Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

KRECHUNIAK & NOORZOY (PLN160270)

RESOLUTION NO. 17-013

Resolution by the Monterey County Zoning Administrator:

- 1) Finding the project Categorically exempt per section 15303 (a) of the CEQA Guidelines;
- 2) Approve a Use Permit to allow the removal of four (4) Monterey pine and three (3) oak trees; and
- 3) Approve a Design Approval to allow the construction of a 2,781 square foot two-story single family dwelling with an attached 500 square foot two-car garage and grading (Approx. 300 cu. yds.), and is subject to 12 conditions of approval.

2889 17 Mile Dr. Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-201-009-000)

The Krechuniak & Noorzoy application (PLN160270) came on for public hearing before the Monterey County Zoning Administrator on February 23, 2017. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:**

CONSISTENCY / SITE SUITABILITY / NO VIOLATIONS / HEALTH AND SAFETY – The proposed project and is consistent with the 2010 Monterey County General Plan, the Greater Monterey Peninsula Area Plan, and the requirements of the applicable zoning ordinance (Title 21), to include Monterey County Code (MCC) Chapter 21.44 (Design Control Zoning District), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the use proposed, and no violations exist on the property.

EVIDENCE: a)

- The proposed project consists of a Design Approval to allow the construction of a 2,781 square foot single family dwelling with an attached 500 square foot garage and associated grading. The project also includes a Use Permit to allow the removal of four (4) Monterey pine and three (3) oak trees. The proposed project is consistent with the allowable uses for the specified residential zone. The project site is an interior lot with existing single family residential homes to either side.
- b) The property is located at 2889 17 Mile Drive, Pebble Beach

(Assessor's Parcel Number 007201-009-000), Greater Monterey Peninsula Area Plan, in the inland area of the Del Monte Forest. The parcel is zoned Medium Density Residential, 4 units per acre, with Building site 6, Design Control, and Parking and Major Recreational Equipment storage in Seaward Zone, Zoning District Overlays (MDR/4-B-6-D-RES), which allows the construction of a single family dwelling with issuance of a Design Approval and tree removal with the granting of a Use Permit. Therefore, the project is an allowed land use for this site.

- c) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any active violations existing on the subject property.
- d) As proposed, the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- e) The following reports have been prepared and submitted for the proposed project:
 - Geotechnical Investigation (LIB160187) prepared by Soil Surveys Group, Inc., Salinas, California, May 16, 2016;
 - Preliminary Cultural Resources Reconnaissance (LIB160123) Prepared by Susan Morley, M. A., Register of Professional Archeologists, Marina, California, April 1, 2016;
 - Tree Resource Assessment (LIB160124) prepared by Frank Ono, Urban Forester, Member Society of American Foresters #48004, Pacific Grove, California, March 30, 2016.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the development and use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- f) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC, at a duly-noticed public meeting on June 16, 2016, voted to support the project as proposed by a 7-0 vote.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160270.

2. **FINDING:**

- **DESIGN** The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.
- a) Pursuant to Chapter 21.44 of the Monterey County Code (Title 21 Zoning Ordinance), the proposed project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and

neighborhood character..

- b) The design of the residence is consistent with the existing neighborhood character because it is a balanced due to the proportional nature of the structural elements (walls & window placement, two (2) story design at 27 feet maximum height limit, that is proposed to have a stucco exterior finish with proposed earth tone colors.
- c) The proposed development is only partially visible from 17 Mile Drive; therefore, the proposed single family structure would not have an impact on the public viewshed and would not create substantially adverse visual impacts when viewed from 17 Mile Drive. The proposed landscape plan will provide partial post-construction screening from pedestrian/travelers and neighbors is consistent with the neighborhood character, and assures visual integrity.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA Planning for the proposed development found in Project File PLN160270.
- 3. **FINDING**:

CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 (a) categorically exempts the construction of one single-family residence or a second dwelling unit in a residential zone.
- b) This project meets the standards of the exemption because the project involves for the construction of one (1) single family residence on a vacant lot.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160270.
- 4. **FINDING:**

APPEALABILITY - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE:

Section 21.44.070 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1) Find the project Categorically exempt per section 15303 (a) of the CEQA Guidelines; and

2) Approve a Design Approval to allow the construction of a 2,781 square foot single family dwelling with an attached 500 square foot garage and associated grading and a Use Permit to allow the removal of four (4) Monterey pine and three (3) oak trees, in general conformance with the attached plans, colors, and materials and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 23rd day of February, 2017

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON FEB 2 7 20

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE $MAR\ 0\ 9\ 2017$.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160270

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation
Monitoring Measure:

This Design Approval and Use Permit (PLN160270) allows the construction of a 2,781 square foot single family dwelling with an attached 500 square foot garage and associated grading (approximately 1,084 cubic yards of cut and 74 cubic yards of fill) and the removal of four Monterey Pine trees and three Oak trees. The property is located 2889 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 007-201-009-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

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2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:

"A Use Permit to allow the removal of four Monterey pine and three oak trees; and Design Approval to allow the construction of a 2,781 sq. ft. two-story single family dwelling with an attached 500 sq. ft. two -car garage and grading (Approximately 1,084 cubic yards of cut/74 cubic yards of fill). Resolution Number 17-013) was approved by the Zoning Administrator for Assessor's Parcel Number 007-201-009-000 on February 23, 2017. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure:

during the course of construction. cultural, archaeological. historical paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register Professional Archaeologists) shall be immediately contacted bγ the responsible When contacted, the project planner and the archaeologist individual present on-site. shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

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4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation
Monitoring Measure:

The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed:

Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure:

Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to RMA - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to RMA-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure:

Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (RMA-Planning)

Compliance or Monitoring Action to be Performed:

Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

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7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department:

RMA-Planning

Condition/Mitigation **Monitoring Measure:**

All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets The lighting shall comply with the requirements of the California for each fixture. Energy Code set forth in California Code of Regulations Title 24 Part 6. lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.

(RMA - Planning)

Compliance or Monitoring Action to be Performed:

Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure:

The applicant shall have a benchmark placed upon the property and identify the The benchmark shall remain visible on-site until benchmark on the building plans. final building inspection. The applicant shall provide evidence from a licensed engineer or surveyor to the Director of RMA - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA -Planning and RMA - Building Services)

Compliance or Monitoring **Action to be Performed:**

Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

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9. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department:

RMA-Planning

Condition/Mitigation Monitoring Measure:

The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

Compliance or Monitoring Action to be Performed:

Prior to issuance building permits, Owner/Applicant/Licensed of the Landscape Contractor/Licensed Landscape Architect shall submit landscape and contractor's estimate to RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by RMA-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to RMA-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

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10. WR001 - DRAINAGE PLAN

Responsible Department: Water Resources Agency

Condition/Mitigation The applicant shall provide a drainage plan, prepared by a registered civil engineer or **Monitoring Measure:** licensed architect, to mitigate on-site and off-site impacts from impervious surface

stormwater runoff. Drainage improvements shall be constructed in accordance with

plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed:

Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources

Agency for review and approval.

11. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

RMA-Public Works **Responsible Department:**

Condition/Mitigation Prior to issuance of building permits, applicant shall pay the Regional Development **Monitoring Measure:** Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall

be determined based on the parameters adopted in the current fee schedule.

Compliance or Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Monitoring Building Services Department the traffic mitigation fee. Owner/Applicant shall submit Action to be Performed: proof of payment to the DPW.

12. PW0045 - COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide **Monitoring Measure:** Traffic Fee or the ad hoc fee pursuant to General Plan policy C-1.8. The fee amount

shall be determined based on the parameters in the current fee schedule.

Compliance or Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Monitoring **Action to be Performed:**

Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the DPW.

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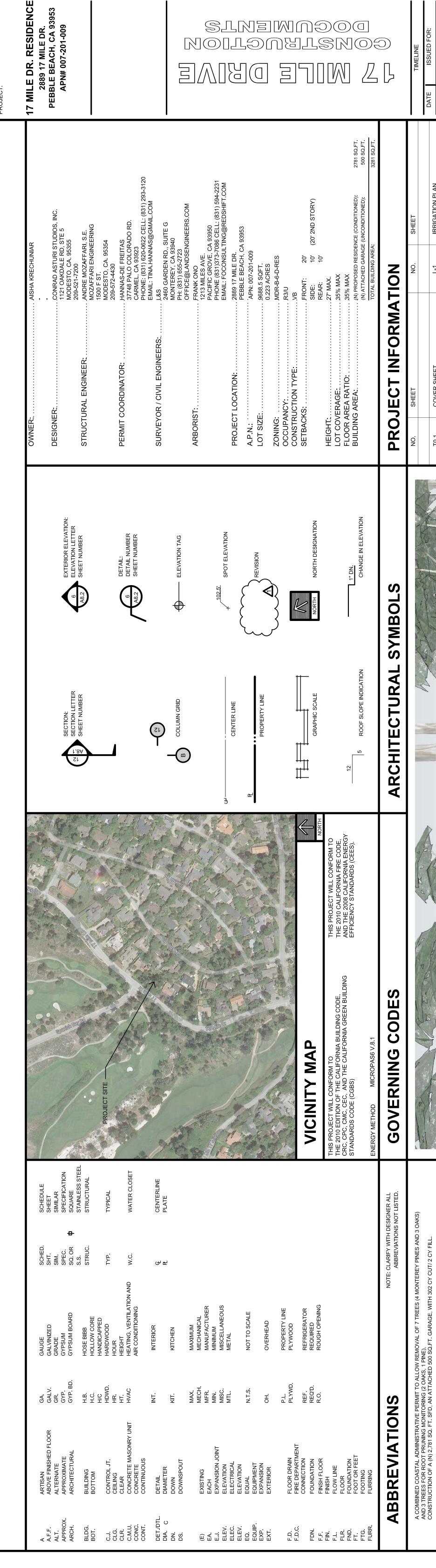
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DOCMENLS

CONSLUNCLION

CONSTRUCTION

COVER SHEET

EXTERIOR PERSPECTIVES

A5.0 A5.1 A5.2 A6.0

SECTIONS

DETAILS

EXTERIOR ELEVATIONS
EXTERIOR ELEVATIONS

GARAGE FLOOR ELECTRICAL PLAN

E2.0

FIRST FLOOR ELECTRICAL PLAN

SHEET INDEX

PERSPECTIVE

FLOOR AREA RATIO AND LOT COVERAGE

PROPOSED CONDITIONED AREA TOTAL.....2953 SQFT.

MAIN HOUSE ATTACHED GARAGE.......475 SQFT.

DECKS / PATIO'S / MISC. CONCRETE.......2008 SQFT.

TOTAL IMPERVIOUS COVERAGE......5436 SQFT.

TOTAL PERVIOUS COVERAGE.......9784 SQFT.

IMPERVIOUS COVERAGE

PROPOSED FOOT PRINT.

PATIO'S / GARAGE BELOW.

SIDE PATIO.

TOTAL LOT COVERAGE.

TOTAL LOT AREA:

LOT LOT COVERAGE.

PROPOSED LOT COVERAGE

BID / FINAL

1ST SUBMITTAI PLAN CHECK

IRRIGATION PLAN
LANDSCAPE PLANTING PLAN

DETAIL SHEET

COVER SHEET CAL. GREEN BLDG. STANDARDS CODE

* ADDED IMPERVIOUS COVERAGE CALC. TO PLANS , ADDED RAILING ON THE 2ND FLOOR TO MEET THE 2ND STORY SETBACK REQUIRMENTS, REVISED LANDSCAPE PLANS FOR VIEWSHED SENSITIVE AREAS.

SCOPE OF WORK

PROPOSED FLOOR AREA RATIO

GENERAL NOTES & SPECIFICATIONS

SITE PLAN/TOPO AND TREE REMOVAL

A1.0

GARAGE FLOOR PLAN FIRST FLOOR PLAN

SECOND FLOOR PLAN

CONSTRUCTION DETAILS EROSION CONTROL PLAN

SITE CROSS SECTIONS

2 2 2 2 3

TITLE SHEET SHEET

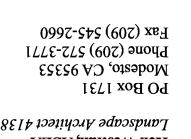


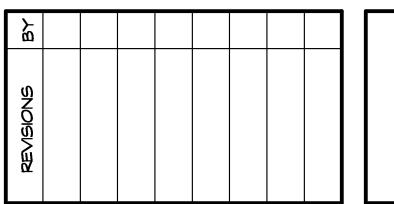
ANDSCAPE CONSTRUCTION NOTES DEBBLE BEACH, CA 93953 APN: 007-201-009

DESIGN SINDIO











2889 17 MILE DRIVE MILE DRIVE

IRRIGATION NOTES,

10.ALL PIPING INSTALLED UNDER PAVING, THROUGH WALLS OR FOOTINGS, SHALL BE PLACED INSIDE SCHEDULE 40 SLEEVES OF ADEQUATE SIZE TO ALLOW FOR FREE MOVEMENT OF THE PIPE IN THE SLEEVE. THE IRRIGATION CONTRACTOR SHALL COORDINAT HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND INSTALLATION OF IRRIGATION SLEEVES THROUGH WALLS, UNDER ROADWAYS, UNDER PAVING, STRUCTURES, ETC. CONTRACTOR SHALL INSURE THAT SLEEVES UNDER PAVING, STRUCTURES, ETC. CONTRACTOR SHALL INSURE THAT SLEEVES UNDER PAVEMENT ARE SEALED FROM DEBRIS AND MARKED AT THE EDGES TO AD IN LOCATING THEM

12. CONTRACTOR SHALL FLUSH AND ADJUST SPRINKLER HEADS TO PROVIDE MAXIMUM COVERAGE OF PLANTED AREAS WITH MINIMUM OVERSPRAY. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. USE RAINBIRD PRESSURE COMPENSATING SCREENS, AS NECESSARY, TO PROVIDE FULL COVERAGE, IT IS THE INTENT OF THIS PLAN TO PROVIDE ADEQUATE IRRIGATION TO ALL PLANTING AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ANY ADJUSTMENTS TO THE IRRIGATION SYSTEM NECESSARY TO INSURE 100% COVERAGE OF ALL PLANTING AREAS. ALL HEADS SHALL BE ON SWING JOINT ASSEMBLIES.

13. WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRANKLER SYSTEM BY INSTALLING HEADS AT THE SIDES OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

IT. INE INMICATION CONTRACTOR SHALL PROVIDE A WATER COVERAGE CHECK OF ALL IRRIGATION HEADS PRIOR TO PLANTING.

15. ALL TURF SPRAY HEADS SHALL BE INSTALLED ON 4" POP-UP BODIES. ALL SHRUB HEADS SHALL BE INSTALLED ON 12" POP-UP BODIES. SERVICEABLE CHECK VALVES ARE REQUIRED WHERE ELEVATION DIFFERENTAL MAY CAUSE LOW HEAD DRAINAGE.

6 402.10. IRRIGATION SCHEULING:

A FOR THE REPCENT USE OF WATER, ALL REGATION SCHEDULES SHALL BE DEVELOPED.

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2. OVERHEAD IRRIGATION SHALL BE SCHEDULED BETWEEN 8.00 P.M. AND GARTEN UNITES RECONTROLLERG.

3. OVERHEAD IRRIGATION SHALL BE SCHEDULED BETWEEN 8.00 P.M. AND GARTEN UNITES RECONTROLLERG.

3. FOR IMPLEMENTATION OF THE IRRIGATION SCHEDULE, PARTICULAR ATTENTION MUST BE PAD TO IRRIGATION OF THE IRRIGATION SCHEDULE, PARTICULAR ATTENTION MUST BE PAD TO IRRIGATION OF THE IRRIGATION SCHEDULE, PARTICULAR ATTENTION MUST BE PAD TO IRRIGATION SCHEDULE, PARTICULAR ATTENTION MUST BE PAD TO IRRIGATION OF THE IRRIGATION SCHEDULE, PARTICULAR ATTENTION MUST BE PAD TO IRRIGATION OF THE IRRIGATION SCHEDULE, PARTICULAR ATTENTION MUST BETWEEN THE SCHEDULE SHALL BE EXALUATED SCHEDULE, SCHALL BE SCHEDULED WATER SHALL BE LESS THAN OR EQUAL TO INAMICH APPLIED WATER SCHALL BE DEVELOPED AND SCHEDULE SHALL BE DEVELOPED AND SCHEDULER SHALL BE DEVELOWNG.

3. THAN CARRELLY OF SCHEDULE SHALL CONTROLLER SHALL BE DEVELOPED AND SCHEDULER SHALL BE DEVELOWNG.

4. PARAMETERS USED TO SET THE AUTOMANIC (RAGATION BY AND TO AND SCHEDULER SHALL BE SCHEDULED TO SET THE AUTOMANIC TRACKEN OF THE FOLLOWNG.

5. EACH IRRIGATION SCHEDULE SHALL BE DEVELOWNG.

6. THE SCHARLE APPLY.

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6. THE SCHARLE APPLY.

A PROBATIC SCHEDULES SCHEDULED TO DE APPLIED ON A MINITE SHALLS.

6. ACH IRRIGATION OF A

S. INDICATED PIPE LOCATIONS ARE SCHEMATIC. DO NOT PLACE PIPES UNDER PAWING EXCEPT WHERE ABSOLUTELY NECESSARY. IRRIGATION CONTRACTOR SHALL COORDINATE PIPE INSTALL ATION WITH OTHER TRADES. INSTALL CONCRETE THAUST BLOCKS AS REQUIRED FOR ALL PIPE SIZES GREATED THAN 2: SCHEDULE 40 PIPE IS REQUIRED FOR ALL PIPE SIZES GREATED FOR ALL PIPE SIZES GREATED FOR ALL PIPE SIZES SHALLES THAN 2: SCHEDULE 40 PIPE IS REQUIRED FOR ALL PIPE SIZES SHALLES THAN 2: SCHEDULE 40 PIPE IS REQUIRED FOR ALL PIPE SIZES SHALLE BE DETERNAND BY THE OWNER PRORY TO NOSTALLATON. CONTROLLERS SHALL BE DETERNAND BY THE OWNER PRORY TO NOSTALLATON. ELECTRICAL CONTROLLERS SHALL BE DETERNAND BY THE OWNER PRORY TO NOSTALLATON. ELECTRICAL CONTROLLERS.

7. SPUCNO OF EXCESS WIRE AT EACH SPLICE AND NO FEET ON CENTER ALONG WIRE RIGIGATION CONTROLLER. TO CONTROLLER.

7. SPUCNO OF EXCESS WIRE AT EACH SPLICE AND NO FEET ON CENTER ALONG WIRE RIGIGATION. USE ONLY PACKAGE APPROVED FOR ENERTY BE OUT. APPROVED FOR DIRECT BURIAL. COPPER AWG-UF GOO VOLT #44 (MIN). USE ONLY PACKAGE APPROVED WIRE GHALL BE ULL APPROVED FOR DIRECT BURIAL. COPPER AWG-UF GOO VOLT #44 (MIN). USE ONLY PACKAGE APPROVED WIRE GHALL BE LABELED AT THE CLOCK WITH STATION DINDORY OF VALVES SYRRA WIRE SHALL BE LABELED AT THE CLOCK WITH STATION DINDERSON. ENDER DOSIDE. CONTROLLING MIRE SHALL BE LABELED AS SUCH. ALL WIRES SHALL BE LABELED AT THE CLOCK WITH STATION UNDERSON. OF A DIFFERENT OF THE USE OF MULTIPLE BRED. PROWING NO PLACESS) ALL WARDS SHALL BE LOCATED IN SHRUB PLANTING AREAS WHERE POSSIBLE. (PAXIMUM OF 2-O FROM THE EDDE OF PAVENTING NEAR WITH LIDS AND ALIGNED NEATLY IN ROWS WHERE APPLICABLE.

IRRIGATION PIPES SHALL BE BURIED AT THE FOLLOWING P PVC PRESSURE MANLINE 18" PVC LATERAL LINE 12"

4. ALL COMPACTED SOILS SHALL BE CULTIVATED OR AMENDED TO A FRIABLE CONDITION PRIOR TO PLANTING. CONTRACTOR SHALL INSTALL CLASS A TOP SOIL IN ALL PLANTERS A NECESSARY TO MAINTAIN A FINISH GRADE 2" BELOW TOP OF CURB/SIDEWALKS. SCARFY EXISTING SUBSOIL PRIOR TO INSTALLATION OF TOP SOIL AND ALLOW FOR SETTLING.

IRRIGATION NOTES

CONTRACTORS ALL CODES, ORDINANCES, STANDAKU LANDAKU LANDER ETE AND BE FAMILIAR WITH ALL LOCAL CODES, ORDINANCES, STANDAKU LANDET ETE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS PROR TO SUBMITTING A BID. THE IRRIGATION CONTRACTOR SHALL REVIEW RELATED DRAWINGS AND SHALL ENSURE COORDINATION WITH ALL APPLICABLE TRADES PRIOR TO SUBMITTING A BID. ALL WORK SHALL BE COORDINATED WITHE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND INSTALLATION OF SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING STRUCTURES, ETC.

\$ 4925. SOIL MANAGEMENT REPORT:

(a) IN ORDER TO REDUCE RUNGE AND ENCOURAGE HEALTHY PLANT GROWTH, A SOIL MANAGEMENT REPORT SHALL BE COMPLETED BY THE PROJECT APPLICANT, OR HIGHER DESIGNEE, AS FOLLOWS.

1. SUBMIT SOIL SAMPLES TO A LABORATORY FOR ANALYSIS AND RECOMPRIVATIONS.

3. SOIL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.

1. SOIL TRANDE.

1. SOIL TRANDE.

2. THE SOIL ANALYSIS SHALL INCLUDE:
1. SOIL TRANDE.
2. SOIL SAMPLING SHALL SALTS:
3. PH.
4. TOTAL SOLUBLE SALTS:
5. SOILON.
5. SOILON.
6. PRECOMMENDATIONS.
C. IN PROJECTS WITH MULTIPLE LANDSCAPE INSTALLATIONS (I.E. PRODUCTION HOME PROTOCOL) SAMPLES AND THE REQUIREMENT. LARGE LANDSCAPE ROJECTS SHALL SAMPLE.
AT A RATE EQUINALENT TO IN 7 LOTS.

2. THE PROJECT SAPPLCANT, OR HIGHER DESIGNEE, SHALL COMPLY WITH ONE OF THE FOLLOWING.
AT A RATE EQUINALENT TO 1N 7 LOTS.

3. THE ROJECT AMPLICANT PAGE GRADING IS NOT PLANNED. THE SOIL ANALYSIS REPORT SHALL BE SOIL THE LOCAL AGENCY AS PART OF THE LANDSCAPE DECIGN TO THE LOCAL AGENCY AS PART OF THE LANDSCAPE DECIGN TO THE LOCAL AGENCY AS PART OF THE LANDSCAPE DECIGN TO THE LOCAL AGENCY AS PART OF THE SCOIL ANALYSIS REPORT SHALL BE TRADECANT PROSECUPLE IN A THEIR TY MAN HER DESIGN PLANE. TO THE PROJECT APPLICANT, OR HIGHER DESIGN PLANE OF THE PROJECT ADDITION OF SOIL ANALYSIS REPORT PLANE. THE PROJECT ADDITIONS TO THE LOCAL AGENCY AS DART OF THE CERTIFICANT.

3. THE ROJECT ANALYSIS REPORT PLANE DESIGN PLANE SHALL BE PROSECT PROTOCHMENTATION OF SOIL ANALYSIS REPORT RECOMPENDATIONS TO THE LOCAL AGENCY WITH DESIGN PLANE DESIGN PLANE SHOWED THE DESIGN PLANE. SHALL BE PROJECT APPLICANT. OR HIGH PRESIGNEE, SHALL SUBMIT DOOLDING TO THE LOCAL AGENCY WITH DESIGN PLANES OF DESIGN

3. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY POTENTIAL PROBLEMS WHICH MAY RESULT DUE TO HARMFUL SUBSTANCES FOUND IN THE SOIL. FAILURE TO ACT AS SPECIFIED MAY RESULT IN THE CONTRACTOR ASSUMING FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO PLANT MATERIAL.

4. THE IRRIGATION SYSTEM WAS DESIGNED AGSUMING A STARTING STATIC WATER PRESSURE OF 20 PSI AT THE POINT OF CONNECTION AND A DESIGN/LAYOUT PRESSURE OF 20-PSI, PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM, THE CONTRACTOR SHALL VERIFY THE PRESSURE AT THE POINT OF CONNECTION AND REPORT ANY DISCREPANCY TO THE OWNERS AUTHORIZED REPRESENTATIVE.

5. AFTER INSTALLATION OF THE IRRIGATION SYSTEM, ALL PLANTING AREAS SHALL BE RAKED SMOOTHLY AND ALL ROCKS AND PEBBLES OVER 1" IN DIAMETER SHALL BE REMOVED FROM THE SITE.

6. REQUESTS FOR PLANT SUBSTITUTIONS SHALL BE MADE IN WRITING TO THE LANDSCAPE ARCHTECT PRIOR TO ORDERING AND DELIVERY. ALL PLANT MATERIAL SHALL BE OF TOP QUALITY, UNDAMAGED, REPRESENTATIVE OF THE SPECIES, PROPERLY PRUNED IF NECESSARY, FREE FROM DISEASE OR PESTS, AND NOT ROOT BOUND. WATER UPON DELIVERY AND DAILY THEIR AFTER UNTIL PLANTED.

3. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES WHICH MAY EXIST IN THE PLANS AND SPECIFICATIONS. IF THE PLANS AND OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.

2. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH ALL STATE, AND CITY STANDARD SPECIFICATIONS, AND ALL AMENDMENTS TO DATE, ALL WORNWHICH REQUIRES INSPECTION SHALL BE UNDER THE INSPECTION OF THE CITY.

1. THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING HIS BID. THE LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE ROUGH GRADED TO PLUS OR MINUS 0.1(ONE TENT OF A FOOT) FINISH GRADE SHALL BE 2" BELOW CURBS AND WALKS INCLUDING ROUGH MOUNDING AND CONTOURS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SURFACE DRAINAGE FOR ALL PLANTING AREAS. NO LOW SPOTS OR STANDING WATER WILL BE ACCEPTED. THE SITE SHALL BE FREE FROM ALL DEBRIS.

GENERAL NOTES

4. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, LANDSCAPE ARCHITECT, AND CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR LANDSCAPE ARCHITECT.

5. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.

6. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED ENCROACHMENT PERMITS FROM THI CITY DEPARTMENT OF PUBLIC WORKS OR ANY OTHER APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF WORK WITHIN THE EXISTING CITY RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY PERMITS AND LICENSES REQUIRED FOR THE COMPLETION OF THE PROJECT.

7. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY MEMBERS OF THE UNDERGROUND SERVICE ALERT (USA) 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING (800) 227 2600. CONTRACTOR SHALL RECORD THE USA ORDER NUMBER. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES UTILITIES, AND SERVICES TO THE DEVELOPMENT.

. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING APPROVEMENTS FROM DAMAGE COST OF REPLACING EXISTING IMPROVEMENTS SHALL BE ACLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND REPLACEMENT OF XISTING IMPROVEMENTS.

9. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP HIS OWN DEBRIS AND LEAVING THE SITE IN A SAFE CONDITION. UPON COMPLETION OF THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR A FINAL CLEAN-UP OF HIS WORK TO A MINIMUM BROOM CLEAN CONDITION.

10. LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLETION PER THE STATE WATER EFFICIENCY REQUIREMENTS AS DESCRIBED BELOW IN SECTION 492.9:

PLANTING NOTES

1. SOL REPARATION, MUCH AND AYENDYENTS:

(A) PROG TO THE DYANING OF ANY MATERALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRAME CONDITION, ON BNGINEERED SLOPES, ONLY AYENDED PLANTING HOLES NEED MEET THIS REQUIREMENT.

(B) SOIL AYENDYENTS SHALL BE INCORDORATED ACCORDING TO RECOMMENDATIONS OF THE ELECTED (SEE SECTION 492.5).

(C) FOR LANDSCARE INSTALLATIONS, COMPOST AT A RATE OF A MINMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORDORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6 PERCENT ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL. ARE EXAMPLED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6 PERCENT ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL. ARE EXAMPLED TO A DEPTH OF SIX INCHES OF SOIL. ARE EXAMPLED TO A DEPTH OF SIX INCHES OF SOIL. ARE EXAMPLED TO A DEPTH OF SIX INCHES OF SOIL. ARE EXAMPLED TO A DEPTH OF SIX INCHES OF SOIL. ARE EXAMPLED TO A DEPTH OF SIX INCHES OF SOIL. ARE EXAMPLED TO A DEPTH OF SIX INCHES OF SOIL. ARE ROOTING AROUND COMPES. OR DIRECTOR IN THE LANDSCAPE AREA. INCHEST AND OTHER WILDLIFE. UP TO 5 PERCENT OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MILLCH IS CONTRADIATED. TO PROVIDE HABITAT FOR BENEFICIAL, INSECTS AND OTHER WILDLIFE. UP TO 5 PERCENT OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MILLCH IS SOALLY AND ASSUCH. (S) STABILLING MULCHING PRODUCTS SHALL BE USED ON SLOPES THAT MEET CAURRENT THE MULCHING PRODUCTS SHALL BE USED ON SICOPEST PRODUCTS WILESS THE RECYCLED POST-CONGUMER ORGANIC PRODUCTS ARE NOT LOCALLY AVAILABLE.

(B) STABILLING MULCHING REQUIRED WHERE PRODUCTS ARE NOT LOCALLY AVAILABLE. ORGANIC MULCH AND ARE PRODUCTS ARE NOT LOCALLY AVAILABLE.

(C) ORGANIC MULCHES ARE NOT REQUIRED WHERE PRODUCTS ARE NOT LOCALLY AVAILABLE.

(C) ORGANIC MULCHES ARE NOT REQUIRED WHERE PRODUCTS ARE NOT LOCALLY AVAILABLE.

(C) ORGANIC MULCHES ARE NOT REQUIRED WHERE PRODUCTS ARE NOT LOCALLY AVAILABLE.

2. LANDSCAPE CONTRACTOR SHALL PROVIDE THE FOLLOWING PER THE STATE WATER EFFICIENCY REQUIREMENTS AS DESCRIBED BELOW IN SECTION 492.5:

\$492.9. CERTIFICATE OF COMPLETION:

(a) THE CERTIFICATE OF COMPLETION (SEE APPRION C FOR A SAMPLE CERTIFICATE) SHALL INCLIDE THE FOLLOWING SIN (a) ELEMENTS.

(b) THE CERTIFICATION SHEET THAT CONTAINS:

A DATE:
A DATE:
C PROJECT NAME:
C PR

4.101.1 PURPOSE. THE PROVISIONS OF THIS DIVISION OUTLINE PLANNING, DESIGN AND DEVELOPMENT METHODS THAT INCLUDE ENVIRONMENTALLY RESPONSIBLE SITE SELECTION, BUILDING DESIGN, BUILDING SITING AND DEVELOPMENT TO PROTECT, RESTORE AND ENHANCE THE ENVIRONMENTAL QUALITY OF THE SITE AND RESPECT THE INTGRITY OF ADJACENT PROPERTIES.

FRENCH DRAIN.
FRENCH DRAIN. A TRENCH, HOLE OR OTHER DEPRESSED AREA LOOSELY FILLED WITH ROCK, GRAVEL, FRAGMENTS OF BRICK OR SIMILAR PERVIOUS MATERIAL USED TO COLLECT OR CHANNEL DRAINAGE OR RUNOFF WATER.
WATTLES. WATTLES ARE USED TO REDUCE SEDIMENT IN RUNOFF. WATTLES ARE OFTEN CONSTRUCTED OF NATURAL PLANT MATERIALS SUCH AS HAY, STRAW OR SIMILAR MATERIAL SHAPED IN THE FORM OF TUBES AND PLACED ON A DOWNFLOW SLOPE. WATTLES ARE ALSO USED FOR PERIMETER AND INLET CONTROLS. **102.1 DEFINITIONS.** THE FOLLOWING WORDS AND TERMS SHALL, FOR THE PURPOSES OF HIS CHAPTER AND AS USED ELSEWHERE IN THIS CODE, HAVE THE MEANINGS SHOWN

4.106 SITE DEVELOPMENT

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. PROJECTS
WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON
PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE
STORM WATER DRAINAGE DURING CONSTRUCTION. IN ORDER TO MANAGE STORM WATER
DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL
BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION
AND RETANI SOIL RUNOFF ON THE SITE.

1. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM
WATER ON THE SITE.

2. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION
POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE
OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING
AGENCY.

3. COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT
ORDINANCE. **4.106.1 GENERAL.** PRESERVATION AND ISE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH EVALUATION AND CAREFUL PLANNING TO MINIMIZE NEGATIVE EFFECTS ON THE SITE AND ADJACENT AREAS. PRESERVATION OF SLOPES, MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROLS SHALL COMPLY WITH THIS SECTION.

4.106.3 SURFACE DRAINAGE. THE SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER FROM ENTERING THE BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE SURFACE WATER FLOWS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

SWALES
 WATER COLLECTION AND DISPOSAL SYSTEMS
 WATER COLLECTION AND DISPOSAL SYSTEMS
 WATER RETENTION GARDENS
 OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS
AND AID IN GROUNDWATER RECHARGE
AND AID IN GROUNDWATER RECHARGE
EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH

4.106.4. ELECTRIC VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION. NEW CONSTRUCTION SHALL COMPLY WITH SECTIONS 4.106.4.1 AND 4.106.4.2 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

4.106.4.1 NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES. FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUMDEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER CURRENT PROTECTIVE DEVICE.

4.106.4.1.1 IDENTIFICATION. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

A4.106.8.1 NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES. TIER 1 AND TIER 2. FOR EACH DWELLING UNIT, A DEDICATED 208/240-VOLT BRANCH CIRCUIT SHALL BE INSTALLED IN THE RACEWAY REQUIRED BY SECTION 4.106.4.1. THE BRANCH CIRCUIT AND ASSOCIATED OVERCURRENT PROTECTIVE DEVICE SHALL BE RATED AT 40 AMPERES MINIMUM. OTHER ELECTRICAL COMPONENTS, INCLUDING A RECEPTACLE OR BLANK COVER, RELATED TO THIS SECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. **A4.106.8.1.1 IDENTIFICATION.** THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE DESIGNATED FOR FUTURE EV CHARGING PURPOSES AS "EV READY" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. THE RECEPTACLE OR BLANK COVER SHALL BE IDENTIFIED AS "EV READY."

DIVISION 4.2 - ENERGY EFFICIENCY

SECTION 4.101 - GENERAL

4.201.1 SCOPE. THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT DOES NOT REGULATE MANDATORY ENERGY EFFICIENCY STANDARDS IN RESIDENTIAL BUILDINGS. FOR THE PURPOSE OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MADATORY BUILDING STANDARDS.

NOTE: IT IS THE INTENT OF THIS CODE TO ENCOURAGE BUILDINGS TO ACHIEVE EXEMPLARY PERFORMANCE IN THE AREA OF ENERGY EFFICIENCY. FOR THE PURPOSES OF ENERGY EFFICIENCY STANDARDS, THE CALIFORNIA ENERGY COMMISSION BELIEVES SPECIFICALLY, A GREEN BUILDING ACHIEVE AT LEAST A 15 PERCENT REDUCTION IN ENERGY USAGE WHEN COMPARED TO THE STATE'S MANDATORY ENERGY EFFICIENCY STANDARDS. THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT'S MANDATORY GREEN BUILDING STANDARDS FOR RESIDENTIAL BUILDINGS DO NOT REQUIRE COMPLIANCE WITH LEVELS OF MINIMUM ENERGY EFFICIENCY BEYOND THOSE REQUIRED BY THE CALIFORNIA ENERGY COMMISSION.

SECTION 4.301 - GENERAL

DIVISION 4.3 - WATER EFFICIENCY AND CONSERVATION

4.301.1 SCOPE. THE PROVISIONS OF THIS CHAPTER SHALL ESTABLISH THE MEANS OF CONSERVING WATER USED INDOORS, OUTDOORS AND IN WASTEWATER CONVEYANCE.

SECTION 4.302 - DEFINITIONS

4.302.1 DEFINITIONS. THE FOLLOWING WORDS AND TERMS SHALL, FOR PURPOSES OF THIS CHAPTER AND AS USED ELSEWHERE IN THIS CODE, HAVE THE MEANINGS SHOWN HEREIN. SECTION 4.303 - INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

403.1.1 WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. FANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.

NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

DIVISION 4.4 - MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.401.1 SCOPE. THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF ACHIEVING MATERIAL CONSERVATION AND RESOURCE EFFICIENCY THROUGH PROTECTION OF BUILDINGS FROM EXTERIOR MOISTURE; CONSTRUCTION WASTE DIVERSION; EMPLOYMENT OF TECHNIQUES TO REDUCE POLLUTION THROUGH RECYCLING OF MATERIALS; AND BUILDING COMMISSIONING OR TESTING, ADJUST AND BALANCING.

SECTION 4.402 - DEFINITIONS

SECTION 4.406 - ENHANCED DURABILITY AND REDUCED MAINTENANCE

REQD. FOR TIER 1 AND TIER 2 ONLY

4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS. THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI. 4.303.1.4.3 METERING FAUCETS. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.

DIVISION 4.5 - ENVIRONMENTAL QUALITY

4.303.1.4.4 KITCHEN FAUCETS. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE.

SECTION 4.304 - OUTDOOR WATER USE

4.304.1 IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:

CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE - BASED CONTROLLERS
THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMINICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPERATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

NOTE: MORE INFORMATION REGARDING IRRIGATION ASSOCIATION.

SECTION 4,401 - GENERAL

4.402.1 DEFINITIONS. THE FOLLOWING WORDS AND TERMS SHALL, FOR THE PURPOSES OF THIS CHAPTER AND AS USED ELSEWHERE IN THIS CODE, HAVE THE MEANINGS SHOWN HEREIN.

JULY 1, 2015 SUPPLEMENT

4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

SECTION 4.408 - CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE REDUCTION OF AT LEAST 50 PERCENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.

EXCEPTIONS:

1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
2. ALTERNATIVE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY THAT:

IDENTIFIES THE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYLCING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
SPECIFIES IF MATERIALS WILL BE SORTED ON-SITE OR MIXED FOR TRANSPORTATION TO A DIVERSION FACILITY.
IDENTIFIES THE DIVERSION FACILITY WHERE THE MATERIAL COLLECTED WILL BE TAKEN.
IDENTIFIES CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF WASTE GENERATED.
SPECIFIES THAT THE AMOUNT OF MATERIALS DIVERTED SHALL BE CALULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

4.504.2.1 ADHESIVES, SEALANT AND CAULKS. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:

1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLEN DICHLORIDE, METHEYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.

2. AEROSOL ADHESIVES, AND SMALLER UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

4.408.2.2 ISOLATED JOBSITES. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN JOBSITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.
NOTES:

SAMPLE FORMS FOUND IN CHAPTER 8 MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THE WASTE MANAGEMENT PLAN.
MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C&D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE).

SECTION 4.410 - BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB0BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:

1. DIRECTIONS TO THE OWNER OR OCCUPANT THATH THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.

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4.504.3.1 CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CCARPET AND RUG INSTITUTE GREEN LABEL PROGRAM.

3 CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL N TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OF VOC (SPECIFICATION 01350).
3. NSF/ANSI 140 AT THE GOLD LEVEL.
4. SCIENTIFIC CERTIFICATIONS SYSTEM INDOOR ADVANTAGE GOLD.

MANUFACTURER'S PRODUCT SPECIFICATION.
 FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.

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4.504.3.2 CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.
4.504.4 RESILIENT FLOORING SYSTEMS. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 50 PERCENT OF THE FLOOR AREA RECIEVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING.
1 VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN AND SCHOOLS PROGRAM.
3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD OF THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOAR SOURCES USING ENVIRONMENTAL CHAMBERS, "VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).
4.504.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.

4.504.5.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:

1. PRODUCT CERTIFICATIONS AND SPECIFICATIONS
2. CHAIN OF CUSTODY CERTIFICATIONS
3. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY

SECTION 4.505 - INTERIOR MOISTURE CONTROL

4.505.2 CONCRETE SLAB FOUNDATIONS. CONCRETE SLAB FOUNDATIONS REQUIRED TTO HAVE A VAPOR RETARDER BY **CALIFORNIA BUILDING CODE**, CCR, TITLE 24, PART 2, CHAPTER 19, SHALL ALSO COMPLY WITH THIS SECTION. **4.505.1 GENERAL.** BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF THE CALIFORNIA BUILDING STANDARDS CODE.

4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:
1. A 4-INCH (101.6 MM) THICK BASE OF ½ INCH (12.7 MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE AND CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

4.502.1 DEFINITIONS. THE FOLLOWING WORDS AND TERMS SHALL, FOR THE PURPOSES OF THIS CHAPTER AND AS USED ELSEWHERE IN THIS CODE, HAVE THE MEANINGS SHOWN HEREIN.

AGRIFIER PRODUCTS. AGRIFIER PRODUCTS INCLUDE WHEATBOARD, STRAWBOARD, PANIEL SUBSTRATES AND DOOR CORES, NOT INCLUDING ELEMBRYS.

COMPOSITE WOOD PRODUCTS. COMPOSITE WOOD PRODUCTS INCLUDE HARDWOOD PRODUCTS INCLUDE HARDWOOD PRODUCTS COMPOSITE WOOD PRODUCTS STRAUD BOARD STRUCTURAL PANIELS, STREACHCARL COMPOSITE LUMBRER. ORIGINATE COMPOSITE LUMBRER, ORIENTED STRAND BOARD, CAUGUDE LAMINATED TIMBER AS SPECIFIED IN "STRUCTURAL EACHTOTY (MIR). THE MAXIMUM CHANGE IN WEIGHT OF OCCONE PRODUCTS TO COMPOSITE LUMBRER, ORIENTED STRAND BOARD, GLUED LAMINATED TIMBER AS SPECIFIED IN "STRUCTURAL GLUED LAMINATED TIMBER?" (ANSIMITARE PRODUCT STRUCTURAL COMPOUND ADDED, LASSE REACTIVE ORGANIC GAS (ROG) MIXTURE? PREMENTED FOOMOUD ADDED, ENDINGS TO HUNDRETHS OF A GRAN (G O'3) ROC).

NOTE: MIR VALUES FOR INDIVIDUAL COMPOUNDS AND HYDROCARBON SOLVENTS ARE SPECIFIED IN CR. TITLE 17 SECTIONS 94700 AND STURE CONTENT. THE WEIGHT OF THE WATER IN WOOD EXPRESSED IN THE PRODUCT WINGHTED MIX (PANIEL) THE SUM OF ALL WIGHTER MIR FOR ALL INGREDIENTS IN A PRODUCT REACTIVITY (EXPRESSED TO THIE HUNDRETHS ADD A GRAND OF PORDUCT REACTIVITY (EXCLUDING CONTAINER AND PACKGING).

NOTE: PWANTE IS CALCULATED ACCORDING TO EQUATIONS FOUND IN CCR. TITLE 17, SECTION 9452(4).

REACTIVE GRAND COMPOUND (ROC), ANY COMPOUND THAT HAS THE POTENTIAL, ONCE EMITTED. TO CONTRIBUTE TO ACCOMPOUND ROCHEN PRESSED OTHER THAN. CALCULATED ACCORDING TO EQUATIONS FOUND IN THE ATMOSPHERE.

VOC. A VOLATILE ORGANIC COMPOUND BROUDLY DEFINED AS A CHEMICAL COMPOUND BASED ON CONTAIN HYDROGEN AND MAY CONTAIN OXYGEN, NOTROGEN AND OTHER ELEMENTS. SECURING RESCRICT OF THE SPECIFIC MEASURE GREATER THAN ... I MILLUMETERS OF MERCURY AT ROOM TEMPERABLE SECRIFIC MEASURE SECRETCE.

ONT THE SPECIFIC SECRET SECRET SECRET OR SECRET SECRET SECRET.

NOTE: WHERE SPECIFIC RECOURTION IN THE SPECIFIC MEASURE OF THE SPECIFIC MEASURE.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER.

2. MOISTURE READINGS SHALL BE DETERMINED AT A POINT 2 FEET (610 MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.

3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

DOCMWEN.

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SECTION 4.506 - INDOOR AIR QUALITY AND EXHAUST

4.506.1 BATHROOM EXHAUST FANS. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:

FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
HUMIDITY RANGE OF 50 TO 80 PERCENT.

NOTE: FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION.

4.504.1 COVERING OF DUCT OPENINGS AND PROTECTION OF MACHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF THE ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WUTH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM.

SECTION 4.507 - ENVIRONMENTAL CONFORT

'LY WITH

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMF THIS SECTION.

CONSTRUCTION

BID / FINAL

1ST SUBMITTAL PLAN CHECK

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWAREOR METHODS.
DUCT SYSTEMS ARE SIZED ACCORDING TO ACCA 29-D MANUAL D, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS
SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S MANUAL SOR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS

EXCEPTION: USE OF ALTERNATIVE DESIGN TEMPERATIRES NECESSARY TO ENSURE THE SYSTEMS FUNCTION ARE ACCEPTABLE.

4.408.3 WASTE MANAGEMENT COMPANY. UTILIZE A WASTE MANAGEMENT COMPANY,
APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION
THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED
FROM THE LANDFILL COMPLIES WITH SECTION 4.408.1.
NOTE: THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE
CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE
MANAGEMENT COMPANY.

PROJECT

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED FOUR (4) LBS./SQ. FT. OF THE BUILDING AREA SHALL MEET THE MINIMUM 50 PERCENT CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1.
4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED TWO (2) POUNDS PER SQUARE FOOR OF THE BUILDING AREA, SHALL MEET THE MINIMUM 50-PERCENT CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1.

4.504.2.2 PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORY LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED IN ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCE BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

CALIFORNIA GREEN BUILDING STANDARDS

4.408.5 DOCUMENTATION. DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATED COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THROUGH 5 SECTION 4.408.3 OR SECTION 4.408.4.

NGS SHALL
(3) AND
OXIC
OXIC
(2) AND (4)(2)
CTION 94520;
AANAGEMENT
PRODUCT

1. SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BULDING STANDARDS CODE (RESIDENTIAL)" LOCATED AT WWW.HCD.CA.GOV/CALGREEN.HTML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION.

2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C&D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE).

RESIDENTIAL MANDATORY MEASURES

CODE

CALIFORNIA GREEN BUILDING STANDARDS

2013

4.504.2.4 VERIFICATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

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STUBIOS I CONSTRUCTION 1121 OAKDALE RD. STE 5 MODESTO, CA, 95355 phone: 209.521.7200 web: CONRADASTURI.COM 1ST SUBMITTAI PLAN CHECK BID / FINAL CONRAD ASTURI STUDIOS, INC. exp common law copyright and other proper plans. These plans may not be reproduced assigned to any third party or us construction other than that intended with obtaining the written permission and con CONRAD ASTURI STUDIOS, INC. PO BOX 1556 CARMEL BY THE SEA CA, 93921 web: CONRADASTURI.(GENERAL NOTES & SPECIFICATIONS PROJECT F. ELECTRICAL CONTRACTOR SHALL SIZE BREAKERS FOR PROPER CIRCUITING AND PROVIDE/MOUNT PANEL SCHEDULES. PROVIDE A MINIMUM OF ONE 20 AMP CIRCUIT FOR THE BATHROOMS WITH NO ADDITIONAL OUTLETS ON THIS DEDICATED CIRCUIT. PROVIDE A MINIMUM OF TWO 20 AMP CIRCUITS AT THE KITCHEN COUNTER FOR SMALL APPLIANCES - LIMITED TO SUPPLING THESE COUNTER AND WALL OUTLETS. R. ARC-FAULT BREAKERS: BRANCH CIRCUITS FOR BEDROOM RECEPTACLE OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER. PROVIDE LISTED, COMBINATION TYPE, ARC FAULT BREAKERS TO PROVIDE PROTECTON TO THE ENTIRE BRANCH CIRCUIT AT ALL 120 VOLT, 15 AND 20 AMP BRANCH CIRCUITS REQUIRED BY CEC TO BE ARC FAULT PROTECTED. INCLUDING FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS. (CEC 210.12B) J. AT OUTDOOR MECHANICAL UNITS, PROVIDE POWER AND DISCONNECTS, AND WEATHERPROOF GFI CONVENIENCE OUTLET FOR SERVICING. WHETHER OR NOT LOCATIONS ARE SHOWN ON PLANS. AT INTERIOR UNITS & WH, PROVIDE CONVENIENCE OUTLET FOR SERVICING (AND LIGHT IF UNIT IS ATTIC MOUNTED). (UPC 511) M. SMOKE DETECTORS: SEE ELECTRICAL PLAN FOR LOCATION OF SMOKE DETECTORS. PROVIDE SMOKE DETECTORS. PROVIDE SMOKE DETECTORS AT EACH BEDROOM AND AT HALLWAYS OR AREAS BETWEEN SLEEPING AREAS AND REST OF HOUSE. ALL SMOKE DETECTORS TO BE 120 VOLT PERMANENTLY WIRED, WITH BATTERY BACKUP AND AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING. LOCATE WITHIN 12" OF CEILING AND CLEAR OF DOORS. LOCATE A MINIMUM OF 3' AWAY FROM ANY EXPECTED AIR CURRENTS OR AIR CURRENT SOURCES. W. OCCUPANT SENSORS: ALL HARDWIRED LIGHTING IN BATHROOMS, GARAGES, LAUNDRY, AND UTILITY ROOMS
MUST BE HIGH EFFICACY OR CONTROLLED BY A MANUAL
E - ON OCCUPANT SENSOR. ALL HARDWIRED LIGHTING IN OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS, AND BEDROOMS) SHALL BE HIGH EFFICACY OR CONTROLLED BY A MANUAL - ON OCCUPANT SENSOR OR A DIMMER MUST CONTROL IT. 13. FUEL BURNING APPLIANCES LOCATED IN BEDROOMS TO BE AN APPROVED AND LISTED DIRECT VENT APPLIANCE. FIREPLACES LOCATED IN BEDROOMS ARE TO BE EQUIPPED WITH AN APPROVED MEANS OF OBTAINING O.S.A. PER UMC 304.5. H. PROVIDE AND INSTALL DOOR BELL AND CHIME, SUBMIT CHIME FOR REVIEW! APPROVAL. ALL EQUIPMENT TO BE HARDWIRED, INCLUDING LOW VOLTAGE ITEMS (UNLESS NOTED OTHERWISE). B. ALL ELECTRICAL WORK, LIGHTING FIXTURES, FANS, AND EQUIPMENT SHALL BE FURNISHED AND INSTALLED TO COMPLY WITH C.B.C., C.R.C. (RESIDENTIAL), NATIONAL ELECTRICAL CODE AND ALL LOCAL CODE/ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION. K. ALL EXTERIOR OUTLETS TO HAVE WEATHERPROOF COVERS. ALL EXTERIOR FIXTURES TO BE APPROVED FOR DAMP AND WET LOCATIONS (CEC 410-10). U. PROVIDE POWER FOR ALL WHIRLPOOL TUBS AS NEEDED. PUMP MOTOR TO BE ON A GFI CIRCUIT, AND ON A SEPARATE GFI CIRCUIT IF OVER 10 AMPS. V. TAMPER RESISTANT: LABLED TAMPER RESISTANT (TR) CONVENIENCE OUTLETS TO BE PROVIDED WHERE REQUIRED BY NEW CODE FOR CHILD SAFETY. L. GROUNDING: PROVIDE CONCRETE ENCASED ELECTRODE AT BUILDING(S) AND GROUNDS AT MAIN ELECTRICAL PANEL (AND AT ALL SEPARATED BUILDINGS) PER NEC 250-52. O. RECEPTACLES LOCATED IN GARAGE AREA (DUE TO GASOLINE FUMES) TO BE MOUNTED 44" ABOVE FINISHED FLOOR TYPICAL (18" MINIMUM PER UMC 303.1.3). A. REFER TO ARCHITECTURAL FOR ADDITIONAL REQMT NO SUB-PANELS IN CLOTHES CLOSETS OR BATHROOMS. ANY SUB-PANELS TO BE INSTALLED IN ACESSIBLE AREAS WHERE THEY WILL NOT BE BLOCKED BY OTHER OBJECTS. N. CARBON MONOXIDE ALARMS: PROVIDE MONOXIDE ALARMS PER CALIFORNIA RESIDENTIAL CODE SECTION R315. THESE CAN BE COMBINATION ALARMS USED WITH SMOKE DETECTOR(S). LOCATED OUTSIDE SLEEPING AREAS, AND MINIMUM ONE FOR EACH FLOOR. G. LOW VOLTAGE: ELECTRICAL CONTRACTOR SHALL COORDINATE INSTALLATION OF CABLE TV JACKS, TELEPHONE JACKS, SECURITY ALARM SYSTEMS, DATA CABLES, ETC. AS NEGOTIATED BY BUILDER AND OWNER E. GENERAL FLUORESCENT LIGHTING FOR KITCHENS SHALL PROVIDE NOT LESS THAN 40 LUMENS PER WATT. P. BATHROOM RECEPTACLES SHALL BE SUPPLIED BY A 20 AMP CIRCUIT DEDICATED TO BATHROOMS. I. MISC: PROVIDE ALL REQUIRED POWER TO LANDSCAP STREET, WALKS, AND SECURITY LIGHTING; IRRIGATION CONTROLS, POOL PUMPS AND EQUIPMENT, S. OUTLET BOXES ON OPPOSITE SIDES OF FIREWALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24" (ONE STUD BAY) OR BE OF APPROVED METAL (OR OTHER APPROVED BOXES) APPROVED FOR USE IN FIREWALLS. 14. IF THE WATER HEATER VENT PIPE MAKES A BEND THROUGH THE BUILDING STRUCTURE IT SHALL BE EITH CATEGORY III OR IV VENT PIPE (TYPICALLY, ONLY STAINLESS STEEL CATEGORY III OR IV VENT PIPE IS COMPATIBLE WITH ALL TYPES OF WATER HEATERS.) Q. RANGES AND DRYERS REQUIRE 4-WIRE GROUNDED RECEPTACLE OUTLET. T. DRYERS AND COOKING UNITS TO BE FED WITH CONDUCTOR WIRES WITH AN ISOLATED NEUTRAL AND ALL SUCH OUTLETS SHALL BE FOUR PRONG TYPE. C. ALL INTERIOR GARAGE, EXTERIOR OUTLETS, BATHROOM CONVENIENCE OUTLETS AND ALL KITCHEN COUNTER OUTLETS TO HAVE GFI PROTECTION. (CEC 210.8) ELECTRICAL EQUIPMENT, LIGHT FIXTURES, FANS, APPLIANCES, ETC. NEEDED TO PROVIDE A COMPLETE AND OPERATIONAL, CODE COMPLIANT, SYSTEM IN ACCORDANCE WITH INDUSTRY STANDARDS. PROVIDE CERTIFICATION OF EFFICIENCY FOR ALL APPLIANCES. FLUORESCENT LAMP BALLASTS SHALL BE CODE COMPLIANT. X. DIMMER SWITCHES: ALL SWITCHES ON A MULTIPLE SWITCHED CIRCUIT SHALL BE CONTROLLED BY THE DIMMER SWITCH ON THAT CIRCUIT. Y. ALL OUTDOOR LIGHTING MUST BE HIGH EFFICACY OCNTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTOCONTROL. D. CONTRACTOR SHALL SPECIFY AND SUBMIT FOR REVIEW / APPROVAL BY OWNER ALL REQUIRED 3. ADDITIONAL EXTURE REQUIREMENTS:

APPLANDED SALE CONTRACTORY LUTRA LOW FLUSH ACTOR TO BE 1.28 GAL. FLUSH, ULTRA LOW FLUSH ACTOR THE TOLETS TO BE 1.28 GAL. FLUSH, ULTRA LOW FLUSH ACTOR TO BE 1.28 GAL. FLUSH, ULTRA LOW FLUSH ACTOR TO BE 1.28 GAL. FLUSH, ULTRA LOW FLOW CED THE TOLETS. NOTIFY ARCHITECT OF ANY COMMENCED THE TOLETS. NOTIFY ARCHITECT OF ANY COMMENCING WORK.

L. COMMENCING WORK.

E. SHOWERS A TUBE-SHOWER COMBINATION SHALL BE PRESSURE BALANCE. THERMOSTATIC, OR COMBINATION CIPE PRESSURE BALANCE. THERMOSTATIC, OR COMBINATION CIPE SHALL BE ARCHITED SHOWERHEAD. THESE VALUES SHALL BE PROVIDED WITH HIDM/DULD WITH A SINGLE OF THE NOTIFY OF USE AND IN ACCORDANCE OF THE NOTIFY OF USE AND IN ACCORDANCE OF THE ADJUST OF USE AND IN ACCORDANCE WITH ASSE 1069. HANDLE POSITION STOPS SHALL BE ADJUSTED PER THE MANUFACTURERS INSTRUCTIONS TO BE CONTROLLED BY A MIXING VALVE THAT IS IN ACCORDANCE WITH ASSE 1069. HANDLE POSITION STOPS SHALL BE ADJUSTED BY A MIXING VALVE SAID SHALL BE CONTROLLED BY A MIXING WATER REPRESSION SOUTH AND SHALL BE CONTROLLED BY A MIXING WATER REPRESSION SOUTH AND SHALL BE CONTROLLED BY A MIXING WATER REPRESSION SOUTH AND SHALL BE CONTROLLED BY A MIXING WATER REPRESSION SOUTH AND SOUTH AND SHALL BE CONTROLLED BY A MIXING WATER REPRESSION SOUTH AND SOU PUMBING SYSTEM.

5. PIPE INSULATION: ALL HOT WATER, HOT WATER

6. CONTRACTOR TO LOCATE AND INSPECT EXISTING

WATER SUPPLY, DRAINAGE, AND SEWAGE LINES FOR BEST LOCATION TO TIE-IN NEW WORK.

7. DWV ROOF PENETRATIONS: CONTRACTOR TO GROUP

AS MANY VENTS TOGETHER AS CURRENT CODES PERMIT.

14. SASOLUTE MINIMUM NUMBER OF ROOF PENETRATIONS THAS AS POSSIBLE.

B. BACKFLOW PREVENTION: ALL HOSE BIBS AND LANDSCAPE IRRIGATION SYSTEMS SHALL HAVE CODE

COMPLIANT VACUUM BREAKER / BACKFLOW PREVENTION DEVICES.

9. AT WHIRLPOOL BATHTUBS, PROVIDE ACCESS PANEL TO PUMP MOTOR PER UPC SECTION 415.

10. FIRE SPRINKLERS: NEW HOMES TO HAVE AN AGREATION AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM PER AFFORM TO PUMP MOTOR PER UPC SECTION 415.

11. NO-LEAD SOLDER: THE USE OF SOLDERS CONTAINING MORE THAN 2/10THS OF 1% LEAD IN MAKING JOIINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS AND PROHIBITED. 10. PROVIDE DRYER EXHAUST DUCT, NOT TO EXCEED A BATOTAL HORIZONTAL AND VERTICAL DESIGN LENGTH OF 14 MI FEET, INCLUDING TWO 90 DEGREE ELBOWS. WHERE MORE -CITHAN TWO ELBOWS ARE REQUIRED, DEDUCT 2 FEET FOR CITHAN TWO ELBOWS. SEE CA. MECH. CODE 504.3. REPORTS TO BE 4" DIAMETER AND EXTEND TO COUTSIDE AIR WITH WEATHER CAP AND BACKDRAFT A DAMPER. NO FASTENERS MAY PENETRATE THE DUCT. 9. GAS-FIRED FURNACES AND WATER HEATERS & OTHER A A APPLIANCES INSTALLED IN GARAGES SHALL BE
INSTALLED SO THAT ANY FLAME THEY PRODUCE SHALL UNSTALLED SO THAT ANY FLAME THEY PRODUCE SHALL UNSTALLED SO THAT ANY FLAME THEY PRODUCE SHALL UNCANDE OUTSIDE COMBUSTION AIR AS REQD. BY UMC AND UPC (UPC 507). SUCH APPLIANCES SHALL ALSO BE PROTECTED FROM MECHANICAL DAMAGE FROM ONCOMING CARS BY BARRIER WALLS, CONCRETE CURBS, CONCOMING CARS BY BARRIER WALLS, CONCRETE CURBS, CON 36" HIGH 3" IPS STEEL PIPES EMBEDDED IN CONC. RELOOR PER UMC 304.9. UPC 511.

9. STRAPPING: WATER HEATERS TO BE SECURED TO RESIST EARTHQUAKES PER U.M.C. SECTION 504(d) AND UPC SECTION 510.5. PROVIDE ANCHORS OR APPROVED STRAPS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS HEIGHT. THE LOWER ANCHOR OR STRAP, A MINIMUM OF 4" ABOVE THE CONTROLS. ALSO PROVIDE EXHAUST VENTING PER UPC SECTION 512-525, AND COMB. AIR PER UPC SECT. 507.

h. PROVIDE ROOFTOP DRAINAGE SYSTEMS COMPLYING WITH UBC 1506 AND UPC APPENDIX D. 2. CONTRACTOR SHALL SPECIFY AND SUBMIT FOR REVIEW/APPROVAL SPECIFICATIONS FOR ALL PROPOSED PLUMBING FIXTURES. NO FIXTURE SHALL BE INSTALLED PRIOR. PROVIDE EFFICIENCY STANDARD CERTIFICATIONS FOR ALL FIXTURES TO OWNERS APPROVAL. ALL FIXTURES ARE CONTRACTOR FURNISHED AND INSTALLED. 4. ALL TRANSVERSE, DUCT, PLENUM, AND FITTING JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE DUCT TAPE OR MASTIC TO PREVENT AIR LOSS AND SHALL BE INSULATED TO CONFORM TO CODE REQUIREMENTS. 2. CONTRACTOR SHALL SPECIFY AND SUBMIT FOR REVIEW/APPROVAL BY OWNER ALL REQUIRED HVAC EQUIPMENT NEEDED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM, CODE COMPLIANT, ACCORDING TO INDUSTRY STANDARDS. PROVIDE CERTIFICATION FOR EFFICIENCY OF OPERATION FOR ALL EQUIPMENT. 8. BATHROOMS NOT PROVIDED WITH OPENABLE WINDOW FOR VENTILATION TO HAVE AN EXHAUST FAN OF 50 CFM MINIMUM, WITH BACKDRAFT DAMPER, EXAUSTED TO EXTERIOR OF BUILDING (RESID. CRC 303.3) C. PLUMBING FIXTURES:
1. ALL PLUMBING FIXTURES AND ACCESSORIES TO BE INSTALLED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM IN ACCORDANCE WITH INDUSTRY STANDARDS. 5. ALL FAN SYSTEMS EXHAUSTING AIR TO THE OUTSIDE SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS. 7. LAUNDRY ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION WITH AN EXHAUST FAN (WITI AUTOMATIC DAMPER) PROVIDING 5 AIR CHANGES PER HOUR. D. MECHANICAL:
1. ALL DUCTWORK, HEA'TING, AND COOLING SYSTEMS
SHALL BE FURNISHED AND INSTALLED TO COMPLY WITH
U.B.C., UNIFORM MECHANICAL CODE, AND ALL LOCAL
CODES/ORDINANCES IN EFFECT AT THE TIME OF
CONSTRUCTION. 3. THERMOSTATS ON ALL SPACE HEATING SYSTEMS SHALL BE EQUIPPED WITH AN AUTOMATIC SETBACK. 6. ALL GAS-FIRED FAN TYPE HVAC EQUIPMENT AND COOKING APPLIANCES SHALL BE EQUIPPED WITH AN INTERMITTENT IGNITION DEVICE. KIALS SHALL BE DELIVERED TO THE JOB SITE C. GINAL UNOPENED CONTAINERS/BUNDLES PROTECTION AGAINST DAMAGE FROM PROTECTION AGAINST DAMAGE FROM PROTECTION AGAINST DAMAGE FROM PROTECTION RECING.

EWITH THE RECOMMENDATIONS OF THE PRIST TY:E WITH THE RECOMMENDATIONS OF THE PRIST OF THE WATRUCTION HANDBOOK BY US GYPSUM. IN REE COAT APPLICATION OF TAPE AND JOINT IN USE METAL EDGES AT ALL EXPOSED WID EDGES. OWNER TO APPROVE FINISH SHASTERES TO BE JOURNEYMAN-LEVEL OR TESTILLED

SKILLED

OR RECEIVE PAINT AND/OR FABRIC TO BE ACLASTERERS TO BE JOURNEYMAN-LEVEL OR ACLASTERERS TO BE JOURNEYMAN-LEVEL OR SHASTELED IN THEIR WORK. ARIALS SHALL BE DELIVERED TO THE JOB SITE 8
GINAL UNOPENED CONTAINERS/BUNDLES L.
D FOR PROTECTION AGAINST DAMAGE FROM C.
WATER AND/OR FREEZING.
SOARD SHALL BE INSTALLED IN STRICT 9
E. WITH THE RECOMMENDATIONS OF THE P.
WSTRUCTION HANDBOOK BY US GYPSUM.
1
REE COAT APPLICATION OF TAPE AND JOINT ARE COAT APPLICATION OF TAPE AND JOINT ARE EDGES.
USE METAL EDGES AT ALL EXPOSED C.
IND EDGES. ADD / OR FACTORY BUILT FIREPLACES

AND / OR FACTORY BUILT FIREPLACES

SIS DOORS, OUTSIDE AIR INTAKE WITH

GAS OPERATION / PILOTS. PROVIDE SPARK E

FOR ALL FIREPLACE CHIMNEYS, ARRESTORS

WITH CRC R1003.9. CHIMNEYS TO TERMINATE 3

F 2'ABOVE ANY PORTION OF BUILDING VENEER PLASTER/PLASTER LATH (where see floor plan)

OARD SHALL BE US GYPSUM OR EQUAL

"TAPED AND PREPARED FOR INDICATED 13YPSUM BOARD FOR WALLS AND CEILINGS NINCH THICKNESS, TYPE X. UTILIZE

STANT GREENBOARD FOR ALL WALLS IN ALL C'SHOWER ROOMS. GLASS REINFORCED C'SHOWER ROOMS. GLASS REINFORCED CANNELS MAY ALSO BE USED (MIN. 1/2" THICK.) BANELS MAY ALSO BE USED (MIN. 1/2" THICK.) P. Z. ABOVL C. V. BE LISTED AND 4
FACTURED FIREPLACES TO BE LISTED AND 4
ITH UL LISTING NUMBER (RES. CRC SECTION S
INDE MANUFACTURER'S INSTALLATION C
INS AND PRODUCT LISTINGS TO BUILDING III
PRIOR TO INSTALLATION. ENTILATION
7 12" X 12" LOUVERED SCREENED VENT AT
ENOR WALL AND POSSIBLE GASOLINE FUME
ACATE AWAY FROM FIREWALLS. LOCATE AT
IS FOR OUTSIDE AIR FOR WATER HEATER NOT
ELANS. KEEP OUT OF DIRECT VIEW WHERE OARD (typical wall finish unless noted)
OARD SHALL BE US GYPSUM OR EQUAL,
OARD SHALL BE US GYPSUM OR EQUAL,
OR PEPARED TO RECEIVE THE INDICATED
OR YPSUM BOARD FOR WALLS AND CEILINGS
OF THE STAND CEILINGS
OF THE STAND SHALLS IN ALL
OR SHOWER ROOMS, GLASS REINFORCED
OF THE STAND SHALL SHORT OF THE STAND SHOWER ROOMS, GLASS REINFORCED
OF THE SHALL SHOWER SHALL COMPLY WITH C. B. C. CHAPTER SHALL BE OF ONE MANUFACTURER AND
LY COMPATIBLE WITH PRIMER AND BASE
MIT PAINT SPECIFICATION FOR
ROVAL.
ACES TO BE PAINTED SHALL BE CLEANED TO
ACESSING COMPOUNDS, OILS AND OTHER
ITS HARMFUL TO PAINT ADHESION. RUSTED
ILY SOILED SURFACES: SHALL BE WIRE
NED. ON.

SALL PIPING WORK INCLUDING REQUIRED
TO FRAMING INSPECTION.

SIS NOT ACCEPTABLE FOR THE PROJECT
SUPPLY, UNLESS APPROVED BY THE OWNER
ED FOR USE BY THE LOCAL BUILDING
MINIMUM THICKNESS OF PVC, INCLUDING AWLSPACE VENTILATION: BUILDINGS WITH SS TO HAVE SCREENED OPENINGS AS UNDER-FLOOR VENTILATION AS REQUIRED BUILD UP OF MOISTURE (RESID. CRC 8). ATTIC SPACES TO HAVE SCREENED S AS REQUIRED TO PREVENT BUILDUP OF ESID. CRC SECTION R806.). ARCHITECTURAL, MECHANICAL, AND AAWINGS FOR ADDITIONAL REQUIREMENTS. AFTSTOPPING AROUND OPENINGS, VENTS, IEYS, FIREPLACES, DUCTS OR SIMILAR AT MIGHT AFFORD PASSAGE OF FIRE AT FLOOR LEVELS AND BETWEEN ATTIC CHIMNEY CHASES FOR FACTORY BUILT BY U.B.C. SECTION 708.2. ET/SHOWER ROOM ACCESSORIES:
SPECIFIED AT A LATER DATE.
I DOORS AND PANEL FRAMES SHALL HAVE
I; SHOWER DOORS SHALL OPEN OUTWARD
ASS SHALL BE FULLY LAMINATED SAFETY
PROVED PLASTIC/POLYCARBONATE. IATERIALS, AND EQUIPMENT SHALL
B.C., UNIFORM PLUMBING CODE, AND ALL
SDINANCES IN EFFECT AT THE TIME OF OUR PROTECTION AT STORAGE AREAS AYS AS REQUIRED BY CODE (COMM: 1-HR, EET ADDRESS / SUITE NUMBER CH AS TO BE PLAINLY VISIBLE FROM THE HIGH CONTRASTING CHARACTERS (CFC D. ALUM. WINDOWS AND DOORS, WHERE APPLICABLE
(SEE ENERGY FORMS):
1. REFER TO DRAWINGS FOR SIZE, LOCATIONS AND
CONFIGURATIONS.
2. DOORS AND SLIDING DOORS: DARK BRONZE ANODIZED
ALUMINUM FRAME WITH 1/4 INCH TEMPERED GLASS.
3. DOOR AND WINDOW FRAMES: DARK BRONZE ANODIZED
ALUMINUM FRAMES WITH 1/4 INCH TEMPERED/PLATE
GLASS, REFER TO GLASS AND GLAZING FOR
REQUIREMENTS.
4. ALL DWELLING SLIDING DOORS AND WINDOWS AS
WELL AS STOREFRONT WINDOWS TO BE DOUBLE PANE.
(UNO)
5. INSTALL ENTRANCES, SLIDING DOORS, AND
STOREFRONTS PLUMB, LEVEL AND TRUE, SECURELY
ANCHORED TO STRUCTURE WITH STAINLESS STEEL
SCREWS, BOLT'S AND OTHER REQUIRED FASTENERS.
6. INSULATE DISSIMILAR METALS FROM DIRECT CONTACT
BY PROVIDING SYNTHETIC (NON-ABSORPTIVE) GASKETS.
7. HANG DOORS ACCURATELY WITH UNIFORM
CLEARANCES; MAKE FINAL ADJUSTMENTS FOR PROPER
AND SMOOTH OPERATION AFTER GLAZING.
8. ALL DOORS AND OPERABLE WINDOWS; WHERE
APPLICABLE (SEE ENERGY FORMS):
1. REFER TO DRAWINGS FOR SIZE, LOCATION &
COMFIGURATIONS.
2. TO COMPLY WITH CALIFORNIA ENERGY STANDARDS
AND ENERGY FORMS.
3. PLASTIC FRAMES EXPAND AND CONTRACT WITH
TEMPERATURE CHANGES UP TO A HALF INCH OR MORE
AND MIGHT NOT BE APPROPRIATE IN THE LARGEST SIZES
BECAUSE OF THIS. F. GLASS AND GLAZING:

1. ALL GLASS SHALL CONFORM TO FEDERAL
USED.

2. ALL GLASS SHALL BE OF THICKNESS FOR THE SIZE AND
APPLICATION BD-G-45id FOR EACH TYPE OF GLASS
USED.

3. ALL GLASS SHALL BE OF THICKNESS HEREIN
INDICATED.

3. ALL GLASS THAN THE SPECIFIC THICKNESS HEREIN
INDICATED.

3. ALL GLASS IN DOORS OR WINDOWS IN HAZARDOUS
LOCATIONS TO BE TEMPERED OR SAFETY GLAZED PER
CODE (COM. CBC SECTION 2406, RESID. CRC SECTION
R308). HAZARDOUS LOCATIONS TO INCLUDE: ALL
SWINGING DOOR GLASS, AND ALL SLIDING DOOR GLASS
(EXCEPT APPROVED WARDROBE DOORS). ALL WINDOWS
WITHIN A 24" ARC ON EITHER SIDE OF SWINGING OR
SLIDING DOORS (CLOSED, AND WITHIN 60" OF WALKING
SURFACE.) ANY GLAZING WITHIN 18" OF THE FLOOR. ANY
WINDOW LESS THAN 60" ABOVE THE STANDING SURFACE
OF ANY TUB, SHOWER, SAUNA, ETC. GLAZING NEAR
POOLS. GLAZING AT STAIRWAY AREAS OR STAIRWAY
LANDINGS.

4. INSTALLATION SHALL COMPLY WITH FLAT GLASS
JOBBERS ASSOCIATION GLAZING MANUAL.

5. FLOAT GLASS (EXTERIOR): 14 INCH CLEAR PER LOCAL
STANDARDS WITH THERMAL INSULATION PROPERTIES,
SUBMIT PRODUCT FOR REVIEW/APPROVAL.

6. TEMPERED GLASS (WHERE REQD. - SEE ENERGY FORMS):
PROVIDE SUBMITTAL TO BUILDING DEPARTMENT FIELD
INSPECTOR PRIOR TO INSTALLATION. G. GARAGE OVERHEAD DOORS:

1. REFER TO DRAWINGS FOR LOCATIONS, SIZES AND CONFIGURATIONS.

2. PROVIDE EACH OVERHEAD DOOR WITH MOUNTING SUPPORTS, TRACKS, AUTOMATIC WORM GEAR OR CHAIN DRIVE OPERATION, ONE WALL BUTTON OPERATION SWITCH AT DOOR (GARAGE) TO HOUSE AND TWO REMOTE OPENERS. "HIGH END" HOMES NEED INTERNET CON'N. ADDITIONAL WORK.

C. SINGLE PLY RODEING (SINGLE-PLY MEMBRANE) (If used)

B. MEMBRANE SYSTEM.

B. MEMBRANE SYSTEM MITH MECHANICAL

ATTACHMENT SYSTEM MITH MECHANICAL

ATTACHMENT SYSTEM MITH MECHANICAL

ATTACHMENT SYSTEM MITH MECHANICAL

B. ROOFING SYSTEM MANUFACTURED BY BE

ROOFING SYSTEMS.

MITH UL CLASSA-A FIRE RESISTANCE RATING.

E. LEASHING SHALL BE 18 CLAD METAL

THICKNESS PVC, CDA ROOFING/FLASHING MEMBRANE;

METAL FLASHING SHALL BE 18 CLAD METAL

THICKNESS PVC, CDA ROOFING/FLASHING MEMBRANE;

METAL FLASHING SHALL BE 18 CLAD METAL

THICKNESS PVC, CLAR ROOFING SYALL BE 18 CLASHING.

PREFABRICATED FLASHING AND SHALL INCLIDE

PREFABRICATED FLASHING SHOL SHALL INCLIDE

SCREWS WITH PLATES. LENGTHS AS REQUIRED

CONTRACTOR AUTHORIZED/CERTIFIED BY 18 ROOFING

SYSTEMS.

SA PER B ROOFING SYSTEMS

SA PER B ROOFING SYSTEMS

PROOFING SYSTEMS SHECLINED. GLASHING, 3 SAMPLES OF

FROOFING SYSTEMS SHECLINGS SYSTEM

AND SYSTEMS.

PROOFING SYSTEMS SHECH CONTRACTORY

CONTRACTOR SHALL SUBMIT FOR APPROVINCE SYSTEM

MANUFACTURERS: LIFETIME MATERALES AND HOP PREVAINTS SHOWING DEADLY SHALL ARRANGE AND HIP PREVAINTS SEAULINGS SEAM ROOFING PARELS AND HOP PREVAINTS SEAULINGS SEAM ROOFING PARELS AND HOP SEAULY MANUFACTURERS.

BY SHOR OF CORPER (ALTERNATE COPPER COLT ON STATIL AND ALLEY, HIP & RIDGE C. GUTTER & MANUFACTURERS.

WAS STANDED SOOFING SHALL SANDEN SOOFING STANDES OF SOOFING MEMBRANES.

BY SHOR D. "CORTEN" COLOR CORRUGATED ROOFING (if used)
1. CORRUGATED WEATHERED STEEL ROOFING PANELS
(MIN SLOPE 3:12)
2. 7/8" HIGH RIBS ARCHITECTURAL STYLE, EXTRA THICK.
B. FLASHINGS & PENETRATIONS: INTEGRAL VALLEY, RAKE, HIP & RIDGE TO MATCH MATERIAL. VENT PIPES MAY USE RUBER-LIKE GASKET, OVERLAP OR CONFORM LOWER EDGE AS REQUIRED TO SEAL AND PREVENT BLOCKAGES.
C. GUTTER & DOWNSPOUTS: CUSTOM METAL
d. VENTILATION: PROVIDE CONT. RIDGE VENTS AND HIP VENTS TO MATCH ROOF GABLE VENTS AS REQUIRED BY CODE. PROVIDE BLOCKING NEAR VENT OPENINGS.
E. UNDERLAYMENT: PROVIDE 30# FELT UNDERLAYMENT W/ SLIP SHEET OR AS RECOMMENDED BY MANUFACTURER. SEAL COMPLETELY ANY PENETRATIONS.
D. MECHANICAL FASTENERS: GASKETED, LOCATE AND ALIGN CAREFULLY FOR AESTHETIC PURPOSES.
G. ENDS: PROVIDE O'HANG & WIGGLE BOARD CLOSURE.
S. TYPICAL WEATHER BARRIER: PROVIDE ONE LAYER 15# EFLT OR BETTER OVER STUDS AND SHEATHING AT ALL EXTERIOR WALLS PER CODE, LAPPED TO SHED WATER AWAY FROM ALL FRAMING, BENEATH THE
"ARCHITECTURAL" COVERINGS. (RESID CRC R703.2) B. INSULATION:

1. INSULATION:

1. INSULATION MATERIALS INCLUDING FACINGS SHALL HAVE A FLAME SPREAD RATING AND A SMOKE DEVELOPED INDEX NOT TO EXCEED CODE STANDARDS. (RES: CRC R302.10.1 THROUGH.5).

3. ENVELOPE: WALLS/FLOORS: FIBERGLASS INSULATION BY 'CERTAINTEED' OR EQUAL, KRAFT FACED BUILDING INSULATION BATTS. 'STANDARD' MINIMUM FOR WALLS, R-VALUE = R-19 (2X6), R-13 (2X4). FLOORS, R-VALUE = R-19 (2X6), R-13 (2X4). FULL HEIGHT FOR ALL BEDROOM AND BATHS OR EQUAL, FULL HEIGHT FOR ALL BEDROOM AND BATH/TOILET ROOM WALLS.

6. REFER TO MECHANICAL/PLUMBING DRAWINGS FOR ADDITIONAL WORK. TESTENDED AND THE STREATED DOUGLAS FIRE UTILITY

TO LISTE PROTECT PROVING THINSHING MATERIALS (GYPSUM TO PLASTERS STROKE ON CONCRETE OR MASONRY LIEB STREATED DOUGLAS FIR. UTILITY

THE OFFICE STRATED DOUGLAS FIR. UTILITY

THE ORDER STRING SHALL BE FILL BOLTS AND BE THE OND FILL BOLTS AND A FOOT ON CENTER, PROVIDE HAD CONTROL SHALL BE THE THE OFFICE THE AT A LOCK TO SHALL BE THE PROFILE SHALL BE STRING SHALL BE STRING SHALL BE THE OFFICE THE OFFICE AND A FOOT ON CENTER, PROVIDE THE OFFICE AND A FOOT ON CENTER, PROVIDED THE OFFICE AND A FOOT ON CENTER AND A A. SITE GRADING:

1. PROVIDE GRADING:

1. PROVIDE GRADING;

2. PROVIDE GRADING, EXCAVATION, FILL AND COMPACTION NECESSARY FOR THE CONSTRUCTION OF THE BUILDING PAD.

2. PROVIDE GRADING, EXCAVATION, FILL AND COMPACTION NECESSARY FOR THE CONSTRUCTION OF ROADWAY'S, CURBS, RETAINING WALLS, DRAINAGE AND LANDSCAPING FEATURES, ETC., AS IDENTIFIED IN THE CONTRACT DOCUMENTS AND/OR AS REQUIRED FOR THE NECESSARY AND PROPER COMPLETION OF THE WORK.

3. FINISH GRADE THE AREA AROUND THE BUILDING SITE FOR "READY DRAINAGE" AWAY FROM THE BUILDING STELHORN OF SOIL ADJACENT TO BUILDING.

5. WHERE DISCREPANCIES BETWEEN SOILS REPORT AND DRAWINGS OCCUR, CONTACT DESIGNED.

6. PROVIDE SPLASHBLOCKS AT ALL DOWNSPOUT LOCATIONS AND PERIMETER DRAINAGE SYSTEM WHEN NOTED PER SOILS REPORT, UNLESS A SUBSURFACE DRAINAGE PIPING SYSTEM IS PROVIDED.

8. CLEARING AND PERIMETER DRAINAGE SYSTEM WHEN NOTED PER SOILS REPORT, UNLESS A SUBSURFACE DRAINAGE PIPING SYSTEM IS PROVIDED.

1. VEGETATION. STUMPS, UNDERGROWTH, AND OF THE SITE SHALL BE REMOVED IN THEIR ENTIRETY; ROOTS GREATER THAN 1/2" INCH IN DIAMETER SHALL BE REMOVED IN THE SITE SHALL BE REMOVED IN THE SITE SHALL BE REMOVED IN THE SITE SHALL BE REMOVED FROM THE SITE AND LANGEN SHELY BE REMOVED FROM THE SITE AND LANGEN SHELY DISTURBED. IF NOT BE DAMAGED OR UNNECESSARILY DISTURBED. IF DAMAGED THE SITE AND LANGES SARILY DISTURBED. IF DAMAGED THE STEAS WILL BE RETURNED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST. REFER TO STRUCTURAL DRAWINGS. PROVIDE SHOP DRAWINGS FOR ALL STRUCTURAL CONCRETE, INCLUDING SLABS, RETAINING WALLS AND CURBS. UNLESS OTHERWISE NOTED ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. ALSO, NOT MORE THAN 7 GALLONS OF WATER PER SACK OF CEMENT, A SLUMP OF 4 INCHES, INCHES AND MAXIMUM 3/4 INCH AGGREGATE. ALL FOUNDATIONS INCHES ABOVE FINISHED GRADE. B. TUBE STEEL FOR RAILINGS, HANDRAILS, GATES, AND ENTRYWAYS REFER TO ARCHITECTURAL DRAWINGS.

C. STAIRWAYS REFER TO ARCHITECTURAL DRAWINGS.

C. STAIRWAYS & GUARDS/GUARDRAILS (STEEL, CONCRETE, OR WOOD TYP.)

1. ALL STAIRWAY RUNS TO HAVE EQUAL RISERS PER CODE. ALL STAIRWAY RUNS TO HAVE EQUAL RISERS PER CODE. (EXAMPLE: MEASURE OF SMALLEST RISER MUST BE WITHIN 3/8" OF MEASUREMENT OF LARGEST RISER.)

2. RISE & RUN: RESIDENTIAL: MAXIMUM RISER HEIGHT 7.75" & MINIMUM TREAD LENGTH 10" (PER CRC R311.7.5). COMMERCIAL: MAXIMUM RISER HEIGHT 7" & MINIMUM TREAD LENGTH 10" (PER CRC R311.7.5). COMMERCIAL: MAXIMUM RISER HEIGHT 7" & MINIMUM TREAD LENGTH 10" (PER CRC R311.7.5). COMMERCIAL: MAXIMUM RISER HEIGHT 7" & MINIMUM TREAD LENGTH 10" (PER CRC R311.7.5). COMMERCIAL STAIRWAYS OF 4 OR MORE RISERS, WHETHER OR NOT HANDRAIL IS NOTED ON PLANS. HANDRAIL SIZE, SHAPE, AND HEIGHT PER CODE (RESID: CRC R311.7.8, COMM.: CBC SECTION 1012). (ALL STAIRS AT COMMERCIAL PROJECTS TO HAVE HANDRAILS BOTH SIDES.) HANDRAIL HEIGHT TO BE BETWEEN 3" AND 36" ABOVE NOSING.

4. GUARDRAILS (GUARDS) REQUIRED WHEN DROP IS MORE THAN 30", WHETHER OR NOT SHOWN ON PLANS. GUARDRAILS (GUARDS) REQUIRED WHEN DRAY WIDTH TO BLOCK PASSAGE OF 4" DIAMETER BALL. (RESID: CRC SECTION 8312, COMM: CBC SECTION 1013)

5. LANDINGS PROVIDE ADJACENT TO STAIRWAY SAS REQUIRED BY CODE. LENGTH TO EQUAL STAIRWAY WIDTH TYPICALLY (COMM. CBC 1009.5). EXTERIOR LANDINGS SLOPED 1/8:12 FOR DRAINAGE. E. SITE UTILITIES:
1. THE GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITIES SHALL BE PLACED UNDERGROUND.
2. THE CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION OPERATIONS. ALL EXISTING AND NEWLY INSTALLED UTILITIES SHALL BE ADEQUATELY PROTECTED; ANY DAMAGED UTILITIES (NEW OR EXISTING) SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.

F. EXTERIOR CONCRETE: REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL CONCRETE REQUIREMENTS. UNLESS OTHERWISE NOTED ALL EXTERIOR CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS AND CONTAIN 5 SACKS OF CEMENT PER YARD, NOT MORE THAN 7 GALLONS OF WATER PER SACK OF CEMENT AND A SLUMP OF 4 INCHES, PLUS OR MINUS 1/2 INCH. ALL FOUNDATIONS SUPPORTING WOOD SHALL EXTEND 6 INCHES ABOVE GRADE. B. FRAMING (UNLESS OTHERWISE NOTED):

1. ALL FRAMING LUMBER SHALL CONFORM TO GRADING STANDARDS ACCEPTED BY THE C.B.C.

2. ALL 2X AND 4X FRAMING MEMBERS INCLUDING RAFTERS, JOISTS, HEADERS, POSTS, BEAMS/HORIZONTAL MEMBERS, BRACES, BLOCKING AND STUDS SHALL BE DOUGLAS FIR, NO. 2 OR BETTER (MOISTURE CONTENT 12 PERCENT OR LESS). C. COMPACTION AND FILL: GRADE AND COMPACT EXISTING SUITABLE MATERIAL AND REQUIRED IMPORT ENGINEERING FILL AS NECESSARY TO BRING BUILDING PADS AND ALL OTHER FEATURES TO PROPER LEVELS. PROVIDE 2 PERCENT (1/4 INCH PER FOOT) SURFACE DRAINAGE FOR 10 FEET, MINIMUM, AROUND ALL BUILDINGS. G. PAVING: UNLESS OTHERWISE NOTED PAV CONSIST OF 4" CONC. SLAB WITH CONTROL O.C. EACH WAY. CONTRACTOR TO PROVIDE JOINT LAYOUT SKETCH FOR DESIGNER'S AP BEFORE FORMWORK IS APPROVED FOR PLA CONCRETE. SPECIAL COLOR AND TEXTURE APPROVED PRIOR TO CONSTRUCTION. D. TRENCHING: FOOTING, PLUMBING AND UTRENCHES SHALL BE OF DEPTH AND SIZE RUTH LEVEL BOTTOMS, CUT FOR TRUE AND AS THE SOIL CONDITIONS DICTATE. REMOVORGANIC MATERIALS AND BACKFILL WITH EFILL AS REQUIRED. BACKFILL WITH APPROVING 91 IN 9 INCH LIFTS AND COMPACT TO A MINIMU 95 PERCENT PER ASTM D-1557. A. DIMENSIONAL LUMBER, PLYWOOD, WOC AND CONNECTORS: REFER TO STRUCTURA PROVIDE SHOP DRAWINGS AND CALCULATI TRUSSES AND MANUFACTURED MEMBERS AND SIGNED BY A APPROPRIATELY LICENSI PROFESSIONAL ENGINEER. A. REFER TO STRUCTURAL DRAWINGS. F DRAWINGS FOR ALL STRUCTURAL STEEL MISCELLANEOUS IRONWORK. 3. CONCRETE (STRUCTURAL) 6. WOOD 5. STEEL 1. PREPARATION OF BUILDING PAD INCLUDING
EXCAVATION, GRADING AND REQUIRED COMPACTION.
2. ALL UTILITY SERVICES, TEMPORARY AND PERMANENT, NECESSARY TO COMPLETE THE PROJECT.
3. FOOTINGS, FOUNDATIONS, RETAINING WALLS, AND SLABS ON GRADE.
4. ALL STRUCTURAL FRAMING OF WALLS, FLOORS, CEILINGS AND ROOFS.
5. ALL THERMAL AND MOISTURE PROTECTION INCLUDING PROFING AND FLASHING.
6. ALL DOORS, WINDOWS, AND HARDWARE.
7. ALL INTERIOR FINISHES.
8. ALL EXTERIOR FINISHES.
9. ALL CASEWORK/MILLWORK INDICATED ON THE DRAWINGS.
10. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK INCLUDING FIXTURES.
11. ALL DEMOLITION AND REMOVAL AND DISPOSAL WORK PRICESSARY TO COMPLETE THE PROJECT. G. THE CONTRACTOR SHALL PERFORM ALL WORK IN A NEAT, ORDERLY AND WORKMANLIKE MANNER, COMPLYING WITH THE BEST TRADE PRACTICE BY THOSE SKILLED IN THE PARTICULAR TRADE. WORK, EQUIPMENT, FIXTURES, PIPING, ETC. SHALL BE PLUMB, LEVEL, SQUARE, CENTERED, ETC. ALL WORK/EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS. ALL REJECTED WORK SHALL BE PROMPTLY REMOVED AND REPLACED. Q. PROJECT CLOSE OUT: AT COMPLETION OF THE PROJECT THE CONTRACTOR SHALL PROVIDE THE FOLLOWING:

1. NOTARIZED "FINAL RECEIPT AND WAIVER OF LIENS" FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS.

2. PROVIDE CERTIFICATE OF OCCUPANCY WITH COPIES OF MUNICIPAL/COUNTY FINAL INSPECTION CERTIFICATES.

3. PROVIDE THREE COPIES OF GENERAL CONTRACTORS GUARANTEE AND THREE COPIES OF GUARANTEES FROM ALL SUBCONTRACTORS STATING TIME PERIOD.

4. PROVIDE TWO SETS OF MAINTENANCE INSTRUCTIONS FOR ALL OPERATING EQUIPMENT.

5. UPON COMPLETION OF ALL PUNCH LIST ITEMS, SUBMIT LETTER STATING THAT FACT.

6. SUBMIT FINAL INVOICE FOR PAYMENT OF RETENTION INDICATING ON THE INVOICE "FINAL INVOICE". K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING BUILDING PERMIT AND AND ASSOCIATED DEVELOPMENT FEES (IF ANY) AT THE OWNER'S EXPENSE (NO COST TO THE CONTRACTOR). CONTRACTOR SHALL BE RESPONSIBLE FOR COST FOR: ALL OTHER PERMITS REQUIRED, ALL RE-INSPECTION FEES, ALL UTILITY METERS, BOXES AND CONNECTION FEES, ALL SPECIAL INSPECTIONS WHICH MAY BE REQUIRED BY LOCAL GOVERNMENT AGENCIES, ALL SITE INVESTIGATIONS FOR UNDERGROUND STRUCTURES, APPURTENANCES AND PROPERTY BOUNDARIES AS NEEDED. P. PAYMENT:
THE FOLLOWING PAYMENT SECTION WILL APPLY IF THE
CONSTRUCTION CONTRACT DOES NOT CONTAIN
EXPLICIT DETAILS OF HOW PAYMENTS ARE TO BE MADE.
THE GENERAL CONTRACTOR SHALL SUBMIT PAY
REQUESTS ON A MONTHLY BASIS FOR WORK
COMPLETED ON OR BEFORE THE 25TH OF EACH MONTH.
TEN (10) PERCENT RETAINAGE SHALL BE WITHHELD
FROM ALL MONTHLY PROGRESS PAYMENTS. THE TOTAL
ACCUMULATED RETAINAGE WILL BE DUE AND PAYABLE
UPON ISSUANCE OF AN OCCUPANCY PERMIT AND
APPROVED COMPLETION OF THE PUNCH LIST. NO
PAYMENT REQUEST SHALL BE MADE UNTIL BOTH A
SCHEDULE OF VALUE AND A CONSTRUCTION SCHEDULE
ARE SUBMITTED AND APPROVED BY THE OWNER. THE
CONTRACTOR WILL SUBMIT A "PARTIAL WAIVER OF
LIENS" ALONG WITH EACH PAY REQUEST. PAYMENT WILL
BE APPROVED ONLY FOR WORK IN PLACE, NO PAYMENT
WILL BE CONSIDERED FOR MATERIALS STORED ON-SITE. P. SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS, EQUIPMENT, PERMITS, INSPECTIONS AND SHALL PERFORM ALL WORK, PERMANENT AND/OR TEMPORARY, NECESSARY FOR THE COMPLETION OF THE PROJECT. THE FINAL WORK SHALL BE COMPLETE, CLEANED AND READY FOR OCCUPANCY. THE WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: M. MATERIALS: ALL MATERIALS SHALL BE NEW, UNUSED AND DELIVERED TO THE JOB SITE IN THEIR ORIGINAL CONTAINERS. ALL WOOD, GYPSUM BOARD AND SIMILAR MATERIALS SHALL BE STORED OFF THE GROUND AND PROTECTED FROM INCLEMENT WEATHER. ALL MATERIALS SUBJECT TO COLD DAMAGE SHALL BE STORED IN A HEATED LOCATION.

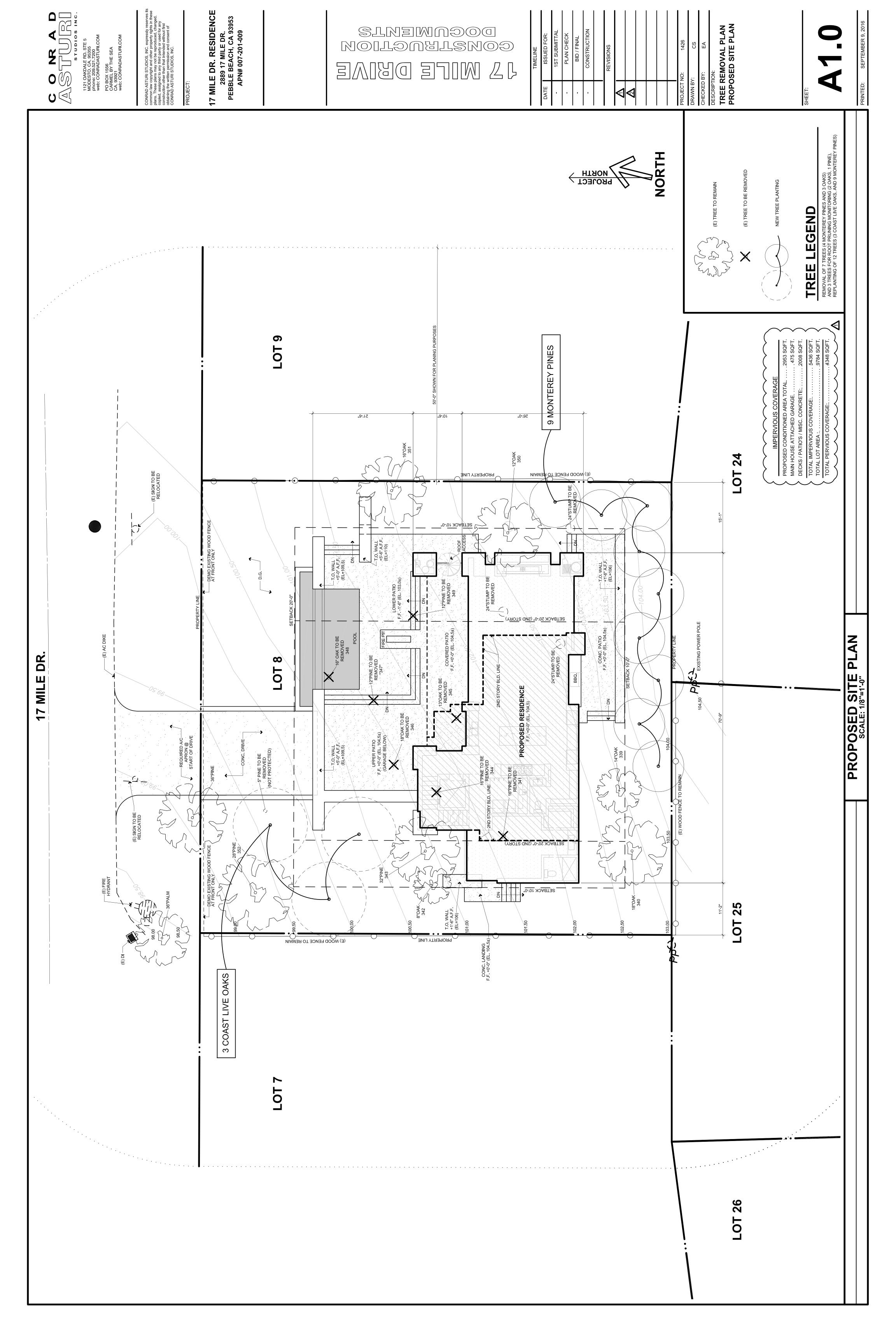
N. ALL BIDS/PRICES SHALL REFLECT THE WORK AS PER THE CONTRACT DOCUMENTS. ALTERNATES /
SUBSTITUTIONS WILL BE CONSIDERED ONLY WHEN SUBSTANTIAL SAVINGS ARE PROVIDED AND THE WORK/MATERIALS ARE OF EQUAL QUALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTING ANY CHANGES MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT AND OWNER. VERBAL APPROVALS WILL NOT BE ACCEPTED. THE CONTRACTOR SHALL EXERCISE CARE DURING ALL DEMOLITION AND/OR REMOVAL WORK INCLUDING PROTECTING EXISTING STRUCTURES/WORK THAT IS TO REMAIN AS WELL AS PROVIDING TEMPORARY SHORING, BRACING AND SUPPORT WHEN AND WHERE REQUIRED THROUGHOUT CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING STRUCTURES, EQUIPMENT, AND/OR FINISHES SHALL BE REPAIRED AT THE EXPENSE OF THE INVOLVED CONTRACTOR/SUBCONTRACTOR. LOCATE ANY UNDERGROUND UTILITIES BY CONTACTING UNDERGROUND SERVICE ALERT (USA) PRIOR TO DIGGING ETC. CONTRACTORS SHALL NOT ALLOW ANY PORTION OF NEW OR EXISTING WORK TO BE M. GUARANTEE: ALL WORK AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR, EXCEPT AS NOTED. GUARANTEE SHALL COMMENCE FROM THE DATE OF FINAL COMPLETION/OCCUPANCY PERMIT. ALL COSTS ASSOCIATED WITH CORRECTIONS, REPAIRS, REPLACEMENTS, ETC. INCLUDING LABOR AND MATERIALS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. J. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE OCCURRING FROM THEIR SUBCONTRACTORS AND/OR WORKMEN/EMPLOYEES DURING CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEFT OR VANDALISM OF ALL ITEMS ON-SITE WHICH ARE PART OF THE CONTRACT FOR THE DURATION OF THE PROJECT. H. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL EXISTING HAZARDOUS MATERIALS INCLUDING ASBESTOS AND LEAD PAINT. SHOULD ANY HAZARDOUS MATERIALS BE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER FOR DIRECTIONS FOR REMOVAL AND LAWFUL DISPOSAL. L. CHANGES: NO CHANGES WILL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER AND OWNER. IN NO CASE WILL CHANGES BE MADE WITHOUT THE DESIGNER'S REVIEW. TEMPORARY FACILITIES: THE CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES, SAFETY BARRICADES, SECURITY FENCING PLUS ALL REQUIRED TEMPORARY UTILITIES AND SIGNAGE AT THE JOB SITE. 4. THESE SPECIFICATIONS ARE TO BE TAKEN AS GENERAL NOTES AND ARE PART OF THE DRAWINGS. PORTIONS THAT OBVIOUSLY WERE NOT INTENDED TO APPLY MAY BE DISREGARDED. CODE PORTIONS THAT APPLY TO TYPICAL SINGLE FAMILY HOMES ARE MARKED "RES" AND PORTIONS THE APPLY TO LARGER PROJECTS ARE MARKED "COMM" FOR COMMERCIAL. THE DRAWINGS AND THE SPECIFICATIONS ARE MENT TO BE COOPERATIVE AND INCLUSIVE. INFORMATION SHOWN ON FOUR OR THE OTHER IS AS IF IT WAS SHOWN ON BOTH. CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATION MUST BE BROUGHT TO THE DESIGNER'S ATTENTION IN WRITING PRIOR TO PROCEEDING WITH THE WORK. IN NO CASE DO DRAWINGS OVERRIDE SPECIFICATIONS OR SPECIFICATIONS ON SPECIFICATIONS OR SPECIFICATIONS ON SPECIFICATIONS ON SPECIFICATIONS OF SPECIFICATIONS O 5. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE
AND THE PROPERTY OF CONRAD DESIGN GROUP LLC,
WHICH RESERVES ITS COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE DRAWINGS. THESE
DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR
ALTERED IN ANY FORM OR MANNER. THEY ARE NOT TO
BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST
OBTAINING THE EXPRESS WRITTEN PERMISSION AND
CONSENT OF CONRAD DESIGN GROUP. USE OR COPYING
OF THESE DRAWINGS IN PART OR IN WHOLE IS
UNLAWFUL WITHOUT THE WRITTEN PERMISSION OF THE
DESIGNER. 3. COMPLETENESS: IT IS NOT INTENDED THAT THE CONTRACT DOCUMENTS INCLUDE EACH AND EVERY SUBSYSTEM/COMPONENT NECESSARY TO FULLY AND PROPERLY COMPLETE THE WORK.
SUBSYSTEMS/COMPONENTS AND/OR DETAILS NORMALLY REQUIRED/INCLUDED AS TRADE PRACTICE MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. NEVERTHELESS, THE CONTRACTOR IS RESPONSIBLE FOR EACH ELEMENT OF WORK REQUIRED FOR A COMPLETE, PROPER AND FULLY FUNCTIONAL INSTALLATION. THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS. ON-SITE VERIFICATION OF ALL EXISTING CONDITIONS, DIMENSIONS AND/OR DETAILS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR FOR HIS OR HER INDIVIDUAL WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR, WHO SHALL NOTIFY THE OWNER AND DESIGNER (IN WRITING) OF THE SITUATION TO BE CLARIFIED OR CORRECTED. THIS SHALL OCCUR PRIOR TO COMMENCING THE WORK IN QUESTION. EXISTING CONDITIONS NOT SHOWN OR INDICATED ON THE DRAWINGS ARE TO REMAIN UNCHANGED. THE RESPONSIBILITY FOR IMPROPERLY COMPLETED WORK AND ANY FUTURE WORK AFFECTED DUE TO FAILING TO PROVIDE WRITTEN NOTIFICATION WITH RESULTING CLARIFICATION WILL BE BORNE SOLELY BY THE INVOLVED CONTRACTORS. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK, MATERIALS AND METHODS OF CONSTRUCTION UTILIZED ON THE PROJECT. THE CONTRACTOR SHALL PROVIDE PROPER, FULL TIME SUPERVISION OF THE WORK AND SHALL COORDINATE THE WORK OF ALL TRADES TO INSURE A TIMELY COMPLETION OF THE WORK. THE CONTRACTOR SHALL COORDINATE ALL WORK AND CONSTRUCTION C. THE DRAWINGS:

1. THE DRAWINGS AND SPECIFICATIONS FOR THE PROJECT WERE PREPARED BY AND ARE THE PROPERTY OF CONRAD ASTURI STUDIOS INC., THE DESIGNER. THE INTENT OF THESE DRAWINGS IS TO PROVIDE INFORMATION NECESSARY TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS IN ORDER TO BUILD THE WORK COMPLETE AND FINISHED, READY TO OCCUPY, WITHOUT EXCEPTION. UNDERGROUND: THE CONTRACTOR SHALL EXERCISE CARE DURING ALL CLEARING, GRUBBING AND EXCAVATION WORK. NO UNPROTECTED EXCAVATIONS SHALL BE LEFT OPEN FOR MORE THAN 24 HOURS. NO ON-SITE BURNING SHALL BE PERMITTED. NO ON-SITE WATER RETENTION SHALL BE PERMITTED. WHEN NECESSARY THE CONTRACTOR SHALL PROVIDE PUMPS TO REMOVE STANDING WATER. NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTY SHALL BE PERMITTED. WHERE APPLICABLE, CONTRACTOR WILL VERIFY LOCATION OF ALL PUBLIC UTILITIES BY CONTACTING THE COMPANIES OR THEIR UNDERGROUND SERVICE ALERT FACILITY TWO WORKING DAYS IN ADVANCE TO ALLOW THEM TO LOCATE AND MARK ALL PUBLIC UTILITIES. D. CODES:
ALL WORK PERFORMED AND MATERIALS SUPPLIED BY
THE GENERAL CONTRACTOR AND ALL
SUBCONTRACTORS SHALL COMPLY WITH THE
REQUIREMENTS OF ALL FEDERAL, STATE, LOCAL CODES
AND ORDINANCES IN EFFECT AT THE TIME OF THIS
CONSTRUCTION INCLUDING BUT NOT LIMITED TO THE
LATEST ADOPTED VERSIONS WITH ALL AMENDMENTS OF
THE FOLLOWING: THE 2013 EDITION OF THE FOLLOWING CODES:
CALIFORNIA BUILDING CODE (CBC)
CALIFORNIA RESIDENTIAL CODE (CRC)
CALIFORNIA ELECTRICAL CODE (CEC)
CALIFORNIA MECHANICAL CODE (CMC)
CALIFORNIA MECHANICAL CODE (CMC)
CALIFORNIA PLUMBING CODE (CFC)
CALIFORNIA FIRE CODE (CFC)
CALIFORNIA ENERGY CODE
& CALIFORNIA ENERGY CODE
& CALIFORNIA GREEN BUILDING STANDADS CODE
& CALIFORNIA GREEN BUILDING STANDADS CODE
& CALIFORNIA GREEN BUILDING STANDADS CONST
TYPE, ETC.

E. THE DESIGNER WILL HAVE A MINIMAL ROLE IN
CONSTRUCTION OBSERVATION OF THIS PROJECT. THE
CONTRACTOR IS PRIMARILY RESPONSIBLE FOR THE
CONTRACTOR IS PRIMARILY RESPONSIBLE FOR THE
QUALITY CONTROL AND CONSTRUCTION STANDARDS
FOR THIS PROJECT. ALL QUESTIONS / CLARIFICATIONS
SHALL BE BROUGHT TO THE ATTENTION OF THE
CONTRACTOR. THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES FROM DAMAGE AND SHALL BE RESPONSIBLE FOR ANY REQUIRED REPAIR TO ADJOINING PROPERTIES AS WELL AS REPAIRS TO EXISTING CURBS, SIDEWALKS AND UTILITIES. 2. THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENT. CONTRACTOR AND SUB-CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF ALL CODES APPLICABLE TO THIS PROJECT. F. THE GENERAL CONTRACTOR SHALL DEVELOP AND IMPLEMENT A SAFETY PROGRAM PROTECTING ALL WORKMEN, THE OWNER AND THE GENERAL PUBLIC. THE GENERAL CONTRACTOR SHALL ENSURE COMPLIANCE BY ALL SUBCONTRACTORS AND THEIR WORKMEN. A. CONTRACT: THE CONTRACTUAL AGREEMENT FOR THE PROJECT SHALL BE AIA DOCUMENT A101, STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.

Z. GROUND FAULT CIRCUIT INTERRUPTER SHALL BE PROVIDED AT ALL OUTDOOR OUTLETS, KITCHEN COUNTER OUTLETS, BATHROOM OUTLETS, GARAGE OUTLETS AND OUTLETS WITHIN 6' OF SINKS, CEC 210.

GENERAL NOTES AND SPECIFICATIONS



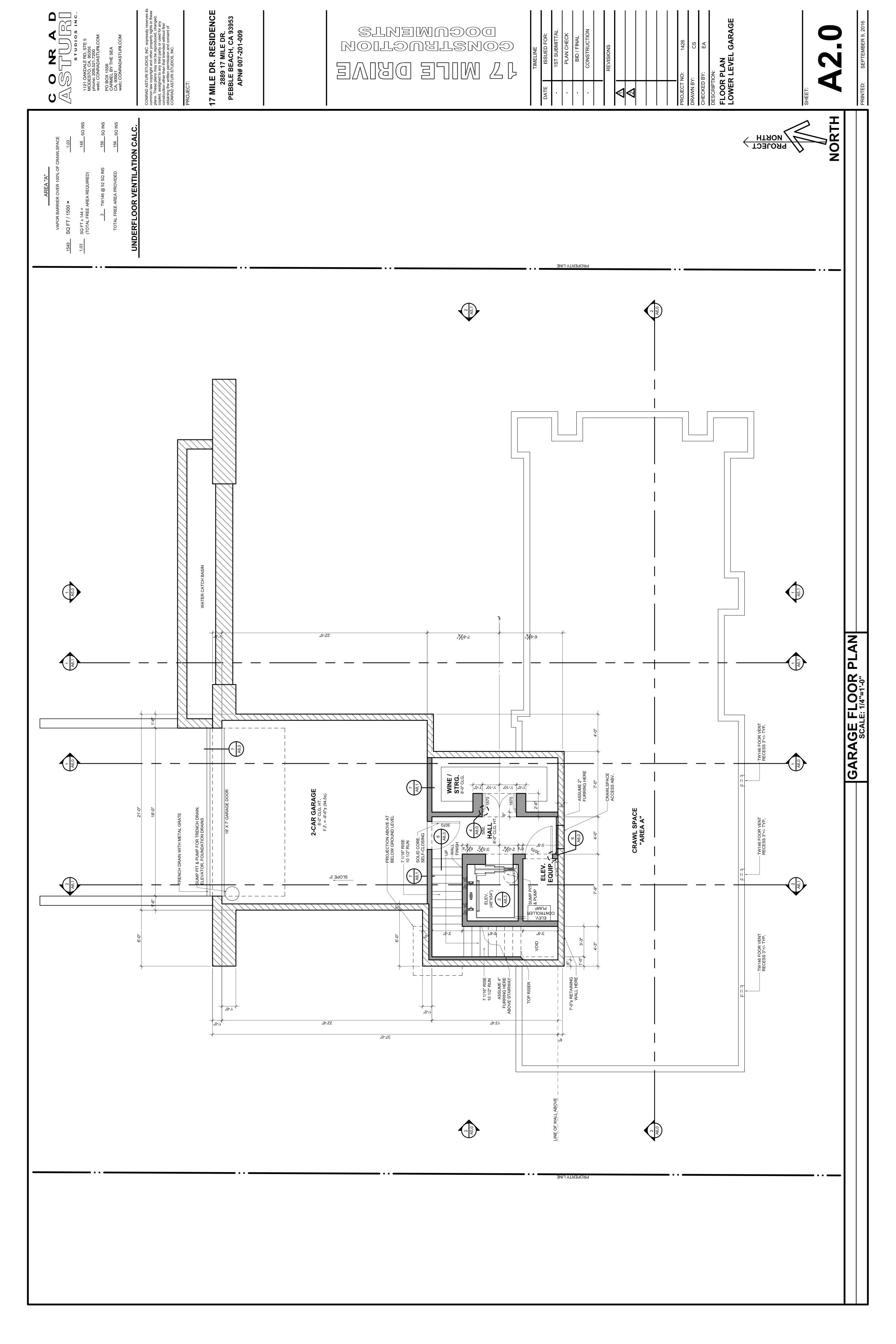


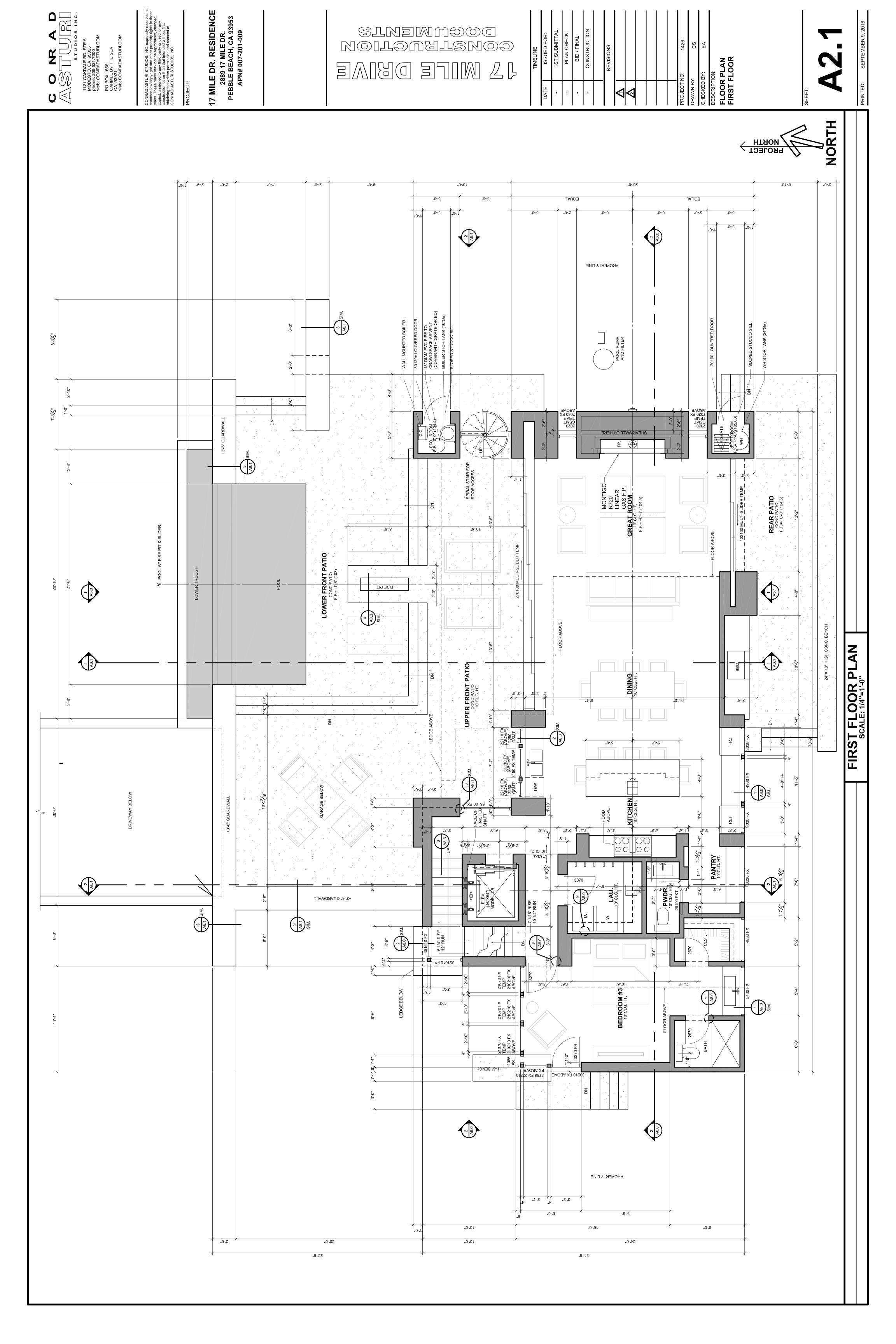


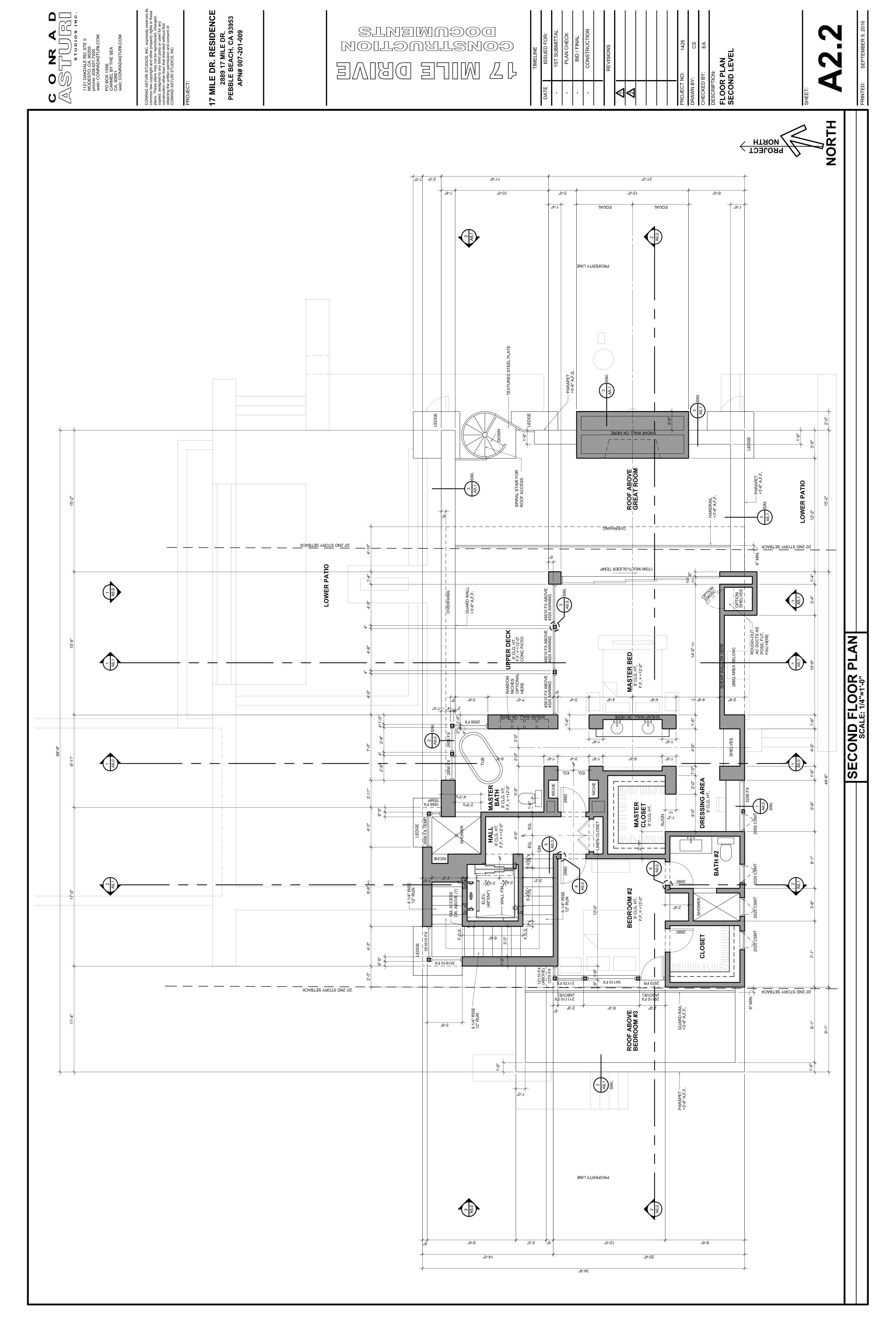
17 MILE DR VIEW

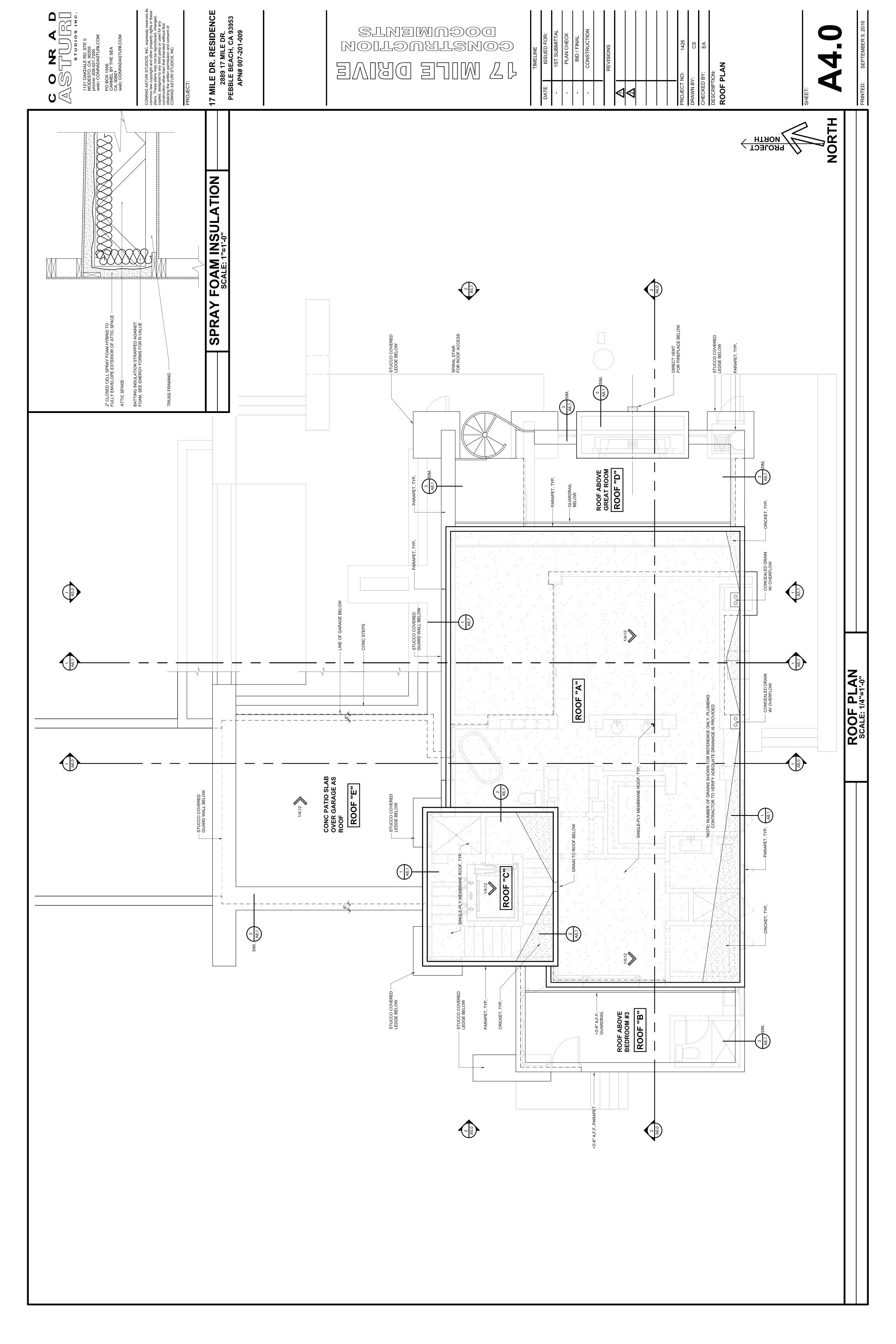


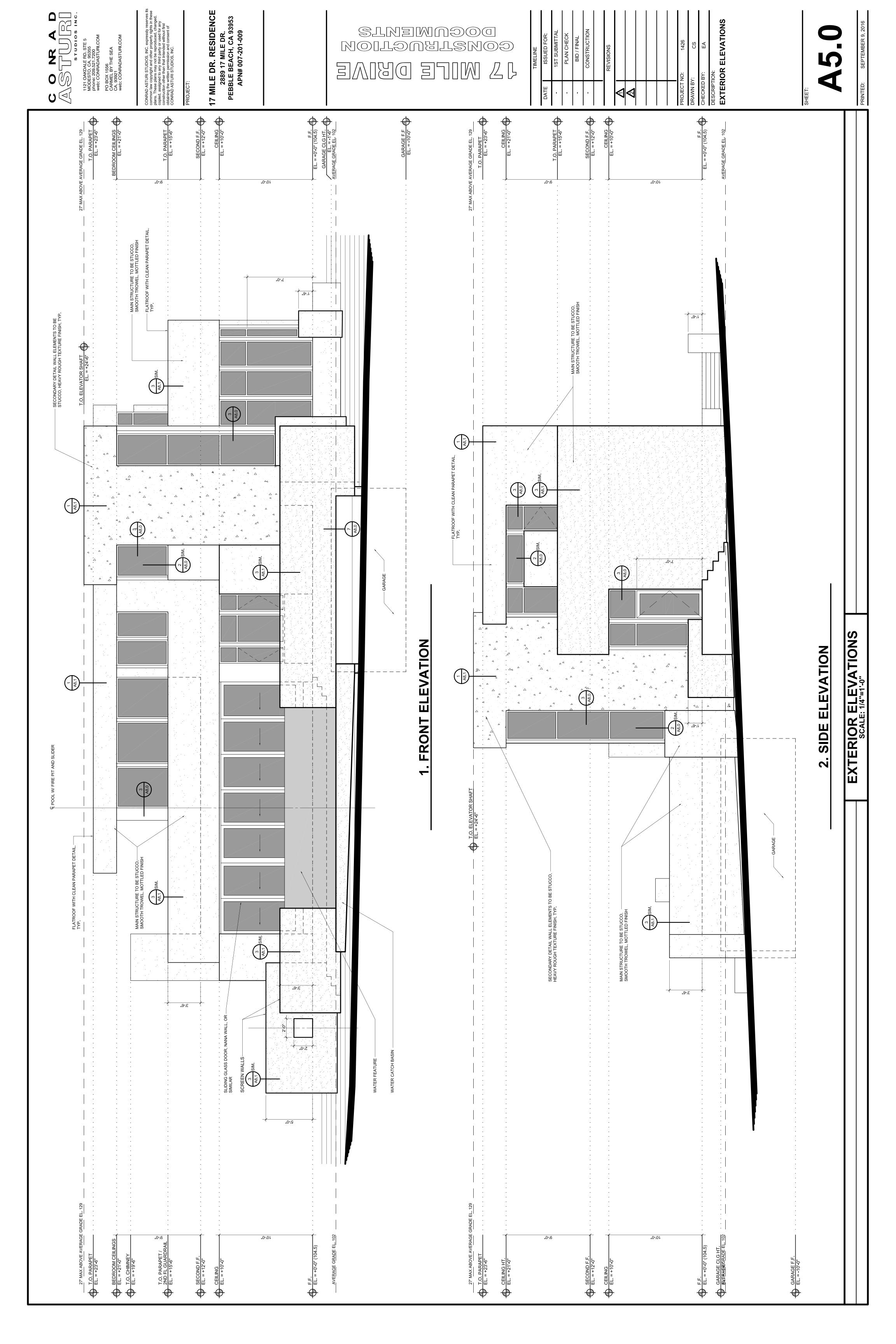
D. INSIDE LOT

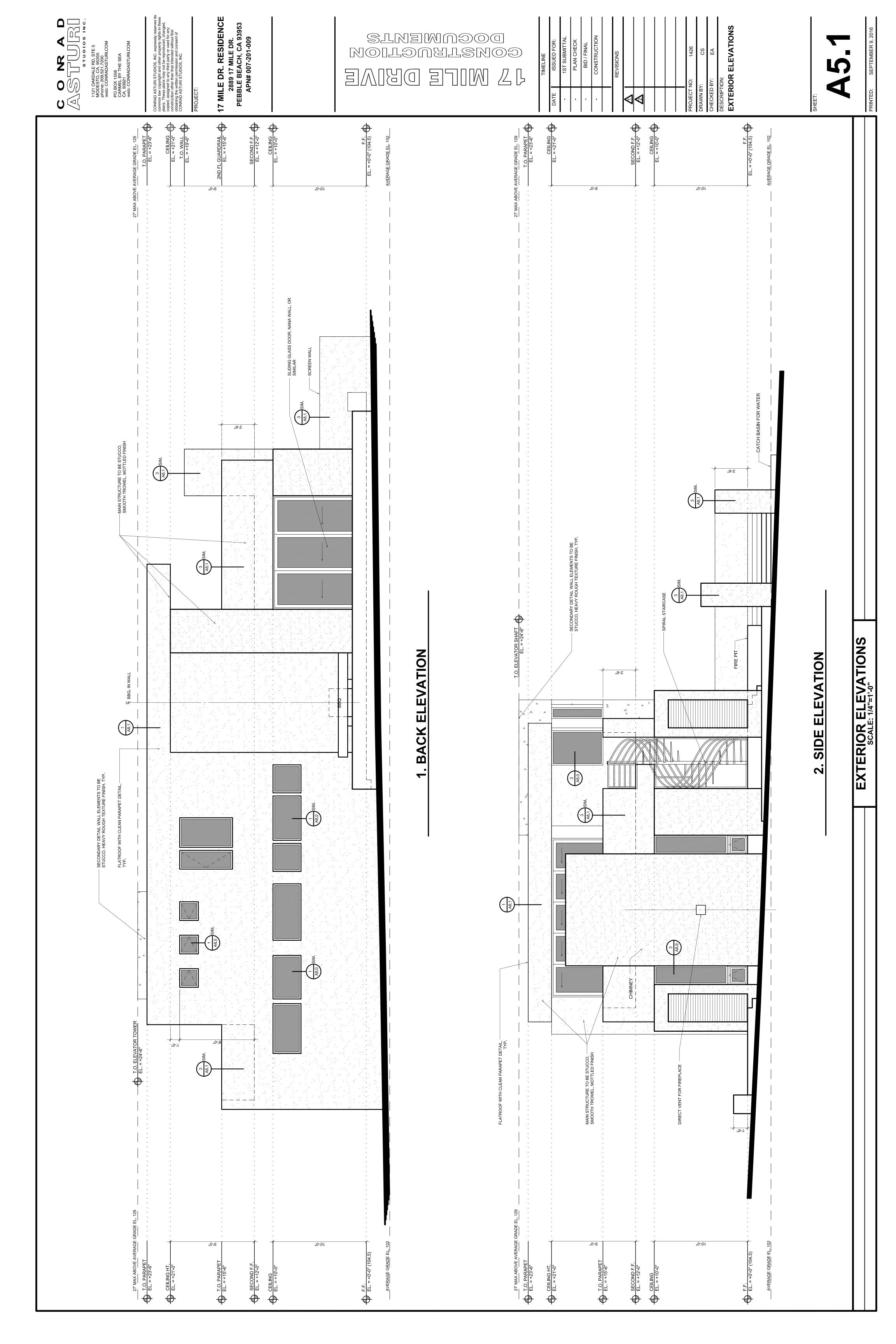












SECONDARY DETAIL WALL ELEMENTS TO BE STUCCO, HEAVY VERTICAL TEXTURE FINISH, TYP.

MAIN STRUCTURE TO BE STUCCO, SMOOTH TROWEL FINISH

SECONDARY DETAIL WALL ELEMENTS TO BE STUCCO, HEAVY VERTICAL TEXTURE FINISH, TYP.

MAIN STRUCTURE TO BE STUCCO, SMOOTH TROWEL FINISH

NANA-WALL (OR SIM.) — GLAZING SYSTEM, TYP.

FRONT / RIGHT SIDE OF HOUSE **m**

SECONDARY DETAIL WALL ELEMENTS TO BE STUCCO, HEAVY VERTICAL TEXTURE FINISH, TYP.

CHIMNEY

NANA-WALL (OR SIM.) GLAZING SYSTEM, TYP.

MAIN STRUCTURE TO BE STUCCO, SMOOTH TROWEL FINISH

FRONT OF HOUSE

WATER FEATURE

MAIN STRUCTURE TO BE STUCCO, SMOOTH TROWEL FINISH

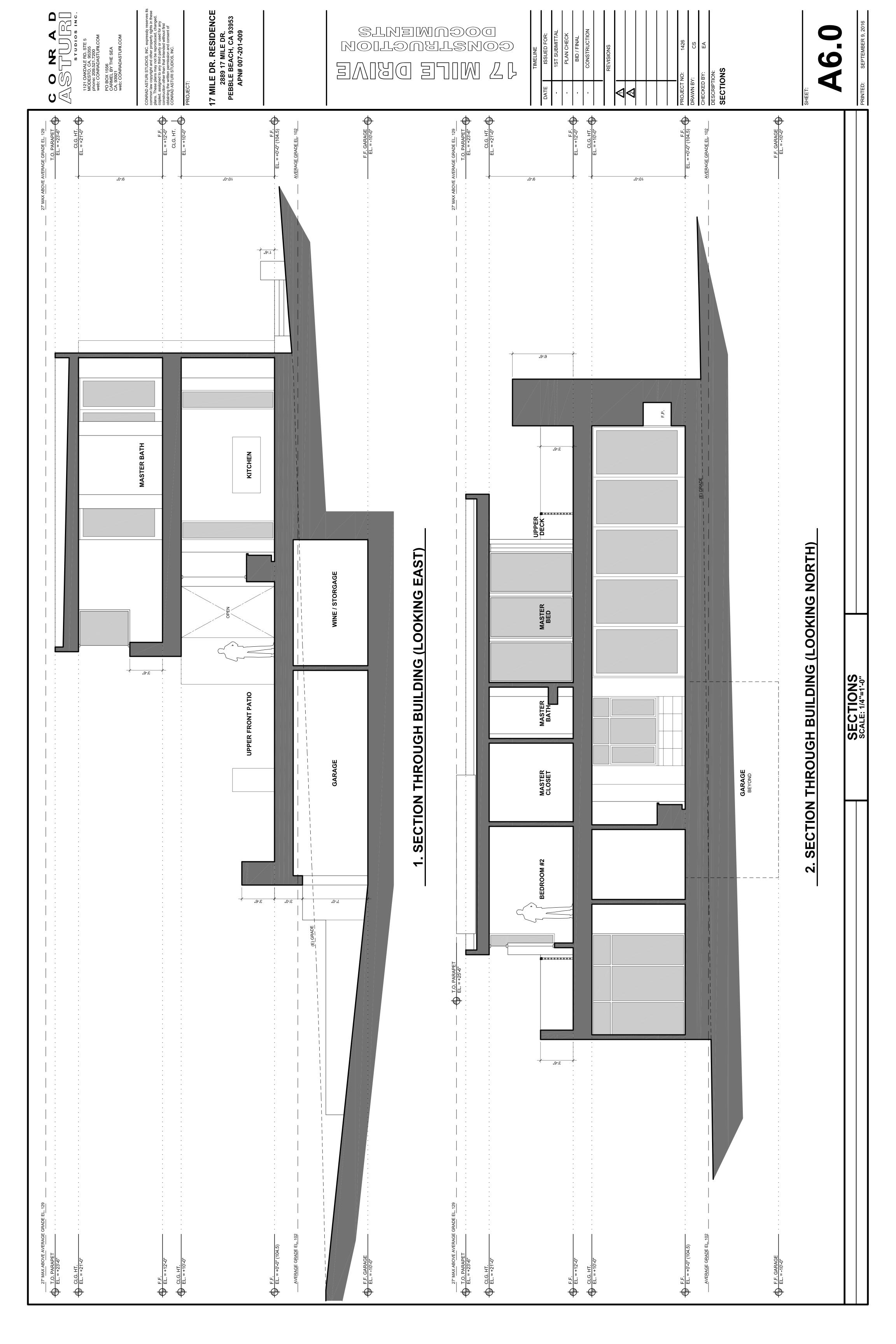
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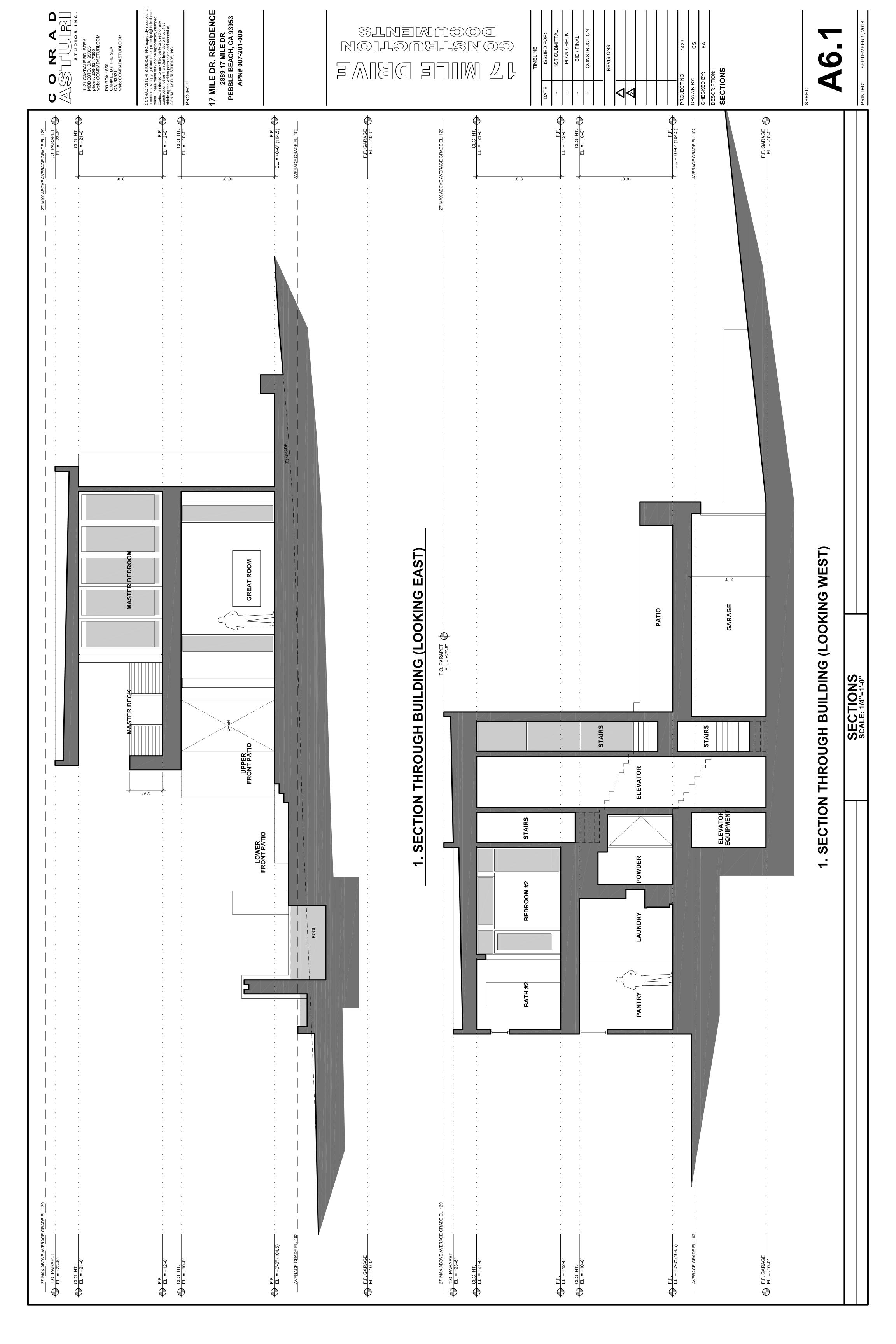
B. FRONT / LEFT SIDE OF HOUSE

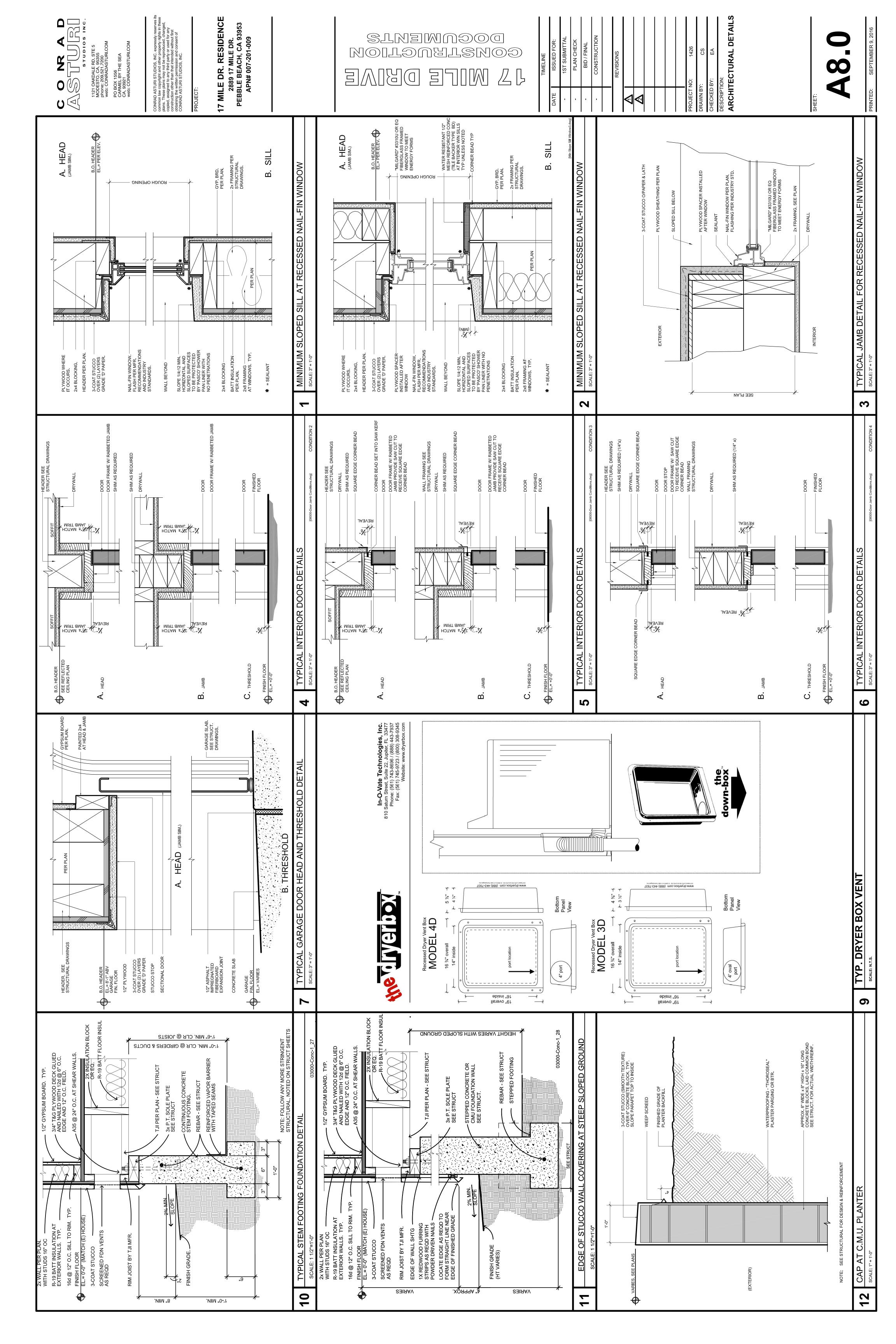
SCREEN WALL

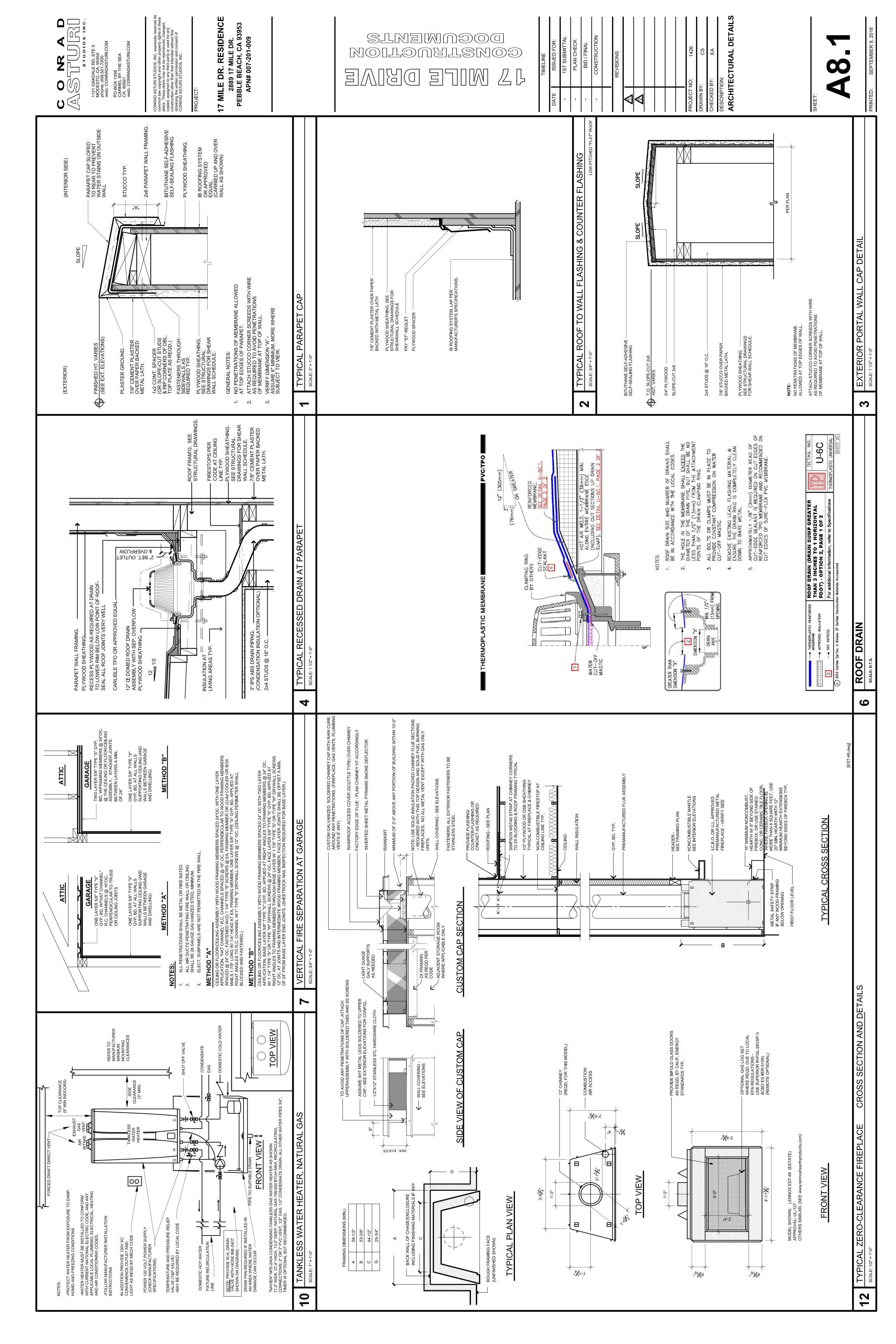
C. BACK OF HOUSE

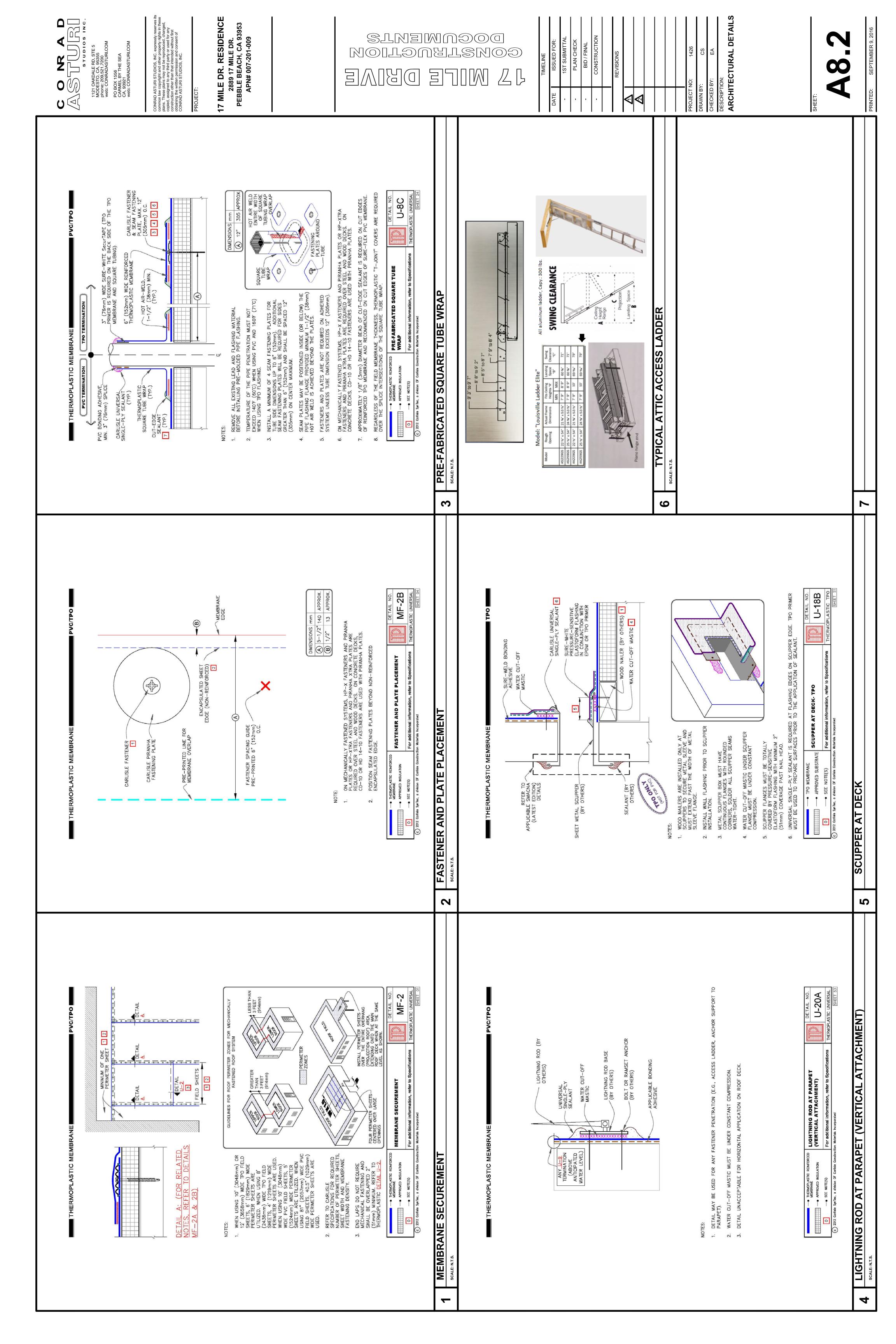
ARTIST'S RENDERING,SHOWN FOR ORIENTATION, MATERIAL TEXTURE, AND COLOR REFERENCE.. DETAILS MAY VARY SLIGHTLY.

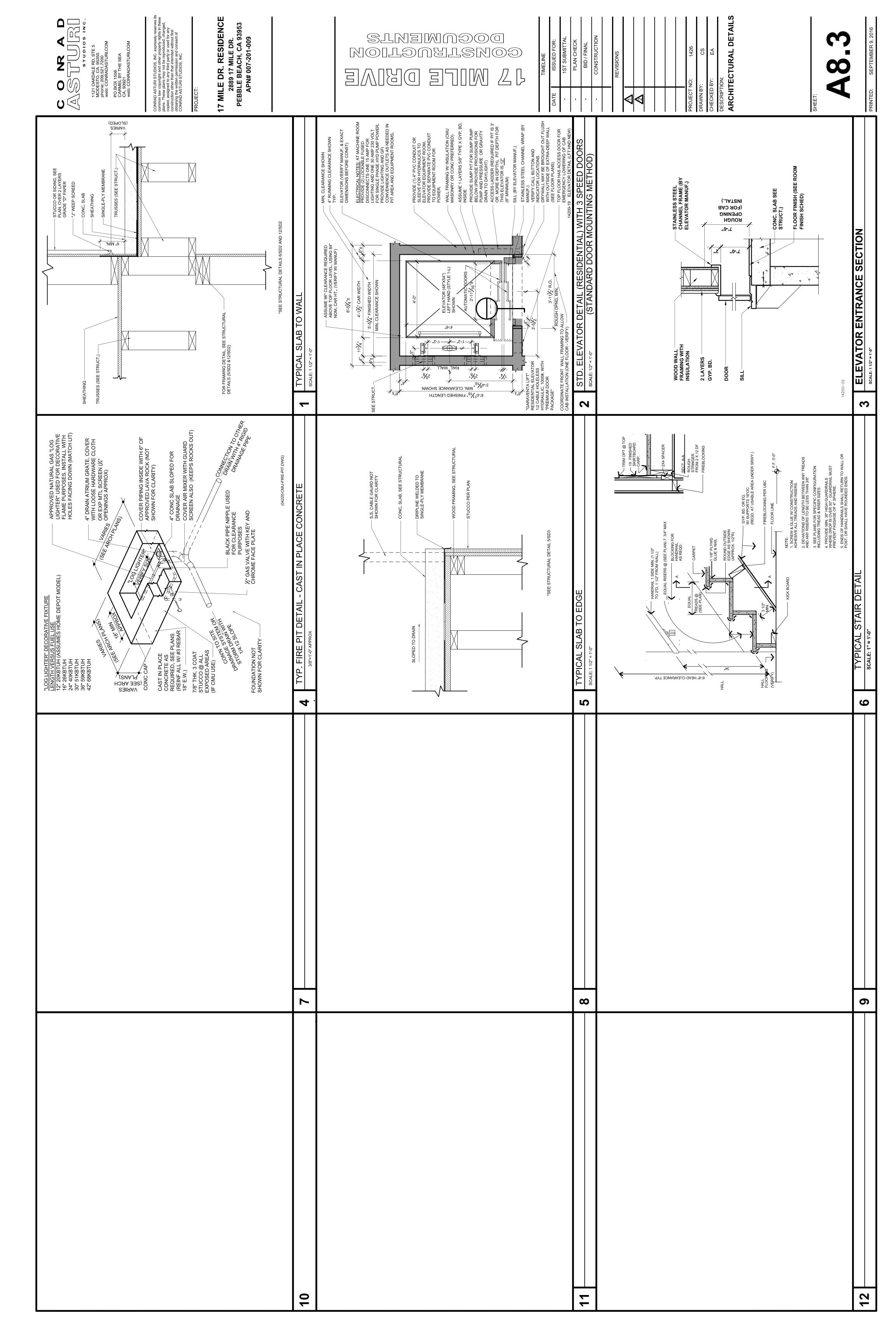












1. REFER TO GENERAL NOTES AND DETAILS AS SHOWN ON THESE PLANS. 2. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, THE CALIFORNIA BUILDING CODE AND GEOTECHNICAL REPORT ENTITLED:

GRADING NOTES

"GEOTECHNICAL INVESTIGATION FOR THE PROPOSED NEW SINGLE FAMILY RESIDENCE LOCATED AT 2889 17 MILE DRIVE, APN 007-201-009, IN PEBBLE BEACH, CALIFORNIA; JOB #6662"

PREPARED BY: SOIL SURVEYS GROUP, INC. 103 CHURCH STREET SALINAS, CALIFORNIA 93901

DATED: MARCH 16, 2016

APN: 007-201-009

3. ALL GROUNG AND COMPACTON SHALL BE DONE IN THE PRESENCE OF AND TESTED BY THE SOLIS BICKNERS AND/OR SOLIS TISTING COMMISCATOR STALL BE DONE IN THE PRESENCE OF AND TESTED BY THE SOLIS BICKNERS AND COMPACING STALL SHAMIT TISTING COMMISCATOR STREAMS THE RECUMBERGENEY OF GACHAR CORRESPONDED TO THE SOLIS BICKNERS THE COMPACING STREAMS THE RECUMBERGENEY OF GACHAR CORRESPONDED TO THE SOLIS BICKNERS THE COMPACING STREAMS THE PRILITY BY THE SOLIS BICKNERS THE COMPACING STREAMS THE PLANT OF GACHAR CORRESPONDED TO GACHAR CORRESPONDED TO THE SOLIS BICKNERS THE COMPACING STREAMS THE PLANT OF GACHAR CORRESPONDED TO GACHAR COR

LandSengineers.com

₽: 831.655.2723 **₹:** 831.655.3425 2460 Garden Road, Suite G, Monterey, California 93940 SID

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1. ALL WORK SHALL BE COMPLIED IN ACCORDANCE WITH THESE PLANS AND SECRETANDIS HERE ON, IN ADDITION ALL WORK SHALL BE COMPLIED IN ACCORDANCE WITH THESE PLANS DEPENDENCE AND ENTERING CODE. CANDERGOOD OF LEGISLA STATES AND ACCORDANCE AND SHALL SHALL SHALL SHALL MANITH THE STAN COST ALL SHALL SHALL

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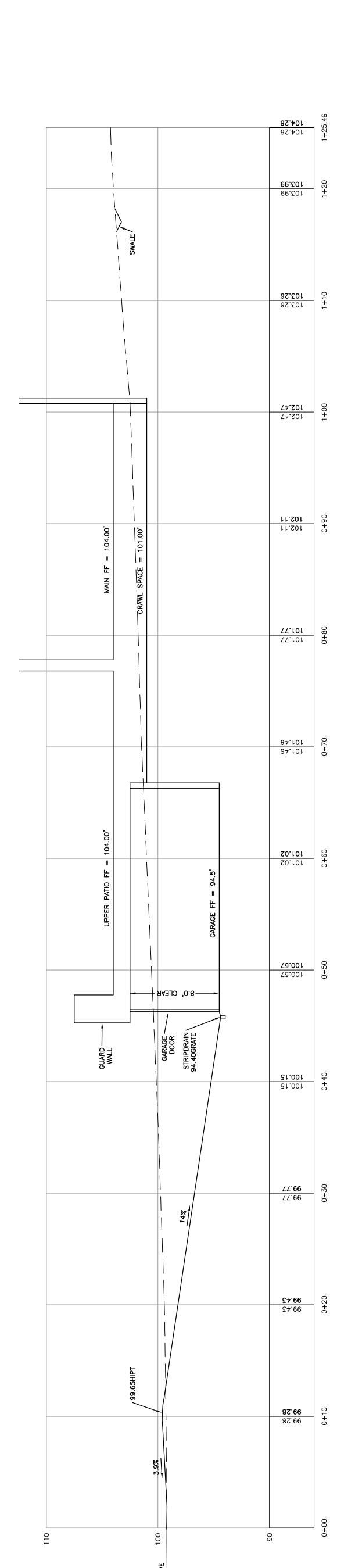
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SECTION

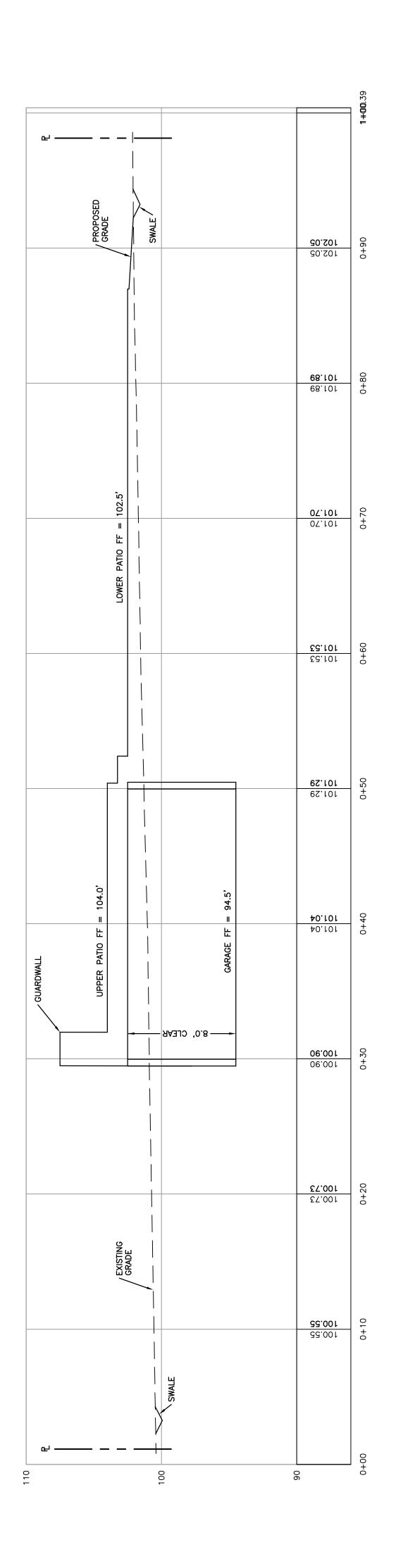
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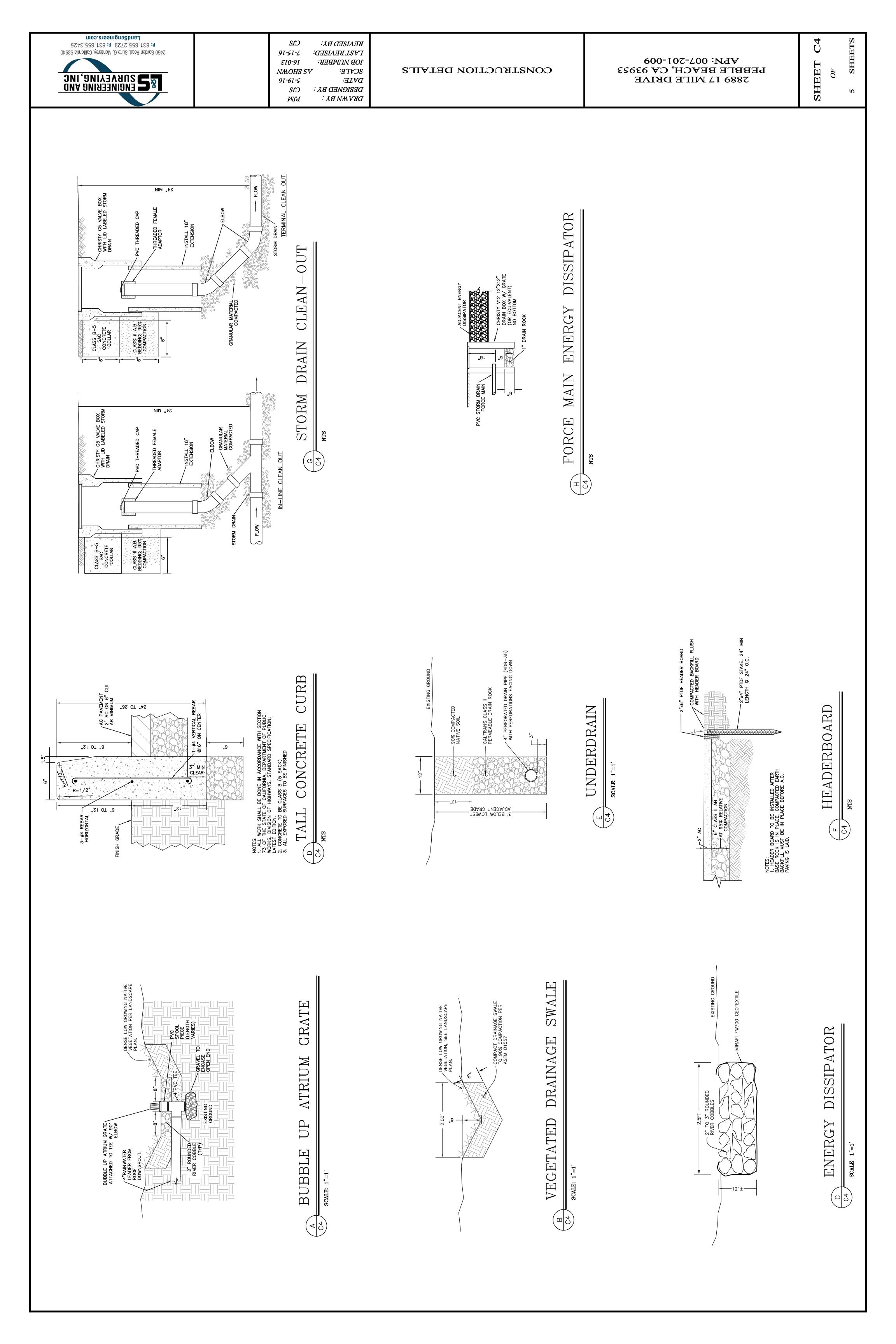
SITE

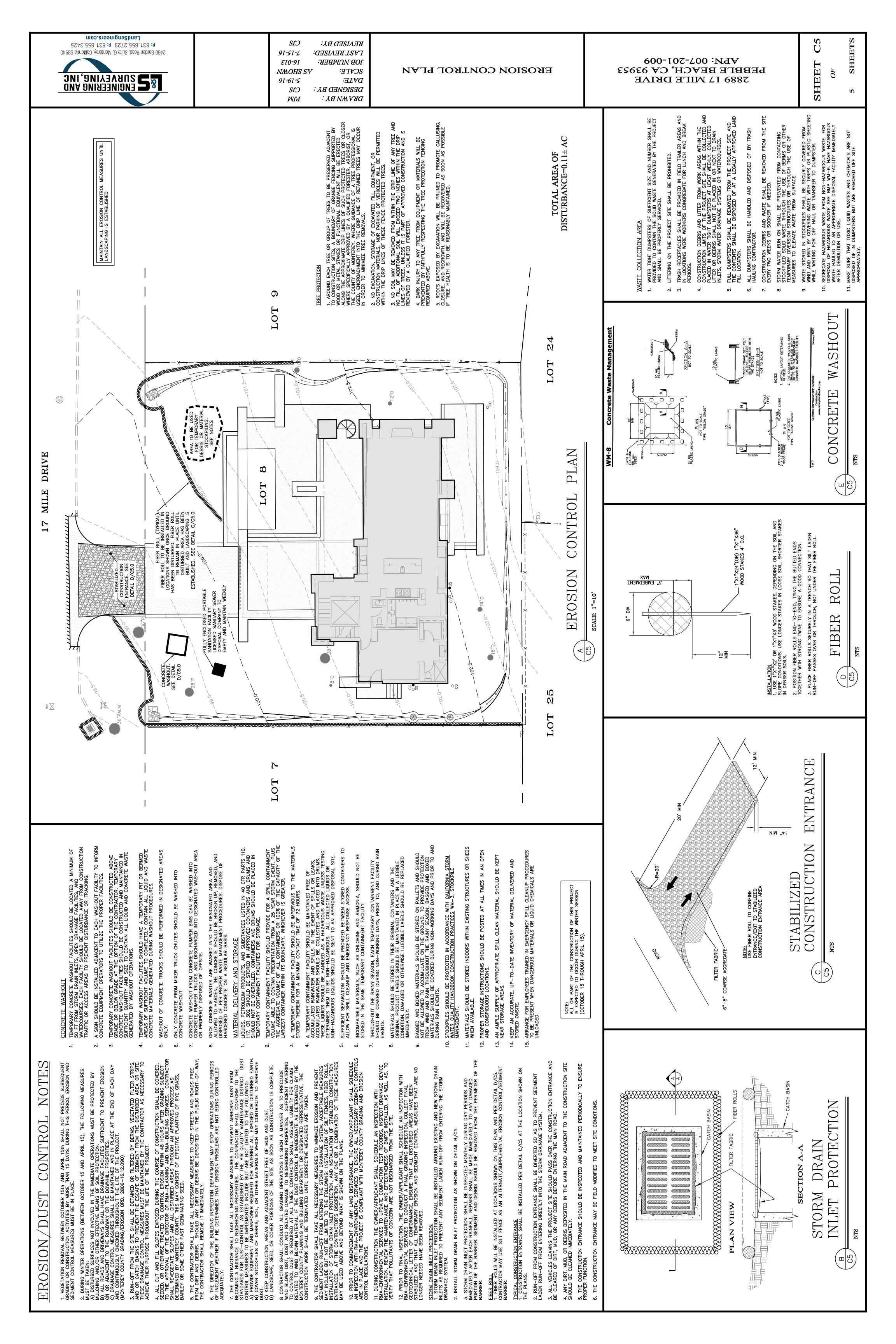


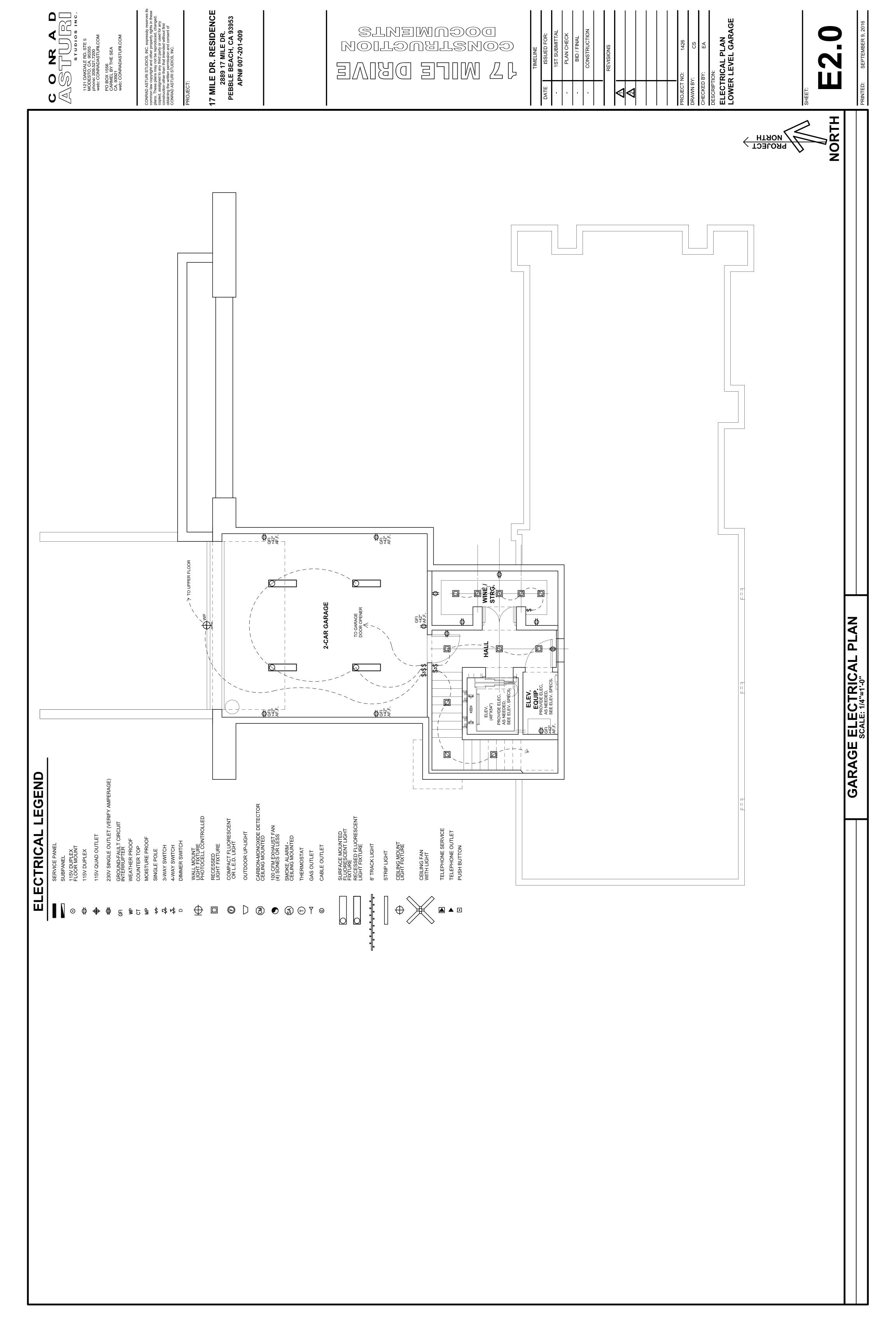


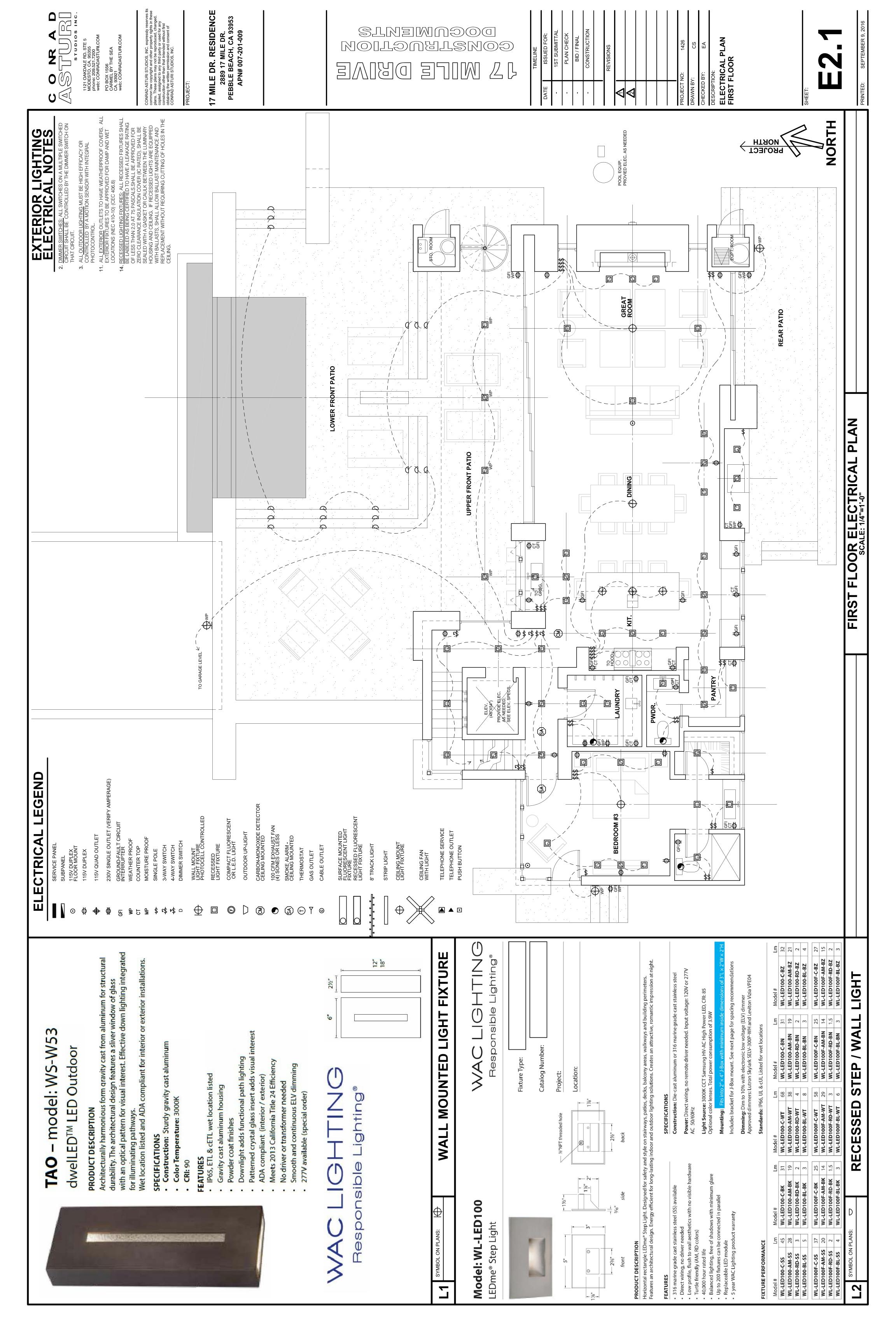
SITE CROSS SECTION
C3 1"=5' HORIZONTAL 1"=5' VERTICAL

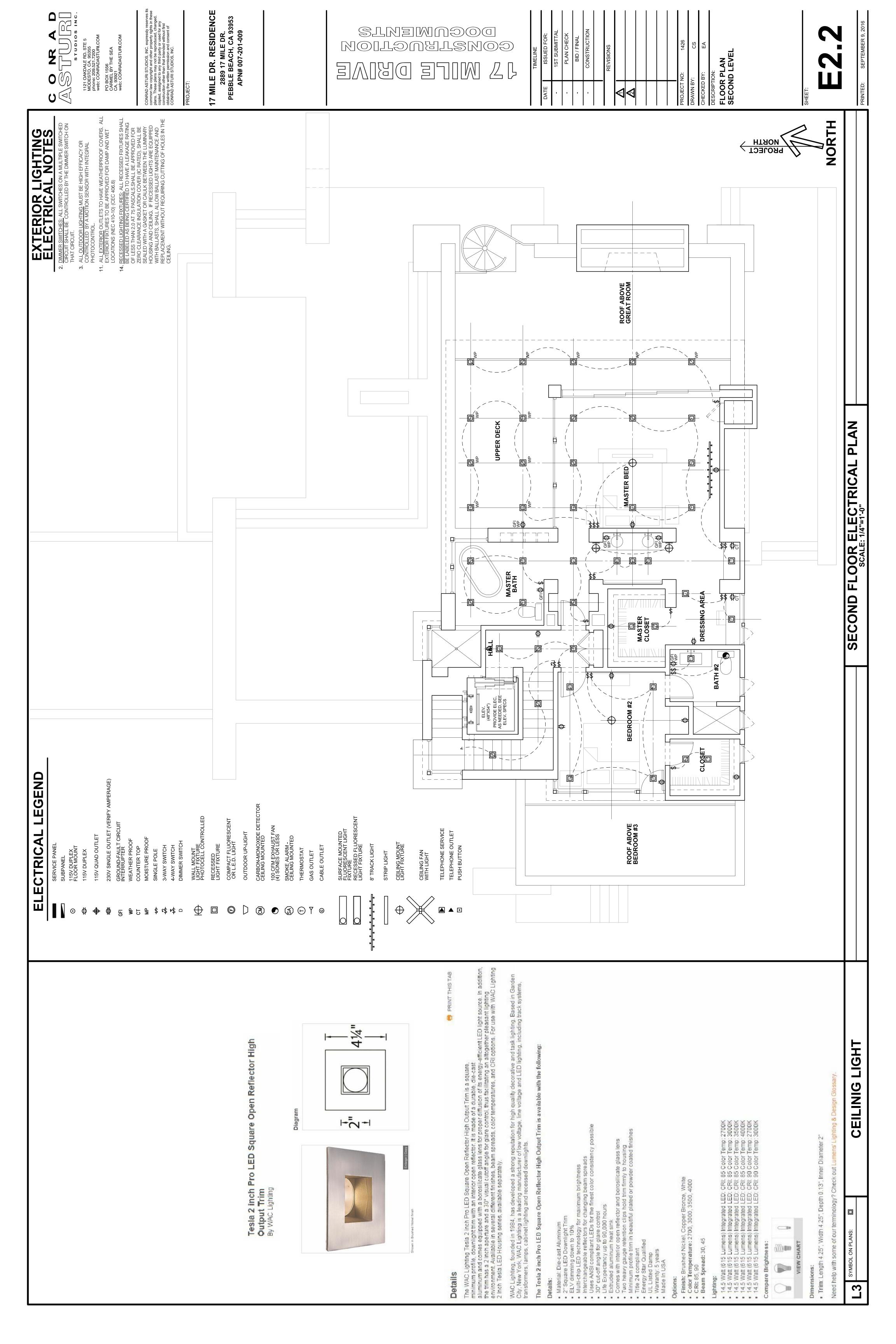












ď PEBBLE BEACH, CA 93953 APN: 007-201-009 NAJOS APN: 007-201-009 DESIGN STUDIO kenwestfall@sbcglobal.net Phone (209) 572-3771 PO Box 1731 Modesto, CA 95353 17 MILE DRIVE 2889 17 MILE DRIVE Landscape Architect 4138 Ken Westfall indscape Area (Sq Feet) 1.0 GPH LOT 23 CONTRACTOR TO PROVIDE IRRIGATION SYSTEM IS FOR ESTABLISH RAINFALL ONCE ESTABLISHED. IRRIGATION LEGEND Drb I HAVE COMPLIED EFFICIENT USE OF PROPERTY LINE SETBACK 20-0'(2U) STORM 2,283 ANTED: (Not Including Nath **TO BE PL** D SETBACK 10-0" OT 25 (E) WOOD FENCE TO REMAIN PROPERTY LINE 0.92 GPM DRIP ZONE REAR (2 | £

LANDSCAPE PLANTING PLAN
PEBBLE BEACH, CA 93953 APN: 007-201-009 17 MILE DRIVE 2889 17 MILE DRIVE

DESIGN STUDIO

Phone (209) 572-3771 PO Box 1731 Modesto, CA 95353 Ken Westfall

kenwestfall@sbcglobal.net Landscape Architect 4138

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ALL LANDSCAPED AREAS AND FENCES SHALL BE CONTINUOUSLY MAINTAINED BY THE APPLICANT; ALL PLANT MATERIAL SHALL BE CONTINOUSLY MAINTAINED IN A LITTER-FREE, WEED FREE, HEALTHY, GROWING CONDITIONS. **PLANTS** ON SYSTEM IS FOR ESTABLISHI L ONCE ESTABLISHED. IRRIGATIC RAINFALL

TOTAL LANDSCAPE AREA TO BE PLANTED: 2,283 of

(Not Including Native/Existing Vegetation)

PLANTING NOTES:

SOIL PREPARATION, MULCH AND AMENDMENTS:

(A) PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS,
ONLY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT
(B) SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO R
PLANTS SELECTED(SEE SECTION 492.5).

(C) FOR LANDSCAPE INSTALTATIONS, COMPOST AT A RATE OF A MIS
SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE
INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILL
(D) A MINIMUM THREE INCH(3") LAYER OF MULCH SHALL BE APPLIED
AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SE

AS PART OF

PLANT LEGEND

B B B B B



ERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE IRRIGATION DESIGN PLAN. LOT 23 I HAVE O EFFICIEN - HYDROZONE: LOW WATER-USE TREES AND SHRUBS 25 N

PROPERTY LINE PETBACK 10-0 SETBACK 20-0'(2ND STORY) (ω) $\overline{\mathbf{w}}$ <u>(w)</u> (ω) (ψ) (ω) 4 \mathcal{O} (E) FIRE HYDRANT SETBACK 10'-0" PROPERTY LINE (E) WOOD FENCE TO REMAIN HYDROZONE: LOW WATER-USE TREES AND SHRUBS -REVEGETATION TREES

DETAIL SHEET PEBBLE BEACH, CA 93953 600-105-700 :NAA 2889 17 MILE DRIVE MILE DRIVE

DESIGN SINDIO



