

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

BLACK CROW LLC (PLN160348)

RESOLUTION NO. 17-026

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project exempt from CEQA per Section 15302 of the CEQA Guidelines; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow the demolition of a 1,836 square foot one-story single-family dwelling with a 563 square foot attached two-car garage, and the construction of a 2,464 square foot one-story single-family dwelling with a 390 square foot attached two-car garage, subject to fifteen (15) conditions of approval.

[2874 Pradera Road, Carmel Meadows, Carmel Area
Land Use Plan (APN: 243-053-005-000)]

The Black Crow LLC application (PLN160348) came on for a public hearing before the Monterey County Zoning Administrator on April 27, 2017. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Carmel Area Land Use Plan (LUP) and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.

- EVIDENCE:**
- a) The proposed project involves the demolition of a 1,836 square foot one-story single-family dwelling with a 563 square foot attached two-car garage, and the construction of a 2,464 square foot one-story single-family dwelling with a 390 square foot attached two-car garage.
 - b) The property is located at 2874 Pradera Road, Carmel Meadows (Assessor's Parcel Number 243-053-005-000), Carmel Area Land Use Plan, Coastal Zone. The parcel is zoned Medium Density Residential/2 units per acre, with a Design Control overlay and an 18-foot height limit (Coastal Zone) [MDR/2-D(18)(CZ)]. MDR zoning allows residential development as a principle use subject to the granting of a Coastal Administrative Permit.
 - c) The 0.187-acre (8,160 square feet) lot was created with the Carmel Meadows Unit No. 4 Final Map at Volume 6, Cities and Towns, Page 116, recorded on July 17, 1957, and is thus a legal lot.

- d) No conflicts were found to exist. The County received communications from interested members of the public during the course of project review indicating inconsistencies with the text, policies, and regulations in the applicable plans and Monterey County Code (MCC); however, the County finds that the project is consistent with the text, policies, and regulations in the applicable documents.
- e) Pursuant to MCC, Coastal Administrative Permits and administrative Design Approvals are considered and approved by the Director of Planning, unless an interested party requests a public hearing for the proposed project. After noticing for administrative review on March 15, 2017, the County received two requests for public hearing (attached as Exhibit D to the April 27, 2017, staff report to the Zoning Administrator). Therefore, this item was set for public hearing and consideration before the Zoning Administrator.
- f) The concerns expressed by the public involve possible impacts to private views, neighborhood character, drainage, and light pollution. The requestors also expressed concern that the applicable land use advisory committee did not review this project, and that the staking and flagging was not clearly visible before being damaged by wind. These concerns are addressed below in Evidences g, h, i, j, k, l, m, n, and o. Also, see Evidence u below regarding review by a land use advisory committee.
- g) The development standards for the MDR zoning district are identified in MCC Section 20.12.060. Required setbacks in this MDR district are 20 feet (front), 10 feet (rear), and 5 feet (sides). The proposed structure would have a front setback of 20 feet, a rear setback of 17 to 19 feet, and side setbacks of 6 and 8 feet. The proposed setbacks are similar to those of the existing residence. The site coverage maximum in this MDR district is 35 percent, and the floor area ratio maximum is 45 percent. The existing lot is approximately 8,160 square feet, which would allow site coverage of approximately 2,856 square feet and floor area of approximately 3,672 square feet. The proposed single-family dwelling and attached garage would result in both site coverage and floor area of approximately 2,854 square feet (34.9 percent), an increase of 455 square feet over the existing 2,399 square feet (29.3 percent) of site coverage and floor area. The proposed design layout would be similar to the adjacent properties and other residences in the immediate vicinity. The proposed design does not significantly increase the bulk and mass of the existing dwelling, and is consistent with the surrounding neighborhood character (see Evidences i and o below regarding Neighborhood Character and Design). The maximum allowed height in this MDR district is 18 feet. The height of the proposed structure would increase from approximately 14.85 feet to 17 feet. See also Evidence m below regarding maximum height allowed and height verification.
- h) Private views. The requestors expressed concerns regarding the proposed height and its impact on views from the residences of the requestors. Private views are not protected under the Carmel Area Land Use Plan or applicable MCC. See also Evidence n below.
- i) Neighborhood Character. A requestor commented that the proposed residence is not consistent with the size and scale of surrounding

residences, and that the bulk and mass would contrast with the neighborhood character. The proposed dwelling would increase by 455 square feet, would remain a single-story structure, and would meet all applicable development standards. Also, the proposed design layout would be similar to the 2 adjacent properties on either side, as well as 8 other residences in the immediate vicinity. The County also granted a Variance to an adjacent residence to allow 45 percent coverage (a reduction from a non-conforming 51 percent). Therefore, the County finds that the proposed single-family dwelling does not significantly increase the bulk and mass of the existing dwelling, and is consistent with the surrounding neighborhood character. See also Evidences m and o below.

- j) Drainage. Based on the Site Design and Runoff Reduction Checklist submitted by the Applicant, stormwater runoff from the proposed building would be directed onto vegetated areas of the property. RMA-Environmental Services reviewed the submitted application materials, and applied conditions as necessary to ensure drainage or runoff design measures are implemented (Erosion Control Plan, Grading Plan, Stormwater Control Plan, inspections, and geotechnical certification - Condition Nos. 8, 9, 10, 11, 12, 13, 14, and 15).
- k) Light Pollution. A requestor commented that a proposed clerestory architectural feature would cause light pollution, and suggests the Applicant use skylights instead. The commenter did not submit any evidence to demonstrate how a clerestory would cause more light pollution than skylights. The clerestory would add height to the proposed residence, and would face the residences of the requestors; however, the County does not regulate interior lighting and does not protect private views (see Evidence h above). Even with the clerestory, the proposed structure would remain one foot under the allowed maximum height (see Evidence g above and Evidence m below). Also, many residences in Carmel Meadows have either skylights, second-stories, or second-story architectural features such as clerestories and roof decks.
- l) Staking and Flagging. A requestor commented that thick smoke from the Soberanes fire prevented an adequate assessment of visual impacts based on the initial staking and flagging, and that by the time the smoke cleared, wind had damaged large portions of the flagging. The Applicant submitted photographs of the initial staking and flagging installed in August 2016, and re-installed staking and flagging on or about March 29, 2017. Based on a County staff site inspection on March 30, 2017, the staking and flagging was intact and the weather clear enough for an adequate assessment of potential visual impacts.
- m) Height Verification. The zoning district has a height limit of 18 feet above average natural grade. The proposed dwelling and garage would have a height of 17 feet above average natural grade. Condition No. 6, Height Verification, is applied to ensure the height of the finished structure conforms to the plans and the maximum allowed height limit.
- n) Visual Resources/Public Viewshed. The project, as proposed, is consistent with the Carmel Area Land Use Plan (LUP) policies

regarding Visual Resources (Chapter 2.2), and will have no impact on the public viewshed. The project planner conducted a site inspection on March 30, 2017, to verify that the project minimizes development within the public viewshed. The project site is not within the public viewshed and is not visible from Highway 1 due to screening from topography and existing structures. The proposed single-family dwelling would not detract from the natural beauty of the surrounding undeveloped ridgelines and slopes in the public viewshed (LUP Policy 2.2.3.1). The project site is also located in a residential neighborhood, the Carmel Meadows subdivision, and the adjacent parcels have been developed with single-family dwellings. Also, per LUP Policy 2.2.3.6, the proposed structure would be subordinate to and blend into the environment, using appropriate exterior materials and earth tone colors that give the general appearance of natural materials (see Evidence h below).

- o) Design. Pursuant to MCC Chapter 20.44, the proposed project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed exterior colors and materials include earth-tone (light beige) stucco walls and natural wood roofing. The proposed exterior finishes blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- p) Cultural Resources. The project site is within an area of high sensitivity for prehistoric cultural resources; however, the entire parcel has been disturbed by previous structural and hardscape development, as well as landscaping. There is no evidence that any cultural resources would be disturbed (Carmel Area Land Use Plan Policy 2.8.2), and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County’s standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction. In addition, a Phase I Historic Report (LIB160273) prepared for the project determined the existing single-family dwelling lacks any historic significance and cannot be considered a historic resource.
- q) The project has been reviewed for site suitability by the following departments and agencies: RMA-Planning, Carmel Highlands Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development, and the respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

Conditions recommended by RMA-Planning, RMA- Public Works, and RMA-Environmental Service have been incorporated.

- r) The following technical reports have been prepared:
 - Phase I Historic Report (LIB160273) prepared by Kent L. Seavey, Pacific Grove, California, July 30, 2016.
 - Geotechnical Report (LIB160272) prepared by Grice Engineering, Inc., Salinas, California, July 10, 2016.County staff has independently reviewed these reports and concurs with their conclusions.
- s) Necessary public facilities are available. The existing single-family dwelling has public water and sewer connections provided by the California American Water Company and the Carmel Area Wastewater District, respectively, and will continue to use these same connections. The Environmental Health Bureau reviewed the project application and did not apply any conditions of approval.
- t) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- u) Pursuant to the LUAC Procedure Guidelines adopted by the Monterey County Board of Supervisors, administrative (i.e., projects not requiring a public hearing) permits and design approvals are not normally sent to the LUACs for review. However, due to the requests for a public hearing, the project was referred to the Carmel Unincorporated/Highlands Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the proposed project at a duly-noticed public meeting on April 17, 2017, and voted 3 – 0 to recommend approval with the following changes and comments: 1) Correct the eave overhang on the southeast corner; 2) thoroughly investigate the drainage; and 3) consider use of railing and/or transparent material instead of a solid wall for the roof deck and stairs leading to the deck. In response to the LUAC's recommendations and comments, the Applicant submitted revised plans to reduce the eave overhang on the southeast corner to comply with setback requirements. Regarding site drainage, Condition No. 10 requires the Applicant to submit a stormwater control plan, which the County will review and approve prior to issuance of grading or building permits.
- v) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN160348.

2. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts the replacement or reconstruction of existing structures where the new structure(s) will be located on the same site as the structure(s) replaced and will have substantially the same purpose and capacity as the structure(s) replaced.
 - b) The subject project consists of the demolition of a single-family dwelling, and construction of a single-family dwelling on a residentially-zoned parcel within a developed neighborhood.

Therefore, the proposed development is consistent with CEQA Guidelines Section 15302.

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact.
- d) No adverse environmental effects were identified during staff review of the development application, nor during a site visit on March 30, 2017.

3. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) The subject property is not described as an area where the applicable Local Coastal Program requires public access (Figure 3, Public Access, in the Carmel Area Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) Staff conducted a site inspection on March 30, 2017, to verify that the proposed project would not impact public access.
 - d) The Carmel Area Land Use Plan Policy 5.3.3.4.c protects public visual access and requires that structures and landscaping placed upon land west of Highway 1 shall be sited and designed to retain public views of the shoreline. The subject property is located west of Highway 1; however, the subject property does not obstruct public views of the shoreline from the Highway 1, therefore construction of the proposed single-family dwelling will not obstruct public visual access.

4. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20). An appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20). The project is subject to appeal by/to the California Coastal Commission because it is located between the sea and the first through public road paralleling the sea (Highway 1). The project site is not located within 300 feet of the inland extent of any beach or of the mean high tide line of the sea, or located on tidelands, submerged lands, public trust lands, within 100 feet of any

wetland, estuary, stream or within 300 feet of the top of the seaward face of any coastal bluff.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find the project exempt from CEQA per Section 15302 of the CEQA Guidelines; and
- B. Approve a Coastal Administrative Permit and Design Approval to allow the demolition of a 1,836 square foot one-story single-family dwelling with a 563 square foot attached two-car garage, and the construction of a 2,464 square foot one-story single-family dwelling with a 390 square foot attached two-car garage, in general conformance with the attached plans and subject to the conditions, both being attached hereto and incorporated herein by reference.

Approval is subject to 15 conditions, attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 27th day of April, 2017.



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON APR 27 2017

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE MAY 08 2017.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160348

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN160348) allows the demolition of a single-family dwelling; construction of a 2,464 square foot one-story single-family dwelling with a 390 square foot attached two-car garage; and use of railing and/or transparent material or a solid wall for the roof deck and stairs leading to the deck. The property is located at 2874 Pradera Road, Carmel Meadows (Assessor's Parcel Number 243-053-005-000), Carmel Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA-Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA-Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Coastal Administrative Permit and Design Approval (Resolution Number 17 - 026) were approved by the Monterey County Zoning Administrator for Assessor's Parcel Number 243-053-005-000 on April 27, 2017. The permit was granted subject to fifteen (15) conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (RMA-Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD032(A) - PERMIT EXPIRATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of three (3) years, to expire on April 27, 2020, unless use of the property or actual construction has begun within this period. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the RMA-Director of Planning. Any request for extension must be received by RMA-Planning at least 30 days prior to the expiration date.

6. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of RMA-Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA-Planning and RMA-Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

7. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to RMA-Planning and RMA-Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information:

Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (RMA-Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

8. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an erosion control plan to RMA-Environmental Services for review and approval.

9. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a grading plan incorporating the recommendations from the project Geotechnical Report prepared by Grice Engineering Inc. The grading plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The grading plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the grading plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the grading plan for conformance with the geotechnical recommendations.

10. STORMWATER CONTROL PLAN (PR1)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Control Plan addressing the Post-Construction Requirements (PCRs) for Development Projects in the Central Coast Region. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a Stormwater Control Plan to RMA-Environmental Services for review and approval.

11. WINTER INSPECTIONS - AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The owner/applicant shall schedule weekly inspections with RMA-Environmental Services during the rainy season, October 15th to April 15th, to ensure contaminants are not discharged into the Carmel Bay Area of Special Biological Significance. This inspection requirement shall be noted on the Erosion Control Plan. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the owner/applicant shall schedule weekly inspections with RMA-Environmental Services in the rainy season (October 15th to April 15th).

12. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

13. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

14. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

15. GEOTECHNICAL CERTIFICATION

Responsible Department: Environmental Services

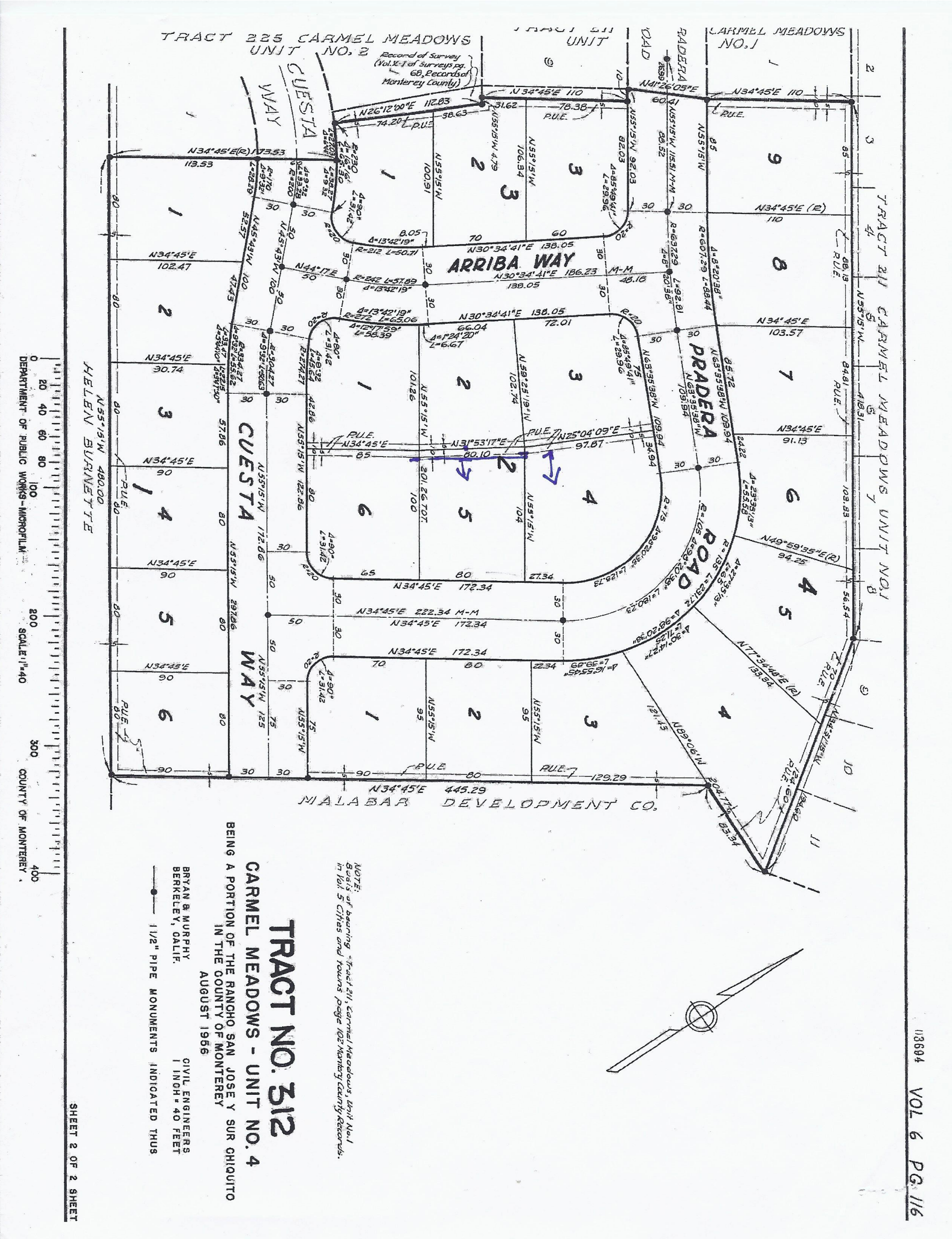
Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geotechnical Report. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

BLACK CROW

Carmel, CALIFORNIA

PARCEL MAP



PROJECT DATA

OWNER:	BLACK CROW INC.
SITE:	2874 Pradera Rd. Carmel CALIFORNIA 93923
A.P.N.	243-053-005
ZONING:	MDR2-D(18)(CZ)
FIRE DISTRICT:	CARMEL HIGHLANDS FPD
PLANNING AREA:	CARMEL LUP
OCCUPANCY:	R-3 (RESIDENCE) U (GARAGE)
CONSTRUCTION TYPE:	V-B
SITE AREA:	8,160 SQ. FT.
BUILDING AREA:	AREA
DESCRIPTION	
EXISTING GARAGE (FLOOR AREA)	553 SQ. FT.
FIRST FLOOR	1,936 SQ. FT.
PROPOSED GARAGE (FLOOR AREA)	2,397 SQ. FT.
FIRST FLOOR	390 SQ. FT.
TOTAL	2,444 SQ. FT.
TOTAL	2,854 SQ. FT. (34.9% FAR & SITE COVERAGE)
SITE COVERAGE:	
EXISTING IMPERVIOUS	1,624 SQ. FT.
PROPOSED IMPERVIOUS	1,777 SQ. FT.
PARKING	(2) COVERED SPACES PROVIDED.
WATER SUPPLY:	CAL AM
SEWER:	PUBLIC
BUILDING HEIGHT:	18'-0"
GRADING:	MINIMAL, LESS THAN 100 CY, DISTRIBUTE ON SITE
FIRE SPRINKLERS:	YES
TREE REMOVAL:	NO SIGNIFICANT TREE REMOVAL

GENERAL CONDITIONS

ITEM	TESTING	SPECIAL INSPECTION	ENGINEER'S OBSERVATION
GRADING AND COMPACTION			X (3)
SUBDRAINS			X (3)
SEAL WALL NAILING AND HARDWARE			X (2)
TIE DOWN INSTALLATION			X (2)
FOUNDATIONS			X (2 & 3)
FIELD WELDING			

NOTES:
1. REQUIRED TESTING AND/OR SPECIAL INSPECTION PER CBC CHAPTER 17A REQUIREMENTS SHALL BE DONE IN ACCORDANCE WITH THE CURRENT CODE BY AN APPROVED SPECIAL TESTING LAB, SPECIAL INSPECTOR AND/OR BY AN ENGINEER RETAINED BY THE OWNER.
2. ENGINEERING OBSERVATION SHALL BE DONE BY THE STRUCTURAL ENGINEER OF RECORD.
3. ENGINEERING OBSERVATION SHALL BE DONE BY THE GEOTECHNICAL ENGINEER OF RECORD.
4. SUBMIT ALL TESTING AND INSPECTION REPORTS TO THE MONTEREY COUNTY BUILDING DEPARTMENT.

NOTE: SEE STRUCTURAL DRAWINGS FOR ANY ADDITIONAL SPECIAL INSPECTION REQUIREMENT

NOTE: FINAL INSPECTION AND APPROVAL FROM MONTEREY PENINSULA WATER MANAGEMENT DISTRICT REQ'D PRIOR TO COUNTY APPROVAL.

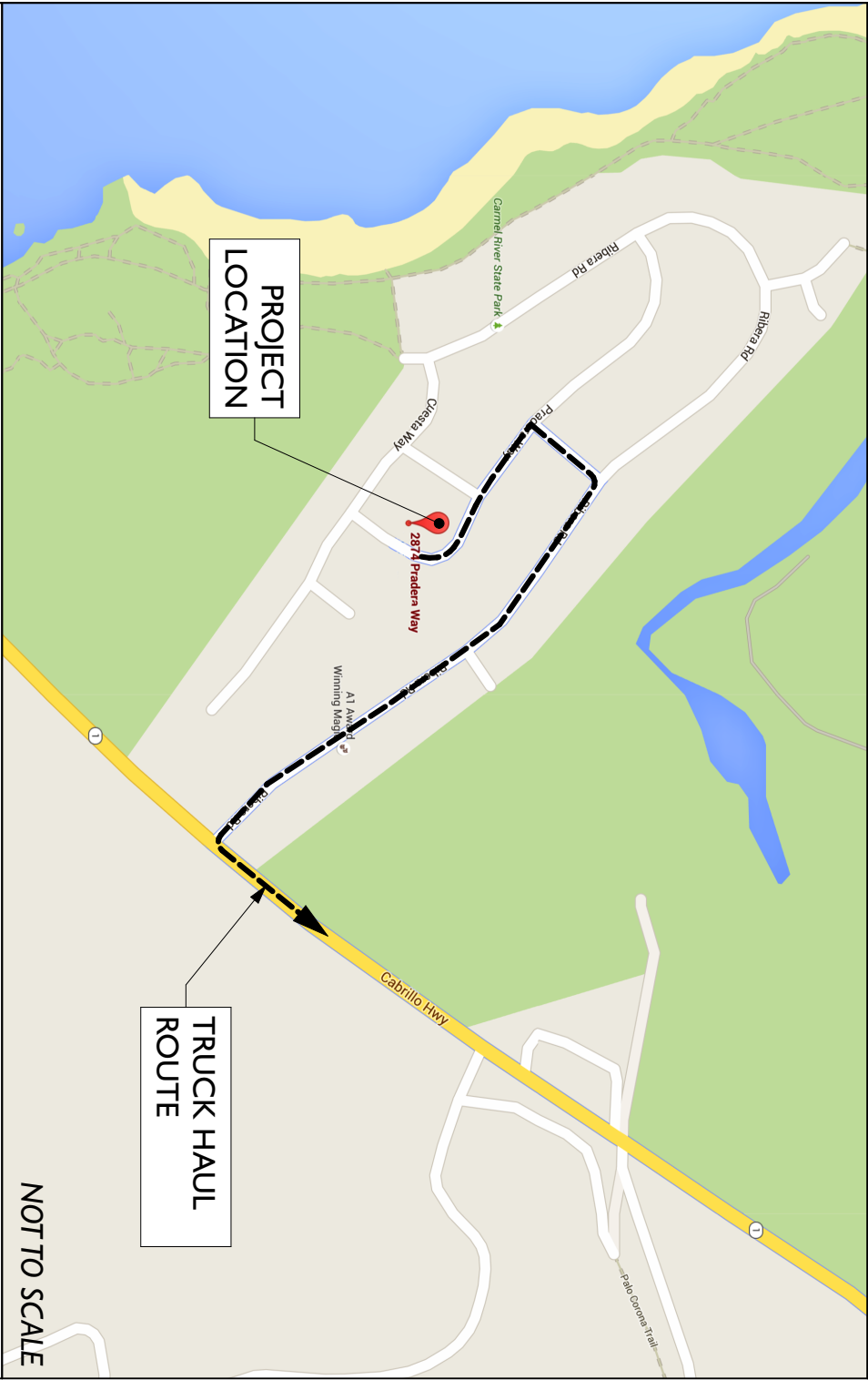
PROJECT TEAM

ARCHITECT:	RICHARD RHODES
PLANNER:	RICHARD RHODES ARCHITECT & PLANNERS
1182 RESERVATION RD. SALINAS, CA 93908	
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rk@rrra.com	
SURVEY:	WHITSON ENGINEERS
9699 BLUE LARKSPUR LANE MONTEREY, CA 93940	
P 831.649.5225	
P 831.373.5065	
STRUCTURAL ENGINEER	DUCKREW INC.
PO BOX 831 CARMEL VALLEY, CA 93924	
P 831.659.3825	
duckdc@aho.com	
MECHANICAL ENGINEER/TITLE-24	MONTEREY ENERGY GROUP
26465 CARMEL RANCHO BLVD.#8 CARMEL, CA 93923	
P 831.372.8328	
F 831.359.4173	
GEOTECHNICAL	GRICE ENGINEERING AND GEOLOGY
SAM GRICE 561 BRUNKEN AVE. SALINAS, CA 93901	
P831.422.9619	

SHEET INDEX

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A03	CAL GREEN NOTES #2
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A33	COURTYARD ELEVATIONS
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M23	FIRST FLOOR VENTILATION PLAN
M61	PILING SCHEMATIC
M63	DETAILS
M64	ECO-WASH INSTALLATION DETAILS
M65	HEAT SOURCE VENTING
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VICINITY MAP / TRUCK HAUL ROUTE



SCOPE OF WORK

DEMOLITION OF (E) RESIDENCE CONSTRUCTION OF NEW 2,854 SQ. FT. RESIDENCE. (N) DRIVEWAY WITH ASPHALT APRON IN ROW, SITE WALLS AND FENCES.

issued: 4/19/17
revised: 4/19/17
drawn by:

RICHARD K. RHODES,
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RKR@RRRA.COM

apn: 243-053-005

Carmel, california

a new residence for:

BLACK CROW

2874 Pradera Rd.

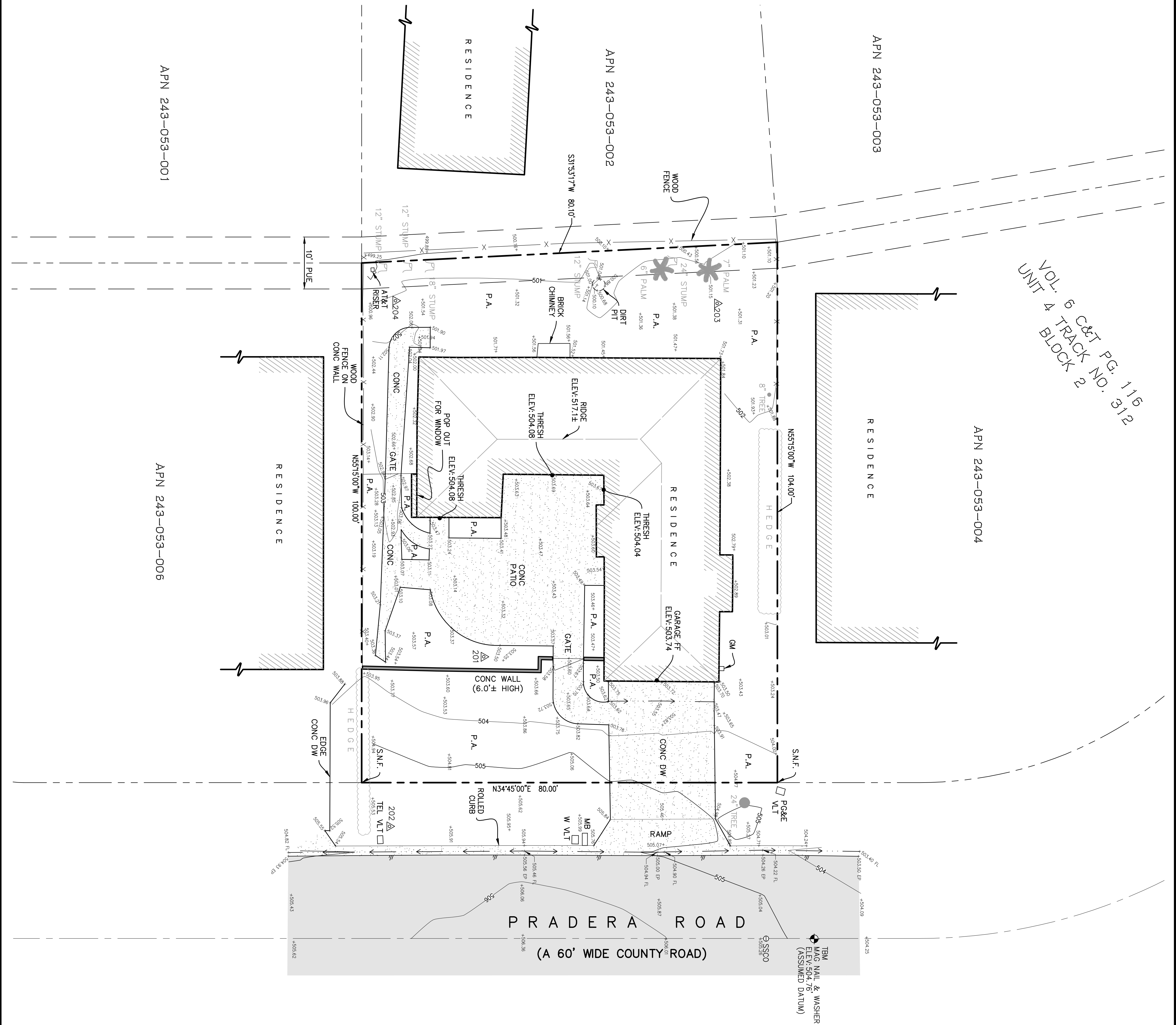
THE DRAWING AND ANY OTHER MATERIAL CONTAINED HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF RICHARD K. RHODES ARCHITECTS & PLANNERS. IT IS HEREBY AGREED THAT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

COVER SHEET

sheet 1

A0.0

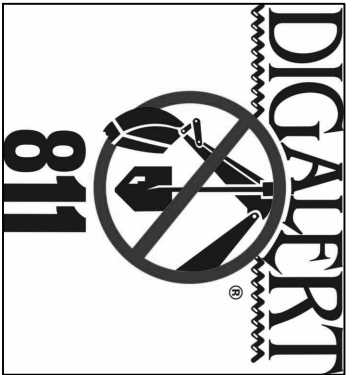
of - 35 sheets



VOL. 6 C&T PG. 116
UNIT 4 TRACK NO. 312

NOTES:

1. THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY PERFORMED BY WHITSON ENGINEERS ON 10/15/15.
2. THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT.
3. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY SHOWN IS FROM RECORD DATA. THIS TOPOGRAPHY DOES NOT CONSTITUTE A BOUNDARY SURVEY THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.
4. DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
5. BENCHMARK TAKEN AS A MAG NAIL AND WASHER SHOWN ON THIS PLAN. ELEVATION: 504.76' (ASSUMED DATUM)
6. UNDERGROUND UTILITIES WERE NOT WITHIN THE SCOPE THIS SURVEY. THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
7. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" WERE NOT NECESSARILY LOCATED AS PART OF THIS SURVEY.



REVISIONS:			
NO.	BY:	DATE:	DESCRIPTION:

DATE: 10/19/15
SCALE: 1"=10'
ENGR.
JOB NO.: 3401.00



WE **Whitson Engineers**
9699 Blue Larkspur Lane • Suite 105 • Monterey, CA 93940
831 649-5225 • Fax 831 373-5065
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

2874 PRADERA ROAD, CARMEL, CA 93923
MONTEREY COUNTY CALIFORNIA
TOPOGRAPHIC SURVEY
APN 243-053-005 LOT 5 AS SHOWN ON VOL. 6 C&T PG. 116

LEGEND
GROUND CONTOUR
SUBJECT PROPERTY LINE
ADJACENT PROPERTY LINE
EASEMENT LINE
CENTER LINE
CONTROL POINT
TEMPORARY BENCHMARK
SPOT GRADE
TREE
STUMP OR SNAG (DEAD)
BRUSH LINE
FENCE
FLOW LINE
SANITARY SEWER CLEANOUT
ASPHALT
BUILDING
CONCRETE
CONCRETE WALL
PLUS OR MINUS: APPROX
CONC
CONCRETE
DW
EDGE OF PAVEMENT
ELEV
ELEVATION
FF
FINISH FLOOR
FL
FLOW LINE
GA
GAS METER
MB
MAILBOX AREA
P.A.
PUBLIC UTILITY EASEMENT
P.U.E.
SEARCHED FOR NOT FOUND
SSCO
SANITARY SEWER CLEAN OUT
TEL
TELEPHONE
VLT
VAULT
W
WATER

ABBREVIATIONS
PLUS OR MINUS: APPROX
CONC
CONCRETE
DW
EDGE OF PAVEMENT
ELEV
ELEVATION
FF
FINISH FLOOR
FL
FLOW LINE
GA
GAS METER
MB
MAILBOX AREA
P.A.
PUBLIC UTILITY EASEMENT
P.U.E.
SEARCHED FOR NOT FOUND
SSCO
SANITARY SEWER CLEAN OUT
TEL
TELEPHONE
VLT
VAULT
W
WATER

SCALE: 1" = 10'
0 10 20 30 FT.
0 1 2 3 INCHES

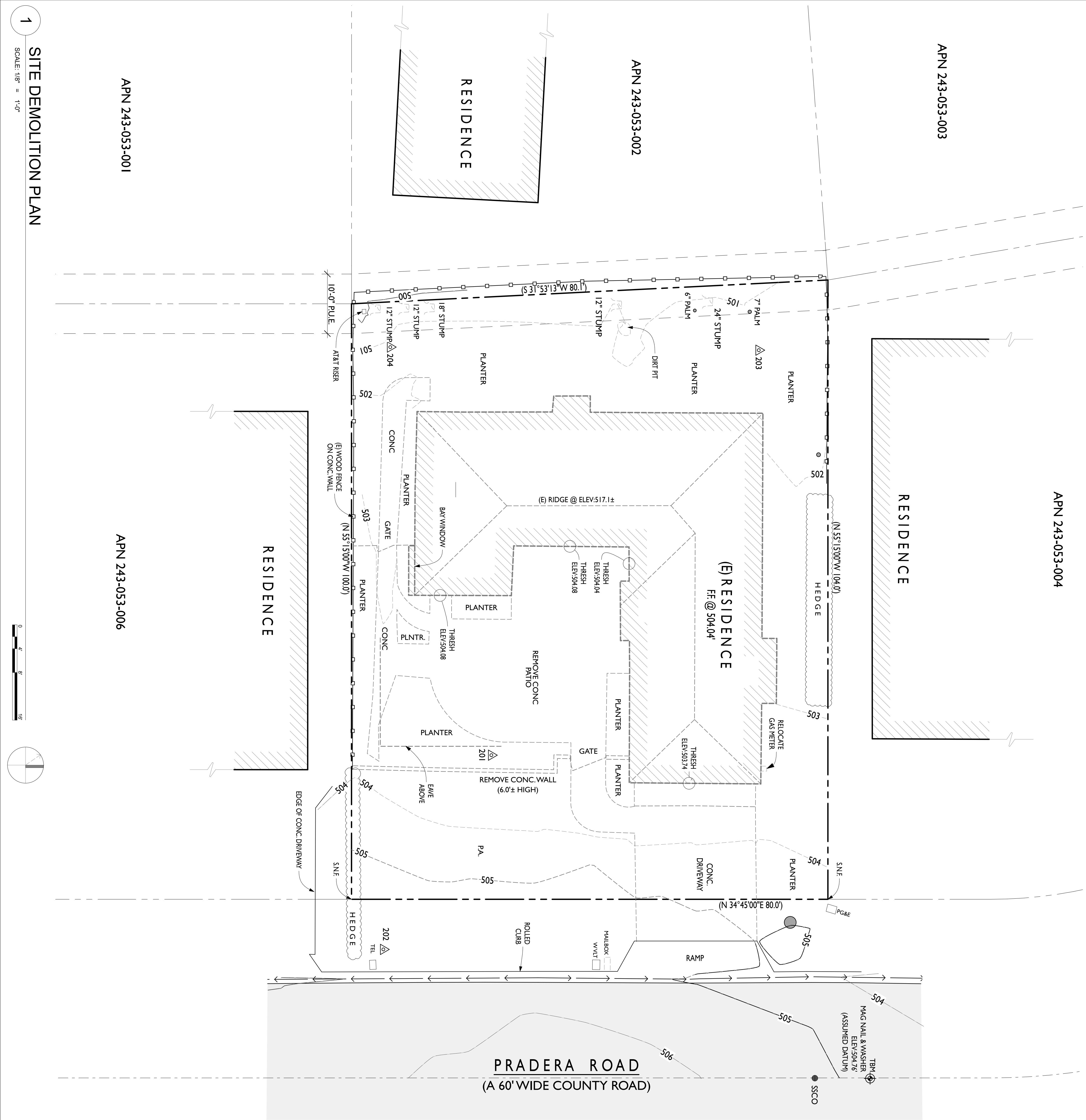
APN 243-053-004

APN 243-053-003

APN 243-053-002

APN 243-053-001

APN 243-053-006



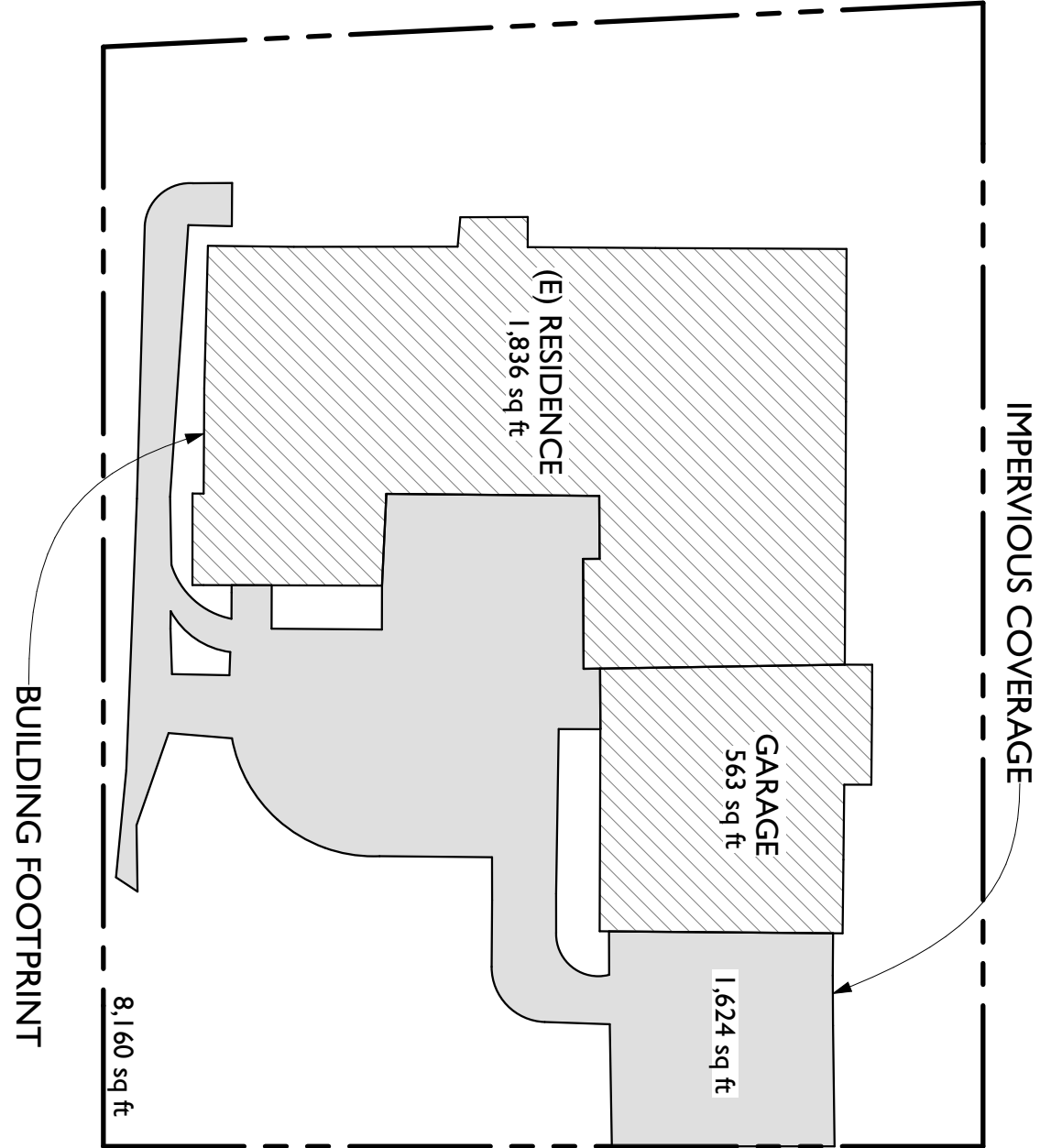
GENERAL NOTES

1. STOPWORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA. PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL/ARCHAEOLOGICAL/HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED
2. ITEMS TO BE DEMOLISHED INDICATED WITH A DASHED LINE TO INCLUDE THE COMPLETE REMOVAL OF EXISTING HOUSE AND GARAGE, SITE WALLS, CONC. DRIVEWAY, WALKS & PATIOS
3. REMOVE ALL STUMPS TO A POINT AT MINIMUM 2.0' BELOW THE FINISHED GRADE
4. NO TREES SHALL BE REMOVED
5. PRIOR TO FINAL INSPECTION, THE OWNER / APPLICANT SHALL PROVIDE RMA - ENVIRONMENTAL SERVICES A LETTER FROM A LICENSED PRACTITIONER THAT THE DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT

REFERENCE NOTES

- 1 NOT USED
- 2
- 3
- 4
- 5
- 6

EXISTING PROJECT AREAS



issued: 4/19/17
revised: 4/19/17
drawn by:

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PRELIMINARY: NOT FOR
CONSTRUCTION

apn: 243-053-005

Carmel, california

a new residence for:

BLACK CROW

2874 Pradera Rd.

SITE DEMOLITION
PLAN

sheet 6
of - 35
A1.2
sheets

APN 243-053-004

APN 243-053-003

RESIDENCE

APN 243-053-002

RESIDENCE

APN 243-053-001

APN 243-053-006

PRADERA ROAD
(A 60' WIDE COUNTY ROAD)

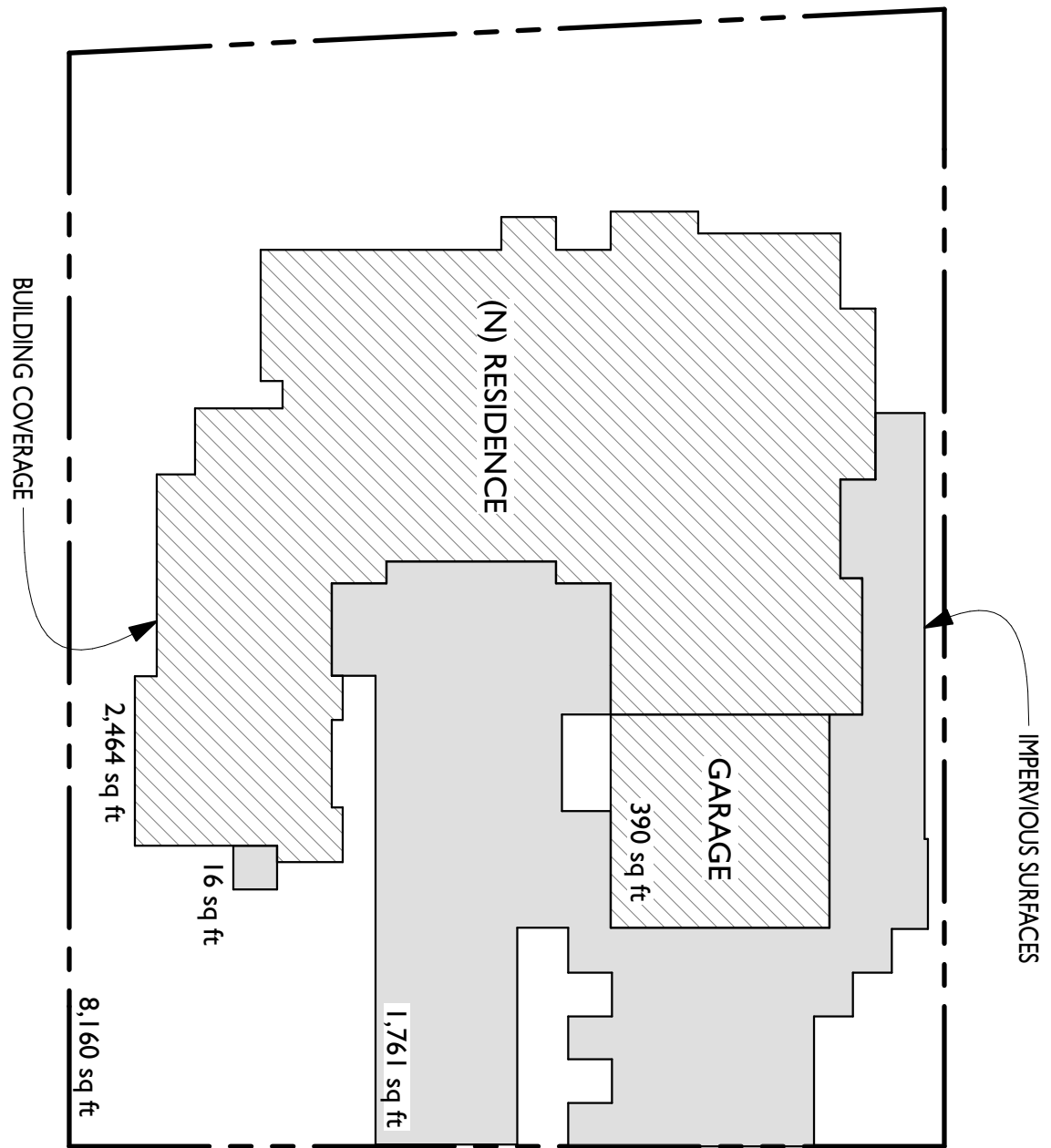
REFERENCE NOTES

- 1 RELOCATE GAS AND ELECTRIC METER TO PROPOSED LOCATION
- 2 6'-0" TALL MAX TRASH ENCLOSURE SITE WALL W/ PLASTER FINISH TO MATCH HOUSE
- 3 6'-0" TALL MAX. SITE WALL W/ PLASTER FINISH TO MATCH HOUSE
- 4 CONC. LANDING
- 5 STEEL STAIR W/ OPEN GRATE TREADS TO ROOF DECK ABOVE
- 6 UTILITY WALLS TO REMAIN IN PLACE
- 7 WOOD DECK AND STAIRS, 24" MAX ABOVE FINISH GRADE
- 8 EXTEND CONC. DRIVEWAY TO ENTRY GATE
- 9 TREE W/ WELL W/ ORNAMENTAL TREE
- 10 CRAWL SPACE ACCESS WELL W/ GRATE W/EL. BASE

GENERAL NOTES

1. PRIOR TO ISSUANCE OF GRADING OR BUILDING PERMITS, THE OWNER / APPLICANT SHALL HAVE A BENCHMARK PLANNED ON THE BUILDING PLANS. BENCHMARK SHALL REMAIN VISIBLE ON SITE UNTIL FINAL INSPECTION.
2. PRIOR TO FOUNDATION PRE-POUR INSPECTION, THE OWNER / APPLICANT SHALL PROVIDE EVIDENCE FROM A LICENSED CIVIL ENGINEER OR SURVEYOR TO THE DIRECTOR OF RMA - BUILDING SERVICES FOR REVIEW AND APPROVAL THAT THE HEIGHT OF THE FIRST FINISHED FLOOR FROM THE BENCHMARK IS CONSISTENT WITH WHAT WAS APPROVED ON THE BUILDING PERMIT.
3. PRIOR TO THE FINAL INSPECTION, THE OWNER / APPLICANT / ENGINEER SHALL PROVIDE EVIDENCE FROM A LICENSED CIVIL ENGINEER OR SURVEYOR TO THE DIRECTOR OF RMA - BUILDING SERVICES FOR REVIEW AND APPROVAL THAT THE HEIGHT OF THE STRUCTURE(S) FROM THE BENCHMARK IS CONSISTENT WITH WHAT WAS APPROVED ON THE BUILDING PERMIT PLANS.
4. PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS, THE APPLICANT SHALL SUBMIT CERTIFICATION FROM A LICENSED PRACTITIONER THAT THEY HAVE REVIEWED THE GRADING PLAN FOR CONFORMANCE WITH THE GEOTECHNICAL RECOMMENDATIONS.

PROPOSED PROJECT AREAS



MATERIAL LEGEND

- PROPOSED BUILDING FOOTPRINT
- LANDSCAPE AREA
- CONC. PAVING
- COLORLED CONC. TILE

Issued: 4/19/17

revised: 4/19/17

drawn by:

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PRELIMINARY: NOT FOR
CONSTRUCTION

apn: 243-053-005

Carmel, california

a new residence for:
BLACK CROW

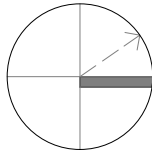
2874 Pradera Rd.

PROPOSED
ARCHITECTURAL
SITE PLAN

sheet 7
of - 35
A1.3
sheets

PROPOSED ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES

- CONTRACTOR SHALL READ AND FAMILIARIZE THEMSELVES WITH THE GEOTECHNICAL REPORT PREPARED BY GRACE ENGINEERING DATED JULY 10, 2016. CONTRACTOR SHALL CONFORM TO GEOTECHNICAL RECOMMENDATIONS.
- DRAINAGE PLAN SHOWN IS CONCEPTUAL. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATION TO PROVIDE EFFECTIVE DRAINAGE. MOST LIKELY SOME POST CONSTRUCTION MONITORING AND IMPROVEMENTS WILL BE REQUIRED.

GRADING & DRAINAGE NOTES



- CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
- ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE AND THE EROSION CONTROL ORDINANCE.
- THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST TWO (2) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-WENTRY PERMISSION TO GRADE AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILL AND TO PLACE, SPREAD, MIX WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSUITABLE FOR FILL.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SURGRADE, SELECT MATERIAL.
- MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLENDED WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- ALL FILL SLOPES SHALL BE COMPACTED IN ACCORDANCE WITH THE SOILS REPORT. THE TOE OF ALL SLOPES SHOULD BE SUPPORTED BY A KEY CUT. A MINIMUM OF 3 FEET INTO UNDISTURBED SOILS TO THE INSIDE OF THE FILL TOE. THIS KEY SHOULD BE A MINIMUM OF 8 FEET IN WIDTH AND SLOPE AT NO LESS THAN 10% INTO THE SLOPE. IN ADDITION, AS THE FILL ADVANCES UP THE SLOPE, BENCHES 3 FEET ACROSS SHOULD BE SCARIFIED INTO THE FILL UNDISTURBED SOIL INTERFACE. (SEE SOILS REPORT)
- TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOT BALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL, THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
- CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
- ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM, UNLESS NOTED OTHERWISE.
- PREVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPROVISED SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING. MEASURES MUST BE TAKEN:
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE TAKEN:
 - DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.
 - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- DURING CONSTRUCTION, THE OWNER / APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA - ENVIRONMENTAL SERVICES IN THE RAINY SEASON (OCTOBER 15TH TO APRIL 15TH)
- VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED.
- NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SITUATION OF WATER COURSES OR UNCONTROLABLE EROSION.
- THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA - ENVIRONMENTAL SERVICES TO INSPECT EROSION CONTROL MEASURES TO REVIEW INSTALLATION AND EFFECTIVENESS OF BERMS INSTALLED AND IDENTIFY POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOLOGICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
- PRIOR TO FINAL INSPECTION, APPLICANT SHALL SCHEDULE AND INSPECTION WITH RMA - ENVIRONMENTAL SERVICES TO ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

LEGEND

- DS INDICATES DOWNSPOUT LOCATION. SEE ROOF PLAN AND ELEVATIONS.
- AD INDICATES AREA DRAIN LOCATION.
- INDICATES FIBERROLL, SEE DETAIL 12 ON THIS SHEET

issued: 4/19/17
revised: 4/19/17
drawn by:

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apn: 243-053-005

Carmel, CALIFORNIA

a remodel for:

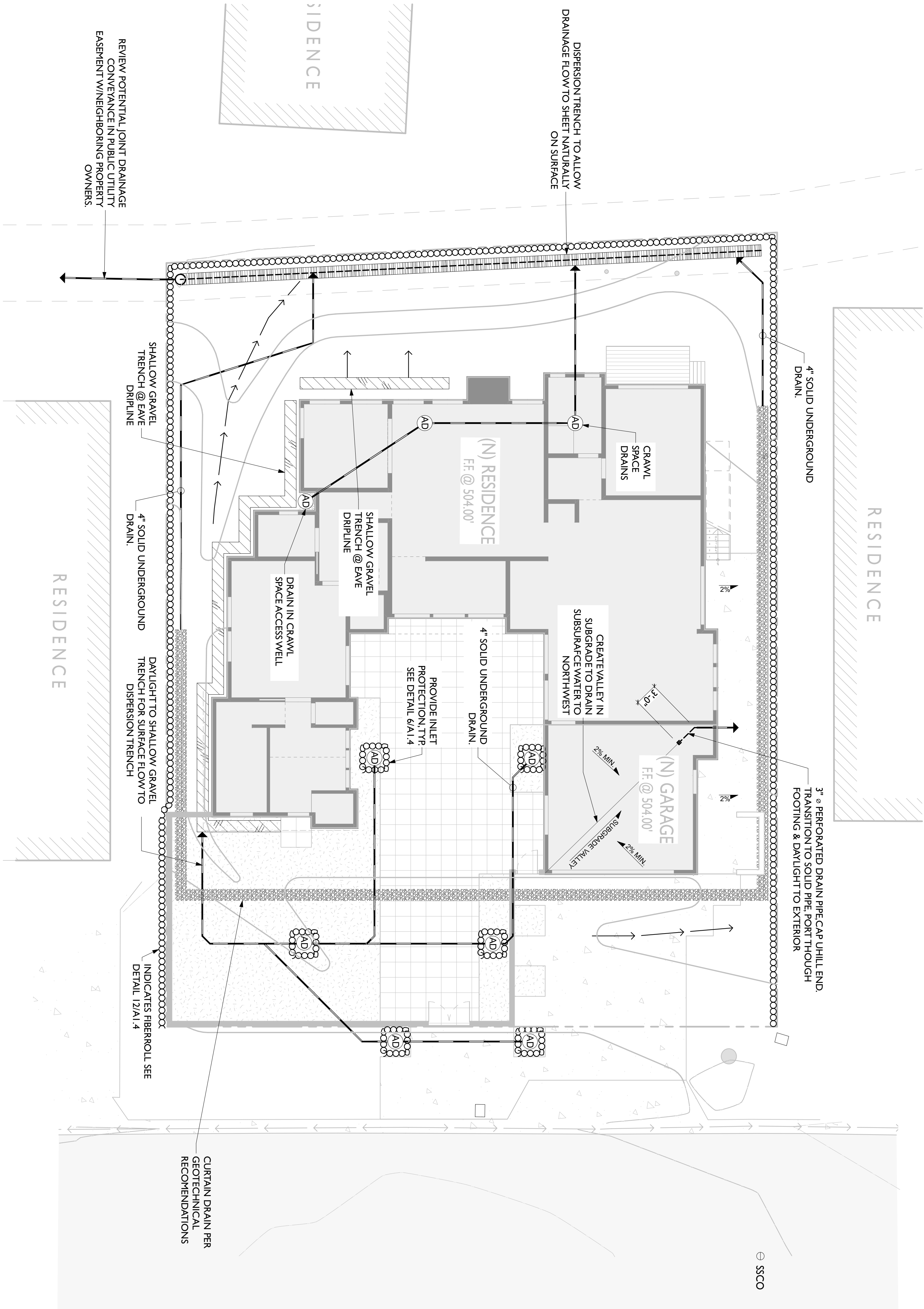
BLACK CROW

2874 Pradera Rd.

CONTRACTOR HAS OBTAINED NECESSARY PERMITS AND NECESSARY MATERIALS. CONTRACTOR'S DESIGN CONSTITUTE THE ORIGINAL AND UNREBUILT WORK OF RICHARD K. RHODES, ARCHITECTS & PLANNERS. ANY CHANGES TO THE DESIGN WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT ARE AT THE CONTRACTOR'S RISK.

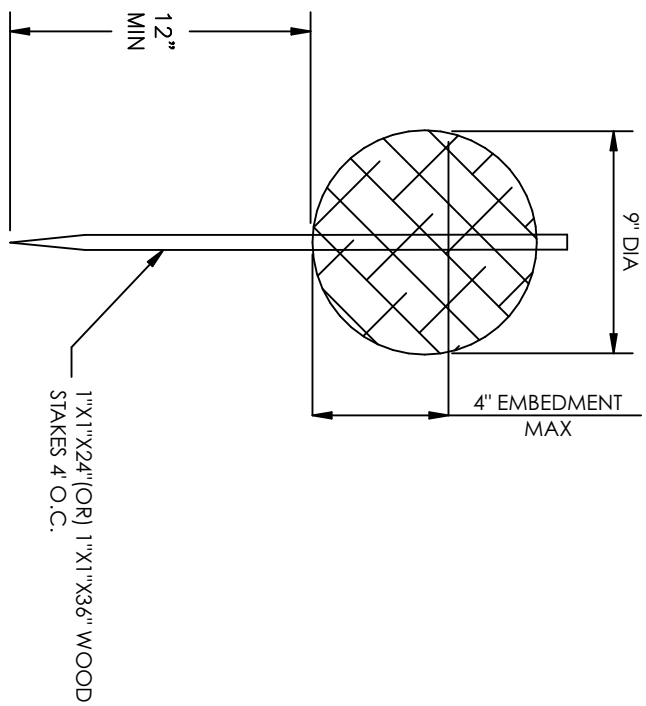
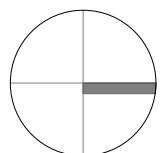
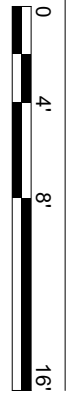
DRAINAGE & EROSION CONTROL PLAN

sheet 8
of - 35
A1.4
sheets



1 DRAINAGE & EROSION CONTROL PLAN

SCALE: 1/8" = 1'-0"



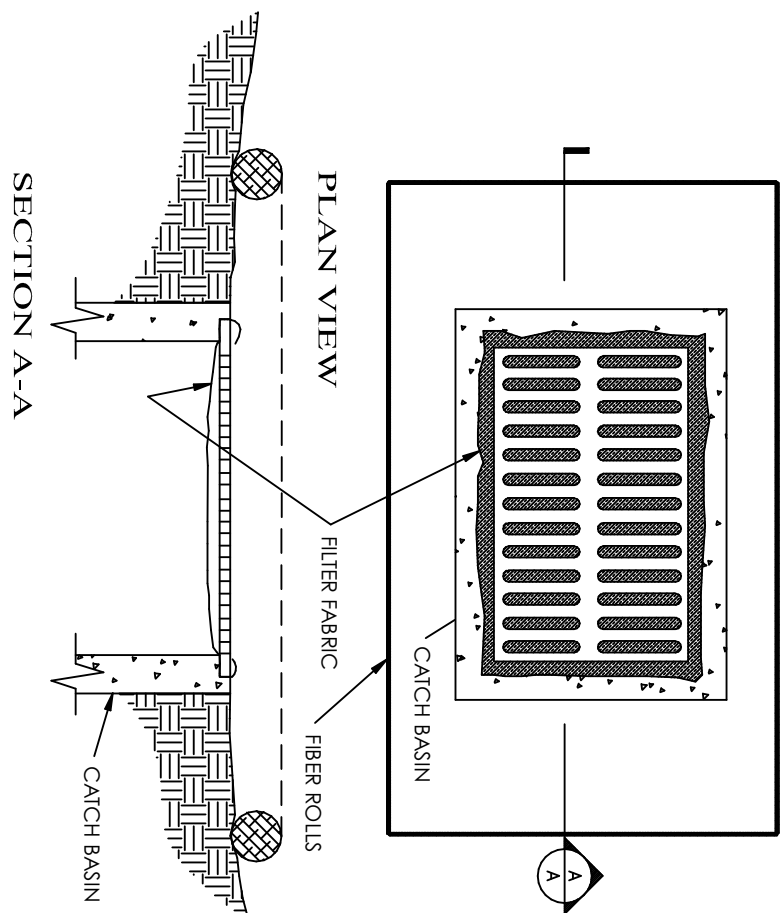
- INSTALLATION:
- USE 1" X 1/2" OR 1" X 3/8" WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSE SOIL.
 - CASQA RECOMMENDS IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. IF CONTRACTOR DESIRES TO POSITION FIBER ROLLS END-TO-END, THEY SHALL BE THE BUTTED BIDS TOGETHER WITH DRIPPING WINGS TO BRING A GOOD CONNECTION.
 - THE FIBER ROLL SHOULD BE PLACED WITH THE BUTTED BIDS TOGETHER WITH DRIPPING WINGS TO BRING A GOOD CONNECTION.
 - CONTRACTOR SHALL REVIEW CASQA MANUAL FOR INSTALLATION GUIDANCE. (SEE 5)
 - CASQA RECOMMENDS THE ENDS OF THE FIBER ROLL BE TURNED UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL.

12 FIBER ROLL

NOT TO SCALE

6 INLET PROTECTION

NOT TO SCALE



GENERAL NOTES

revised: $\sqrt{4/19/17}$

drawn by:

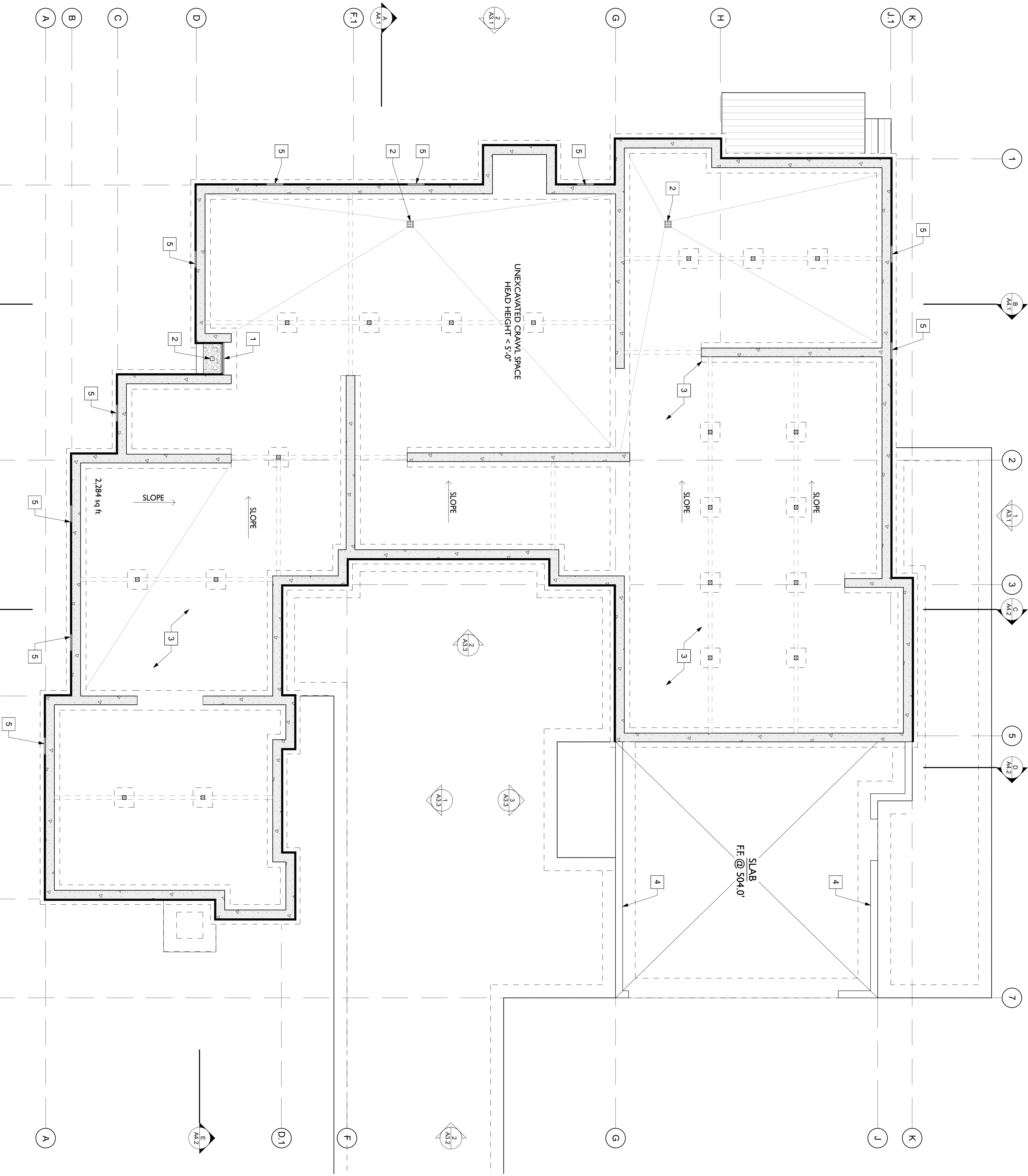
INDICATED LOCATIONS.

REFERENCE NOTES

- | | |
|----|---|
| 1 | INDICATES 2'-6" X 1'-6" CRAWL SPACE ACCESS W/ WELL MINIMUM ACCESS SIZE 2'-0" X 1'-4" HIGH |
| 2 | CONNECT TO DRAINAGE SYSTEM. SEE DRAINAGE AND EROSION CONTROL PLAN SHEET A1.4 |
| 3 | 2" CONC. RAIL SLAB OR CLASS IV VAPOR RETARDER |
| 4 | 6" CONC. CURB AT GARAGE SLAB |
| 5 | INDICATES 14" X 6" W/ COMPLIANT FOUNDATION VENT. SEE WILD AND URBAN INTERFACE NOTES ON SHEET A0.1 |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |
| 11 | |
| 12 | |

FOUNDATION VENTILATION CALC.

AREA OF FOUNDATION REQUIRING VENTILATION	2.284	SQ. FT.
AREA OF REQUIRED FOUNDATION VENTS (1/1500)	1.52	SQ. FT.
(ENCAPSULATED CRAWL SPACE)		
14' X 6' W/UL COMPLIANT FOUNDATION VENT	0.1625	SQ. FT. / VENT
TOTAL VENTS REQUIRED	10	VENTS.



1 CRAWL SPACE PLAN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

sheet 9

of - 35
sheets

a new residence for:

BLACK CROW

2874 Pradera Rd.

Carmel, california

apn: 243-053-005

PRELIMINARY: NOT FOR CONSTRUCTION

RICHARD K. RHODES,
ARCHITECTS &
PLANNERS

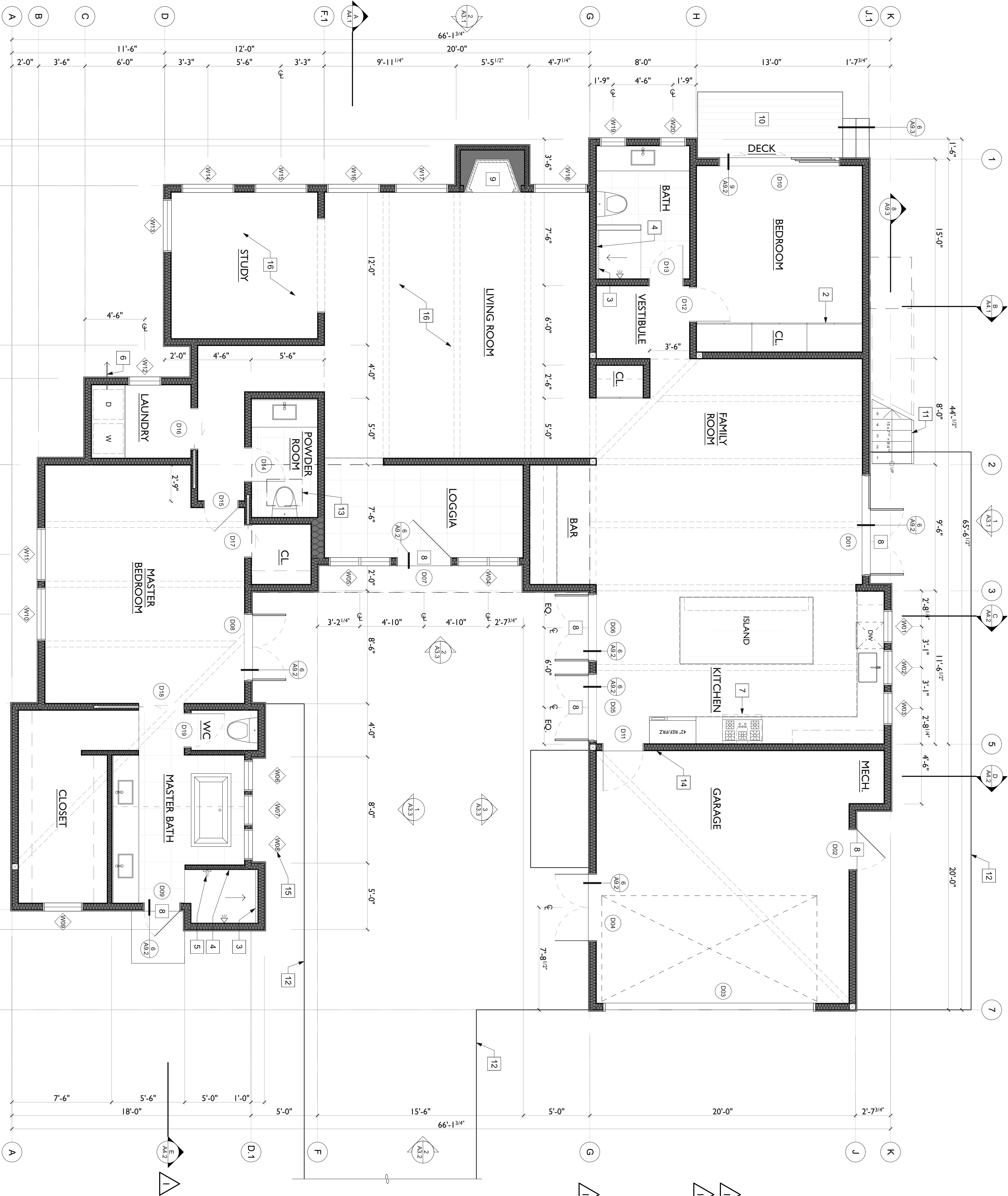
14182 RESERVATION ROAD
SALINAS, CA 93908
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REFERENCE NOTES

- INDICATES BEAM ABOVE SEE STRUCTURAL DRAWINGS
- CUSTOM BUILT IN WARDROBE CABINETS TO PAINT SEE INTERIOR ELEVATIONS
- DEPRESS FLOOR FOR CURBLESS SHOWER AND LINEAL DRAIN
- FULL HEIGHT CERAMIC TILE IN SHOWER ENCLOSURE IN FULL MORTAR BED WITH MOISTURE BARRIER
- REMOTE SHOWER VALVE
- INDICATES CLOTHES DRYER MOISTURE EXHAUST DUCT SHALL BE SHALL MINIMUM 4" DIAMETER, SMOOTH, METAL DUCT. DUCT SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14" WITH TWO ELBOWS THIS SHALL BE REDUCED BY 2" FOR EVERY ELBOW IN EXCESS OF TWO. ROUTE VENT TERMINATION IN WALL TO BE MIN. 12" ABOVE FINISH GRADE SEE NORTH ELEVATION 1A3.1
- OVEN HOOD ABOVE
- CONC. LANDING @ EXTERIOR DOOR. MAX. 1.5" BELOW THRESHOLD
- UL LISTED MAJESTIC 36" BLUETONE RADIANT WOOD BURNING FIREPLACE 5860HB
- HARDWOOD DECKING WITH STAINLESS STEEL FASTENERS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS, PREDRILL AND COUNTERSINK
- PREFABRICATED METAL STAIR. GALVANIZED STEEL STRINGERS WITH OPEN GRATE STEEL TREADS. GALVANIZED STEEL GUARDRAIL AND HANDRAIL. MIN. 34"-38" ABOVE STAIR NOSING. RUN PARALLEL WITH SLOPE OF STAIR. PROVIDE SHOP DRAWINGS TO ARCHITECT
- OUTLINE OF EXTERIOR CONC. PATIO
- SKYLIGHT ABOVE
- GARAGE WALL SHALL BE SEPARATED BY MIN. 5/8" TYPE X GWB
- GLAZING PACING BATHTUBS & SHOWERS LOWER THAN 60" FROM FINISH FLOOR SHALL BE TEMPERED
- REQUIRED VENTILATION OF AN OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, LOUVERS, AND/OR OTHER OPENINGS TO THE OUTDOORS WITH THE MINIMUM OPENABLE AREA BEING 4% OF FLOOR AREA TO BE VENTED
-

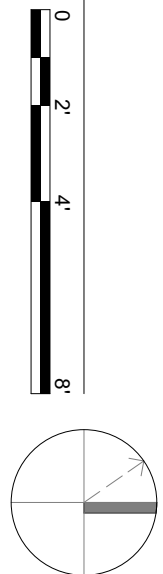
WALL LEGEND

- NEW 2X6 INTERIOR WALL WITH BATT INSULATION FOR SOUND DAMPENING & 5/8" GWB BOTH SIDES, U.O.N.
- NEW 2X6 EXTERIOR WALL WITH CEMENT PLASTER SEMI-SMOOTH W/INTTEGRAL COLOR O/I/2" PLYWOOD SHEATHING, MIN. R15 BATT INSULATION PER TITLE 24 & 5/8" GWB INTERIOR, U.O.N.
- NEW 2X6 EXTERIOR WALL SITE WITH CEMENT PLASTER SEMI-SMOOTH W/INTTEGRAL COLOR O/I/2" PLYWOOD SHEATHING, BOTH SIDES, U.O.N.



1st FLOOR PLAN

SCALE: 1/4" = 1'-0"



REFERENCE NOTES

- 1
- CECAS SHAKE ROOF COMB 72# MINERAL CAR SHEET MANUFACTURER RECOMMENDED UNDERLAYMENT FOR A CLASS A RATED ROOFING SYSTEM.
- 2
- TILE SURFACE ON ROOF DECK WATERPROOFING SYSTEM. SLOPE MIN. 1/8" PER 1'-0" TO DRAIN AT STAIR
- 3
- INDICATES CLEARESTORY WINDOW IN FURRED OUR SOFFIT RAKE WALL WIDEEP REVEAL
- 4
- MITER CLAPBOARD SIDING INTO DEEP WINDOW REVEAL
- 5
- INDICATES WALLS BELOW. TYP
- 6
- 2X6 PONY WALL W/CEMENT PLASTER BOTH SIDES. MIN 3'-6" ABOVE FINISH FLOOR
- 7
- BUILT UP ROOFING ON LOW SLOPE ROOF SECTION.
- 8
- PREPARED METAL STAIR TO VIEW DECK ABOVE
- 9
- FRAME & FLASH CRICKET BEHIND CHIMNEY
- 10
- 2'-0" X 2'-8" FIXED SKYLIGHT W/SAFETY GLAZING
- 11
-
- 12
-

issued: 4/19/17

revised: 4/19/17

drawn by:

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PRELIMINARY: NOT FOR
CONSTRUCTION

apn: 243-053-005

Carmel, california

a new residence for:

BLACK CROW

2874 Pradera Rd.

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ROOF PLAN

sheet 12

A2.4

of - 35
sheets

ROOF VENTILATION CALC.

ALL RAFTER BAYS SHALL BE PROVIDED WITH A CLOSED CELL SPRAY FOAM INSULATION. NO VENTING REQUIRED.

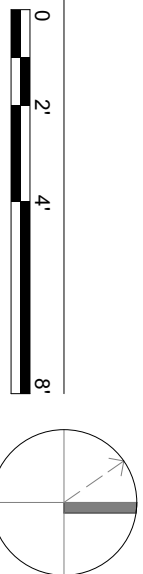
PROPERTY LINE

SETBACK
MAXIMUM EAVE PROJECTION
INTO SETBACK

2

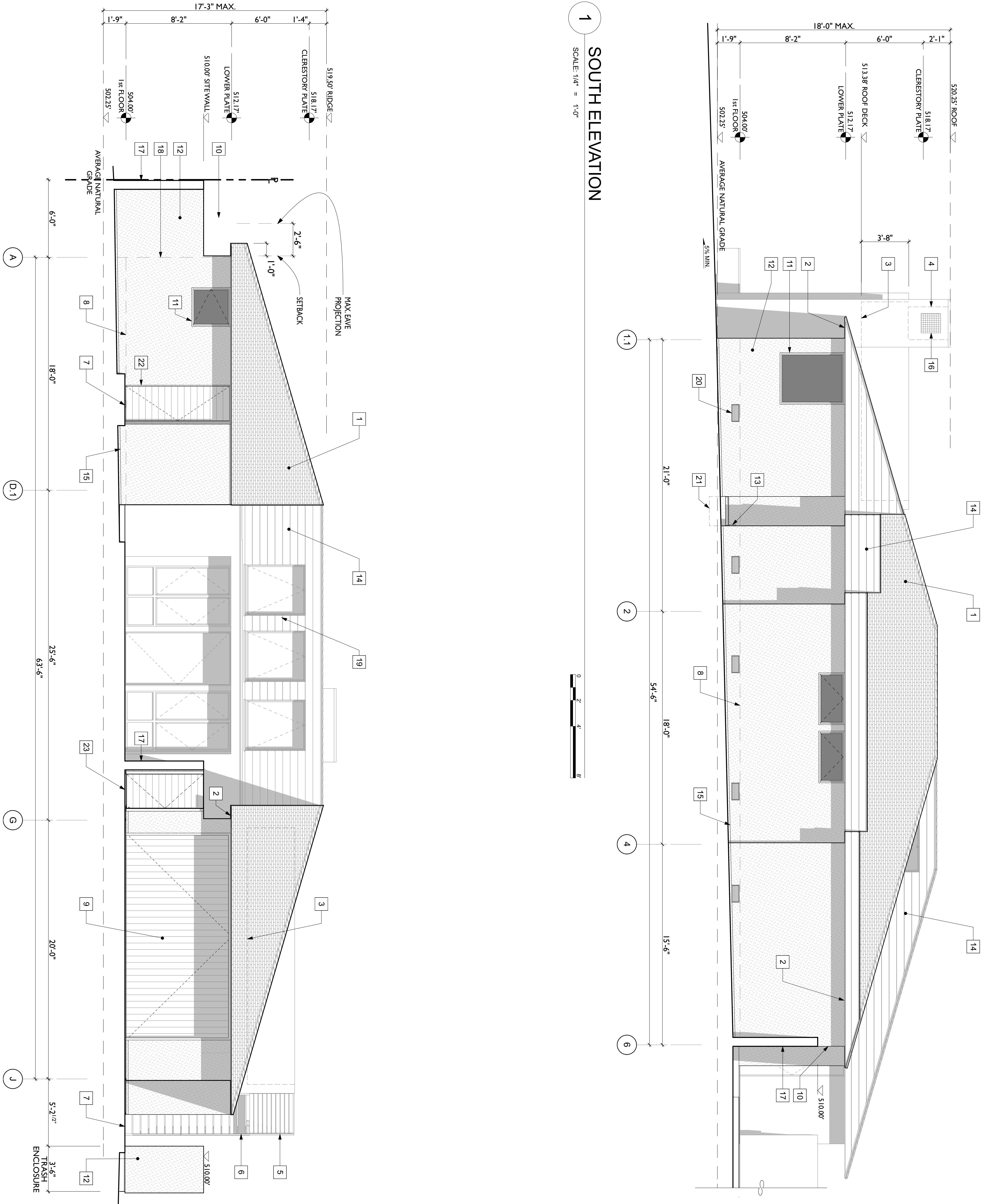
PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



REFERENCE NOTES

- 1IN CLASS "A" ROOF CEDAR SHAKES 07/24 MINERAL CAP SHEET 0/ROOF UNDERLAMENT PER MANUFACTURER RECOMMENDATIONS
- 21X 1/8" UNDER SOFFIT, 0/5/8" TYPE "X" DENS GLASS
- 3INDICATES OUTLINE OF ROOF DECK
- 4PARAPET WALL TO SHROUD FIREBOX TERMINATION VENT
- 5PREFABRICATED METAL STAIR, GALVANIZED STEEL GUARDRAIL AND HANDRAIL TO BE PAINTED. MIN. 34"-38" ABOVE STAIR NOSING. RUN PARALLEL WITH SLOPE OF STAIR. SHOP DRAWINGS TO ARCHITECT
- 6PREFABRICATED METAL STAIR, STEEL STRINGER WITH OPEN GREAY STEEL TREADS. PROVIDE SHOP DRAWINGS TO ARCHITECT
- 7CONC. LANDING / WALKWAY SLOPE TO DRAIN
- 8INDICATES FIRST FLOOR SUBFLOOR LEVEL
- 9CUSTOM GARAGE DOOR W/PANEL FLUSH W/EXTERIOR WALL
- 10FULL HEIGHT WING WALL WITH POST SUPPORT FOR MAIN HIP BEAM
- 11ALUMINUM CLAD WINDOW, SEE WINDOW AND DOOR SCHEDULE SHEET A5.1
- 12(3) COAT CEMENT PLASTER W/SEMI SMOOTH FINISH MIN. 7/8" THICKNESS O/EEXPANDED METAL LATH AND BUILDING WRAP TO PAINT
- 13INDICATES LOCATION OF 4" DRYER VENT TERMINATION
- 14CEDAR SHIPLAP SIDING W/SQUARE EDGE TO PAINT
- 15PROVIDE 26 GA. WEEP SCREED TERMINATION AT CEMENT PLASTER WALLS. MIN. 4" ABOVE FINISHED GRADE (2" ABOVE PAVED AREAS)
- 16SCREENED OPENING, SEE W/LAND URBAN INTERFACE NOTES SHEET A0.1
- 17CEMENT PLASTER COURTYARD SITE WALL
- 18EXTERIOR WALL BEYOND
- 19MITER CLAPBOARD SIDING INTO DEEP C/ERESTORY WINDOW RECESS
- 20INDICATES 14" X 6" W/U COMPLIANT FOUNDATION VENT, SEE W/LAND URBAN INTERFACE NOTES ON SHEET A0.1, TYP
- 21INDICATES 2'-6" X 1'-6" CRAWL SPACE ACCESS W/WEELL MINIMUM ACCESS SIZE 2'-0" X 1'-4" HIGH
- 22CUSTOM WOOD PLANK DOOR
- 23CUSTOM WOOD PLANK ENTRY GATE



- MATERIAL LEGEND**
- 7/8" CEMENT PLASTER W/SEMI SMOOTH FINISH TO BE PAINTED
 - TAPERED SAWN SHAKES TO STAIN ON ROOF
 - CEDAR SHIPLAP SIDING W/SQUARE EDGE TO PAINT

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Carmel, california

a new residence for:
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2874 Pradera Rd.

1/17 EXAMINE THE SOUTH ELEVATION
CONTRACT SHEET A0.1
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**SOUTH & EAST
ELEVATIONS**

REFERENCE NOTES

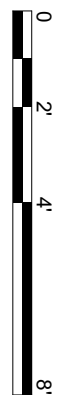
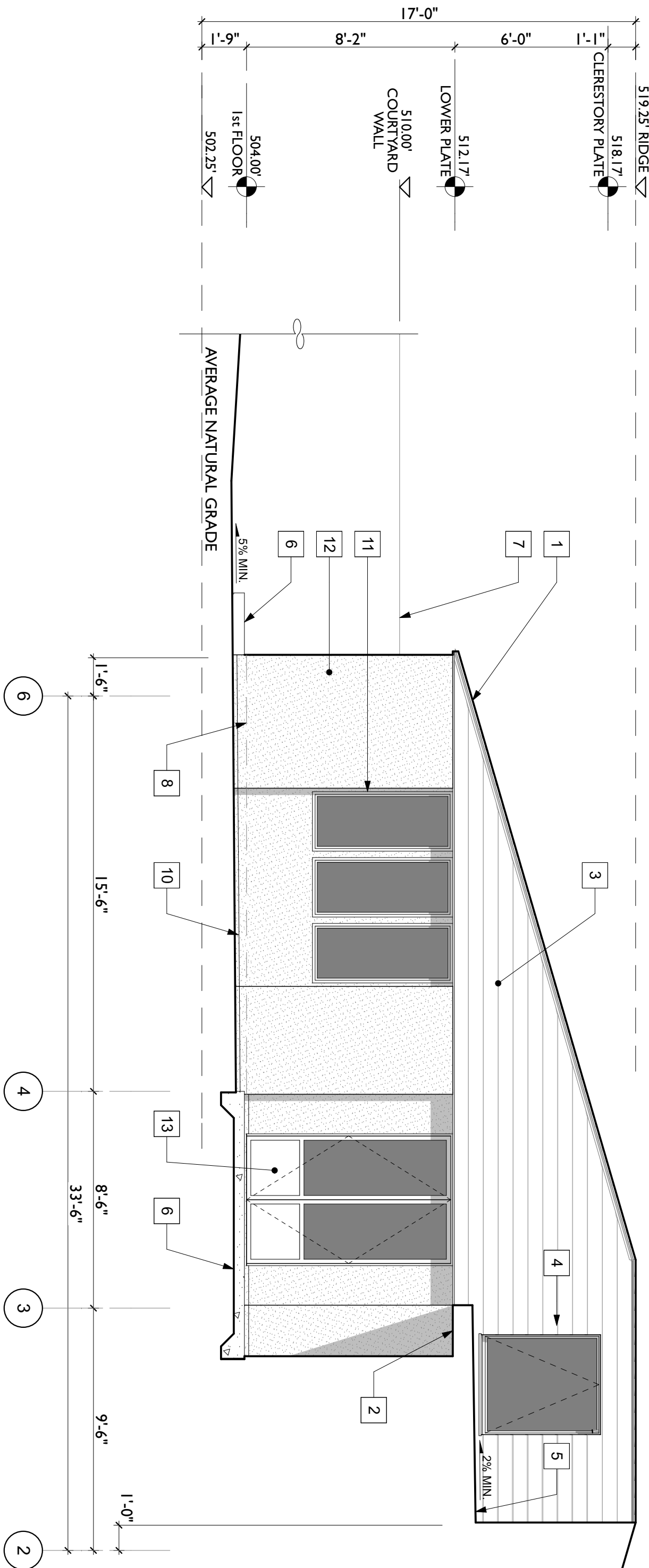
- 1
- (N) CLASS 'N' ROOF CEDAR SHAKES 07/24 MINERAL CAP SHEET (K/ROOF UNDERLAMENT PER MANUFACTURER RECOMMENDATIONS)
- 2
- 1X 1x8" UNDER SOFFIT, 0x5/8" TYPE 'X' DENS GLASS
- 3
- CEDAR SHIPLAP SIDING W/SQUARE EDGE TO PAINT
- 4
- MITER CLAPBOARD SIDING INTO DEEP CLERESTORY WINDOW RECESS
- 5
- BUILT UP ROOFING ON LOW SLOPE ROOF SECTION
- 6
- CONC. LANDING / WALKWAY SLOPE TO DRAIN
- 7
- CEMENT PLASTER COURTYARD SITE WALL
- 8
- INDICATES FIRST FLOOR SUB-FLOOR LEVEL
- 9
- CUSTOM WOOD PLANK DOOR
- 10
- PROVIDE 2x8 GA. WEEP SCREED TERMINATION AT CEMENT PLASTER WALLS, MIN. 4" ABOVE FINISHED GRADE (2" ABOVE PAVED AREAS)
- 11
- ALUMINUM CLAD WINDOW, SEE WINDOW AND DOOR SCHEDULE SHEET AS.1
- 12
- (3) COAT CEMENT PLASTER W/SEMI-SMOOTH FINISH MIN. 7/8" THICKNESS O/E EXPANDED METAL LATH AND BUILDING WRAP TO PAINT
- 13
- ALUMINUM CLAD DOOR W/FIXED SPANDREL PANEL, SEE WINDOW AND DOOR SCHEDULE SHEET AS.1
- 14
- ALUMINUM CLAD WINDOW W/FIXED SPANDREL PANEL, SEE WINDOW AND DOOR SCHEDULE SHEET AS.1

MATERIAL LEGEND

- 7/8" CEMENT PLASTER W/SEMI-SMOOTH FINISH TO BE PAINTED
- TAPERED SAWN SHAKES TO STAIN ON ROOF
- CEDAR SHIPLAP SIDING W/SQUARE EDGE TO PAINT

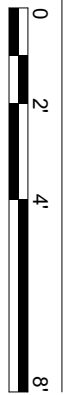
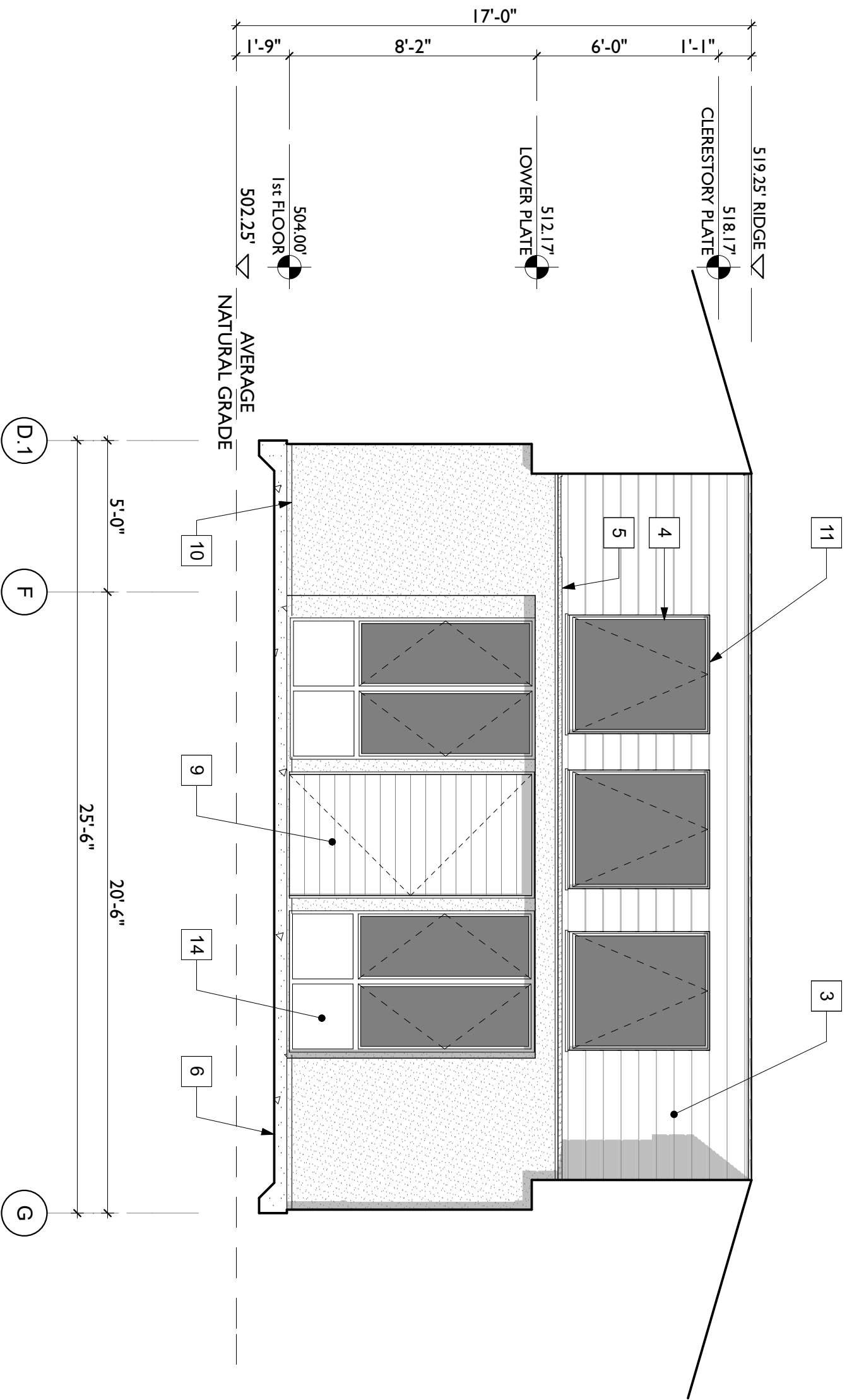
1 NORTH COURTYARD ELEVATION

SCALE: 1/4" = 1'-0"



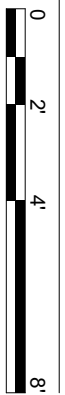
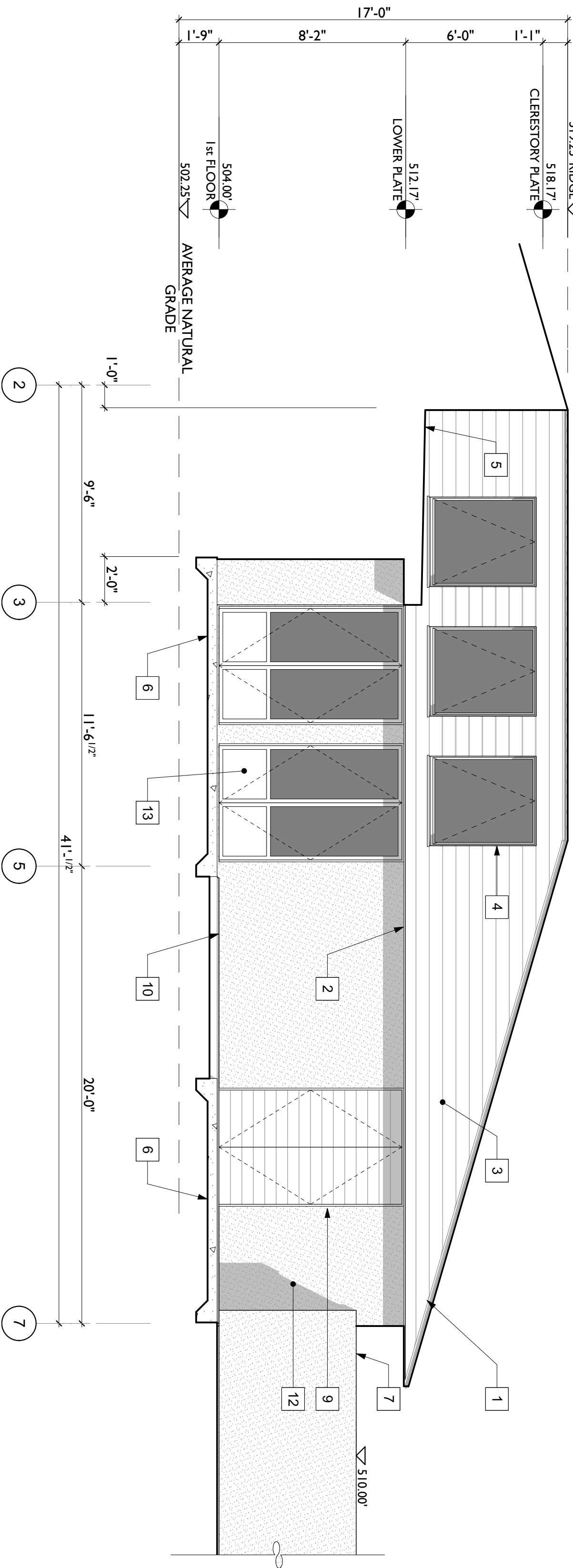
2 EAST COURTYARD ELEVATION

SCALE: 1/4" = 1'-0"



3 SOUTH COURTYARD ELEVATION

SCALE: 1/4" = 1'-0"



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Carmel, california

a new residence for:
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COURTYARD
ELEVATIONS

sheet 15

A3.3

of - 35
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EXTERIOR DOOR SCHEDULE										WINDOW SCHEDULE									
MARK	WIDTH	HEIGHT	TYPE	TEMPD	DETAILS			HARDWARE GROUP	NOTES	MARK	SIZE		TYPE	TEMPERED	SCREEN	SHADE	HEAD HEIGHT	NOTES	
					HEAD	JAMB	SILL				WIDTH	HEIGHT							
D01	7'-6"	7'-0"	L	YES						W01	2'-6"	3'-6"	D	YES			7'-0"		
D02	3'-0"	8'-0"	A							W02	2'-8"	3'-6"	B	YES			7'-0"		
D03	16'-0"	8'-0"	E							W03	2'-6"	3'-6"	F	YES			7'-0"		
D04	5'-0"	8'-0"	F							W04	4'-8"	8'-1"	A	YES			8'-1"		
D05	5'-0"	8'-0"	G	YES						W05	4'-8"	8'-1"	A	YES			8'-1 1/2"		
D06	5'-0"	8'-0"	G	YES						W06	2'-4"	5'-6"	B	YES			8'-1"		
D07	4'-0"	8'-0"	A	YES						W07	2'-4"	5'-6"	B	YES			8'-1"		
D08	5'-0"	8'-0"	G							W08	2'-4"	5'-6"	B	YES			8'-1"		
D09	2'-8"	8'-0"	A							W09	3'-0"	3'-0"	F				8'-1"		
D10	9'-0"	8'-0"	G	YES						W10	4'-0"	2'-0"	D				8'-1"		
										W11	4'-0"	2'-0"	D				8'-1"		
										W12	2'-6"	5'-0"	C				8'-1"		
										W13	4'-0"	5'-0"	C				8'-1"		
										W14	4'-0"	5'-0"	C				8'-1"		
										W15	4'-0"	5'-0"	C				8'-1"		
										W16	4'-0"	5'-0"	C				8'-1"		
										W17	4'-0"	5'-0"	C				8'-1"		
										W18	4'-0"	5'-0"	C				8'-1"		
										W19	2'-0"	5'-0"	D	YES			8'-1"		
										W20	2'-0"	5'-0"	F	YES			8'-1"		
										W21	4'-0"	4'-8"	E				13'-1 1/2"		
										W22	4'-0"	4'-8"	E				13'-1 1/2"		
										W23	4'-0"	4'-8"	E				13'-1 1/2"		
										W24	4'-0"	4'-8"	E				13'-1 1/2"		
										W25	4'-0"	4'-8"	E				13'-1 1/2"		
										W26	4'-0"	4'-8"	E				13'-1 1/2"		
										W27	4'-0"	4'-8"	E				13'-1 1/2"		

WINDOW & DOOR NOTES:

1. ALL WINDOWS & WINDOWS SHALL BE ALUMINUM CLAD WITH PRIMED WOOD INTERIOR

2. ALL WINDOW SCREENS SHALL BE STANDARD INSERTS, TYP

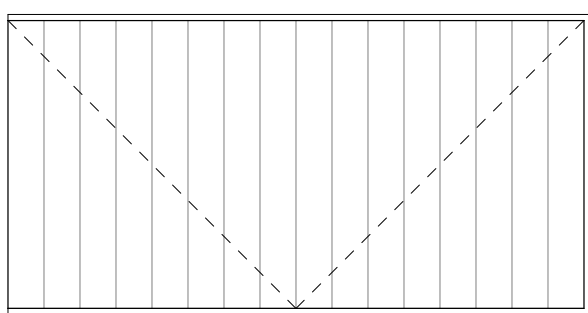

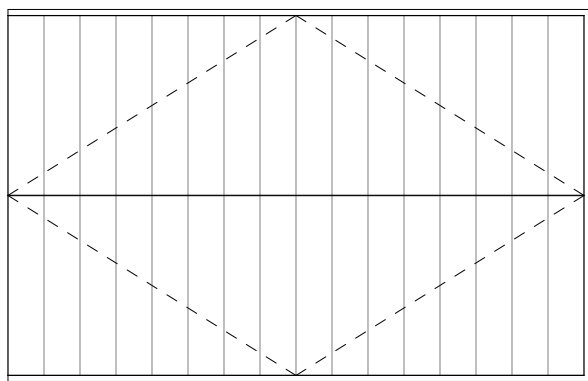
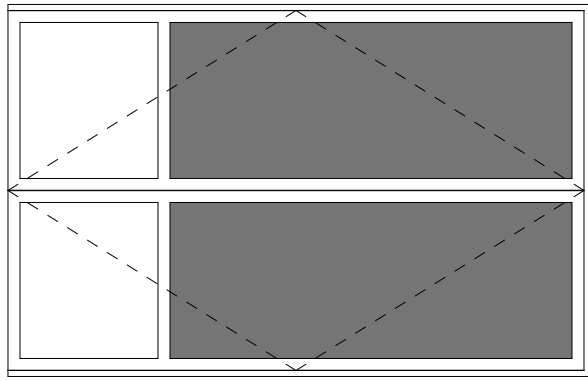
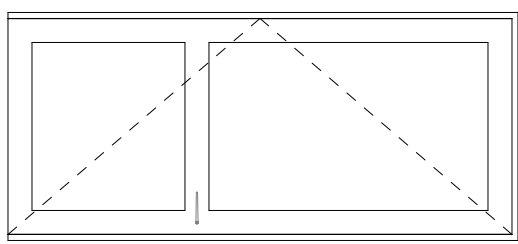
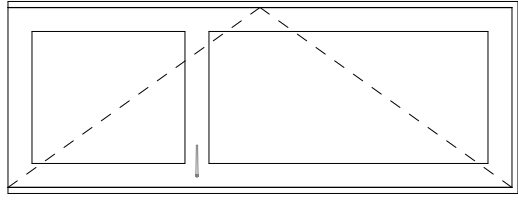
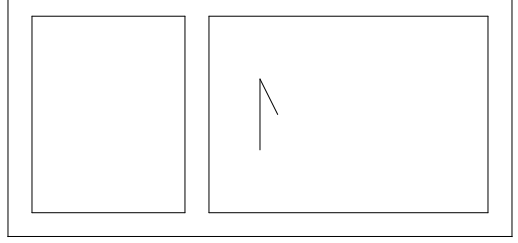
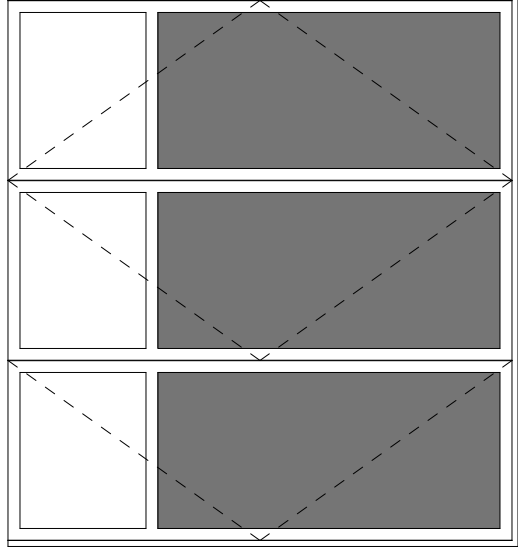
3. SHADES: HUNTER DOUGLASS "DUETTE" SERIES, OR APPROVED EQUAL

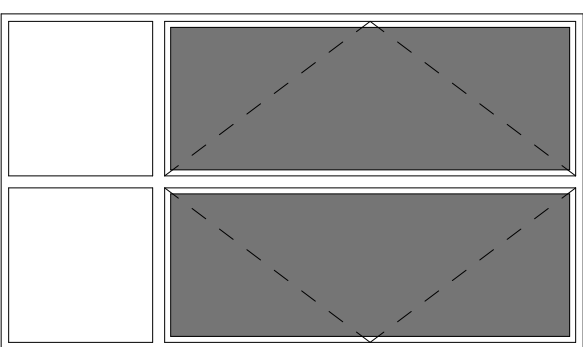


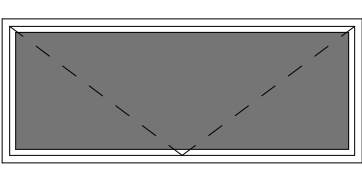
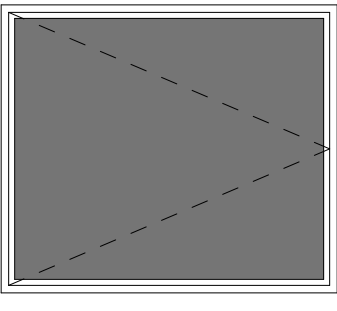
4. HARDWARE MOUNTING HEIGHT SHALL BE BETWEEN 34" AND 44" ABOVE THE FLOOR PER CBC 11B-404.2.7.

5. ALL INTERIOR DOORS TO BE SOLID CORE TYP

6. GLAZING TO BE LOW E+; CONTRACTOR TO PROVIDE GLAZING SAMPLES PRIOR TO ORDERING FENESTRATION

7. SEE GENERAL NOTE #16 ON SHEET A0.1 FOR EGRESS WINDOW REQUIREMENTS

DOOR LEGEND								
TYPE	A	E	F	G	H	J	K	L
FRONT VIEW								

WINDOW LEGEND					
TYPE	A	B	C	D	E
WINDOW ELEVATION					

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a new residence for:

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WINDOW &
DOOR
SCHEDULES

sheet 18

A5.1

of - 35
sheets

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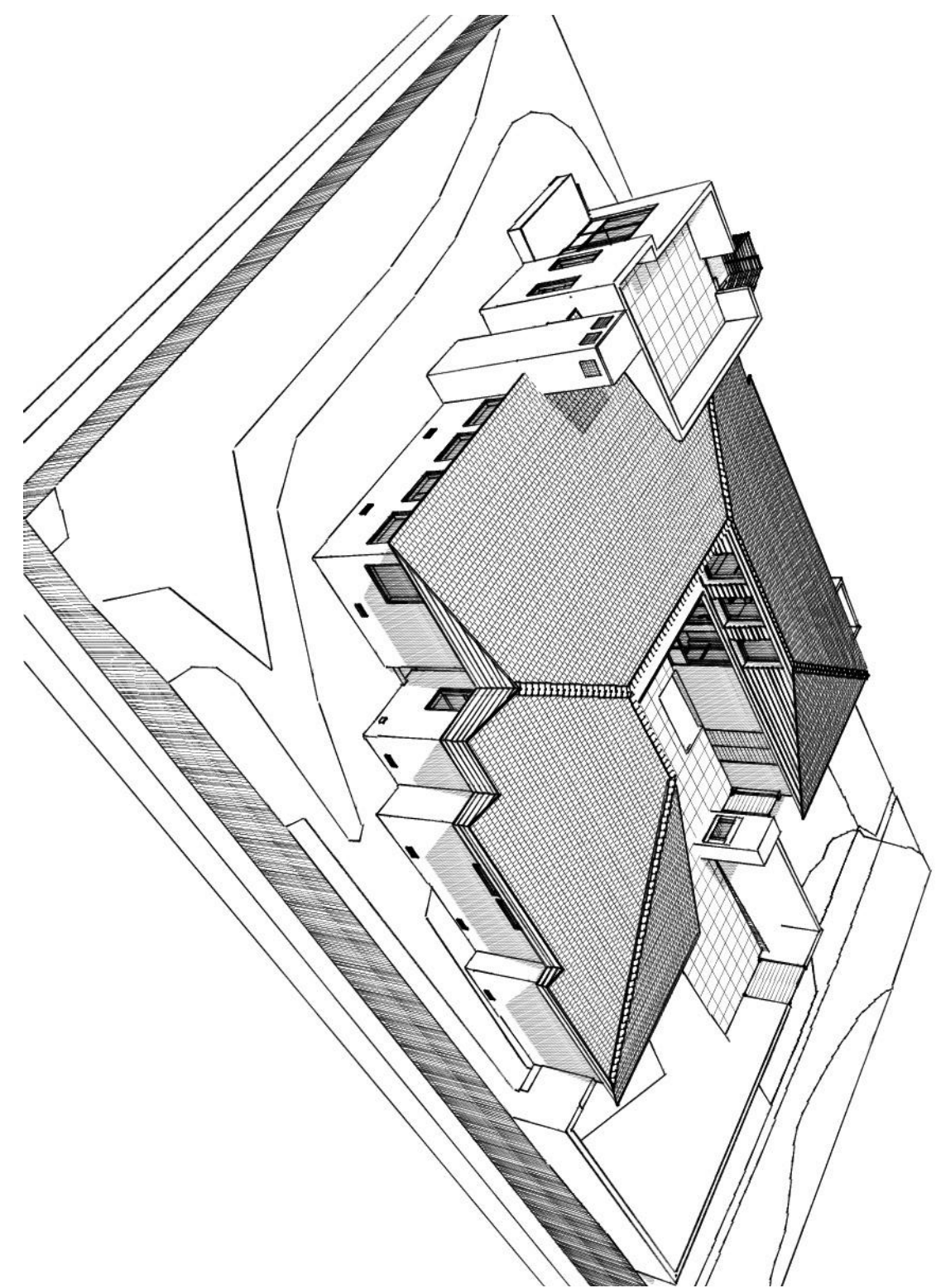
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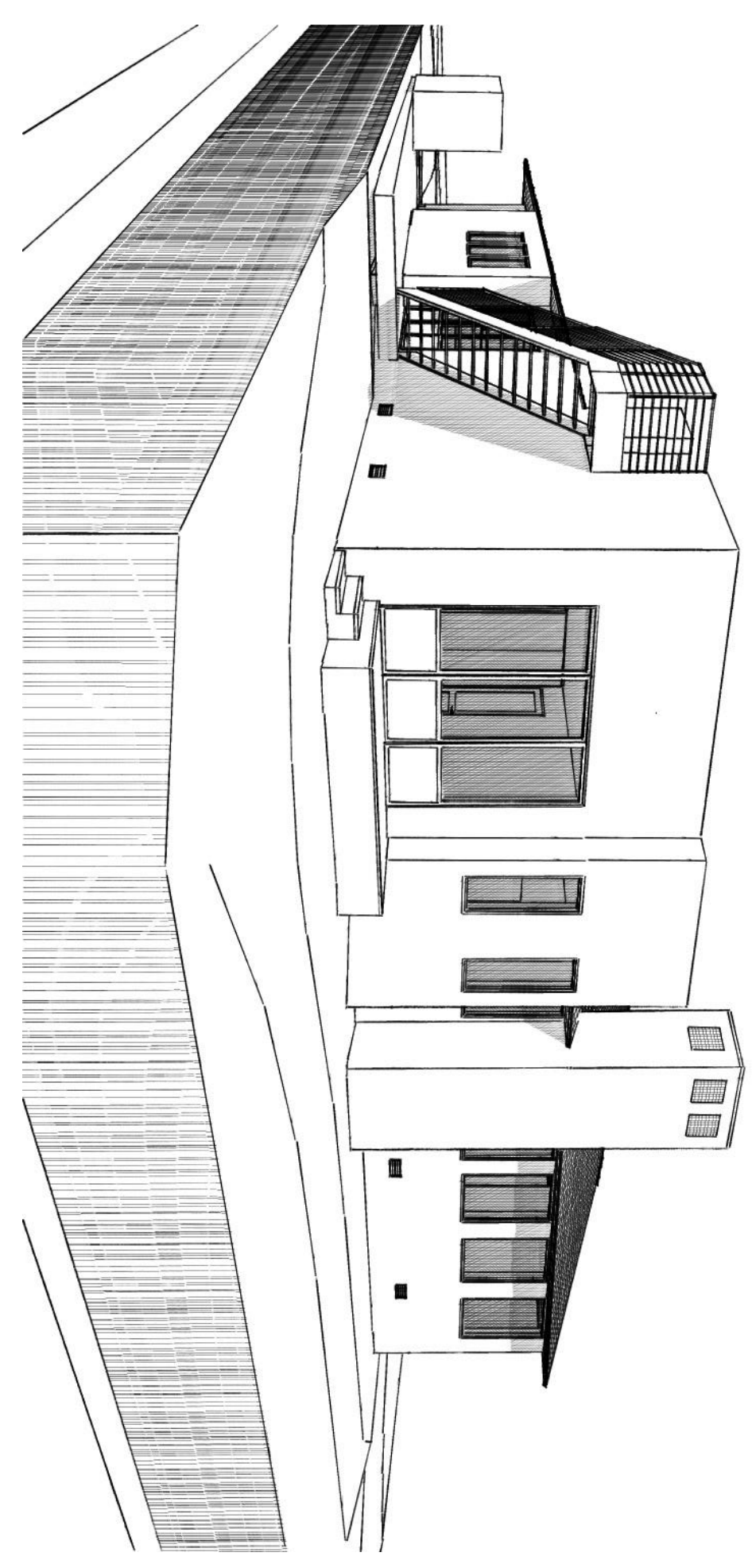
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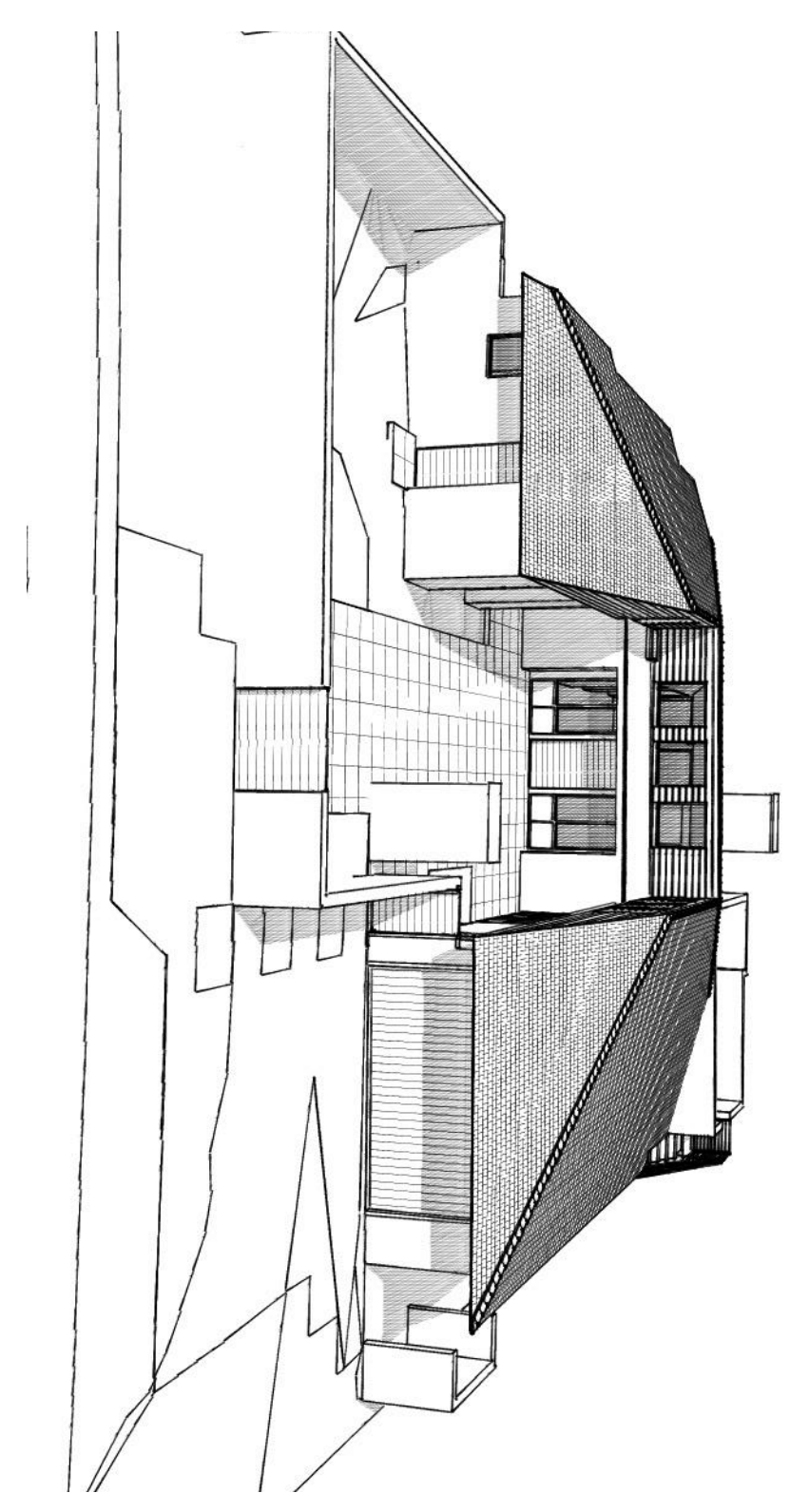
sheet 44
of - 35
R-1
sheets



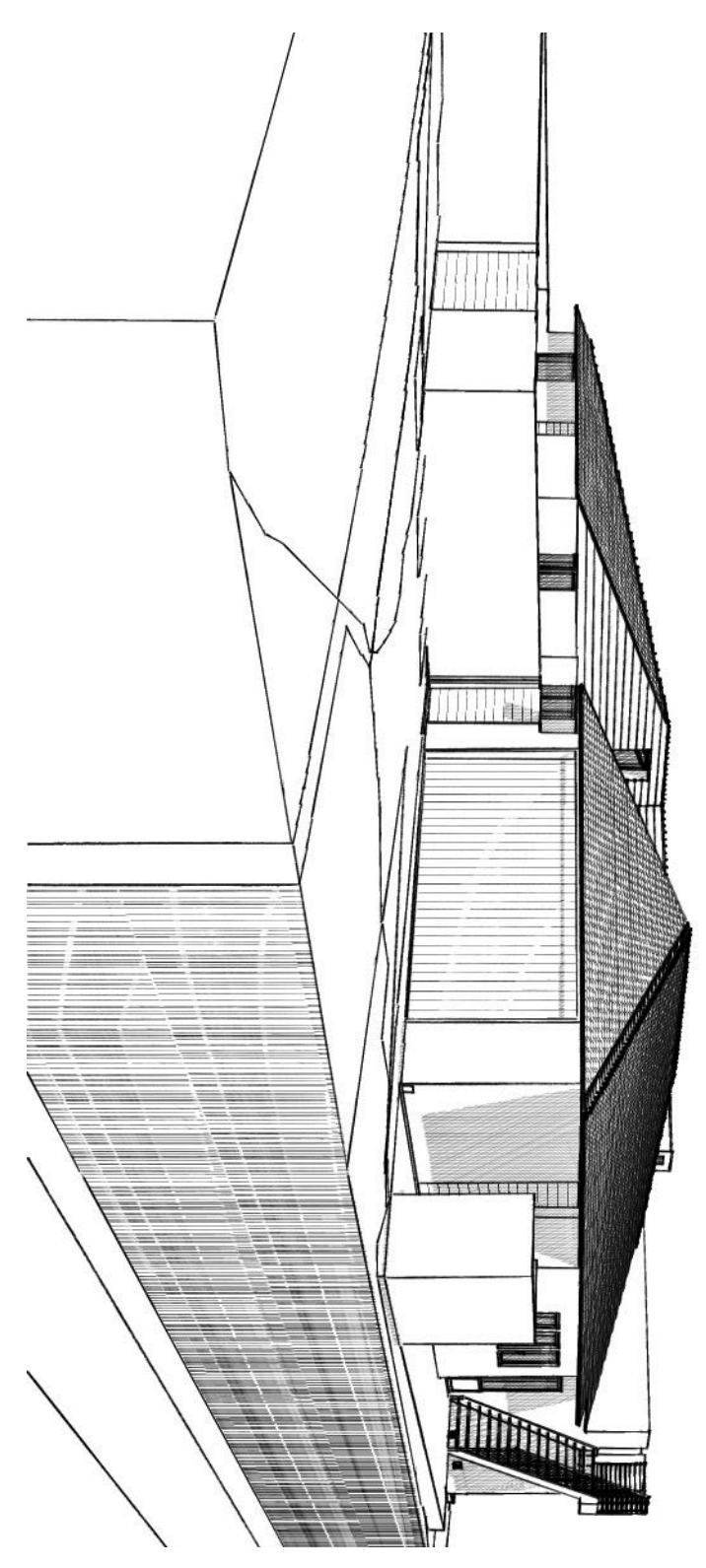
BIRDSEYE SOUTHEAST



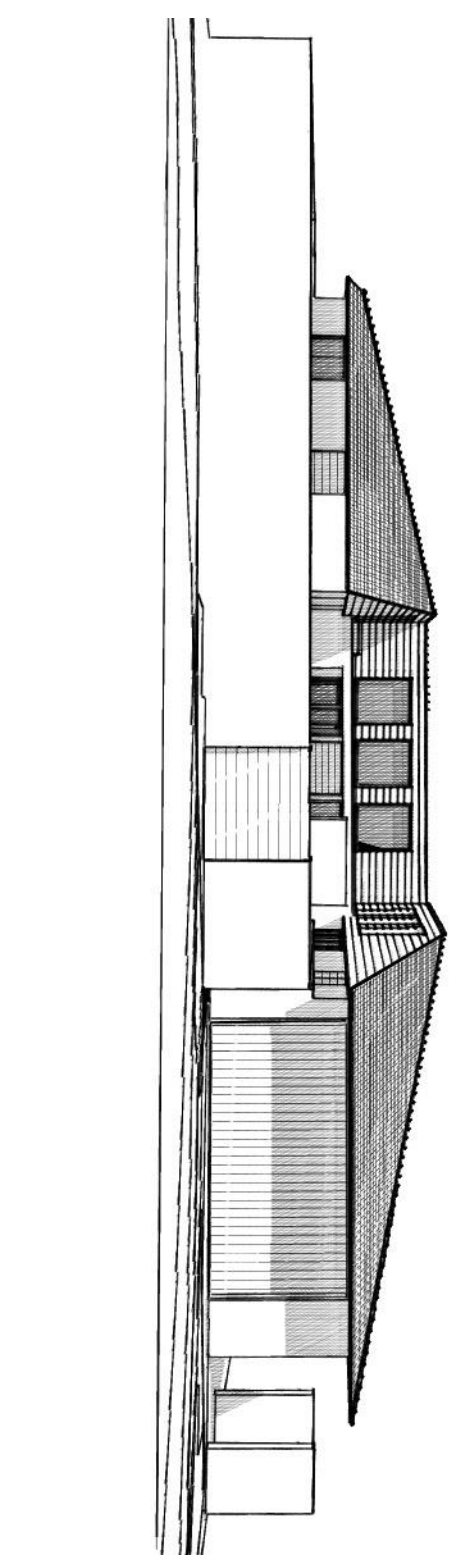
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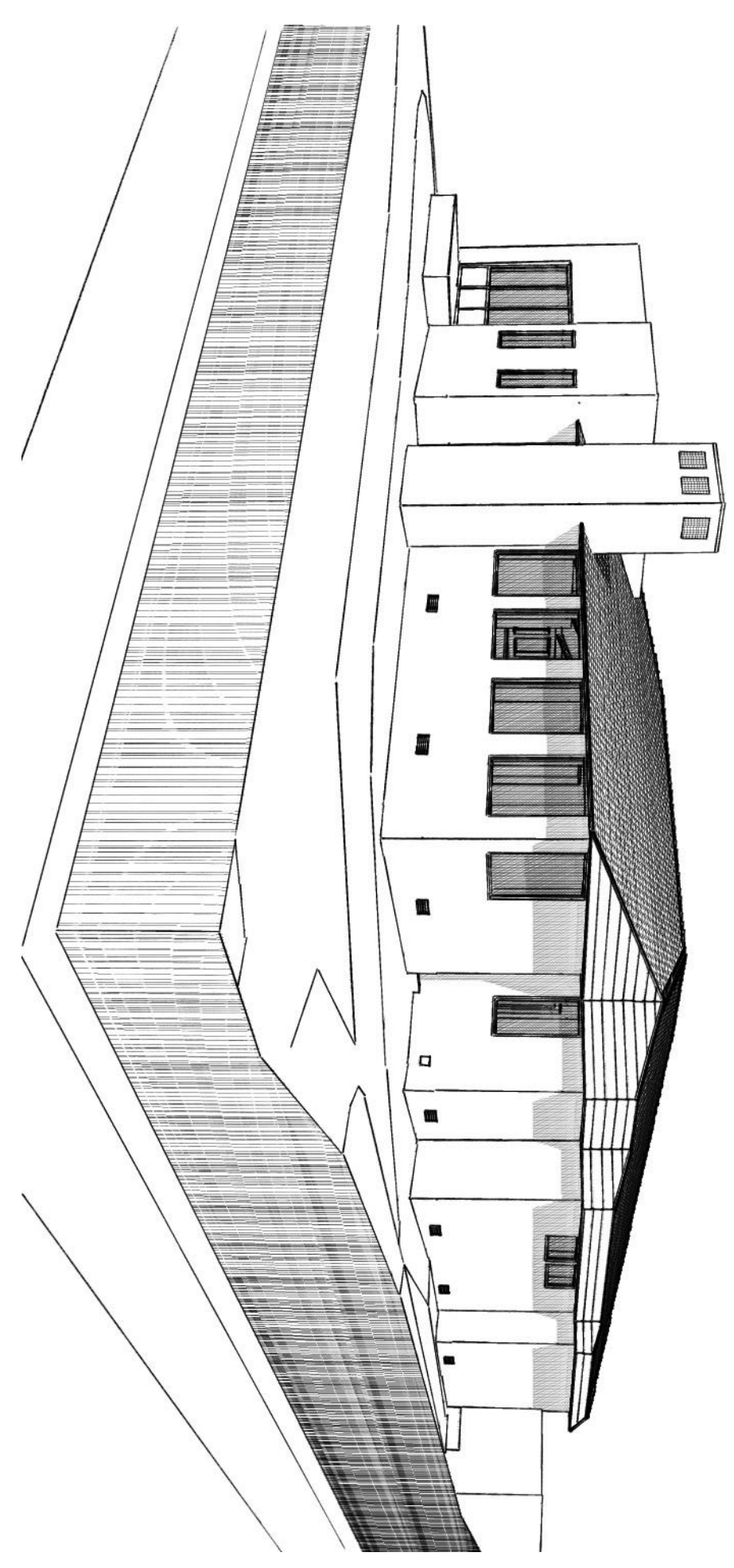
BIRDSEYE COURTYARD



NORTHWEST CORNER Perspective



STREET ELEVATION



SOUTHEAST CORNER