

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

KRECHUNIAK & NOORZOY (PLN160270)

RESOLUTION NO. 17-013

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project Categorically exempt per section 15303 (a) of the CEQA Guidelines;
- 2) Approve a Use Permit to allow the removal of four (4) Monterey pine and three (3) oak trees; and
- 3) Approve a Design Approval to allow the construction of a 2,781 square foot two-story single family dwelling with an attached 500 square foot two-car garage and grading (Approx. 300 cu. yds.), and is subject to 12 conditions of approval.

2889 17 Mile Dr. Pebble Beach, Greater Monterey
Peninsula Area Plan (APN: 007-201-009-000)

The Krechuniak & Noorzoy application (PLN160270) came on for public hearing before the Monterey County Zoning Administrator on February 23, 2017. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** CONSISTENCY / SITE SUITABILITY / NO VIOLATIONS / HEALTH AND SAFETY – The proposed project and is consistent with the 2010 Monterey County General Plan, the Greater Monterey Peninsula Area Plan, and the requirements of the applicable zoning ordinance (Title 21), to include Monterey County Code (MCC) Chapter 21.44 (Design Control Zoning District), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the use proposed, and no violations exist on the property.
EVIDENCE: a) The proposed project consists of a Design Approval to allow the construction of a 2,781 square foot single family dwelling with an attached 500 square foot garage and associated grading. The project also includes a Use Permit to allow the removal of four (4) Monterey pine and three (3) oak trees. The proposed project is consistent with the allowable uses for the specified residential zone. The project site is an interior lot with existing single family residential homes to either side.
b) The property is located at 2889 17 Mile Drive, Pebble Beach

(Assessor's Parcel Number 007201-009-000), Greater Monterey Peninsula Area Plan, in the inland area of the Del Monte Forest. The parcel is zoned Medium Density Residential, 4 units per acre, with Building site 6, Design Control, and Parking and Major Recreational Equipment storage in Seaward Zone, Zoning District Overlays (MDR/4-B-6-D-RES), which allows the construction of a single family dwelling with issuance of a Design Approval and tree removal with the granting of a Use Permit. Therefore, the project is an allowed land use for this site.

- c) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any active violations existing on the subject property.
- d) As proposed, the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- e) The following reports have been prepared and submitted for the proposed project:
 - Geotechnical Investigation (LIB160187) prepared by Soil Surveys Group, Inc., Salinas, California, May 16, 2016;
 - Preliminary Cultural Resources Reconnaissance (LIB160123) Prepared by Susan Morley, M. A., Register of Professional Archeologists, Marina, California, April 1, 2016;
 - Tree Resource Assessment (LIB160124) prepared by Frank Ono, Urban Forester, Member Society of American Foresters #48004, Pacific Grove, California, March 30, 2016.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the development and use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- f) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC, at a duly-noticed public meeting on June 16, 2016, voted to support the project as proposed by a 7-0 vote.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160270.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.
- a) Pursuant to Chapter 21.44 of the Monterey County Code (Title 21 Zoning Ordinance), the proposed project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and

neighborhood character..

- b) The design of the residence is consistent with the existing neighborhood character because it is a balanced due to the proportional nature of the structural elements (walls & window placement, two (2) story design at 27 feet maximum height limit, that is proposed to have a stucco exterior finish with proposed earth tone colors.
- c) The proposed development is only partially visible from 17 Mile Drive; therefore, the proposed single family structure would not have an impact on the public viewshed and would not create substantially adverse visual impacts when viewed from 17 Mile Drive. The proposed landscape plan will provide partial post-construction screening from pedestrian/ travelers and neighbors is consistent with the neighborhood character, and assures visual integrity.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN160270.

3. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 (a) categorically exempts the construction of one single-family residence or a second dwelling unit in a residential zone.
 - b) This project meets the standards of the exemption because the project involves for the construction of one (1) single family residence on a vacant lot.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact.
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160270.

4. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Section 21.44.070 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find the project Categorically exempt per section 15303 (a) of the CEQA Guidelines; and

- 2) Approve a Design Approval to allow the construction of a 2,781 square foot single family dwelling with an attached 500 square foot garage and associated grading and a Use Permit to allow the removal of four (4) Monterey pine and three (3) oak trees, in general conformance with the attached plans, colors, and materials and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 23rd day of February, 2017


Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON FEB 27 2017.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE MAR 09 2017.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160270

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

This Design Approval and Use Permit (PLN160270) allows the construction of a 2,781 square foot single family dwelling with an attached 500 square foot garage and associated grading (approximately 1,084 cubic yards of cut and 74 cubic yards of fill) and the removal of four Monterey Pine trees and three Oak trees. The property is located at 2889 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 007-201-009-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or
Monitoring
Action to be Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure:

"A Use Permit to allow the removal of four Monterey pine and three oak trees; and Design Approval to allow the construction of a 2,781 sq. ft. two-story single family dwelling with an attached 500 sq. ft. two -car garage and grading (Approximately 1,084 cubic yards of cut/74 cubic yards of fill). Resolution Number 17-013) was approved by the Zoning Administrator for Assessor's Parcel Number 007-201-009-000 on February 23, 2017. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

**Compliance or
Monitoring
Action to be Performed:**

Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

**Compliance or
Monitoring
Action to be Performed:**

The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to RMA - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to RMA-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of RMA - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

9. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by RMA-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to RMA-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

10. WR001 - DRAINAGE PLAN

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts from impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

11. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the DPW.

12. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the DPW.

GENERAL NOTES

1. THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING HIS BID. THE LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE ROUGH GRADED TO PLUS OR MINUS ONE TENTH OF AN INCH. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. FOUNDINGS AND CONTIGUOUS TO THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SURFACE DRAINAGE FOR ALL PLANTING AREAS, NO LOW SPOTS OR STANDING WATER WILL BE ACCEPTED. THE SITE SHALL BE FREE FROM ALL DEBRIS.
2. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH ALL STATE AND CITY STANDARD SPECIFICATIONS, AND ALL IMPROVEMENTS TO DATE. ALL WORK WHICH REQUIRES INSPECTION SHALL BE UNDER THE INSPECTION OF THE CITY.
3. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTAINED AND THAT THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
4. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.
5. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED ENDOORSEMENT PERMITS FROM THE CITY DEPARTMENT OF PUBLIC WORKS OR ANY OTHER APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF WORK WITHIN THE EXISTING CITY RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
6. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.
7. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE COST OF REPLACING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND REPLACEMENT OF EXISTING IMPROVEMENTS.
9. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP HIS OWN DEBRIS AND LEAVING THE SITE IN A SAFE CONDITION UPON COMPLETION OF THE PROJECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR A FINAL CLEANUP OF HIS WORK TO A MINIMUM BROOD CLEAN CONDITION.
10. LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLETION PER THE STATE WATER EFFICIENCY REQUIREMENTS AS DESCRIBED BELOW IN SECTION 492.9.

5.492.9. CERTIFICATE OF COMPLETION

- (A) THE CERTIFICATE OF COMPLETION (SEE APPENDIX C FOR A SAMPLE CERTIFICATE) SHALL INCLUDE THE FOLLOWING SIX (6) ELEMENTS:
- (1) PROJECT INFORMATION SHEET THAT CONTAINS:
 - A. PROJECT NAME
 - B. PROJECT ADDRESS AND LOCATION
 - C. PROJECT ADDRESS AND MAILING ADDRESS
 - D. PROPERTY OWNER NAME, TELEPHONE, AND MAILING ADDRESS
 - E. PROPERTY OWNER NAME, TELEPHONE, AND MAILING ADDRESS
 - F. THE IRREGULAR DESIGN PLAN, OR THE LICENSED LANDSCAPE CONTRACTOR THAT THE LANDSCAPE PROJECT HAS BEEN INSTALLED PER THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE
 - G. A CONSTRUCTION THEREAS-BUILT OR RECORD DRAINAGES SHALL BE INCLUDED WITH THE CERTIFICATION
 - H. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
 - I. IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER (SEE SECTION 492.10).
 - J. LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE (SEE SECTION 492.11).
 - K. IRRIGATION AUDIT REPORT (SEE SECTION 492.12) AND
 - L. LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE (SEE SECTION 492.13).
 - (2) THE PROJECT APPLICANT SHALL:
 - A. SUBMIT THE SIGNED CERTIFICATE OF COMPLETION TO THE LOCAL AGENCY FOR HER DESIGNER
 - B. ENSURE THAT COPIES OF THE APPROVED CERTIFICATE OF COMPLETION ARE SUBMITTED TO THE LOCAL WATER PURVEYOR AND PROPERTY OWNER OR HIS OR HER DESIGNER
 - (3) THE PROJECT APPLICANT SHALL:
 - A. SUBMIT THE SIGNED CERTIFICATE OF COMPLETION FROM THE PROJECT APPLICANT;
 - B. APPROVE OR DENY THE CERTIFICATE OF COMPLETION, IF THE CERTIFICATE OF COMPLETION IS DENIED, THE LOCAL AGENCY SHALL PROVIDE INFORMATION TO THE PROJECT APPLICANT REGARDING REAPPLICATION, APPEAL, OR OTHER ASSISTANCE.

PLANTING NOTES

1. SOIL PREPARATION, MULCH AND AMENDMENTS:
 - A. PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE REWORKED TO A DEPTH OF 12 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES.
 - B. SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS
 - C. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES.
 - D. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES.
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 - K. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES.
 - L. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES.
 - M. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES.
 - N. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES.
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 - R. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES.
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 - Z. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES. MULCH SHALL BE APPLIED TO A DEPTH OF 2 INCHES.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE THE FOLLOWING PER THE STATE WATER EFFICIENCY REQUIREMENTS AS DESCRIBED BELOW IN SECTION 492.5.

5.492.5. SOIL MANAGEMENT REPORT

- (A) IN ORDER TO REDUCE RUNOFF AND ENCOURAGE HEALTHY PLANT GROWTH, A SOIL ANALYSIS SHALL BE REQUIRED FOR ALL PLANTING AREAS. THE ANALYSIS SHALL BE COMPLETED BY THE PROJECT APPLICANT, OR HIS/HER DESIGNER, AS FOLLOWS:
1. SUBMIT SOIL SAMPLES TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS. A SOIL ANALYSIS SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOLS REGARDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTING.
 2. THE PROJECT APPLICANT, OR HIS/HER DESIGNER, SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - A. IF SIGNIFICANT MASS GRADING IS NOT PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.
 - B. IF SIGNIFICANT MASS GRADING IS PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - C. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - D. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - E. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - F. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - G. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - H. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - I. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - J. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - K. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - L. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - M. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - N. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
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 - T. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - U. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
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 - W. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - X. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - Y. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
 - Z. THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.

IRRIGATION NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO THE WATER EFFICIENT LANDSCAPE ORDINANCE FOR THE STATE OF CALIFORNIA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL THE IRRIGATION SYSTEM IN ACCORDANCE WITH ALL LOCAL CODES, ORDINANCES, STANDARD DRAWINGS & SPECIFICATIONS.
2. THE IRRIGATION CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID. THE IRRIGATION CONTRACTOR SHALL REVIEW RELATED DRAWINGS AND SHALL ENSURE COORDINATION WITH ALL OTHER CONTRACTORS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
3. THE POINT OF CONNECTION, AT THE APPROXIMATE LOCATION SHOWN, IS A PROPOSED T IRRIGATION MAINLINE WITH A BACKFLOW PREVENTER.
4. THE IRRIGATION SYSTEM WAS DESIGNED ASSUMING A STARTING STATIC WATER PRESSURE OF 100 PSI. PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM, THE CONTRACTOR SHALL VERIFY THE PRESSURE AT THE POINT OF CONNECTION AND REPORT ANY DISCREPANCY TO THE OWNERS AUTHORIZED REPRESENTATIVE.
5. INDICATED PIPE LOCATIONS ARE SCH-40, DO NOT PLACE PIPES UNDER PAVING EXCEPT WHERE ABSOLUTELY NECESSARY. IRRIGATION CONTRACTOR SHALL COORDINATE PIPE INSTALLATION WITH OTHER TRADES. INSTALL CONCRETE THURST BLOCKS AS REQUIRED ON IRRIGATION MAINLINES. CLASS 95 PVC PIPE IS REQUIRED FOR ALL PIPE SIZES GREATER THAN 2". SCHEDULE 40 PIPE IS REQUIRED FOR ALL PIPE SIZES SMALLER THAN 2".
6. THE FINAL LOCATION OF THE AUTOMATIC IRRIGATION CONTROLLER/CONTROLLERS SHALL BE DETERMINED BY THE OWNER PRIOR TO INSTALLATION. ELECTRICAL CONTRACTOR TO PROVIDE POWER TO THE IRRIGATION CONTROLLER. THE IRRIGATION CONTRACTOR SHALL PROVIDE INDEPENDENT GROUND WIRE IN THE EVENT OF THE USE OF MULTIPLE IRRIGATION CONTROLLERS.
7. SPRINKLER OR ANY WIRE SHALL NOT BE REROUTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPRINKLER AND 100 FEET OF EXCESS WIRE AT EACH TAKE WIRE. WIRE SHALL BE UL APPROVED FOR DIRECT BURIAL. COPPER AWG-14 600 VOLT THHN (MIN). USE ONE PACKAGE APPROVED WIRE CONNECTORS.
8. INSTALL ONE(1) SEPARATE CONTROL WIRE OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE LOOP. 3/8" EXCESS WIRE IN EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES. EXTRA WIRE SHALL NOT HATCH OTHER WIRE COLORS. SPRINKLER WIRE SHALL BE UL APPROVED FOR DIRECT BURIAL. COPPER AWG-14 600 VOLT THHN (MIN). USE ONE PACKAGE APPROVED WIRE CONNECTORS.
9. IRRIGATION VALVES SHALL BE LOCATED IN SHRUB PLANTING AREAS WHERE POSSIBLE. (MAXIMUM OF 2.0' FROM THE EDGE OF PAVEMENT OR LAWN FOR EASE OF ACCESS) ALL VALVES SHALL BE INSTALLED IN PLASTIC VALVE BOXES WITH LIDS AND ASSIGNED NEATLY IN ROWS WHERE APPLICABLE.
10. ALL SPRINKS INSTALLED UNDER PAVING, THROUGH WALLS OR FOOTINGS, SHALL BE PLACED INSIDE SCHEDULE 40 SLEEVES OF ADEQUATE SIZE TO ALLOW FOR FREE MOVEMENT OF THE PIPE IN THE SLEEVE. THE IRRIGATION CONTRACTOR SHALL COORDINATE THE LOCATION OF THE SPRINKERS WITH THE LOCAL AGENCY. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
11. IRRIGATION PIPES SHALL BE BURIED AT THE FOLLOWING MINIMUM DEPTHS:
 - A. PVC PRESSURE MAINLINE 3'
 - B. PVC LATERAL LINE 12"
12. CONTRACTOR SHALL FLUSH AND ADJUST SPRINKLER HEADS TO PROVIDE MAXIMUM COVERAGE OF PLANTED AREAS WITH MINIMUM OVERSPRAY. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO REDUCE THE RISK OF DAMAGE TO ADJACENT AREAS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
13. WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS, THE IRRIGATION CONTRACTOR SHALL ADJUST THE SPRAY PATTERN OF THE HEADS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
14. THE IRRIGATION CONTRACTOR SHALL PROVIDE A WATER COVERAGE CHECK OF ALL IRRIGATION HEADS PRIOR TO PLANTING.
15. ALL TURF SPRAY HEADS SHALL BE INSTALLED ON 4" POP-UP BODIES. ALL SHRUB HEADS SHALL BE INSTALLED ON 12" POP-UP BODIES. SERVICEABLE CHECK VALVES ARE REQUIRED WHERE ELEVATION DIFFERENTIAL MAY CAUSE LOW HEAD DRAINAGE.
16. LANDSCAPE CONTRACTOR SHALL PROVIDE THE FOLLOWING PER THE STATE WATER EFFICIENCY REQUIREMENTS AS DESCRIBED BELOW IN SECTION 492.10.

5.492.10. IRRIGATION SCHEDULING

- (A) FOR THE EFFICIENT USE OF WATER, ALL IRRIGATION SCHEDULES SHALL BE DEVELOPED, MANAGED, AND EVALUATED TO UTILIZE THE MINIMUM AMOUNT OF WATER REQUIRED TO MAINTAIN PLANT HEALTH. IRRIGATION SCHEDULES SHALL MEET THE FOLLOWING CRITERIA:
1. IRRIGATION SCHEDULING SHALL BE REGULATED BY AUTOMATIC IRRIGATION CONTROLLERS.
 2. OVERHEAD IRRIGATION SHALL BE SCHEDULED BETWEEN 6:00 P.M. AND 10:00 A.M. UNLESS WEATHER CONDITIONS PREVENT IT. IF ALLOWABLE HOURS OF IRRIGATION DIFFER FROM THE LOCAL WATER PURVEYOR, THE STRICTER OF THE TWO SHALL APPLY. IRRIGATION SCHEDULES SHALL BE SCHEDULED TO AVOID IRRIGATION DURING WINDY OR RAINY WEATHER. IRRIGATION SCHEDULES SHALL BE SCHEDULED TO AVOID IRRIGATION DURING WINDY OR RAINY WEATHER. IRRIGATION SCHEDULES SHALL BE SCHEDULED TO AVOID IRRIGATION DURING WINDY OR RAINY WEATHER.
 3. FOR IMPLEMENTATION OF THE IRRIGATION SCHEDULE, PARTICULAR ATTENTION MUST BE PAID TO IRRIGATION RUN TIMES, BATTERY DEVICE FLOW RATE, AND CURRENT ESTIMATED TOTAL WATER USE. TOTAL ANNUAL APPLIED WATER SHALL BE LESS THAN OR EQUAL TO "HANTU" APPLIED WATER ALLOWANCE (HAWAII ACTUAL IRRIGATION SCHEDULES SHALL BE REGULATED BY AUTOMATIC IRRIGATION CONTROLLERS USING CURRENT REFERENCE EVAPOTRANSPIRATION DATA E.G. PARAMETERS USED TO SET THE AUTOMATIC CONTROLLER SHALL BE DEVELOPED AND SUBMITTED FOR EACH OF THE FOLLOWING:
 - A. THE PLANT ESTABLISHMENT PERIOD
 - B. THE PLANT ESTABLISHMENT PERIOD
 - C. THE PLANT ESTABLISHMENT PERIOD
 - D. THE PLANT ESTABLISHMENT PERIOD
 - E. THE PLANT ESTABLISHMENT PERIOD
 - F. THE PLANT ESTABLISHMENT PERIOD
 - G. THE PLANT ESTABLISHMENT PERIOD
 - H. THE PLANT ESTABLISHMENT PERIOD
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 - V. THE PLANT ESTABLISHMENT PERIOD
 - W. THE PLANT ESTABLISHMENT PERIOD
 - X. THE PLANT ESTABLISHMENT PERIOD
 - Y. THE PLANT ESTABLISHMENT PERIOD
 - Z. THE PLANT ESTABLISHMENT PERIOD
5. EACH IRRIGATION SCHEDULE SHALL CONSIDER FOR EACH STATION ALL OF THE FOLLOWING THAT APPLY:
 - A. IRRIGATION INTERVAL DATES BETWEEN IRRIGATION
 - B. IRRIGATION RUN TIMES (HOURS OR MINUTES PER IRRIGATION EVENT) TO AVOID RUNOFF
 - C. NUMBER OF CYCLE STARTS REQUIRED FOR EACH IRRIGATION EVENT TO AVOID RUNOFF
 - D. NUMBER OF APPLIED WATER SCHEDULED TO BE APPLIED ON A MONTHLY BASIS
 - E. APPLICATION RATE SETTING
 - F. ROOT DEPTH SETTING
 - G. SOIL TYPE SETTING
 - H. SOIL TYPE SETTING
 - I. SLOPE FACTOR SETTING
 - J. SLOPE FACTOR SETTING
 - K. IRRIGATION UNIFORMITY OR EFFICIENCY SETTING.

IRRIGATION NOTES, CONTINUED

17. LANDSCAPE CONTRACTOR SHALL PROVIDE THE FOLLOWING PER THE STATE WATER EFFICIENCY REQUIREMENTS AS DESCRIBED BELOW IN SECTION 492.11:
- 5.492.11. LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
- (A) MAINTENANCE SCHEDULE SHALL BE SUBMITTED WITH THE CERTIFICATE OF COMPLETION. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, ROUTINE INSPECTION, ADJUSTING AND REPAIR OF THE IRRIGATION SYSTEM, AND ITS COMPONENTS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
- (B) THE IRRIGATION CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID. THE IRRIGATION CONTRACTOR SHALL REVIEW RELATED DRAWINGS AND SHALL ENSURE COORDINATION WITH ALL OTHER CONTRACTORS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
- (C) THE POINT OF CONNECTION, AT THE APPROXIMATE LOCATION SHOWN, IS A PROPOSED T IRRIGATION MAINLINE WITH A BACKFLOW PREVENTER.
- (D) THE IRRIGATION SYSTEM WAS DESIGNED ASSUMING A STARTING STATIC WATER PRESSURE OF 100 PSI. PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM, THE CONTRACTOR SHALL VERIFY THE PRESSURE AT THE POINT OF CONNECTION AND REPORT ANY DISCREPANCY TO THE OWNERS AUTHORIZED REPRESENTATIVE.
- (E) INDICATED PIPE LOCATIONS ARE SCH-40, DO NOT PLACE PIPES UNDER PAVING EXCEPT WHERE ABSOLUTELY NECESSARY. IRRIGATION CONTRACTOR SHALL COORDINATE PIPE INSTALLATION WITH OTHER TRADES. INSTALL CONCRETE THURST BLOCKS AS REQUIRED ON IRRIGATION MAINLINES. CLASS 95 PVC PIPE IS REQUIRED FOR ALL PIPE SIZES GREATER THAN 2". SCHEDULE 40 PIPE IS REQUIRED FOR ALL PIPE SIZES SMALLER THAN 2".
- (F) THE FINAL LOCATION OF THE AUTOMATIC IRRIGATION CONTROLLER/CONTROLLERS SHALL BE DETERMINED BY THE OWNER PRIOR TO INSTALLATION. ELECTRICAL CONTRACTOR TO PROVIDE POWER TO THE IRRIGATION CONTROLLER. THE IRRIGATION CONTRACTOR SHALL PROVIDE INDEPENDENT GROUND WIRE IN THE EVENT OF THE USE OF MULTIPLE IRRIGATION CONTROLLERS.
- (G) SPRINKLER OR ANY WIRE SHALL NOT BE REROUTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPRINKLER AND 100 FEET OF EXCESS WIRE AT EACH TAKE WIRE. WIRE SHALL BE UL APPROVED FOR DIRECT BURIAL. COPPER AWG-14 600 VOLT THHN (MIN). USE ONE PACKAGE APPROVED WIRE CONNECTORS.
- (H) INSTALL ONE(1) SEPARATE CONTROL WIRE OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE LOOP. 3/8" EXCESS WIRE IN EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES. EXTRA WIRE SHALL NOT HATCH OTHER WIRE COLORS. SPRINKLER WIRE SHALL BE UL APPROVED FOR DIRECT BURIAL. COPPER AWG-14 600 VOLT THHN (MIN). USE ONE PACKAGE APPROVED WIRE CONNECTORS.
- (I) IRRIGATION VALVES SHALL BE LOCATED IN SHRUB PLANTING AREAS WHERE POSSIBLE. (MAXIMUM OF 2.0' FROM THE EDGE OF PAVEMENT OR LAWN FOR EASE OF ACCESS) ALL VALVES SHALL BE INSTALLED IN PLASTIC VALVE BOXES WITH LIDS AND ASSIGNED NEATLY IN ROWS WHERE APPLICABLE.
- (J) ALL SPRINKS INSTALLED UNDER PAVING, THROUGH WALLS OR FOOTINGS, SHALL BE PLACED INSIDE SCHEDULE 40 SLEEVES OF ADEQUATE SIZE TO ALLOW FOR FREE MOVEMENT OF THE PIPE IN THE SLEEVE. THE IRRIGATION CONTRACTOR SHALL COORDINATE THE LOCATION OF THE SPRINKERS WITH THE LOCAL AGENCY. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
- (K) WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS, THE IRRIGATION CONTRACTOR SHALL ADJUST THE SPRAY PATTERN OF THE HEADS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
- (L) THE IRRIGATION CONTRACTOR SHALL PROVIDE A WATER COVERAGE CHECK OF ALL IRRIGATION HEADS PRIOR TO PLANTING.
- (M) ALL TURF SPRAY HEADS SHALL BE INSTALLED ON 4" POP-UP BODIES. ALL SHRUB HEADS SHALL BE INSTALLED ON 12" POP-UP BODIES. SERVICEABLE CHECK VALVES ARE REQUIRED WHERE ELEVATION DIFFERENTIAL MAY CAUSE LOW HEAD DRAINAGE.
- (N) LANDSCAPE CONTRACTOR SHALL PROVIDE THE FOLLOWING PER THE STATE WATER EFFICIENCY REQUIREMENTS AS DESCRIBED BELOW IN SECTION 492.10.

IRRIGATION NOTES, CONTINUED

17. LANDSCAPE CONTRACTOR SHALL PROVIDE THE FOLLOWING PER THE STATE WATER EFFICIENCY REQUIREMENTS AS DESCRIBED BELOW IN SECTION 492.11:
- 5.492.11. LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
- (A) MAINTENANCE SCHEDULE SHALL BE SUBMITTED WITH THE CERTIFICATE OF COMPLETION. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, ROUTINE INSPECTION, ADJUSTING AND REPAIR OF THE IRRIGATION SYSTEM, AND ITS COMPONENTS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED FOR THE PROJECT.
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- (D) THE IRRIGATION SYSTEM WAS DESIGNED ASSUMING A STARTING STATIC WATER PRESSURE OF 100 PSI. PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM, THE CONTRACTOR SHALL VERIFY THE PRESSURE AT THE POINT OF CONNECTION AND REPORT ANY DISCREPANCY TO THE OWNERS AUTHORIZED REPRESENTATIVE.
- (E) INDICATED PIPE LOCATIONS ARE SCH-40, DO NOT PLACE PIPES UNDER PAVING EXCEPT WHERE ABSOLUTELY NECESSARY. IRRIGATION CONTRACTOR SHALL COORDINATE PIPE INSTALLATION WITH OTHER TRADES. INSTALL CONCRETE THURST BLOCKS AS REQUIRED ON IRRIGATION MAINLINES. CLASS 95 PVC PIPE IS REQUIRED FOR ALL PIPE SIZES GREATER THAN 2". SCHEDULE 40 PIPE IS REQUIRED FOR ALL PIPE SIZES SMALLER THAN 2".
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- (N) LANDSCAPE CONTRACTOR SHALL PROVIDE THE FOLLOWING PER THE STATE WATER EFFICIENCY REQUIREMENTS AS DESCRIBED BELOW IN SECTION 492.10.



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2889 17 MILE DR.
PEBBLE BEACH, CA 93953
APN# 007-201-009

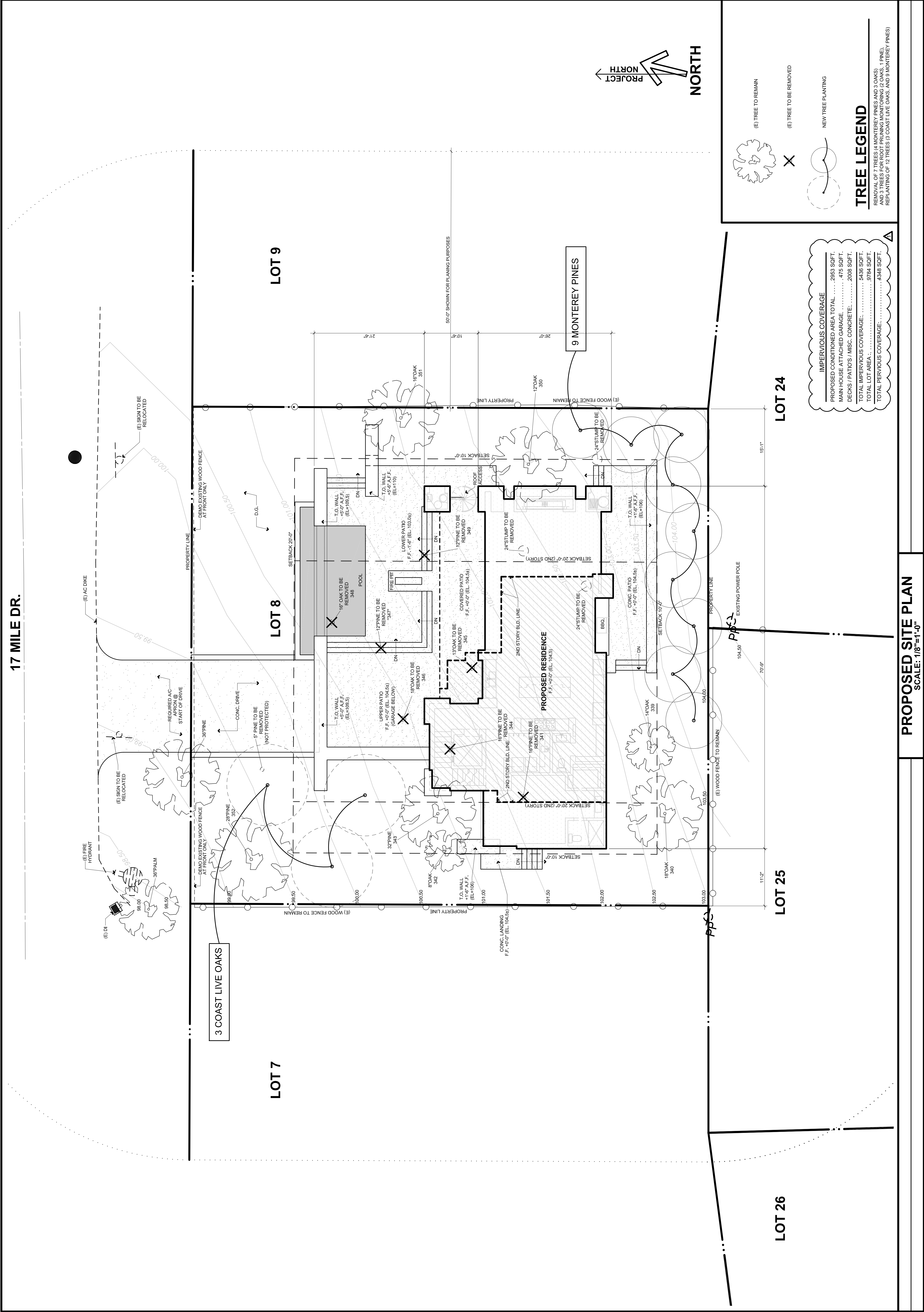
TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION
REVISIONS	
A	
A	

PROJECT NO:	1426
DRAWN BY:	CS
CHECKED BY:	EA

**TREE REMOVAL PLAN
PROPOSED SITE PLAN**

A1.0

PRINTED: SEPTEMBER 9, 2016





A. FRONT OF LOT



C. FRONT OF LOT



B. 17 MILE DR VIEW



D. INSIDE LOT

17 MILE DRIVE CONSTRUCTION DOCUMENTS



FLOOR PLAN
LOWER LEVEL GARAGE

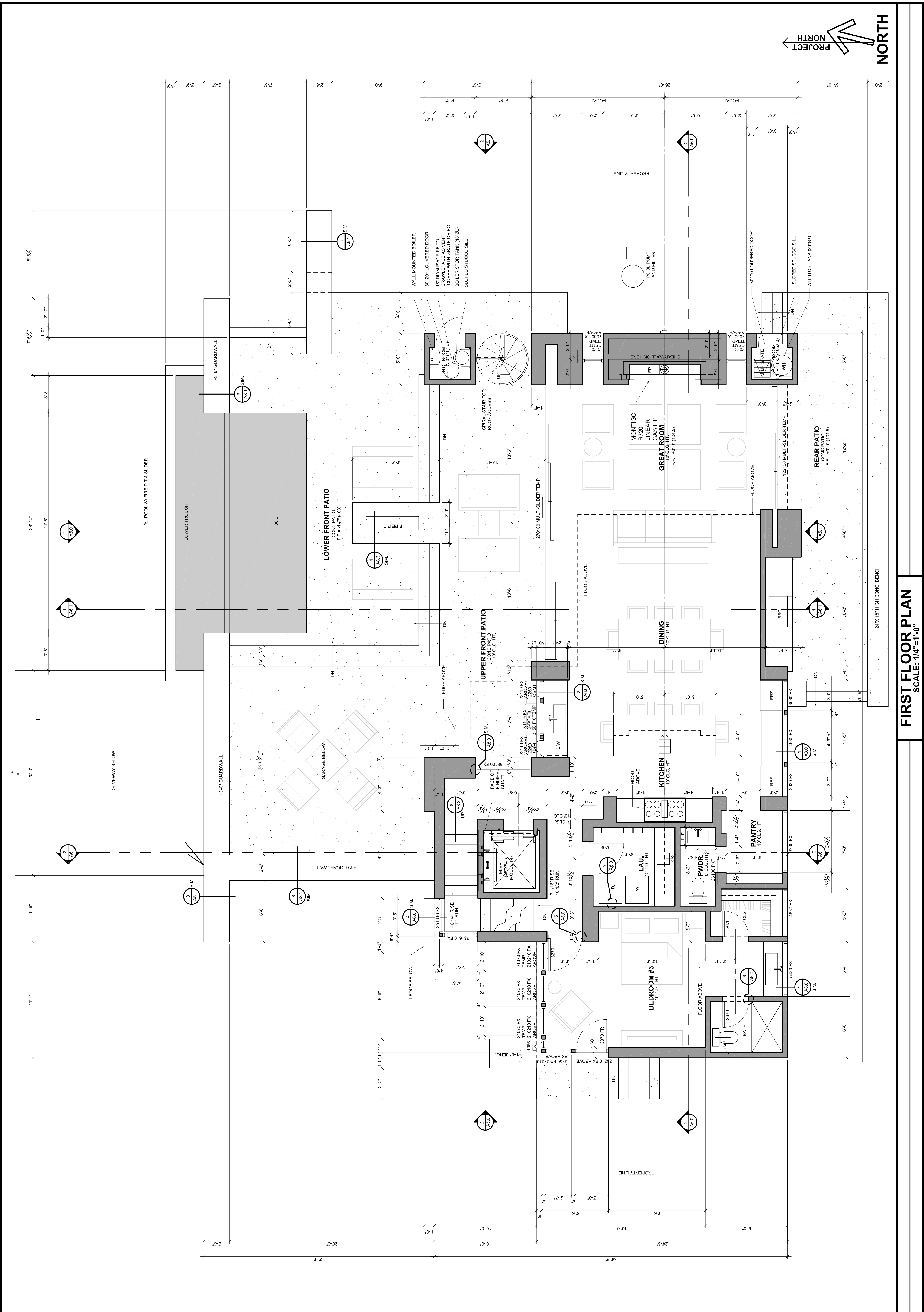
A2.0

UNDERFLOOR VENTILATION CALC.





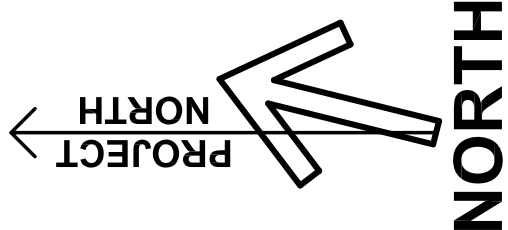
NORTH

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION
REVISIONS	
	
	
PROJECT NO: 1426	
DRAWN BY: CS	
CHECKED BY: EA	



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION
REVISIONS	
	
	
PROJECT NO: 1426	
DRAWN BY: CS	
CHECKED BY: EA	



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

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PROJECT:

7 MILE DR. RESIDENCE
2889 17 MILE DR.
PEBBLE BEACH, CA 93953
APN# 007-201-009

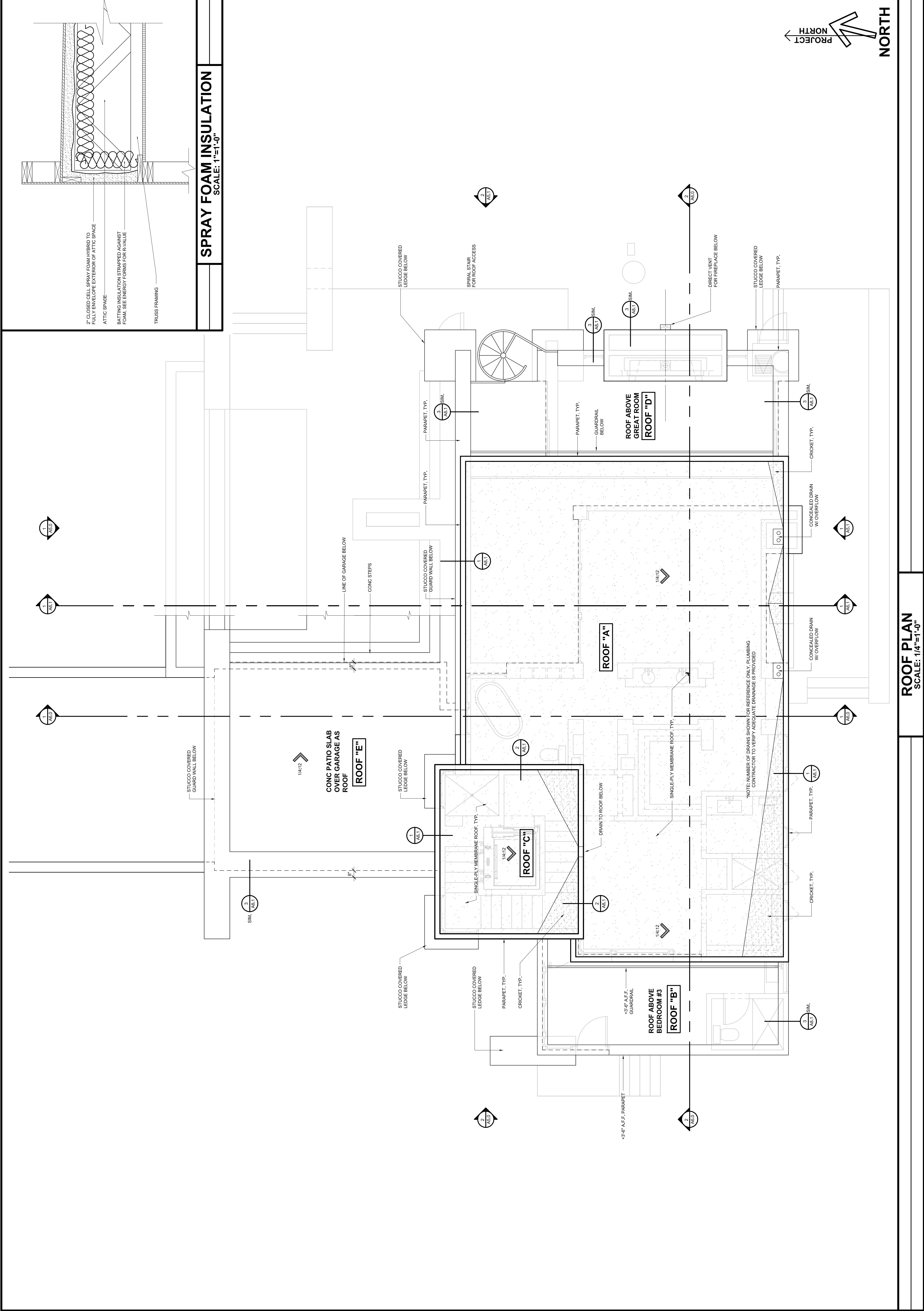
17 MILE DRIVE CONSTRUCTION DOCUMENTS

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION
REVISIONS	
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PROJECT NO:	1426
DRAWN BY:	CS
CHECKED BY:	EA

SHEET:

A4.0

PRINTED: SEPTEMBER 9, 2016





EXTERIOR ELEVATIONS



EXTERIOR ELEVATIONS

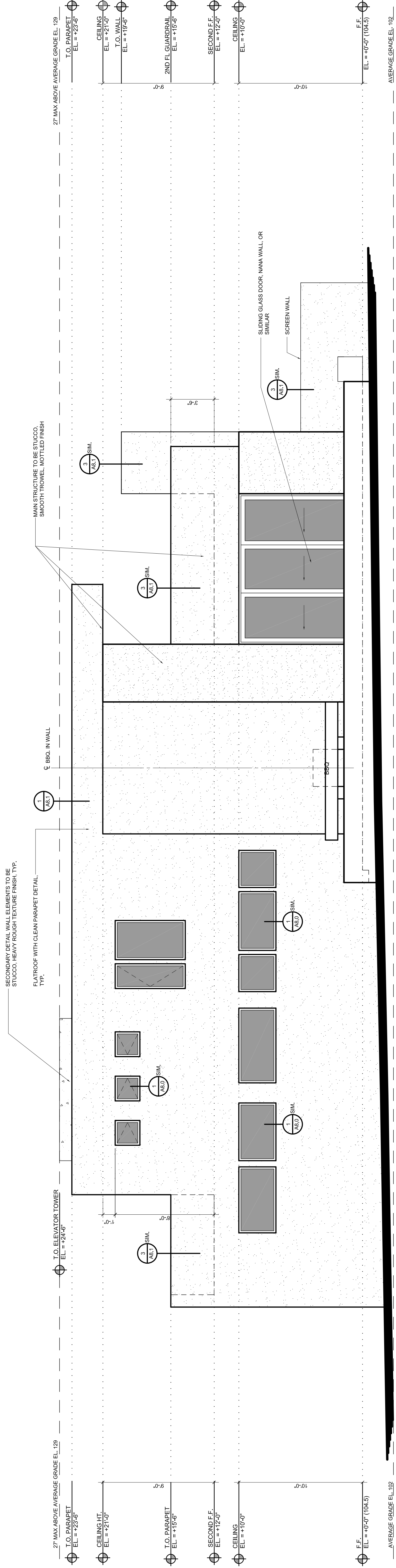
SCALE: 1/4"=1'-0"

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION
REVISIONS	
	
	
PROJECT NO: 1428	
DRAWN BY: CS	
CHECKED BY: EA	

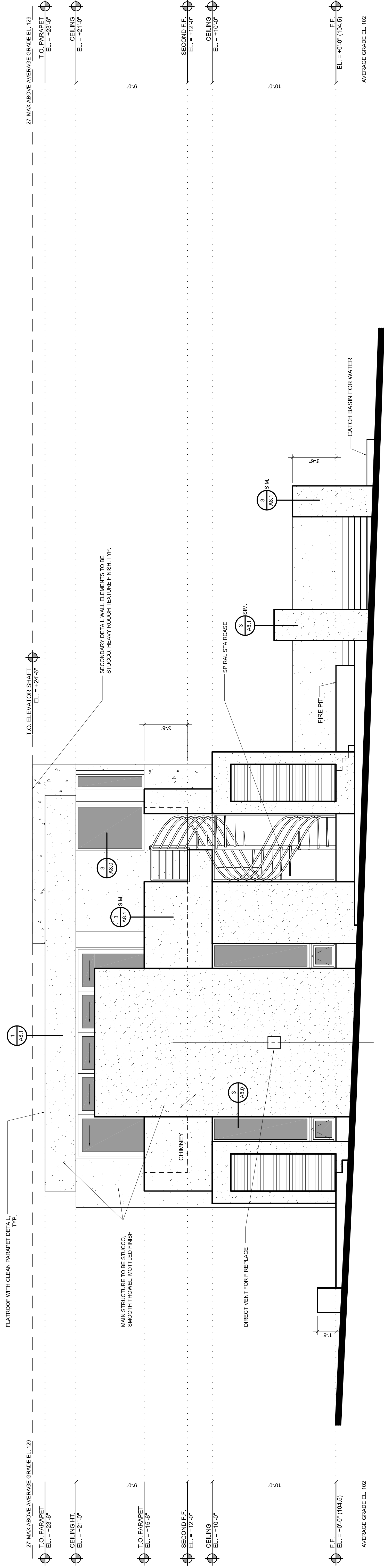
EXTERIOR ELEVATIONS

SHEET:



A5.1

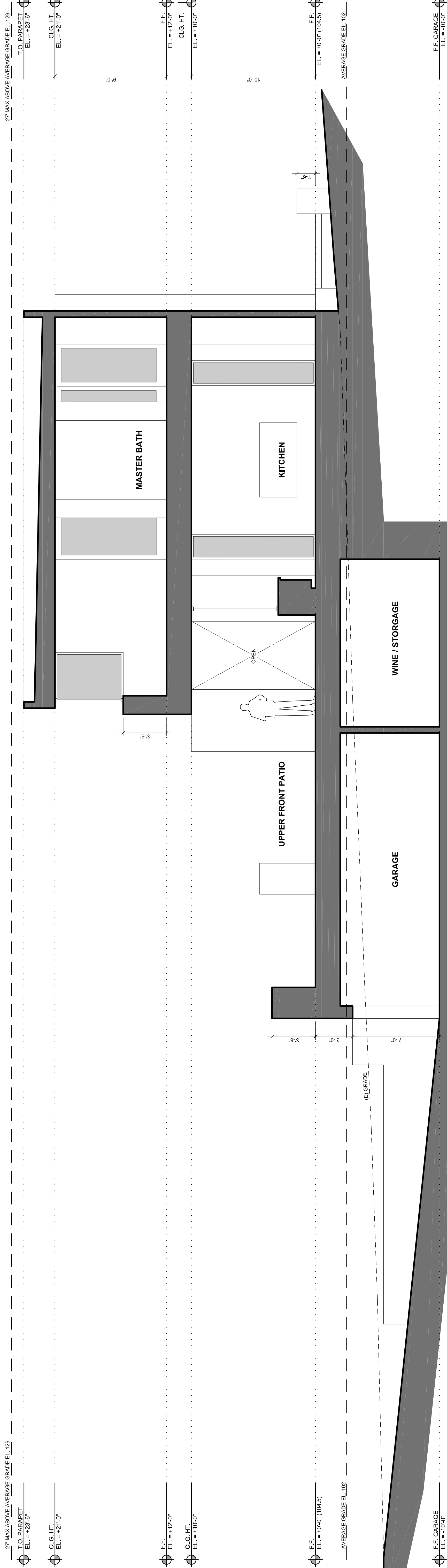


1. BACK ELEVATION

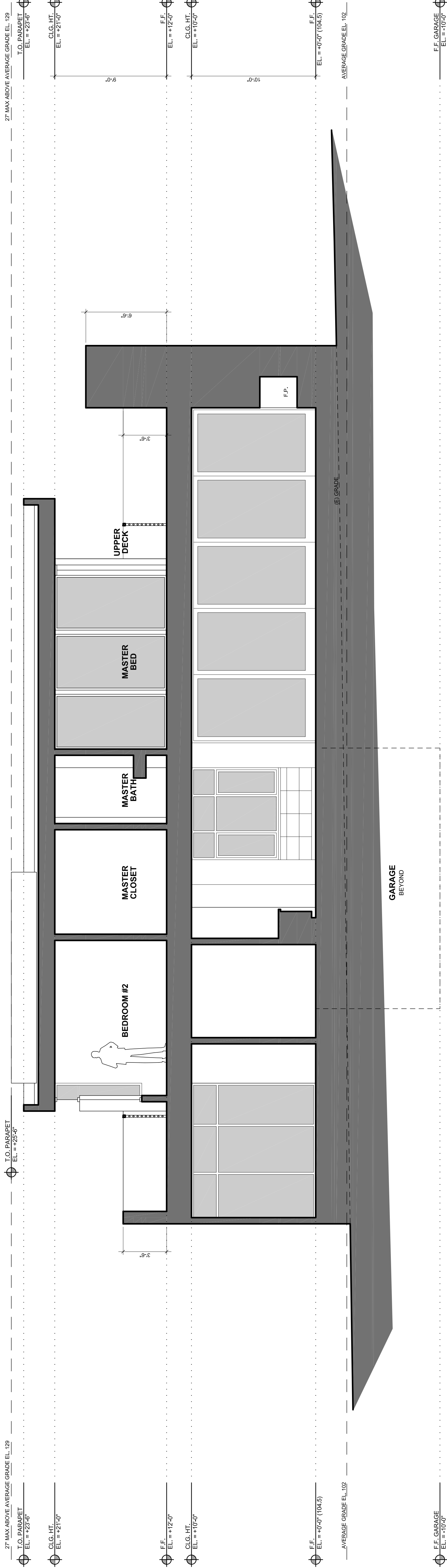


2. SIDE ELEVATION

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION
REVISIONS	
	
	
PROJECT NO: 1426	
DRAWN BY: CS	
CHECKED BY: EA	
DESCRIPTION:	
SECTIONS	



11. SECTION THROUGH BUILDING (LOOKING EAST)



2. SECTION THROUGH BUILDING (LOOKING NORTH)

[illegible]

1. REFER TO GENERAL NOTES AND DETAILS AS SHOWN ON THESE PLANS.
2. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806 AND THE CALIFORNIA BUILDING CODE AND GEOTECHNICAL REPORT ENTITLED:
"GEOTECHNICAL INVESTIGATION FOR THE PROPOSED NEW SINGLE FAMILY RESIDENCE LOCATED AT 2889 17 MILE DRIVE, APN 007-201-009, IN PEBBLE BEACH, CALIFORNIA; JOB #6662"

DATED: MARCH 16, 2016

3. ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF AND TESTED BY THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT. THE ENGINEER WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE CONTRACTOR SHALL SUBMIT TEST RESULTS AND REPORT FROM SOILS ENGINEER TO THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO THE START OF ANY GRADING OR COMPACTION WORK.

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOILS ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.

6. UNDESIRABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE REMOVED AND REPLACED WITH A FILL OF A TYPE AND CHARACTERISTICS AS DIRECTED BY THE SOILS ENGINEER.

7. ALL CUT AND FILL SLOPE SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER OR SOILS ENGINEER AND APPROVED BY THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING GRADES, UTILITIES AND SURROUNDING INFRASTRUCTURE. ALL GRADED AREAS SHALL BE PLANTED WITH SUITABLE GRASS COVER AND LANDSCAPE MAINTENANCE SHALL BE MAINTAINED UNTIL GRASS COVER IS ESTABLISHED.

9. ELEVATION BENCHMARK, SEE SHEET C1.

10. ALL GRADING AND/OR OVER EXISTING UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO THE START OF ANY GRADING WORK.

11. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DUST AND EXCESSIVE NOISE. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT EXCESSIVE DUST AND NOISE FROM BEING RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.

12. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL, IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT.

13. ALL CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN TO CORRECT THE DEFICIENCY.

1. PRE-011-ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO.12741. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE A SEPARATE ADDRESS. ACCESSORY BUILDINGS SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS, AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4 IN HEIGHT. ADDRESSES SHALL BE PLACED ON THE FRONT OF THE BUILDING, AND BE VISIBLE FROM THE STREET. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF ALUMINUM, AND NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY EXIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL. ADDRESS SIGNS SHALL BE MAINTAINED HEREAFER. ADDRESS SIGNS AT THE BEGINNING OF CUL-DE-SAC AND SHALL BE MAINTAINED. HEREAFER, ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE A DRIVEWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO THE INSTALLATION OF THE ADDRESS SIGN.

2. PRE-022-FIRE PROTECTION EQUIPMENT & SYSTEMS-FIRE SPRINKLER SYSTEM- (HAZARDOUS CONDITIONS). THE BUILDINGS(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATICALLY ACTIVATED FIRE SPRINKLER SYSTEMS. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS APPLICABLE NFPA STANDARD, A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A TRADING INSPECTION. DUE TO SUBSTANDARD QUALITY, OR OTHER MITIGATING FACTORS, SMALL BATHROOM(S) AND OPEN PORCHES, CARPORTS AND SIMILAR STRUCTURES SHALL BE PROTECTED WITH FIRE SPRINKLERS.

[illegible]

LEGEND

(36") Ø	EXISTING TREE (TO REMAIN)	○	EXISTING SIGN
—	EXISTING SPOT GRADE	□ AD	NEW AREA DRAIN
⊗	EXISTING FIRE HYDRANT	— CO	NEW CLEAN-OUT
⌘	EXISTING WATER VALVE	+S	NEW DOWN SPOUT
⌘	EXISTING WATER METER	●	DESIGN SPOT ELEVATION
⌘	EXISTING POWER POLE		
⌘	EXISTING VAULT AS NOTED		
⌘	EXISTING STORM DRAIN MANHOLE		
⌘	EXISTING STORM DRAIN CATCH BASIN		

THESE PLANS WERE PRODUCED TO PROVIDE FOR GRADING, DRAINAGE, & EROSION CONTROL FOR AND DURING THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE AT 2889 17 MILE DRIVE, PEBBLE BEACH, CALIFORNIA 93953
APN 007-201-009

	EXISTING 6" AC DIKE
	EXISTING EDGE OF PAVEMENT
	EXISTING MAJOR CONTOUR -200-
	EXISTING MINOR CONTOUR
	BUILDING ENVELOPE
	PROPERTY LINE / RIGHT OF WAY
	EASEMENT
	WOOD FENCE
	EXISTING JOINT UTILITY TRENCH
	EXISTING STORM DRAIN (SIZE VARIES)
	EXISTING SANITARY SEWER (GRAVITY)
	EXISTING WATER LINE
	EXISTING SEWER/STORM DRAIN/UNDERPASS
	NEW CURB OF PAVEMENT
	NEW EDGE OF PAVEMENT
	NEW WALL DRAIN
	SD
	NEW STORM DRAIN (SIZE VARIES)
	NEW UNDER DRAIN
	NEW WATER LINE
	NEW WALL (SHOWN FOR LOCATION ONLY)
	NEW SAWCUT LINE
	DESIGN MAJOR CONTOUR -200-
	DESIGN MINOR CONTOUR
	NEW BUILDING FOOTPRINT


C1	TITLE SHEET
C2	GRADING PLAN
C3	SITE CROSS SECTIONS
C4	CONSTRUCTION DETAILS
C5	EROSION CONTROL PLAN

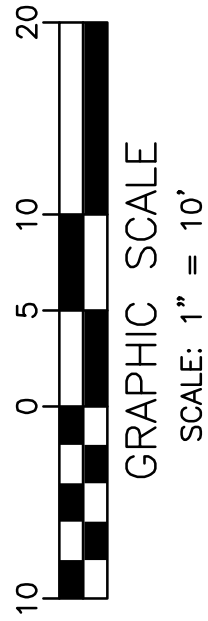
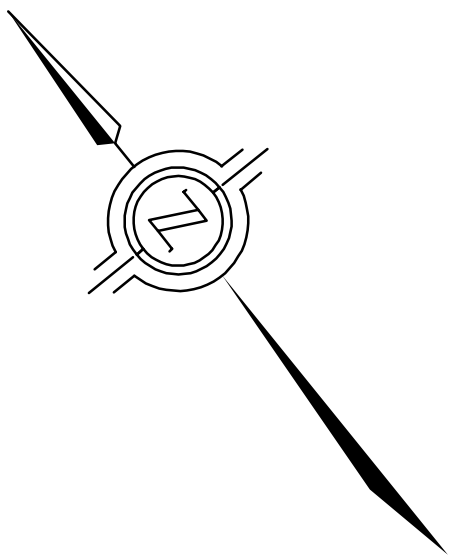
ERUSION CONTROL PLAIN

17 MILE DRIVE

LOT 9

LOT 24

NOTE:
ALL TREES TO BE PROTECTED IN PLACE
UNLESS SHOWN OTHERWISE
 TREE TO BE REMOVED



L&S ENGINEERING AND SURVEYING, INC.
2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.34425
www.LandSurveyingInc.com

NN BY : PJM
 ENDED BY : CJS
 5-19-16
 AS SHOWN :
 NUMBER: 16-013
 REVISSED: 7-15-16
 CJS

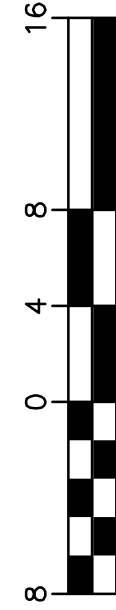
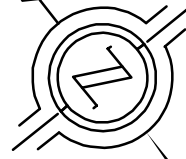
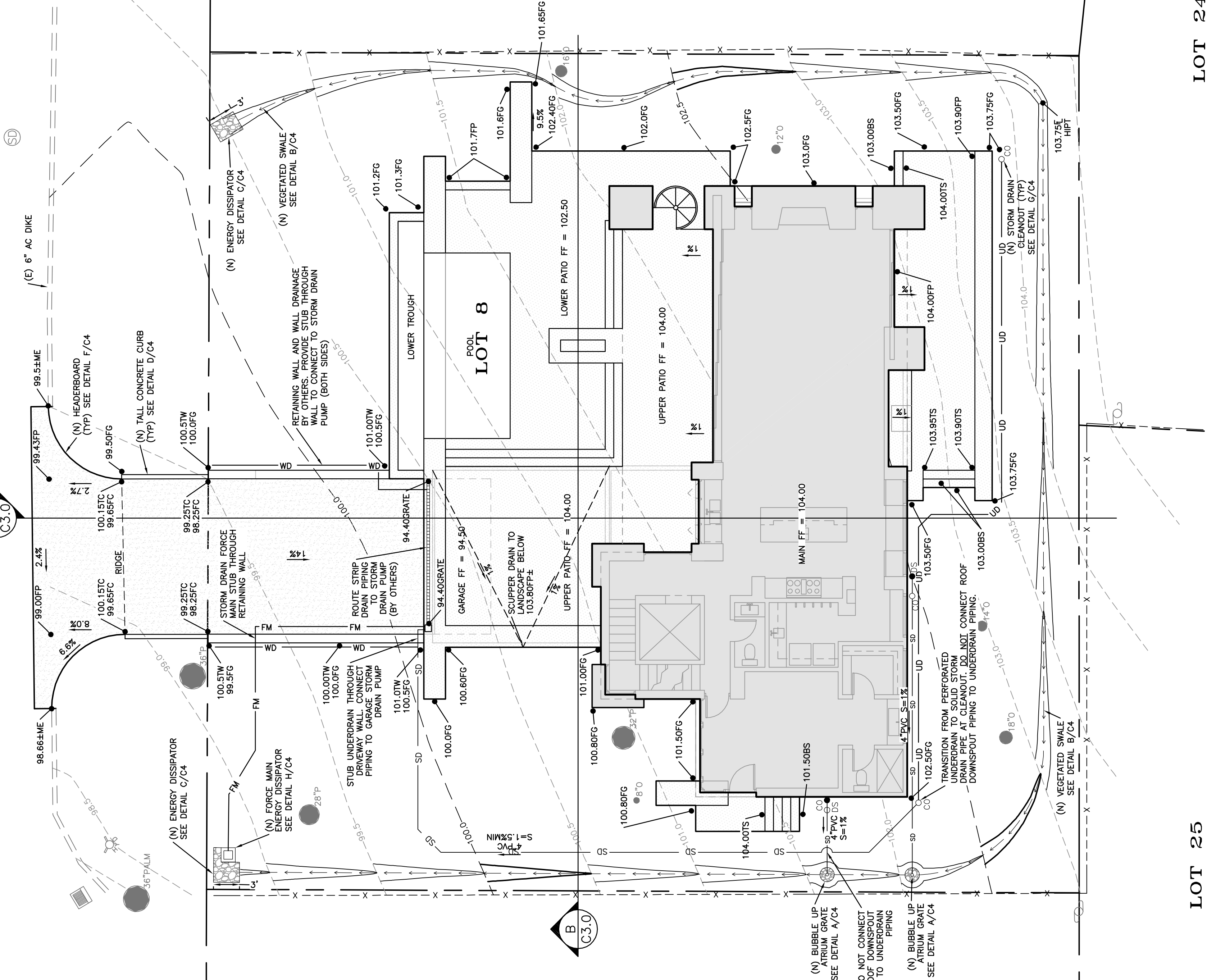
TITLE SHEET

2889 17 MILE DRIVE
PEBBLE BEACH, CA 93953
APN: 007-201-009

17 MILE DRIVE

A
C3.0

WV



GRADING PLAN

A
C2

1"=8'

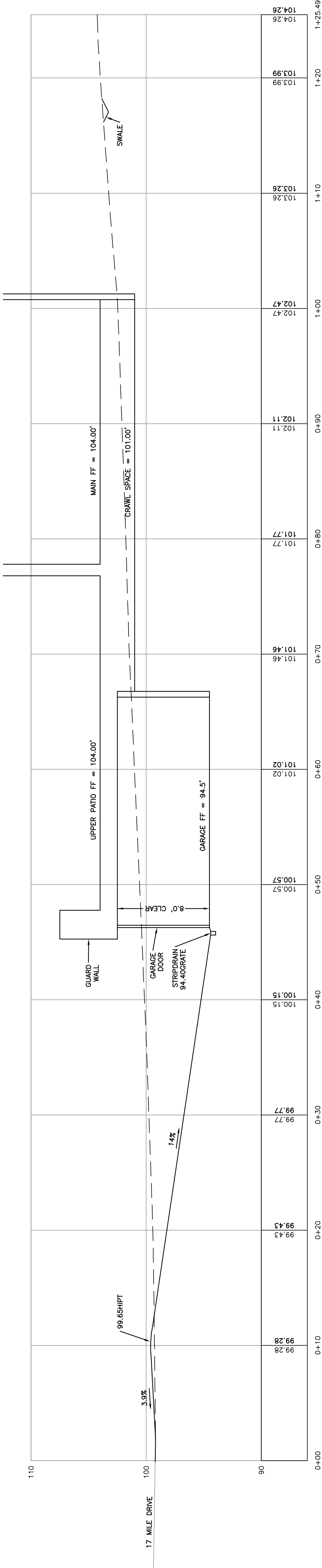
EARTHWORK

CUT= 302 CY

FILL= 2 CY

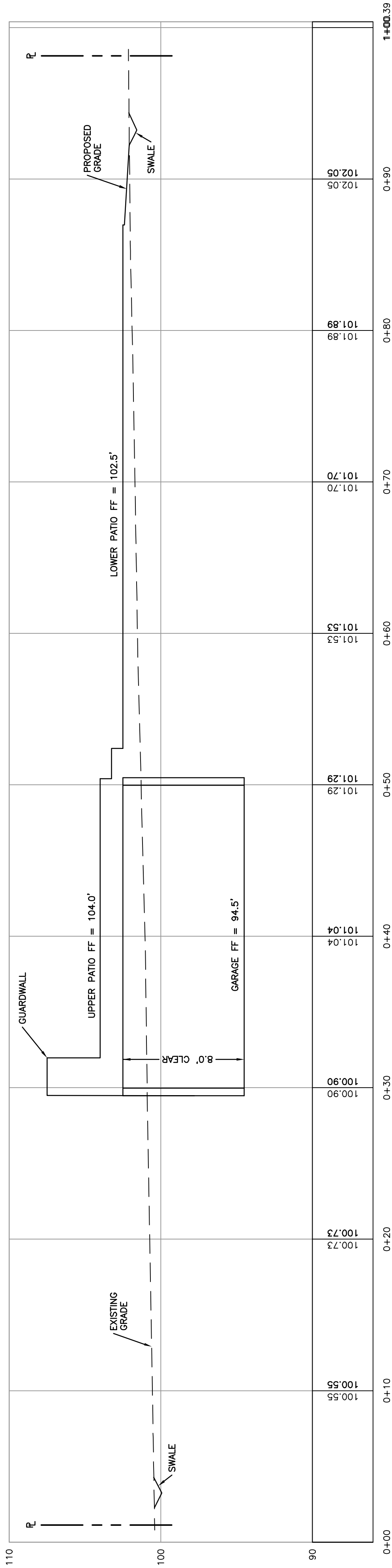
NET= 300 CY CUT

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO SUBGRADE AND ARE ESTIMATES. ONLY A DESIGN PAVED DRIVEWAY AND DRIVEWAY CURB AND GUTTER PAVEMENT WAS ASSUMED. NO SWELL OR SHRINKAGE WAS ASSUMED. FOOTING AND TRENCH SHOULDS WERE NOT TAKEN INTO ACCOUNT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING THEIR OWN CALCULATIONS.



SITE CROSS SECTION

1"=5' HORIZONTAL, 1"=5' VERTICAL



SITE CROSS SECTION

1"=5' HORIZONTAL, 1"=5' VERTICAL

<div data-bbox="224 2227 531 2762"> </div> <div data-bbox="91 1571 562 1938"> </div>	<div data-bbox="132 76 378 228"> </div> <div data-bbox="132 91 378 137"> <p>2460 Garden Road, Suite G, Monterey, California 93940 P: 831.656.2723 F: 831.656.3425 LandSengineers.com</p> </div>	<div data-bbox="674 2273 705 2746"> <p>BUBBLE UP ATRIUM GRATE</p> </div> <div data-bbox="725 2655 746 2746"> <p>SCALE: 1"=1'</p> </div> <div data-bbox="674 1526 705 1907"> <p>TALL CONCRETE CURB</p> </div> <div data-bbox="725 1892 746 1953"> <p>NTS</p> </div> <div data-bbox="572 1602 654 1938"> <p>NOTES: 1. WORK SHALL BE DONE IN ACCORDANCE WITH SECTION 73 OF THE STATE OF CALIFORNIA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF HIGHWAYS, STANDARD SPECIFICATION, LATEST EDITION. 2. ALL EXPOSED SURFACES SHALL BE CLASS B (G SACK). 3. ALL EXPOSED SURFACES TO BE FINISHED</p> </div>	<div data-bbox="991 2273 1154 2792"> </div> <div data-bbox="1236 2227 1267 2731"> <p>VEGETATED DRAINAGE SWALE</p> </div> <div data-bbox="1287 2639 1308 2731"> <p>SCALE: 1"=1'</p> </div> <div data-bbox="1584 2197 1727 2823"> </div> <div data-bbox="1870 2334 1900 2670"> <p>ENERGY DISSIPATOR</p> </div> <div data-bbox="1921 2594 1941 2670"> <p>SCALE: 1"=1'</p> </div> <div data-bbox="950 1480 1246 1968"> </div> <div data-bbox="1328 1602 1359 1815"> <p>UNDERDRAIN</p> </div> <div data-bbox="1379 1724 1400 1815"> <p>SCALE: 1"=1'</p> </div> <div data-bbox="1543 1449 1788 2014"> </div> <div data-bbox="1737 1739 1798 1983"> <p>NOTES: 1. HEADER BOARD TO BE INSTALLED AFTER BACKFILLING OF PERFORATED DRAIN PIPE. 2. BACKFILL MUST BE IN PLACE BEFORE A.C. PAVING IS LAID.</p> </div>	<div data-bbox="1277 473 1308 1052"> <p>FORCE MAIN ENERGY DISSIPATOR</p> </div> <div data-bbox="1328 1037 1349 1068"> <p>NTS</p> </div> <div data-bbox="1032 625 1205 961"> </div> <div data-bbox="173 396 654 1297"> </div> <div data-bbox="664 549 694 1007"> <p>STORM DRAIN CLEAN-OUT</p> </div> <div data-bbox="715 976 735 1007"> <p>NTS</p> </div>	<div data-bbox="1870 76 1900 228"> <p>SHEET C4</p> </div> <div data-bbox="1880 152 1900 183"> <p>OF</p> </div> <div data-bbox="1921 198 1941 213"> <p>5</p> </div> <div data-bbox="1921 91 1941 122"> <p>SHEETS</p> </div> <div data-bbox="1400 122 1747 183"> <p>2889 17 MILE DRIVE PEBBLE BEACH, CA 93953 APN: 007-201-009</p> </div> <div data-bbox="909 137 1257 167"> <p>CONSTRUCTION DETAILS</p> </div> <div data-bbox="623 91 827 228"> <p>DRAWN BY: RJM DESIGNED BY: CJS DATE: 5-19-16 SCALE: AS SHOWN JOB NUMBER: 16-013 LAST REVISED: 7-15-16 REVISED BY: CJS</p> </div>
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1. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT SEEDING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - A) ALL EXPOSED SOIL SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION FROM OCCURRING ON THESE AREAS.
 - C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT.
2. MONTEREY COUNTY GRADING/HOSION ORD. 2806-1612.090)
3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGATED FILTER STRIPS, TRAPS, OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THE CONTRACTOR SHALL TAKE NECESSARY ACTION TO AVOID ANY DAMAGE TO ADJACENT PROPERTIES OR ACHIEVE THEIR PURPOSE THROUGHTOUT THE LIFE OF THE PROJECT.
4. ALL OUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDDED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING STOPPED. TO THE DIRECTOR OF RMA-PLANNING AND RMA-BUILDING SERVICES. CONTRACTOR SHALL PROVIDE A WRITTEN REPORT TO THE DIRECTOR OF RMA-PLANNING AND RMA-BUILDING SERVICES, AS DETERMINED BY MONTEREY COUNTY GRADING/HOSION ACT, THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. THE CONTRACTOR SHALL TAKE ANY NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE FOLLOWING DUST CONTROL MEASURES TO BE IMPLEMENTED REQUIRED BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH SURFACES TO PREVENT DUST FROM BEING BLOWN INTO THE AIR.
 - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
8. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE THE NEED FOR ANY UNRELATED DAMAGE TO EXISTING PHASES OF THE PROJECT. ANY UNRELATED DAMAGE RELATED TO WIND BLOWN MATERIAL, IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT ANY UNRELATED DAMAGE TO EXISTING PHASES OF THE PROJECT. ANY UNRELATED DAMAGE TO EXISTING PHASES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR MORE OF A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
10. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
11. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, AND MAINTAINANCE AND REPAIRS TO BE MADE TO ANY STRUCTURES THAT ARE INSTALLED, AS WELL AS TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
12. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO REVIEW THE CONSTRUCTION OF THE STORM DRAIN INLET PROTECTION, STABILIZED CONSTRUCTION ENTRANCES, AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- STORM DRAIN INLET PROTECTION**

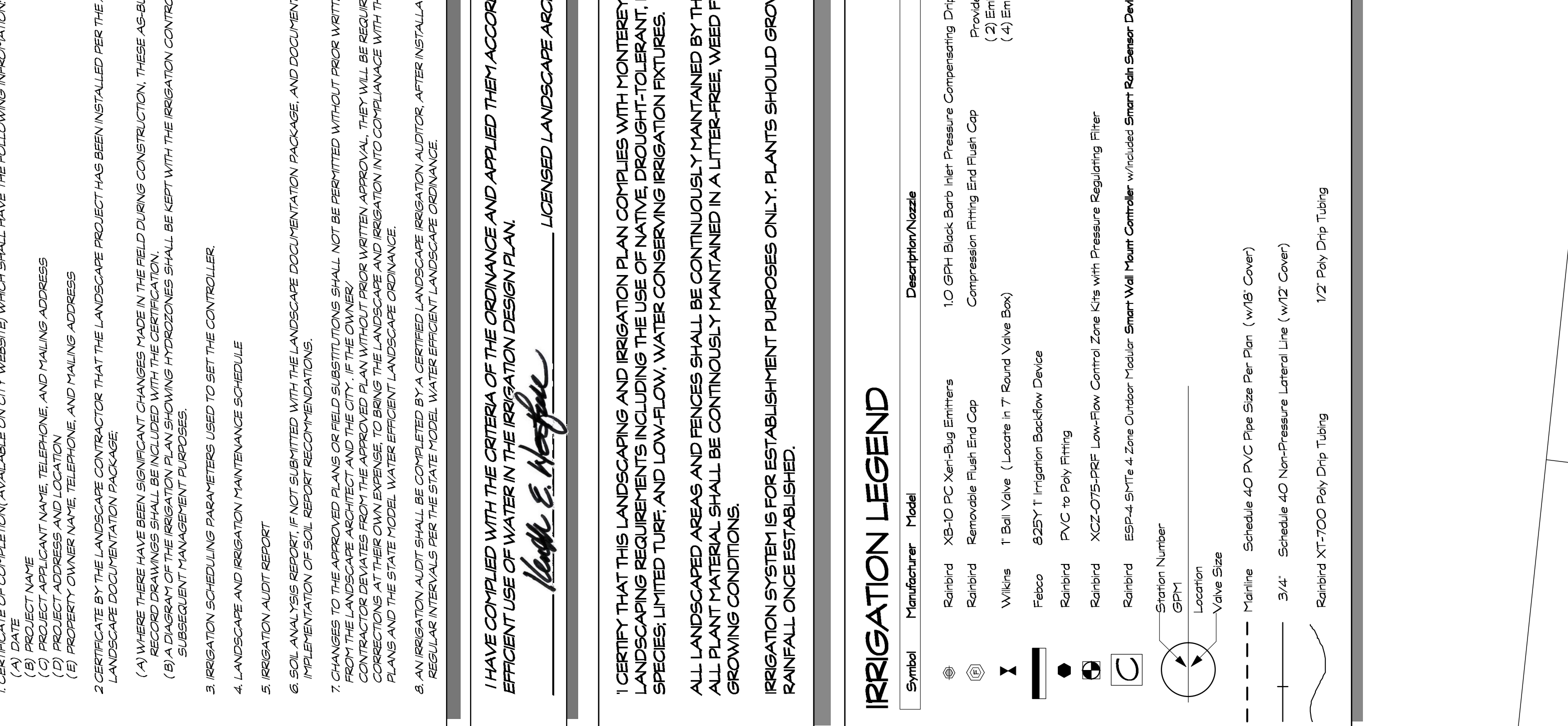
THE STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AROUND FOOTING AND NEW STORM DRAIN INLETS REQUIRED TO PREVENT ANY SEDIMENT LAIDEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM.
2. INSTALL STORM DRAIN INLET PROTECTION AS SHOWN ON DETAIL B/C5.
3. STORM DRAIN INLET PROTECTION SHALL BE INSPECTED MONTHLY DURING DRY PERIODS AND AFTER EVERY SIGNIFICANT RAINFALL EVENT. ANY DEFECTIVE PORTION OF THE PERIMETER OF THE PORTION OF THE BARRIER, SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE PERIMETER OF THE BARRIER.
- FIBER ROLL**

FIBER ROLLS WILL BE INSTALLED AT LOCATIONS SHOWN ON THIS PLAN AND PER DETAIL D/C5. CONTRACTOR MAY USE SILT FENCE AS AN ALTERNATE/SUPPLEMENTAL EROSION CONTROL/SEDIMENT BARRIER.
- TYPICAL CONSTRUCTION ENTRANCE**

CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER DETAIL C/C5 AT THE LOCATION SHOWN ON THE PLANS.
2. RUN-OFF FROM CONSTRUCTION ENTRANCE SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LAIDEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
3. ALL VEHICLES LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEANED OF DIRT, MUD, OR DEBRIS BEFORE ENTERING THE MAIN ROAD.
4. ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE MAIN ROAD ADJACENT TO THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
5. THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED PERIODICALLY TO ENSURE PROPER FUNCTION.
- THE CONSTRUCTION ENTRANCE MAY BE FIELD MODIFIED TO MEET SITE CONDITIONS.

SHEET C5
OF
5 SHEETS

WATER EFFICIENT LANDSCAPE WORKSHEET ETO: 463						
Hydrazone	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq Feet)	ETAF x A
Regular Landscape Area						
Low Water-Use	0.20	Drip	0.81	20/81= 0.25	2,283sf	570
						ETWUT



Hydrazine	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq Feet)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Area						
Low Water-Use	0.20	0.81	0.20/0.81= 0.25	2,283sf	570.75	16,386 gal/yr
					ETWU Total	16,386 gal/yr
					MAWA Total	36,059 gal/yr
(ET) (0.62) (ETAF x LA) MAWA: 463 x 0.62 x (0.55 x 2,283)						

MAWA	$46.3 \times 0.62 \times (0.55 \times 2.283)$	MAWA Total	36,059 gals
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CONTRACTOR TO PROVIDE:

1. CERTIFICATE OF COMPLETION(AVAILABLE ON CITY WEBSITE) WHICH SHALL HAVE THE FOLLOWING INFORMATION:

(A) SERIAL
(B) PROJECT NAME
(C) PROJECT APPLICANT NAME, TELEPHONE, AND MAILING ADDRESS
(D) PROJECT ADDRESS AND LOCATION
(E) PROPERTY OWNER NAME, TELEPHONE, AND MAILING ADDRESS

2 CERTIFICATE BY THE LANDSCAPE CONTRACTOR THAT THE LANDSCAPE PROJECT HAS BEEN INSTALLED PER THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE.

(A) WHERE THERE HAVE BEEN SIGNIFICANT CHANGES MADE IN THE FIELD DURING CONSTRUCTION, THESE AS-BUILT'S OR RECORD DRAWINGS SHALL BE INCLUDED WITH THE CERTIFICATION.

(B) A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

3. IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER.

4. LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE

5. IRRIGATION AUDIT REPORT

6. SOIL ANALYSIS REPORT, IF NOT SUBMITTED WITH THE LANDSCAPE DOCUMENTATION PACKAGE, AND DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL REPORT RECOMMENDATIONS.

7. CHANGES TO THE APPROVED PLANS OR FIELD SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT AND THE CITY. IF THE OWNER/ CONTRACTOR DEVIATES FROM THE APPROVED PLAN WITHOUT PRIOR WRITTEN APPROVAL, THEY WILL BE REQUIRED TO MAKE ANY CORRECTIONS AT THEIR OWN EXPENSE TO BRING THE LANDSCAPE AND IRRIGATION INTO COMPLIANCE WITH THE APPROVED PLANS AND THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

8. AN IRRIGATION AUDIT SHALL BE COMPLETED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR, AFTER INSTALLATION AND AT REGULAR INTERVALS PER THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.











Kendall E. Westfall LICENSED LANDSCAPE ARCHITECT CA #4138

1) CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING THE USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

ALL LANDSCAPED AREAS AND FENCES SHALL BE CONTINUOUSLY MAINTAINED BY THE APPLICANT; ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER-FREE, WEED FREE, HEALTHY, GROWING CONDITIONS.

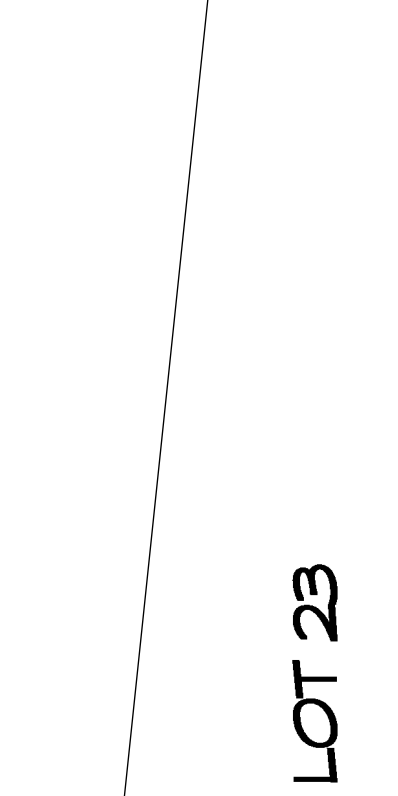
IRRIGATION SYSTEM IS FOR ESTABLISHMENT PURPOSES ONLY. PLANTS SHOULD GROW WITH NATURAL RAINFALL ONCE ESTABLISHED.

IRRIGATION LEGEND

Symbol	Manufacturer	Model	Description/Note
	Rainbird	XBS-PC XBS-PC XBS-PC	1.0 GPM Black Barb Inlet Pressure Compensating Drop Emitters
	Rainbird	Removable Flush End Cap	Provides (1) Emitters Per Each Sprinkler (2) Emitters Per Each 15 gal Tree (4) Emitters per Each 24" Box Tree
	Wilkins	T Ball Valve	(Locate in 7' Round Valve Box)
	Fetco	625Y-TI Irrigation Backflow Device	
	Rainbird	PVC to Poly Fitting	
	Rainbird	XZZ-OTS-IPRF Low-Flow Control Zone Kits with Pressure Regulating Filter	
	Rainbird	ESP-4 SHM-4 & Zone Outdoor Modular Smart Wall Mount Controller	includes Smart Rain Sensor Device. Run wires from Valves to Controller
		Station Number GPM Location Valve Size	
		Mainline	Schedule 40 PVC Pipe Size Per Plan (w/18' Cover)
		3/4"	Schedule 40 Non-Pressure Lateral Line (w/12' Cover)
		Rainbird XT-700 Poly Drip Tubing	1/2" Poly Drip Tubing

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING THE USE OF NATIVE, DROUGHT-TOLERANT, NONINVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

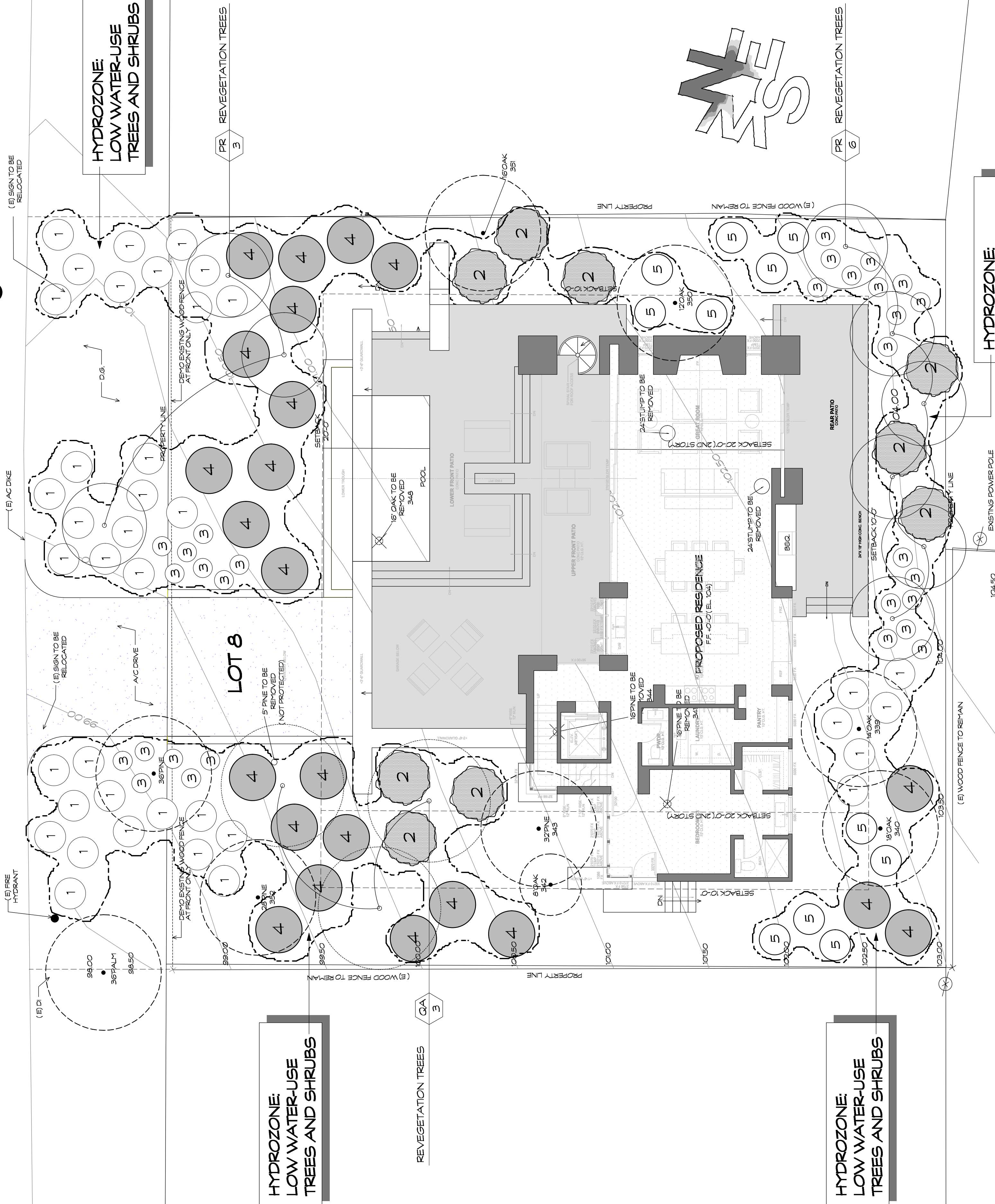
ALL LANDSCAPED AREAS AND FENCES SHALL BE CONTINUOUSLY MAINTAINED BY THE APPLICANT; ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER-FREE, WEED FREE, HEALTHY, GROWING CONDITIONS.



[illegible]

**TOTAL LANDSCAPE AREA
TO BE PLANTED: 2,283 sf**
(Not Including Native/Existing Vegetation)

SEVENTEEN MILE DRIVE



I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING THE USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

ALL LANDSCAPED AREAS AND FENCES SHALL BE CONTINUOUSLY MAINTAINED BY THE APPLICANT;
ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER-FREE, WEED FREE, HEALTHY,
GROWING CONDITIONS.

IRRIGATION SYSTEM IS FOR ESTABLISHMENT PURPOSES ONLY. PLANTS SHOULD GROW WITH NATURAL RAINFALL ONCE ESTABLISHED.

PLANTING NOTES:

SOIL PREPARATION, MULCH AND AMENDMENTS:

(A) PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRAGILE CONDITION ON ENGINEERED SLOPES, INCLUDING THE PLANTING OF ANY MATERIALS. ANY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT.

(B) SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANT SELECTED (SEE SECTION 409.15).

- [illegible]

§ 492.5. SOIL MANAGEMENT REPORT:

- (A) IN ORDER TO REDUCE RUNOFF AND ENCOURAGE HEALTHY PLANT GROWTH, A SOL MANAGEMENT REPORT SHALL BE COMPLETED BY THE PROJECT APPLICANT OR HIS/HER DESIGNEE, AS FOLLOWS:
- (1) SUBMIT SOL SAMPLES TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS.
- A SOL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.

- B. THE SOIL ANALYSIS SHALL INCLUDE:
1. SOL TEXTURE;
 2. INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOL TEXTURE INFILTRATION RATE TABLE.

3. PH:
4. TOTAL SOLUBLE SALTS:
5. SODIUM:
6. SODIUM ORGANIC MATTER AND
7. RECOMMENDATIONS.
- C. PROJECTS WITH MULTIPLE LANDSCAPE INSTALLATIONS (I.E. PRODUCTION HOVE DEVELOPMENTS) A SOIL SAMPLING RATE OF 1 IN 7 LOTS, OR APPROXIMATELY 15 PERCENT WILL SATISFY THIS REQUIREMENT. LARGE LANDSCAPE PROJECTS SHALL SAMPLE AT A RATE EQUIVALENT TO 1 IN 7 LOTS.
- (1) THE PROJECT APPLICANT OR HIS/HER DESIGNEE SHALL COMPLY WITH ONE OF THE FOLLOWING:

- A. IF SIGNIFICANT MASS GRADING IS NOT PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE OR
B. IF SIGNIFICANT MASS GRADING IS PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
3. THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE, IN A TIMELY MANNER, TO THE PROFESSIONALS PREPARING THE LANDSCAPE DESIGN PLANS AND IRRIGATION DESIGN PLANS TO MAKE ANY NECESSARY ADJUSTMENTS TO THE DESIGN PLANS.
4. THE PROJECT APPLICANT, OR HIS/HER DESIGNER, SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE LOCAL AGENCY WITH CERTIFICATE OF COMPLETION.

PLANT LEGEND

TREES

Symbol	Botanic Name	Common Name	Size	Quantity	Comments	Water-Use
PR	<i>Pinus radiata</i>	Monterey Pine	15 gal	3	Revegetation Trees	Low
QA	<i>Quercus agrifolia</i>	Coast Live Oak	15 gal	9	Revegetation Trees	Low

SHRUBS:

Symbol	Common Name	Size	Quantity	Comments	Water-Low	
1	<i>Acrostaphylos edmundii</i>	Little Sun Marzania	5 gal	3/8	Evergreen Low Growing, Pink Flower	Very Low
2	<i>Ceanothus grisea</i> Horizontalis	Ceanothus	5 gal	2/8	Evergreen, Purple Flower	Low
3	<i>Muhlenbergia repens</i>	Creeping Muhlenbergia	5 gal	3/0	Green Half-Inch Leaves, N3 wide	Low
4	<i>Rhamnus californica</i>	Coffeeberry	5 gal	1	Evergreen Shrub, 6'-High.	Low
5	<i>Ribes vumifolium</i>	Cauline Currant	5 gal	11	Evergreen, Red Straws, Green Foliage	Low

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

Heath E. Woodford LICENSED LANDSCAPE ARCHITECT CA #4138



LOT 25

LOT 24

LOT 23

OF
SHEETS

2

SHEET:

DATE: 08/22/16

1/8"=1'-0"

3 NUMBER:

SHEET:

OF
SHEETS

