

# Exhibit C

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FILE #.

PLN 110437


**MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY  
PLANNING**

 168 West Alisal, 2nd Floor, Salinas, CA 93901  
 Telephone: (831) 755-5025 Fax: (831) 757-9516  
<http://www.co.monterey.ca.us/planning>

 RECEIVED  
 APR 15 2016  
 BUILDING SERVICES DEPARTMENT  
 MONTEREY COUNTY

**INLAND DESIGN APPROVAL APPLICATION FORM**

 ASSESSOR'S PARCEL NUMBER: 007-483-008-000

 PROJECT ADDRESS: 3055 SLOAT ROAD

 PROPERTY OWNER: PETER COOKE

 Telephone: 323-646-2239

 Address: P.O. Box 933

Fax:

 City/State/Zip: MONTROSE CA. 91021

Email:

APPLICANT:

Telephone:

Address:

Fax:

City/State/Zip:

Email:

 AGENT: ROBERT MANDURRAGO

 Telephone: 831-238-6709

 Address: P.O. Box 1504

Fax:

 City/State/Zip: CARMEL CA. 93921

 Email: ROBERT@MANDURRAGO.NET

 Mail Notices to: ☐ Owner ☐ Applicant ☒ Agent  
 (Check only one)

 PROJECT DESCRIPTION: (Attach Scope of Work) NEW 2ND STORY
GUEST QUARTER OVER EXIST'G GARAGE &  
DREZZWAY.

 MATERIALS TO BE USED: MATCH EXIST'G.

 COLORS TO BE USED: MATCH EXIST'G

I acknowledge that I will need a building permit and must comply with the Monterey County Building Ordinance and that this approval is for design of the structures and compliance with zoning regulations only. For properties served by Onsite Wastewater Treatment System (OWTS), the Environmental Health Bureau (EHB) will not review this application but may need to require redesign of the project in the subsequent construction permit application to address impacts related to the existing OWTS or future standby area. A project redesign may require a subsequent Design Approval application and additional fees.

PROPERTY OWNER/AGENT SIGNATURE:

 DATE: 4-12-16
**FOR DEPARTMENT USE ONLY**

 ZONING: MDC-B6D1K5

AREA PLAN:

ADVISORY COMMITTEE:

RELATED PERMITS:

 PLANNER: Amador 9.12.2016

WITHIN ARCH BUFFER ZONE?

☐ YES ☒ NO

ON SEPTIC SYSTEM (OWTS)?

☐ YES ☒ NO

 LEGAL LOT: yes
☐ YES ☐ NO

DOES THIS CORRECT A VIOLATION?

☐ YES ☒ NO

**FINDINGS:**

- ☐ The project is consistent with the 2010 General Plan, the applicable Area Plan, and meets the regulations in Title 21 (Zoning Ordinance-Inland); and
- ☐ The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property because:

 DECISION: ☐ OVER-THE-COUNTER ☐ ADMINISTRATIVE

 ACTION: ☐ APPROVED

☐ DENIED

 CONDITIONS: ☐ ATTACHED

☐ NONE

APPROVED BY:

DATE:

 COPY TO APPLICANT: ☐ IN PERSON

OR

☐ MAILED

DATE:



**GENERAL PLAN POLICY CONSISTENCY CHECKLIST  
FOR DESIGN APPROVALS (Inland Only)**  
To be completed by Applicants

<b>LAND USE DESIGNATION:</b> <u>MDR</u>	<b>APN:</b> <u>007-483-008</u>	<b>PROJECT NUMBER:</b> <u>PLN 160437</u>
<b>AREA PLAN:</b> <input type="checkbox"/> Cachagua Area Plan <input type="checkbox"/> Carmel Valley Master Plan <input type="checkbox"/> Central Salinas Valley Area Plan <input type="checkbox"/> Fort Ord Master Plan <input checked="" type="checkbox"/> Greater Monterey Peninsula Area Plan <input checked="" type="checkbox"/> Greater Salinas Area Plan <input type="checkbox"/> North County Area Plan <input type="checkbox"/> South County Area Plan <input type="checkbox"/> Toro Area Plan <input type="checkbox"/> Agriculture & Winery Corridor Plan	<b>PROJECT DESCRIPTION:</b> <u>Guesthouse remodel of (e) SFD</u> <div style="border: 2px solid blue; padding: 5px; display: inline-block;"><b>RECEIVED</b> APR 15 2016 MONTEREY COUNTY PLANNING DEPARTMENT</div>	

Please answer each question based on the description of the project (see back of questionnaire for policy references)	
	The project is for: <input checked="" type="checkbox"/> Residential use <input type="checkbox"/> Commercial use <input type="checkbox"/> Agricultural use <input type="checkbox"/> Public or Quasi-Public use <input type="checkbox"/> Industrial use
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project proposes a cell-site, telcom (digital) communication facility/site?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project includes the construction of a new structure?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project includes the enlarging, altering, repairing, moving, improving, or removing of existing structures? If "yes", describe <u>2ND 2ND STORY ADDITION OF GARAGE</u>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	The project includes demolition work? If "yes", describe <u>REMOVE WALL OF GARAGE</u>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project includes the use of roofing materials that are different in type and/or color from the original materials?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project includes replacement and/or repair of (50%) or more of the exterior walls of a structure?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project includes historical structure or a structure more than fifty (50) years old?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project includes an accessory structure(s)? If "yes", describe:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project includes the placement of a manufactured home, mobile home, modular or prefabricated unit? <input type="checkbox"/> Private property <input type="checkbox"/> Park installation (mobile home park)
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project includes retaining walls?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project involves new, change or modifications to existing utilities and/or power lines?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project is change or modification to an approved application.
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does the project propose a lot line adjustment or subdivision?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does the project include subdivision creating five or more lots, or new commercial/industrial use that creates intensity equal to or greater than five residences?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the project located near an incorporated area (City)?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the project located within a Community Area or Rural Center?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the project located within 1/4 mile of a public airport?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is this the first residence on a property?
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Does the project propose a secondary unit?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Would native vegetation be removed with this project?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Would proposed development occur within 100 feet a creek/drainage (including seasonal) or river?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does the project propose any tree removal? If "yes" Type _____ Size _____ Number _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project includes grading, dirt importation, dirt removal, and/or drainage changes.
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Would the project be connected to an existing well or private water system?
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	The project includes constructing, enlarging, altering, repairing, moving, improving or removing a well.
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project is associated with a new or improvements to a water system. water system _____ number of connections _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does the project include a new individual or existing wastewater system (e.g. septic)?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project includes constructing, enlarging, altering, repairing, moving, improving or removing a septic tank/system?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does the project propose development on slopes over 25%?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the project 50 feet from a bluff?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project is located within 100 feet of seasonal or permanent drainage, lake, marsh, ocean, pond, slough, stream, wetlands. If "yes", describe _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does the project include cultivation of land that is currently not cultivated?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does the project propose non-agricultural uses adjacent to agricultural uses?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the project located within the winery corridor?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Would any portion of the proposed development be visible from a public road, designated vista point, or public park? If yes, is it located on a slope or near the top of a hill? <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does the project propose or require affordable housing?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does the project require a General Plan Amendment?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the project located within a Special Treatment Area?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the project located within a Study Area?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Project involves or includes an existing or proposed trail or easement.

I, the undersigned, have authority to submit application for a permit on the subject property. I have completed this questionnaire accurately based on the proposed project description. It is my interpretation that the project is consistent with the 2010 Monterey County General Plan. I understand that Monterey County may require project changes or some other permit/entitlement if the project is found to be inconsistent with any General Plan policy.

Signature: (Signature)

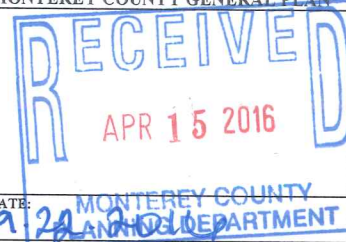
Date: 4-12-16

Print Name: ROBERT MANDURRAGO

It is unlawful to alter the substance of any official form or document of Monterey County.



BASED ON REVIEW OF THE PROJECT DESCRIPTION PROPOSED, THE PROJECT IS:		<input checked="" type="checkbox"/> <b>CONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN</b> <input type="checkbox"/> <b>INCONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN</b>
NOTES / COMMENTS:		
PLANNER: <i>Amador</i>	PLANNING TEAM: <i>LKP / Asilomar</i>	DATE: <i>9/22/2016</i>



POLICY REFERENCE BASED ON TOPIC	
GENERAL PLAN AMENDMENT	LU-1.7, LU-2.18, LU-2.19, LU-2.21, LU-2.23, LU-2.24, LU-2.27, LU-2.29, LU-6.5, LU-9.6 thru LU-9.8, GS-1.11, CSV-1.4, PS-3.1, OS-5.20, OS-8.6,
WITHIN CITY SPHERE OF INFLUENCE OR MEMORANDUM OF UNDERSTANDING	LU-2.14 THRU LU-2.19, AG-1.12, GS-1.14
COMMUNITY AREAS	LU-1.8, LU-1.19, LU-2.3, LU-2.10 thru LU-2.12, LU-2.20 thru LU-2.27, LU-2.29, LU-9.5, C-1.1, OS-3.6, OS-5.17, OS-8.6, OS-9.2, OS-10.10, T-1.7, AWCP-3.4A, NC-1.5, GS-1.1, GS-1.13, AG-1.3, AG-1.4, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, PS-11.14, S-2.5, S-5.17, S-6.4, S-6.5,
RURAL CENTERS	LU-1.8, LU-1.19, LU-2.3, LU-2.11, LU-2.12, LU-2.26 thru LU-2.32, OS-5.17, OS-9.2, OS-10.10, T-1.7, T-1.8, AWCP-3.4A, NC-1.5, GS-1.13, AG-1.3, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, S-5.17, S-6.5,
SPECIAL TREATMENT AREAS	T-1.4, T-1.8, GS-1.1 thru GS-1.3, GS-1.10, GS-1.12, GMP-1.6 thru GMP-1.9, CSV-1.1, CSV-1.3, CSV-1.5 thru CSV-1.7, CV-1.22, CV-1.23, CV-1.25, CV-1.27, CACH-1.5,
STUDY AREAS	GS-1.7, GS-1.11, CSV-1.4, CV-1.26
WINERY CORRIDOR	AG-4.1 thru AG-4.5, AWCP
DEVELOPMENT OUTSIDE COMMUNITY AREAS OR RURAL CENTERS	LU-1.19, S-2.7, OS-3.6
DEVELOPMENT ON SLOPES OVER 25%	LU-9.5, OS-3.5, OS-3.6, OS-3.9, S-1.2, CV-2.9, CV-6.2, CV-6.4, CV-6.5, FOMP-A-6, GMP-4.1, GS-1.1, GS-3.1, NC-1.3, NC-3.9, NC-3.10, T-3.6
CONVERSION TO AGRICULTURE	OS-3.5, OS-5.22, AG-1.6, AG-1.7, AG-1.12, AG-2.9, AG-3.3, NC-3.10, NC-3.11, CV-6.2, CV-6.4,
ROUTINE AND ON-GOING AG ACTIVITIES	AG-3.1 thru AG-3.3
NON-AG ADJACENT TO AG USES	LU-1.5, LU-2.8, AG-1.2, AG-2.8, CV-6.1, GS-1.1, T-1.8
AGRICULTURE (F, PG, & RG)	LU-3.1, LU-3.2, 6.0 – AGRICULTURE ELEMENT
FARM WORKER HOUSING	AG-1.6
AG EMPLOYEE HOUSING	AG-1.7
AG SUPPORT FACILITIES	AG-2.1 thru AG-2.9
RURAL RESIDENTIAL (LDR, RDR, & RC)	LU-2.34 thru LU-2.37
URBAN RESIDENTIAL (HDR & MDR)	LU-2.33
COMMERCIAL (LC, HC, & VPO)	LU-4.1 thru LU-4.8, ED-2.3, ED-4.2
INDUSTRIAL (AI, LI, & HI)	LU-5.1 thru LU-5.9, ED-2.3, ED-4.2
PUBLIC / QUASI PUBLIC (PQP)	LU-6.1 thru LU-6.5
AFFORDABLE HOUSING	LU-1.19, LU-2.11 thru LU-2.13, LU-2.23, LU-2.28, T-1.7, T-1.8, NC-1.5, GS-1.13, GMP-1.9, FOMP-H-1.1, FOMP-C.3, CV-1.6, CV-1.27
SECONDARY UNITS	LU-2.10, CV-1.6, GS-1.13, NC-1.5, T-1.7, PS-1.1
SUBDIVISION	LU-1.7, LU-9.3 thru LU-9.5, AG-1.3, NC-1.5, AWCP-3.5.A, T-1.5, T-1.7, GS-1.13, CV-1.6, CV-1.7, PS-1.1, PS-3.2, PS-3.9, PS-3.19, PS-4.9, PS-4.13, PS-11.10, S-1.7, S-2.7, S-4.10, S-4.27, S-6.7, OS-1.5, OS-1.10, OS-6.5, OS-7.5, OS-8.4,
LOT LINE ADJUSTMENT	LU-1.14 thru LU-1.16
OFF-SITE ADVERTISING	LU-1.10
EXTERIOR LIGHTING	LU-1.13
LANDSCAPING	OS-5.6, OS-5.14
TREE REMOVAL	OS-5.9, OS-5.10, OS-5.25, PS-12.10, CACH-3.4, CV-3.11, FOMP-C-1, FOMP-C-2.1 thru FOMP-C-2.5, GMP-3.3, GMP-3.5, GS-1.5, GS-1.8, GS-3.3, NC-3.4, T-3.7.
CIRCULATION (e.g. roads, transportation)	Chapter 2.0

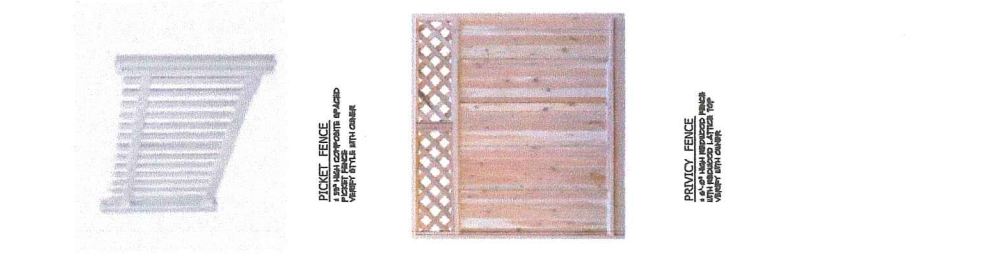
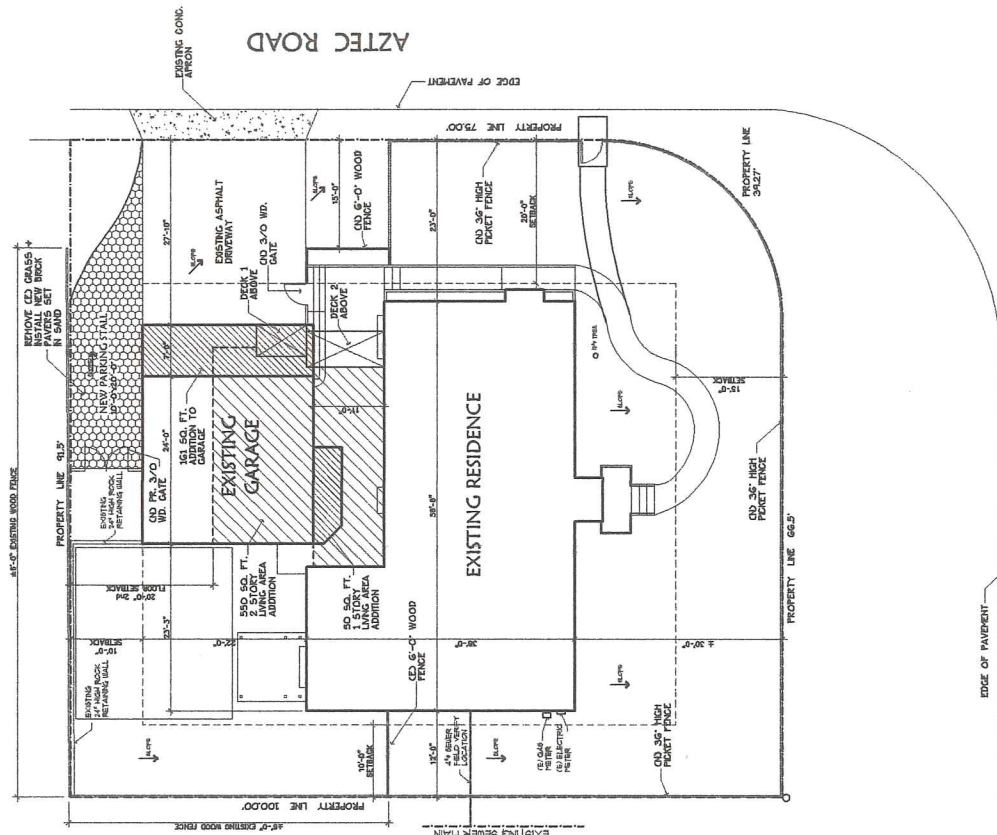
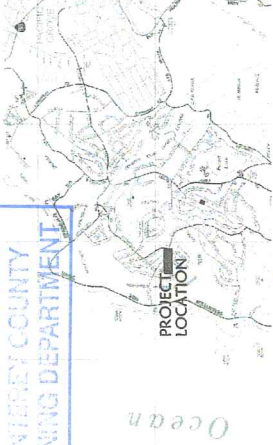
## 21.64.020 - Regulations for guesthouses.

- A. Purpose: The purpose of this Section is to establish the regulations, standards and circumstances under which sleeping facilities not integral to the main dwelling may be established. Such facilities are intended for limited sleeping and living purposes, but not for independent living purposes, permanent residential use, or rental purposes.
- B. Applicability: The provisions of this Section are applicable in all zoning districts which allow guesthouses.
- C. Regulations: The guesthouse shall be a permanent detached structure or an attached structure lacking internal circulation with the main residence. The guesthouse may include living and sleeping area but shall be without kitchen or cooking facilities. The guesthouse shall be clearly subordinate and incidental to a main residence on the same building site. A guesthouse shall be subject to the following standards:
  - 1. Only one guesthouse shall be allowed per lot.
  - 2. Detached guesthouses shall be located in close proximity to the principal residence.
  - 3. Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
  - 4. The guesthouse shall contain no kitchen or cooking facilities, including but not limited to microwave ovens, hot plates, and toaster ovens.
  - 5. There shall be a maximum of six linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of eight square feet of cabinet space, excluding clothes closets.
  - 6. Guesthouses shall not exceed six hundred (600) square feet of livable floor area.
  - 7. Guesthouses shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
  - 8. Prior to the issuance of permits for guesthouse construction, or for use of an existing structure as a guesthouse, the applicant shall record a deed restriction stating the regulations applicable to the guesthouse, including that the guesthouse not be separately rented, let or leased from the main residence and shall not have cooking or kitchen facilities.
  - 9. Subsequent subdivisions which divide a main residence from a guesthouse shall not be permitted.
  - 10. The guesthouse shall be designed in such a manner as to be visually consistent and

compatible with the main residence on site and other residences in the area.

11. The guesthouse height shall not exceed fifteen (15) feet nor be more than one story. Additions to height and placement of guesthouses over a one-story structure, such as a garage, may be considered by Use Permit (ZA) when intended to provide for architectural consistency and compatibility with the main residence.
- D. Any guesthouse proposal which does not comply with the provisions of this Section shall require a Use Permit. If the modification to the provisions of this Section are for other than the height of the guesthouse pursuant to Section 21.64.020C11, a variance shall also be required. The Zoning Administrator shall be the Appropriate Authority to consider said permits.





3055 SLOAT ROAD



IMPERVIOUS COVERAGE

EXISTING	REAR DRIVEWAY	113 SQ. FT.
EXISTING	WALKS	771 SQ. FT.
EXISTING	TOTAL	450 SQ. FT.
PROPOSED	REAR DRIVEWAY	1,334 SQ. FT.
PROPOSED	WALKS	113 SQ. FT.
PROPOSED	TOTAL	599 SQ. FT.
EXISTING	REAR DRIVEWAY	479 SQ. FT.
EXISTING	WALKS	1,191 SQ. FT.
EXISTING	TOTAL	1,670 SQ. FT.

FLOOR AREA - EXISTING	1,774 SQ. FT.
FIRST FLOOR ADDITION	50 SQ. FT.
SECOND FLOOR ADDITION	550 SQ. FT.
GARAGE - EXISTING	552 SQ. FT.
GARAGE - ADDITION	162 SQ. FT.
TOTAL	3,088 SQ. FT.

SITE COVERAGE

EXISTING	FIRST FLOOR AREA	1,774 SQ. FT.
EXISTING	GARAGE	552 SQ. FT.
EXISTING	BREEZEWAY	268 SQ. FT.
EXISTING	TRELLIS	80 SQ. FT.
EXISTING	TOTAL	2,674 SQ. FT.
PROPOSED	FIRST FLOOR AREA	1,827 SQ. FT.
PROPOSED	GARAGE	714 SQ. FT.
PROPOSED	BREEZEWAY	213 SQ. FT.
PROPOSED	TRELLIS	80 SQ. FT.
PROPOSED	DECK 1	65 SQ. FT.
PROPOSED	DECK 2	66 SQ. FT.
PROPOSED	TOTAL	2,955 SQ. FT.

LOT AREA:

LOT AREA = 9,258 SQ. FT.  
MAX. PARCEL COVERAGE  
35% (3,240 SQ. FT.)  
ZONING:

MDR/B-6-D-RIES  
APN: 007-483-008-000  
ADDRESS  
3055 SLOAT ROAD  
PEBBLE BEACH, CA 93953

FLOOR AREA

FLOOR AREA - EXISTING	1,774 SQ. FT.
FIRST FLOOR ADDITION	50 SQ. FT.
SECOND FLOOR ADDITION	550 SQ. FT.
GARAGE - EXISTING	552 SQ. FT.
GARAGE - ADDITION	162 SQ. FT.
TOTAL	3,088 SQ. FT.

UTILITIES

CALIFORNIA AMERICAN WATER  
PEBBLE BEACH COMMUNITY SERVICES DISTRICT

GRADING

NO GRADING

LANDSCAPING

EXISTING LANDSCAPING

SHEET INDEX

- A1.0 SITE PLAN
- A2.0 FLOOR PLANS
- A3.0 EXTERIOR ELEVATIONS
- A4.0 EXTERIOR ELEVATIONS
- A5.0 ROOF PLAN
- A6.0 EXISTING PLANS

Sheet Number:

A1.0

COOKE REMODEL  
3055 SLOAT ROAD  
PEBBLE BEACH, CA. 93953  
PHASE TWO - PROPOSED ADDITION

A.P.N. 007-483-008-000

MANDURRAGO  
& ASSOCIATES  
RESIDENTIAL DESIGN

P.O. BOX 1284  
CHULA VISTA, CA 92011  
PHONE: 619-526-6709  
Email: mandurrago@mandurrago.com

Drawn By: MANDURRAGO  
Drawing Date: 6-30-16  
Project Number: 15-1118

Revisions:

- △
- △
- △
- △

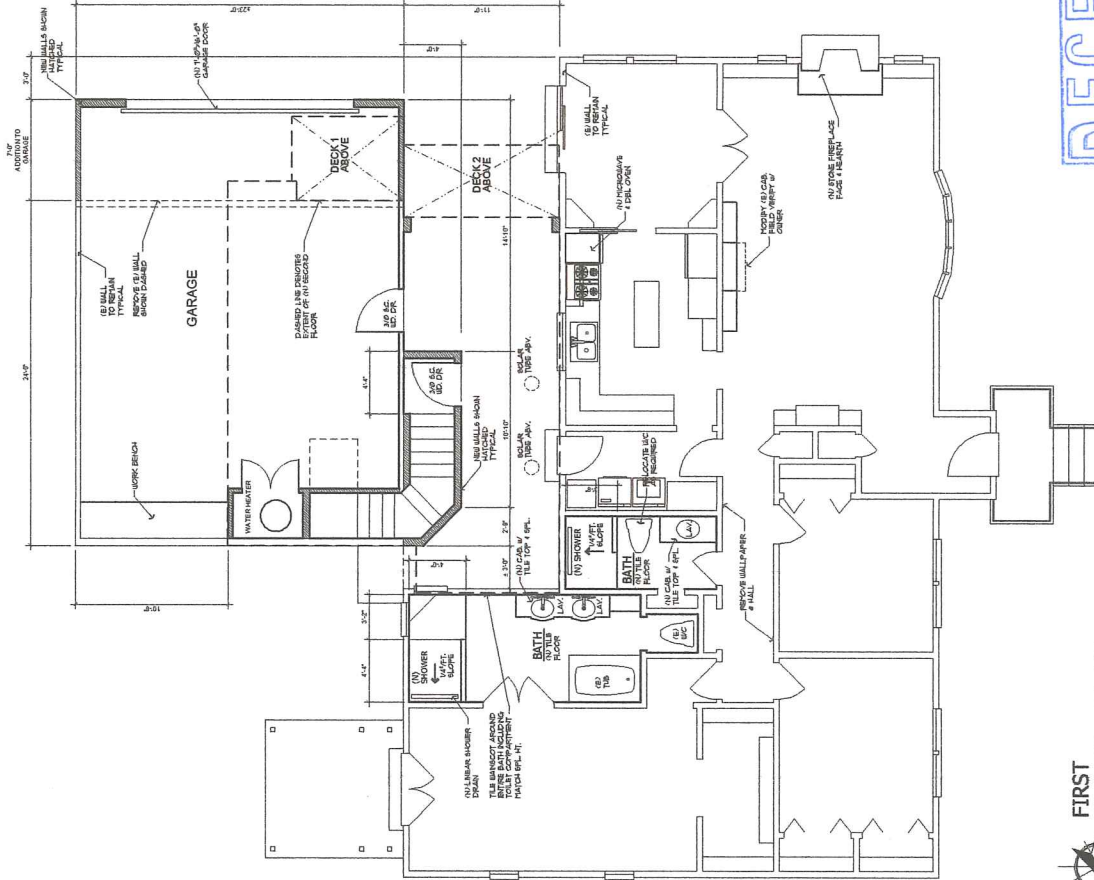
Project / Owner:

PETER & PEGGY  
COOKE  
3055 SLOAT ROAD  
PEBBLE BEACH, CA 93953

SITE PLANS



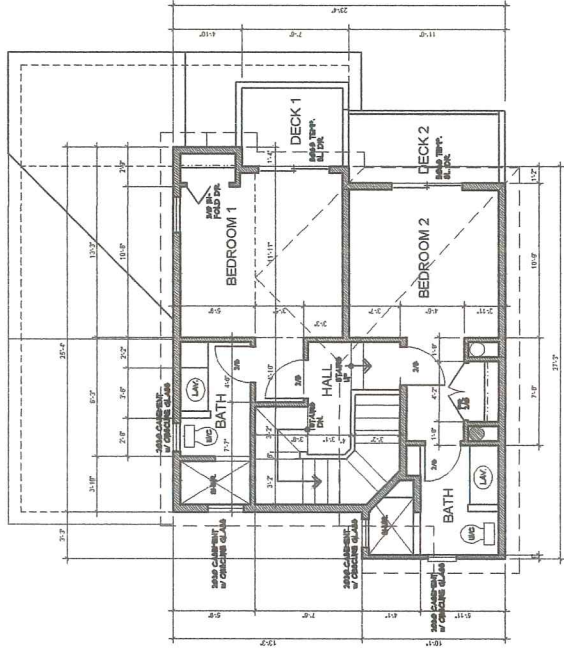




**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

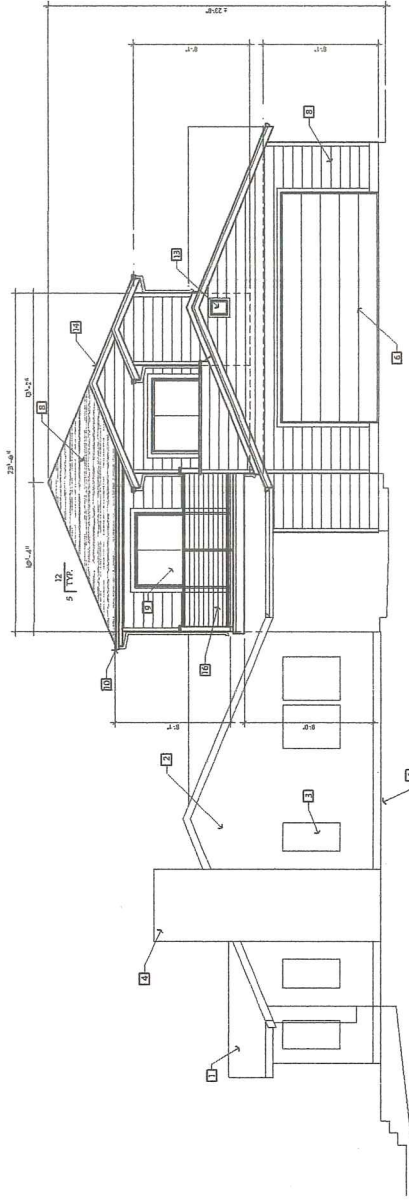


**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

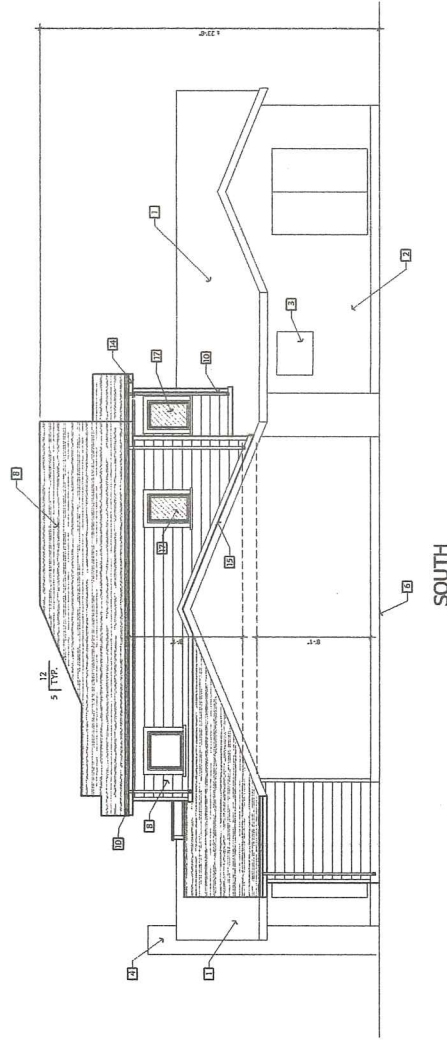


**GENERAL NOTES:**

1. REFER TO SHEET A3.0 FOR TYPICAL NOTES
2. FIELD VERIFY ALL DIMENSIONS
3. RANGE HOOD  
RANGE HOODS SHALL BE INSTALLED WITH EXHAUST DUCTS TO THE OUTSIDE. EXHAUST DUCTS SHALL BE INSTALLED THROUGH THE ROOF. EXHAUST DUCTS SHALL BE INSTALLED THROUGH THE ROOF. EXHAUST DUCTS SHALL BE INSTALLED THROUGH THE ROOF.
4. EXHAUST DUCTS  
EXHAUST DUCTS SHALL BE INSTALLED THROUGH THE ROOF. EXHAUST DUCTS SHALL BE INSTALLED THROUGH THE ROOF. EXHAUST DUCTS SHALL BE INSTALLED THROUGH THE ROOF.
5. APPLIANCES  
APPLIANCES SHALL BE INSTALLED AS PART OF THE REMODEL. APPLIANCES SHALL BE INSTALLED AS PART OF THE REMODEL. APPLIANCES SHALL BE INSTALLED AS PART OF THE REMODEL.
6. CONSTRUCTION NOTES  
CONSTRUCTION NOTES SHALL BE INSTALLED AS PART OF THE REMODEL. CONSTRUCTION NOTES SHALL BE INSTALLED AS PART OF THE REMODEL. CONSTRUCTION NOTES SHALL BE INSTALLED AS PART OF THE REMODEL.



WEST



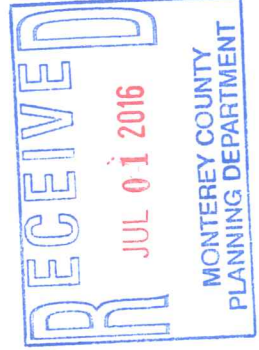
SOUTH

## EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

### PROPOSED ELEVATION KEYNOTES

- |    |                                    |    |   |
|----|------------------------------------|----|---|
| 12 | (E) COMPOSITION ASPHALT ROOFING    | 12 | (N) GABLE END VENT                          |
| 11 | (E) EXTERIOR WOOD SIDING (PAINTED) | 11 | (N) FASCIA - MATCH (E)                      |
| 10 | (E) VENTIL UNDOORS w/ WOOD TRIM    | 10 | (N) EXTERIOR WOOD SIDING - MATCH (E)        |
| 9  | (E) VENTIL UNDOORS w/ WOOD TRIM    | 9  | (N) COOPER FLASHING AS REQUIRED             |
| 8  | (E) BRICK FIREPLACE STACK          | 8  | (N) GUTTER + DOWNSPOUTS - MATCH (E)         |
| 7  | (E) METAL RAILING                  | 7  | (N) DECK + 6x6 CABLE DECK RAILING           |
| 6  | (E) EXISTING GRACE                 | 6  | (N) VENTIL UNDOORS w/ WOOD TRIM - MATCH (E) |
|    |                                    | 5  | WITH CEILING CLIPS                          |
|    |                                    | 4  | (N) COMPOSITION ASPHALT ROOFING - MATCH (E) |
|    |                                    | 3  | (N) SINGLE GARAGE DOOR                      |



COOKE REMODEL  
3055 SLOAT ROAD  
PEBBLE BEACH, CA 93953

A.P.N. 007-483-008-000

MANDURRAGO  
& ASSOCIATES  
RESIDENTIAL DESIGN

P.O. BOX 1504  
CARPENTERS, CA 95021  
PHONE 831-238-6709  
Email mandurrago@gmail.com

Drawn By: MANDURRAGO  
Drawing Date: 6-30-16  
Project Number: 15-118

Revisions:

△  
△  
△  
△

Project / Owner

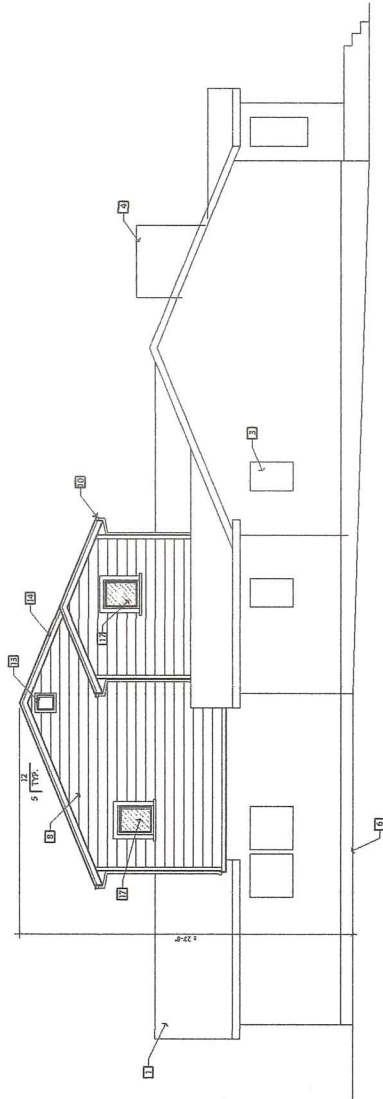
PETER & PEGGY  
COOKE  
P.O. BOX 933  
MONTROSE, CA 91021

EXTERIOR  
ELEVATIONS

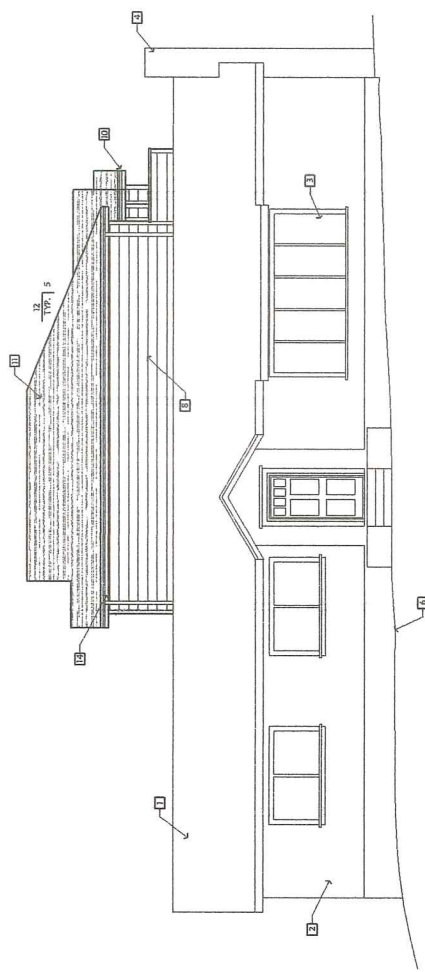
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EAST



NORTH

# EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"

- PROPOSED ELEVATION KEYNOTES
- 1 (E) COMPOSITION ASPHALT ROOFING
  - 2 (E) EXTERIOR WOOD SIDING - MATCH (E)
  - 3 (E) VINYL WINDOWS w/ WOOD TRIM - MATCH (E)
  - 4 (E) BRICK FIREPLACE STACK
  - 5 (E) PETAL RAILING
  - 6 (E) EXISTING SCOPE
  - 7 (E) GARAGE DOORS
  - 8 (E) EXTERIOR WOOD SIDING - MATCH (E)
  - 9 (E) VINYL WINDOWS w/ WOOD TRIM - MATCH (E)
  - 10 (E) GUTTER & DOWNSPOUTS - MATCH (E)
  - 11 (E) COMPOSITION ASPHALT ROOFING - MATCH (E)
  - 12 (E) SINGLE GARAGE DOOR
  - 13 (E) CABLE END VENT
  - 14 (E) FASCIA - MATCH (E)
  - 15 (E) COOPER FLASHING AS REQUIRED
  - 16 (E) DECK & S.S. CABLE DECK RAILING
  - 17 (E) VINYL WINDOWS w/ WOOD TRIM - MATCH (E) WITH EXISTING SCOPE



COOKE REMODEL  
3055 SLOAT ROAD  
PEBBLE BEACH, CA. 93953

A.P.N. 007-483-008-000

MANDURRAGO  
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Drawn By: MANDURRAGO  
Drawing Date: 6-30-16  
Project Number: 15-1118

Revisions:



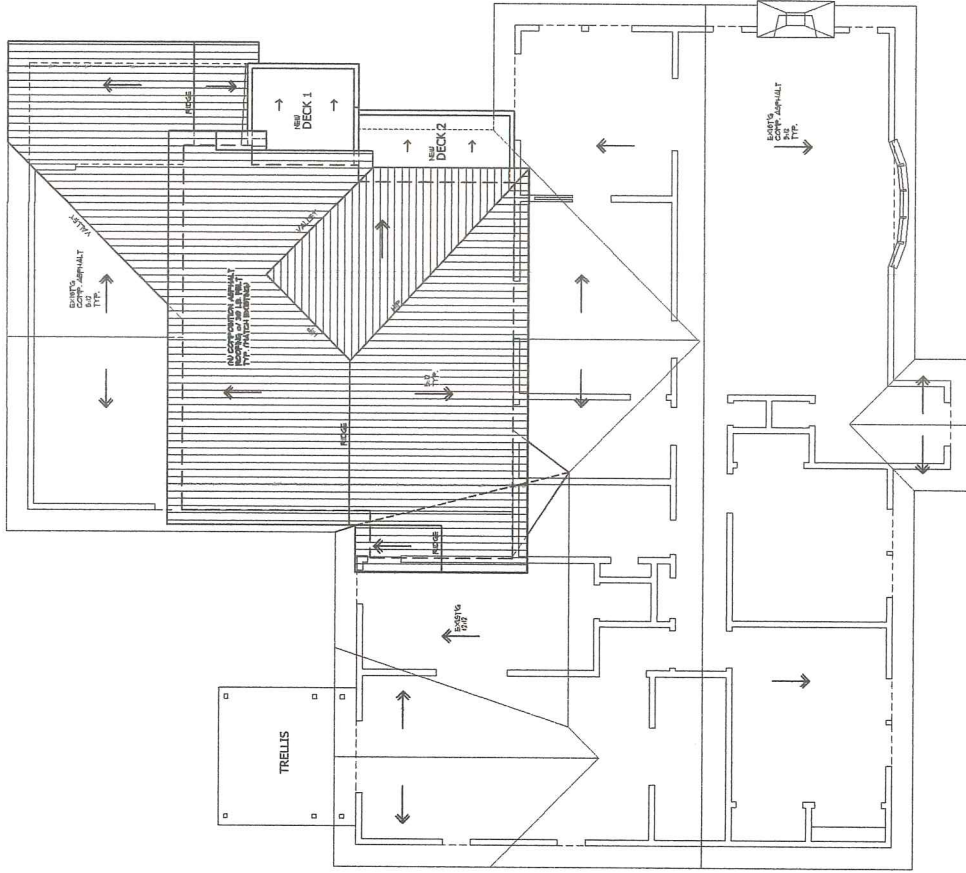
Project / Owner

PETER & PEGGY  
COOKE  
P.O. BOX 503  
MONTROSE, CA 91021

EXTERIOR  
ELEVATIONS

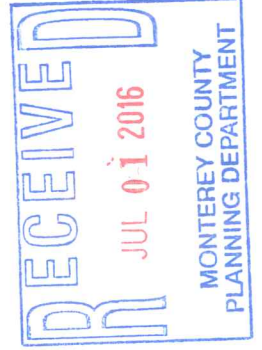
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ROOF PLAN

SCALE: 1/4" = 1'-0"



COOKE REMODEL

3055 SLOAT ROAD  
PEBBLE BEACH, CA 93953

A.P.N. 007-483-008-000

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Drawing Date: 6-30-16  
Project Number: 15-1118

Revisions:



Project Owner

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ROOF PLAN

Sheet Number:

A5.0

# COOKE REMODEL

3055 SLOAT ROAD  
PEBBLE BEACH, CA 93953

A.P.N. 007-489-008-000

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Drawn By: MANDURRAGO  
Drawing Date: 6-30-16  
Project Number: 15-1118

Revisions:

△  
△  
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△

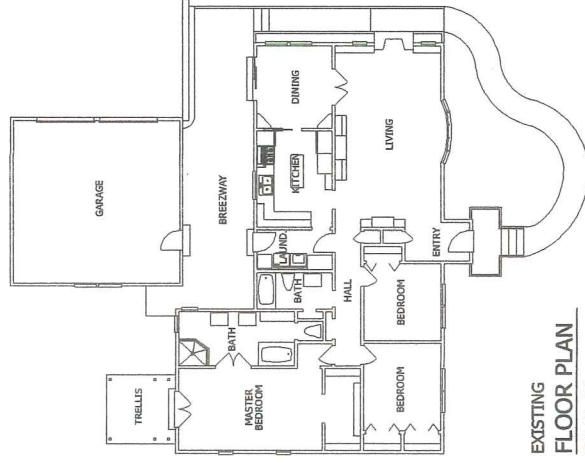
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PETER & PEGGY  
COOKE  
10010 RIVERVIEW  
MONTEREY, CA 93921

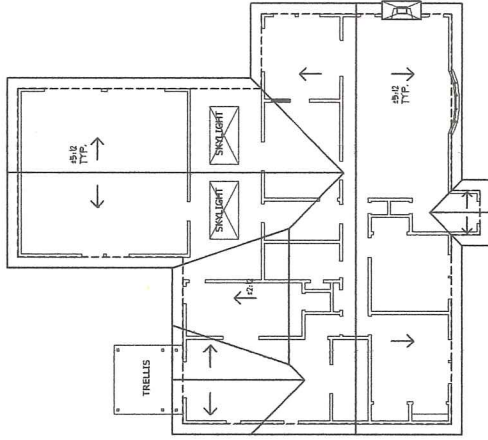
EXISTING PLANS

Sheet Number:

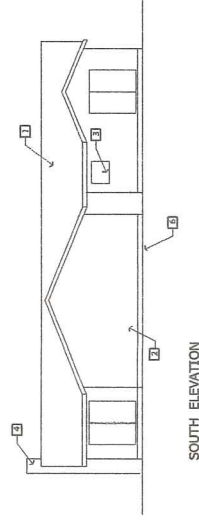
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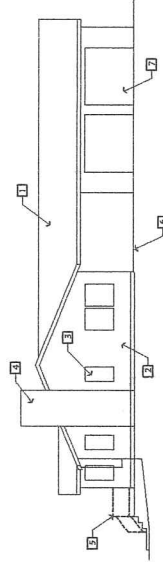
EXISTING  
FLOOR PLAN  
SCALE: 1/8" = 1'-0"



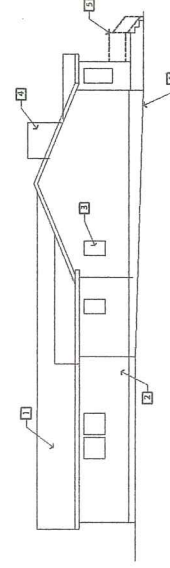
EXISTING  
ROOF PLAN  
SCALE: 1/8" = 1'-0"



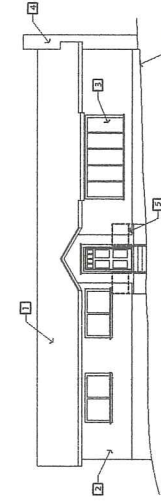
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

- EXISTING ELEVATION KEYNOTES
- 1 (E) COMPOSITION ASPHALT ROOFING
  - 2 (E) EXTERIOR WOOD SIDING (PAINTED)
  - 3 (E) VINYL WINDOWS w/ WOOD TRIM
  - 4 (E) BRICK FIREPLACE STOVE
  - 5 (E) METAL RAILING
  - 6 (E) EXISTING GRADE

EXISTING  
EXTERIOR ELEVATIONS  
SCALE: 1/8" = 1'-0"

- 7 (E) GARAGE DOORS

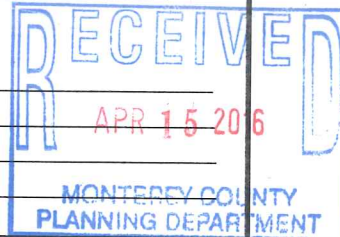




PROJECT FILE NO. PLN160437 PHOTOGRAPHS



Date: 4/12/16 Site Address: 3055 SLOAT RD Planner: \_\_\_\_\_  
Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



PROJECT FILE NO. PLN160437 PHOTOGRAPHS



Date: 4/12/16 Site Address: 3055 SLOAT RD Planner: \_\_\_\_\_  
Description: \_\_\_\_\_  
\_\_\_\_\_  
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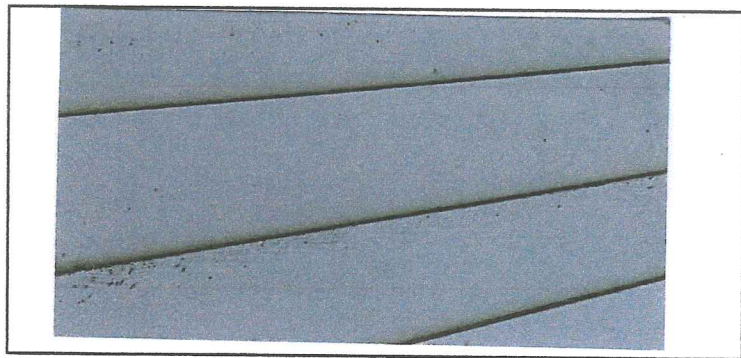


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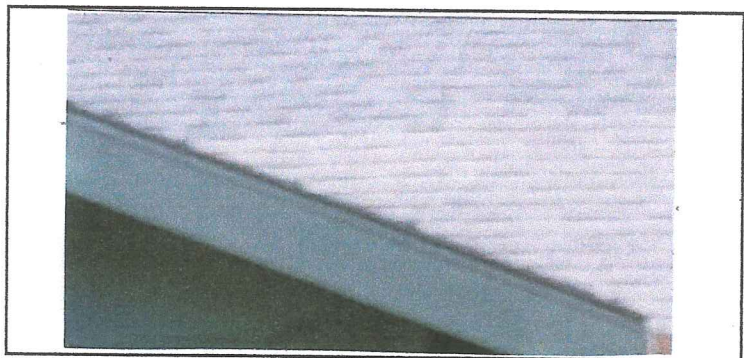
COLOR SAMPLES FOR PROJECT FILE NO. \_\_\_\_\_



Materials: WOOD Colors: WHITE  
Description: TRIM - MATCH EXISTING



Materials: WOOD Colors: LIGHT GREEN  
Description: SIDING - MATCH EXISTING



Materials: COMPOSITION ASPHALT Colors: D. GRAY  
Description: ROOFING - MATCH EXISTING