

Exhibit C

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**EXHIBIT C
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

HOPKINS GARY D & BETTY (PLN160373)

RESOLUTION NO. ----

Resolution by the Monterey County Hearing Body:

- 1) Finding the project Categorical Exempt per CEQA Section 15303(a); and
- 2) Approving Administrative Permit to clear code enforcement (CE970238) for the placement of a mobile home as a temporary residence during construction of a 2,730 square foot single family dwelling with a 1,248 square foot detached two-car garage/workshop and removal of one six inch oak tree.

[PLN160373, HOPKINS GARY D & BETTY,
76291 Bryson Hesperia Road, Bradley, South County
Area Plan (APN: 424-051-064-000)]

The Hopkins application (PLN160373) came on for public hearing before the Monterey County Zoning Administrator on 25 May 2017. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

- 1. FINDING:** **PROJECT DESCRIPTION** – The project is temporary residential occupancy of a mobile home during construction of the first single family dwelling and detached garage/workshop, and removal of one oak tree on a parcel in an agricultural zone. Completion of this project, as approved, would clear code violation (CE970238) on this property for placement of an unpermitted mobile home on the parcel.

EVIDENCE: The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160373.
- 2. FINDING:** **CONSISTENCY** – The proposed project and use, as conditioned, is consistent with the *2010 Monterey County General Plan (General Plan)*, the South County Area Plan (SCAP), and the requirements of the Title 21 Zoning Ordinance to include Chapter 21.70 (Administrative Permits) and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the use proposed.

EVIDENCE: a) During the course of review of this application, the project has been

reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;
- South County Area Plan;
- Monterey County Zoning Ordinance (Title 21);

- b) Staff identified a mobile home on the property, in violation (CE970238) of Section 21.64.070.F of the Monterey County Code. Occupancy of a temporary residence is allowed during construction of the first dwelling on a lot; however, the mobile home was placed on the property without required permits and prior to obtaining permits for construction of the permanent residence.
- c) This permit, to allow construction of the first single family dwelling and detached garage, would allow use of the mobile home as a temporary residence during construction. No other communications were received during review of the project indicating any other inconsistencies with the text, policies, and regulations in these documents.
- d) The subject site is zoned Rural Grazing (RG/40). Pursuant to Section 21.32.030.O of the Zoning Ordinance, Title 21, the first single family dwelling is a permissible use for the site. The project proposes construction of the first single family dwelling on this parcel. Although there is not agricultural use of the property, the first single family dwelling on a parcel does not need to be accessory to the agricultural use.
- e) Pursuant to 21.64.070.F, the code violation (CE970238) necessitates an Administrative Permit.
- f) Pursuant to Section 21.70.030, this Administrative Permit was referred to the Zoning Administrator due to a request for public hearing from a neighbor.
- g) Pursuant to Policy AG-1.7 of the *General Plan*, housing facilities are allowed with a discretionary permit. Criteria for granting the discretionary permit include locating housing to minimize the conversion of viable agricultural lands. The proposed single-family dwelling is located on a 34.81 acre site that could be suitable for grazing land. The dwelling is located on the site in a manner that would not significantly reduce grazing opportunities.
- h) The proposed project includes removal of one (1) Blue Oak tree. Pursuant to Section 21.64.260.D.2 of Monterey County Code, the Director of Planning may approve the removal of up to three protected trees administratively. Therefore, removal of one Blue Oak tree is under the maximum allowed and does not require a permit.
- i) The project includes development on slopes greater than 30%, however, pursuant to *General Plan* Policy OS-3.5.1.c, a Use Permit is not required because the total area impacted is less than 10% and below 500 square feet of the total development footprint. The project has been sited and designed to minimize impacts to slopes to the extent feasible and relocating the development would increase impacts to a greater amount of slopes over 30%.
- j) The project was referred to the South County Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, the Director of Planning may refer a project to the LUAC that raises

significant land use issues that necessitate public review prior to a public hearing. A request for public hearing of this application came in on 4 April 2017; therefore, the project was referred to the South County LUAC.

- k) This application was reviewed by the South County LUAC on 17 May 2017. The South County LUAC recommended approval on a 4 (Ayes) – 0 (Noes) vote.
- l) Staff conducted a site inspection on 6 June 2016 to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160373.

3. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, South County Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) The following reports have been prepared:
 - “Update of Geotechnical and Septic System Report, August 9, 1993” (LIB160283) prepared by Soil Surveys, Inc., Salinas, CA, 11 November 2015
 - “APN: 424-051-064 Blue oak tree” (LIB160284) prepared by Bryan E. Bradford, Salinas, CA, 14 August 2016

The above-mentioned technical reports by outside consultants specified there are no physical or environmental constraints that would indicate the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) The Bradford report recommends removal of the Blue oak tree that is planned for removal from the parcel. See above Evidence 2.e).
- d) An archaeological easement exists on the property. Pursuant to Section 21.66.050.C.1.D, the project has been located more than 250 feet away from known cultural resources. Additionally, as recommended in an archaeological report (LIB160282) prepared for the site, a condition has been added stating that if any resources are uncovered at the site, all work must cease within fifty meters of the location of the find until further analysis is conducted (Condition #3). Therefore, impacts to cultural resources would be avoided or minimized during the proposed project.
- e) The applicant proposes placement of five (5) 5,000-gallon water storage tanks. Tanks had been planned for placement on a ridgeline without previous development; however, the water tanks are now planned for a nearby location along the side of a ridge adjacent to where a cistern building exists and behind existing vegetation that will screen views of the tanks from Bryson-Hesperia Road. In addition, a condition of the

project provides the applicant submit for approval by RMA-Planning water tank colors integrated with the surrounding vegetation along with a Landscape Plan (Condition #15).

- f) Staff conducted a site inspection on 6 June 2016 to verify that the site is suitable for this use.
- g) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN160373.

4. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the RMA- Planning, South County Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Staff conducted a site inspection on 6 June 2016 to verify that the site is suitable for this use.
 - c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN160373.

5. **FINDING:** **VIOLATIONS** - The subject property is not in compliance with all rules and regulations pertaining to County zoning uses. As approved herein, the violation is rectified and the project will be brought into compliance with all rules and regulation.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA-Planning and RMA-Building Services record and note a violation exists on subject property.
 - b) The violation (CE970238) is for an unpermitted mobile home and septic system on the subject property. The applicant would like to use the mobile home as a residence during construction of the primary residence and upgrade the septic system as advised by Bureau of Environmental Health.
 - c) Pursuant to Section 21.84.040.B of the Monterey County Code, no entitlements may be granted prior to the abatement of an existing violation on a property This permit would allow use of the mobile home as a temporary residence during construction of the first single family dwelling and detached garage. The applicant agrees to adhere to the condition placed on this permit requiring removal of the mobile home from the property once the primary residence is constructed and prior to occupancy of the new residence (Condition #1).
 - d) The applicant shall improve septic system in accordance with approved Utility and Septic Plan (Sheet C-3.1).

- e) The two temporary accessory pole barn structures shall be removed.
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN160373.
6. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) exempts new construction of the first single family residence. The project includes construction of the first single family dwelling at the site.
 - b) This Administrative Permit would allow the construction of the first single family residence on the subject property. Therefore, this project is categorically exempt from environmental review.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project, as proposed, is not located in a sensitive environment; would not cause cumulative impacts or significant impact on the environment; would not damage scenic or historical resources; and is not registered on the Cortese List as a Superfund cleanup site.
 - d) No adverse environmental effects were identified during staff review of the development application or during a site visit on 6 June 2016.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160373.
7. **FINDING:** **PUBLIC COMMENT** – The project was previously under administrative review for an Administrative Permit, during which time, a request for public hearing came from neighbors of the parcel.
- EVIDENCE:**
- a) Comments were received that raised concerns about the existing code enforcement case on the property and that the single family dwelling permitted for construction on the parcel would be completed in a timely manner.
 - b) This permit, to allow construction of the first single family dwelling and detached garage would allow use of the mobile home as a temporary residence during construction, provided the applicant adheres to the provisions of Section 21.64.070. The applicant agrees to adhere to the condition placed on this permit requiring removal of the mobile home from the property once the primary residence is constructed and prior to occupancy of the new residence (Condition #1).
 - c) Comments were received that raised concerns about the implementation of five (5) 5,000-gallon water storage tanks on the property.
 - d) The property owners plan to use three tanks (15,000 gallons) for domestic/irrigation water and for collection of storm water runoff during the rainy season; and two tanks (10,000 gallons) dedicated to fire suppression systems in the house, the garage/workshop, and for CDF connections.
 - e) A comment was received that raised concerns about the project not going to the South County LUAC and that all projects for abatement of code violations should be referred to the LUAC for review.

- f) As soon as a request for public hearing was received from a neighbor on 4 April 2017, the application was referred to the Zoning Administrator instead of processing the permit administratively.
- g) A comment was received raising concerns about new development impacting the ridgeline view on Bryson-Hesperia Road and that existing “outbuildings” on ridgelines are currently in violation of this ordinance.
- h) Water storage tanks had been planned for placement on a ridgeline without previous development; however, the water tanks are now planned for a nearby location along the side of a ridgeline adjacent to where a cistern building exists and does not create a substantially adverse visual impact from Bryson-Hesperia Road.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: a) Section 21.80.040.D of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project exempt from CEQA per Section 15303(a) of the CEQA Guidelines; and
2. Approve an Administrative Permit to clear violation (CE970238) to allow the use of a mobile home as a temporary residence during construction of and to allow construction of a 2,730 square foot single family dwelling and detached 1,248 square foot garage/workshop, and removal of one (1) Blue Oak tree in an a rural grazing zoning district

PASSED AND ADOPTED this 25th day of May 2017:

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **DATE**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE ZONING ADMINISTRATOR ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **[DATE]**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160373

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

This Administrative Permit (PLN160373) allows temporary residency of a previously unpermitted mobile home during construction of the first single family dwelling to clear code violation (CE970238) for the placement of the temporary residence (mobile home) as a living quarter prior to the construction of a 2,730 square foot single family dwelling with a 1,248 square foot detached two-car garage/workshop; removal of the mobile home once the primary residence is constructed and prior to occupancy of the new residence; and removal of one Blue oak tree. The property is located at 76291 Bryson Hesperia Road, Bradley (Assessor's Parcel Number 424-051-064-000), South County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described herein, and in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or
Monitoring
Action to be Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "An Administrative Permit (Resolution Number ****) was approved by the Zoning Administrator for Assessor's Parcel Number 424-051-064-000 on 25 May 2017. The permit was granted subject to 17 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be Performed: shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources)
work shall be halted immediately within 50 meters (165 feet) of the find until a qualified
professional archaeologist can evaluate it. Monterey County RMA - Planning and a
qualified archaeologist (i.e., an archaeologist registered with the Register of
Professional Archaeologists) shall be immediately contacted by the responsible
individual present on-site. When contacted, the project planner and the archaeologist
shall immediately visit the site to determine the extent of the resources and to develop
proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.
Monitoring

Action to be Performed: Prior to the issuance of grading or building permits and/or prior to the recordation of
the final/parcel map, whichever occurs first, the Owner/Applicant shall include
requirements of this condition as a note on all grading and building plans. The note
shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact
Monterey County RMA - Planning and a qualified archaeologist immediately if cultural,
archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the
site to determine the extent of the resources and to develop proper mitigation
measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PD049 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to RMA-Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to RMA-Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the DPW.

8. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the DPW.

9. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an erosion control plan to RMA-Environmental Services for review and approval.

10. GEOTECHNICAL CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geotechnical and Septic System Investigation Report. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

11. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a grading plan incorporating the recommendations from the project Geotechnical and Septic System Investigation Report prepared by Soil Surveys Group, Inc. The grading plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The grading plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the grading plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the grading plan for conformance with the geotechnical recommendations.

12. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

13. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

14. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

15. SCREEN WATER TANKS

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Applicant shall ensure that existing vegetation serving to screen the water tanks will not be removed or trimmed prior to approval from RMA-Planning.

Compliance or Monitoring Action to be Performed: Applicant shall apply for appropriate permits prior to removal or trimming of vegetation that screens the water tanks.

1. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.
2. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED TO THE SATISFACTION OF THE BUILDING OFFICIAL AND PUBLIC WORKS DIRECTOR DURING ALL DEMOLITIONS, CONSTRUCTION AND GROUND DISTURBING ACTIVITIES
3. THE ADJOINING STREET SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT, DUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY.
4. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN PERMANENT IMPROVEMENTS, PLANTINGS AND FACILITIES ARE IN PLACE. TEMPORARY MEASURES SHALL BE REMOVED PRIOR TO FINAL INSPECTION APPROVALS
5. THE FOLLOWING PERSON SHALL BE RESPONSIBLE FOR IMPLEMENTING & MONITORING THE APPROVED EROSION & SEDIMENTATION CONTROL PLAN:

TO BE DETERMINED

DURING CONSTRUCTION/GROUND DISTURBING ACTIVITIES, THE FOLLOWING PARTICULATE (DUST) CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR OR BUILDER SHALL BE DESIGNATED TO MONITOR THE DUST CONTROL PROGRAM AND ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFF SITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THEIR CONTACT INFORMATION SHALL BE PRESENTED TO THE APCD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

- DURING INITIAL GRADING/SCRAPING, BURNING SHALL NOT BE ALLOWED, OR IF NO ALTERNATIVE IS AVAILABLE, THE APPLICANT SHALL OBTAIN A BURN PERMIT FROM THE APCD AND COUNTY FIRE/CALIFORNIA DEPARTMENT OF FORESTRY, AND COMPLY WITH ALL CONDITIONS REQUIRED BY THESE AGENCIES.

1. ANY AND ALL SITE WORK AND GRADING SHALL BE IN ACCORDANCE WITH CBC CHAPTER 18 AND CBC APPENDIX J AND ANY APPLICABLE LOCAL ORDINANCES.
2. A SOILS ENGINEER SHALL DETERMINE GRADING PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE(S).
3. THE BOTTOM OF ALL EXCAVATIONS SHOULD BE OBSERVED AS REQUIRED BY THE GEOTECHNICAL ENGINEER PRIOR TO PROCESSING OR PLACING FILL.
4. AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK DONE WITHIN A RIGHT OF WAY MAINTAINED BY THE PRESIDING JURISDICTION.
5. MAXIMUM CUT AND FILL SLOPE TO BE 2:1
6. THE BESTING GROUND SURFACE SHOULD BE PREPARED FOR GRADING BY REMOVING ALL VEGETATION, TREES, LARGE ROOTS, DEBRIS, NON-COMPLYING FILL, AND ALL OTHER ORGANIC MATERIAL. VOIDS CREATED BY REMOVAL OF SUCH MATERIALS SHOULD NOT BE BACKFILLED UNTIL THE UNDERLYING SOIL HAS BEEN OBSERVED AS REQUIRED BY A SOILS ENGINEER.
7. FILL AND BACKFILL SHOULD BE PLACED AT NEAR OPTIMUM MOISTURE IN LAYERS WITH LOOSE THICKNESS NOT GREATER THAN EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY OBTAINABLE BY TEST METHOD ASTM-D 1557, AND CERTIFIED AS REQUIRED BY A SOILS ENGINEER.
8. IMPORT SOILS USED TO RAISE SITE GRADE SHOULD BE EQUAL TO OR BETTER THAN ON-SITE SOILS IN STRENGTH, EXPANSION AND COMPRESSIBILITY CHARACTERISTICS. IMPORT SOIL CAN BE EVALUATED BUT WILL NOT BE PROVIDED BY THE GEOTECHNICAL ENGINEER. FINAL DECISIONS ON THE CHARACTERISTICS OF THE IMPORT SOIL WILL BE PROVIDED AFTER THE MATERIAL IS STOCKPILED AT THE PROJECT SITE.
9. FINAL SITE GRADE SHOULD BE SUCH THAT ALL WATER IS DIVERTED AWAY FROM THE STRUCTURE(S) A MINIMUM OF 5% FOR 10 FEET. WATER SHALL NOT POND. ALL SURFACE WATER SHOULD BE DIRECTED INTO APPROVED DISCHARGE STRUCTURES.
10. ACCESS TO DRIVeways: ANY ROAD GRADE IN EXCESS OF 12% SHALL BE PAVED WITH A NON-SKID MATERIAL. GRADE FOR FIRE ACCESS SHALL NOT EXCEED 20%.
11. ALL NON-PERMITTED FILL SHALL BE REMOVED BY CONTRACTOR.
12. ELECTRICAL, TELECOMMUNICATIONS, AND OTHER UTILITIES SHALL BE INSTALLED UNDERGROUND IN AN APPROVED METHOD OF CONSTRUCTION.
13. UTILITY TRENCHES APPLIED TO THE PROJECT SHALL BE 5 FEET OR LESS AND SERVING NEW STRUCTURES AND/OR NEW UTILITY DISTRIBUTIONS.
14. UTILITY TRENCH BACKFILL SHOULD BE GOVERNED BY THE PROVISIONS OF THIS REPORT RELATING TO MINIMUM COMPACTION STANDARDS. IN GENERAL, SERVICE LINES INSIDE THE PROPERTY LINES MAY BE BACKFILLED WITH NATIVE SOILS COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY. BACKFILL OF OFF SITE SERVICE LINES WILL BE SUBJECT TO THE SPECIFICATIONS OF THE JURISDICTIONAL AGENCY OR THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER.
15. LINED DRAINAGE SWALES AND DOWN DRAINS SHOULD BE PROVIDED AT THE TOPS OF CUT AND FILL SLOPES TO DIVERT DRAINAGE AWAY FROM SLOPE FACES.
16. FILL SLOPES SHOULD BE KEPT AND BENCHED INTO FIRM NATURAL GROUND WHERE THE SLOPE EXCEEDS 1:1. SLOPES 1:1 OR STEEPER, HORIZONTAL TO VERTICAL. THE KEYS SHOULD BE TILTED INTO THE SLOPE. A MINIMUM OF 2% SHOULD BE A MINIMUM OF ONE EQUIPMENT WIDTH AND SHOULD BE A MINIMUM OF THREE (3) FEET DEEP ON THE OUTSIDE EDGE. ALL KEYS AND BENCHES SHOULD BE OBSERVED AND VERIFIED BY THE GEOTECHNICAL ENGINEER.

1. ALL WORK SHALL CONFORM WITH THE:
 - 2013 CBC (2012 IBC AND CALIFORNIA AMENDMENTS)
 - 2013 CEC (2011 NEC AND CALIFORNIA AMENDMENTS)
 - 2013 CMC (2012 IAPMO UMC AND CALIFORNIA AMENDMENTS)
 - 2013 CPC (2012 IAPMO UPC AND CALIFORNIA AMENDMENTS)
 - 2013 CENC AND T-24
 - 2013 CALIFORNIA GREEN BUILDING CODE
 - 2013 CPC (2012 IFC AND CALIFORNIA AMENDMENTS)
2. THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPE AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK INVOLVED.
3. ALL WORK AND CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER

RULES, REGULATIONS AND ORDINANCES GOVERNING THE CONSTRUCTION SITE. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL MATERIALS TO BRING TO THE ATTENTION OF THE ARCHITECT/ENGINEER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

DO NOT SCALE THE DRAWINGS. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SCHEDULING. OBSERVATIONS FROM THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE

76291 BRYSON-HYSPERIA ROAD
BRADLEY, CA



EXCAVATION	PROJECT DESCRIPTION		OWNER PROJECT INFORMATION	
EXCAVATION QUANTITIES SHOWN ON THIS PLAN ARE ESTIMATED FOR BUILDING DEPARTMENT FEE DETERMINATIONS. SHRINKAGE AND SCARIFICATION LOSSES CAN AND WILL VARY BASED UPON SOIL CONDITIONS AND VEGETATION TYPES. CONTRACTORS SHALL VERIFY ALL QUANTITIES PRIOR TO BID.	NEW SINGLE FAMILY RESIDENCE AND A DETACHED GARAGE / SHOP BUILDING		OWNER PROJECT ADDRESS	GARY AND BETTY HOPKINS 76291 BRYSON-HYSPERIA ROAD BRADLEY, CA 424-051-064-000 805-472-2384
EXCLUDING BUILDING PAD (EXCLUDES VOLUMES UNDER BLDG FOOTPRINTS):	INCLUDING BUILDING PAD (INCLUDES VOLUMES UNDER BLDG FOOTPRINTS):		APN	
CUT: 815 CU YDS	CUT: 1175 CU YDS		PHONE	
FILL: 295 CU YDS	FILL: 503 CU YDS			
NET CUT: 520 CU YDS	NET CUT: 672 CU YDS			
SPECIAL INSPECTION	FIRE SAFETY PLAN		CONSULTANTS	
WHERE SPECIAL INSPECTION OR TESTING IS REQUIRED BY SECTION 1704, 1707, OR 1708, THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL PREPARE A STATEMENT OF SPECIAL INSPECTIONS IN ACCORDANCE WITH SECTION 1705 FOR SUBMITTAL BY THE PERMIT APPLICANT.	THE APPROVED PROJECT ALLOWED TO BE CONSTRUCTED BY THIS BUILDING PERMIT SHALL CONFORM TO THE FIRE SAFETY PLAN REQUIREMENTS AS DEEMED NECESSARY BY THE FIRE DEPARTMENT HAVING JURISDICTION FOR THIS PERMIT. PRIOR TO BEGINNING CONSTRUCTION THE PROPERTY OWNER SHALL READ THE FIRE SAFETY PLAN ISSUED BY THE FIRE DEPARTMENT AND BECOME FULLY AWARE OF ALL NECESSARY FIRE PROTECTION REQUIREMENTS.		ARCHITECTURAL, STRUCTURAL, & CIVIL ENGINEERING M.E. DESIGNS 610 10TH ST, STE D PASO ROBLES, CA 93446 805.610.9545	
ITEM	REMARKS	INSPECTOR	SOILS	
STRUCTURAL MASONRY / RETAINING WALLS	P	TO BE DETERMINED	SOIL SURVEYS GROUP, INC.	
FIELD WELDING	C	TO BE DETERMINED	103 CHURCH STREET	
OTHER	NOT REQUIRED		SALINAS, CA 93901	
C = CONTINUOUS / P = PERIODIC			831-757-2172	
	1. WHEN FIRE SPRINKLERS ARE REQUIRED, A FIRE SPRINKLER PLAN AND PERMIT FOR RESIDENTIAL PROJECTS ARE REQUIRED. PROVIDE APPROVED PLANS TO BUILDING INSPECTOR PRIOR TO THE TIME OF FRAMING INSPECTION			
	2. PRIOR TO FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE. WHERE APPLICABLE, PROVIDE FIREBREAK WITHIN 30' AND 100' OF EACH BUILDING OR STRUCTURE. DOWNED LOGS, STUMPS, DEAD AND DYING WOODY SURFACE FUELS SHALL BE REMOVED. REMOVE SURFACE FUELS GREATER THAN 4 INCHES AND LOWER LIMBS OF TREES UP TO 6 FEET WITHIN AREAS OF CONTINUOUS TREE CANOPY			

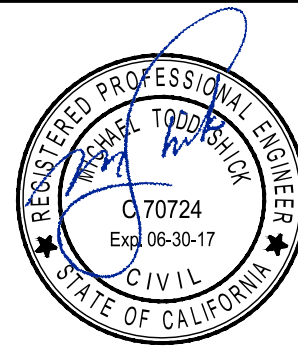
T-1.1	TITLE SHEET	A-3.2	RESIDENCE ELEVATIONS
T-2.1	CAL GREEN NOTES	A-4.1	RESIDENCE SECTION
T-2.2	CAL GREEN CHECKLIST	A-5.1	GARAGE FLOOR AND ELECTRICAL PLAN
T-24.1	TITLE 24		
T-24.2	TITLE 24	A-6.1	GARAGE ELEVATIONS
C-1.1	SITE MAP	A-7.1	GARAGE SECTION
C-1.2	SITE PLAN	E-1.1	RESIDENCE ELECTRICAL PLAN
C-1.3	FUEL MODIFICATION PLAN	ASP	ARCHITECTURAL SPECIFICATIONS
C-2.1	DRIVEWAY PLAN & PROFILE	S-1.1	RESIDENCE FOUNDATION PLAN
C-2.2	DRIVEWAY PLAN & PROFILE	S-2.1	RESIDENCE CEILING FRAMING PLAN
C-2.3	DRIVEWAY PLAN & PROFILE		
C-2.4	DRIVEWAY PLAN & PROFILE	S-3.1	RESIDENCE ROOF FRAMING PLAN
C-2.5	PROFILES & SITE CROSS SECTIONS	S-4.1	GARAGE FOUNDATION PLAN
C-2.6	WATER TANK GRADING PLAN	S-5.1	GARAGE ROOF FRAMING PLAN
C-3.1	UTILITY & SEPTIC PLAN	D-1.1	STRUCTURAL DETAILS
C-4.1	EROSION CONTROL PLAN	D-2.1	STRUCTURAL DETAILS
CD-1.1	CIVIL DETAILS	D-3.1	STRUCTURAL DETAILS
CD-2.1	CIVIL DETAILS	D-4.1	STRUCTURAL DETAILS
CD-2.2	CIVIL DETAILS	D-5.1	STRUCTURAL DETAILS
CD-2.3	CIVIL DETAILS	SSP	STRUCTURAL SPECIFICATIONS
A-1.1	FLOOR PLAN - RESIDENCE		
A-2.1	FLOOR PLAN - RESIDENCE - DIMS		
A-3.1	RESIDENCE ELEVATIONS		

LOT SIZE	40+ ACRES
AREA OF DISTURBANCE	4942 SQ FT (HOUSE / PORCH) 1248 SQ FT (GARAGE / SHOP)
OCCUPANCY (CBC 310.1)	R-3 (SFD)
CONSTRUCTION TYPE	VB
BUILDING HEIGHT	17'-9" MAX ABOVE AVERAGE GRADE
NEW RESIDENCE	2730 SQ FT
GARAGE	1248 SQ FT
PORCH	2212 SQ FT

GOVERNING BUILDING CODE			
2013 CALIFORNIA RESIDENTIAL CODE			
2013 CALIFORNIA BUILDING CODE			
GENERAL PARAMETERS			
CONSTRUCTION TYPE	TYPE V-B		
NUMBER OF STORIES	1		
MAX HEIGHT (ABV. GRADE)	17'-9"		
ROOF	DL / LL	17.0 / 20	PSF
PORCH	DL / LL	15.5 / 40	PSF
WALLS (HARDIE SIDING)	DL	10.0	PSF
WALLS (CMU)	DL	85.0	PSF
WALLS (INTERIOR)	DL	8.5	PSF
GEOTECHNICAL PARAMETERS			
BEARING PRESSURE	1200	PSF	
LATERAL PASSIVE PRESSURE	250	PCF	
EPF (REST / ACTIVE)	60 / 40	PCF	
FRICTION COEFFICIENT	0.25		
WIND DESIGN PARAMETERS			
DESIGN PROCEDURE	SIMPLIFIED, ASD		
BASIC WIND SPEED	110 MPH		
EXPOSURE	C		
IMPORTANCE FACTOR	1.00		
INTERNAL PRESSURE COEFF.	N/A		
DESIGN LATERAL WIND PRESSURE	14.5 PSF (H=18') - HOUSE / PORCH		
DESIGN VERTICAL WIND PRESSURE	13.5 PSF - HOUSE / PORCH		
DESIGN LATERAL WIND PRESSURE	13.6 PSF (H=15') - GARAGE / SHOP		
DESIGN VERTICAL WIND PRESSURE	6.0 PSF - GARAGE / SHOP		
SEISMIC DESIGN PARAMETERS			
DESIGN PROCEDURE	EQUIV. FORCE		
SITE CLASS	D		
IMPORTANCE FACTOR	1.00		
OCCUPANCY CATEGORY	II		
MAPPED SPECTRAL RESPONSE	SS = 1.22	S1 = 0.43	
SPECTRAL RESPONSE COEFFICIENT	SDS = 0.82	SD1 = 0.45	
SEISMIC DESIGN CATEGORY	SDC = D		
SEISMIC FORCE RESISTING SYSTEM	WOOD SHEAR WALL (HOUSE)		
RESPONSE MODIFICATION FACTOR	R = 6.5 (HOUSE)		
DESIGN BASE SHEAR	0.12W (HOUSE)		
SEISMIC FORCE RESISTING SYSTEM	CMU SHEAR WALL (GARAGE / SHOP)		
RESPONSE MODIFICATION FACTOR	R = 5.0 (GARAGE / SHOP)		
DESIGN BASE SHEAR	0.15W (GARAGE / SHOP)		
ANALYSIS PROCEDURE USED	ASD		

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BRADLEY, CA

REVISION LOG

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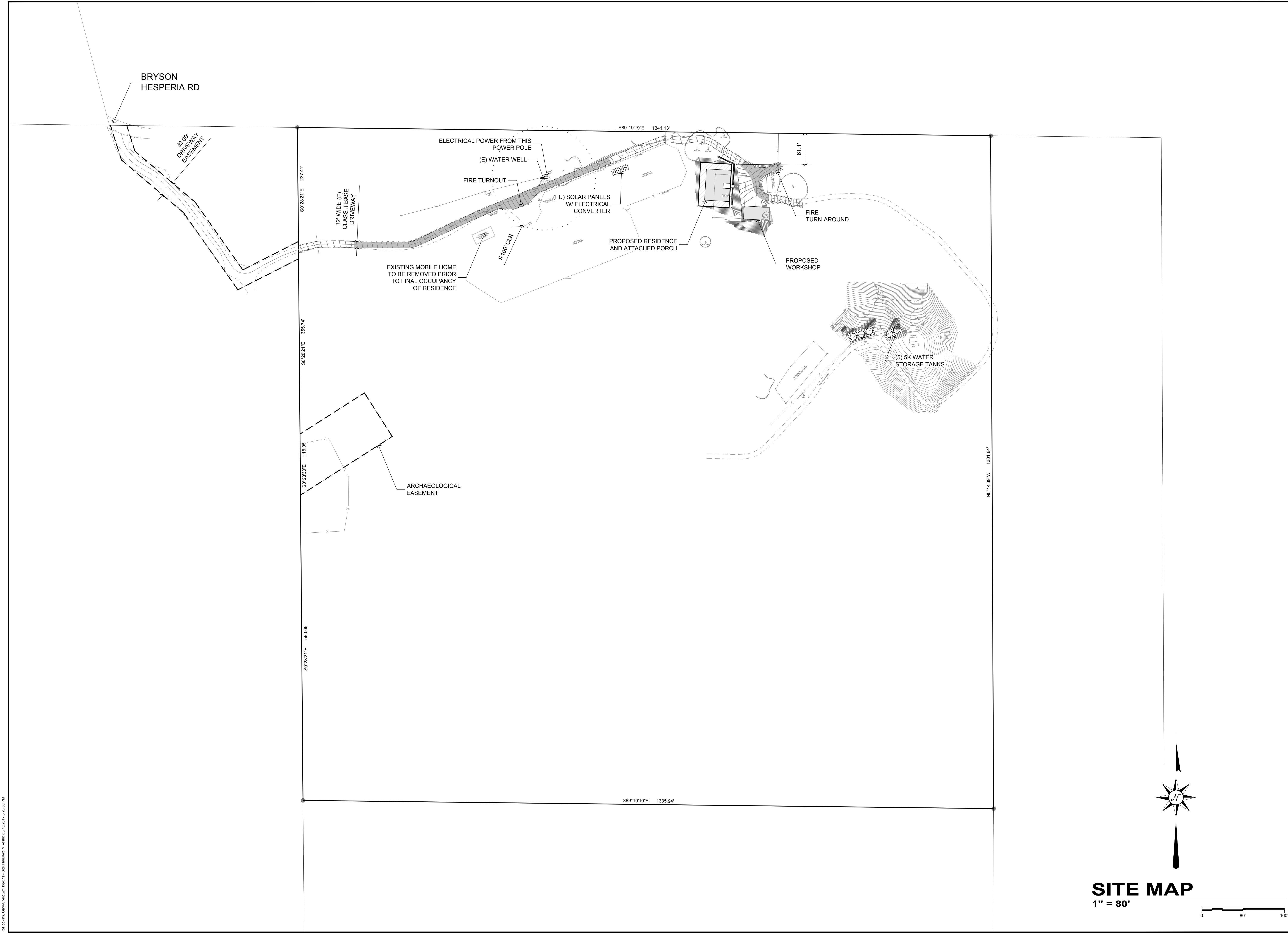
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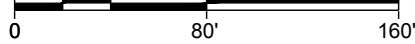
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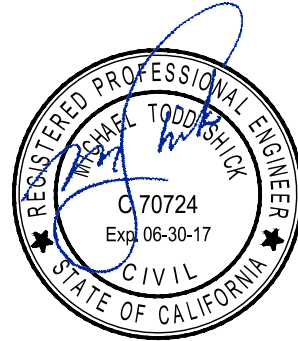
SITE MAP

1" = 80'



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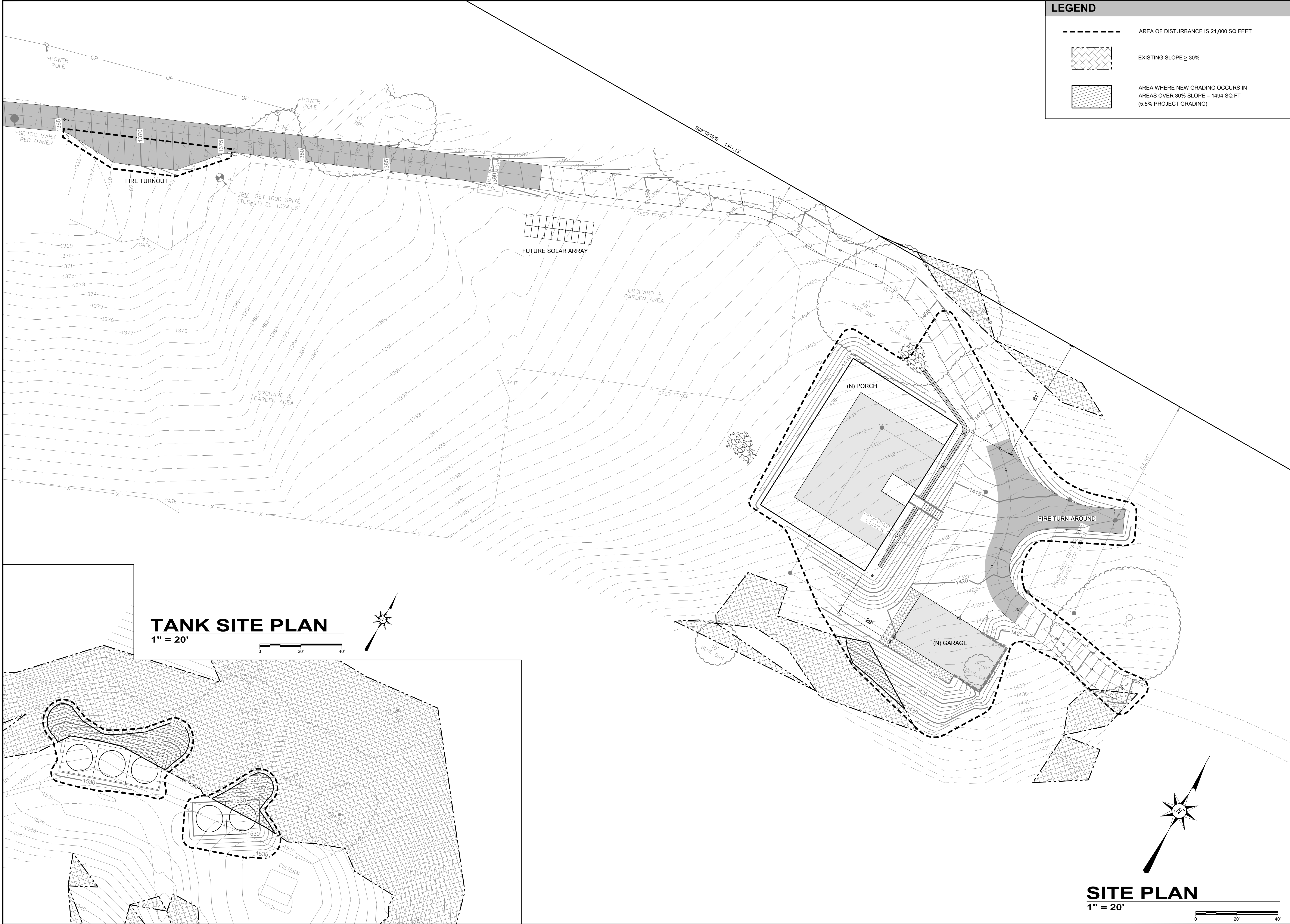
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SHEET TITLE:
SITE MAP

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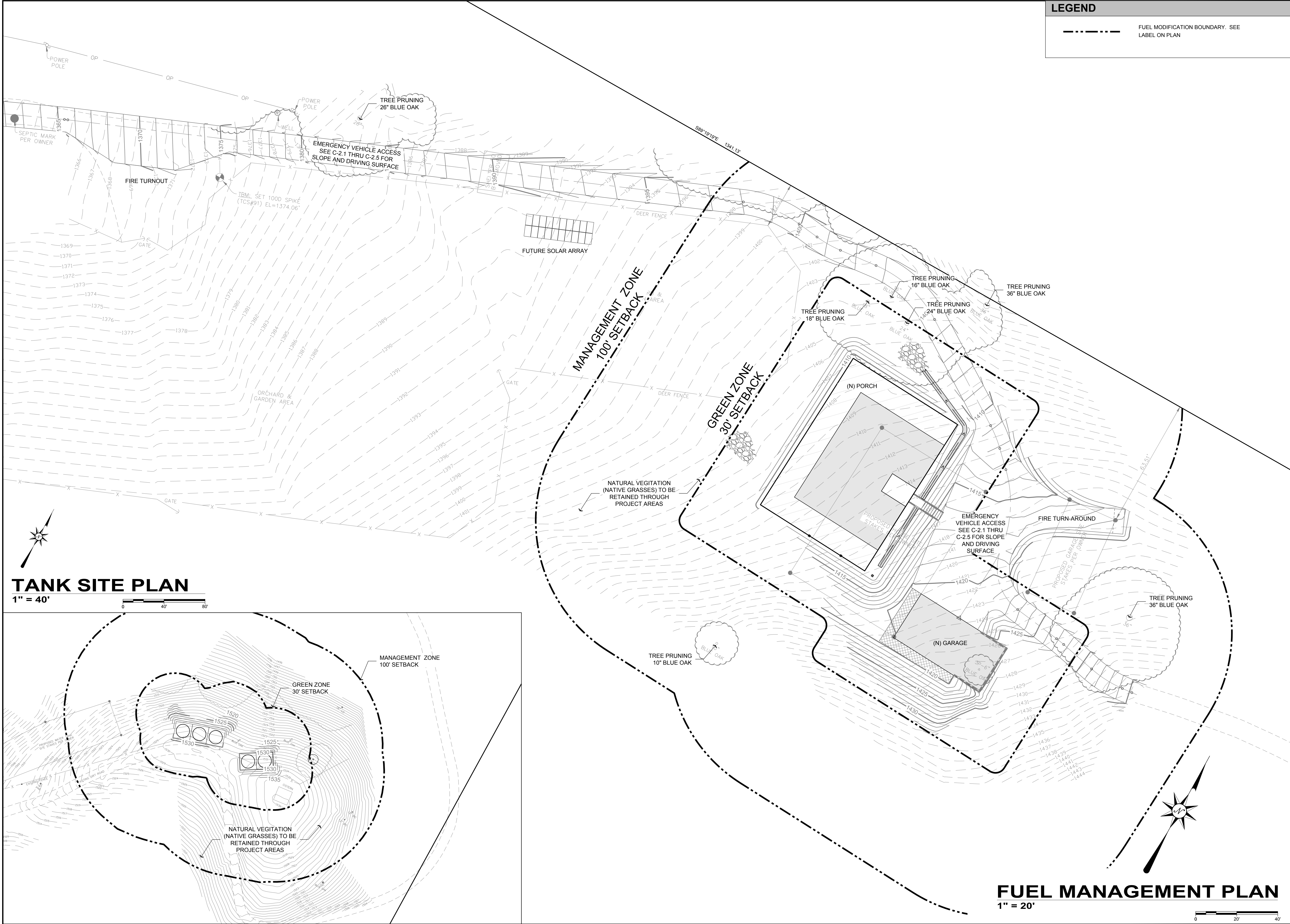
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SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-1.2



LEGEND

FUEL MODIFICATION BOUNDARY. SEE LABEL ON PLAN

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FUEL
MODIFICATION
PLAN

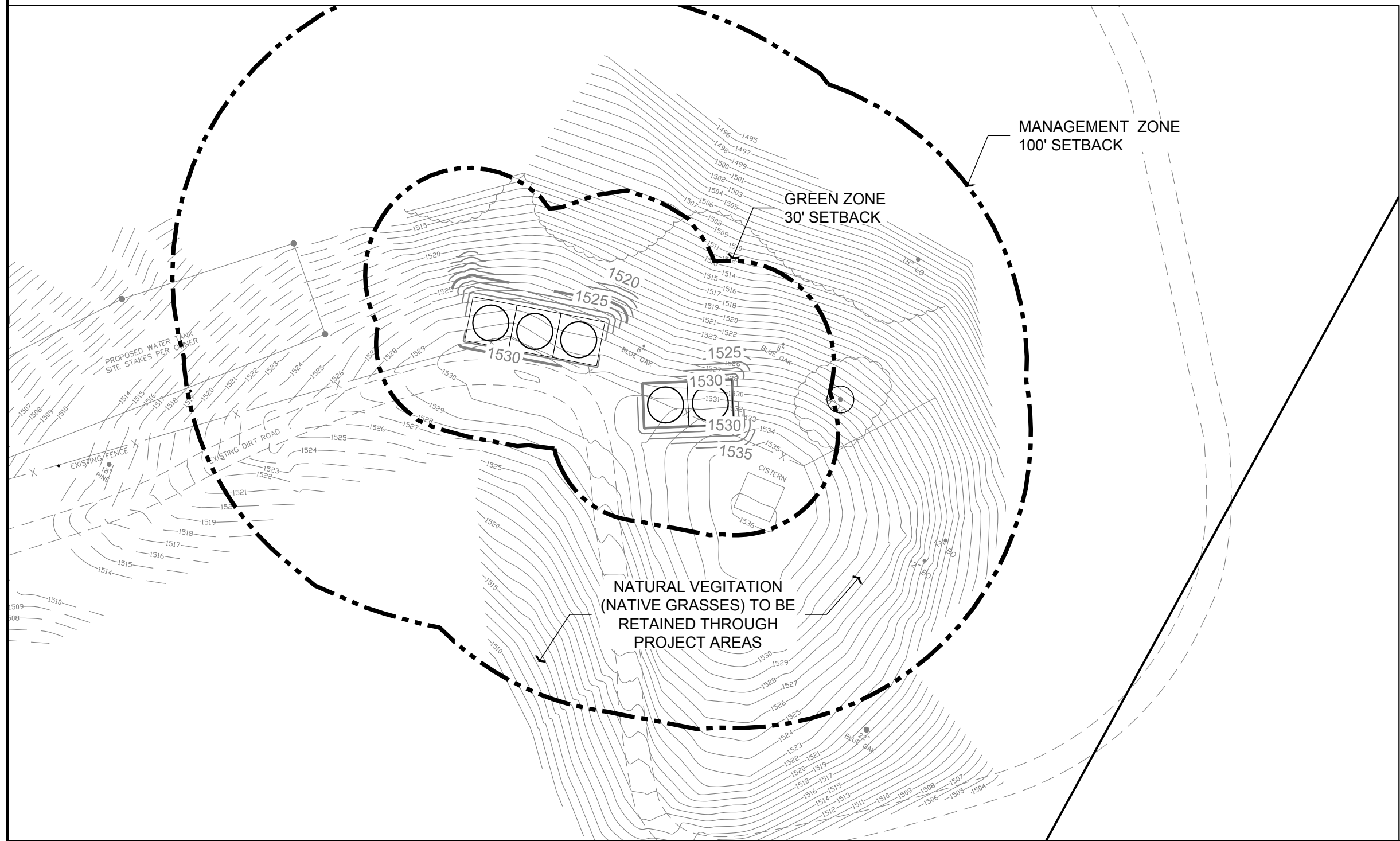
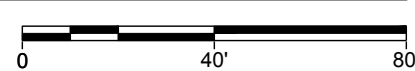
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C-1.3

FUEL MODIFICATION PLAN - C-1.3

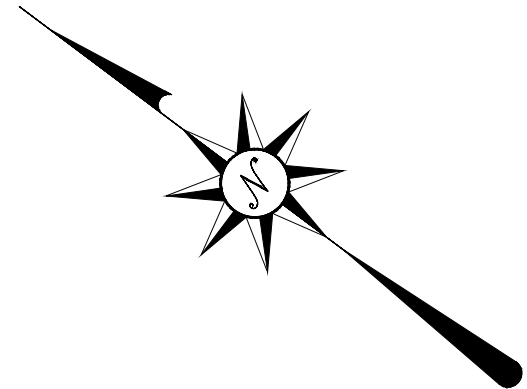
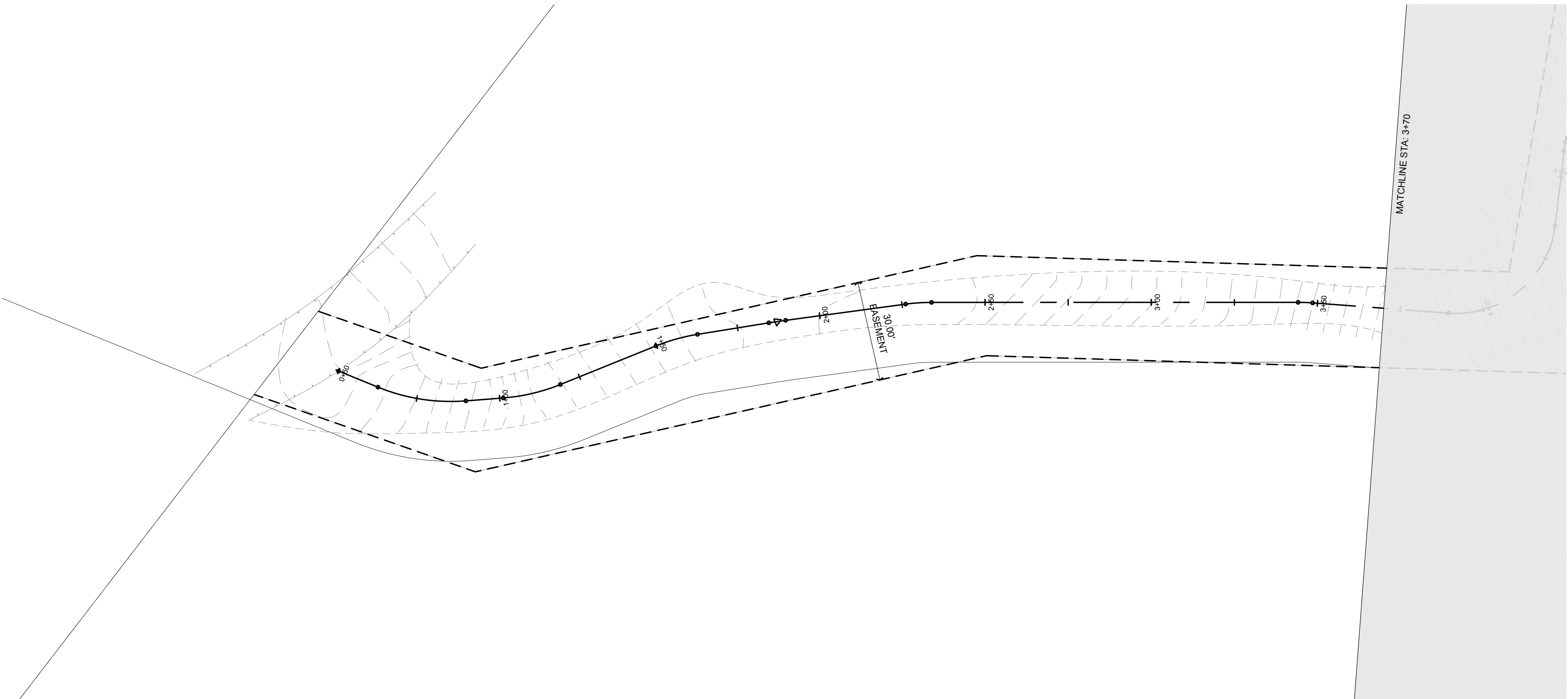
TANK SITE PLAN

1" = 40'



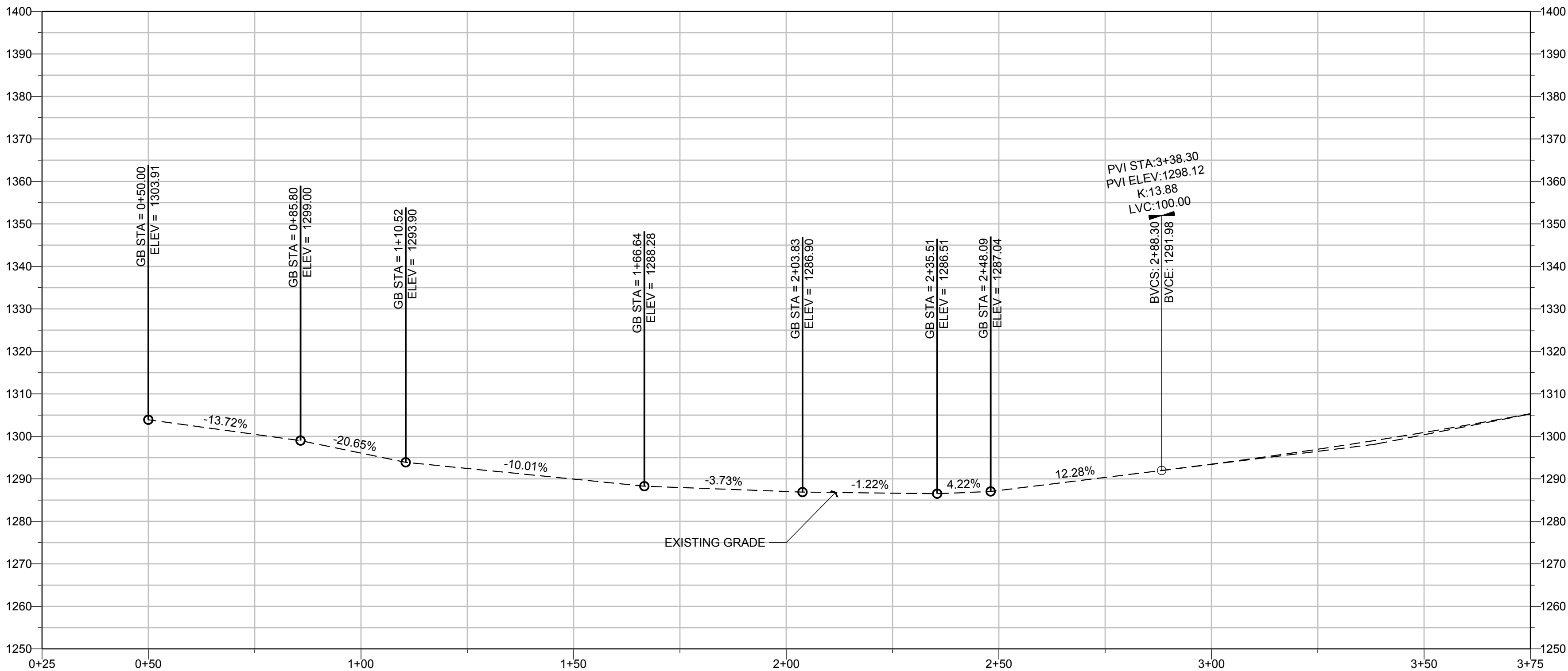
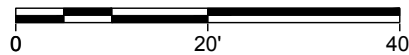
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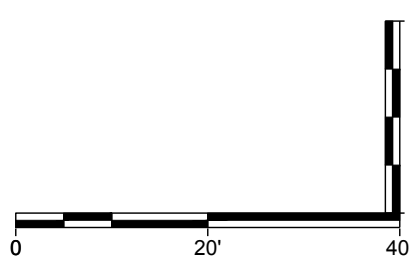


PLAN & PROFILE

1" = 20'



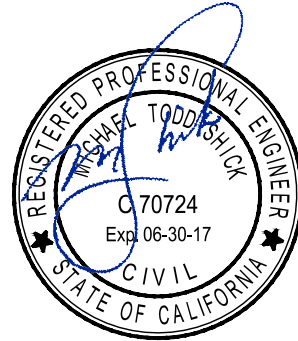
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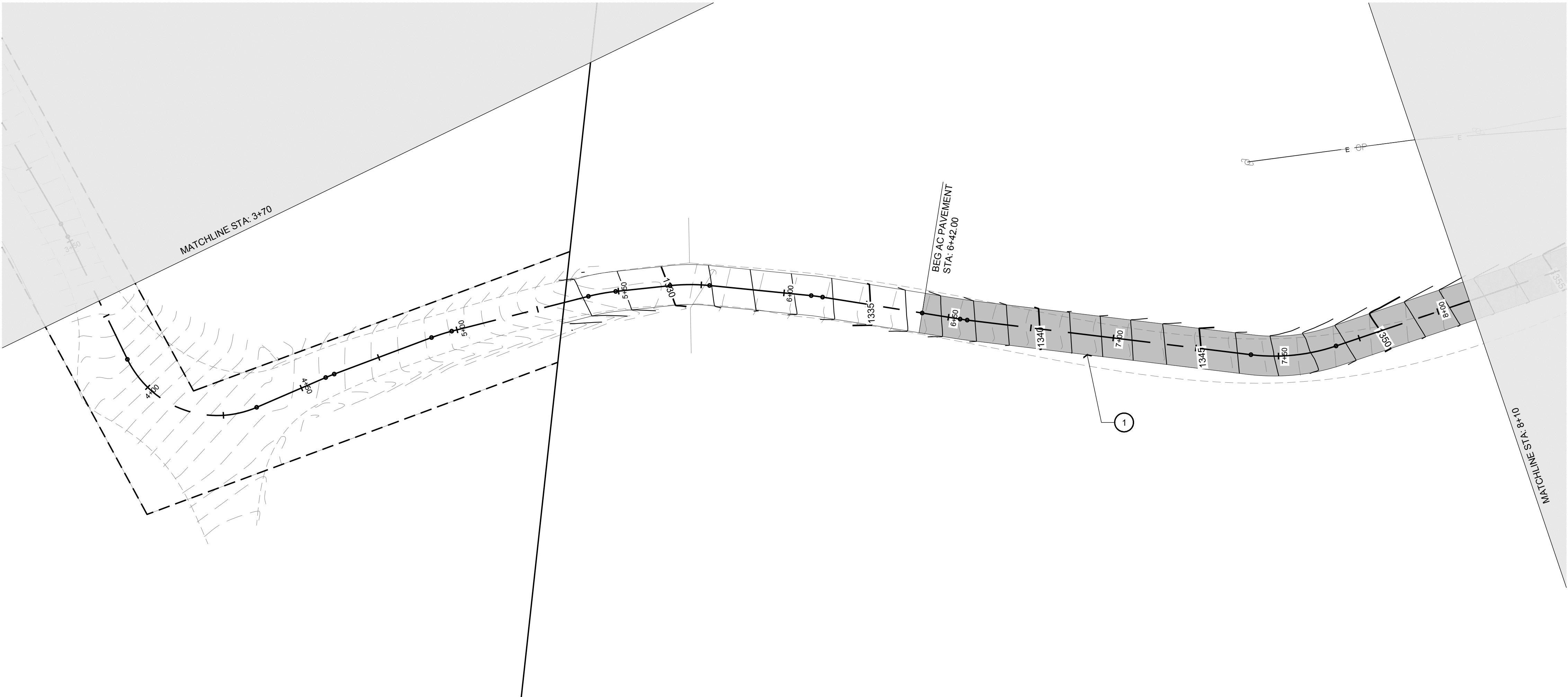
PROJECT NO. ---
FILE NAME HOPKINS - SITE PLAN.DWG
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SHEET TITLE:
**DRIVEWAY
PLAN &
PROFILE**

SHEET NUMBER:

C-2.1

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REFERENCE NOTES

- 12" WIDE DRIVEWAY SHALL HAVE ASPHALT AT LOCATIONS WHERE SLOPE IS GREATER THAN 8% AND LESS THAN 15%. DRIVEWAY SHALL CONSIST OF 6" OF CLASS II BASE AND 2" OF ASPHALT WHERE REQUIRED. SEE 22/CD-1.1

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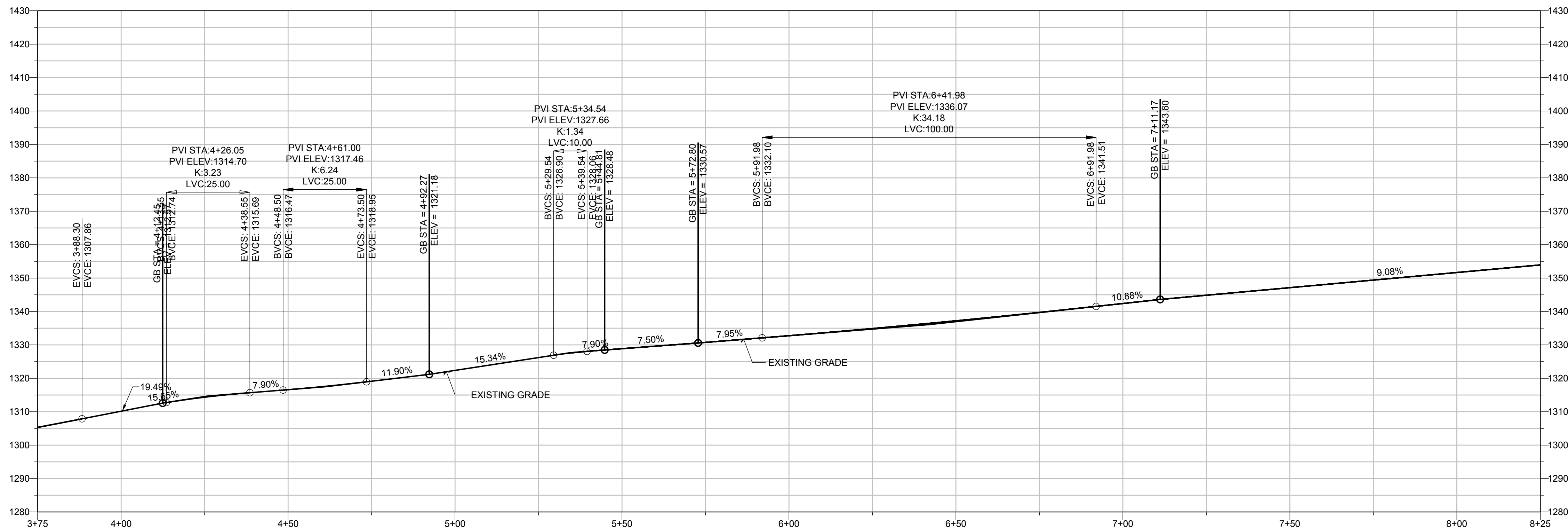


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PLAN & PROFILE

1" = 20'

0 20' 40'



DW PROFILE

0 20' 40'

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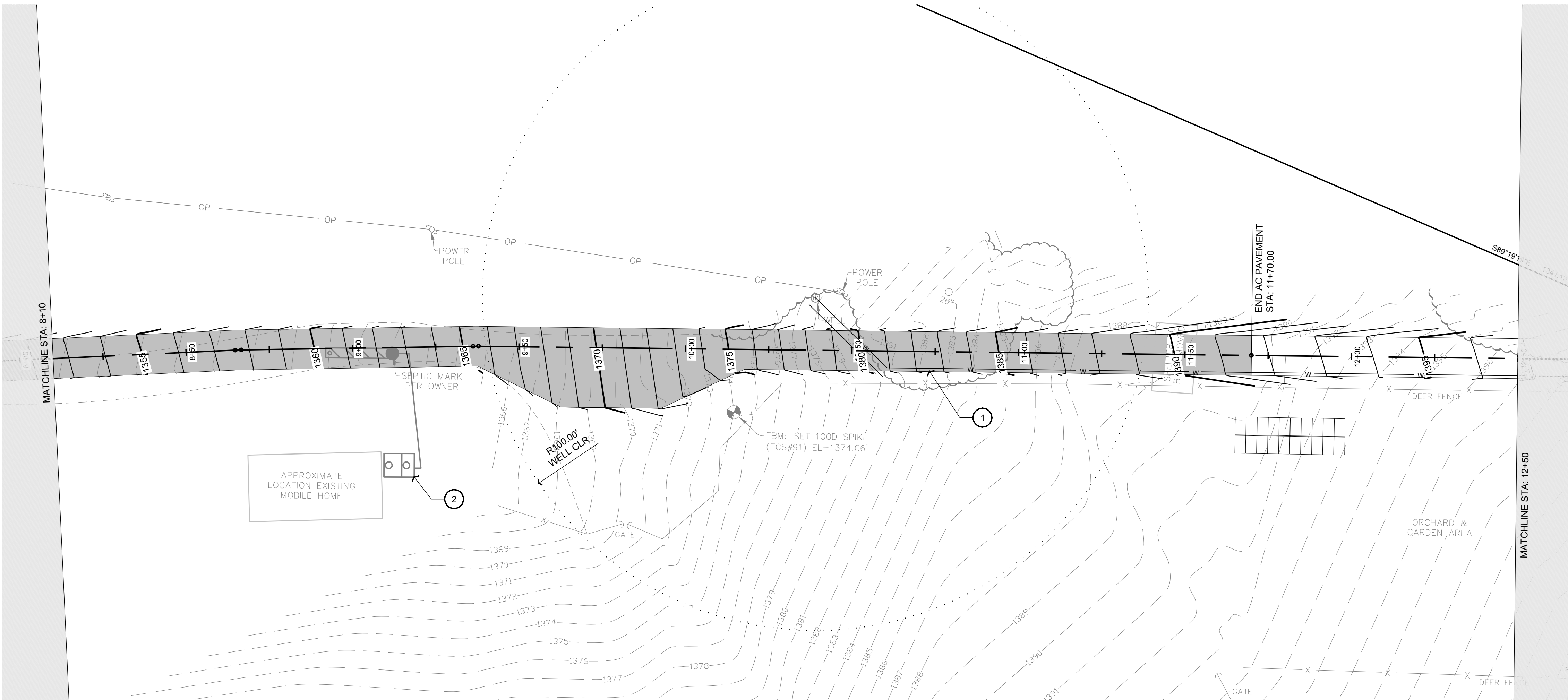
SHEET TITLE:
**DRIVEWAY
PLAN &
PROFILE**

SHEET NUMBER:

C-2.2

DRIVEWAY PLAN & PROFILE - C-2.2

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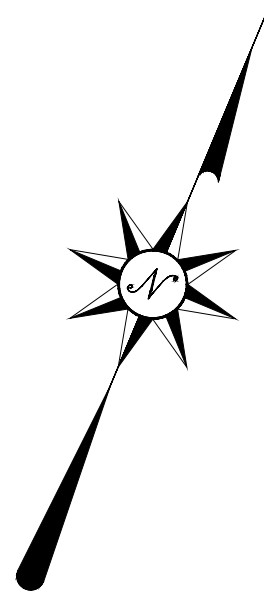


- REFERENCE NOTES
- 12" WIDE DRIVEWAY SHALL HAVE ASPHALT AT LOCATIONS WHERE SLOPE IS GREATER THAN 8% AND LESS THAN 15%. DRIVEWAY SHALL CONSIST OF 6" OF CLASS II BASE AND 2" OF ASPHALT WHERE REQUIRED. SEE 22/CD-1.1
 - EXISTING SEPTIC SYSTEM FOR MOBILE HOME TO BE ABANDONED AND FILLED WITH SAND PRIOR TO FINAL OCCUPANCY OF NEW RESIDENCE

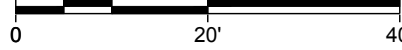
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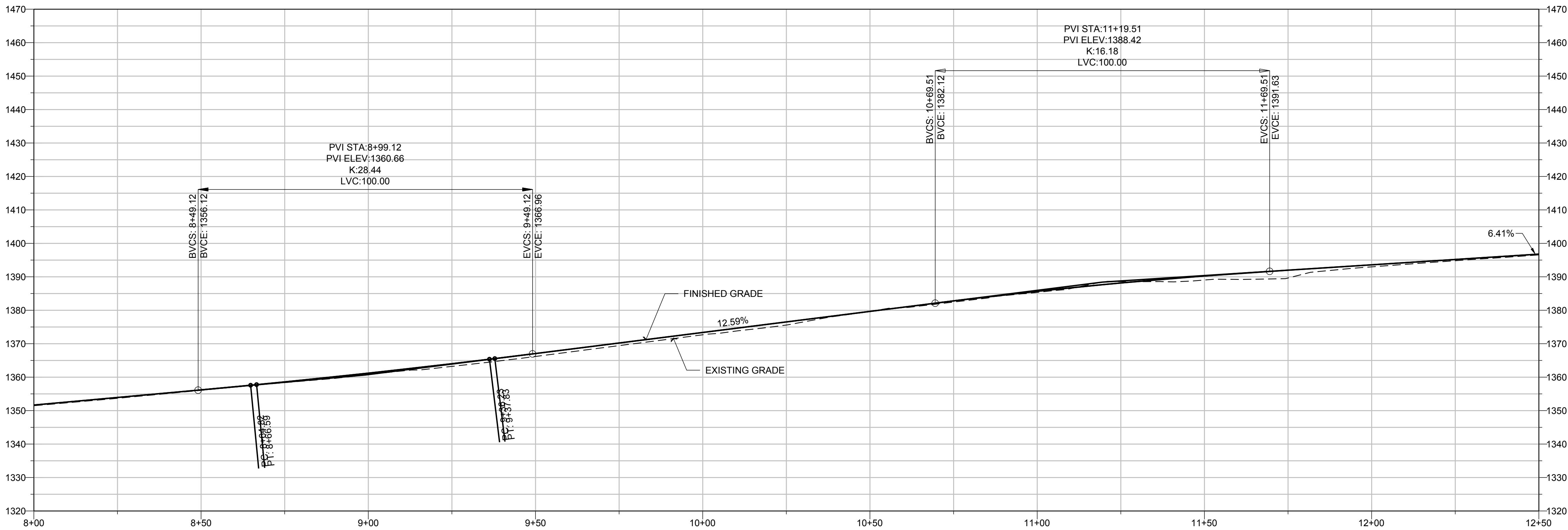
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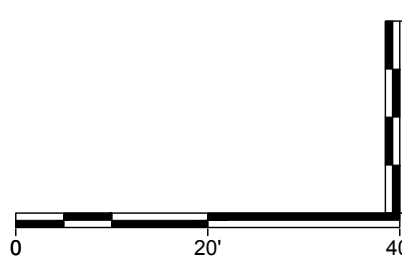
PLAN & PROFILE
1" = 20'



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DW PROFILE



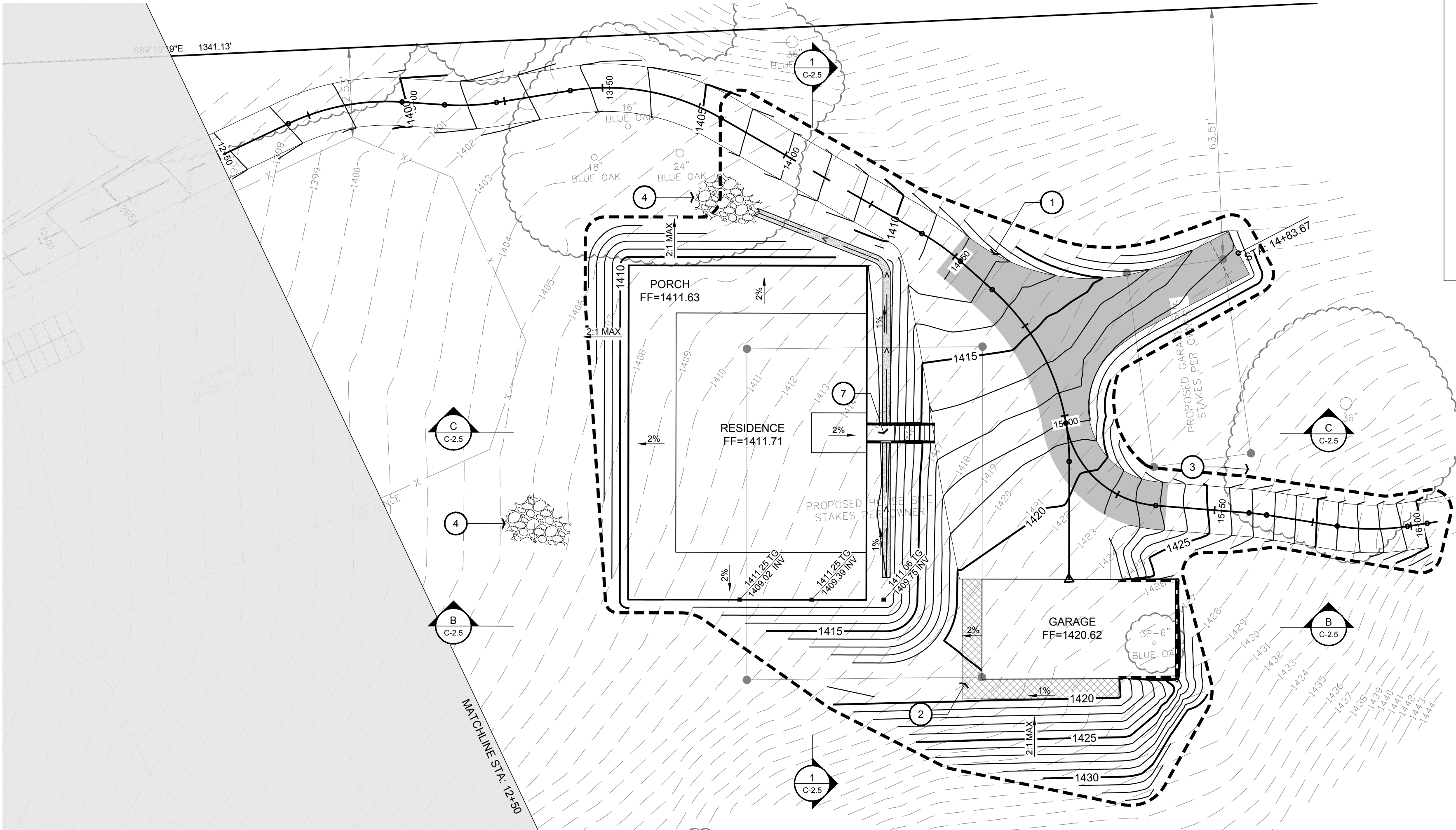
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SHEET TITLE:
**DRIVEWAY
PLAN &
PROFILE**

SHEET NUMBER:
C-2.3



LID FEATURES

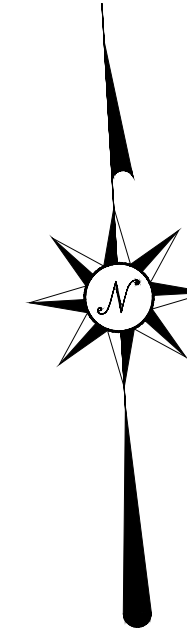
1. CONCRETE PAVERS WITH 2" TYPE NO. 9 AGGREGATE BEDDING COURSE OVER 8" OF ASTM N057 STONE BASE OVER 6" OF ASTM NO 2 STONE SUBBASE. SEE DETAIL 12/CD-1.1
2. INFILTRATION POND
 - 2.1. BOTTOM OF POND SHALL BE NATIVE SOIL, OVER-EXCAVATED TO AT LEAST ONE FOOT AND REPLACED UNIFORMLY WITHOUT COMPACTION. SOIL SHALL BE AMENDED WITH 2.4 INCHES OF COARSE SAND
 - 2.2. A THICK MAT OF DROUGHT TOLERANT GRASS SHALL BE ESTABLISHED ON THE BASIN FLOOR AND SIDE SLOPES
 - 2.3. TREES AND SHRUBS SHALL NOT BE PLANTED WITH 10 FEET OF INLET PIPE
 - 2.4. NON-NATIVE PLANTS SHALL NOT BE USED TO LANDSCAPE BASIN
- 2.5. MAINTENANCE SHALL INCLUDE
 - 2.5.1. PERIODIC INSPECTION TO INSURE WATER DOES NOT REMAIN IN POND MORE THAN 72 HOURS AFTER STORM EVENT
 - 2.5.2. DEBRIS OR SEDIMENT DO NOT ACCUMULATE IN THE POND
 - 2.5.3. TOP LAYER OF NATIVE SOIL SHALL BE REMOVED IF INFILTRATION IS HAMPERED
 - 2.5.4. VEGETATION IS HEALTHY, BUT DOES NOT PROHIBIT INFILTRATION
3. IRRIGATION SYSTEM MINIMIZING WATER USAGE AND ELIMINATING DRY-WEATHER RUN-OFF SHALL BE IMPLEMENTED. SEE 31/CD-2.2
4. PROVIDE SOIL AMENDMENTS, BARK MULCH, OR LANDSCAPE TO PROMOTE WATER INFILTRATION

REFERENCE NOTES

1. 12" WIDE DRIVEWAY SHALL HAVE ASPHALT AT LOCATIONS WHERE SLOPE IS GREATER THAN 8% AND LESS THAN 15%. DRIVEWAY SHALL CONSIST OF 6" OF CLASS II BASE AND 2" OF ASPHALT WHERE REQUIRED. SEE 22/CD-1.1
2. 6" CLASS II BASE OR FINISH MATERIAL PER OWNER
3. EXISTING 12" WIDE CLASS II BASE DRIVEWAY TO BACK OF PROPERTY
4. FOR EROSION PROTECTION, PROVIDE APPROXIMATELY 2 CY RIP RAP WITH D50+ 8" OVER NORTH AMERICAN GREEN P300 MAT (OR EQUAL). RIP RAP SHALL LAYOUT APPROXIMATELY 3.5" WIDE x 21" LONG x 8" DEEP OR AS NECESSARY. SEE 11/CD-1.1
5. SLOPE FINISH GRADE AWAY FROM RESIDENCE 5% FOR 10 FEET AT EARTH AND 2% FOR 5' AT HARDSCAPE
6. FOR FINAL LANDSCAPE DESIGN, EFFICIENT IRRIGATION METHODS SHOULD BE IMPLEMENTED PER 31/CD-2.2
7. PROVIDE LANDING AT STAIRS 36" MIN DEEP PER CRC R311.7.5 AND 36" MIN WIDTH PER CRC R311.7.1

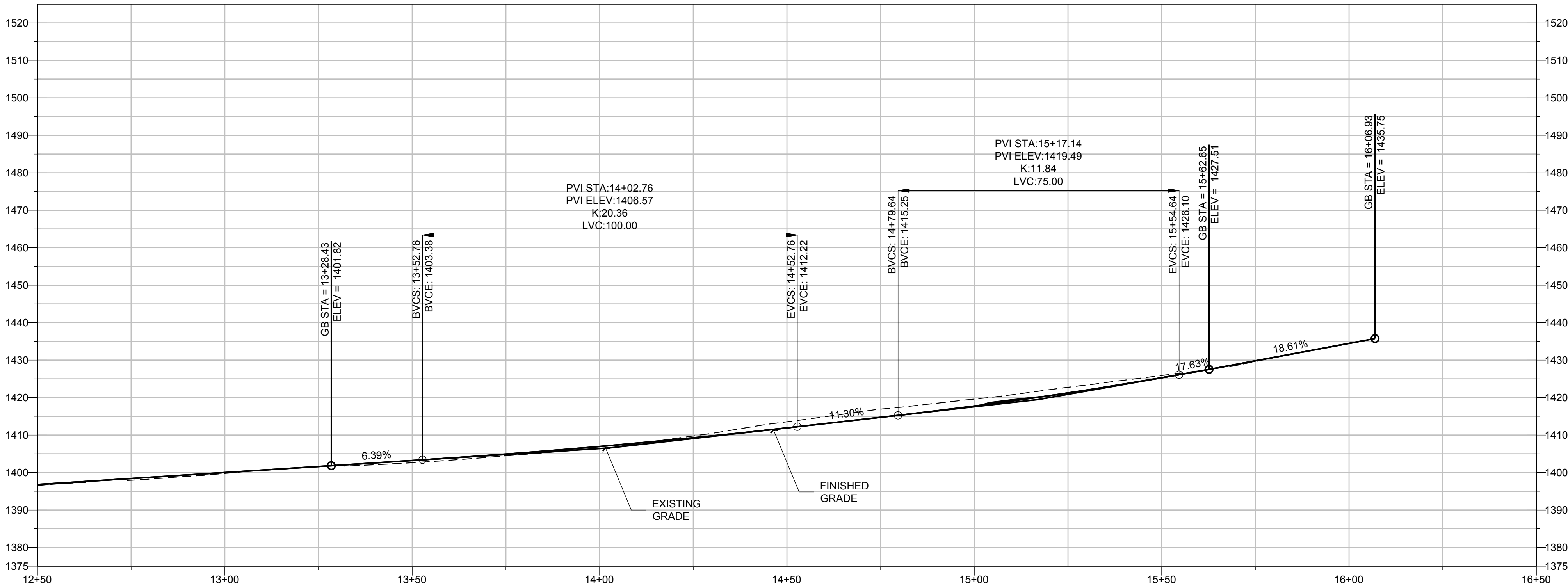
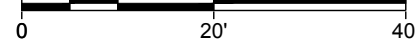
LEGEND

- XXX--- EX. CONTOURS
---XXX--- NEW CONTOURS
- RIP RAP PER REFERENCE NOTES
- >--- FLOW LINE OF FINISH GRADE AS REQUIRED FOR POSITIVE DRAINAGE TO DRAINAGE DEVICE OR AWAY FROM STRUCTURE
- RETAINING WALL @ GARAGE
SITE WALL @ STAIRS

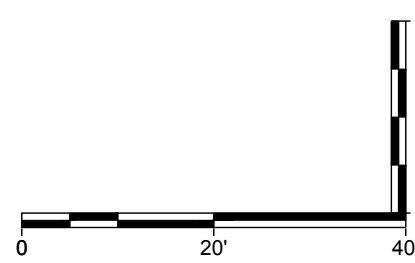


PLAN & PROFILE

1" = 20'



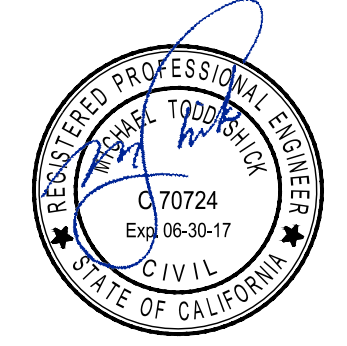
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DRIVEWAY PLAN & PROFILE

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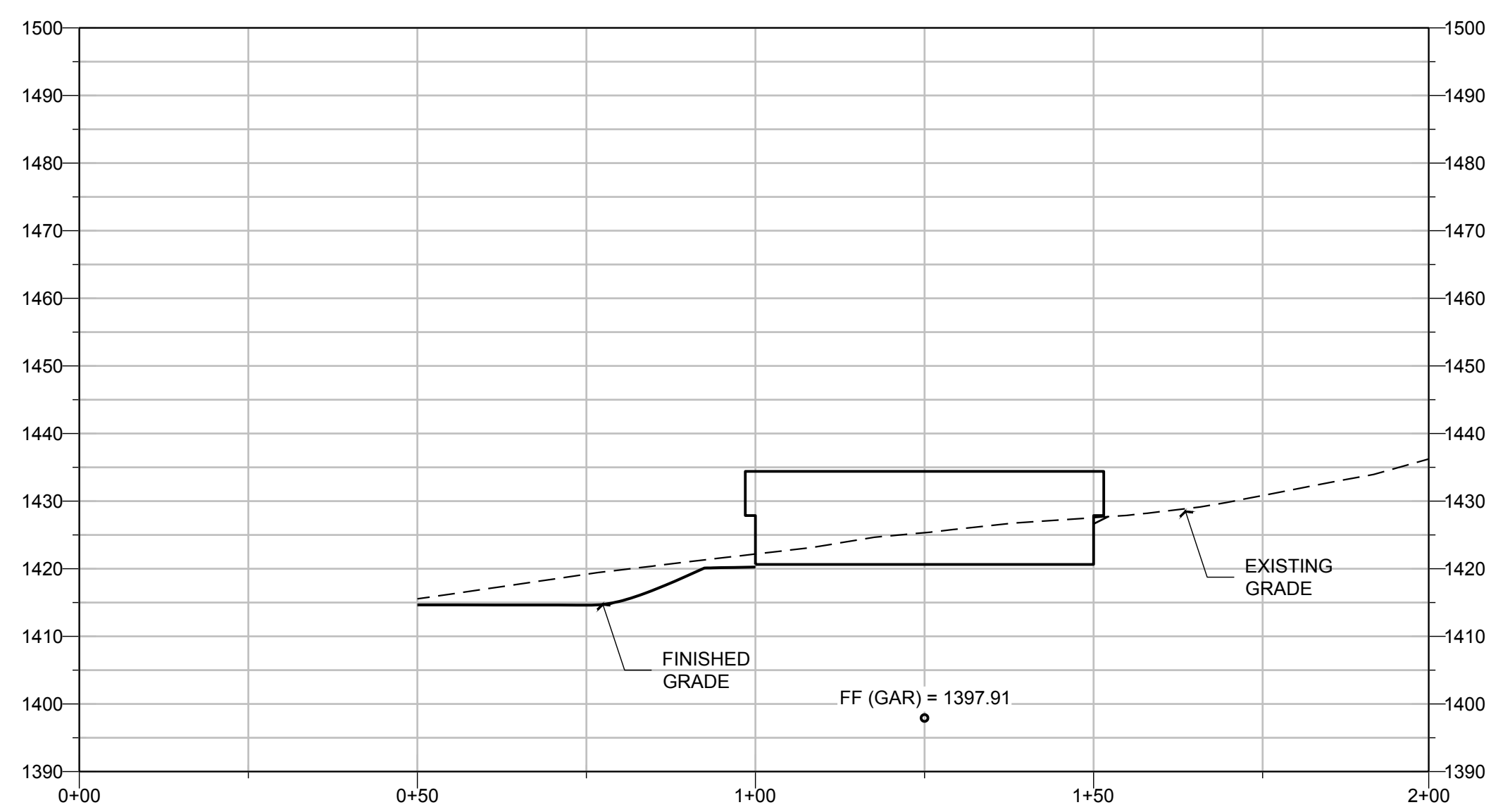
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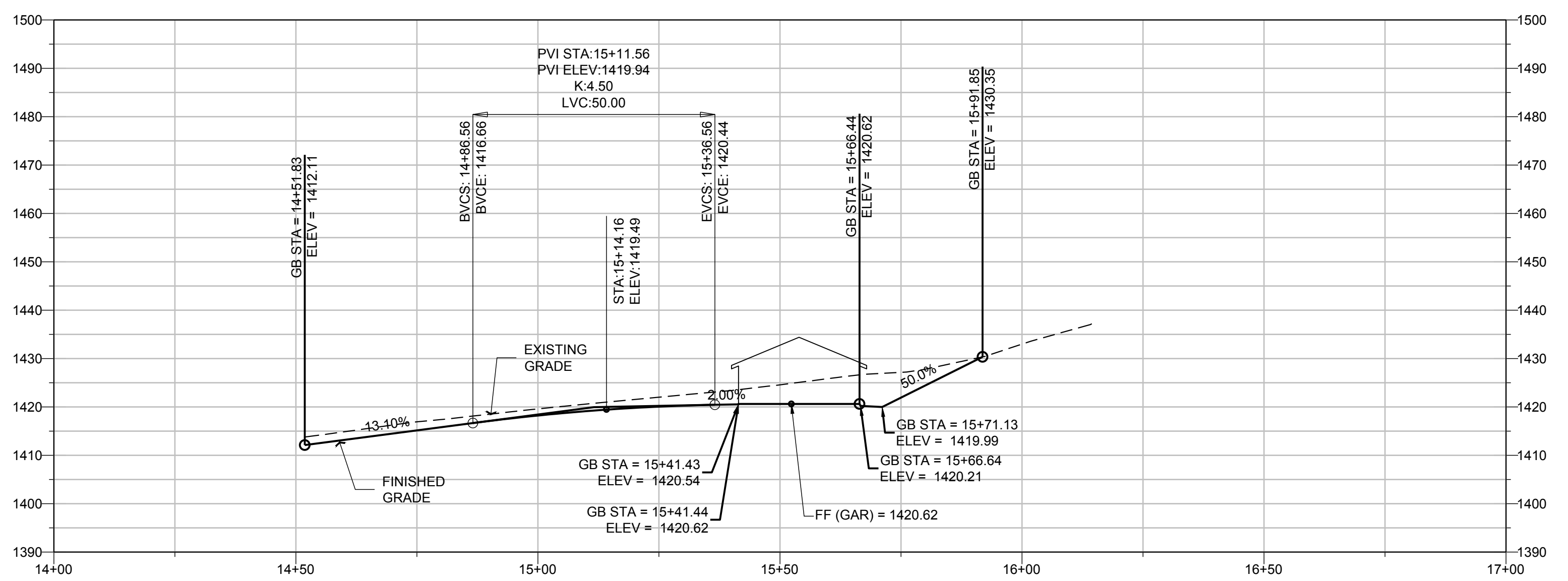
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**PROFILES &
SITE CROSS
SECTIONS**

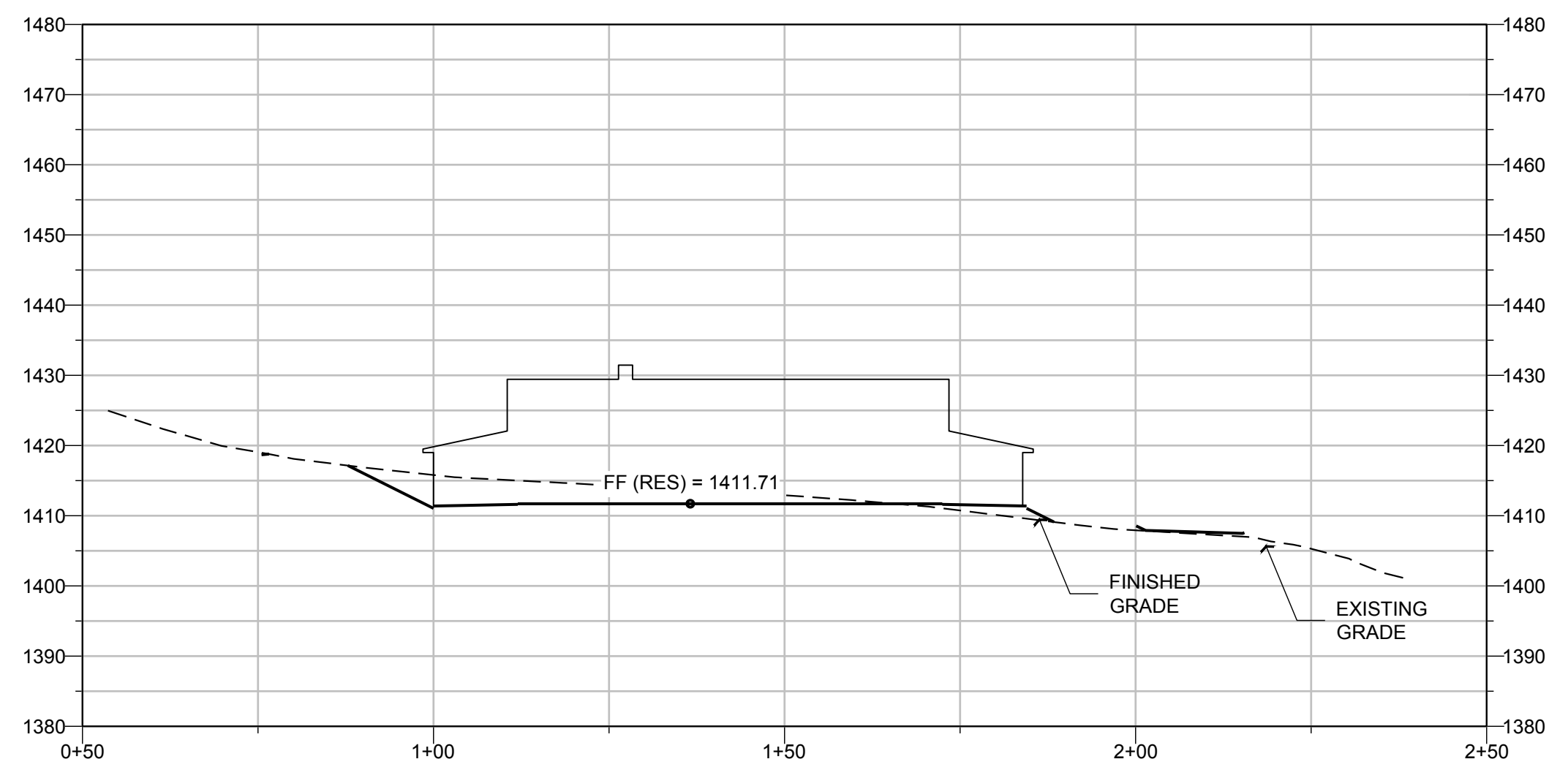
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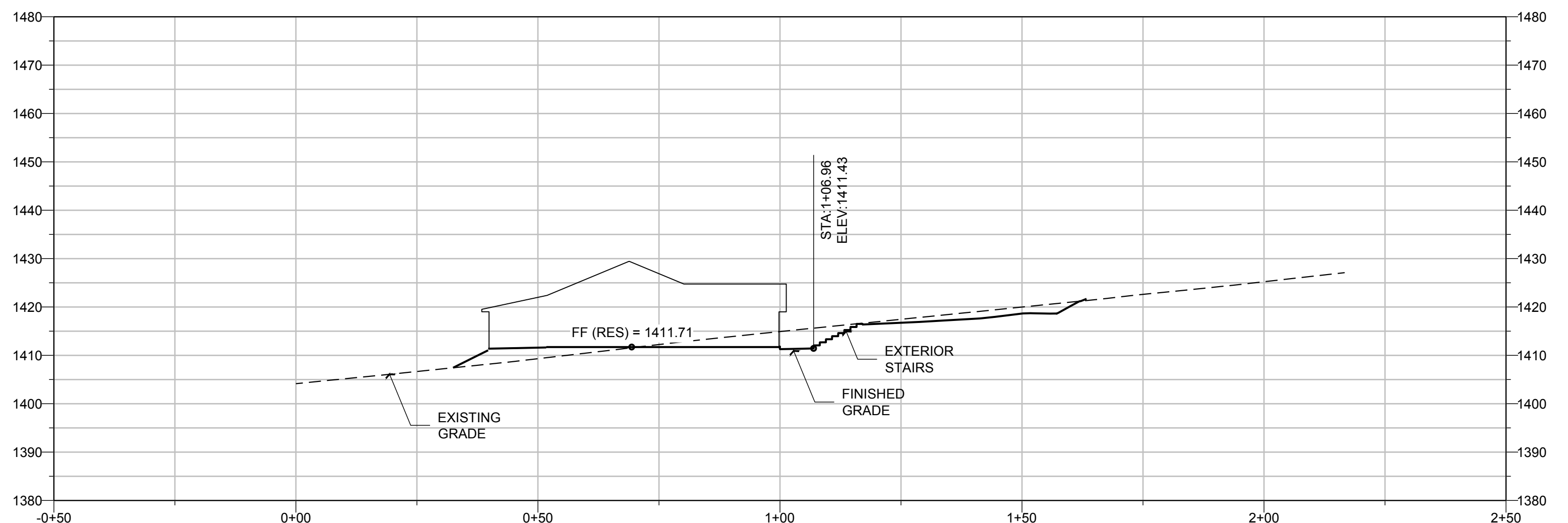
SECTION B PROFILE



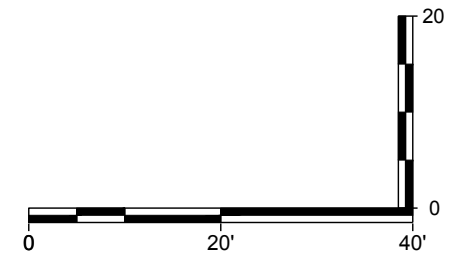
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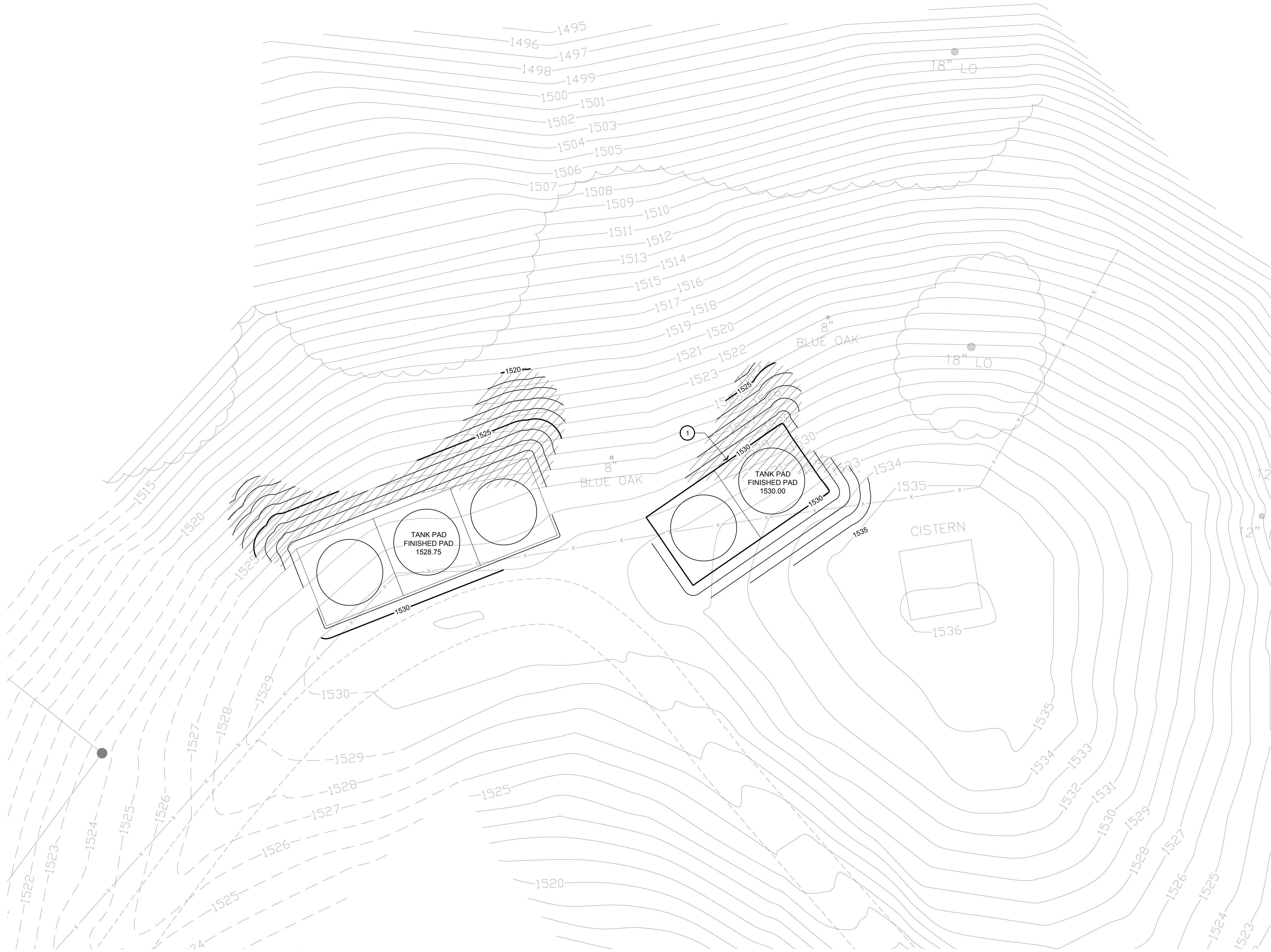
SECTION 1 PROFILE



SECTION C PROFILE



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TANK PAD GRADING PLAN
1" = 10'



○ **REFERENCE NOTES**

1. WATER TANK PADS, FINISH MATERIAL PER OWNER

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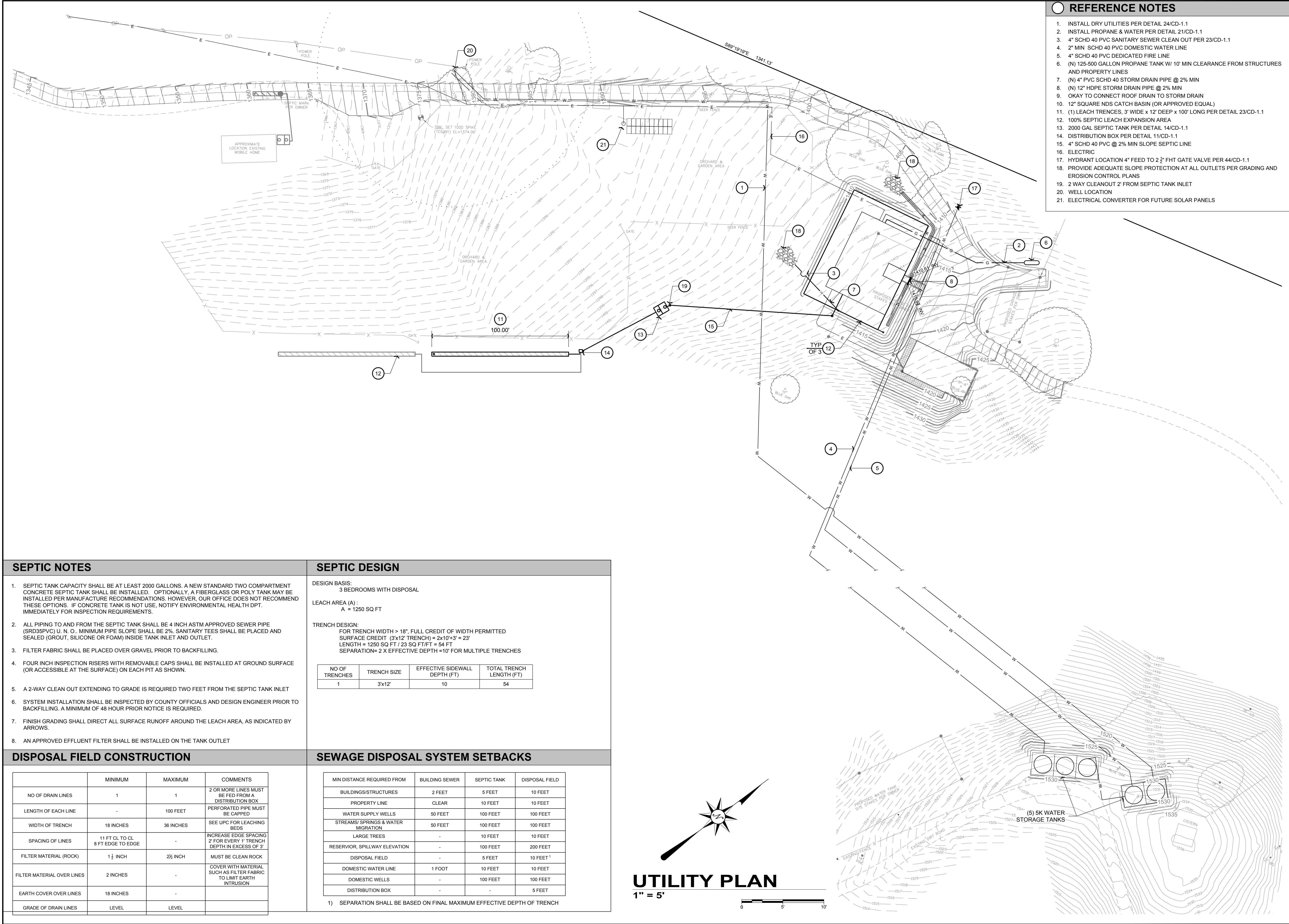
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SHEET TITLE:
**WATER TANK
GRADING PLAN**

SHEET NUMBER:

C-2.6

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SEPTIC NOTES

- SEPTIC TANK CAPACITY SHALL BE AT LEAST 2000 GALLONS. A NEW STANDARD TWO COMPARTMENT CONCRETE SEPTIC TANK SHALL BE INSTALLED. OPTIONALLY, A FIBERGLASS OR POLY TANK MAY BE INSTALLED PER MANUFACTURE RECOMMENDATIONS. HOWEVER, OUR OFFICE DOES NOT RECOMMEND THESE OPTIONS. IF CONCRETE TANK IS NOT USE, NOTIFY ENVIRONMENTAL HEALTH DPT. IMMEDIATELY FOR INSPECTION REQUIREMENTS.
- ALL PIPING TO AND FROM THE SEPTIC TANK SHALL BE 4 INCH ASTM APPROVED SEWER PIPE (SRD35PVC) U. N. O. MINIMUM PIPE SLOPE SHALL BE 2%. SANITARY TEES SHALL BE PLACED AND SEALED (GROUT, SILICONE OR FOAM) INSIDE TANK INLET AND OUTLET.
- FILTER FABRIC SHALL BE PLACED OVER GRAVEL PRIOR TO BACKFILLING.
- FOUR INCH INSPECTION RISERS WITH REMOVABLE CAPS SHALL BE INSTALLED AT GROUND SURFACE (OR ACCESSIBLE AT THE SURFACE) ON EACH PIT AS SHOWN.
- A 2-WAY CLEAN OUT EXTENDING TO GRADE IS REQUIRED TWO FEET FROM THE SEPTIC TANK INLET
- SYSTEM INSTALLATION SHALL BE INSPECTED BY COUNTY OFFICIALS AND DESIGN ENGINEER PRIOR TO BACKFILLING. A MINIMUM OF 48 HOUR PRIOR NOTICE IS REQUIRED.
- FINISH GRADING SHALL DIRECT ALL SURFACE RUNOFF AROUND THE LEACH AREA, AS INDICATED BY ARROWS.
- AN APPROVED EFFLUENT FILTER SHALL BE INSTALLED ON THE TANK OUTLET

DISPOSAL FIELD CONSTRUCTION

	MINIMUM	MAXIMUM	COMMENTS
NO OF DRAIN LINES	1	1	2 OR MORE LINES MUST BE FED FROM A DISTRIBUTION BOX
LENGTH OF EACH LINE	-	100 FEET	PERFORATED PIPE MUST BE CAPPED
WIDTH OF TRENCH	18 INCHES	36 INCHES	SEE UPC FOR LEACHING BEDS
SPACING OF LINES	11 FT CL TO CL 8 FT EDGE TO EDGE	-	INCREASE EDGE SPACING 2' FOR EVERY 1' TRENCH DEPTH IN EXCESS OF 3'
FILTER MATERIAL (ROCK)	1 1/2 INCH	2 1/2 INCH	MUST BE CLEAN ROCK
FILTER MATERIAL OVER LINES	2 INCHES	-	COVER WITH MATERIAL SUCH AS FILTER FABRIC TO LIMIT EARTH INTRUSION
EARTH COVER OVER LINES	18 INCHES	-	
GRADE OF DRAIN LINES	LEVEL	LEVEL	

SEPTIC DESIGN

DESIGN BASIS:
3 BEDROOMS WITH DISPOSAL

LEACH AREA (A):
A = 1250 SQ FT

TRENCH DESIGN:
FOR TRENCH WIDTH > 18", FULL CREDIT OF WIDTH PERMITTED
SURFACE CREDIT (3'x12' TRENCH) = 2x10'x3' = 23'
LENGTH = 1250 SQ FT / 23 SQ FT/FT = 54 FT
SEPARATION= 2 X EFFECTIVE DEPTH =10' FOR MULTIPLE TRENCHES

NO OF TRENCHES	TRENCH SIZE	EFFECTIVE SIDEWALL DEPTH (FT)	TOTAL TRENCH LENGTH (FT)
1	3'x12'	10	54

SEWAGE DISPOSAL SYSTEM SETBACKS

MIN DISTANCE REQUIRED FROM	BUILDING SEWER	SEPTIC TANK	DISPOSAL FIELD
BUILDINGS/STRUCTURES	2 FEET	5 FEET	10 FEET
PROPERTY LINE	CLEAR	10 FEET	10 FEET
WATER SUPPLY WELLS	50 FEET	100 FEET	100 FEET
STREAMS/ SPRINGS & WATER MIGRATION	50 FEET	100 FEET	100 FEET
LARGE TREES	-	10 FEET	10 FEET
RESERVIOR, SPILLWAY ELEVATION	-	100 FEET	200 FEET
DISPOSAL FIELD	-	5 FEET	10 FEET ¹
DOMESTIC WATER LINE	1 FOOT	10 FEET	10 FEET
DOMESTIC WELLS	-	100 FEET	100 FEET
DISTRIBUTION BOX	-	-	5 FEET

1) SEPARATION SHALL BE BASED ON FINAL MAXIMUM EFFECTIVE DEPTH OF TRENCH

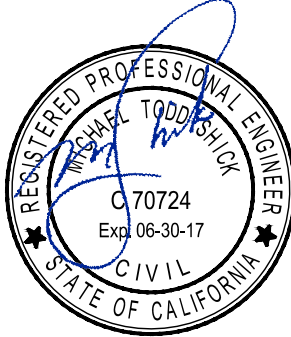
REFERENCE NOTES

- INSTALL DRY UTILITIES PER DETAIL 24/CD-1.1
- INSTALL PROPANE & WATER PER DETAIL 21/CD-1.1
- 4" SCHD 40 PVC SANITARY SEWER CLEAN OUT PER 23/CD-1.1
- 2" MIN SCHD 40 PVC DOMESTIC WATER LINE
- 4" SCHD 40 PVC DEDICATED FIRE LINE
- (N) 125-500 GALLON PROPANE TANK W/ 10' MIN CLEARANCE FROM STRUCTURES AND PROPERTY LINES
- (N) 4" PVC SCHD 40 STORM DRAIN PIPE @ 2% MIN
- (N) 12" HDPE STORM DRAIN PIPE @ 2% MIN
- OKAY TO CONNECT ROOF DRAIN TO STORM DRAIN
- 12" SQUARE NDS CATCH BASIN (OR APPROVED EQUAL)
- (1) LEACH TRENCHES, 3' WIDE x 12' DEEP x 100' LONG PER DETAIL 23/CD-1.1
- 100% SEPTIC LEACH EXPANSION AREA
- 2000 GAL SEPTIC TANK PER DETAIL 14/CD-1.1
- DISTRIBUTION BOX PER DETAIL 11/CD-1.1
- 4" SCHD 40 PVC @ 2% MIN SLOPE SEPTIC LINE
- ELECTRIC
- HYDRANT LOCATION 4" FEED TO 2 1/2" FHT GATE VALVE PER 44/CD-1.1
- PROVIDE ADEQUATE SLOPE PROTECTION AT ALL OUTLETS PER GRADING AND EROSION CONTROL PLANS
- 2 WAY CLEANOUT 2' FROM SEPTIC TANK INLET
- WELL LOCATION
- ELECTRICAL CONVERTER FOR FUTURE SOLAR PANELS

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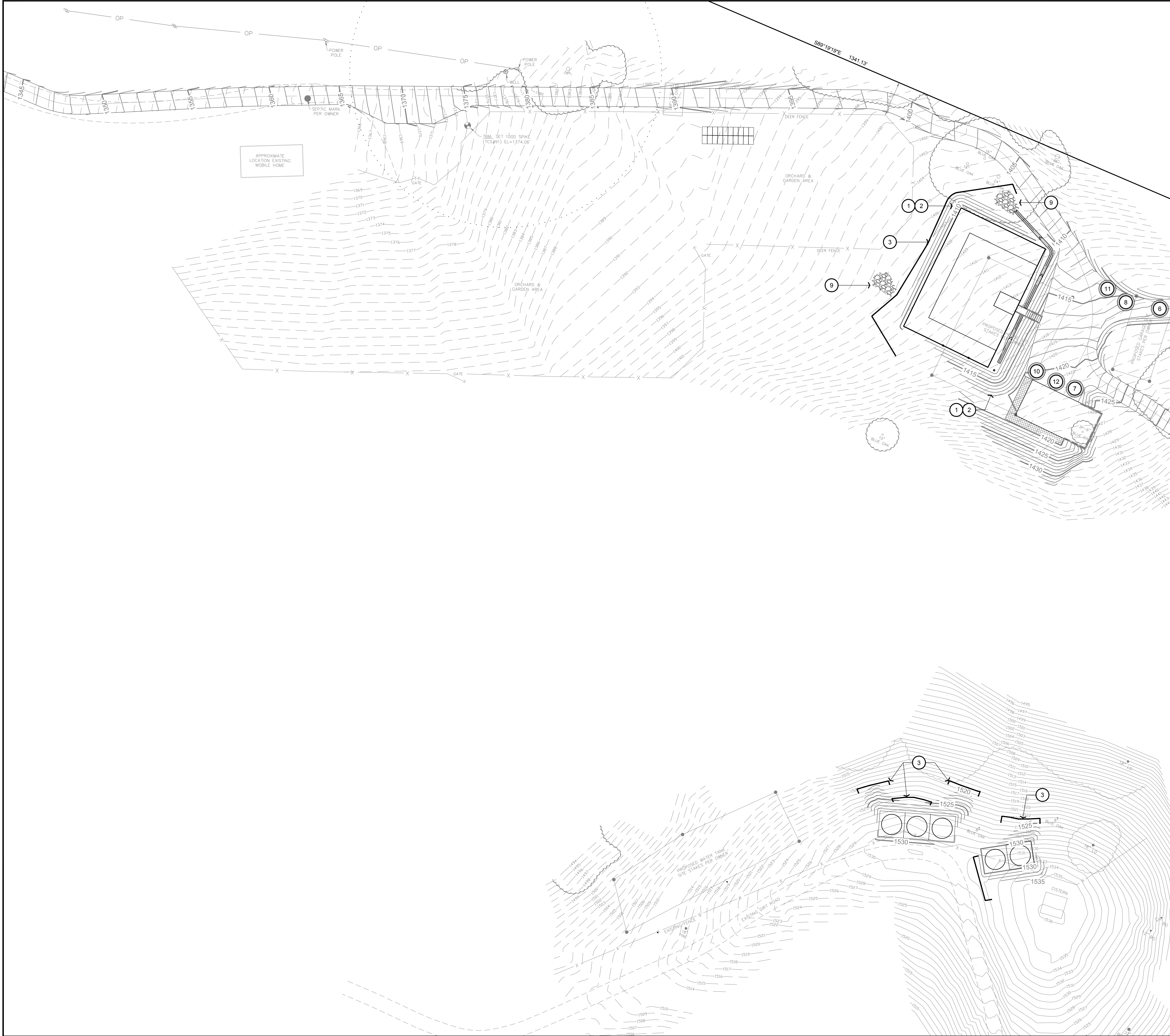
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**UTILITY &
SEPTIC PLAN**

SHEET NUMBER:

C-3.1



NOTES

- HYDROSEED ALL CUT AND FILL SLOPES PER EROSION CONTROL NOTES (THIS SHEET) AND PER 11/CD-2.3
- LINE ALL BARE SLOPES WITH C125 NORTH AMERICAN GREEN EROSION CONTROL BLANKET PER DETAIL 11/CD-2.1
- SILT FENCING PER DETAIL 22/CD-2.1 (AS NEEDED)
- STRAW WATTLE PER DETAIL 31/CD-2.1 (AS NEEDED)
- TEMPORARY GRAVEL ENTRANCE PER DETAIL 21/CD-2.1
- STOCKPILE MANAGEMENT PER 32/CD-2.1
- MATERIAL DELIVERY AND STORAGE PER 11/CD-2.2
- CONCRETE WASHOUT AREA PER 22/CD-2.2
- RIP RAP PER GRADING PLAN SHEETS
- SOLID WASTE MANAGEMENT PER 31/CD-2.3
- HAZARDOUS WASTE MANAGEMENT PER 32/CD-2.3
- SANITARY SEPTIC WASTE MANAGEMENT PER 12/CD-2.3

EROSION CONTROL NOTES

- ALL CUT OR FILL SLOPES TO BE PLANTED OR HYDRO-MULCHED IMMEDIATELY AFTER COMPACTION TO PREVENT EROSION
- SEDIMENTATION AND EROSION CONTROL MEASURES, AS APPROVED BY THE BUILDING OFFICIAL, SHALL BE IN PLACE BETWEEN THE DATES OF OCTOBER 15TH THROUGH APRIL 15TH WHERE GRADING MAY AFFECT OFF-SITE PROPERTY. SHOULD THESE MEASURES NOT BE IN PLACE NO INSPECTIONS WILL BE GIVEN UNTIL MEASURES ARE IMPLEMENTED [UBC 3316]
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING & MONITORING THE APPROVED EROSION & SEDIMENTATION CONTROL PLAN
- ALL CUT & FILL SLOPES SHALL BE HYDROSEEDDED WITH THE FOLLOWING SEED MIX. CUT SLOPES HIGHER THAN 8 FEET WILL REQUIRE JUTE TO COVER THE SEEDS. NATIVE PLANTS SHOULD ALSO BE PLANTED IN THESE AREAS

SEED MIX
LUPINUS SUCCULENTUS, LUPINUS NANUS, ESCHSCHOLZIA CALIFORNICA, GILA CAPITATA, & CLARKIA UNGUICULATA. A HYDROMULCH SHALL BE USED TO COVER THE SEED.

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EROSION CONTROL PLAN

SHEET NUMBER:
C-4.1

EROSION CONTROL
1" = 5'

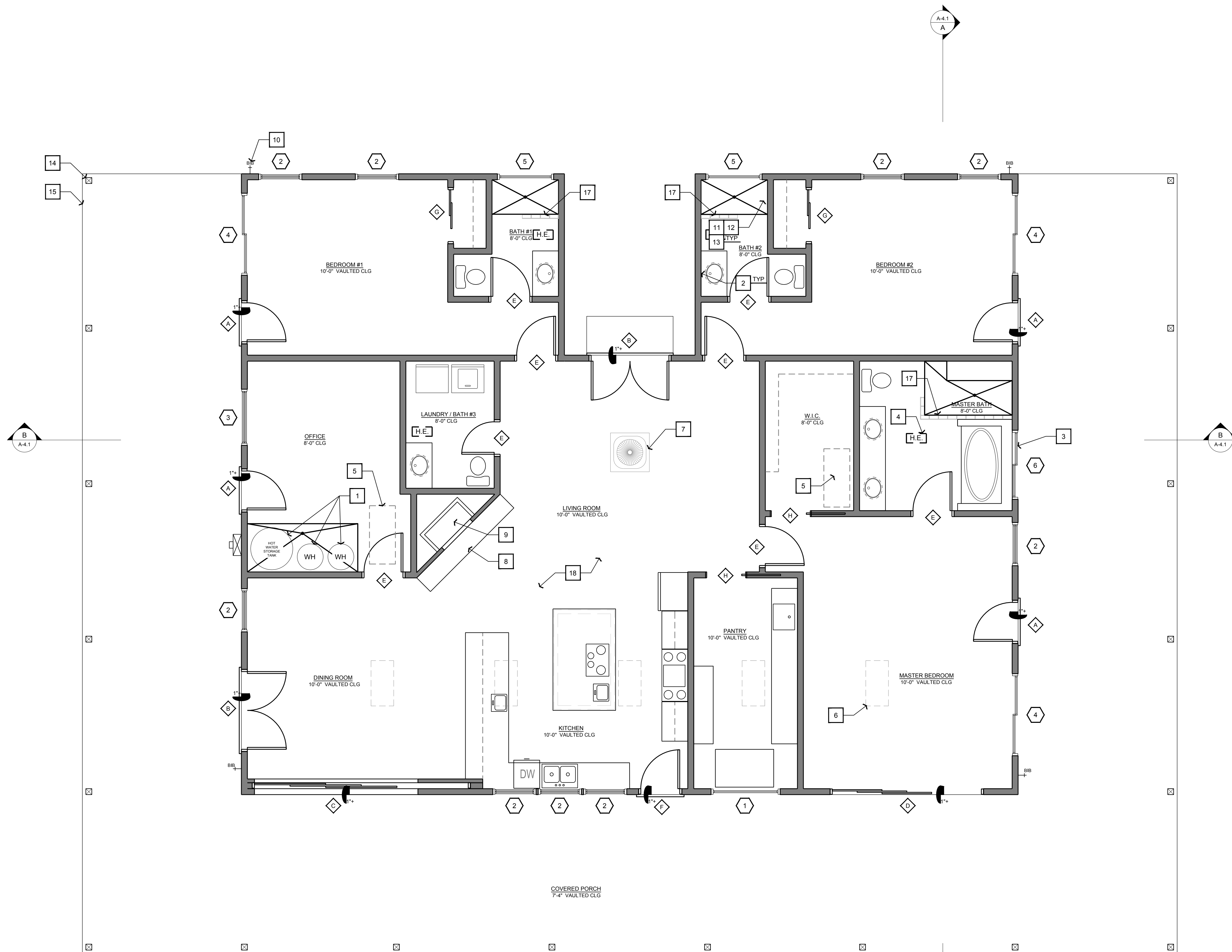
05'10'

05'

10'

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EROSION CONTROL PLAN - C-4.1



FLOOR PLAN CALLOUTS

1. PROVIDE (1) 50 & (1) 75 GALLON OR LESS ELECTRIC WATER HEATERS AND (1) 200 GALLON HOT WATER STORAGE TANK WITH SEISMIC STRAPPING WITHIN THE UPPER AND LOWER 1/3 OF THE VERTICAL DIMENSION OF THE WATER HEATER. ALL TANKS TO BE SECURED WITH A LOWER STRAP TO BE NO LESS THAN 6" ABOVE THE BASE OF THE TANK. (TYP) 1-1/8" X 3" OF F.O.A.U.
2. PROVIDE RE-CIRCULATION PUMP WITH TWO PRESSURE RELIEF VALVES W/ FULLY SIZED DRAIN LINE OF GALVANIZED STEEL, HARD DRAWN COPPER, CPVC, BR OR LISTED RELIEF VALVE DRAIN TUBE WITH FITTINGS TO THE EXTERIOR OF THE BUILDING WITH THE END OF PIPE NOT MORE THAN 2 FEET FROM THE EXTERIOR WALL. PROVIDE RE-CIRCULATION PUMP FOR HOT WATER THERMAL END BEING UNTHREADED, UPC SEC. 808.5. PROVIDE RE-CIRCULATION PUMP FOR HOT WATER BOND THE HOT AND COLD WATER LINES AND GAS LINES AT THE WATER HEATER. PROVIDE DEPRESSION SLAB AREA (SLOPED TO DRAIN) AT WATER HEATERS AS SHOWN.
3. PROVIDE FIRE RESISTANT PARTITION LEAKAGE DETECTION SYSTEM (CPD) WITH SMOKE SPASH (TYP) SAFETY GLAZING REQUIRED BUT NOT LIMITED TO GLAZING IN FIXED PANELS ADJACENT TO A DOOR WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FINISHED FLOOR. CEILING SPRINKLER SHALL ALSO WITHIN 18" OF FINISHES, WITHIN TUB - SHOWER ENCLOSURES, WITHIN HOT - TUB WHIRLPOL, SAUNA AND STEAM ROOM AND GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE ARE SUBJECTS WITHIN THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 80" ABOVE A STANDING SURFACE AND DRAIN INLET.
4. ATTIC MOUNTED FANFRESH SHR300SR HATE RECOVERY VENTILATORS - TYPICAL OF (4) AS SHOWN.
5. PROVIDE MINIMUM 30" X 30" ATTIC ACCESS FOR PULL DOWN ATTIC STAIRS TO MECHANICAL UNIT. A 22" X 30" ACCESS OPENING CAN BE USED IF A LETTER FROM THE MANUFACTURER STATING THAT ALL COMPONENTS OF A F.U.J. UNIT CAN BE FIT THROUGH AN OPENING OF THAT SIZE. ACCESS TO BE WITHIN 20" OF A.U.J. AND HAVE A CONTINUOUS 24" WIDE WALKWAY. ALSO PROVIDE 30" X 12" OF UNOBSTRUCTED CLEARANCE TO THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 80" ABOVE 1'-9" X 3"-SP SKYLIGHTS - TYP OF (A) (SHOWN DASHED). CONTRACTOR TO CO-ORDINATE EXACT LOCATION WITH OWNER
6. ROOF MOUNTED CHILLER 10/12 DD EVAPORATOR/ COOLER 6" MAXIMUM FROM ROOF EDGE. PROVIDE FACTOR TO ORIGINATE EXACT LOCATION WITH THE OWNER
7. 18" DEEP NON-COMBUSTIBLE HEARTH IN FRONT OF AND 12" BEYOND FIREPLACE OPENING. ZERO-CLEARANCE FIREPLACE (EPA PHASE II CERTIFIED) FIREPLACE/EXTERRADINAR MODEL 44 OR EQUIVALENT BY ETCETERA INC. (SEE SPECIFICATIONS)
8. ALL HOSE BIBS TO HAVE NON REMOVABLE BACKFLOW PREVENTION DEVICES PER CBC 603.3.7 INDIVIDUAL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE ARE REQUIRED AT THE SHOWERS AND TUB-SHOWER COMBINATION PER CPC 420
9. ALL WALLS AND CEILING TO BE FINISHED WITH A NON-FIRE RATED FINISH. FINISH WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET. CBC 1210.3
10. ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE CMCC 403.7 & 4-4.4
11. COVERED PORCH PORT - SEE ROOF FRAMING PLAN
12. CONCRETE PORCH SLAB - SEE FOUNDATION PLAN
13. CONCRETE LANDING AT DOORS (TYP) (MINIMUM 36" WIDE)
14. 6" THICK GLASS BLOCK WALL
15. RADIANT HEATING CONCRETE FLOOR SLAB SYSTEM - TYP

WINDOW SCHEDULE

SYM.	QTY.	SIZE	OPERATION	NOTES
1	1	5020	AWNING	
2	9	3040	DOUBLE HUNG	
3	1	4040	DOUBLE HUNG	
4	3	6040	XO	
5	2	4020	AWNING	FROSTED
6	1	5040	FIXED	FROSTED

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENING WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR GLASS BLOCK UNITS OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES

◆ DOOR SCHEDULE

SYM.	QTY.	SIZE	OPERATION	NOTES
A	3	3068	EXTERIOR	
B	2	6068	DOUBLE FRENCH	
C	1	16680	GLASS SLIDING	POCKET DOOR
D	1	11680	GLASS SLIDING	
E	8	3068	INT PLANK	
F	1	3068	DUTCH DOOR	
G	2	4068	SLIDING CLOSET	
H	2	3068	POCKET DOOR	

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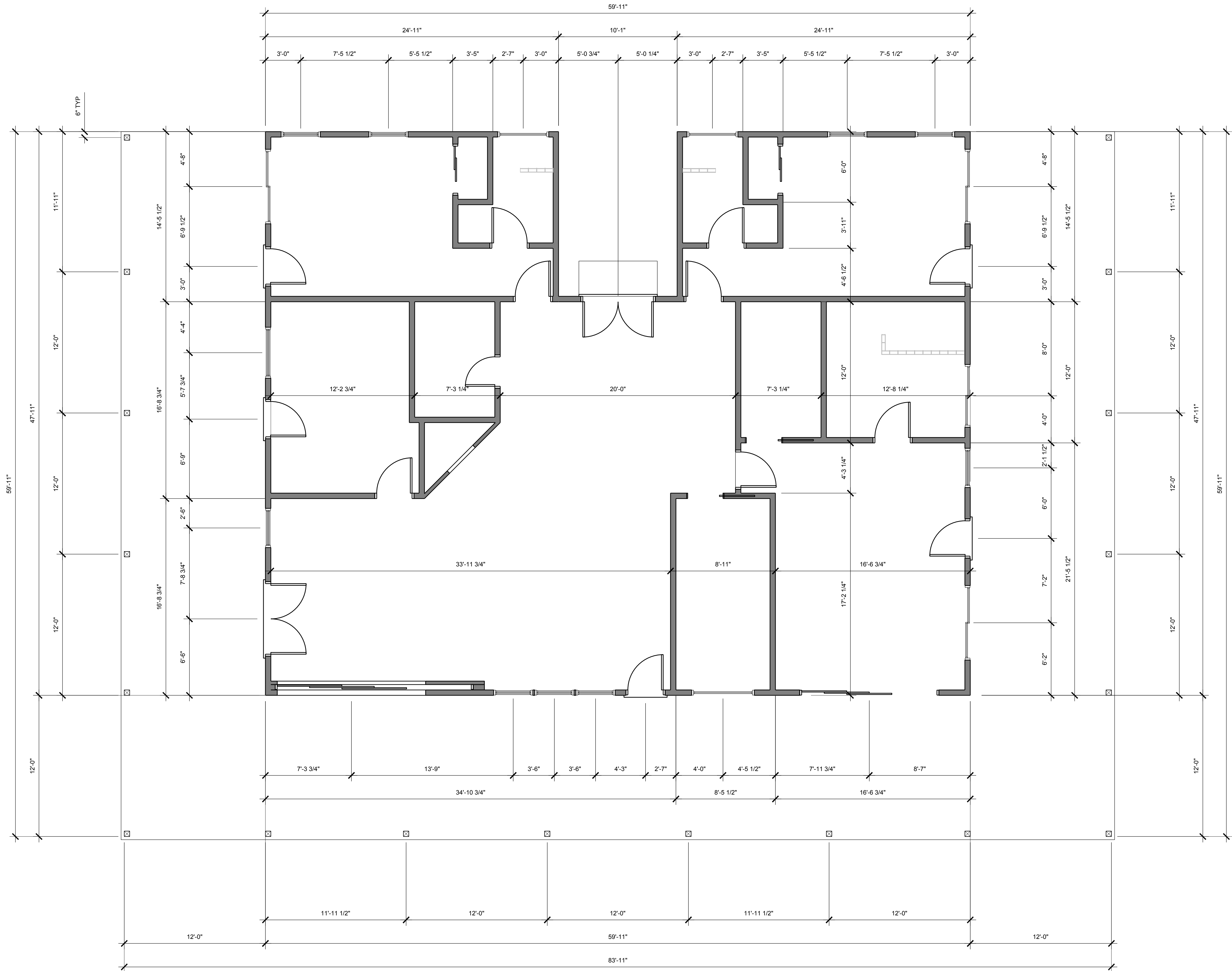
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RESIDENCE

SHEET NUMBER

A-1.1

FLOOR PLAN- RESIDENCE - A-1.

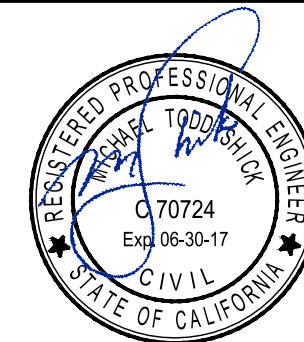
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DIMENSIONED FLOOR PLAN
1/4" = 1'

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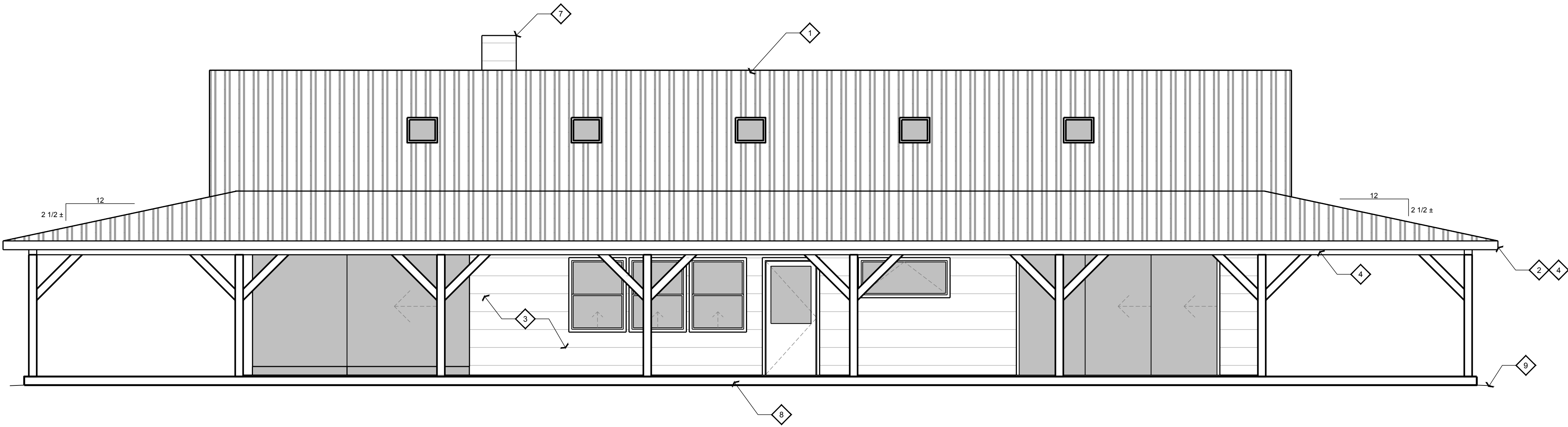
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**FLOOR PLAN -
RESIDENCE -
DIMS**

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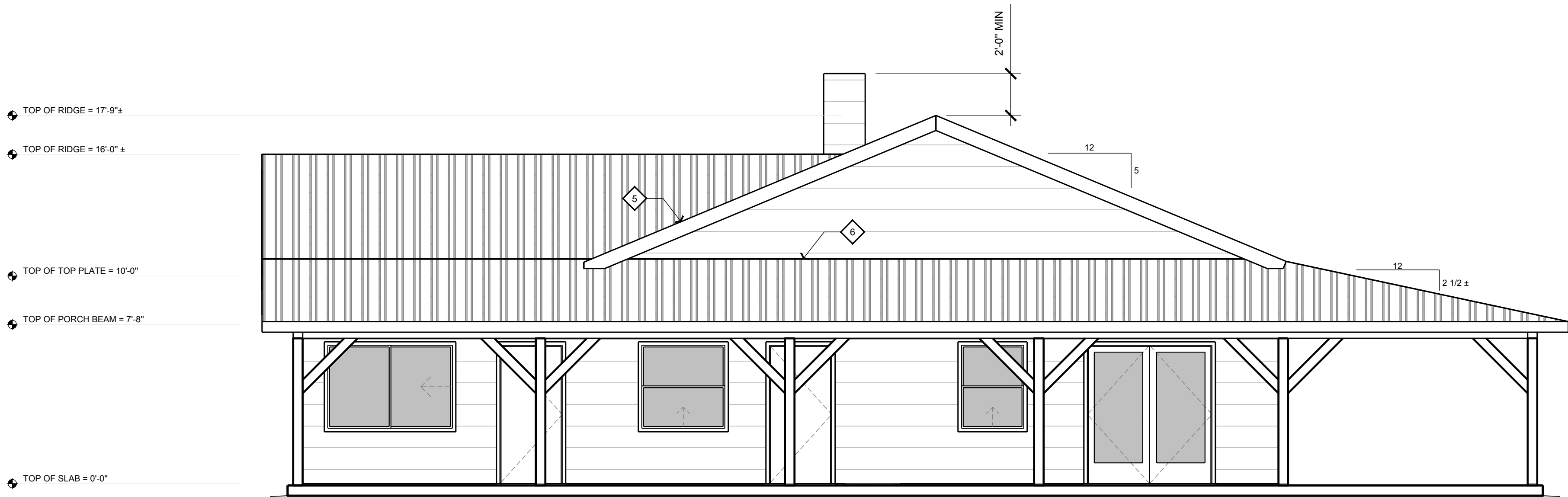
A-2.1

P:\Hopkins_Gary\Architectural & Structural\dwg\Hopkins_Gary\Sheet\A-3.1 RESIDENCE ELEVATIONS.dwg Michael 3/10/2017 3:21:55 PM



FRONT ELEVATION

1/4" = 1'



LEFT ELEVATION

1/4" = 1'

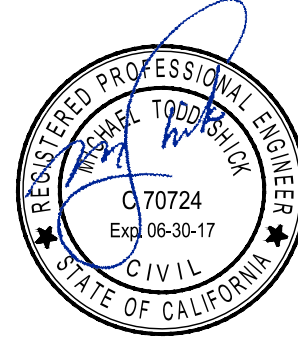
ELEVATION CALLOUTS

1. METAL ROOF OVER OVER 30# MINIMUM ROOFING FELT OVER STRUCTURAL INSULATED PANELS (TYP)
2. 2 X 8 HEM FIR FASCIA (TYP)
3. HARDPLANK SIDING OVER APPROVED MOISTER BARRIER
4. GUTTER AND DOWNSPOUTS (NOT SHOWN) SHALL BE INSTALLED ON ALL ROOF AREAS U.N.O. ALL DOWNSPOUTS SHALL BE TIED INTO UNDERGROUND DRAINAGE. REFER TO GRADING/DRAINAGE PLAN FOR ADDITIONAL INFORMATION. GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER
5. VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.016" (NO. 26 GALV. SHEET GAGE) CORROSION-RESISTANT METAL. INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT OF 1 LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF VALLEY
6. 24 GAUGE GI FLASHING @ ALL ROOF TO WALL CONNECTIONS (TYP)
7. CHIMNEY CAP AND SPARK ARRESTOR PER CBC 2802. ICBO APPROVED CHIMNEY CAP/SHROUD. SUBMIT APPROVED DOCUMENTATION TO ARCHITECTURAL DESIGNER AND BUILDING OFFICIALS FOR APPROVAL PRIOR TO INSTALLATION
8. CONCRETE STEPS
9. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP)

M.E. Designs

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Drafting & Design

610 10th Street, Suite D 805.610.9545 (office)
Paso Robles, CA 93446 805.237.0480 (fax)
www.medesigns.us



PLAN PREPARED FOR:

GARY AND BETTY HOPKINS
76291 BRYSON-HYSPERIA ROAD
BRADLEY, CA

REVISION LOG

REV.	DESCRIPTION	DATE

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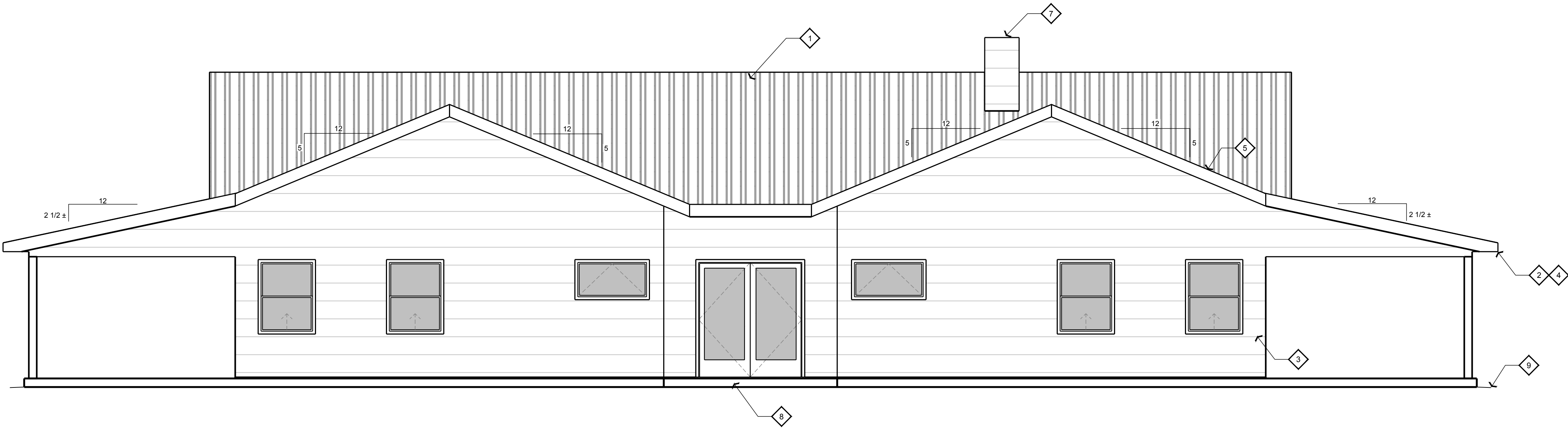
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DATE 3/10/2017 3:21 PM

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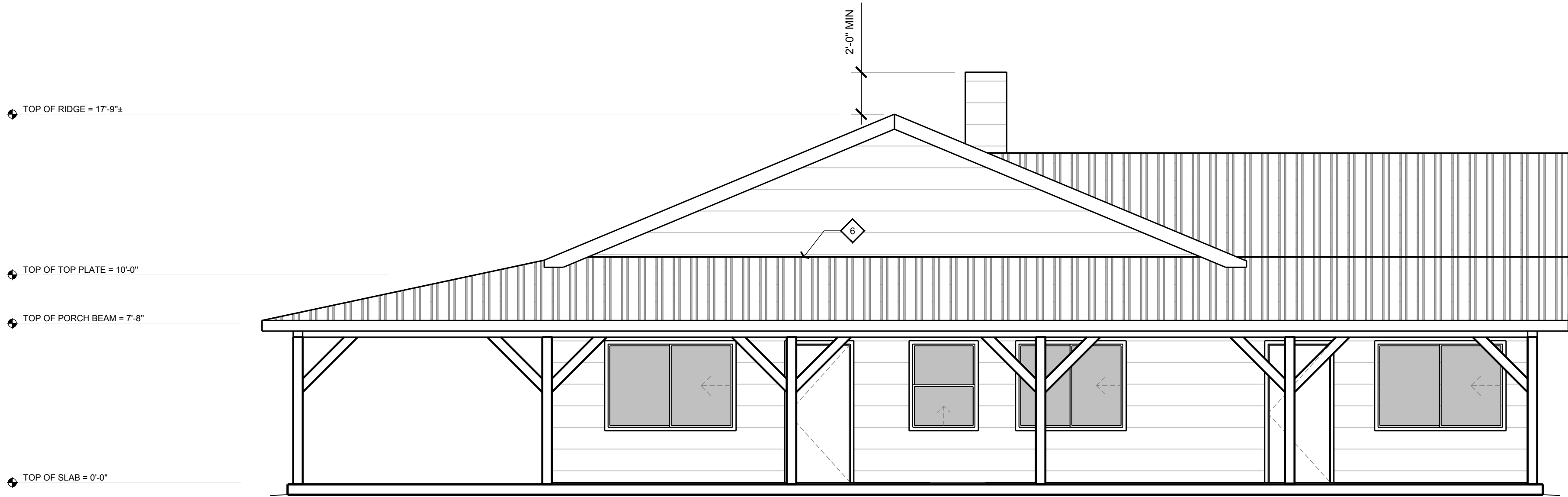
A-3.1

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REAR ELEVATION

1/4" = 1'



RIGHT ELEVATION

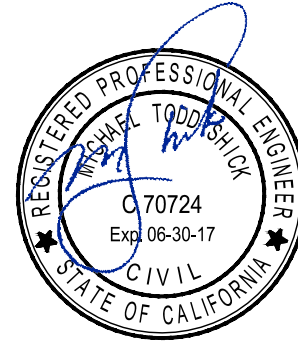
1/4" = 1'

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PROJECT NO. ---
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DATE 3/10/2017 3:22 PM

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RESIDENCE
ELEVATIONS

SHEET NUMBER:

A-3.2

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