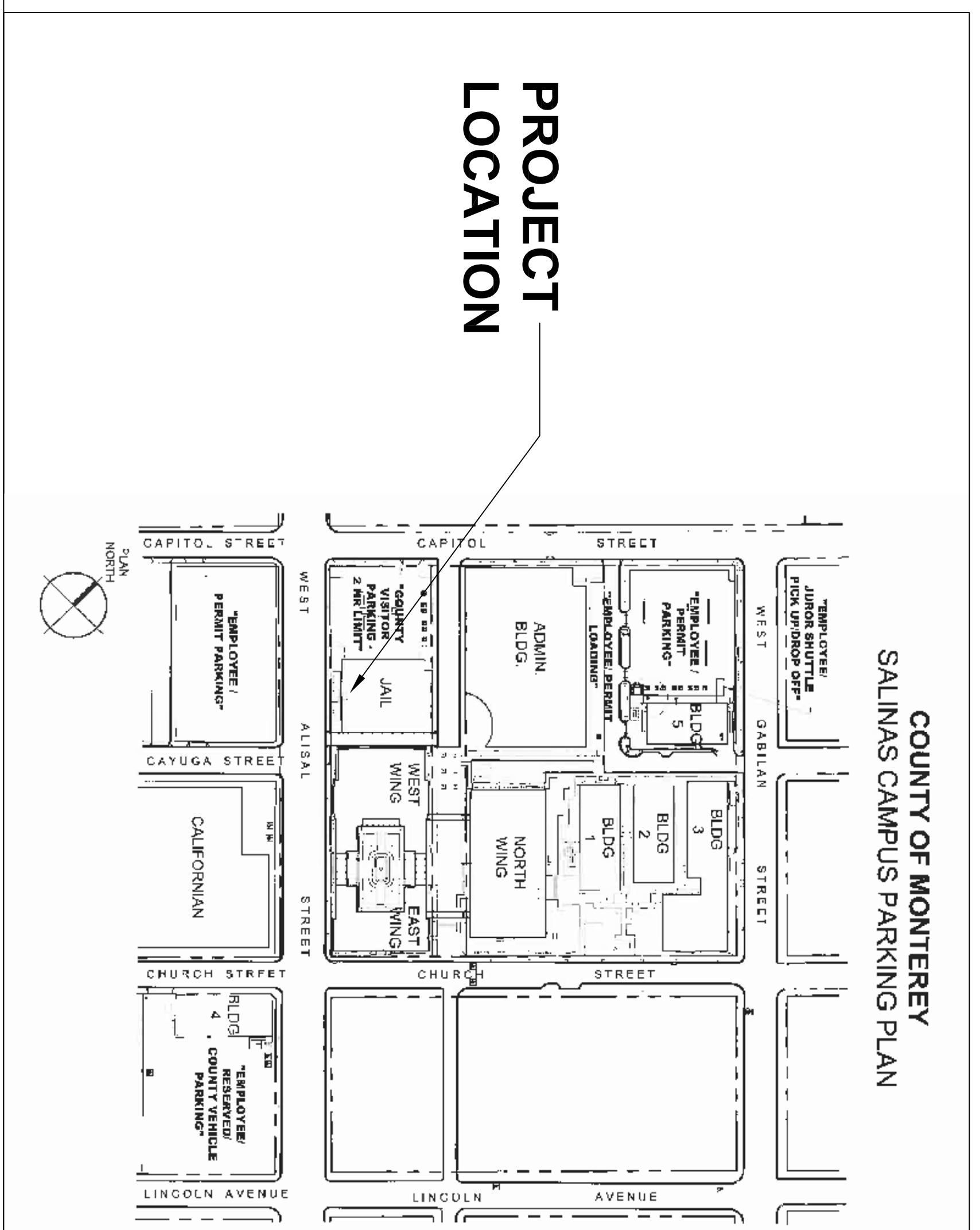
ADDRESS: 142 West Alisal, Salinas CA

BID NO.: 10362

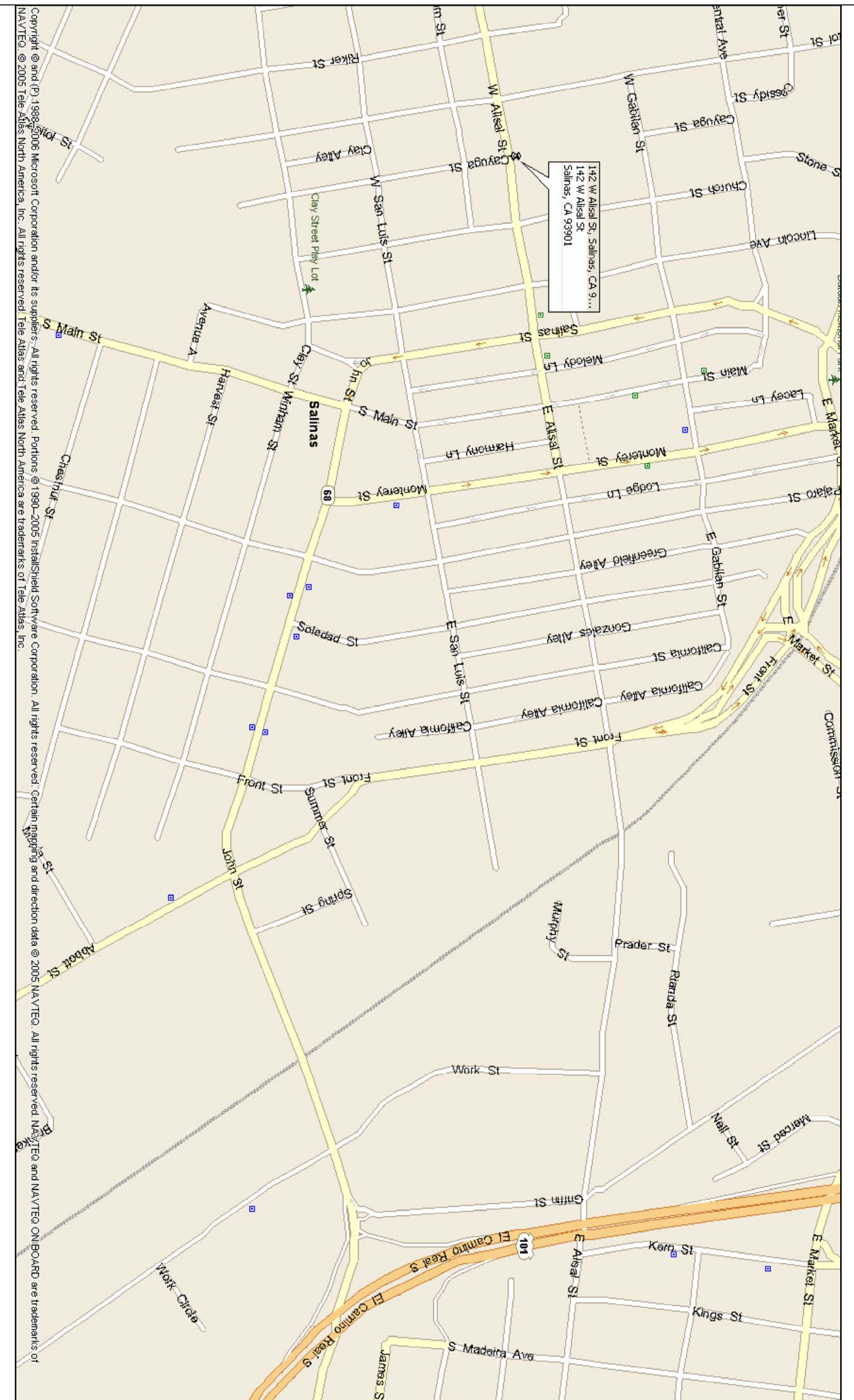
PROJECT NO.: 8820

SCOPE OF WORK

- A. Roof sections 9 and 10 shall be add alternate #1. Roof section 11 (refer to A2) shall be bid as add alternate #2.
- B. Exercise Patio Deck:
 - 1. Provide 45 mil temporary roofing as specified in section 07 54 00 Thermoplastic Membrane Roofing at the Exercise Patio Deck. This shall be add alternate #3.
 - 2. Provide heavy visqueen plastic covering Exercise Patio Deck. Weigh down with blocking. This shall be add alternate #4.
- C. Remove existing roofing system, insulation, and flashings in accordance with section 02 41 19.13. Selective Building Demolition, 02080 Hazardous Materials Abatement (May 23, 2011).
- D. Check decking for deflection. Modify decking in order to eliminate deflected areas that may cause ponding as specified in section 07 54 00 Thermoplastic Membrane Roofing.
- E. Check decking for damage. Report damage to owner. Upon owner approval, repair concrete decking as specified in section 03 01 30 Maintenance of Precast Concrete. Provide unit cost for concrete deck repair.
- F. Remove existing fence and all associated brackets, supports and hardware at elevated exterior exercise area in accordance with section 02 41 19.13. Selective Building Demolition, 02080 Hazardous Materials Abatement (May 23, 2011).
- G. Provide concrete repair at openings left as a result of removal of fencing hardware as specified in section 03 01 30 Maintenance of Precast Concrete.
- H. At designated roof areas with sufficient slope, adhere specified coverboard to the deck as specified in section 07 54 00 Thermoplastic Membrane Roofing.
 - 1. At designated roof areas with insufficient slope, adhere 1/2" per 12" tapered insulation and coverboard to the deck as specified in section 07 54 00 Thermoplastic Membrane Roofing.
 - J. Install crickets on the high sides of all curbs as specified in section 07 54 00 Thermoplastic Membrane Roofing.
 - K. Adhere specified PVC membrane as specified in section 07 54 00 Thermoplastic Membrane Roofing.
 - L. Install walk pads from roof access points to all serviceable equipment and gutters as specified in section 07 54 00 Thermoplastic Membrane. Contractor shall include 250 linear feet of walk pad installation in the base bid.
 - M. Where mechanical equipment is being removed, provide curbs and sheet metal caps as specified in section 07 15 00 Sheet Metal Waterproofing.
 - N. Any and all rooftop equipment that does not have curb heights of 8" above the final roof surface shall be extended. Insulation height will be increasing. If the proposed roofing system manufacturer will accept curb heights less than 8", contractor shall submit request in writing (from manufacturer) to owner and engineer to withdraw this requirement.
 - O. Add overflow scuppers next to all primary drains as specified in section 22 14 26.13 Roof Drainage.
 - P. Perimeter and projection flashings:
 - 1. Provide all flashing and penetration details in accordance with the detail drawings and manufacturer guidelines as specified in section 07 54 00 Thermoplastic Membrane Roofing.
 - 2. If a manufacturer standard and required detail differs from that shown on the project detail drawings included in these specifications, contractor shall submit manufacturer approved drawing to the Owner and Engineer for approval. If the manufacturer requirements for a flashing detail is less stringent than those shown in the project drawings, the more stringent flashing detail shall govern with the approval of the manufacturer providing the warranty for this project.
 - Q. Provide owner with a five (5) year contractor guarantee as specified in section 07 54 00 Thermoplastic Membrane Roofing.
 - R. Provide owner with a twenty (20) year no-dollar-limit manufacturer warranty covering labor, materials, and metal flashings as specified in section 07 54 00 Thermoplastic Membrane Roofing.
 - S. Provide concrete repair at entry steps as specified in section 03 01 30 Maintenance of precast concrete.
 - T. Provide sealant at designated windows as specified in section 08 01 81 Maintenance of glass glazing.
 - U. Provide all work as specified in the following sections. Review scope of work under each of these sections:
 - 1. 024119.13 Selective Building Demolition
 - 2. 02080 Hazardous Materials Abatement (May 23, 2011)
 - 3. 03 01 30 Maintenance of precast concrete
 - 4. 061000 Rough Carpentry
 - 5. 071500 Sheet Metal Waterproofing
 - 6. 075400 Thermoplastic membrane Roofing
 - 7. 08 01 81 Maintenance of glass glazing
 - 8. 099113 Exterior Painting
 - 9. 221426.13 Roof Drainage
 - V. Provide any other warranty or guarantee as required by the specification sections listed above.



VICINITY MAP



APPLICABLE CODES:

- 1. 2010 CALIFORNIA CODE OF REGULATIONS TITLE 24 - PARTS 1, 2, 6, 9 and 12.
- 2. STATE OF CALIFORNIA TITLE 24 (2010 EDITION) - PART 4 CALIFORNIA MECHANICAL CODE/AMENDMENTS WITH 2000 UMC
- 3. STATE OF CALIFORNIA TITLE 24 (2010 EDITION) - PART 5 CALIFORNIA PLUMBING CODE WITH 2000 UPC
- 4. STATE OF CALIFORNIA TITLE 24 (2010 EDITION) - PART 6 CALIFORNIA ENERGY CODE
- 5. STATE OF CALIFORNIA TITLE 24 (2010 EDITION) - PART 9 CALIFORNIA FIRE CODE/AMENDMENTS WITH 2000 UFC
- 6. STATE OF CALIFORNIA TITLE 24 (2010 EDITION) - PART 12 CALIFORNIA REFERENCED STANDARDS CODE
- 7. TITLE 19, CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- 8. 2008 CALIFORNIA ENERGY CODE
- 9. NRCA (LATEST EDITION) NATIONAL ROOFING CONTRACTORS ASSOCIATION GUIDELINES
- 10 UL 790 Class A fire rating.

DRAWING TABLE OF CONTENTS

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Occupancy Group: Abandoned structure
 Type of Construction: Non-combustible - concrete
 Sprinklers: N/A
 Stories: Varies - 1 to 3 stories.
 Height: Varies. 20 ft. to 75 ft.
 Roof Area: Varies. See A-2
 APN #002-253-027-000

Drawn by:
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 Skyline Engineering

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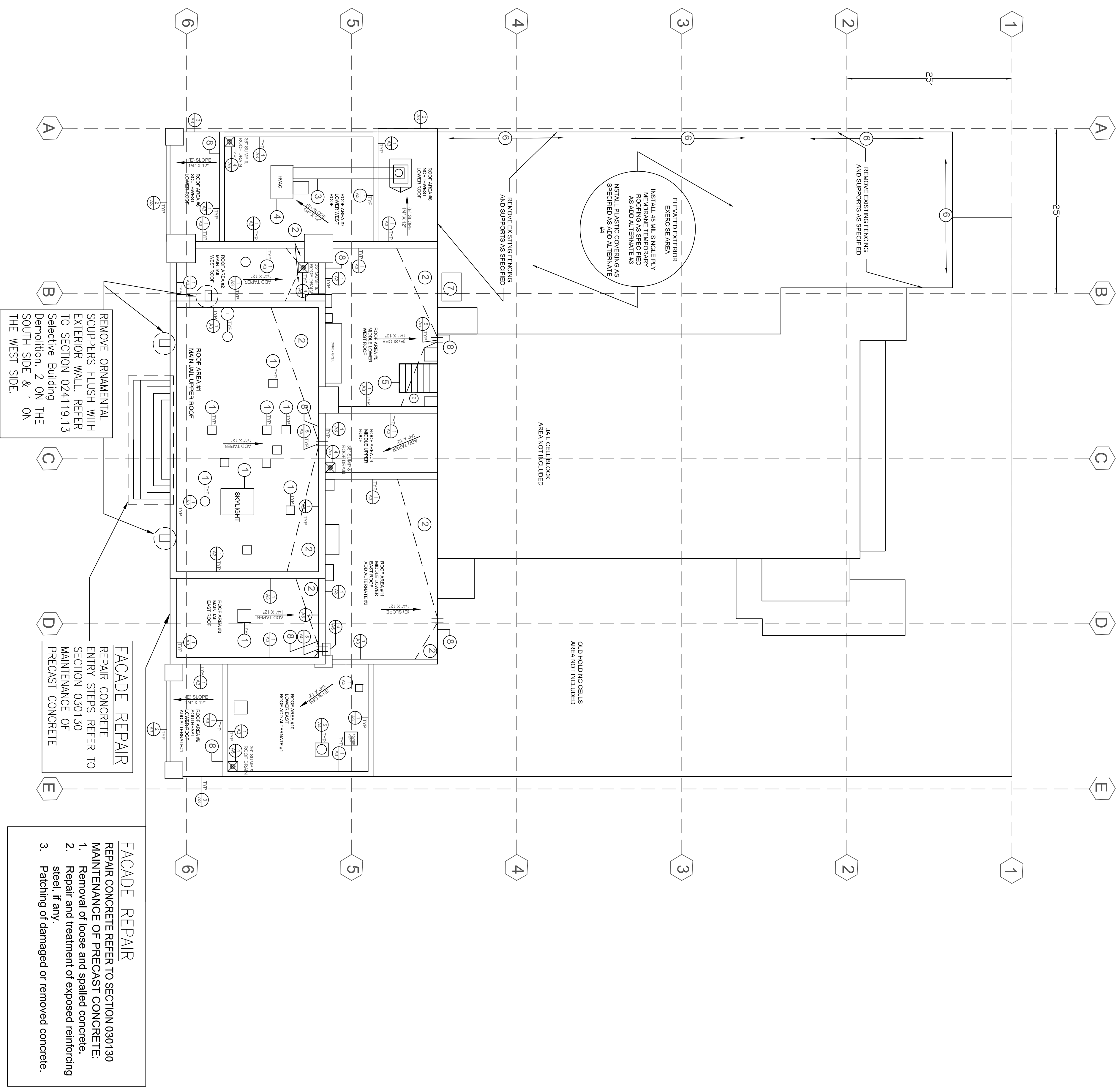
No.	Revision/Issue	Date

From Name and Address

SKYLINE
Engineering, Inc.
8100 Wilshire Road
Salinas CA 93907

PROJECT TITLE:
 Old Jail
 Roof Replacement & Limited Weatherization
ADDRESS: 142 West Alisal, Salinas CA
BID NO.: 10362
PROJECT NO.: 8820

Date	Sheet
March 2012	A-1
	Title
	Page



- SHEET NOTES**
- EQUIPMENT TO BE REMOVED. INSTALL SHEET METAL PAN AS SPECIFIED. SEE DETAIL 5 ON A4.
 - INSTALL CRICKETS ON ALL ROOF AREAS. CRICKET WIDTH = 1/3 LENGTH FOR DOWN TURN DIAMOND CRICKETS. SLOPE = 2X ROOF SLOPE.
 - INSTALL NEW SUPPORT STANDS AT DUCTWORK. SEE DETAIL 5 ON A4.
 - PROVIDE NEW ENCLOSED CURB UNDER HVAC UNIT. SEE DETAIL 5 ON A4.
 - LEAVE STAIRS ATTACHED TO THE EXISTING CONCRETE CURB. INSTALL NEW MEMBRANE UP AND AROUND CURB (WRAP BETWEEN MEMBRANE AND METAL.
 - REMOVE TWO PVC CONDUITS ALONG PERIMETER OF EXERCISE YARD.
 - REMOVE SMALL CAGE AT THIS LOCATION.
 - INSTALL OVERFLOW DRAINAGE THROUGH WALL SCUPPER AS SPECIFIED IN SECTION 030130. ALL DRAINAGE OUTLETS SHALL BE EQUAL IN SQUARE INCHES TO PRIMARY DRAIN AND SHALL BE LOCATED 2" ABOVE PRIMARY DRAIN OUTLET HEIGHT.

- SQUARE FOOTAGE ESTIMATES** (Contractors shall verify all measurements)
- MAIN JAIL UPPER ROOF - 860 SF
 - MAIN JAIL WEST ROOF - 172 SF
 - MAIN JAIL EAST ROOF - 288 SF
 - MIDDLE LOWER WEST ROOF - 408 SF
 - SOUTHWEST LOWER ROOF - 124 SF
 - NORTHWEST LOWER ROOF - 149 SF
 - SOUTHEAST LOWER ROOF ADD ALTERNATE #1 - 138 SF
 - LOWER EAST ROOF ADD ALTERNATE #1 - 336 SF
 - MIDDLE LOWER EAST ROOF ADD ALTERNATE #2 - 459 SF

- INSTALL 1/4" PER 12" TAPERED INSULATION AND COVERBOARD AS SPECIFIED ON THE FOLLOWING ROOF AREAS:**
- MAIN JAIL UPPER ROOF - 860 SF
 - MAIN JAIL WEST ROOF - 172 SF
 - MAIN JAIL EAST ROOF - 288 SF
 - MIDDLE UPPER ROOF - 153 SF
- INSTALL SPECIFIED COVERBOARD (NO TAPERED INSULATION) AS SPECIFIED ON THE FOLLOWING ROOF AREAS:**
- MIDDLE LOWER WEST ROOF - 408 SF
 - SOUTHWEST LOWER ROOF - 124 SF
 - NORTHWEST LOWER ROOF - 149 SF
 - SOUTHEAST LOWER ROOF ADD ALTERNATE #1 - 138 SF
 - LOWER EAST ROOF ADD ALTERNATE #1 - 336 SF
 - MIDDLE LOWER EAST ROOF ADD ALTERNATE #2 - 459 SF

GENERAL NOTES

ROOF AREAS 9 AND 10 SHALL BE BID AS ADD ALTERNATE #1. ROOF AREA 11 SHALL BE BID AS ADD ALTERNATE #2

TEMPORARY ROOFING AT EXERCISE PATIO SHALL BE BID AS ADD ALTERNATES #3 & #4.

Equipment and projection locations are approximate. Not all projections are shown.

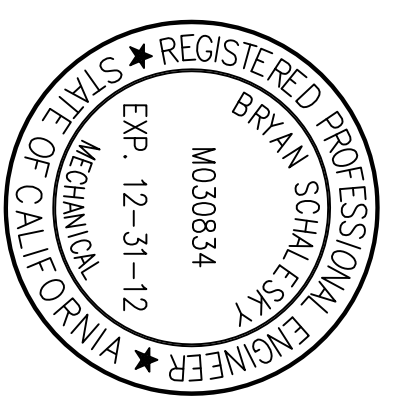
Contractors are responsible for all measurements and projection counts. Not all projections are shown. Horizontal conditions not shown.

Other than overflow scuppers needing to be cored through parapet walls at designated locations, no additional penetrations shall be added to these roof areas.

Any structural alteration to roof and supporting members required due to compromised roofing system as determined by engineer of record to be submitted to County Building for review and approval prior to work commencing.

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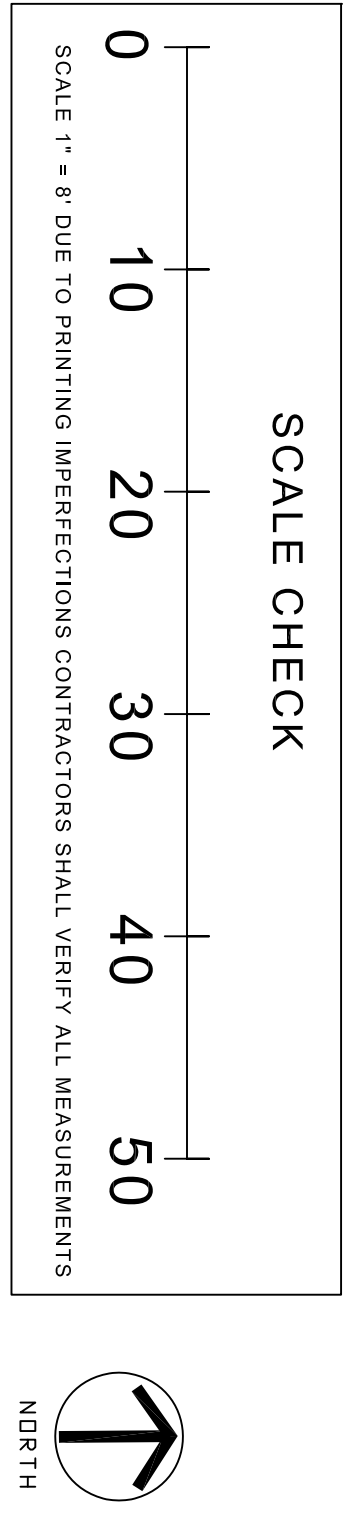
From Name and Address

SKYLINE
 Engineering Inc.
 8100 Wilhorses Road
 Salinas CA 93907

Project Name and Address

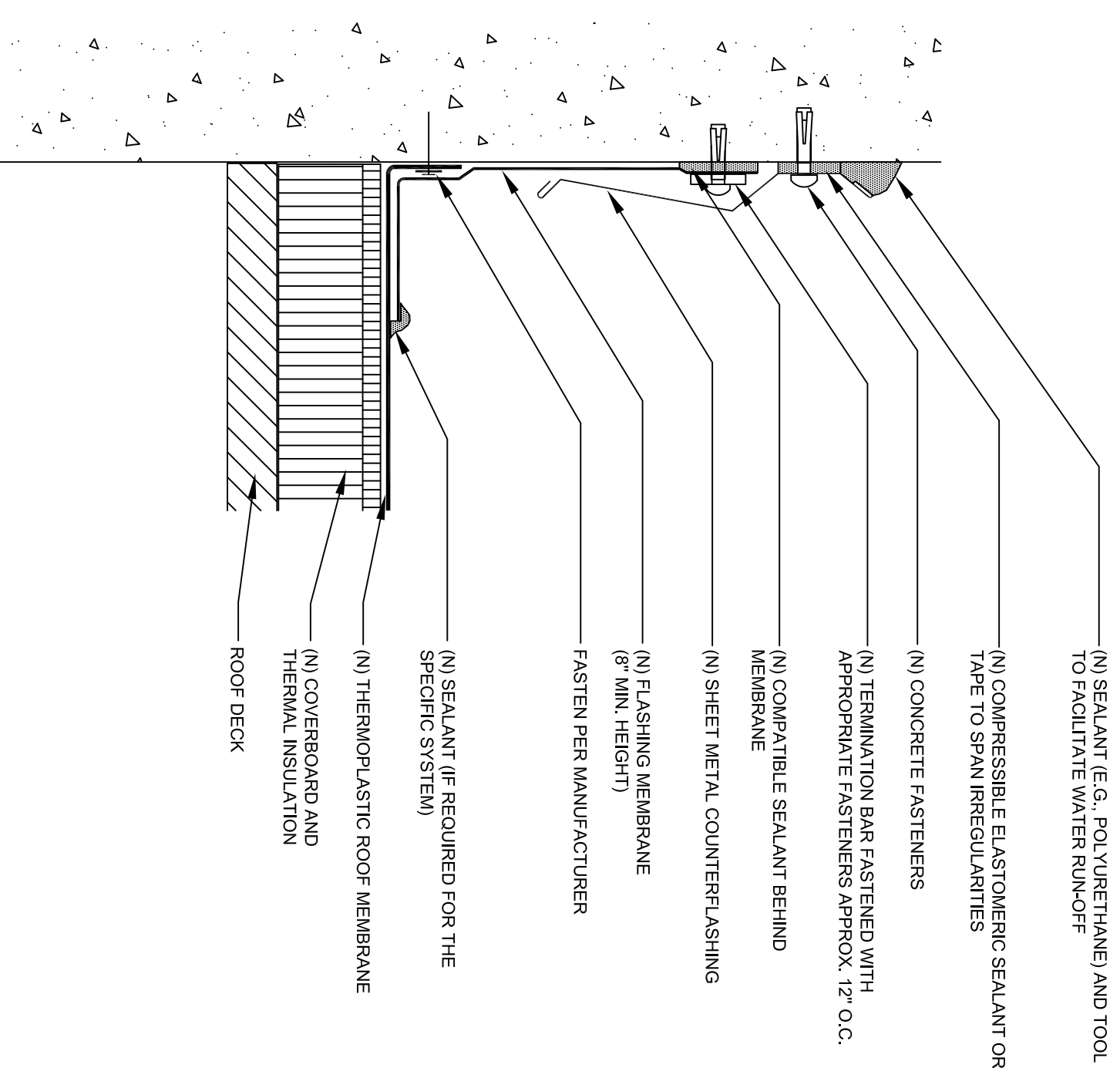
PROJECT TITLE:
 Roof Replacement & All-Weatherization
 ADDRESS: 142 West Alisal, Salinas, CA
 BID NO.: 10382
 PROJECT NO.: 8820

Project: Roofing @ County Old Jail
 Date: March 2012
 Sheet: A-2 Roof Plan



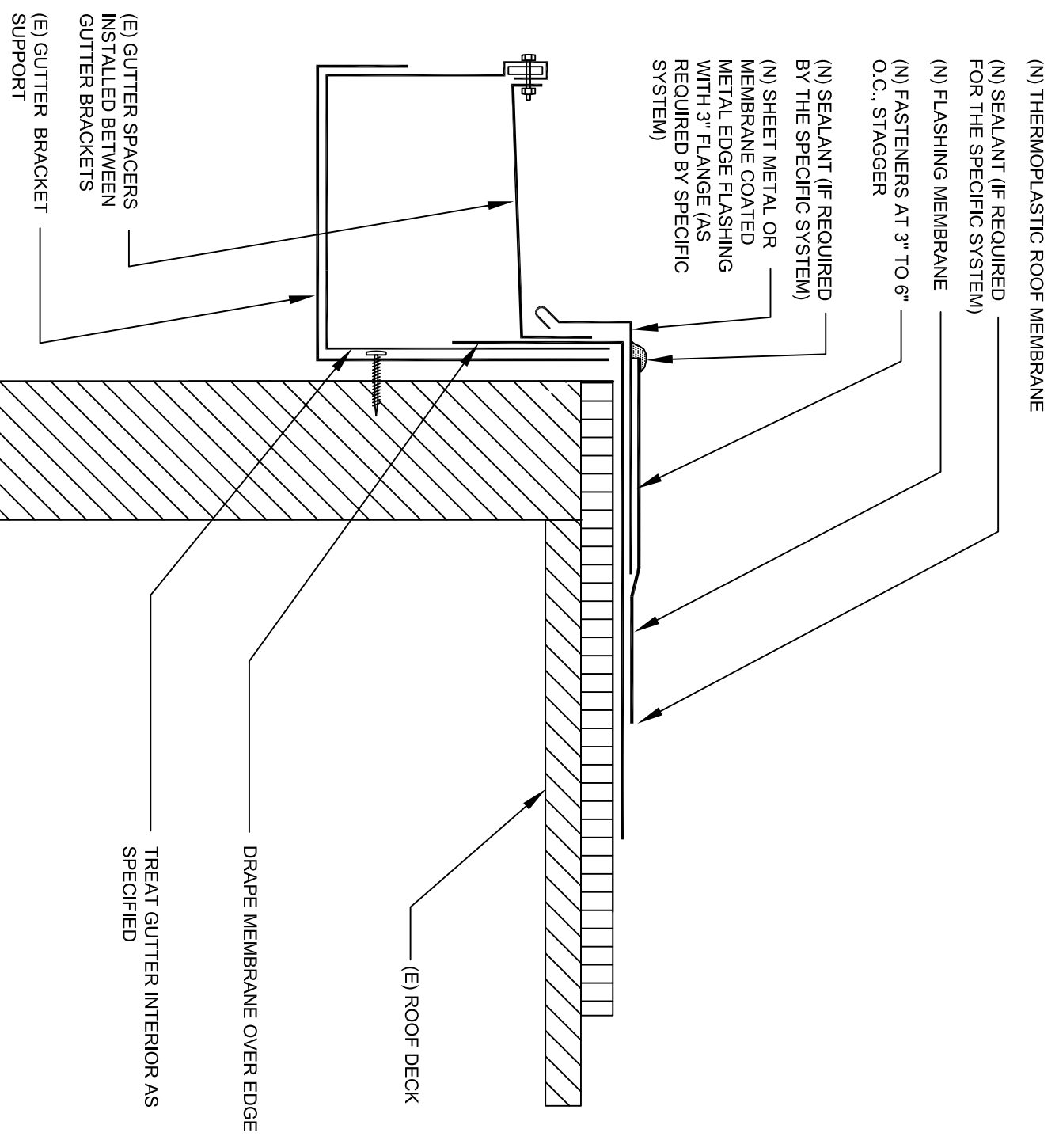
GENERAL NOTES

The purpose of these detail drawings is to provide the installer with a basic guideline for the installation of the components and perimeter flashings. These drawings do not depict as-built conditions for the substrate. When field conditions warrant alteration of these details, the installer shall notify the owner and design engineer. If conflicts exist between these detail drawings and the flashing details as published by the manufacturer providing the warranty for this project, the more stringent requirements shall govern. Use these detail drawings in conjunction with written specifications.



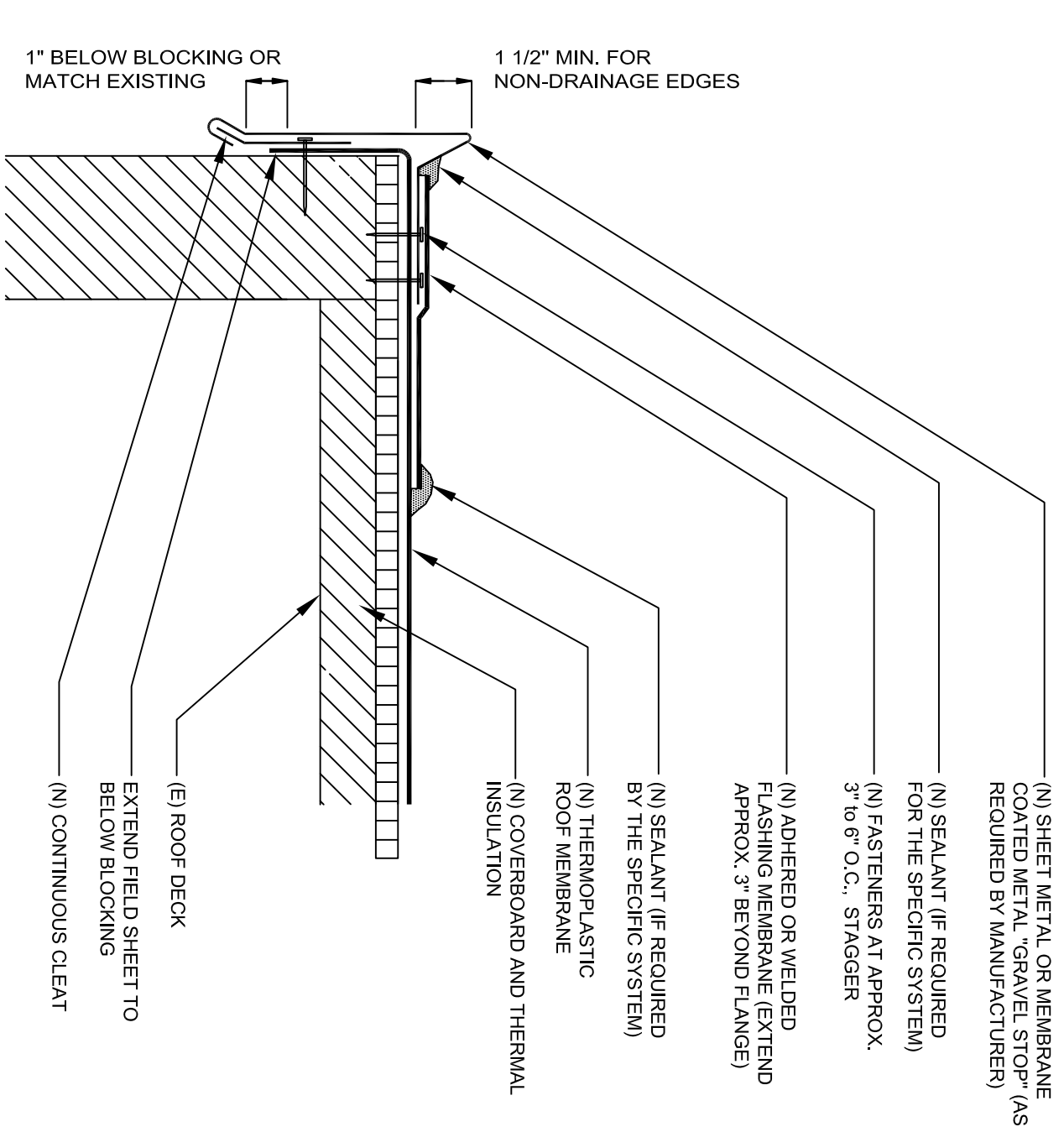
- NOTES
1. EVEN IF MANUFACTURER APPROVES A SIMPLE TERMINATION BAR FOR THE 20 YEAR WARRANTY, CONTRACTORS ARE REQUIRED TO PROVIDE A FACE MOUNTED RECEIVER AND REMOVABLE FLASHING STRIP TO FACILITATE MAINTENANCE AND DIFFERING CONFIGURATIONS OF A FACE MOUNTED RECEIVER AND COUNTERFLASHING MAY BE USED WITH PERMISSION FROM OWNER AND ENGINEER.

1
A-3 COUNTERFLASHINGS AT MASONRY WALLS



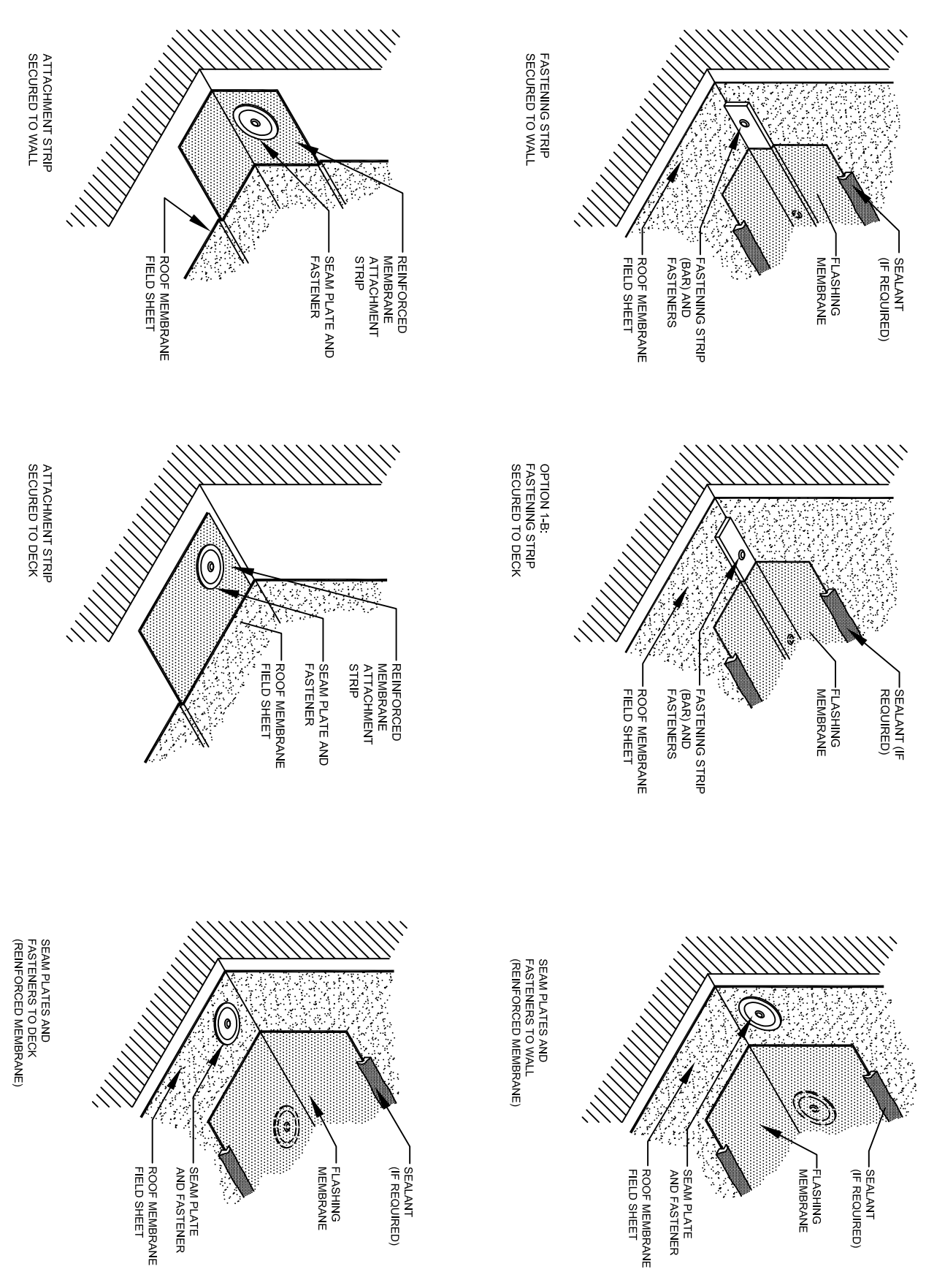
- NOTES
1. TAPER INSULATION TOWARDS GUTTER TO PREVENT STANDING WATER NEAR ROOF EDGE.
 2. TREAT GUTTER INTERIOR AS SPECIFIED.

2
A-3 GUTTER



- NOTES
1. FOR NON DRAINAGE EDGES, METAL SHALL HAVE GRAVEL STOP AS SHOWN.
 2. GRAVEL STOP SHALL BE 1" ABOVE FINISH GRADE.
 3. CLEAT SHALL BE 1" LEVEL GAUGE HIGHER THAN FINISH GRADE.
 4. METAL EDGE DESIGN SHALL OBTAIN SPECIFIED WIND RATINGS. IF EDGE CONFIGURATION FOR PROPOSED MANUFACTURER DIFFERS FROM THAT SHOWN, CONTRACTOR SHALL PROVIDE APPROVED DRAWING AS PART OF THE SUBMITTAL PROCESS.

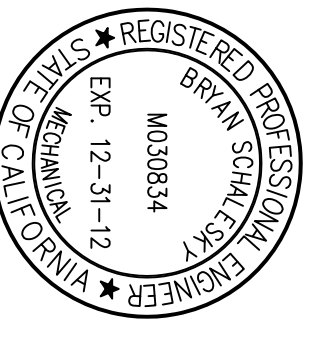
3
A-3 EMBEDDED EDGE METAL FLASHING (NON DRAINAGE)



- NOTES
1. SPECIFIC PERIMETER FASTENING MAY DIFFER DEPENDING UPON MANUFACTURER REQUIREMENTS.
 2. IF FASTENING REQUIREMENTS FOR THE PROPOSED MANUFACTURER IS DIFFERENT THAN THOSE SHOWN HERE, CONTRACTOR SHALL PROVIDE RECOMMENDED DRAWING FOR APPROVAL WITH SUBMITALS.

4
A-3 OPTIONS FOR PERIMETER BASE SECUREMENT (ROOF-TO-WALL AND ROOF-TO-CURB INTERSECTIONS)

Drawn by:
Bryan Schatesky
Skyline Engineering



No.	Revision/Issue	Date

From Name and Address
SKYLINE
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Salinas CA 93907

Project Name and Address
PROJECT TITLE:
Roof Replacement Old Hill
Address: 142 West Aerial, Salinas CA
BID NO.: 10362
PROJECT NO.: 8820

Project	Roof Replacement	Sheet	A-3
Date	March 2012	Perimeter Flashing	
Scale	none	Details	

GENERAL NOTES

The purpose of these detail drawings is to provide the information and professional findings.
These drawings do not depict as-built conditions for the substrate.
When field conditions warrant attention of these details, the installer shall notify the owner and design engineer.
If conflict exists between these detail drawings and the flashing details as published by the manufacturer providing the warranty for this project, the more stringent requirements shall govern.
Use these detail drawings in conjunction with written specifications.

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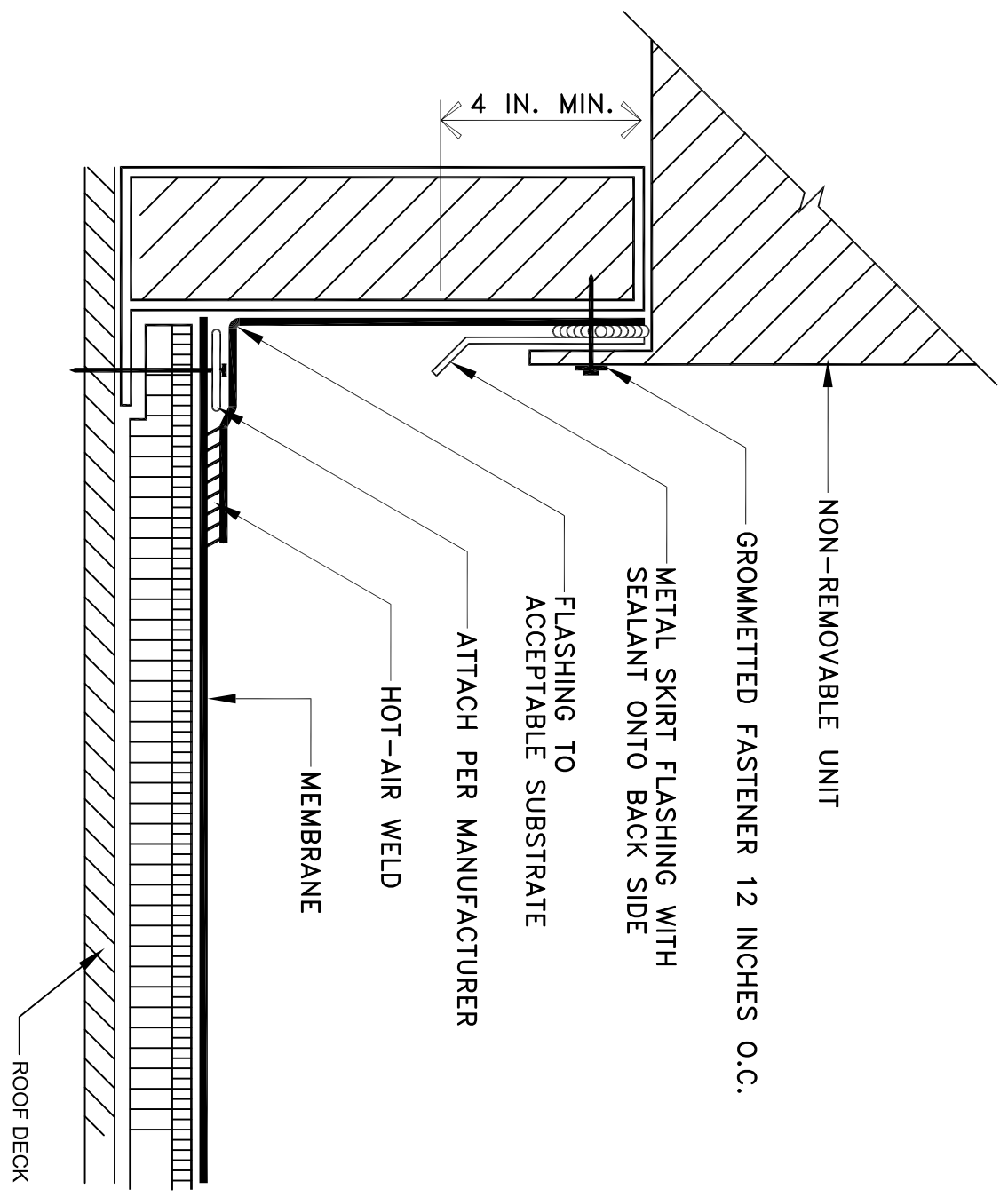


No.	Revision/Issue	Date

Firm Name and Address
SKYLINE
Engineering, Inc.
8100 Wildhorse Road
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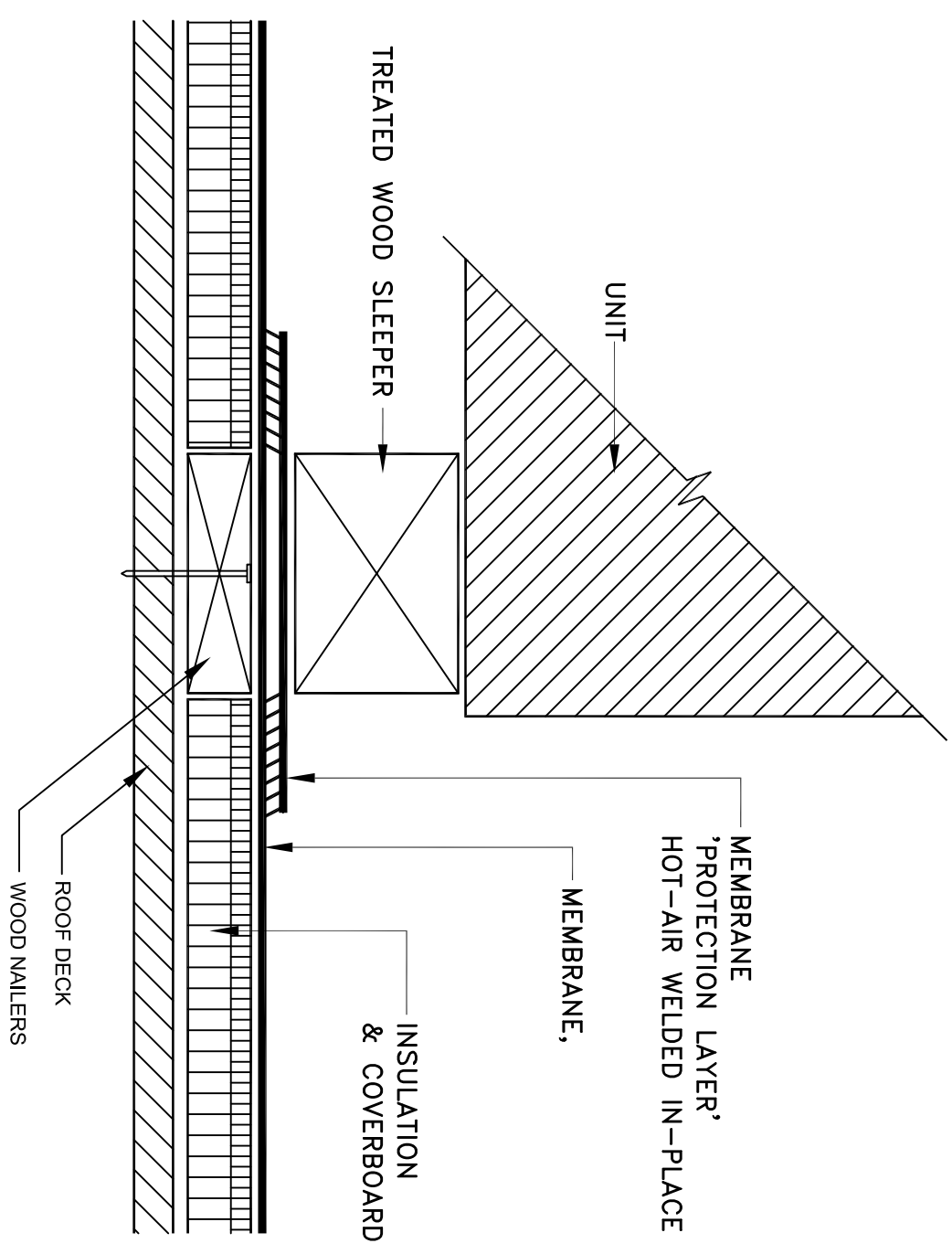
Project Name and Address
PROJECT TITLE:
Roof Replacement, Add-on and Weatherization
ADDRESS: 142 West Abell, Salinas CA
BID NO.: 10362
PROJECT NO.: 8830

Project	Sheet
Roof Replacement	A-4
Date	Curb
March 2012	Details
Scale	none



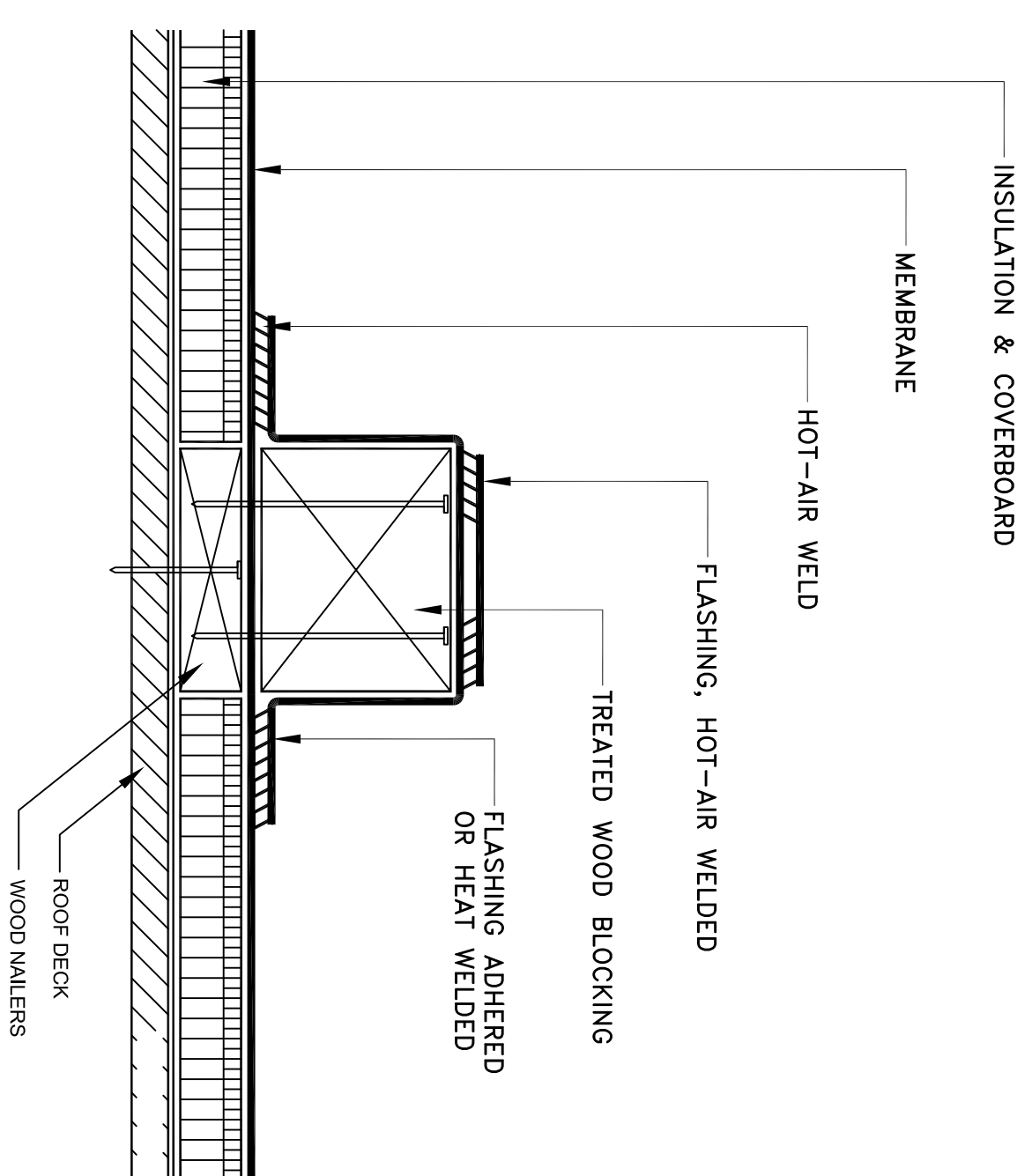
- NOTES:
- THIS DETAIL SHALL BE USED FOR ROOFTOP EQUIPMENT THAT DOES NOT NEED TO BE RAISED AND HAS AN ACCEPTABLE SUBSTRATE.
 - DO NOT DISTURB EXISTING PAN/COUNTER FLASHING. INSTALL BASE FLASHING AS HIGH AS POSSIBLE AND INSERT BRACKER ROD TO SECURE BASE FLASHING.
 - INSTALL SKIRT COUNTERFLASHING AS SHOWN.

1
A-4
EQUIPMENT SKIRT FLASHING



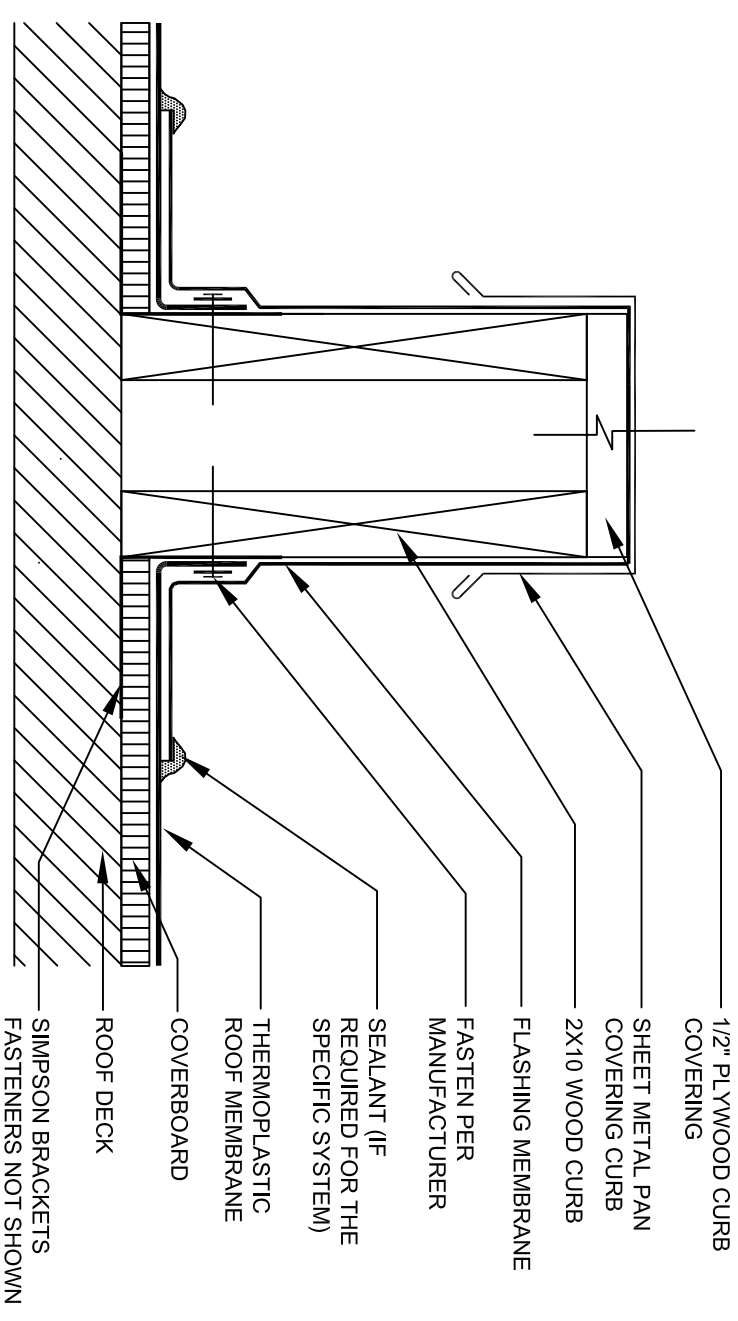
- NOTES:
- THIS DETAIL SHALL BE USED FOR ROOFTOP EQUIPMENT THAT IS NOT ATTACHED TO THE CURB AND MAY BE ATTACHED TO THE ROOF DECK.
 - WEIGHT OF UNIT SHALL BE EVENLY DISTRIBUTED ON SLEEPERS.
 - SLEEPERS SHALL NOT INHIBIT DRAINAGE.

2
A-4
EXPOSED WOOD SLEEPER



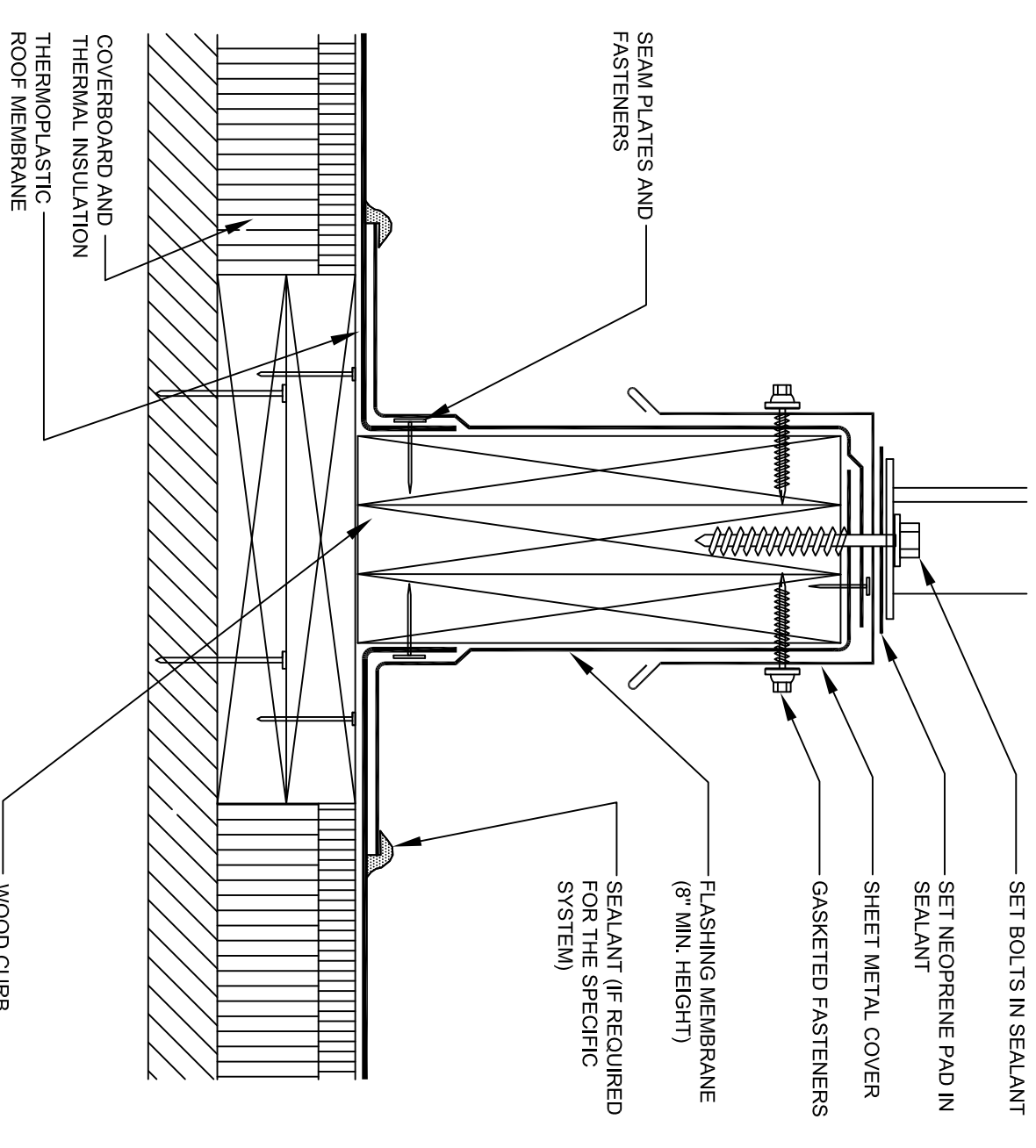
- NOTES:
- THIS DETAIL SHALL BE USED FOR SLEEPERS THAT MUST BE FLASHED INTO THE ROOF BECAUSE THEY ARE ATTACHED TO THE ROOF DECK.
 - EQUIPMENT MUST BE ATTACHED TO THE SLEEPER. REFER TO DRAWING ENTITLED 'EQUIPMENT SUPPORT CURB'.
 - WEIGHT OF UNIT SHALL BE EVENLY DISTRIBUTED ON SLEEPERS.
 - SLEEPERS SHALL NOT INHIBIT DRAINAGE.

3
A-4
PROTECTED WOOD SLEEPER



- NOTES:
- ROOF FLASHING SHALL BE 1/4" O.C.
 - LUMBER: Lumber shall be dry and well seasoned. The moisture content shall not exceed 19% in boards 8" or less in depth, 15% in lumber more than 8" in depth and plywood. Lumber herein referred to shall be graded and grade marked and shall conform to the following specifications, as applicable. All material shall be new. Douglas Fir Select Structural Lumber. Plywood shall be 3/4" thick, Douglas Fir Plywood, Type I, CD grade, and shall conform to the American National Standard for Plywood, ANSI A1-19.09, American National Standard for Softwood Lumber, ANSI A1-19.09, and American National Standard for Plywood, ANSI A1-19.09. Production Standard for soft plywood. Each Standard PS-1-74 size panel shall be stamped with appropriate grade markings, visibly shown.
 - FASTENERS AND CONNECTORS: Shall be by Simpson Company of San Leandro, California. Nails and screws shall be 16d and 3/8" diameter, respectively. Simpson brackets shall be attached to concrete deck. Use Simpson concrete anchors and wood screws for brackets (not shown).
 - Cover entire curb with membrane prior to installation of metal pan.

5
A-4
RAISED CURB DETAIL FOR MECHANICAL EQUIPMENT (WOOD CURB)



- NOTES:
- THIS DETAIL SHALL BE USED FOR SLEEPERS THAT MUST BE FLASHED INTO THE ROOF BECAUSE THEY ARE ATTACHED TO THE ROOF DECK AND WHEN THE EQUIPMENT OR EQUIPMENT SUPPORT LEG MUST BE FLASHED INTO THE ROOF DECK.
 - SLEEPERS SHALL NOT INHIBIT DRAINAGE.
 - WOOD WALERS SHALL BE SECURELY ATTACHED TO THE SUBSTRATE.

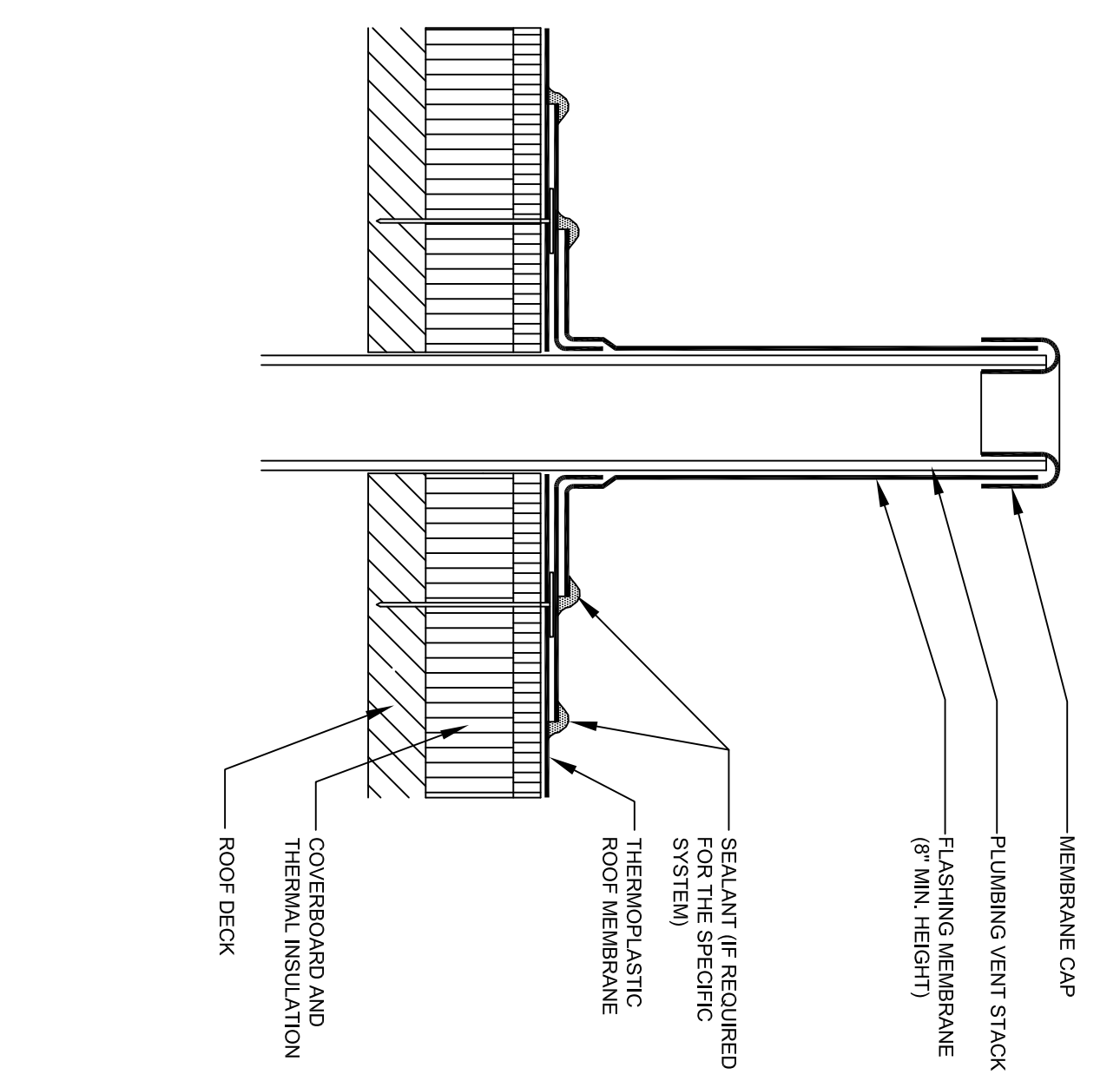
6
A-4
EQUIPMENT SUPPORT CURB

4
A-4
NOT USED

GENERAL NOTES

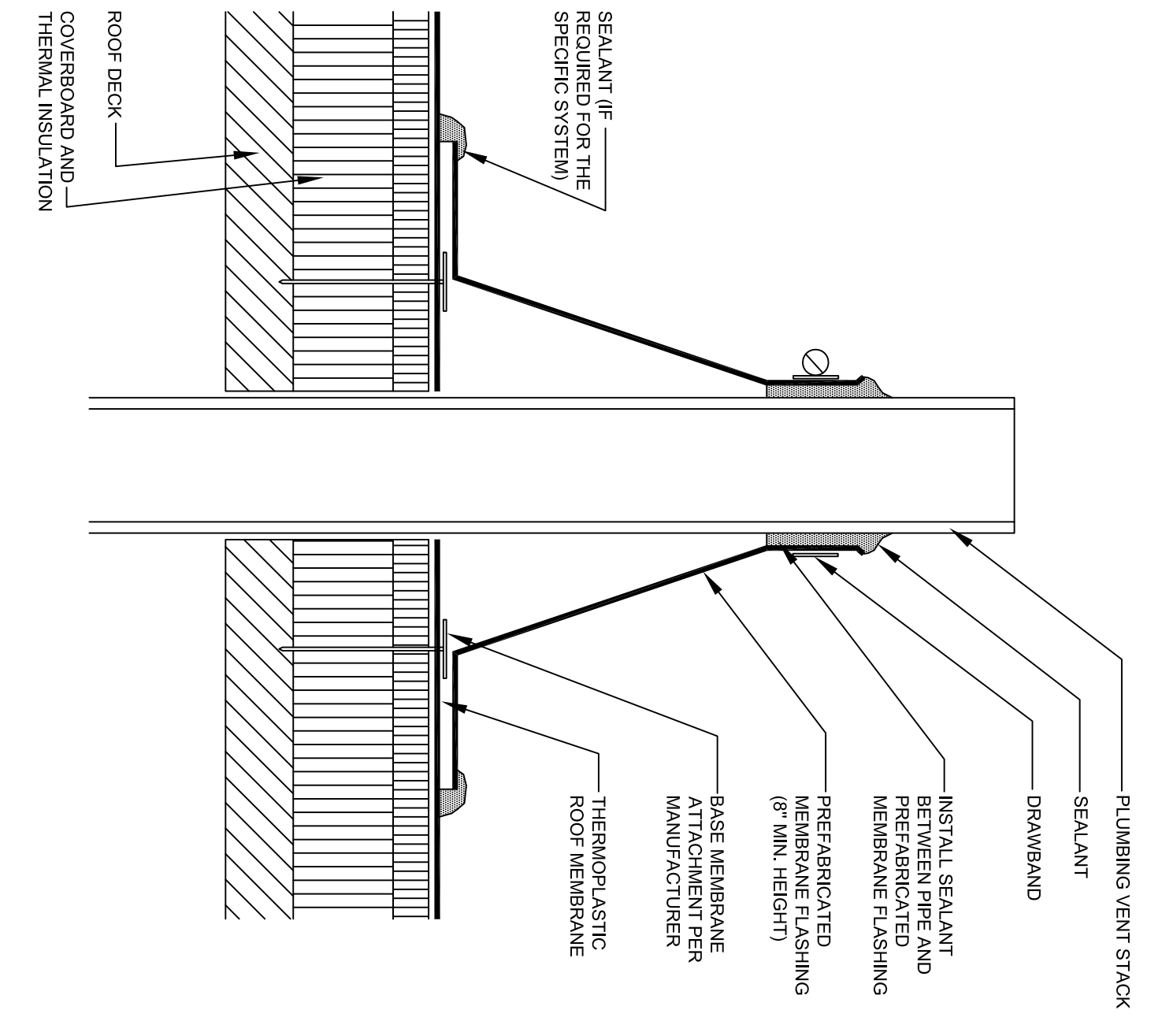
The purpose of these detail drawings is to provide the installer with a base guideline for the installation of the components and projections. These drawings do not depict as-built conditions for the substrate.

When field conditions warrant alteration of these details, the installer shall notify the owner and design engineer. If conflicts exist between these detail drawings and the building details as published by the manufacturer, the requirements shall govern. Use these detail drawings in conjunction with written specifications.



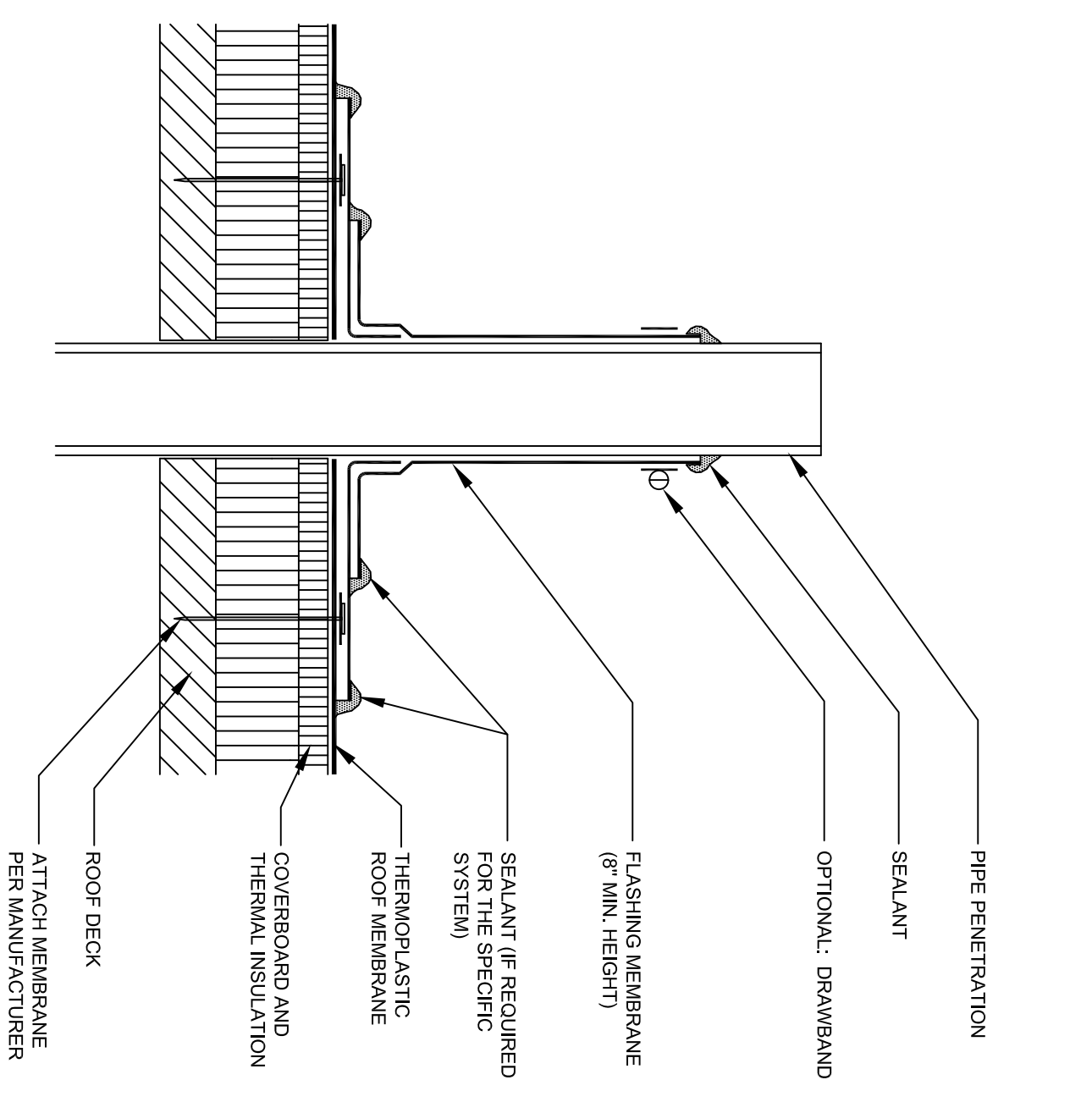
NOTE: EXTEND PLUMBING VENTS TO A MINIMUM OF 8" ABOVE THE FINAL ROOF SURFACE IN ACCORDANCE WITH PLUMBING CODE.

1
A-5 PLUMBING VENT (FIELD WRAP)

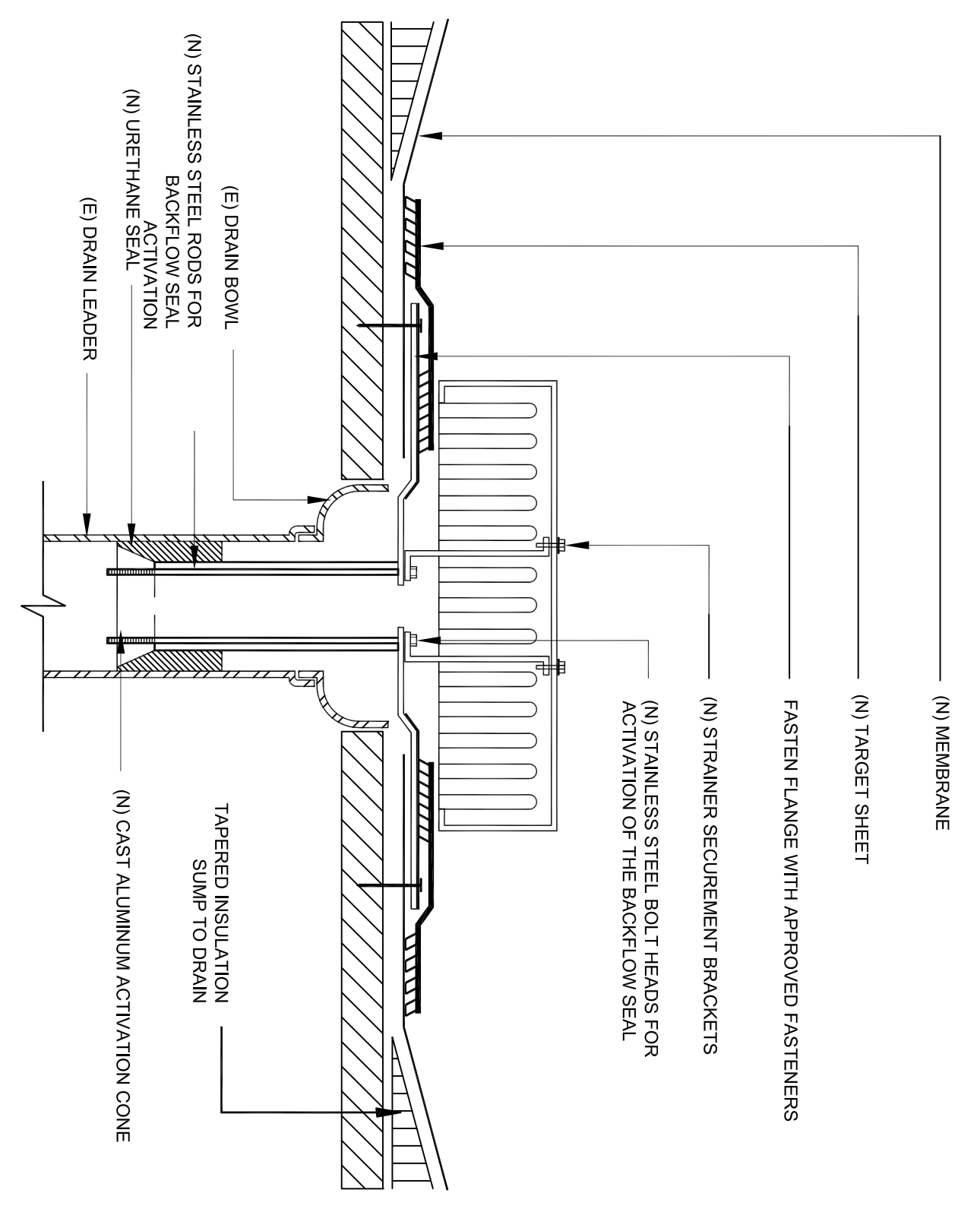


NOTE: EXTEND PLUMBING VENTS TO A MINIMUM OF 8" ABOVE THE FINAL ROOF SURFACE IN ACCORDANCE WITH PLUMBING CODE.

2
A-5 PLUMBING VENT (PREMANUFACTURED BOOT)

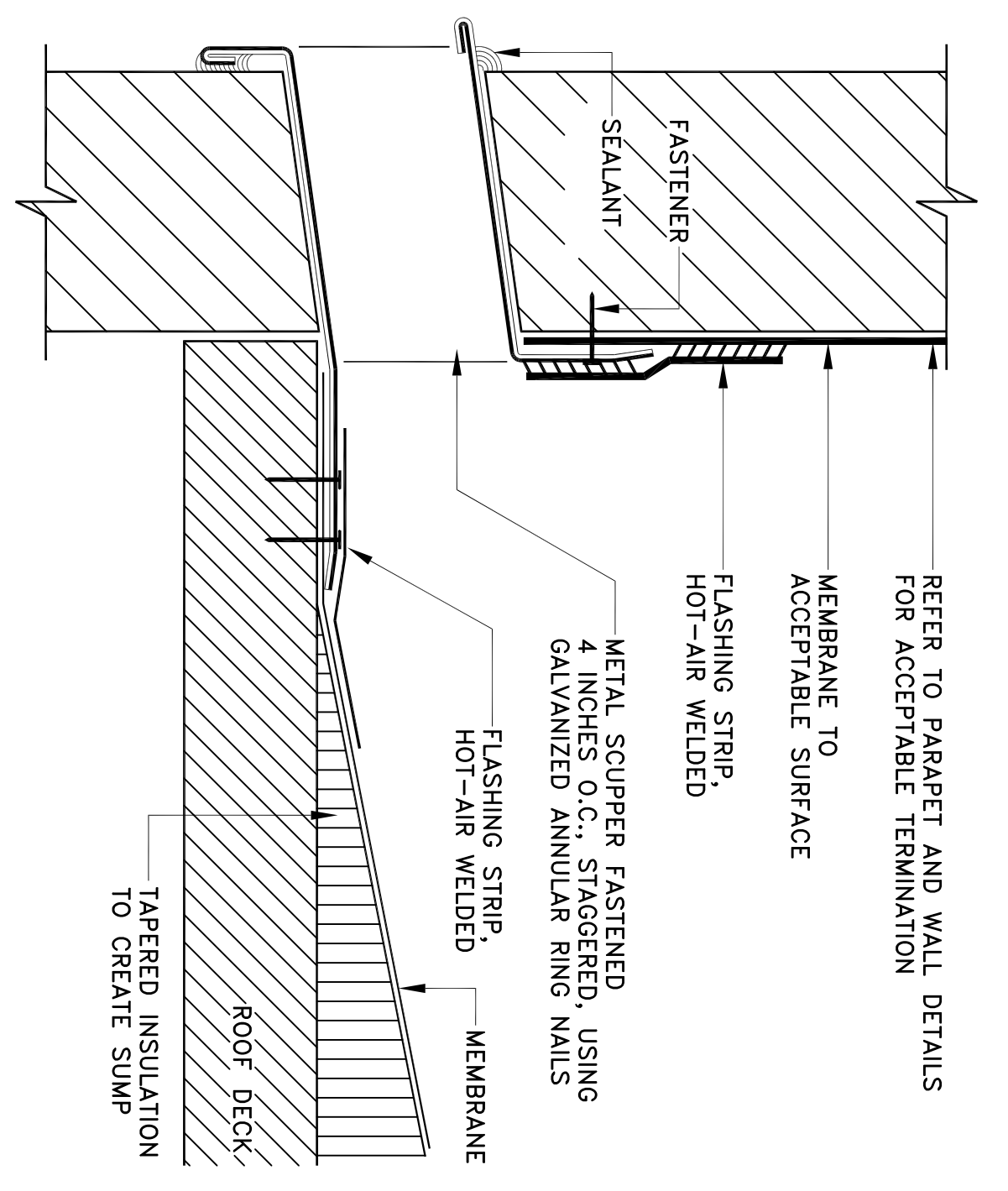


3
A-5 PIPE PENETRATION (FIELD WRAP)



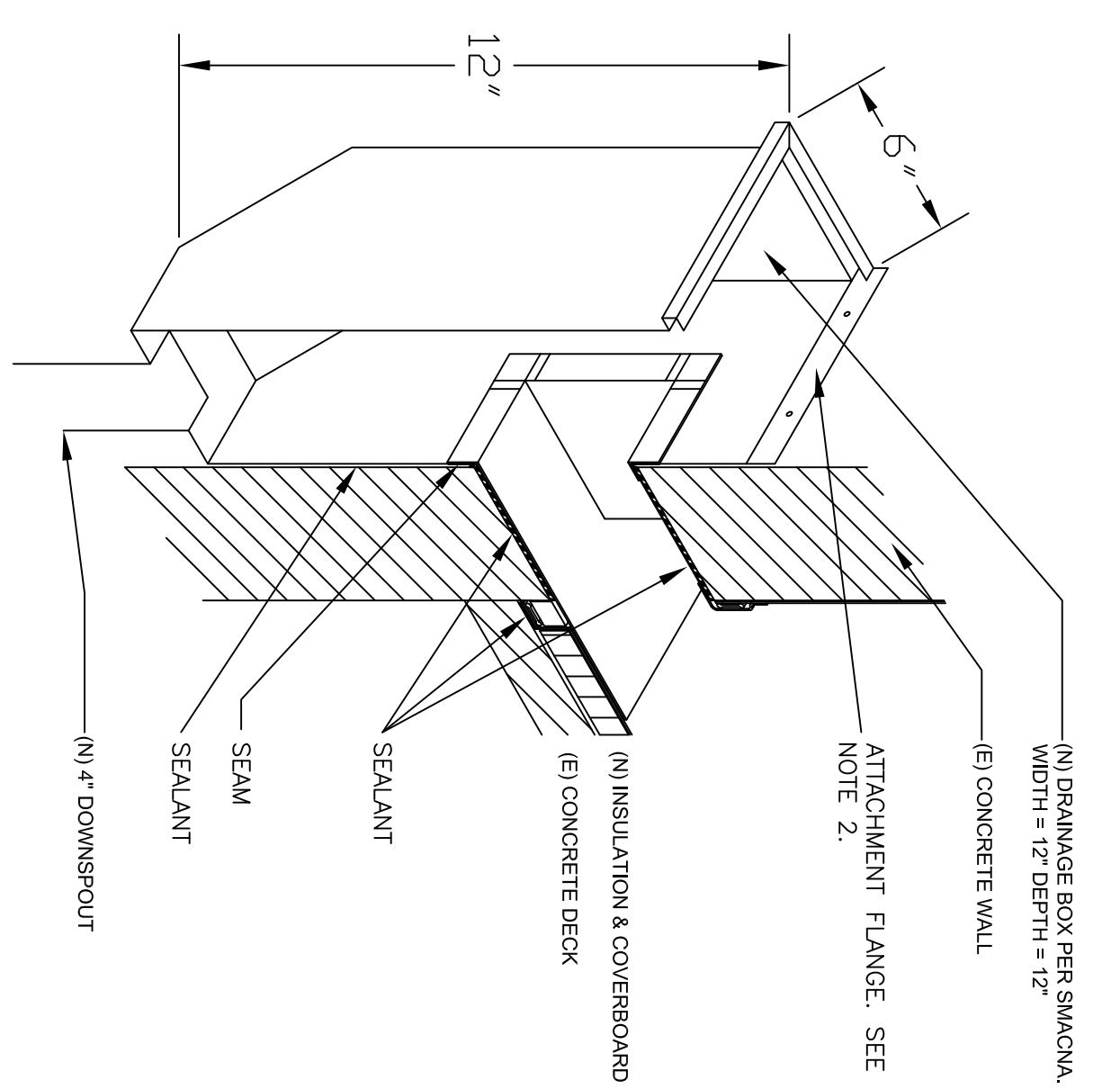
- NOTES:
1. WHERE INSULATION IS PRESENT, PROVIDE 3X3 SUMP TO FACILITATE DRAINAGE.
 2. LOWER DRAIN TO DECK LEVEL, REMOVE JOSAM BOWL IF NECESSARY.
 3. OTHER DRAIN INSERTS MAY BE USED. THIS DRAWING DEPICTS A DRAIN INSERT AS PROVIDED BY RAC. IF ANOTHER DRAIN INSERT IS DESIRED, PROVIDE SUBMITTAL TO ENGINEER FOR APPROVAL.

4
A-5 INTERNAL DRAIN INSERT



- NOTE:
1. DRAINAGE BOX NOT SHOWN.
 2. SCUPPER SHALL BE COATED WELDABLE METAL AS APPROVED BY THE MEMBRANE MANUFACTURER.
 3. PROVIDE SUMP AT DRAINAGE SCUPPER. SUMP DIMENSIONS SHALL BE APPROXIMATELY 3" LONG AND 1.5" WIDE.

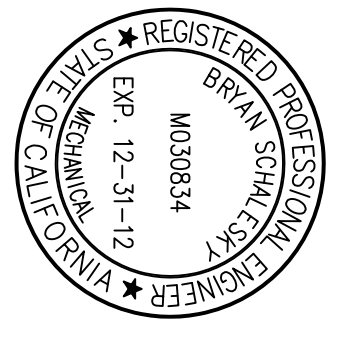
5
A-5 PRIMARY DRAINAGE SCUPPER



- NOTE:
1. APPLY BEAD OF SEALANT BETWEEN THE COLLECTOR HEAD AND WALL.
 2. BACKSILL AND FASTEN FOR FLANGE 8\"/>

6
A-5 DRAINAGE BOX

Drawn by:
Bryan Schatesky
Skyline Engineering



No.	Revision/Issue	Date

Firm Name and Address
SKYLINE
Engineering, Inc.
8100 Wilhorse Road
Salinas CA 93907

Project Name and Address
PROJECT TITLE:
Old Jail
**Roof Replacement & Limited
Weatherization**
ADDRESS: 142 West Ailsel, Salinas CA
BID NO.: 10362
PROJECT NO.: 8820

Project	Roof Replacement	Sheet	A-5
Date	March 2012	Penetration Details	
Scale	none		

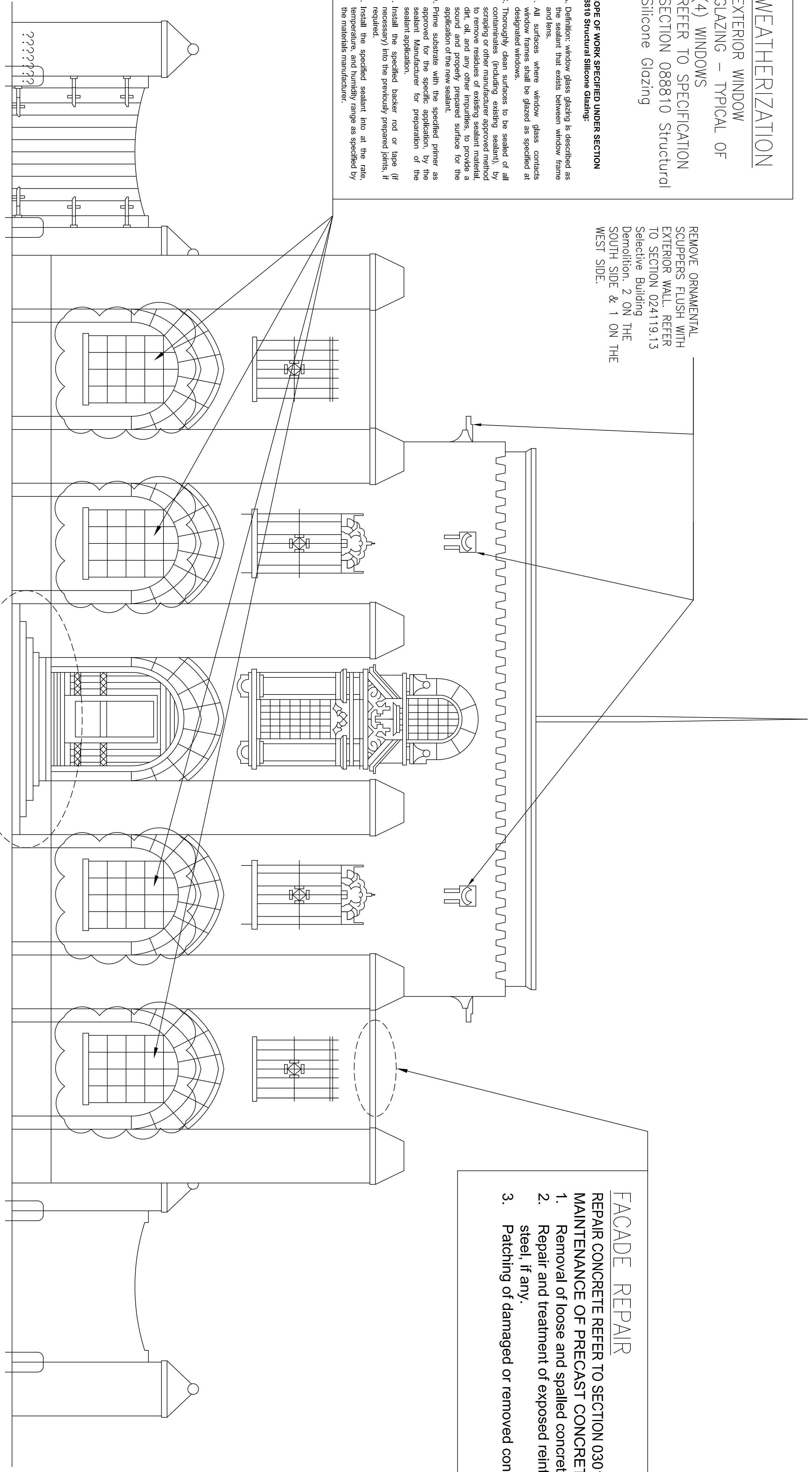
GENERAL NOTES
 Provide window glazing as specified in section 088810 MAINTENANCE OF GLASS GLAZING.
 Provide concrete repairs to front entry steps as shown as specified in section 030130 MAINTENANCE OF PRECAST CONCRETE.

WEATHERIZATION
 EXTERIOR WINDOW GLAZING – TYPICAL OF (4) WINDOWS
 REFER TO SPECIFICATION SECTION 088810 Structural Silicone Glazing

SCOPE OF WORK SPECIFIED UNDER SECTION 088810 Structural Silicone Glazing:

- A. Definition: window glass glazing is described as the sealant that exists between window frame and lens.
- B. All surfaces where window glass contacts designated windows.
- C. Thoroughly clean surfaces to be sealed of all contaminants (including existing sealant), by scraping or other manufacturer approved method to remove residues of existing sealant material. Surfaces shall be clean, dry, free of oil, dust, dirt, sound and properly prepared surface for the application of the new sealant.
- D. Prime substrate with the specified primer as approved for the specific application, by the sealant Manufacturer for preparation of the sealant application.
- E. Install the specified backer rod or tape (if necessary) into the previously prepared joints, if required.
- F. Install the specified sealant into at the rate, temperature, and humidity range as specified by the materials manufacturer.

REMOVE ORNAMENTAL SCUPPERS FLUSH WITH EXTERIOR WALL. REFER TO SECTION 024119.13 Selective Building Demolition, 2 ON THE SOUTH SIDE & 1 ON THE WEST SIDE.



FACADE REPAIR
 REPAIR CONCRETE REFER TO SECTION 030130 MAINTENANCE OF PRECAST CONCRETE:
 1. Removal of loose and spalled concrete.
 2. Repair and treatment of exposed reinforcing steel, if any.
 3. Patching of damaged or removed concrete.

FACADE REPAIR
 REPAIR CONCRETE ENTRY STEPS R REFER TO SECTION 030130 MAINTENANCE OF PRECAST CONCRETE:
 1. Removal of loose and spalled concrete.
 2. Repair and treatment of exposed reinforcing steel, if any.
 3. Patching of damaged or removed concrete.

SOUTH ELEVATION



Drawn by:
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 Department of Public Works
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No.	Revision/Issue	Date

From Name and Address

SKYLINE
Engineering, Inc.
 8100 Wiltonrose Road
 Salinas CA 93907

Project Name and Address

PROJECT TITLE:
 Roof Replacement & All-Panel Weatherization
 ADDRESS: 142 West Alisal, Salinas, CA
 BID NO.: 10382
 PROJECT NO.: 8820

Project	Old Jail	Sheet	Weatherization
Date	March 2012	A-6	Elevation
Scale	none		Drawing