

Exhibit C

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EXHIBIT C
DRAFT RESOLUTION

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

(DEOUDS CHRISTOPHER AND ANTONIA (PLN160325))

RESOLUTION NO. ----

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project Categorically exempt per section 15303 of the CEQA Guidelines; and
- 2) Approving a Design Approval to allow the construction of a 1,320 square foot one-story single family dwelling, 320 square foot guesthouse, 312 square foot cabana, and 576 square foot detached two-car garage.

[PLN160325, Christopher and Antonia Deoudes,
131 Pine Canyon, Salinas, Toro Area Plan (APN:
416-449-017-000)]

The Christopher and Antonia Deoudes application (PLN160325) came on for public hearing before the Monterey County Zoning Administrator on October 13, 2016. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **PROJECT DESCRIPTION** – The proposed project is a Design Approval to allow the construction of a 1,320 square foot one-story single family dwelling, 320 square foot guesthouse, 312 square foot cabana, and 576 square foot detached two-car.

 EVIDENCE: a) An application for a Design Approval was submitted on August 9, 2016.
 b) The property is located at 131 Pine Canyon Road, Salinas (Assessor's Parcel Number 416-449-017-000), Toro Area Plan. The parcel is zoned "RDR/5.1-D" [Rural Density Residential/5.1 acres per unit - Design Control], which allows for residential development with the issuance of a Design Approval. Therefore, the project is consistent with the allowable use.
 c) On September 30, 2016, notices of the pending approval were posted at the project site and were mailed to all parties that the Director has reason to know may be interested in the application.
 d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160325.
2. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the

applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;
- Toro Area Plan;
- Monterey County Zoning Ordinance (Title 21);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) On September 12, 2016, the Toro Area Land Use Advisory Committee (LUAC) voted to approve the project (6-0 vote, 1 abstention) as submitted. They respected that the applicants' proposed development will occur within the building and septic envelopes and like the single story, low visual impact design.
- c) This is a 1,320 square foot single story home that is sited within the building envelope at an angle facing the mountains with the garage located closest to the neighboring parcel. The new chip seal driveway has direct access to the proposed 576 square foot detached garage. A new 320 square foot guesthouse and a 312 square foot covered cabana create a squared courtyard in between the structures. A proposed 1,500 gallon septic system is located within the septic envelope. The project is consistent with the 2010 General Plan and site plan development standards in the RDR Zoning District. A condition of approval will require a Deed Restriction for the guesthouse (Condition #5).
- d) Pursuant to 21.44.040 of Monterey County Code, the Zoning Administrator is the appropriate authority to consider Design Approvals for new single family dwellings.
- e) The project planner conducted a site inspection on September 12, 2016 to verify that the project on the subject parcel conforms to the plans listed above.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160325.

3. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The parcel is located on Pine Canyon Road approximately two miles off River Road on a bench overlooking the Salinas Valley to the east. This is a rural residential area with parcels ranging from 5.1 acres to 15 acres. Although there are several houses located on benches much higher than this parcel, potentially a two story structure could be visible from River Road. The proposal is a single story home, it cannot be seen from River Road, and is not located in a viewshed corridor. There are also mountains with heavy vegetation behind the structures that would protect it from being ridgeline property. The project will be conditioned to require limited landscaping and low lighting so as to keep the rural feel of the area (Conditions #3 and #4).
 - b) The architectural design of the structures consist of a country ranch style

design consisting of pearly white board and batt wood siding, charcoal standing seam metal roofing materials and dark anodized aluminum windows. This is a 5.11 acre parcel surrounded by other large ranch homes located on similar sized parcels. The rural character of the neighborhood consists of horse barns and white colored ranch homes with ancillary structures. Along with proposed colors and materials and ranch style design, this single-story, this project is visually consistent with neighborhood character as required by the design guidelines of the Design Control Zoning District.

- c) The project planner conducted a site inspection on September 12, 2016 to verify that the project on the subject parcel conforms to the plans listed above.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN160325.

4. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts new construction of one single family residence, or a second dwelling unit in a residential zone.
 - b) The proposed is a new single family dwelling and an accessory unit, which meet the criteria for categorical exemption.
 - c) The project is located within 660 feet of a potentially active fault. The geologic hazards investigation prepared for the subdivision recommended residential construction footprints be placed at least 50 feet from the toe of the steep slope which will make any potential seismic related geologic hazards low, so building envelopes were created as buffers. The proposed structure is 140 feet from any slopes. The area within the building envelope is flat with less than a 10% slope. Grading consists of 1,100 cubic yards of cut and 1,100 cubic yards of fill. This is required to flatten out the area for the structures. There are no trees within the envelope and there are no biological impacts that would prevent development on the property. Archaeological sensitivity is low.
 - d) No adverse environmental effects were identified during staff review of the development application during a site visit on September 12, 2016.
 - e) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact.
 - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160325.

5. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Section 21.44 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find the project Categorically exempt per section 15302 of the CEQA Guidelines; and
- 2) Approve a Design Approval to allow the construction of a 1,320 square foot one-story single family dwelling, 320 square foot guesthouse, 312 square foot cabana, and 576 square foot detached two-car garage, in general conformance with the attached sketch, colors, and materials and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 13th day of October, 2016 by:

Jacqueline Onciano, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160325

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This is a Design Approval to allow the construction of a 1,320 square foot one-story single family dwelling, 320 square foot guesthouse, 312 square foot cabana, 576 square foot detached two-car garage and a 1,500 gallon septic system. The property is located at 131 Pine Canyon Road, Salinas, (Assessor's Parcel Number 416-449-017-000-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval was approved by the Zoning Administrator for Assessor's Parcel Number 416-449-017-000 on October 13, 2016. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall have limited landscaping as this should be retained as a rural area. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PD019(A) - DEED RESTRICTION-GUESTHOUSE (INLAND)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a deed restriction stating the regulations applicable to a GUESTHOUSE (Inland) as follows:

- Only 1 guesthouse shall be allowed per lot.
 - Detached guesthouses shall be located in close proximity to the principal residence.
 - Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
 - The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
 - The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.
 - The guesthouse shall not exceed 600 square feet of livable floor area.
 - The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
 - Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
 - The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
 - The guesthouse height shall not exceed 15 feet nor be more than one story.
- (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit the signed and notarized document to the Director of RMA-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the RMA-Planning.

GENERAL NOTES

1. Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
2. Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
3. Contractor shall be responsible to obtain and pay for all necessary permits inspections, certificates, and fees. (this section subject to owner's review and approval.)
4. Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.
5. Materials that are specified by their brand names establish standards of quality and performance. any request for substitution shall be submitted to moore design llc and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. all non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
6. All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code and the latest edition of all governing codes and regulations as adopted by the Monterey County. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
7. All dimensions on constructions drawings are face of stud (f.o.s.), face of cmu, unless otherwise noted to be the center line of mullion, partition, or column, etc.
8. All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.
9. All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
10. All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.
11. The use of the word "provide" in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
12. The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
13. The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
14. The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
15. The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
16. All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
17. Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
18. All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
19. Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
20. Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mgmt. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.

SYMBOLS & ABBREVIATIONS

EXIST'G OR (E)	EXISTING	F.O.C.	FACE OF CONCRETE	R.O.	ROUGH OPENING
A.B.	ANCHOR BOLT	F.O.S.	FACE OF STUDS	SIM.	SIMILAR
APPROX.	APPROXIMATE	GALV.	GALVANIZED	T&G	TONGUE AND GROOVE
BLK.	BLOCK	G.I.	GALVANIZED IRON	T.O.P.	TOP OF PLATE
CAB.	CABINET	GYP.	GYPSUM	TYP.	TYPICAL
CLR.	CLEAR	G.W.B.	GYPSUM WALLBOARD	U.O.N.	UNLESS OTHERWISE NOTED
CONC.	CONCRETE	N.I.C.	NOT IN CONTRACT	W/O	WITHOUT
CONT.	CONTINUOUS	N.T.S.	NOT TO SCALE	WP	WATERPROOF
D.S.	DOWNSPOUT	O.C.	ON CENTER		
		O.D.	OUTSIDE DIAMETER		
		PLYWD.	PLYWOOD		

<div>1</div> <div>A</div>	WALL LINE NUMBERS VERTICAL LETTERS HORIZONTAL	<div>SECTION</div> <div>SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</div>
<div>1</div>	DOORS SYMBOL NUMBERS	<div>ELEVATION</div> <div>ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</div>
<div>1</div>	WINDOW TYPE-NUMBERS	<div>REVISIONS-NUMBERS</div> <div>CLOUD AROUND REVISION OPTIONAL</div>
<div>1</div>	DETAIL DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN	<div>+8'-0"</div> <div>CEILING HEIGHT</div>
<div>1</div>	SHEET NOTE	

PLANNING CONDITIONS

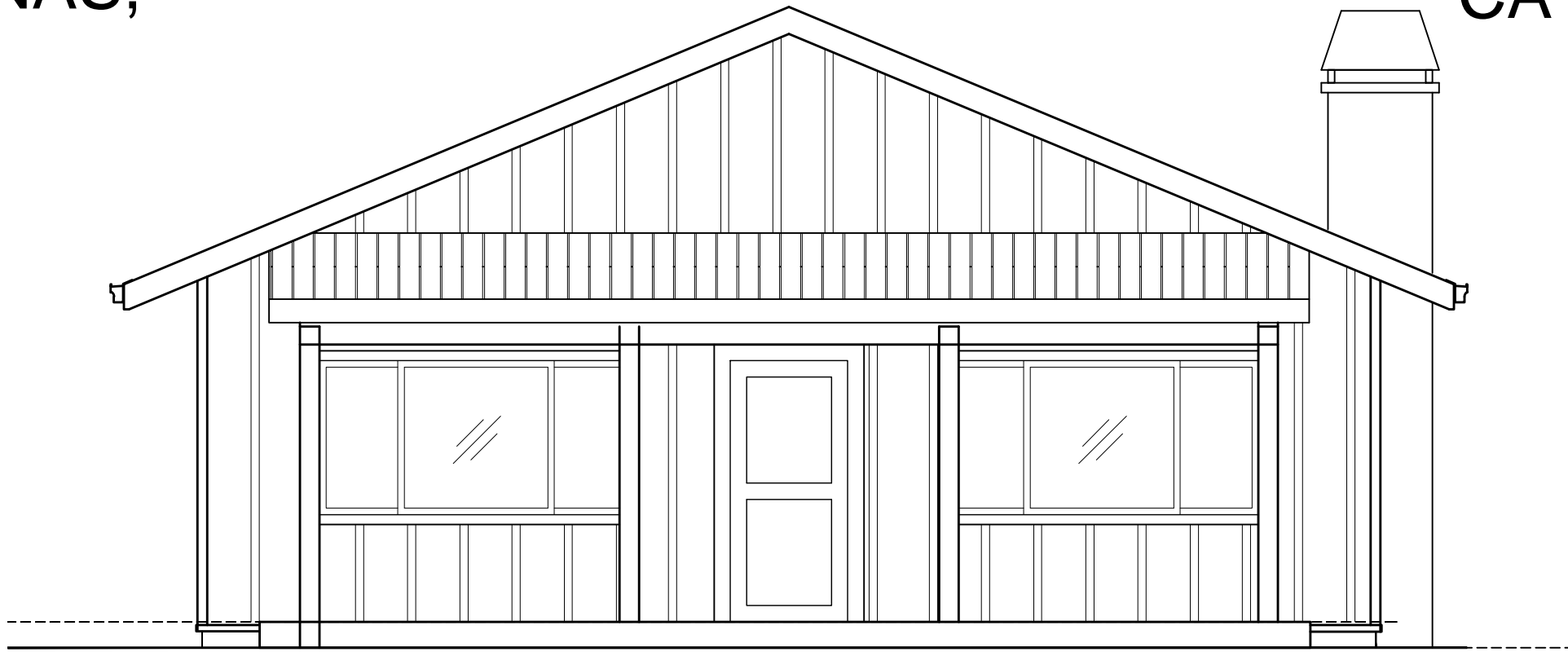
PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - planning and a qualified archaeologist (i.e., an archaeologist registered with the register of professional archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.

PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 part 6. The exterior lighting plan shall be subject to approval by the director of RMA - Planning, prior to the issuance of building permits. (RMA - PLANNING)

THE DEOUDES RESIDENCE
SALINAS, CA



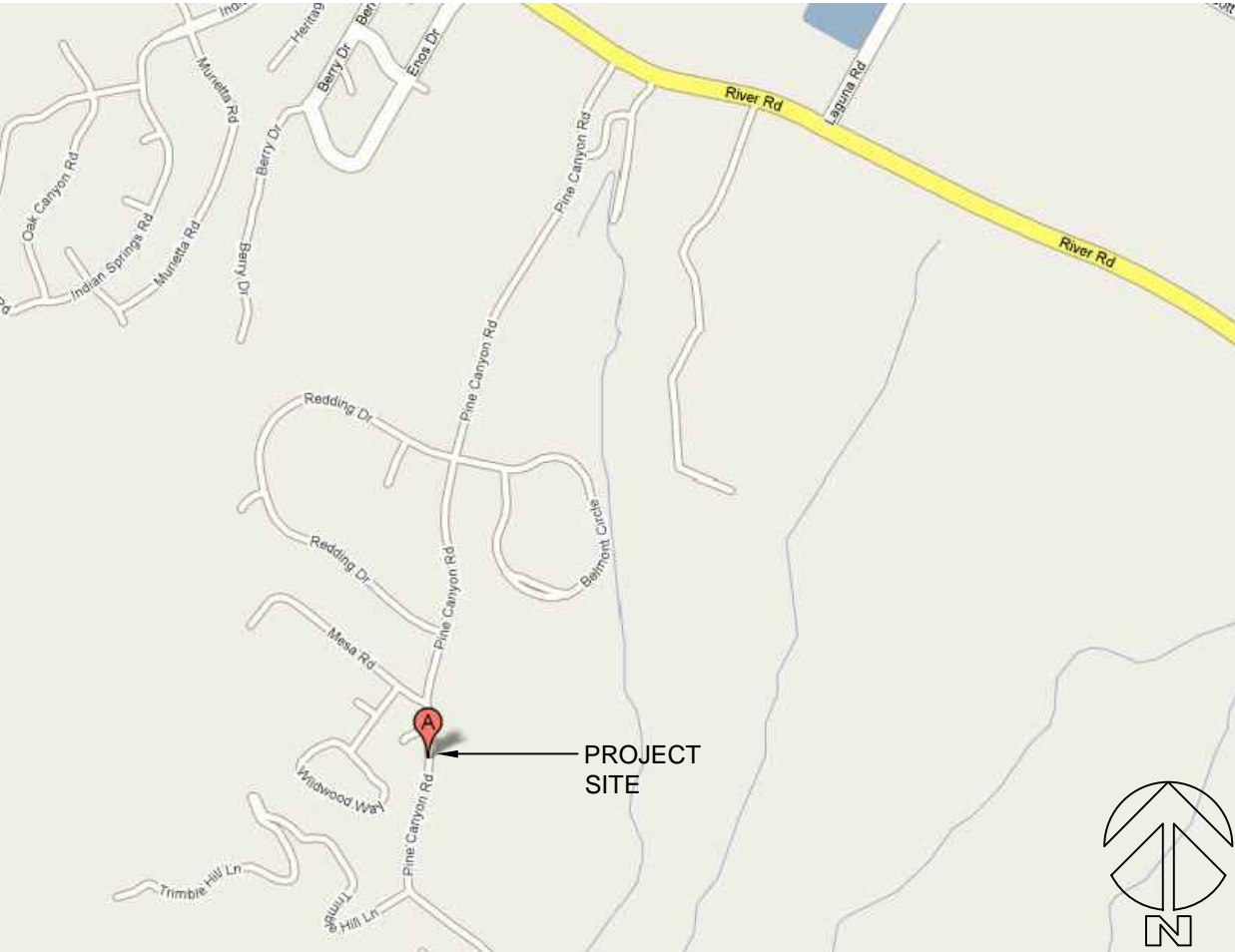
SHEET INDEX

ARCHITECTURAL	
A0.1	COVER SHEET
A1.1	SITE PLAN
C100	GRADING DRAINAGE & SEPTIC PLAN
C200	DETAILS
C300	EROSION CONTROL PLAN
A2.1	FLOOR PLAN
A2.3	ROOF PLAN
A3.1	SCHEDULES
A4.1	ELEVATIONS
A4.2	ELEVATIONS
A5.1	BUILDING SECTIONS
A6.1	POWER & LIGHTING
A8.1	DETAILS
T-1	ENERGY COMPLIANCE
STRUCTURAL	
S.1	STRUCTURAL NOTES AND SPECIFICATIONS
S.2	FOUNDATION PLAN
S.3	STRUCTURAL DETAILS
S.4	ROOF FRAMING PLAN

BUILDING DEPARTMENT NOTES

1. No person may tap into any fire hydrant other than fire suppression or emergency aid, without first obtaining written approval from the water purveyor supplying water to the hydrant and from the monterey county health department.
2. All hoses used in connection with any construction activities shall be equipped with a nozzle shut-off. when an automatic shut-off nozzle can be purchased or otherwise obtained for the size or type of hose in use, the nozzle shall be an automatic shut-off nozzle.
3. No potable water may be used for compaction or dust control purposes in construction activities where there is a reasonably available source of reclaimed or other sub-potable water approved by the monterey county health department and appropriate for such use.
4. The use of solders containing more than 2/10ths of 1% lead in making joints on private or public water supply systems is prohibited (SB 164).
5. Provide non-removable backflow devices at all hosebibs.

VICINITY MAP



PROJECT DIRECTORY

■ PROPERTY OWNER:	CHRIS & TONI DEOUDES 131 PINE CANYON SALINAS, CA 93908 (831) 970-0673
■ DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA 93940 TEL (831) 642-9732 FAX (831) 401-3292 email: john@mooredesign.org
■ STRUCTURAL ENGINEER:	STRUCTURES INC. CONTACT: WILLIAM COKER 1676 FREMONT BLVD, SUITE G SEASIDE, CA 93955 TEL (831) 393-4460 email: mstrwill@outlook.com
■ TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE, SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8328 FAX (831) 372-4613
■ CONTRACTOR:	MONTERRA CONSTRUCTION CONTACT: CRAIG FURMAN 7132 OAK TREE PLACE MONTEREY, CA 93940 Tel (831) 760-0218 Lic. # 772807 monterraconstruction@comcast.net
■ CIVIL ENGINEER:	BENJAMINI ASSOCIATES CONTACT: AVI BENJAMINI 720 YORK STREET, #114 SAN FRANCISCO, CA 94110 TEL (415) 550-2600 FAX (415) 520-2005 EMAIL: abenjamini@benjamini-inc.com
■ GEOTECHNICAL ENGINEER:	GRICE ENGINEERING, INC. CONTACT: SAM GRICE 561-A BRUNKEN AVE. SALINAS, CA 93901 TEL (831) 422-9619 FAX (831) 422-1886 EMAIL: samge@sbcglobal.net

CAL GREEN NOTES

1. Construction waste management. recycle and/or salvage for reuse a minimum of 50% of the nonhazardous construction and demolition waste in accordance with the California Green Building Code, chapter 4, division 4.4.
2. In accordance with the California Green Building Standards, Section 4.504.2, the following pollutant control measures shall be implemented.

2.a. Paint, stains and other coatings shall be compliant with VOC limits.

2.b. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Documentation shall be provided to verify compliant VOC limit finish materials have been used.

2.c. Carpet and carpet systems shall be compliant with VOC limits.

2.d. 50% of the floor area receiving resilient floorings shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.

2.e. Particleboard, Medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.

CONTRACTOR NOTES

1. Glu-lam certificates shall be copied to the building department.
2. At time of final inspection provide installation, operation and maintenance guides/manuals for all equipment and appliances including masonry veneer anchors, fireplace insert, and chimney flue acceptable to the enforcing agency shall be provided to the owner.
3. All construction shall be in accordance with soils investigations by Grice Engineering.
4. Contractor to provide two copies completed & signed of the CF2R-LTG-01-E form (where applicable) to the owner & field inspector prior to receiving the final.

PROJECT INFORMATION

■ PROJECT ADDRESS:	131 PINE CANYON SALINAS, CA 93908
■ A.P.N.:	416-449-017-000
■ PROJECT SCOPE:	NEW SINGLE STORY DWELLING (1,320 SF), NEW GUEST HOUSE (320 SF), NEW 2-CAR DETACHED GARAGE (576 SF), NEW CABANA (312 SF) AND 486 SF OF COVERED PORCHES. NEW SEPTIC SYSTEM.
■ PROJECT VALUATION:	\$275,000
■ RELATED PERMIT	NONE
■ LEGAL DESCRIPTION:	VOL 22 PAR MAPS PG 5; PAR B 5.11 AC
■ PROJECT CODE COMPLIANCE:	2013 - TITLE 24, CALIFORNIA RESIDENTIAL CODE (CROC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CENC), CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), CALIFORNIA FIRE CODE (CFC), MONTEREY CO. CODE LOCAL AMENDMENTS
■ ZONE:	RDR/5.1-D
■ MAX BLDG. HT:	MAIN STRUCTURE - 30'-0" ACCESSORY - 15'-0" SEE ELEVATIONS
■ CONSTR. TYPE:	TYPE V-B
■ OCCUPANCY:	R-3 (RESIDENTIAL), U
■ FIRE HAZARD SEVERITY ZONE	MODERATE
■ FIRE SPRINKLERS	REQUIRED NFPA-13D
■ WATER SYSTEM:	ALCO WATER SERVICE COMPANY
■ SEWER SYSTEM:	NEW SEPTIC SYSTEM
■ TREE REMOVAL:	NONE
■ TOPOGRAPHY:	GENTLY SLOPING, LESS THAN 10%
■ GRADING:	(SEE CIVIL DRAWINGS)(1100 CUT, 1100 FILL)
■ LOT SIZE:	5.11 ACRES
■ LOT COVERAGE CALCS:	
ALLOWED	25% = 55,647 SF
HABITABLE AREA	1,640 SF
NON HABITABLE AREA	1,374 SF
NEW TOTAL	3,014 SF
■ FLOOR AREA CALCS:	
MAIN RESIDENCE	1320 SF
GUEST HOUSE	320 SF
TOTAL HABITABLE	1640 SF
COVERED PORCHES	486 SF
CABANA	312 SF
GARAGE	576 SF
ACCESSORY STRUCTURES	1374 SF
NEW COMBINED TOTAL	3014 SF

DEFERRED APPROVALS

1. **GAZ LINE** - Contractor to submit gas line sizing for county & utility approval before inspection.
2. **FIRE SPRINKLERS** - Plans for fire sprinkler system (NFP13-D system) must be submitted & approved by local fire jurisdiction prior to installation.

SPECIAL INSPECTIONS

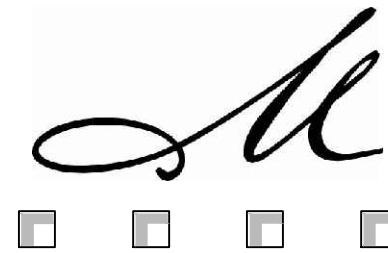
1. Contractor shall schedule the geotechnical engineer to inspect and approve foundation excavations prior to requesting a building foundation inspection.

PROJECT NAME:

DEOUDES
RESIDENCE

131 PINE CANYON
SALINAS, CA 93908

APN: 416-449-017-000



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CONSTRUCTION MANAGEMENT

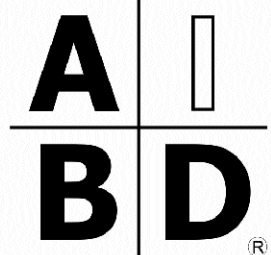
225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

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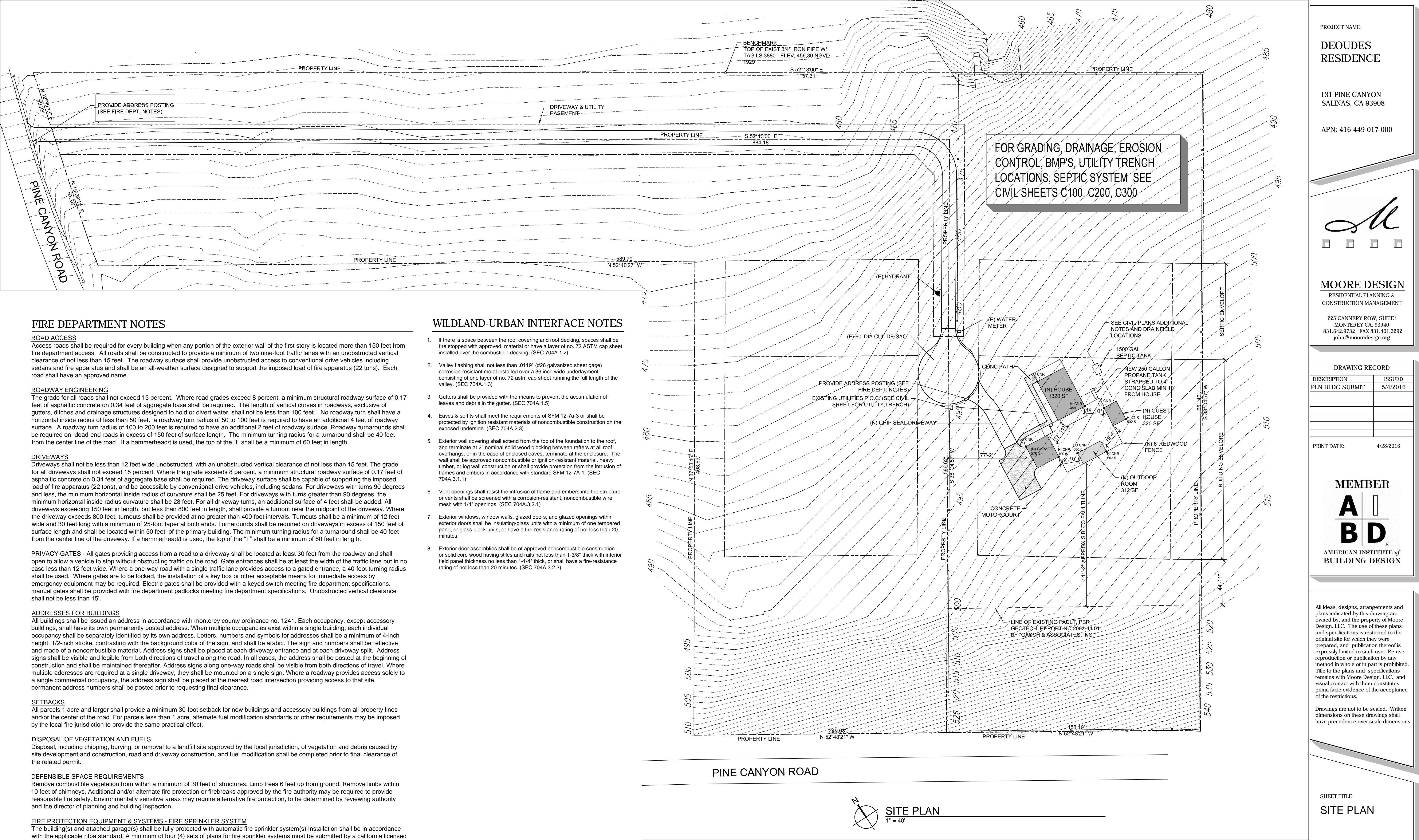
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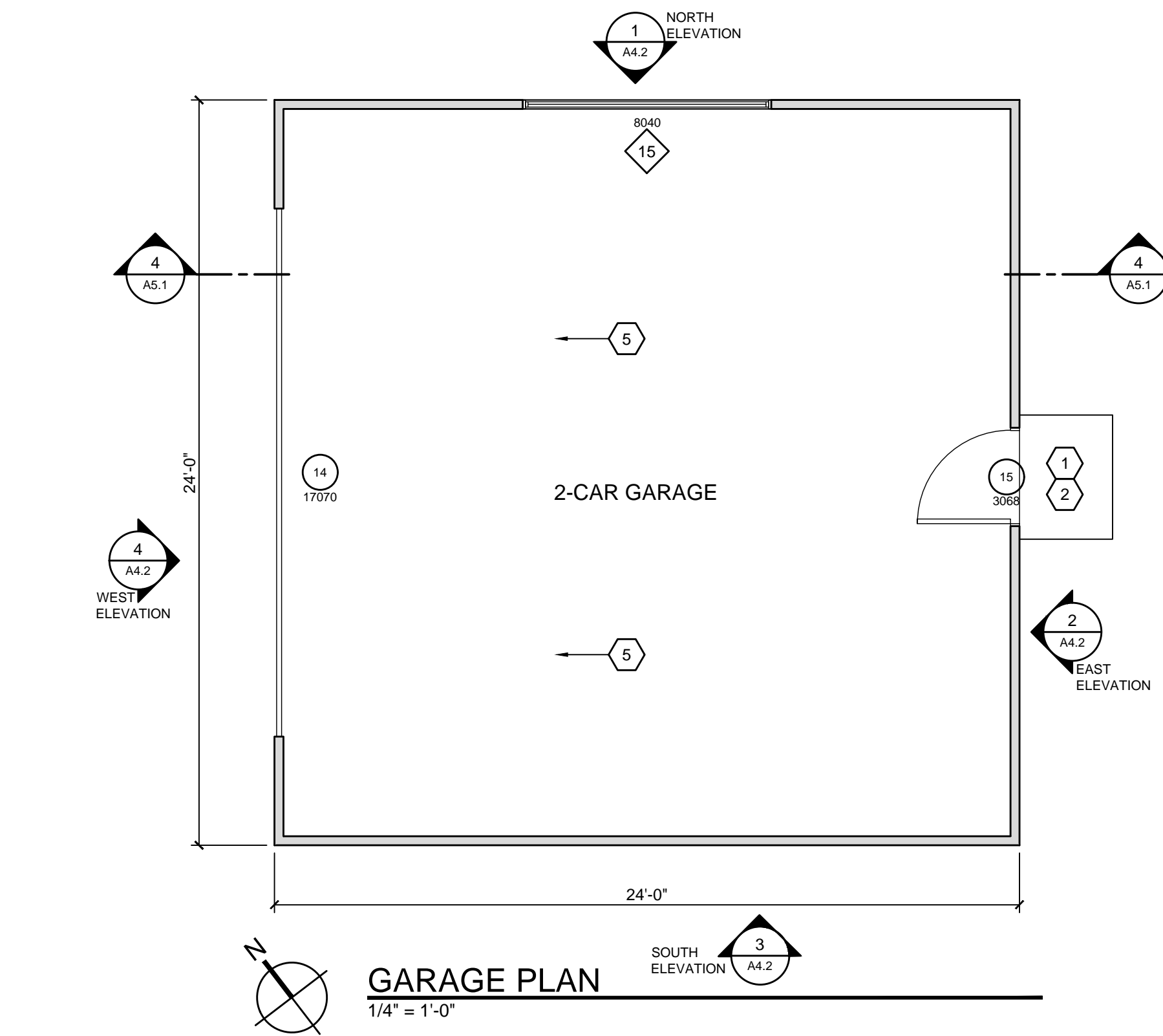
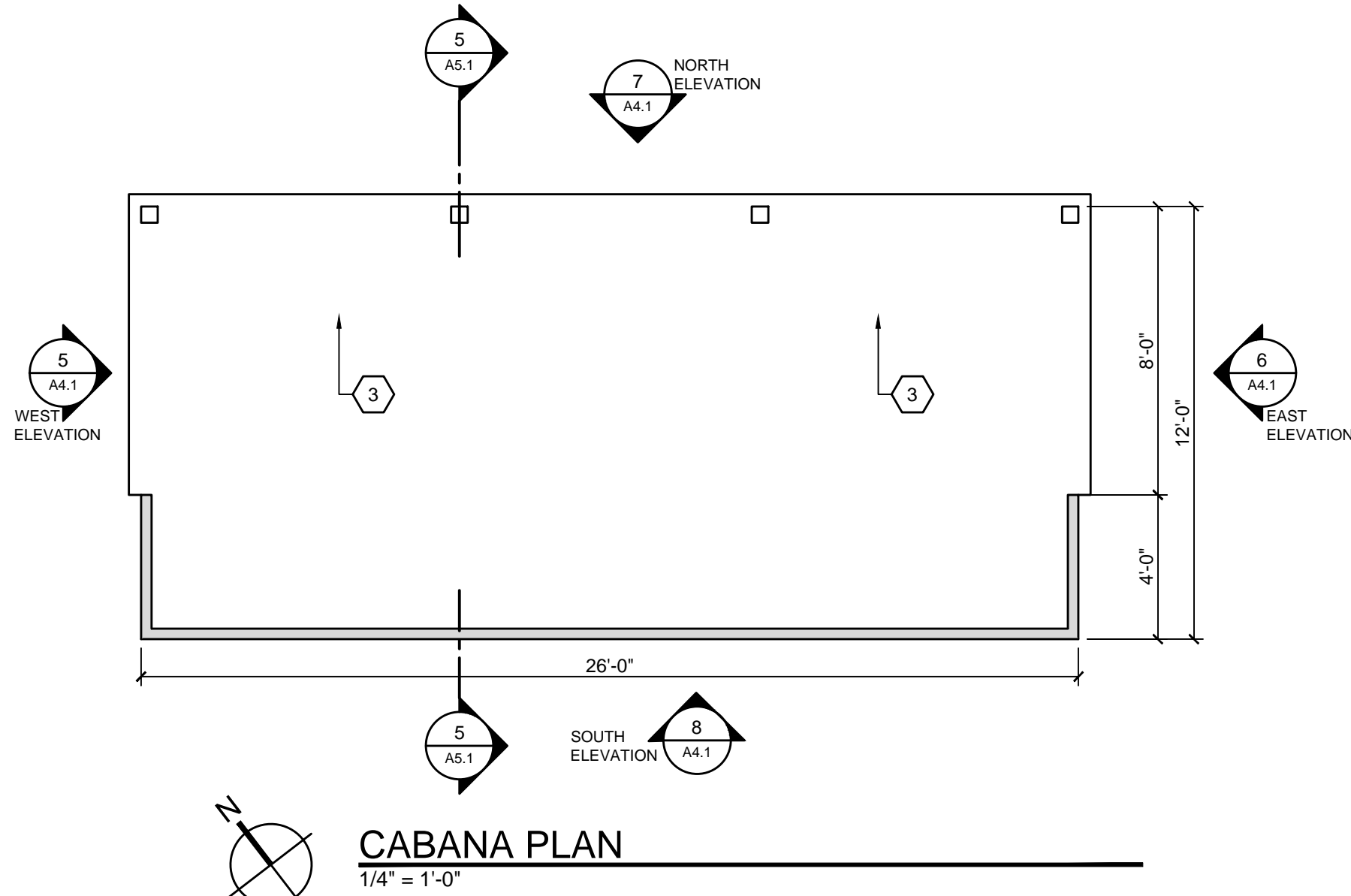
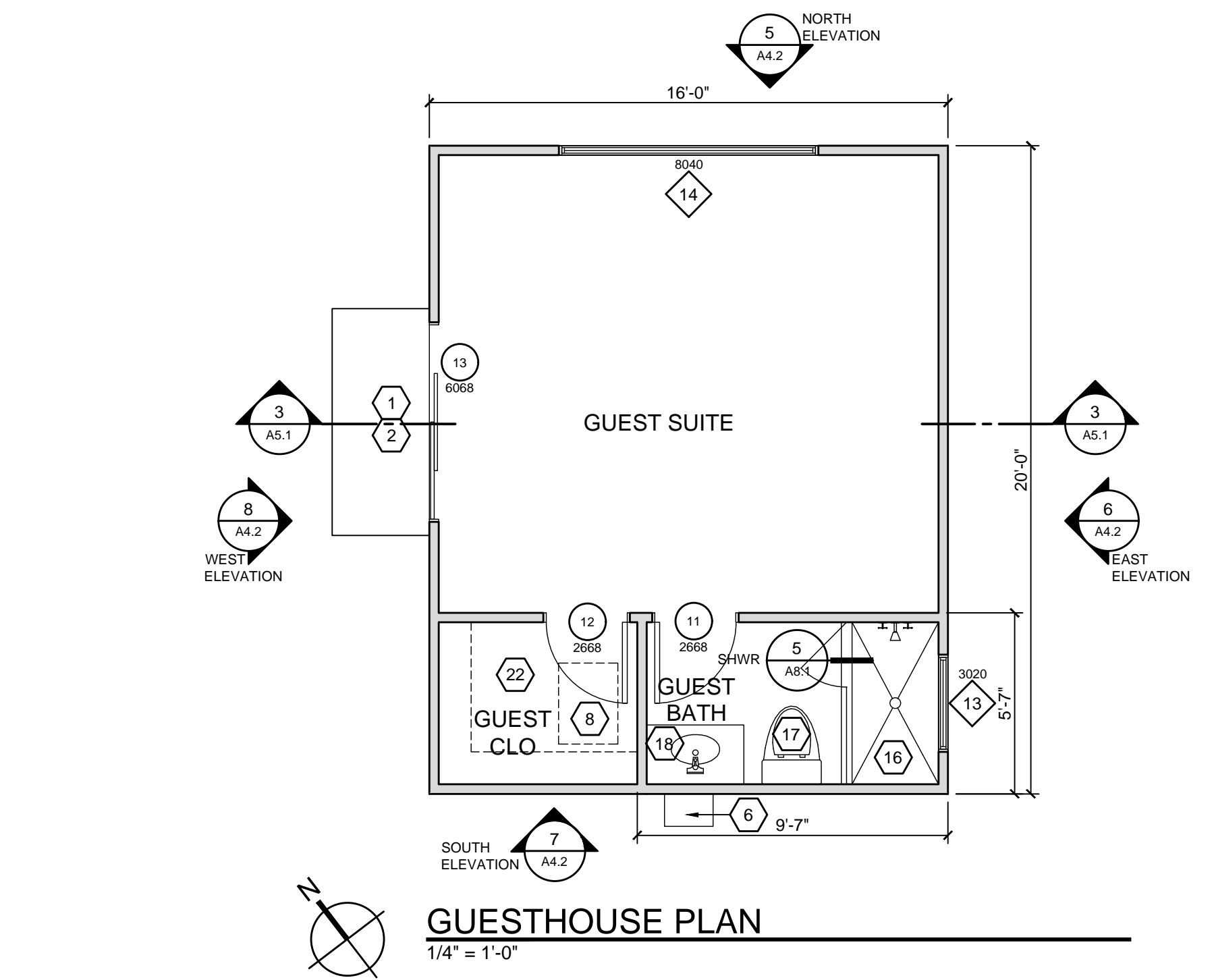
SHEET TITLE:

COVER SHEET /
PROJECT INFO

SHEET NUMBER:

A0.1





SHEET NOTES

- Floor elevations at the required **Egress Door** (1 required) (CRC /311.3.1) landings or floors at the required egress door shall not be more than 1'-1/2" lower than the top of the threshold for outswing doors and 7'-3/4" for inswing or sliding doors. **Non-egress doors** (CRC /311.3.2) - landings or floors shall be not more than 7'-3/4" lower than the top of the threshold for inswing, outswing, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.
- Landing at doors (CRC /311.3)- min. depth 36", min. width shall be not less than the width of the door served. landing may have a slope not to exceed 2% (1/4" vertical in 12" horizontal).
- Terraces and patios- slope at min. 1/4" per ft. away from structure and toward drainage system - see civil drawings
- Hose bib- provide shut off valve for all hose bibs located near the garage or water main. all hose bibs shall have a non-removable back flow device per cbc 603.3.7.
- Garage Floor- Provide:
 - concrete slab & control joints per structural drawings
 - seal concrete with concrete sealer
 - slope toward garage doors for drainage (min. 2")
 - 18" curb at all walls for termite and water protection
 - protect finish slab during construction with protection board
- On demand tankless water heater with recirculating pump
- Venting- provide 100 sq. in. of venting within the top 12" and bottom 12" of the door/wall for combustion air for fuel burning appliances
- Attic space and access (CRC /807.1) attic opening shall be min. 22"x 30" with 30" min. head clearance and is required when an attic area exceed 30 SF and has a vertical height of 30" or greater.
- Kitchen sink with garbage disposal- owner to select make and model
- Casework- 24" base cabinet with 14" upper cabinet. Paint grade cabinets with quartz countertop. owner to select finish & layout.
- Deep laundry sink- owner to select make & model
- 24" dishwasher- low-flow per standards- owner to select make & model
- Stove- 30" wide with drawers below. owner to select make & model
- Microwave with built in exhaust hood insert- 30" wide- owner to select make & model
- Refrigerator- 36" wide, provide recessed plumbing for ice maker- owner to select make & model
- Shower- provide :
 - 16.1. 24" wide minimum (outswing) tempered glass door, door optional
 - 16.2. shampoo recess, soap shelf & seat per owner's specifications
 - 16.3. impervious surface to 72" minimum above drain inlet
 - 16.4. 2"x6" wall for thermostatic valve
- Toilet- 1.28 gallons per flush u.o.n. on water permit, provide 30" width clear in the toilet compartment and min. 24" clear from the front of bowl to the wall (cpc 2904)
- Provide sink(s), base cabinet, plumbing fixture, countertop, mirror and optional recessed vanity cabinet per owner's specifications
- Washing machine- verify make and model with owner (provide plumbing connections recessed in wall)
- Clothes dryer- vent to exterior with 4" pipe, 14'-0" maximum horizontal run with (2) 90° bends maximum
- Fireplace- 42" Isokern firebox hearth and metalbestos flue. hearth extension shall be at least 20" in front of, and at least 12" beyond each side of, the fireplace opening. provide operable metal framed doors with tempered glass
- Provide a shelf and closet pole system at all wardrobe closets. owner to specify locations for double pole and/or additional shelving/drawer systems
- Electrical meter & gas meter
- Casework- 14" upper cabinet. Paint grade cabinets. owner to select finish & layout.

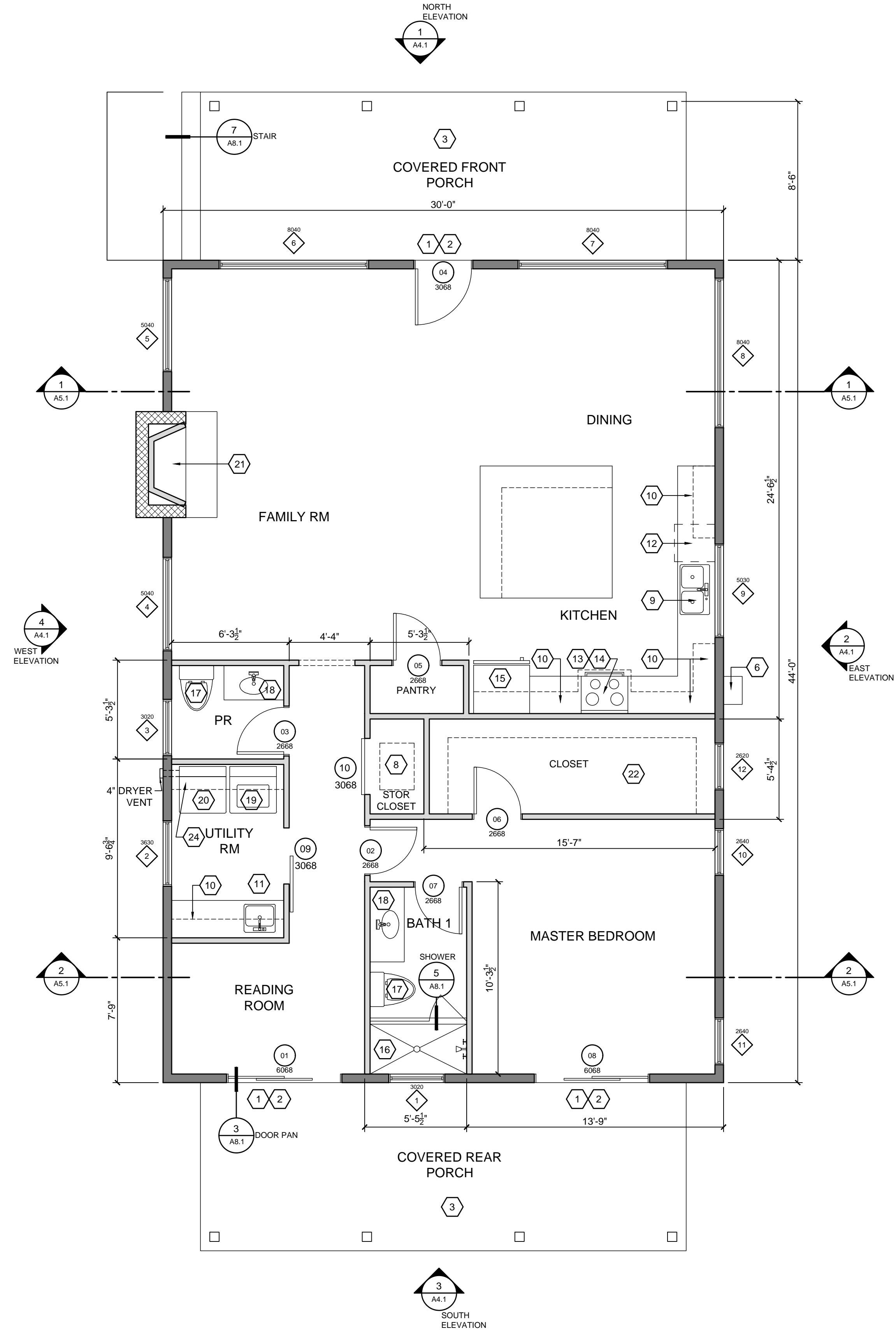
Floor Plan Notes:

- Refer to general building notes on A2.3 for additional notes.
- SEE DOOR & WINDOW SCHEDULE ON SHEET A3.1

WALL LEGEND

- NEW 2x4 WALLS
- NEW 2x6 WALLS

- EXTERIOR WALLS- 2x STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.



CONCEPTUAL FLOOR PLAN

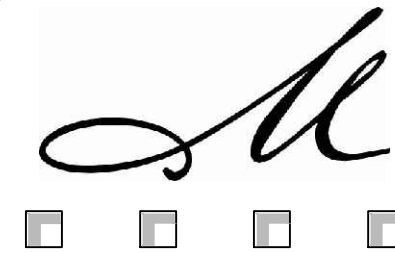
1/4" = 1'-0"

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225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
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SHEET TITLE:

FLOOR PLAN

SHEET NUMBER:

A2.1

GENERAL BUILDING NOTES

1. All dimensions are to the face of stud or c.m.u. unless otherwise noted.
2. Contractor is to verify all dimensions and notify the designer of any discrepancies before proceeding.
3. All projects with waterproof decks will require periodic maintenance, owner shall be responsible to seal, caulk, or otherwise maintain or replace sealant as recommended by manufacturer of waterproofing surface.

FIRE PROTECTION NOTES:

1. Provide fireblocking at 10' intervals in the wall both horizontally and vertically per (CRC R302.11).
2. The openings around gas vents, ducts, pipes, chimneys, and fireplaces at the ceiling and floor levels shall be fireblocked with noncombustible materials. (CRC R 302.11.4).
3. Fireblocking is required at the opening between the attic space and the chimney chase for the factory-built chimneys. (CRC R1003.19).
4. If a fire alarm system is integrated into a security system, the fire alarm system drawings must be submitted to the local fire jurisdiction for approval prior to installation.
5. The State of California requires **smoke and carbon monoxide alarms** to be installed in all residential buildings. (california residential code) sections R314.3.2 and R314.3.3 require a 10-year lifespan for smoke alarms/detectors: units that are older than 10-years need to be replaced, battery type units must have a 10-year battery life. smoke, carbon monoxide or multiple-purpose alarms (carbon monoxide and smoke alarms) must be approved and listed by the state fire marshal. The devices must be installed per the manufacturer's instructions. **In new construction** each smoke detector shall be installed per manufacturer's instructions with house wiring as the primary power source with battery back-up.; **In remodels** each smoke detector may be powered by battery only. smoke detectors shall sound an audible alarm in all sleeping areas of the dwelling unit in which they are located.

ALARM LOCATION REQUIREMENTS

SMOKE ALARMS MUST BE INSTALLED:

- A) In each room used for sleeping purposes
- B) In each hallway outside of the sleeping room(s)
- C) On each level of the dwelling, including basements

CARBON MONOXIDE ALARMS MUST BE INSTALLED:

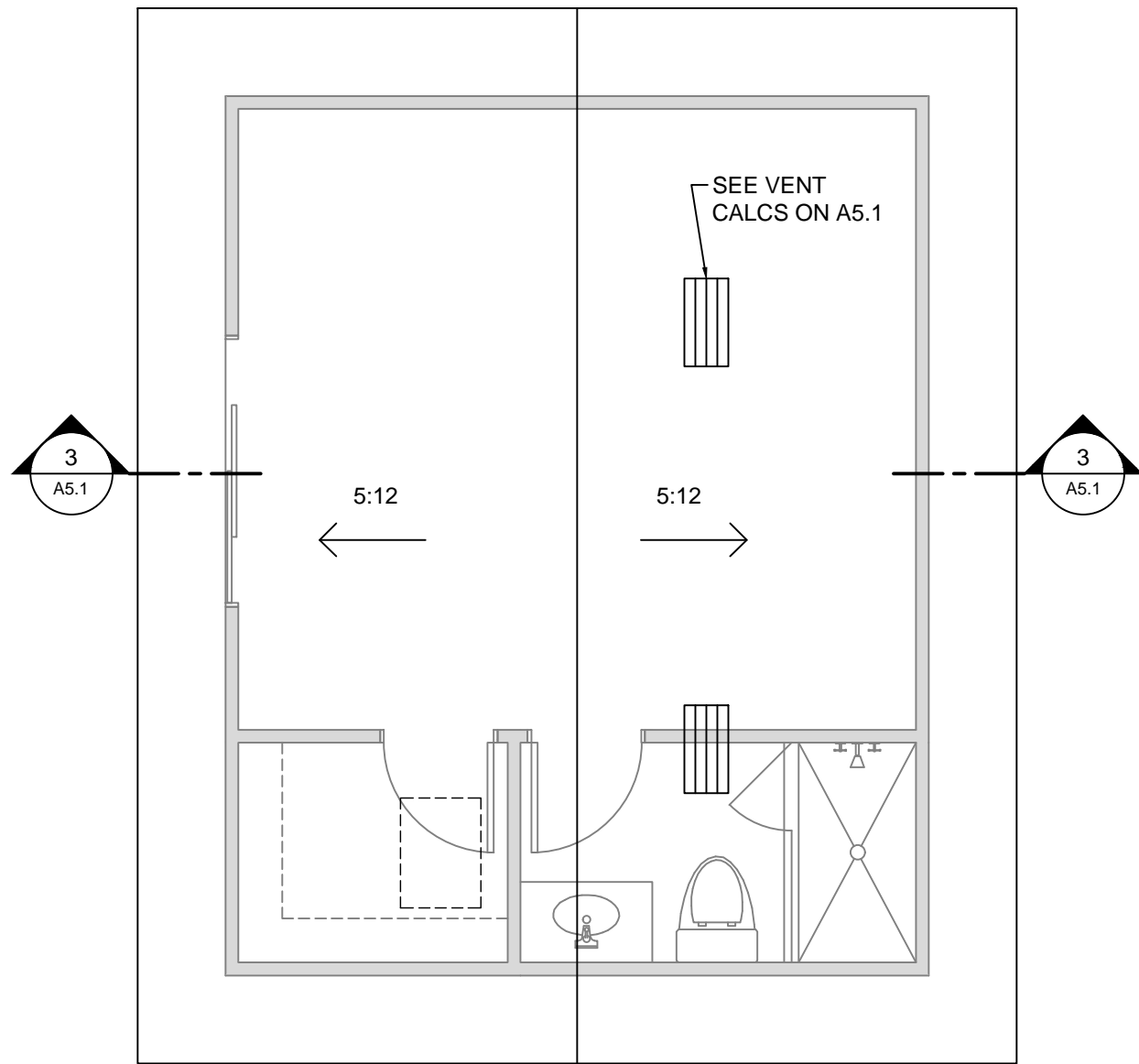
- A) Outside of each sleeping room in the immediate vicinity of the bedroom(s)
- B) On each level of the dwelling, including basements

PLUMBING & BATHROOM NOTES:

1. Contractor is to verify that the project when completed shall comply with the water permit issued by the governing jurisdiction.
2. Accessible under floor areas shall be provided with an 18"x24" min. access within 20' of all plumbing cleanouts (CBC 1209.1 & CPC 707.10)
3. Shower heads shall not exceed 2.0 gallons per minute @ 40 p.s.i. faucets shall not exceed 2.2 gallons per minute.
4. Toilets- shall have a maximum 1.28 gallons per flush u.o.n. on the water permit or plans for less than 1.28 gallons per flush.
5. Water pressure in the building shall be limited to 50 p.s.i. or less.
6. Provide pressure absorbing devices, either an air chamber or approved mechanical devices that will absorb high pressure resulting from the quick closing of quick- acting valves. (CPC 609.10)
7. All shower compartments, regardless of shape, shall have a minimum interior floor area of 1,024 sq. in., and also capable of encompassing 30" diameter circle (CPC 411.7)
8. Provide 30" width clear in the toilet compartment and 24" clear in front of the bowl to the wall (CPC 407.5).
9. Provide non-removable backflow prevention devices on all exterior hose bibs.
10. Maximum hot water temperature discharging from bathtubs & showers shall be limited to 120°F.(CPC 414.5 & 418.0)
11. **SHOWER AND TUB**-shower combinations shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve controls type and installed in a 2x6 stud wall.(CPC 418.0)
12. **IN NEW CONSTRUCTION** - all hot water fixtures that have more than 10' of pipe from the fixture to the hot water heater serving the fixture shall be equipped with a hot water recirculating system.
13. Plumbing lines utilized as grounds are prohibited.
14. **VENTING FOR ISLAND FIXTURES** shall be designed per CPC 909.0. Traps for island sinks and similar equipment shall be roughed in above the floor and may be vented by extending the vent as high as possible, but not less than the drain board height. The vent is then returned downward and connected to the horizontal sink drain immediately downstream from the vertical fixture drain. The return vent shall be connected to the horizontal drain through a y-branch fitting, and shall in addition be provided with a foot vent taken off the vertical fixture vent by means of a y-branch fitting immediately, below the floor. This foot vent extends to the nearest partition and thence through the roof to the open air, or may be connected to other vents at a point not less than (6) inches above the flood level rim of the fixture served.

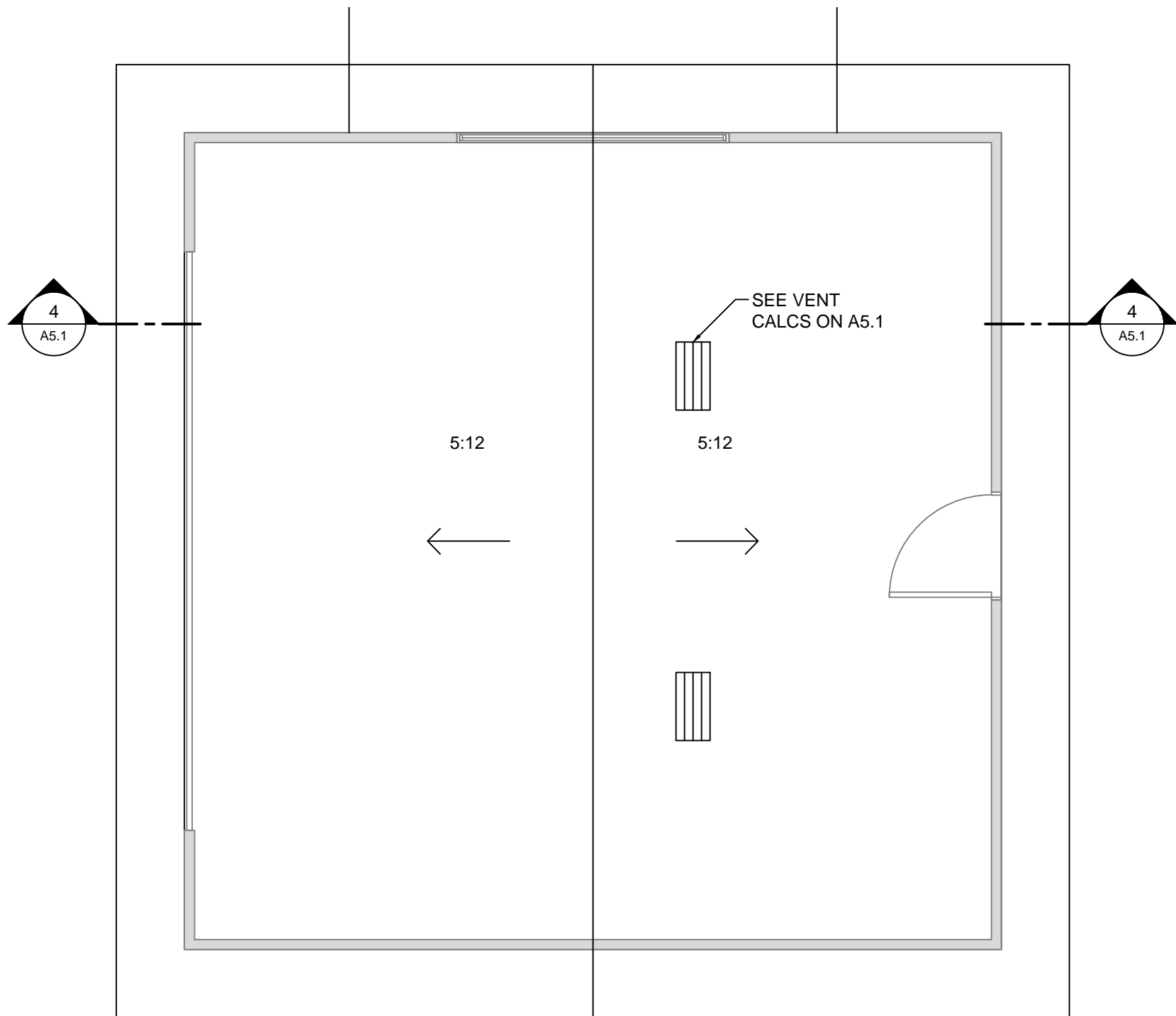
MECHANICAL NOTES:

1. **FURNACE OR WATER HEATERS** located in the crawl space or attic shall have a min 30"x30" access opening located within 20' of the equipment and a min 24" wide continuous solid walkway from access to unit (CMC 904.11). Where an under-floor furnance is supported from above, a minimum 6" clearance shall be provided from finished grade (CMC 904.3.1.2)
2. Minimum 30"x30" unobstructed level working space in front of F.A.U. (CMC 904.11)
3. A permanent 120-volt receptacle outlet and a lighting fixture shall be installed near the appliance. the switch controlling the the lighting fixture shall be located at the entrance to the passageway (CMC 904.11.5 & NFPA 54-9.5.2)
4. **FURNACES LOCATED IN THE GARAGE**- all air ducts that penetrate the garage/residence fire separation wall shall be constructed of 26 gauge steel with no openings in the garage.
5. **WATER HEATERS** or cooling units located in the attic shall have a second watertight pan installed beneath the unit per (CMC 310.2)
6. Appliances which generate a glow, spark, or flame (such as water heater and furnace) shall be located a minimum of 18 inches above garage floor.
7. Where it is required to move under ducts for access to areas of the crawlspace, a minimum vertical clearance of 18" shall be provided (CMC 604.1).
8. **KITCHEN HOOD** - a ducted residential exhaust hood is required. a metal, smooth interior surface duct required on vent hood or down draft exhaust vent. aluminum flex duct not approved. provide back draft damper. CMC504.2 minimum 30" vertical clearance to combustibles from cook top surface. CMC504.2. Kitchen local exhaust ventilation requires a minimum rate of 100cfm meeting the requirements of ASHRA 62.2. this includes a maximum sound rating of 3 sone @ 100cfm.



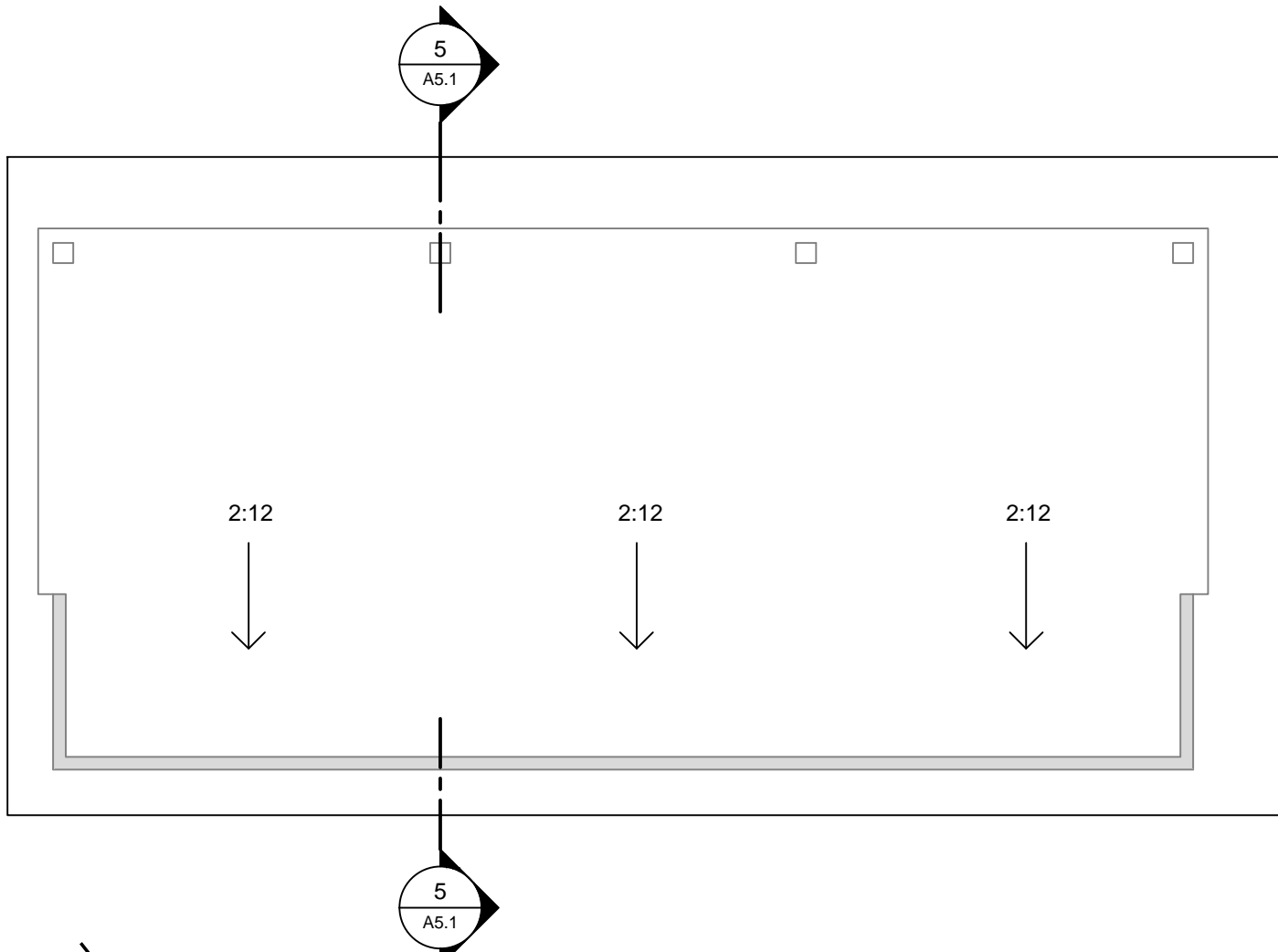
GUEST HOUSE ROOF PLAN

1/4" = 1'-0"



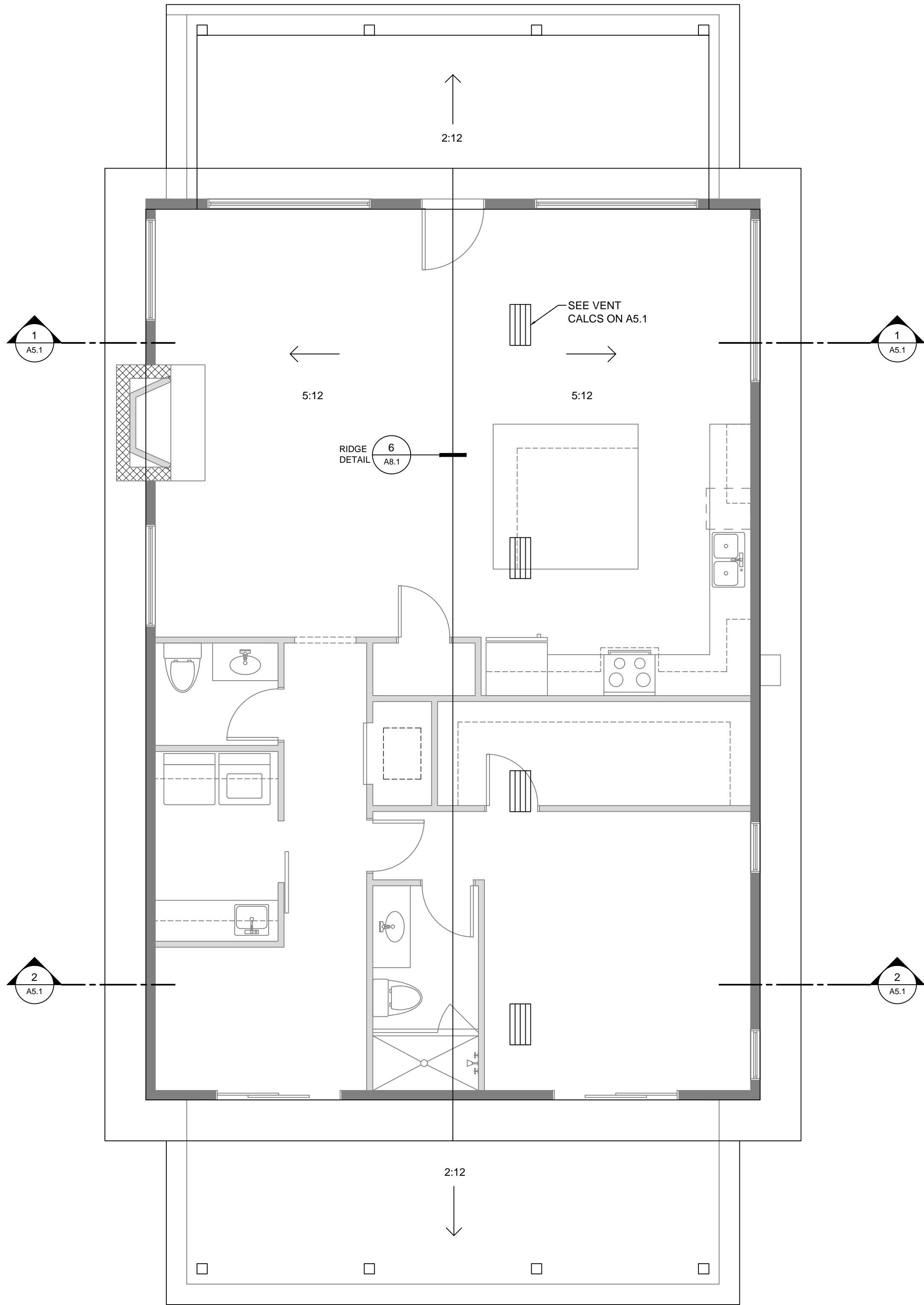
GARAGE ROOF PLAN

1/4" = 1'-0"



CABANA ROOF PLAN

1/4" = 1'-0"



HOUSE ROOF PLAN

1/4" = 1'-0"

GENERAL ROOF & CHIMNEY NOTES

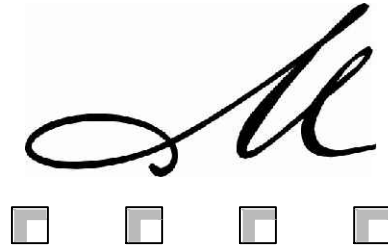
1. Roof Material = Type 'A' Asphalt Shingle
2. Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3. Roof Slope = 5/12 unless otherwise noted
4. Overhang = 24" unless otherwise noted
5. Aluminum gutters with round downspouts
6. Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location
7. **SPARK ARRESTER**: Net free area of spark arrester shall not be less than four times the net free outlet of the chimney flue it serves. arrester screen shall have heat and corrosion resistance equal to 12 gage wire, 19 gage galvanized steel or 24 gage stainless steel (CRC R1003.9.1).
7. **CHIMNEY TERMINATION**: Chimneys shall extend a least 2' higher than any portion of a building within 10' horizontally, but shall not be less than 3' above the highest point where the chimney passes through the roof (CRC R1003.9).
8. Metal chimneys shall be anchored at each floor and at the roof with (2) 1-1/2"x1-1/2" metal straps looped around the chimney and nailed with not less than (6) 8d nails per strap at each joist or rafter per UBC 3102.6 to prevent lateral displacement.

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225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

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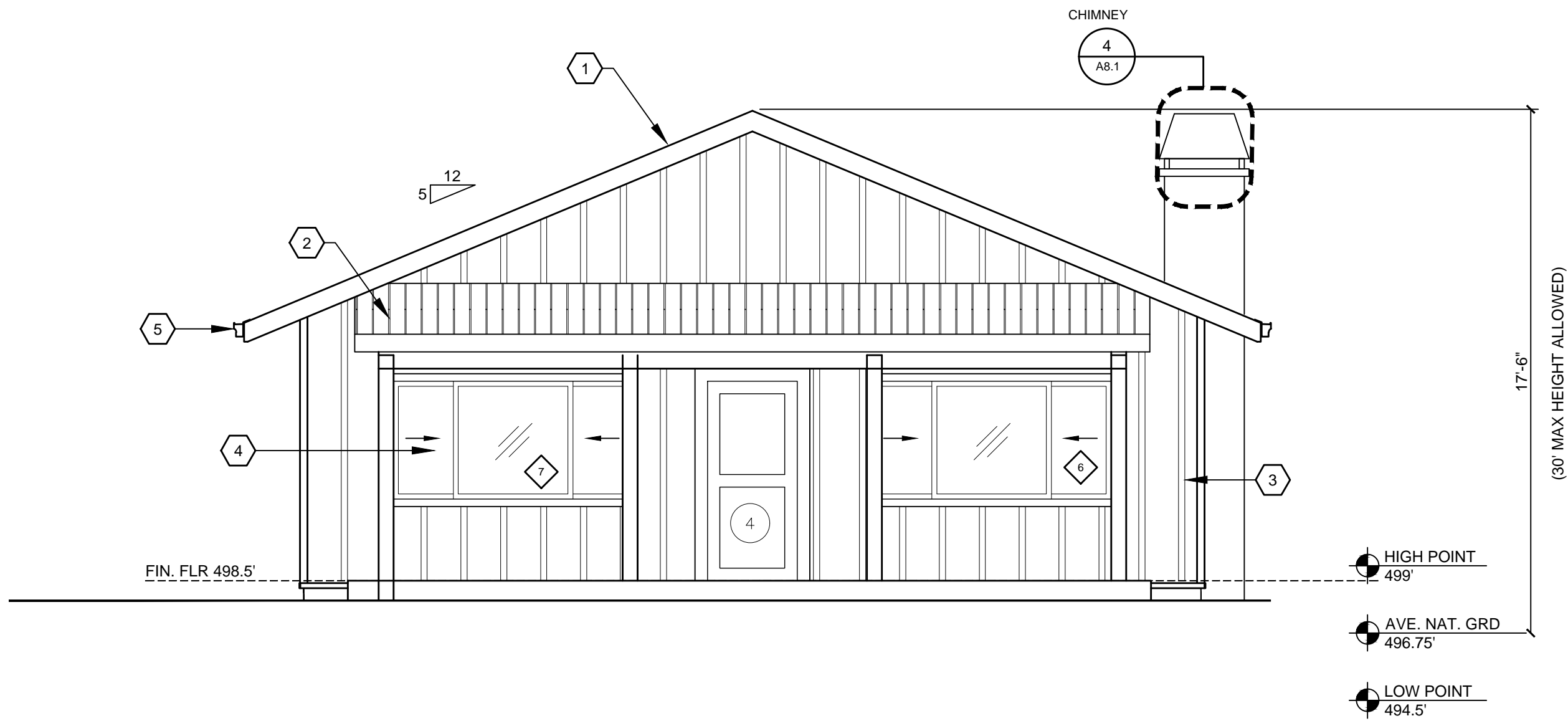
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ROOF PLAN

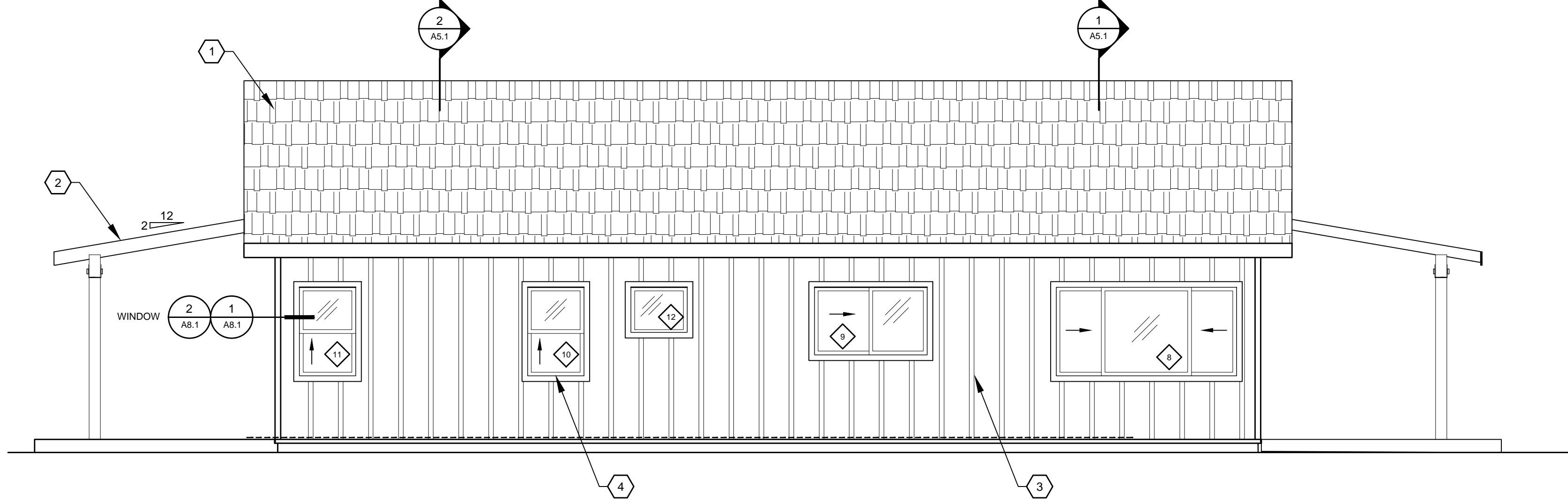
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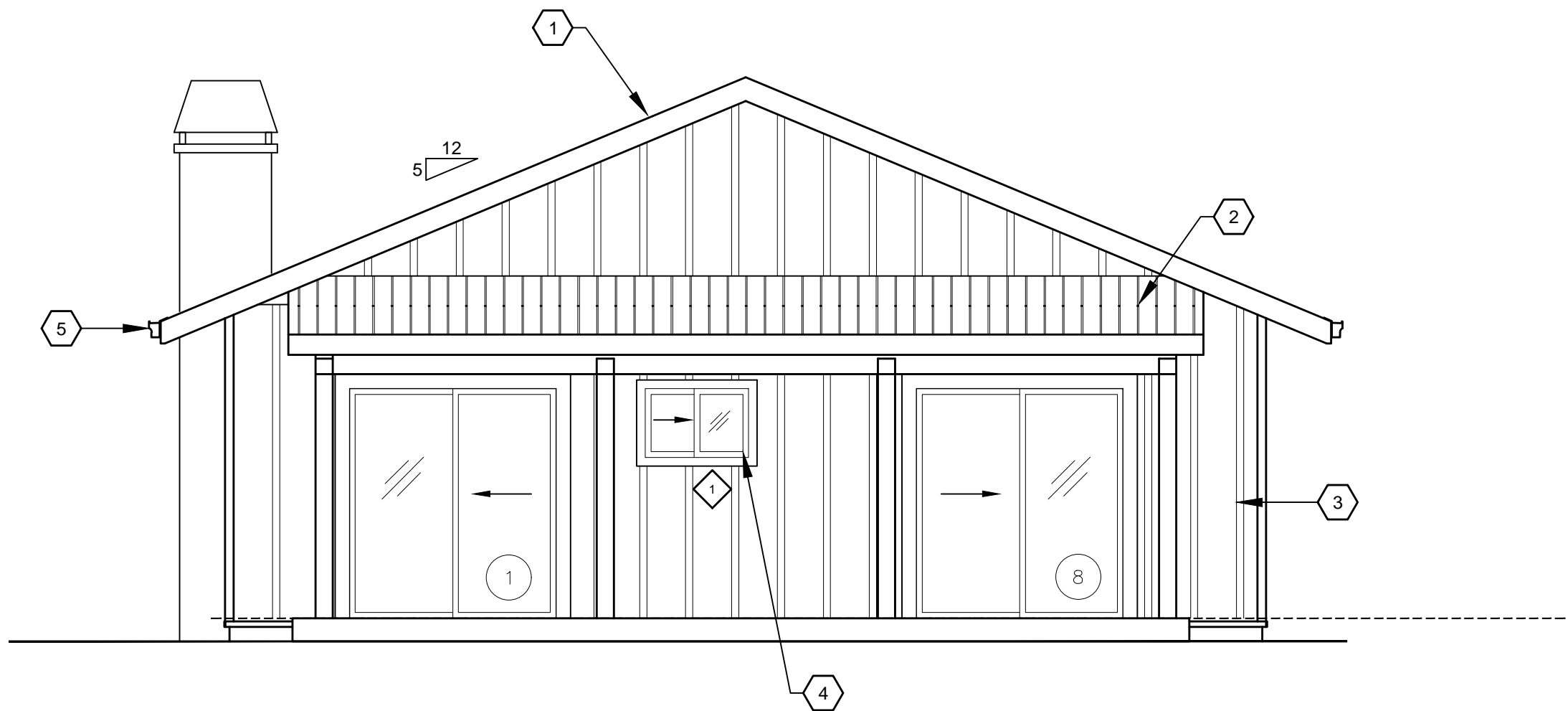
MAIN RESIDENCE ELEVATIONS



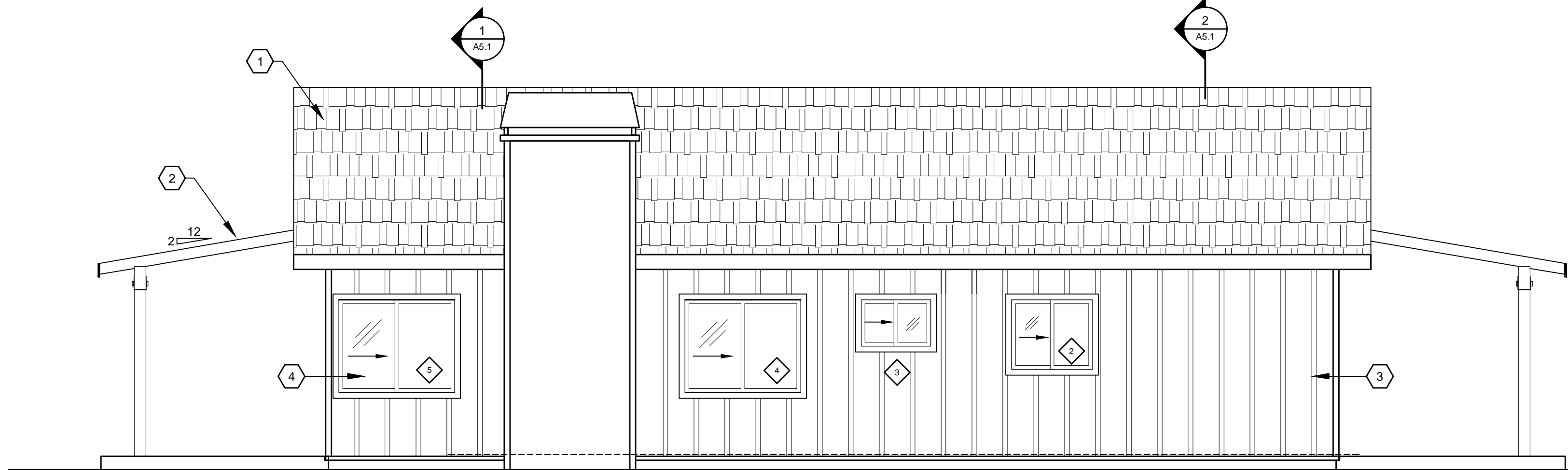
1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"

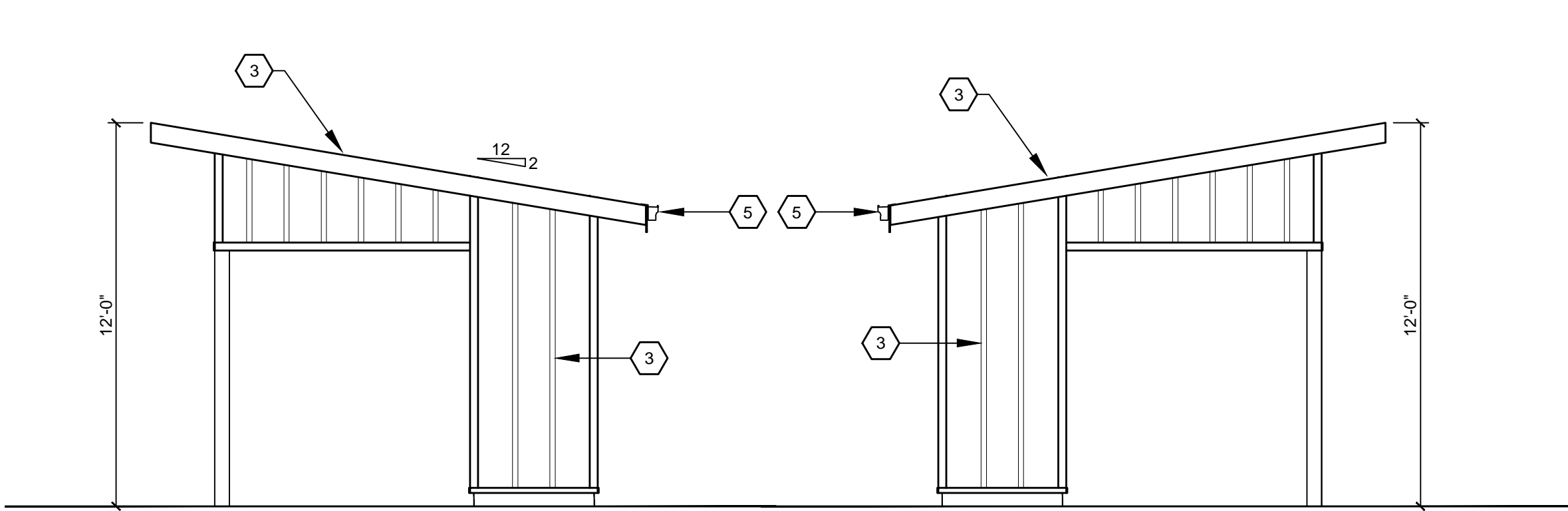


4 WEST ELEVATION
1/4" = 1'-0"

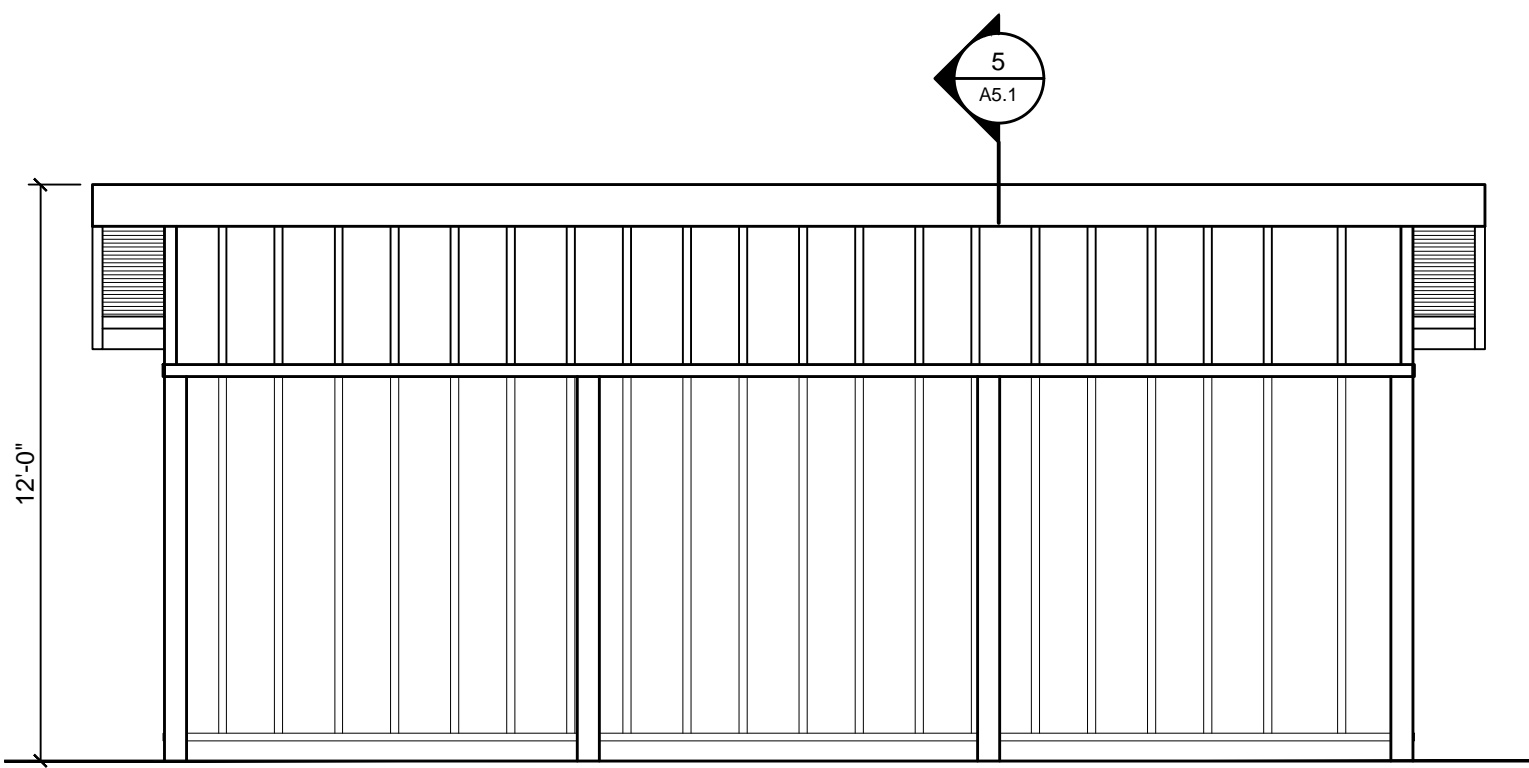
SHEET NOTES

1. ROOF - CLASS 'A' ASPHALT SHINGLE ROOFING.
2. ROOF AT PORCHES - STANDING SEAM METAL IN CHARCOAL.
3. WALLS - HARDIEPANEL VERTICAL SIDING SELECT CEDARMILL WITH BATTIS AT 16" OC OVER WATER RESISTANT BARRIER OVER STRUCTURAL SHEATHING.
4. WINDOWS - MILGARD DARK ANODIZED DOUBLE PANE WINDOWS.
5. GUTTERS - ALUMINUM GUTTERS WITH 3" ROUND DOWNSPOUTS.

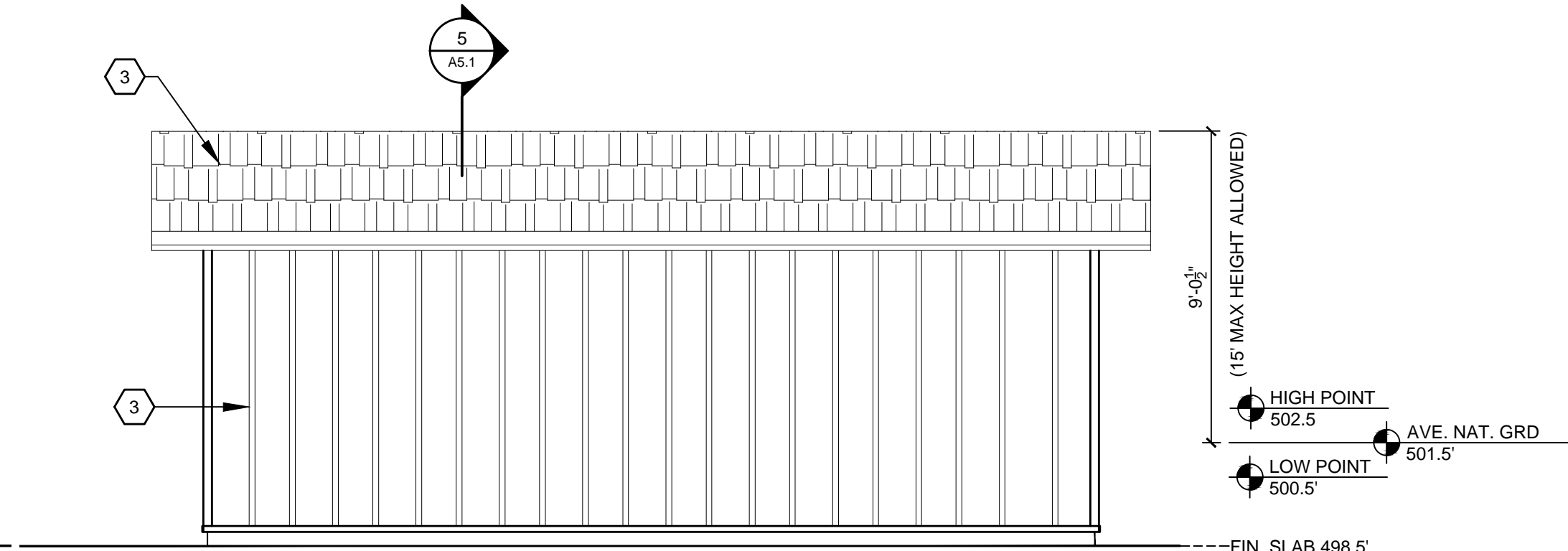
CABANA ELEVATIONS



5 CABANA WEST
1/4" = 1'-0"



7 CABANA NORTH
1/4" = 1'-0"



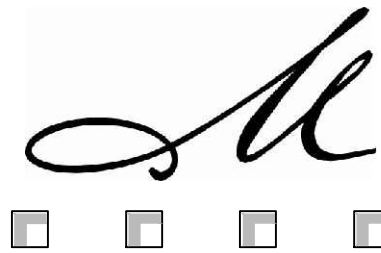
8 CABANA SOUTH
1/4" = 1'-0"

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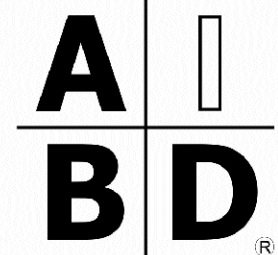
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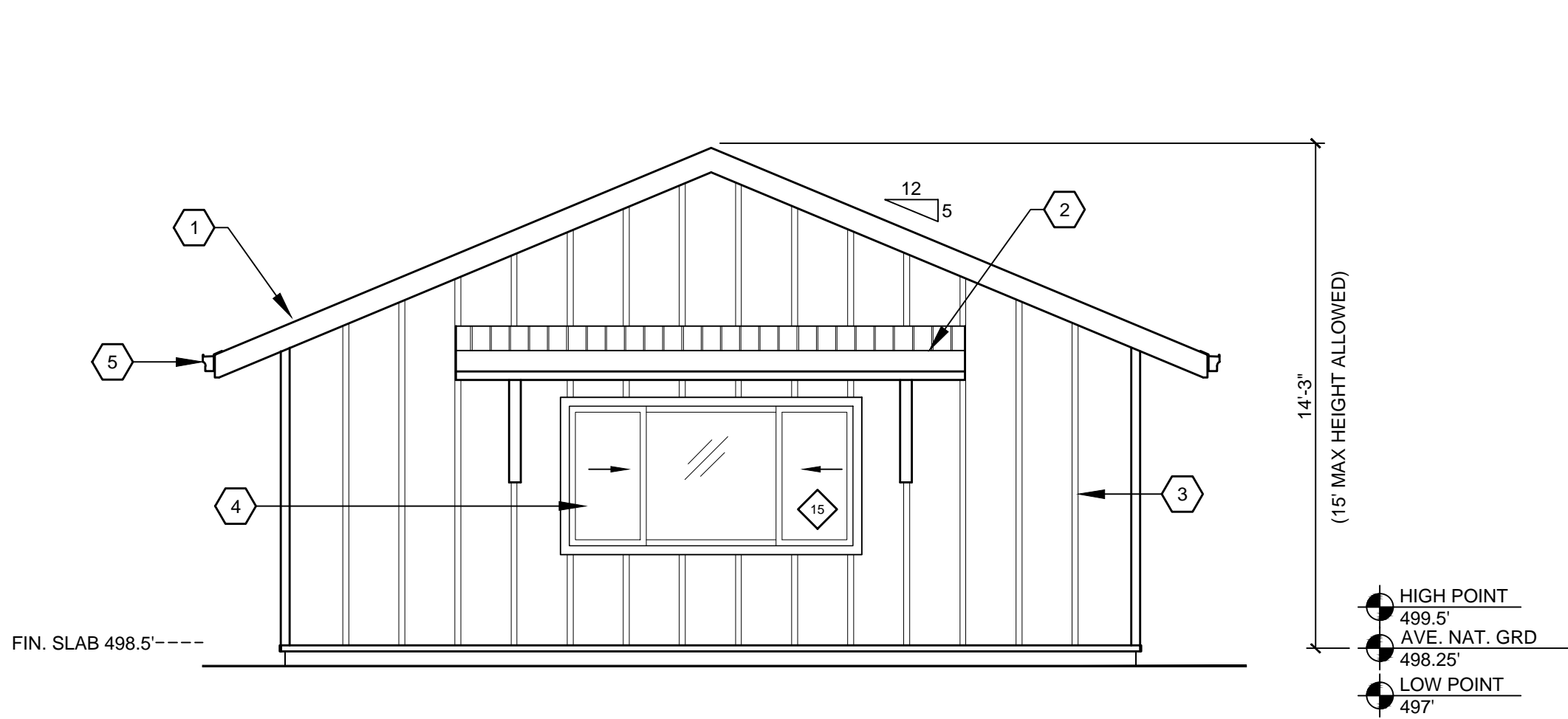
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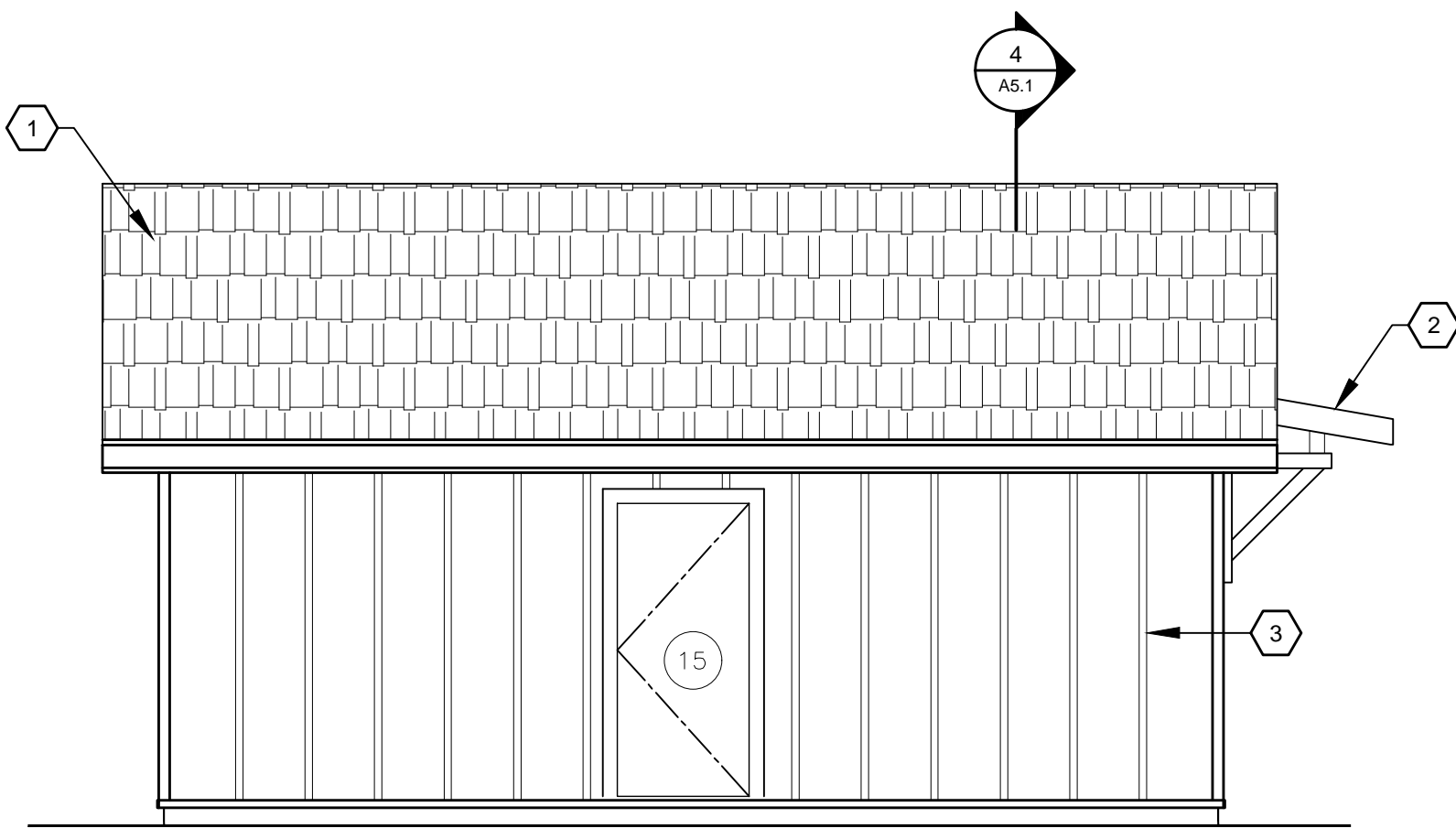
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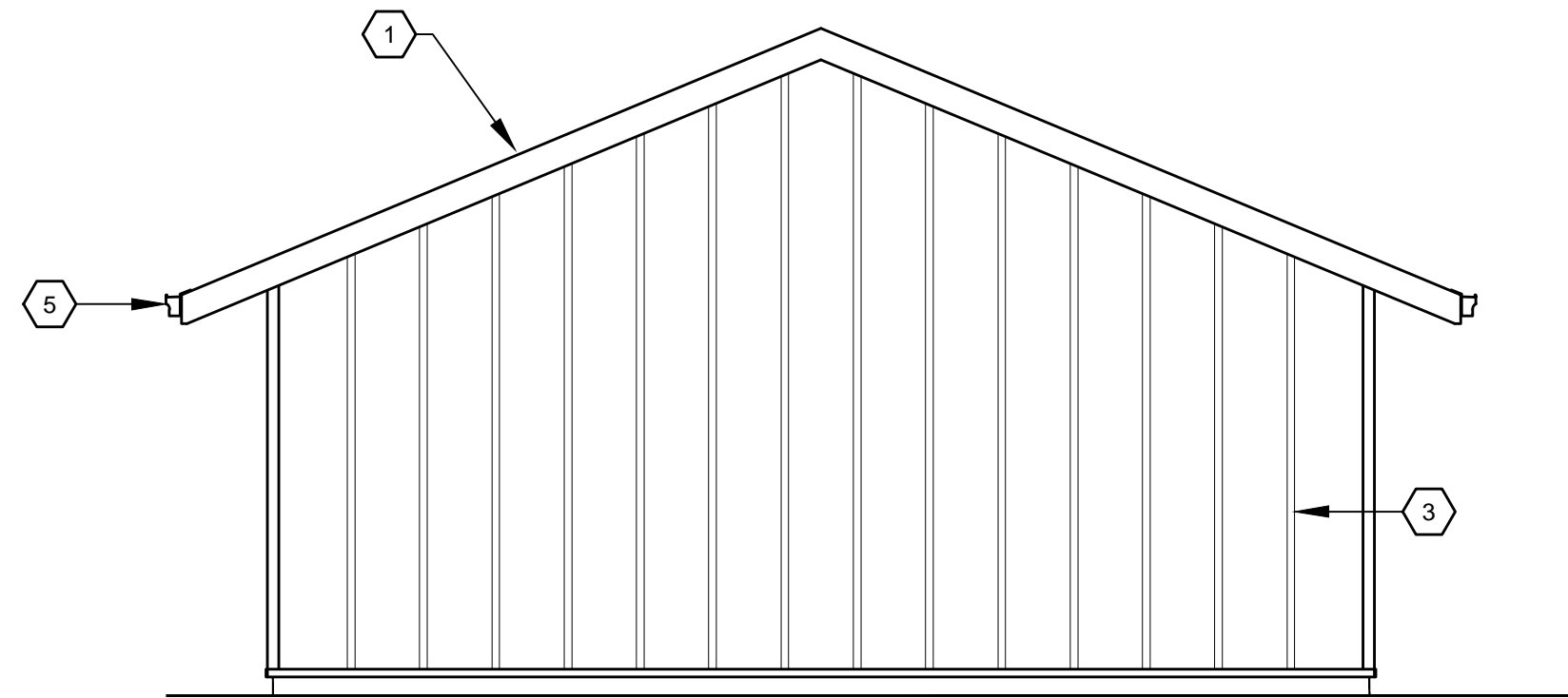
GARAGE ELEVATIONS



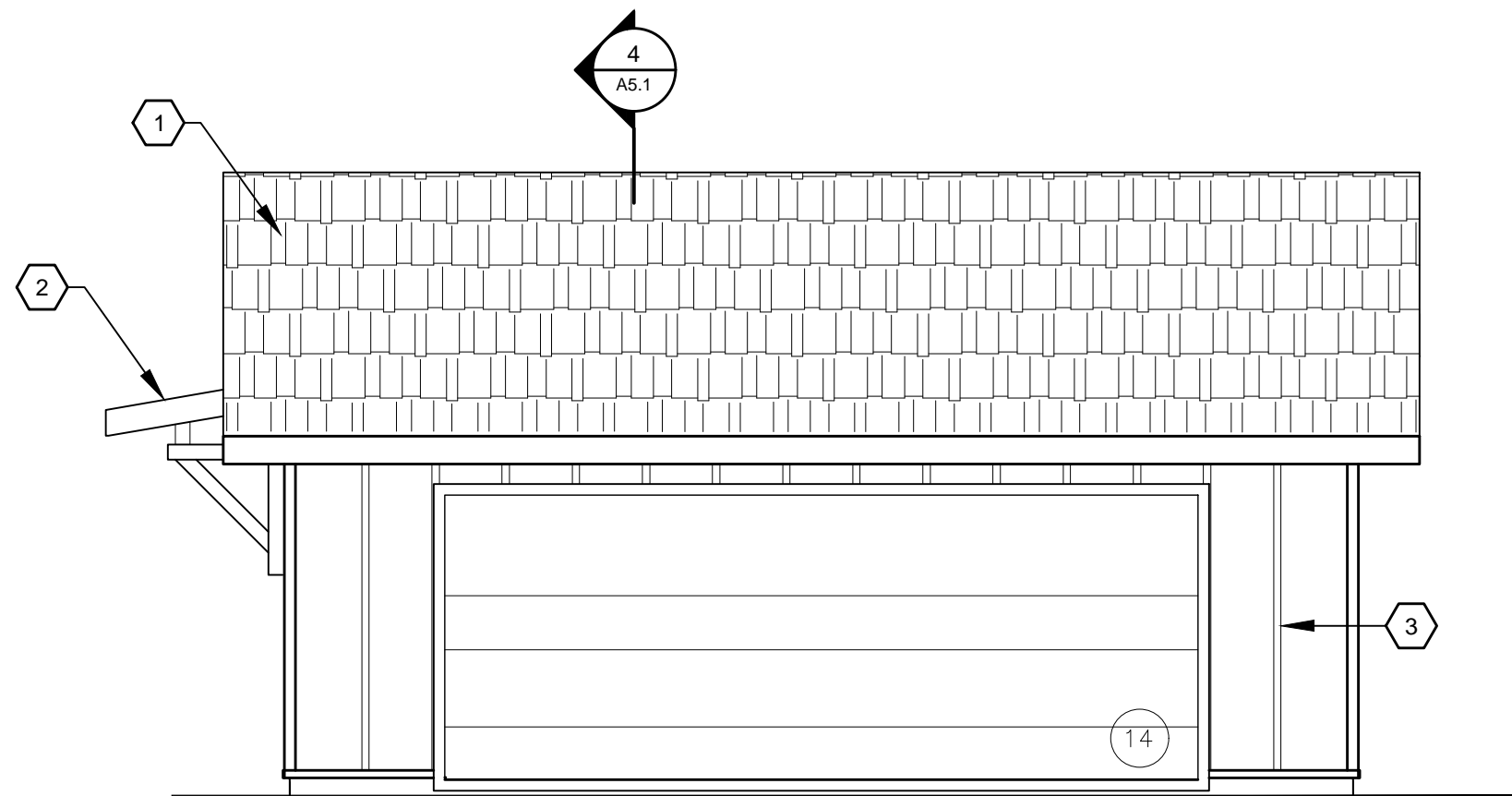
1 GARAGE NORTH
1/4" = 1'-0"



2 GARAGE EAST
1/4" = 1'-0"



3 GARAGE SOUTH
1/4" = 1'-0"



4 GARAGE WEST
1/4" = 1'-0"

SHEET NOTES

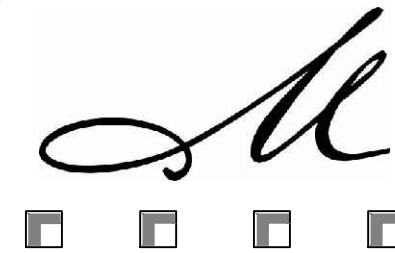
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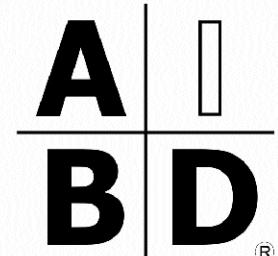
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831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN BLDG SUBMIT	5/4/2016

PRINT DATE: 5/5/2016

MEMBER



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BUILDING DESIGN

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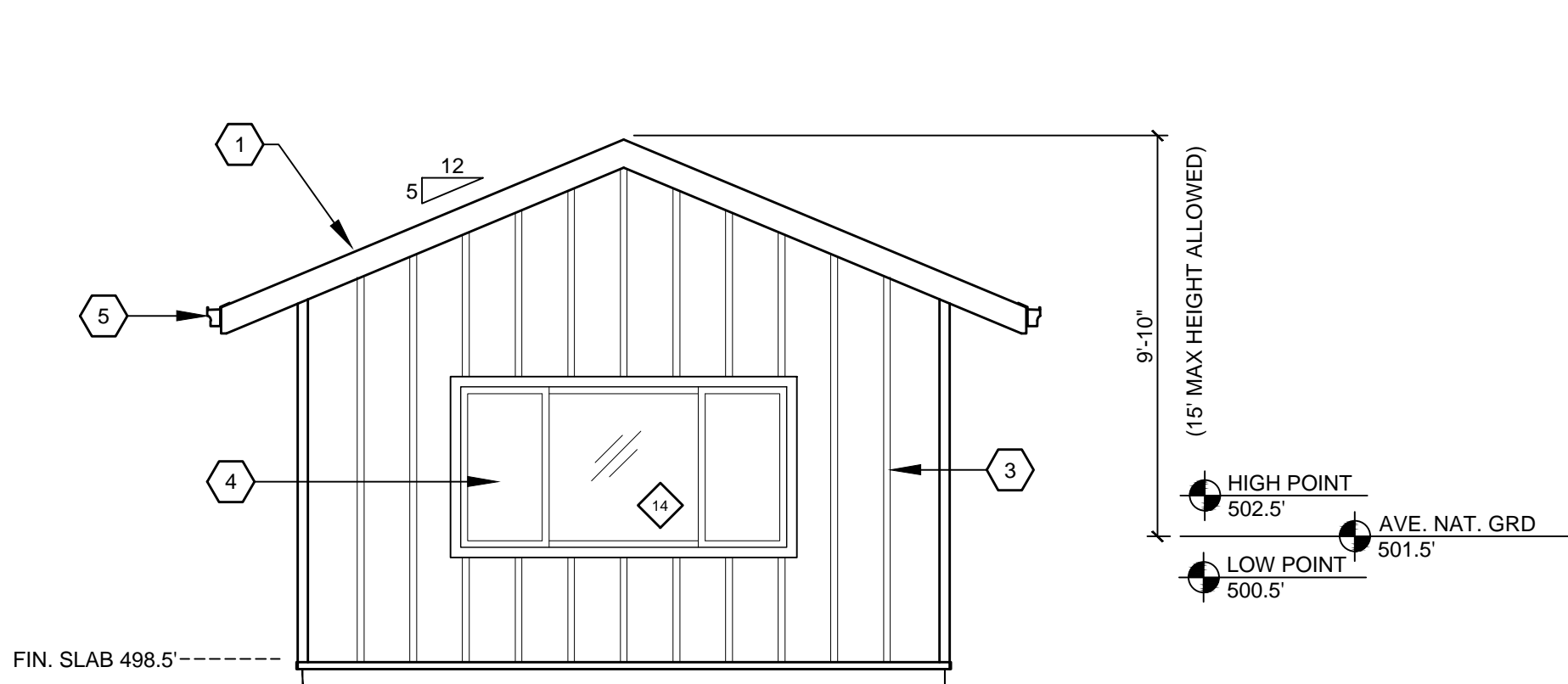
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ELEVATIONS

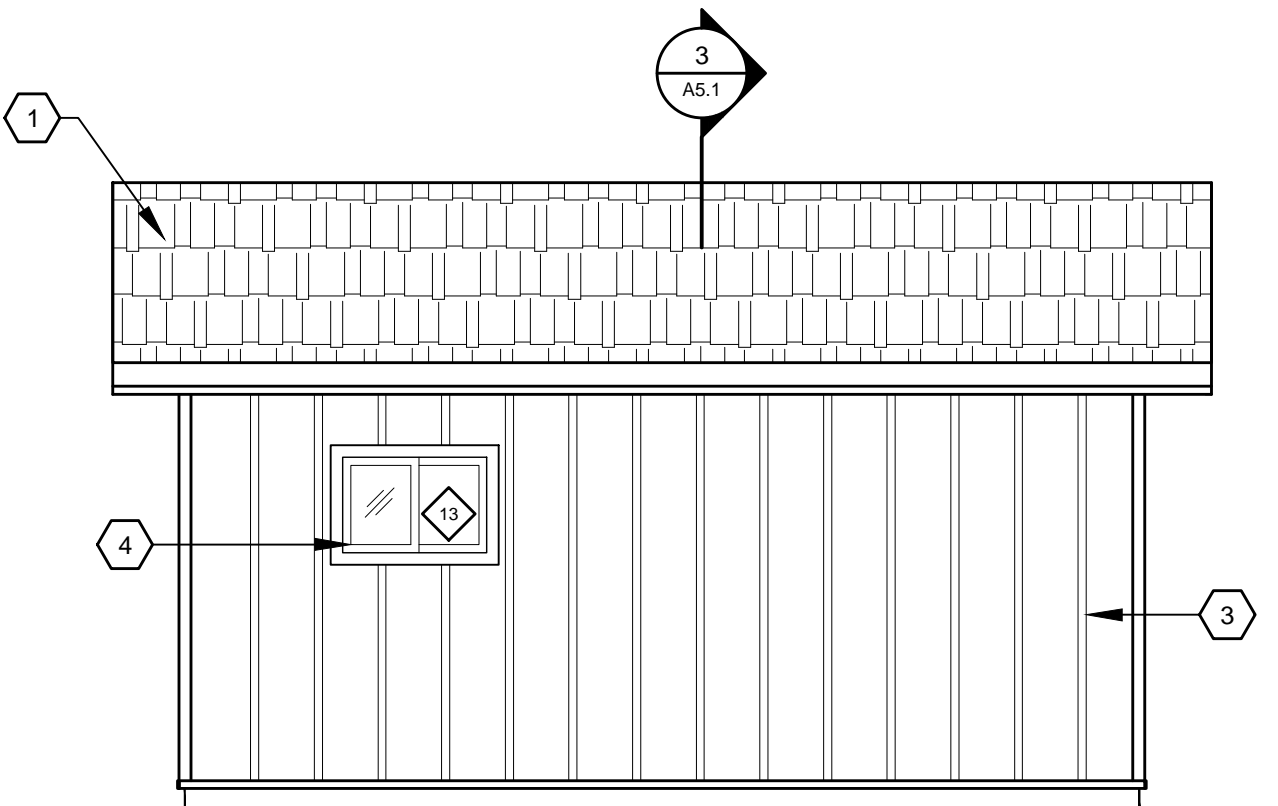
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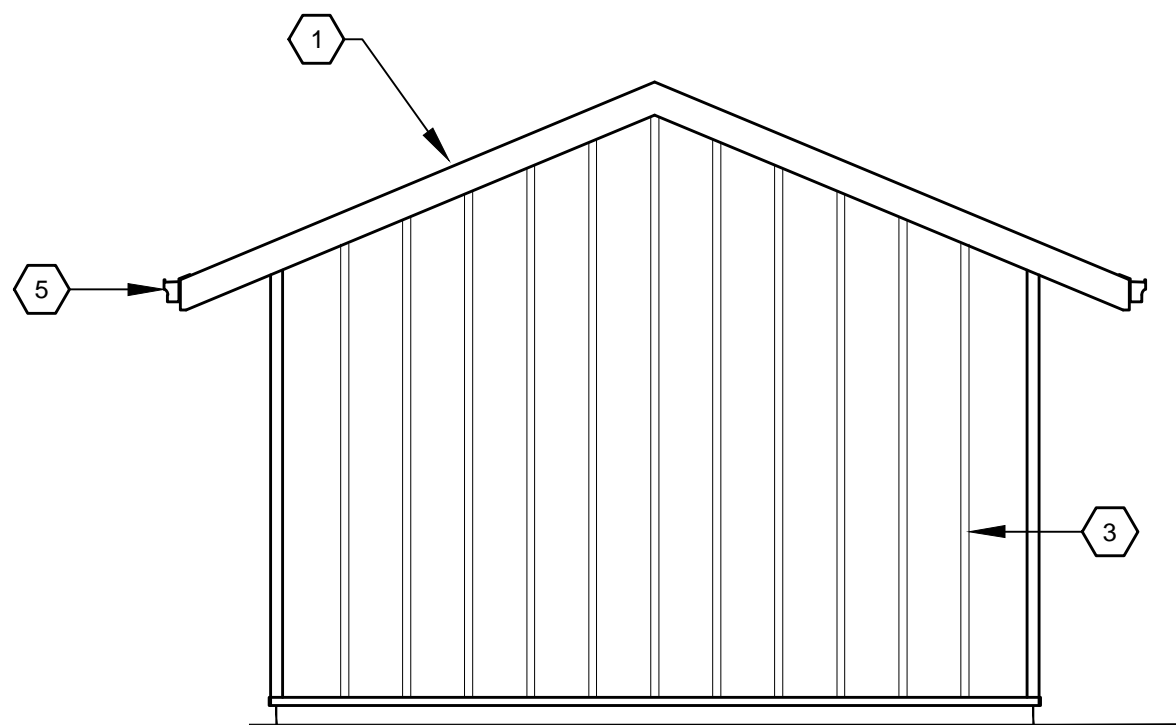
GUESTHOUSE ELEVATIONS



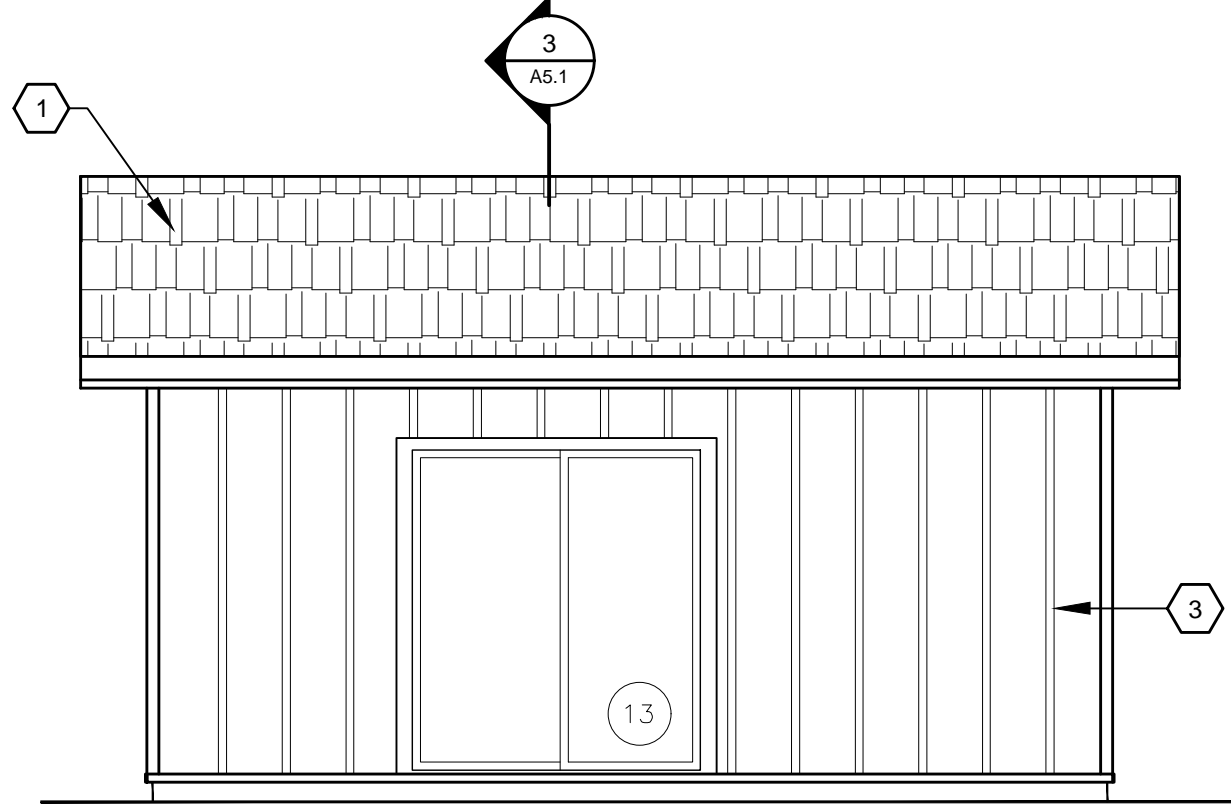
5 GUESTHOUSE NORTH
1/4" = 1'-0"



6 GUESTHOUSE EAST
1/4" = 1'-0"



7 GUESTHOUSE SOUTH
1/4" = 1'-0"



8 GUESTHOUSE WEST
1/4" = 1'-0"