

Exhibit B

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**EXHIBIT B
DRAFT RESOLUTION**

**Before the Director of RMA-Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

Porter Family Partnership et al. (PLN160483)

RESOLUTION NO.

Resolution by the Monterey County Director of
RMA-Planning:

- 1) Finding the project exempt per Section 15301(a) of the CEQA Guidelines; and
- 2) Approving a Design Approval for conversion of an existing retail space to a mini-storage facility in the Mid-Valley Shopping Center.

[PLN160483, Porter Family Partnership et al., 9550 Carmel Valley Road, Building 2, Carmel-by-the-Sea, CA 93923, Carmel Valley Master Plan (APN: 169-234-007-000)]

The Porter Family Partnership et al. application (PLN160483) came on for an administrative hearing before the Monterey County Director of RMA-Planning on June 29, 2017. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Director of RMA-Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY / SITE SUITABILITY** - The project and use, as conditioned, is consistent with the 2010 Monterey County General Plan, the Carmel Valley Master Plan, and the requirements of the Title 21 Zoning Ordinance to include County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the use as conditioned.
EVIDENCE:
 - a) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The project has been reviewed for site suitability by the following departments and agencies: RMA-Planning, Carmel Valley Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments and agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - c) **Light Commercial Zoning**

The project site is zoned “LC-D-S-RAZ,” Light Commercial Zoning District with Design Control and Site Plan Review overlays and is in a Residential Allocation Zone. Change of commercial uses within a structure provided the new use will not change the nature of intensity of the use of the structure, including mini warehouse storage warehouses, are principally allowed uses in the Light Commercial Zoning District, subject to approval of Use Permit. The project involves conversion of a vacant retail space into a mini-storage warehouse, therefore, the use as conditioned is consistent with the and zoning designation for the site. There is an existing Use Permit for mini-storage in a separate building on the same site, under the same applicant, and because this project is consistent with that approved use, a new Use Permit is not required.

d) **Design Control**

Pursuant to Chapter 21.44 Design Control Zoning Districts, the project requires design review to ensure the project is designed to protect the public view-shed, neighborhood character, and visual integrity of the area. The project is located within an existing shopping center and is designed to be harmonious with the surroundings, as the conditions of approval require.

e) **Site Plan Review**

The conversion of a vacant retail space into a mini-storage warehouse will not change the height and setbacks of the existing building.

f) **Residential Allocation Zone**

The project does not increase the number of lots of units created.

g) The project was referred to the Carmel Valley Advisory Committee, and approved by a vote of 6.

h) The application plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development are found in Project File PLN160483.

2. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: a) The project includes conversion of a vacant retail space into a mini-storage warehouse.
c) See preceding and following Findings and Evidence.

3. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff reviewed Monterey County RMA-Planning and RMA-Building Services records and is not aware of any violations existing on subject property.
b) The project site is already built and changes will be minor.
c) See preceding and following findings and evidence.

4. **FINDING:** **CEQA (Exempt):** The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301(a) categorically exempts interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances.
 - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development that would have significant impacts within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact.
4. **FINDING:** **DESIGN:** The design of the project assures protection of the public view shed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.
- EVIDENCE:**
- a) The project site is located in the Carmel Valley Master Plan Area, surrounded by light commercial districts and residential neighborhoods. The shopping center and surrounding area is comprised predominantly of ranch, craftsman, and arts and crafts architectural styles, and the project is consistent with that architecture.
 - b) The applicant has updated the facades of some storefronts within the shopping center from ranch style to craftsman and arts and crafts style architecture. The project site is an example of this architectural transition.
 - c) The project site will retain the fixed transom and storefront windows. The storefront windows will be treated with opaque spandrel glass to protect privacy of patrons. Other storefronts in the shopping center also use opaque spandrel glass.
 - d) Downlit wall sconces will be on each side of the entry and emergency exit door columns. The wall sconces are consistent with the Exterior Lighting Guidelines.
 - e) Signage will be painted wood and fixed to the door of the project site. The signage is consistent with the other retail signs on the property.
 - f) The project planner conducted a site inspection on March 17, 2017 to verify that the project on the subject parcel conforms to the plans listed above.
 - g) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the development found in Project File PLN160483.
5. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
- a) Section 20.86.030.A of the Monterey County Zoning Ordinance (Board of Supervisors).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find the project exempt per Section 15301(a) of the CEQA Guidelines; and
- B. Approves a Design Approval for a mini-storage facility in an existing retail space at the Mid-Valley Shopping Center.

PASSED AND ADOPTED this 29th day of June 2017.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160483

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This is a Minor Amendment to a previously approved Use Permit (PLN000521) to allow the expansion of a mini-storage use into an existing retail space at the Mid-Valley Shopping Center. The property is located at 9550 Carmel Valley Road, Building 2, Carmel (Assessor's Parcel Number 169-234-007-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A n Amendment to PLN000721 (Resolution Number ***) was approved by Director of Planning for Assessor's Parcel Number 169-234-007-000 on [Date the permit was approved]. The permit was granted subject to 4 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. WR049 - WATER AVAILABILITY CERTIFICATION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at:
www.mcwra.co.monterey.ca.us.

5. PDSP001-EXTERIOR DESIGN GUIDELINE REQUIREMENT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The exterior design of the site shall be visually consistent with the existing building. The exterior design shall match the mass, signage, and colors and materials of the existing building.

Compliance or Monitoring Action to be Performed: Prior to issuance of the Building Permit, the applicant shall submit 3 copies of exterior design plans to RMA-Planning for review and approval. Approved exterior design plans shall be incorporated into final building plans.

6. PDSP002 - HOURS OF OPERATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Hours of operation for the site shall be 7:00 a.m. to 10:00 p.m. pursuant to the existing Use Permit (PLN000721).

Compliance or Monitoring Action to be Performed: Prior to occupancy, the applicant shall ensure hours of operation are consistent with this condition.

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MID VALLEY SHOPPING CENTER
9550 CARMEL VALLEY ROAD
BETWEEN DORRIS DRIVE & BERWICK DRIVE
BUILDING '2', SPACE 208
CARMEL, CA 93923

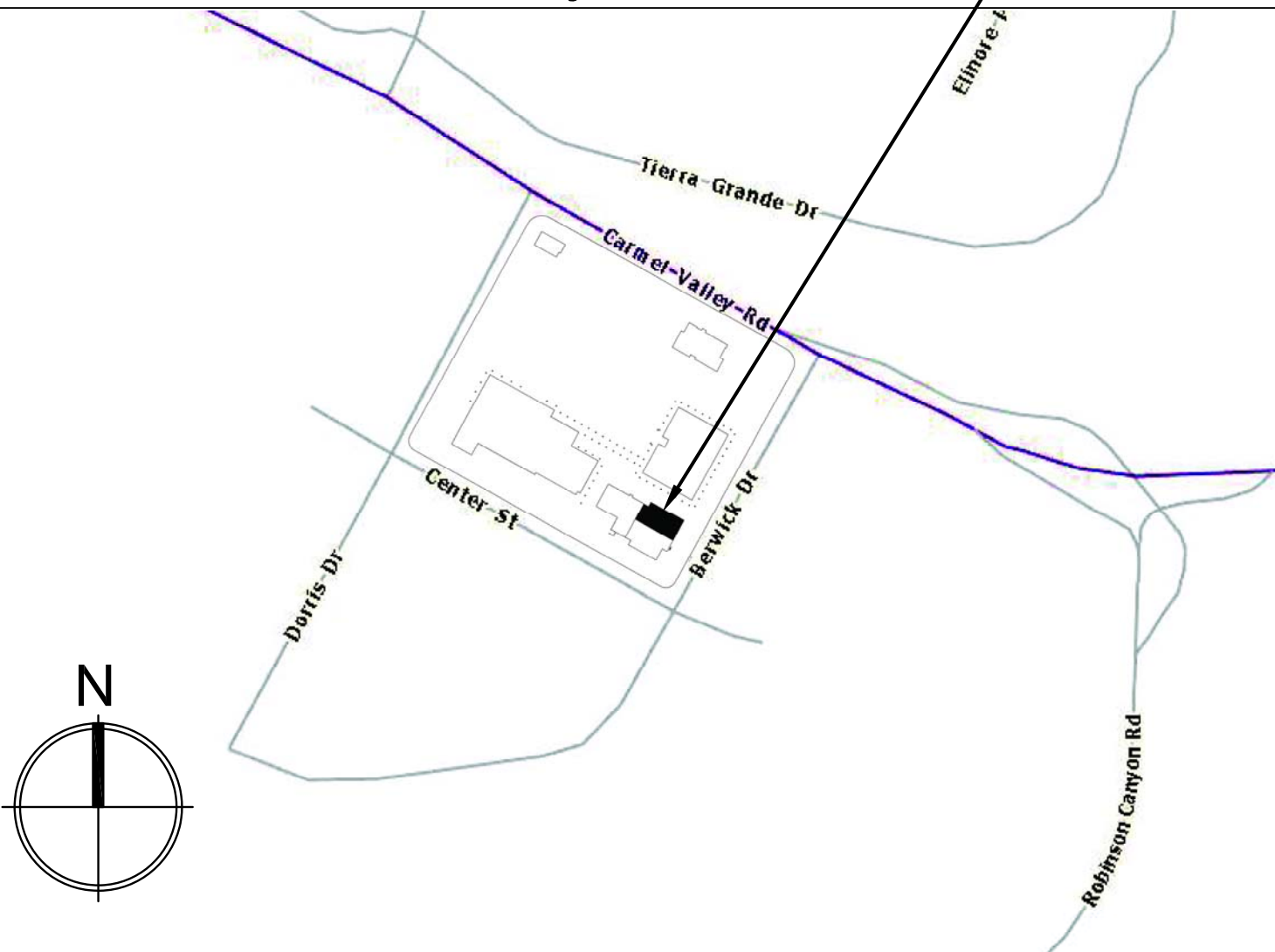
General Notes

- The contractor shall examine and check all existing and proposed conditions , building dimensions etc... and shall notify the architect of any discrepancies prior to commencing work.
- All dimensions shown on these plans are to face of stud.
- Exit doors shall be equipped with panic hardware and shall be open able from the inside without the use of a key or any special knowledge of effort. Door hardware shall be centered between 30" and 44" AFF manually operated edge or surface-mounted flush bolt and surface bolts are prohibited. All hardware shall be lever style mounted at 30 " to 44" AFF .
- All construction shall meet or exceed the quality of the existing building.
- All materials shown and /or specified shall be installed in strict accordance with manufacturers recommendations and shall be installed with good quality workmanship.
- The contractor and his sub-contractors shall guarantee their work for one year after final occupancy against defects in materials or workmanship.
- It is the sole responsibility of each individual subcontractor to provide for security of his own equipment and tools. The owner shall not be responsible for any loss of equipment or tools. Each subcontractor shall be responsible to maintain the project area in an clean and safe working condition, and to clean up his debris prior to leaving the job each day.
- All subcontractors shall take all necessary precautions to prevent damage to any completed work and shall touch-up or repair any damaged work done by him or his subcontractors at no expense to the owner.
- All subcontractors who are responsible for the installation of any operating equipment or system shall also be responsible for the initial lubrication, start up and proper function of these items.
- Manufacturer's installation instructions for all appliances or equipment, shall be kept on site for review by the inspector at rough inspection at the latest.
- Upon completion of the work, the contractor shall clean up and remove from the premises all debris resulting from the work together with unused construction materials, equipment, etc...and leave the entire premises in clean, neat and orderly condition all glass , plumbing fixtures tile etc... are to be left clean and free from paint. Upon completion of the work all windows, floors, sills doors, etc... shall be cleaned.
- All building entrances that are accessible to and useable by the handicapped shall be identified with at least one standard sign (international symbol of accessibility) and with directional signs as required to be visible to persons along the approaching pedestrian way. Field verify number and location of signs with Architect.
- The general contractor shall have evidence of current workman's compensation insurance.
- Solvents oils and any other material which may be harmful to plant life shall be removed and replaced with good soil at no expense to the owner.
- The Architect shall not have control over or charge of and shall not be responsible for construction means, method, techniques, sequences, or procedures for safety precautions and programs and any required environmental testing of materials in connection with the work, since these are solely the owners', builder's or contractor's responsibility the architect shall not be responsible the the builder's or contractors schedules or failure to carry out the work the work in accordance with the contract documents. The architect shall not have control over or charge of acts of omissions of the builder or contractor, subcontractor or their agents or employees, or of any other persons performing portions if the work

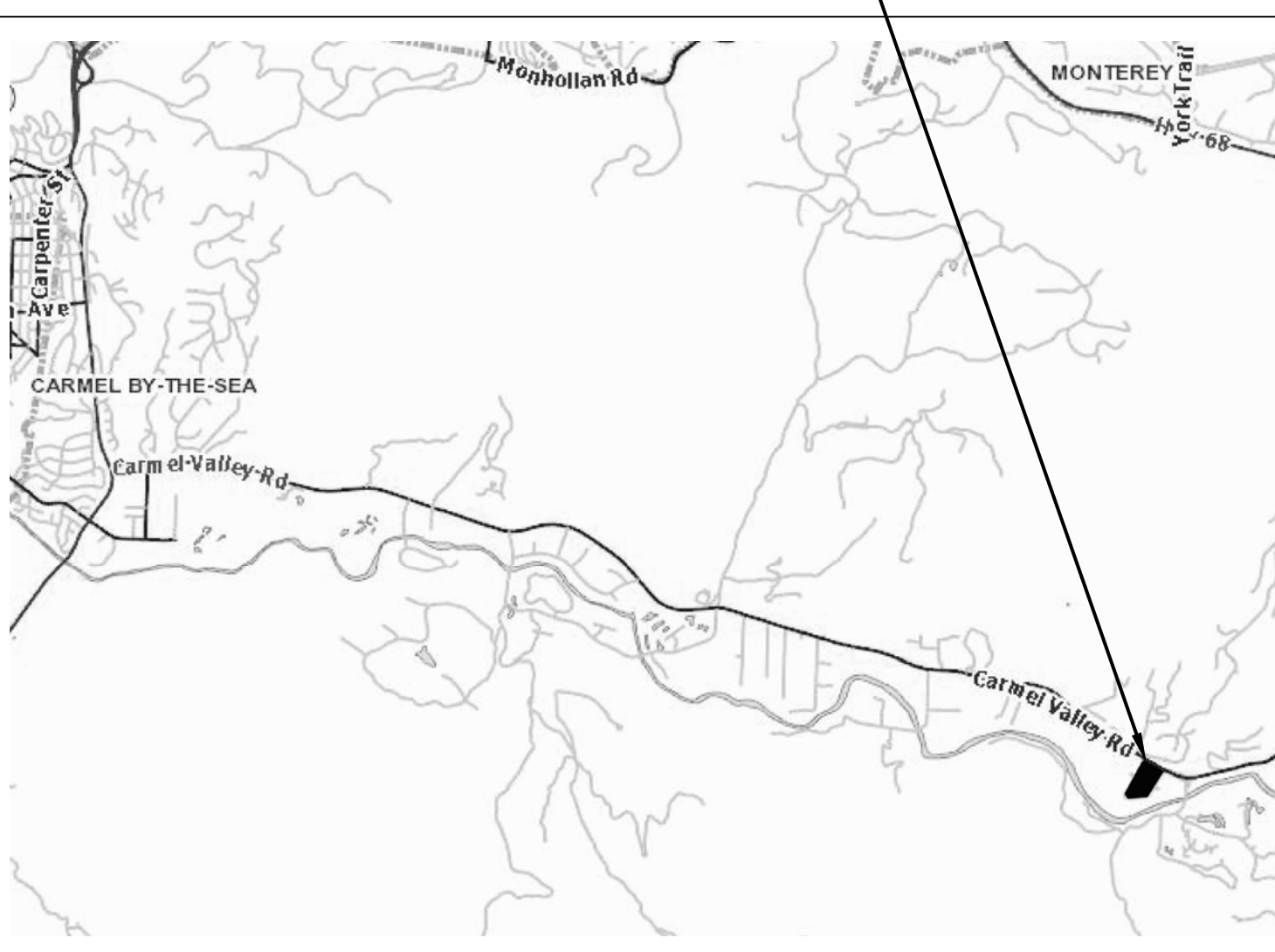
Fire Department Notes

- The Building is fully protected with an approved fire sprinkler system and fire alarm system revisions to the existing systems shall be installed approved and maintained in compliance with N.F.P.A. 13 four (4)sets of plans for the fire sprinkler and alarm modifications must be submitted and approved prior to installation. Rough-in inspections must be completed prior to requesting a framing inspection.
- Fire extinguishers are required. The contractor shall provide type 2A:10B:C fire extinguishers in all locations as directed by the fire jurisdiction inspector in locking cabinets.
- Provide address in 3" minimum tall letters as directed by the fire department
- Fire sprinkler system plans and documentation to be submitted by a California licensed C16 contractor for review and approval prior to any sprinkler work being done. NOTE: This requirement is not intended to delay issuance of building permit.
- Existing fire alarm system notification appliances will be affected by this remodel. Plans and documentation to be submitted by fire alarm contractor showing details of new notifications appliances in the remodel.
- General contractor to notify Mid-Valley Fire Station each day when the building fire sprinkler system is impaired due to construction, including demolition.
- Fire and smoke dampers to be interconnected to the building fire alarm system as required by NFPA 72-96.

Project Location



Vicinity Map



Project Team

ARCHITECT:
HUNTER PORTER ELDRIDGE, AIA
207 16TH STREET, SUITE B
PACIFIC GROVE, CALIFORNIA, 93950
P: 831-277-6487
F: 831-333-0700
www.hpe-arch.com
PRINCIPAL: hunter@hpe-arch.com

MECHANICAL/PLUMBING ENGINEERS:
AXIOM ENGINEERS
LEE & ASSOCIATES
CONSULTING ENGINEERS
22 LOWER RAGSDALE DR, SUITE A
MONTEREY, CA 93940-5788
P: 831-649-8000
PROJECT MANAGER: Frank Souza
<franks@axiomengineers.com>

ELECTRICAL ENGINEERS:
Aurum Consulting Engineers
60 Garden Court, Suite 210
Monterey, CA 93940-5334
831 646-3330 telephone
831 646-3336 fax
PROJECT MANAGER: Jhim Handrex
Meza <Jhim@acemb.com>

Applicable Codes

THIS PROJECT SHALL COMPLY WITH
TITLE 24 AND ALL CURRENT CODES
LISTED AS FOLLOWS:

2017 CALIFORNIA BUILDING CODE
2017 CALIFORNIA MECHANICAL CODE
2017 CALIFORNIA PLUMBING CODE
2017 CALIFORNIA ELECTRIC CODE
2017 CALIFORNIA ENERGY CODE
2017 CALIFORNIA FIRE CODE
2017 CALIFORNIA GREEN BUILDING
STANDARDS CODE

Sheet Index

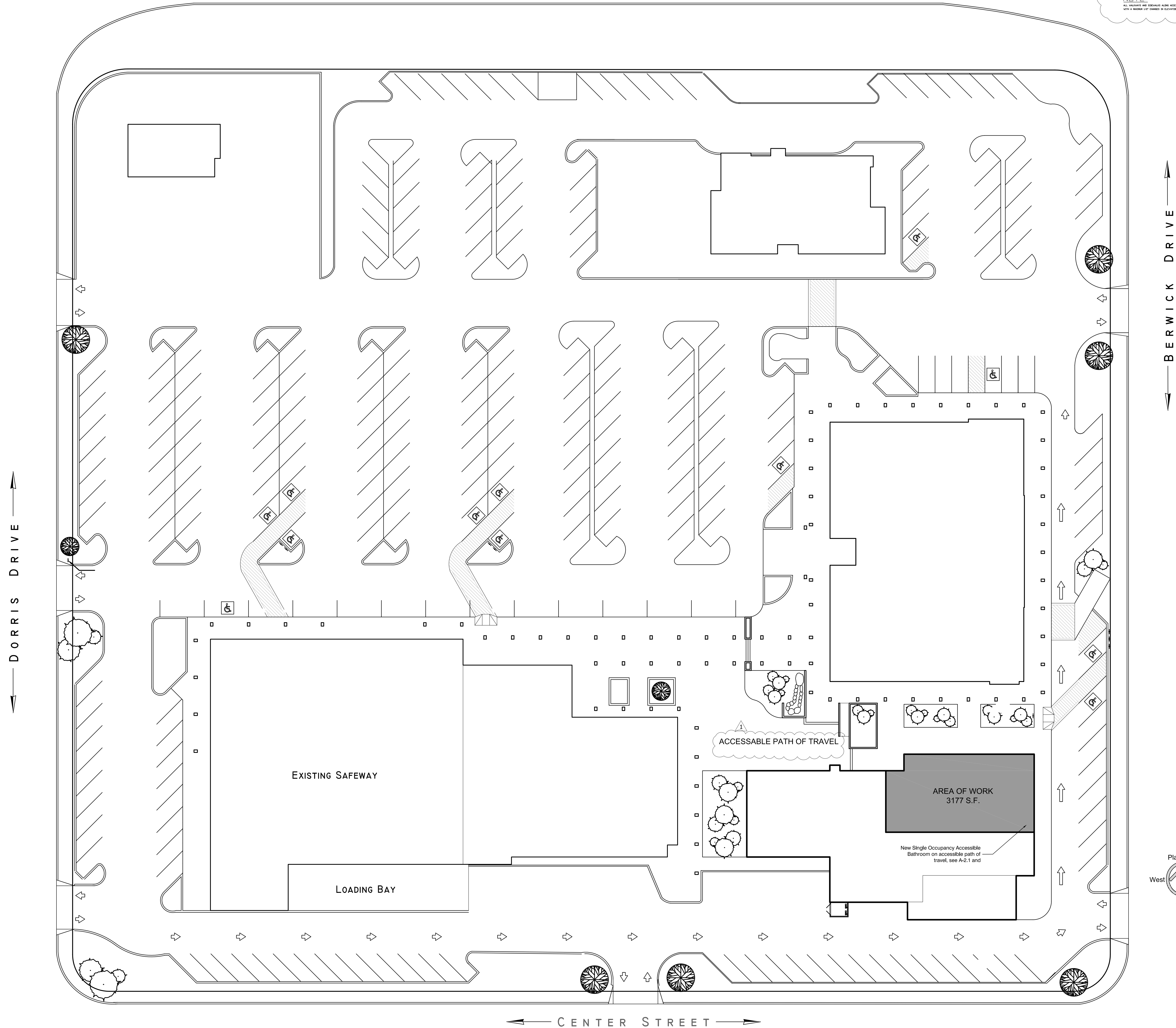
SHEET NO.	SHEET NAME
A 0.00	COVER SHEET
A 1.00	SITE PLAN
A 1.01	CONSTRUCTION MANAGEMENT PLAN
A 2.00	EXISTING FLOOR PLAN
A 2.01	PROPOSED FLOOR PLAN
A 3.00	EXISTING EXTERIOR ELEVATIONS
A 3.01	PROPOSED EXTERIOR ELEVATIONS

Abbreviations

& @ 2CP SCP A.B. A.B.T. A.C. ACD ACT ADA AFF AL ANOD AP ARCH AVG	AND ANGLE AT 2 COAT PLASTER 3 COAT PLASTER AGGREGATE BASE ANCHOR BOLT AIR CONDITIONER ACCESS DOOR ACOUSTIC CLG TILE AREA DRAIN AMERICANS W/ DISABILITIES ACT ABOVE FINISHED FLOOR ALUMINUM ANODIZED ACCESS PANEL ARCHITECTURAL AVERAGE	BD BITUM BLDG BLK BM BO BMK BR BRK BS BSM BUR CAB CALC CAT CB CEM CER CFM CI CL CLG CLST CLR CLW CJ CMU CNTR CO CONF COL COMM CONC CONST CONT CORR CORR CRS CT CTR CW	BOARD BITUMINOUS BUILDING BLOCKING BEAM BENCH MARK BOTTOM OF BRASS BRICK BSM BOTH SIDES BASEMENT BUILT UP ROOF CABINETS CALCULATION CATCHER CATCH BASIN CEMENTITIOUS CERAMIC CUBIC FT/MIN CAST IRON CENTERLINE CEILING CLOSET CLEAR CLEAR FINISHED WOOD CONTROL JOINT CONCRETE MASONRY UNIT COUNTER CLEAN OUT CONFERENCE COLUMN COMMUNICATION CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR COURSE COURSE CERAMIC TILE CENTER COLD WATER	HC HDR HDWR HM HORZ HR HS HT HTG HTR HVAC HW	HOLLOW CORE HEADER HARDWOOD HOLLOW METAL HORIZONTAL HOUR HEADED STUD HE NOISE REDUCTION COEFFICIENT HEATING HEATER HEATING/VENTILATION/AC HOT WATER	IB ID IN INSL INT INV JAN JOINT L LB LONG LAM LAV LLV LONG LEG VERTICAL LONG LEG HORIZONTAL LIGHTING LOUVER	IMPERIAL BOARD INSIDE DIAMETER INCHES INSULATION INTERIOR INVERT JANITOR JOINT ANGLE POUND LONG LENGTH LAMINATION LAVATORY LOW LONG LEG VERTICAL LONG LEG HORIZONTAL LOUVER	MACH MAX MECH MEMB MEZZ MFR MH MIN MISC MASONRY OPENING MOUNTED MEETING METAL N NAT NIC NO NDW NOM NRC NTS O OC OD	MACHINE MAXIMUM MECHANICAL MEMBRANE MEZZANINE MANUFACTURER MAN HOLE MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED MEETING METAL NORTH NATURAL NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVER ON CENTER OUTSIDE DIAMETER	OFF OH OPG OPP OVHD PERF PL PLAS PLB PLG PLY PM POL PR PT PTN PW QT QTY RA RD REF REFR RES REV REQD RM RO RO SOUTH SOUND ATTENUATION FIRE BLANKET SEALED CONCRETE/SOLID CORE SCHEDULE SKIM COAT PLASTER SQUARE FEET SHEET SIG SIM SC SI SPKLR SPKR SQ SS SSD ST STL STC STOR STRUCT SUSP SW TREAD TILE BACKER BOARD TERRACOTTA TELEPHONE TEMPORARY TERR T&G THK THRU TMPD (T) TOP TOS TOW TSS TYP TZ UNF UNO UPO	OFFICE OPPOSITE HAND OPENING OPPOSITE OVERHEAD PERFORATED PLASTER PLUMBING PANELING PERFORATED METAL POLISHED PAIR PAINTED PARTITION PAINTED WOOD QUARRY TILE QUANTITY RADIUS/RISER RETURN AIR REFRIGERATOR REINFORCED RESIN REVISED/REVISION REQUIRED ROOM ROUGH OPENING SOUND INSULATING GLASS SIMILAR SCORED JOINT SPRINKLER SPEAKER SQUARE STAINLESS STEEL SEE STRUCTURAL DRAWINGS STONE / STONE TILE STEEL SOUND TRANSMISSION COEFFICIENT STORAGE STRUCTURAL SUSPENDED STAINED WOOD TERRAZZO TILE BACKER BOARD TERRACOTTA TELEPHONE TEMPORARY TERRAZZO TOUNGE AND GROOVE THICK THROUGH TEMPERED TEMPERED TOP OF PLATE TOP OF SLAB TOP OF WALL TOP OF STRUCTURAL STEEL TYPICAL TERRAZZO UNFINISHED UNLESS OTHERWISE NOTED UPOLSTERED VENTILATION VERTICAL VESTIBULE VERIFY IN FIELD VENEER PLASTER VENETIAN PLASTER W W W/O WA WC WD WDW WLP WP WT YD	YARD
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Project Data

PROJECT DESCRIPTION	REMODEL OF THE NORTH EAST PORTION OF THE EXISTING 'BUILDING 2' AT THE MID-VALLEY SHOPPING CENTER. THE PROJECT IS TO CONVERT A 3,177 S.F. PORTION INTO AN INTERIOR SELF STORAGE FACILITY.
PROJECT ADDRESS:	9550 CARMEL VALLEY RD, BUILDING 2 CARMEL, CA 93923
OWNER:	MID-VALLEY ASSOCIATES 312 CARMEL VALLEY RD. CARMEL, CA. 93924
A.P.NUMBER:	169-234-007
SITE AREA:	+/- 6.5 ACRES
LEGAL DESCRIPTION:	CARMEL VALLEY MASTER PLAN PLANNING AREA: BERWICK MANOR POR OF BLK 2 AS DESC IN VOL 2095 PG 183 & 184 VOL 2096 PG 31 VOL 2096 PG 531 EXC PARCELS 1 & 2 OF STANDARD OIL LEASE
ZONING:	LC-D-S-RAZ(see note) Zoning Notes: 100' setback from Carmel Valley Road where applicable (see policy 40.2.1.1(CV))
PARKING:	EXISTING 267 PARKING SPACES (NO CHANGE)
COVERAGE	NO CHANGE TO EXISTING
BUILDING HEIGHT	NO CHANGE TO EXISTING
SET BACKS :	NO CHANGE TO EXISTING
GRADING :	NONE, Note: no work is proposed outside the footprint of the existing building.
TREE REMOVAL:	NONE
FIRE SPRINKLERS:	YES(TO BE MODIFIED)
FIRE ALARM	YES (TO BE MODIFIED)
CONSTRUCTION:	VB-SPRINKLERED
OCCUPANCY:	GROUP S-1 FOR NEW STORAGE USE
WATER SUPPLY:	CAL AM AND WATER WEST
SEWER:	SEPTIC PRIVATE
STORIES:	ONE
BUILDING DATA :	EXISTING AREA BUILDING 2 : 7328 S.F.
PROPOSED DATA:	* NOTE: NO CHANGE IN FLOOR AREA
REMODEL PORTION:	3177 S.F.
ALLOWABLE AREA FOR BUILDING 2 FOR TYPE V-N-SPRINKLED CONSTRUCTION :	OCCUPANCIES: GROUPS M,S-2, B
	BASIC ALLOWABLE 8,000 S.F.
AREA INCREASES	SINGLE STORY WITH SPRINKLERS 8,000 X 2 = 16,00 S.F. (allowable for any single floor)
COMPARISONS:	SINGLE STORY 16,000 S.F. allowable >3,177 proposed TYPE V-N OK
OCCUPANCY LOAD FOR STORAGE FACILITY @ 300 S.F. PER OCCUPANTS:	SINGLES STORY 3,711/300 = 12 OCCUPANTS
Project Description	
Remodel of the north portion of the existing building 2 at the Mid-Valley shopping center. The project is to partition an existing currently vacant 3,277sf storage room into a partitioned self storage space. There is no proposed work within existing buildings '1','3','4','5'.	



Site Plan

Scale: 1:250

A

EROSION /DUST CONTROL NOTES

1. VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES
 - C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT. (MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)
3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
4. ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF RMA-PLANNING AND RMA-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
 - B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
8. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
9. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
10. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
11. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
12. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
13. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED. FIBER ROLL.
14. FIBER ROLLS WILL BE INSTALLED AT LOCATIONS SHOWN ON THIS PLAN AND PER DETAIL B/C4. CONTRACTOR MAY USE SILT FENCE AS AN ALTERNATE/SUPPLEMENTAL EROSION CONTROL/SEDIMENT BARRIER.

CONCRETE WASHOUT

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR
2. ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
3. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
4. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
5. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERM AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
6. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGN A TED AREAS ONLY.
7. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
8. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGN A TED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
9. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

MATERIAL DELIVERY AND STORAGE

1. LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
2. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
3. A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
4. A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
5. SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
6. INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
7. THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
8. MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
9. BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
10. STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
11. MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
12. PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
13. AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
14. KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
15. ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

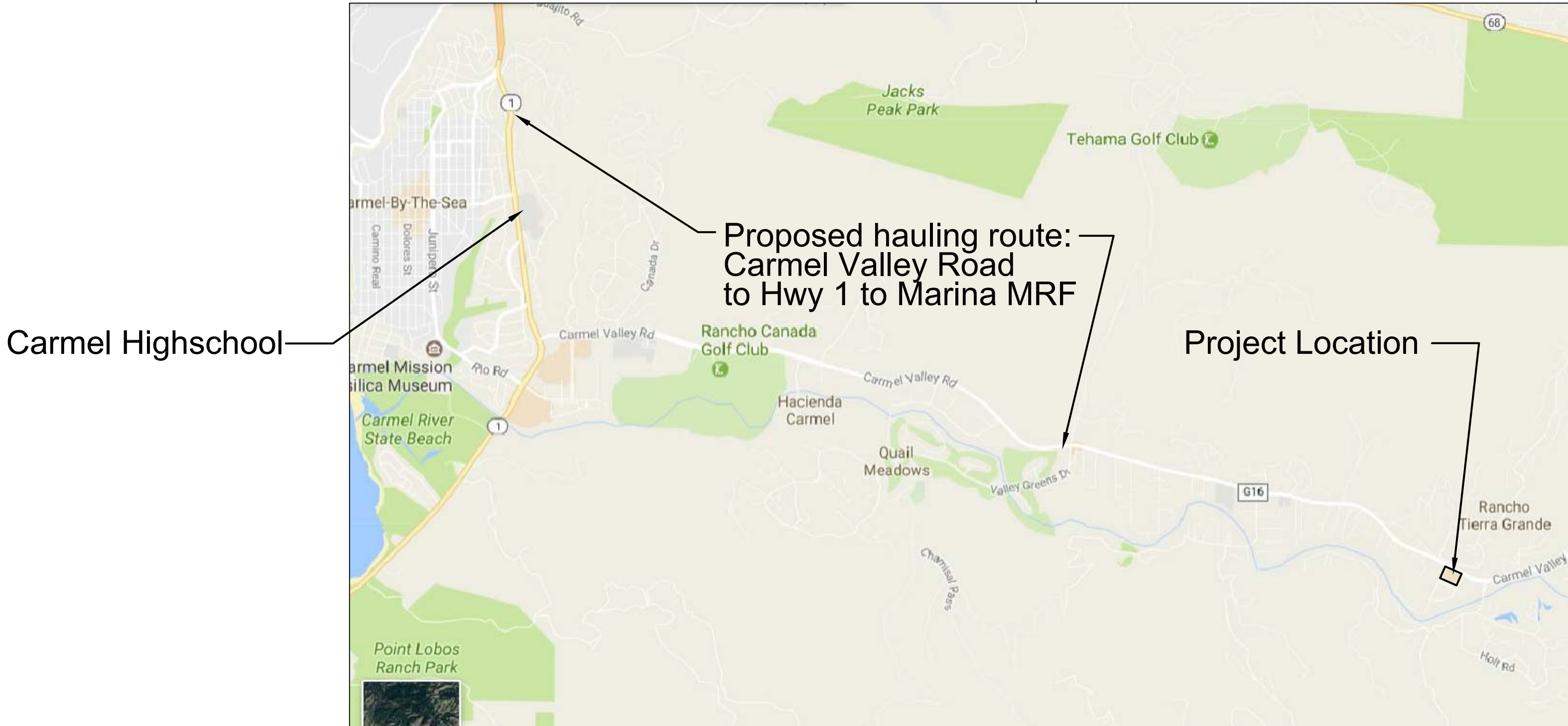
WASTE COLLECTION AREA

1. WATER TIGHT TRASH RECEPTACLES OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
2. LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
3. TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
4. CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT TRASH RECEPTACLES DAILY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
5. FULL TRASH RECEPTACLES SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
6. ALL TRASH RECEPTACLES SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
7. CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY WEEK OR SOONER IF NEEDED.
8. STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELEVATE WASTE FROM SURFACE.
9. WASTE STORED IN STOCKPILES SHALL BE SECURELY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF HAUL OR TRANSFER TO DUMPSTER.
10. SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6.
11. MAKE SURE THAT TOXIC LIQUID WI-STES AND CHEMICALS ARE NOT DISPOSED OF IN TRASH RECEPTACLES BUT ARE REMOVED OFF SITE APPROPRIATELY.

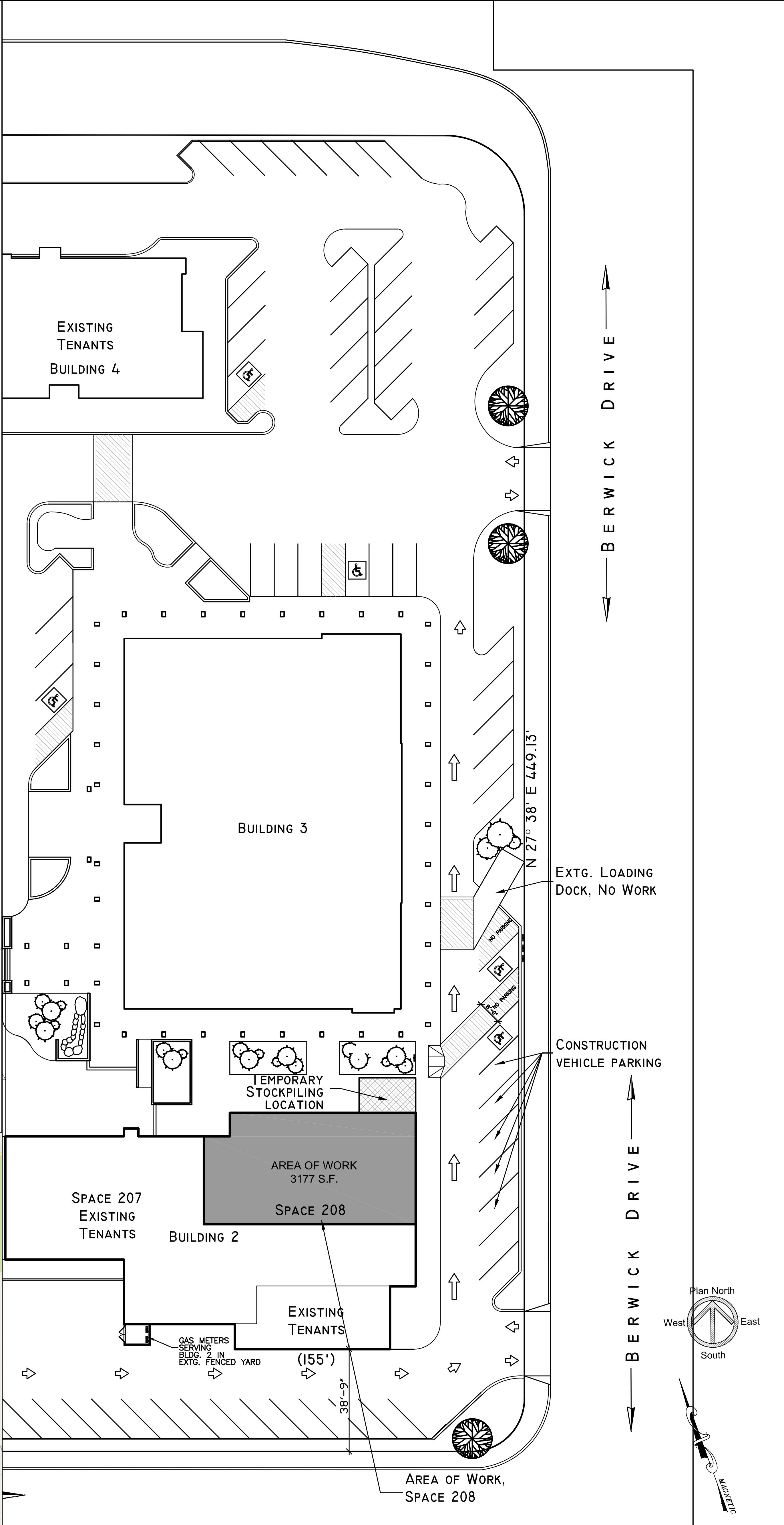
SUMMARY TABLE

GENERAL CONTRACTOR: S.S.B. CONSTRUCTION
1161 TERNEN AVENUE
SALINAS, CA 93901
831.424.1647
PRIMARY CONTACT: STEVEN GOLDMAN
SECONDARY CONTACT: JEFFERY GOLDMAN

TYPES OF CONSTRUCTION VEHICLES: LIGHT TRUCKS
NUMBER OF TRUCK/VEHICLE TRIPS PER DAY:8
AMOUNT OF GRADING PER DAY: NONE
HOURS OF OPERATION: 7AM TO 4PM
PROJECT SCHEDULING: MARCH 2017 THROUGH JULY 2017



Vicinity Map



Construction Management Plan

Scale: 1:250

A

OFFICE 661 LIGHTHOUSE AVE. STE. #1 PACIFIC GROVE CA 93950
MAIL: P.O. BOX 7161 PACIFIC GROVE CALIFORNIA 93950
E: hunter@hpe-arch.com | www.hpe-arch.com

CONSULTANT

ISSUE DATES

MID-VALLEY SHOPPING CENTER BUILDING 2
APN 169-234-007

9550 CARMEL VALLEY RD. CARMEL CA 93923

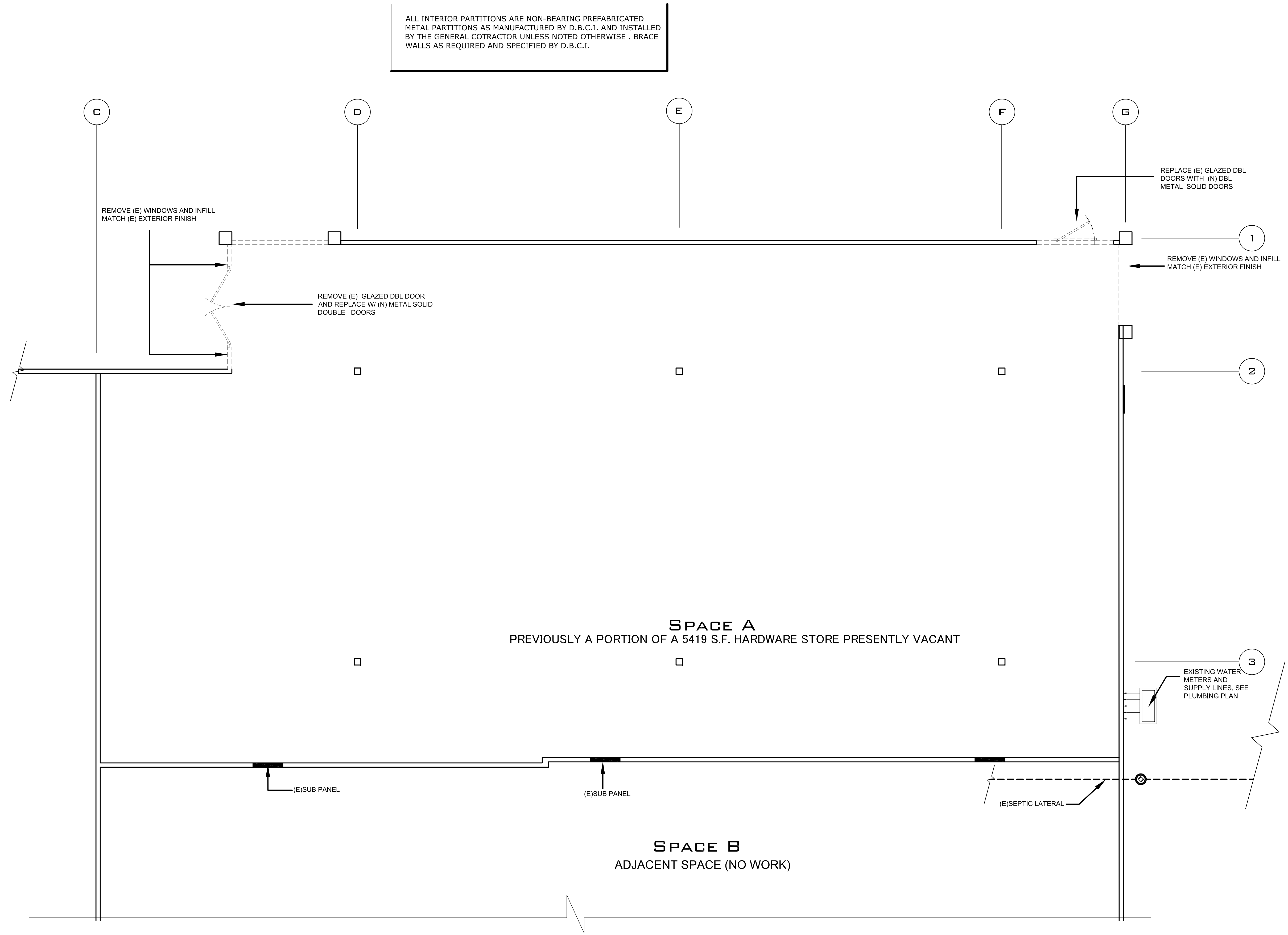
ISSUE DATES

8/3/2016 PLAN CHECK REVIEW SET
11/17/2016 PLAN CHECK RESPONSE

SITE PLAN

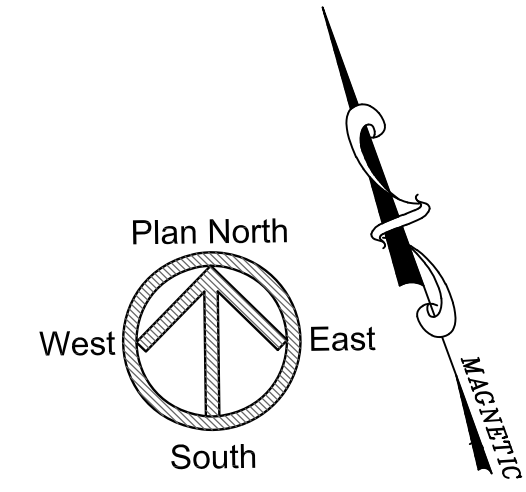
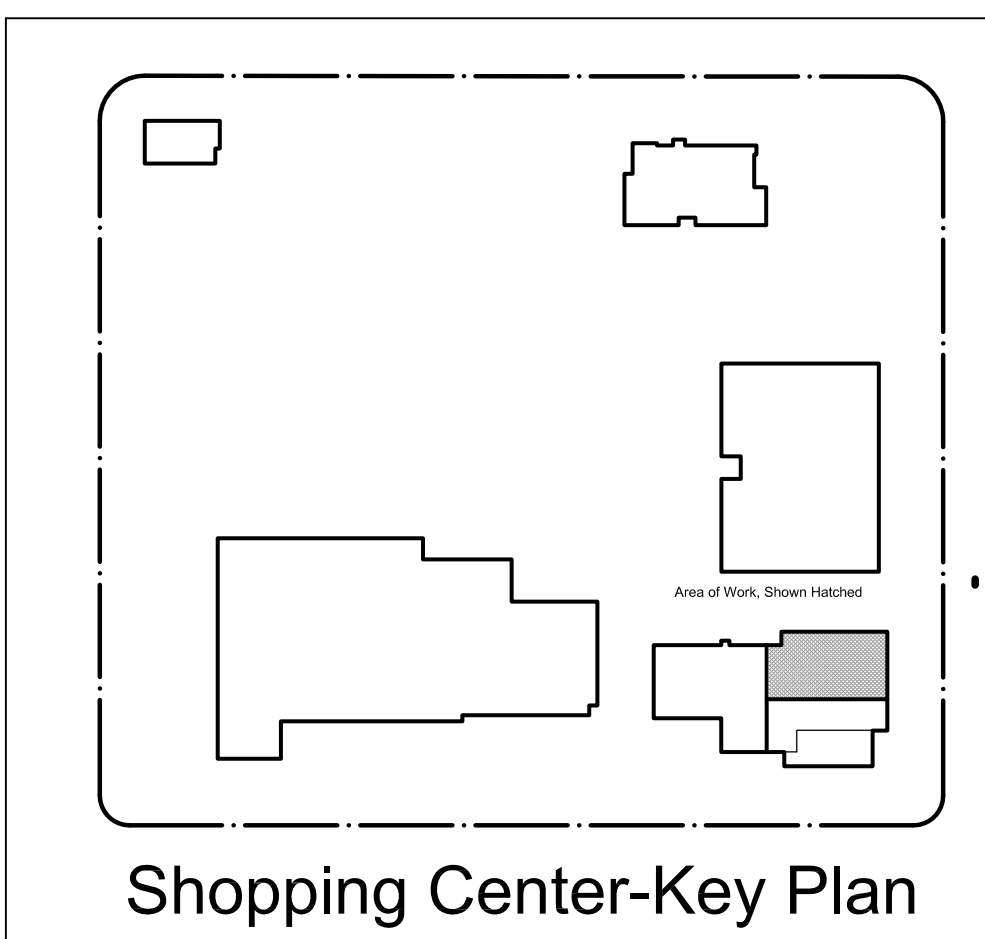
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Wall Legend

	Existing 4" Stud Wall
	New DBCI Corrugated Secure Walls
	New 6" Steel Stud Wall
	Removed Wall

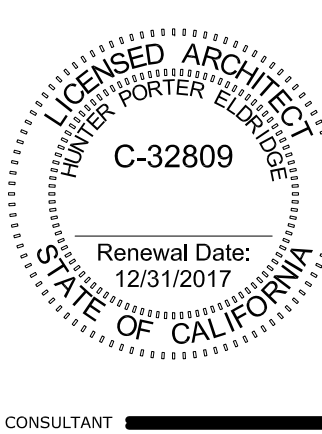


Proposed Floor Plan

Scale: 1/4"=1'-0"

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OFFICE 661 LIGHTHOUSE AVE. STE. F1 PACIFIC GROVE CA 93950
MAIL P.O. BOX 7161 PACIFIC GROVE CALIFORNIA 93950
E: hunter@hpe-arch.com | www.hpe-arch.com



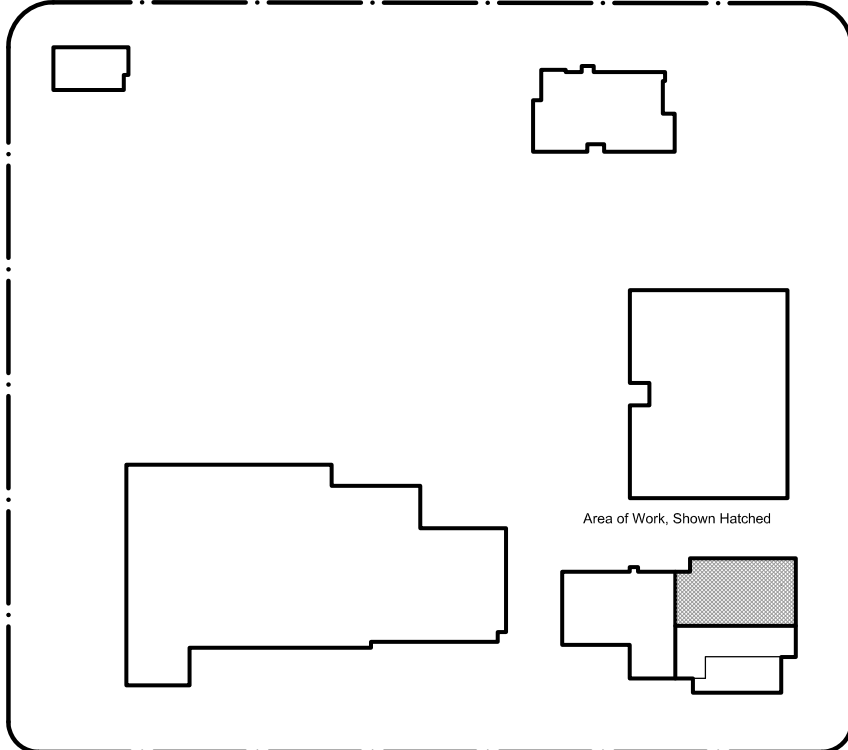
**MID VALLEY SHOPPING CENTER
SELF STORAGE RETROFIT**
313 CARMEL VALLEY ROAD
CARMEL VALLEY, CALIFORNIA 93924
A.P.N.: 007-071-007

ISSUE DATES:
8/3/2016 PLAN CHECK REVIEW SET
11/17/2016 PLAN CHECK RESPONSE

EXISTING
FLOOR
PLAN

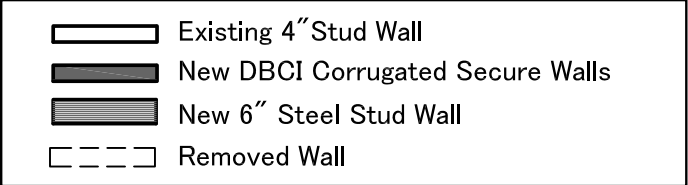
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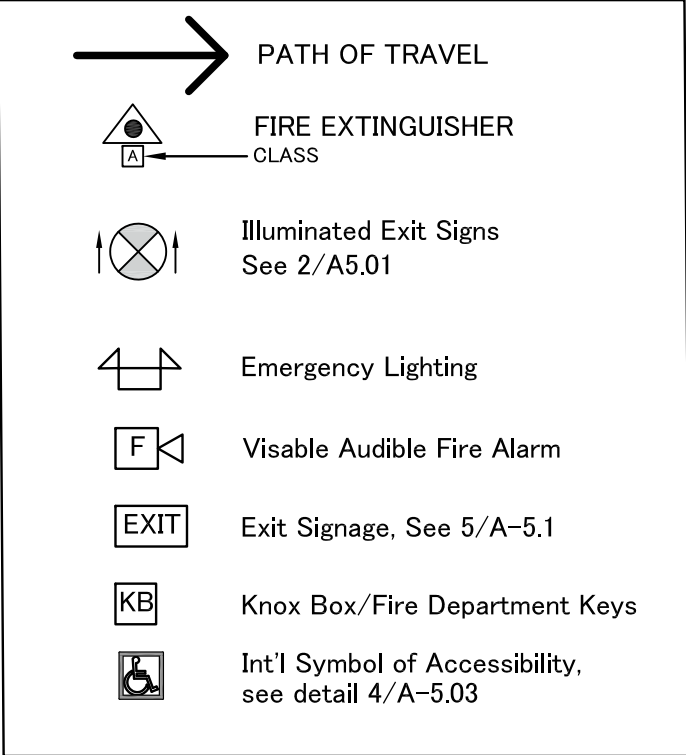


Shopping Center-Key Plan

Wall Legend



Fire Safety Legend

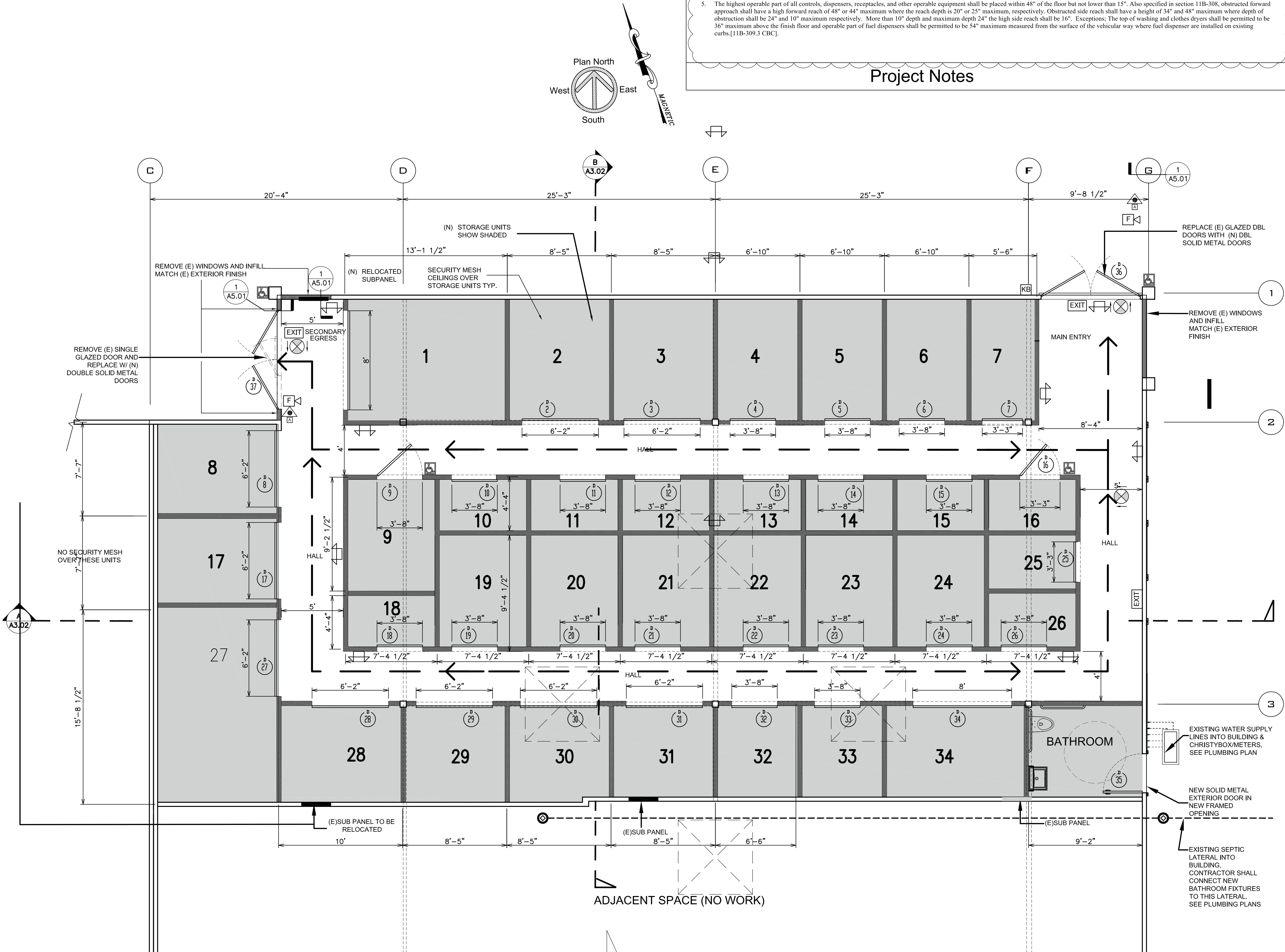


1. The Contractor shall obtain all required approvals and permits from County of Monterey before commencement of The Work.
2. The Contractor shall verify and check all dimensions and conditions at the site before starting The Work. Report any discrepancies to the Architect before proceeding with construction.
3. The Contractor shall locate all existing utilities and coordinate with The Work.
4. The Contractor shall notify all utility companies prior to commencing The Work and comply with their requirements.
5. The Contractor shall conform to applicable procedures when discovering hazardous or contaminated materials.
6. The Contractor shall provide required bracing and shoring to complete The Work.
7. The Contractor shall repair and or replace any finish and/or structural materials damaged during performance of The Work.
8. The Contractor shall at all times keep the premises free from accumulation of waste materials caused by The Work. Upon completion of The Work, The Contractor shall remove all equipment, surplus materials, and debris from the premises and leave The Project sufficiently clean to the satisfaction of The Owner.
9. Emergency (battery backup) Power shall be provided to allow illumination of spaces for Ninety (90) minutes.
10. All duct work shall be constructed, erected, and tested in accordance with the most restrictive of ASHRAE, SMCNA[T20-1599] and the California Code.
11. NOT USED
12. NOT USED
13. Drainage piping shall be protected from sewage backflow with an approved back water valve.
14. All hot water piping in unheated areas shall be insulated with min R-3 insulation. Insulate all supply piping not inside building insulation envelope.
15. NOT USED
16. NOT USED
17. The Contractor shall coordinate all materials to be provided By Owner and installed by The Contractor.
18. The Contractor shall coordinate with the installers contracted By Owner.
19. NOT USED
20. The Contractor shall prepare all surfaces required to receive "infill" finish materials to match existing.
21. NOT USED
22. The Contractor shall be responsible for the safety of persons & property & shall provide insurance coverage as necessary for liability, personal, property damage, to fully protect the owner, architect, & engineer from any & all claims resulting from this work.
23. ENTRANCE SIGNS. All buildings and facility entrances that are accessible to and usable by persons with disabilities shall be identified with a minimum of one International Symbol of Accessibility and with additional directional signs, utilizing the symbol, at junctions where the accessible route of travel diverges from the regular circulation path, to be visible to persons along approaching circulation paths. Entrances which are not accessible shall have directional signage complying with Section 111705.5.1, Items 2 and 3, which indicates the location of and route to the nearest accessible entrance.

General Notes

1. No hazardous materials will be stored in this storage facility in any quantity. It is the Owner's responsibility to establish an Agreement with all Tenants that clearly stipulates that hazardous materials should not be stored in this storage facility. Such prohibited hazardous materials should include but not necessarily be limited to combustible dusts/gases/fibers/liquids/aerosols, corrosive gases and liquids, cryogenic flammable/oxidizing and/or inert materials, explosive gases/liquids/materials, consumer fireworks, biologically and chemically hazardous materials, incompatible materials, organic peroxides, oxidizers, pyrophoric material, unstable materials, water reactive materials etc. See CBC Tables 307.1(1) & 307.1(2) for further information.
2. All exits shall be operable from the inside without the use of a key or special knowledge. 1008.1.9.3 CBC
3. Key operated dead bolts are allowed at the main exit (front) door only. Key locking hardware may be used on the main exit when the main exit consists of a single door or pair of doors if there is a readily visible, durable sign on or adjacent to the door stating "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS". Sec. 1003.3.8, Exc. 1, UBC
4. Controls and operating mechanisms shall be operable with one hand and shall not require tight grasping, pinching, or twisting of wrist. The force required to activate controls shall be no greater than 5 pounds.
5. The highest operable part of all controls, dispensers, receptacles, and other operable equipment shall be placed within 48" of the floor but not lower than 15". Also specified in section 11B-308, obstructed forward approach shall have a high forward reach of 48" or 44" maximum where the reach depth is 20" or 25" maximum, respectively. Obstructed side reach shall have a height of 34" and 48" maximum where depth of obstruction shall be 24" and 10" maximum respectively. More than 10" depth and maximum depth 24" the high-side reach shall be 16". Exception: The top of washing and clothes dryers shall be permitted to be 36" maximum above the finish floor and operable part of fuel dispensers shall be permitted to be 54" maximum measured from the surface of the vehicular way where fuel dispenser are installed on existing curbs.[11B-309.3 CBC].

Project Notes



Proposed Floor Plan

Scale: 1/4"=1'-0"

A

MID VALLEY SHOPPING CENTER
SELF STORAGE RETROFIT

313 CARMEL VALLEY ROAD
CARMEL VALLEY, CALIFORNIA 93924

A.P.N.: 007-071-007

9/5/2016
Plan Check
Response

PROPOSED
FLOOR
PLAN

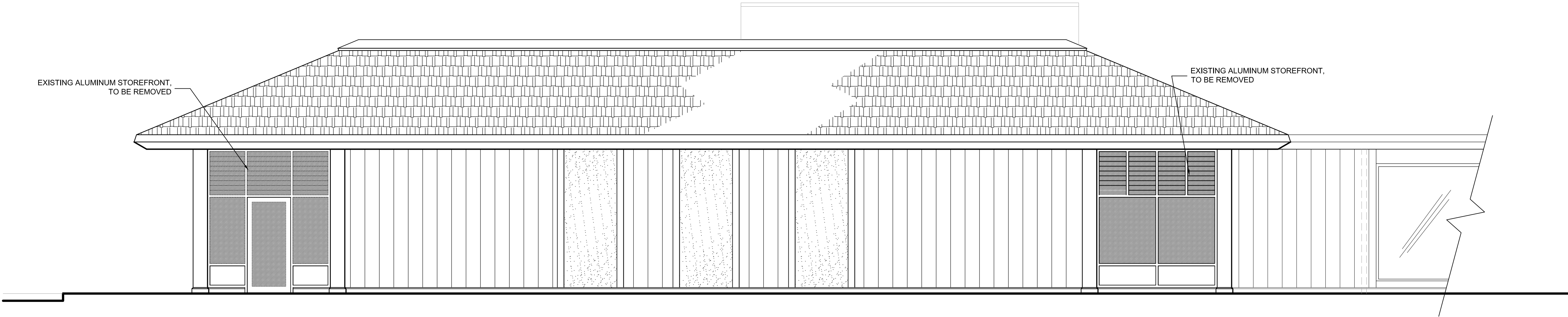
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HPEARCHITECTS
OFFICE: 665 LIGHTHOUSE AVE. STE. E PACIFIC GROVE CA 93950
MAIL: P.O. BOX 7161 PACIFIC GROVE CALIFORNIA 93950
E: hunter@hpe-arch.com | www.hpe-arch.com

ARCHITECT
C-32809
Renewal Date:
12/31/2017
STATE OF CALIFORNIA

CONSULTANT

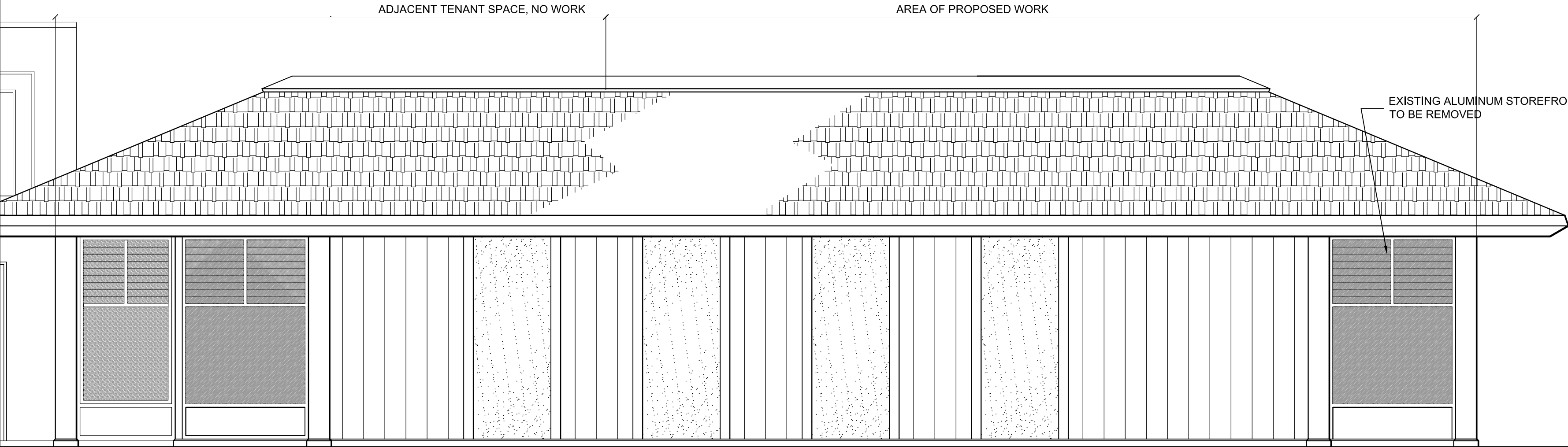
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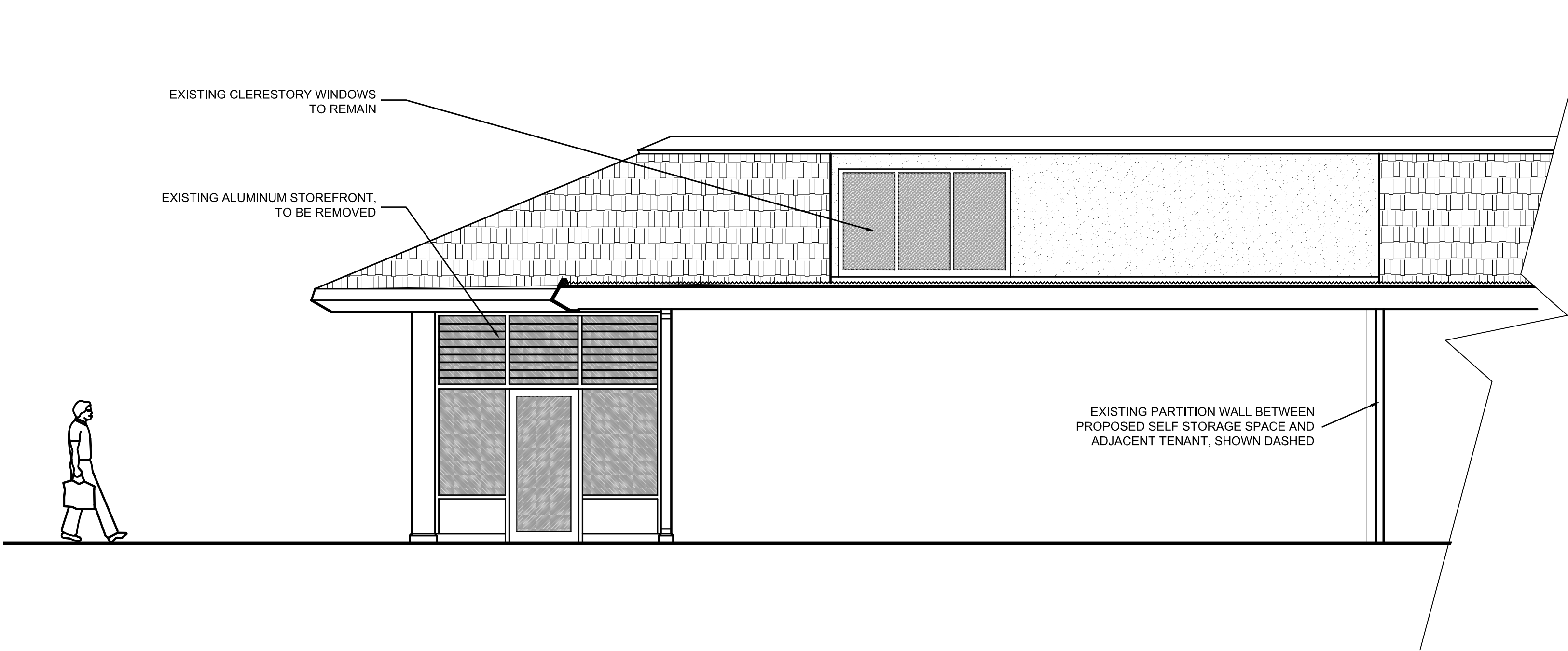
Existing North Elevation

Scale: 1/4"=1'-0"

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Existing East Elevation



Partial Existing West Elevation/Building Section

Scale: 1/4"=1'-0"

W

MID VALLEY SHOPPING CENTER
SELF STORAGE RETROFIT
313 CARMEL VALLEY ROAD
CARMEL VALLEY, CALIFORNIA 93924
A.P.N.: 007-071-007

ISSUE DATES
8/3/2016 PLAN CHECK REVIEW SET
11/17/2016 PLAN CHECK RESPONSE

EXISTING
ELEVATIONS

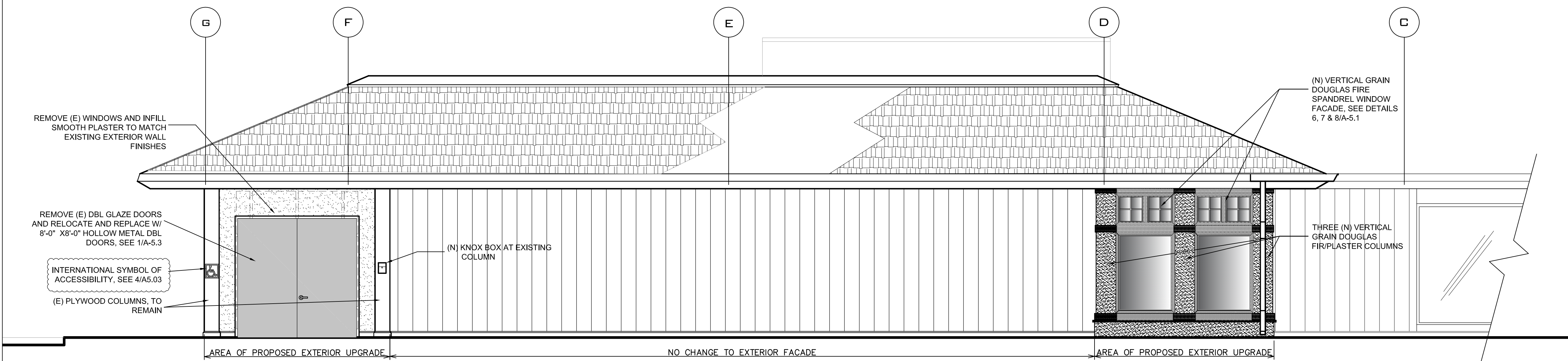
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HPEARCHITECTS
OFFICE: 661 LINDENHURST AVE. STE. #1 PACIFIC GROVE, CA 93950
MAIL: P.O. BOX 7181 PACIFIC GROVE, CALIFORNIA 93950
C: 831.333.0700 | M: 831.277.6487
E: hunter@hpe-arch.com | www.hpe-arch.com

LICENSED ARCHITECT
HUNTER PORTER ELDRIDGE
C-32809
Renewal Date:
12/31/2017
STATE OF CALIFORNIA

CONSULTANT

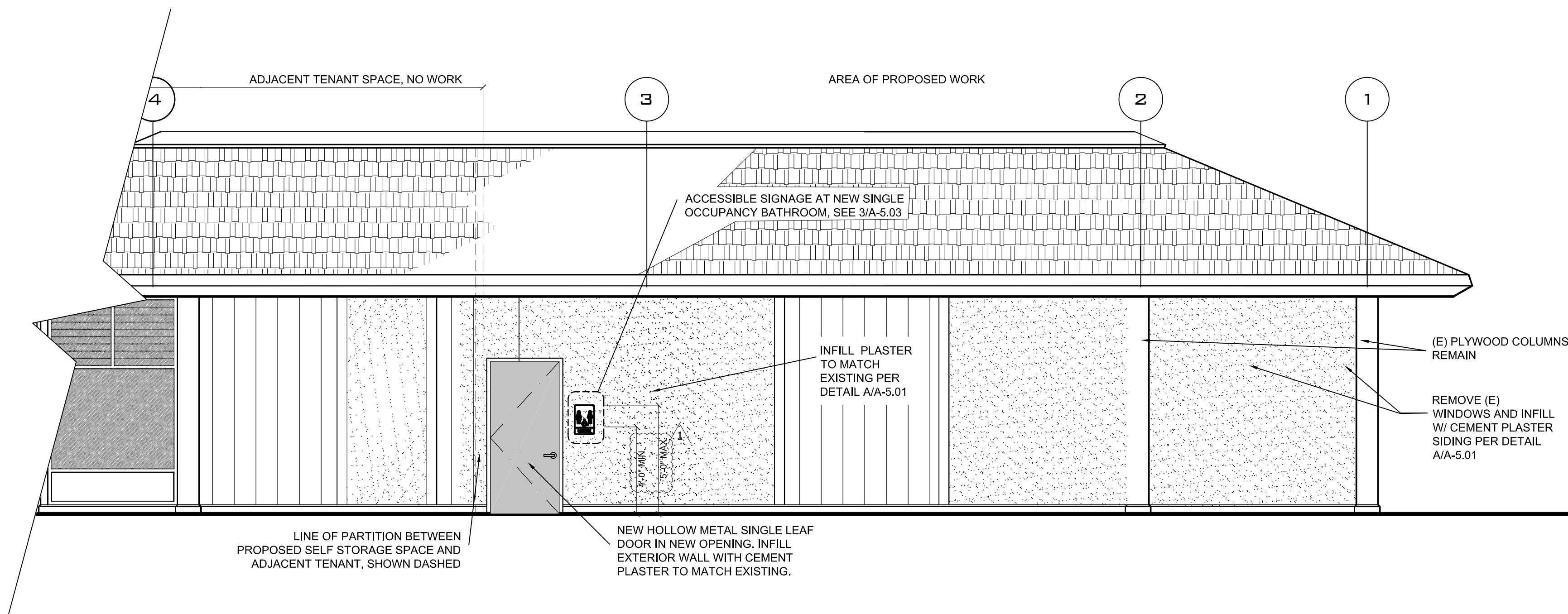
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North Elevation

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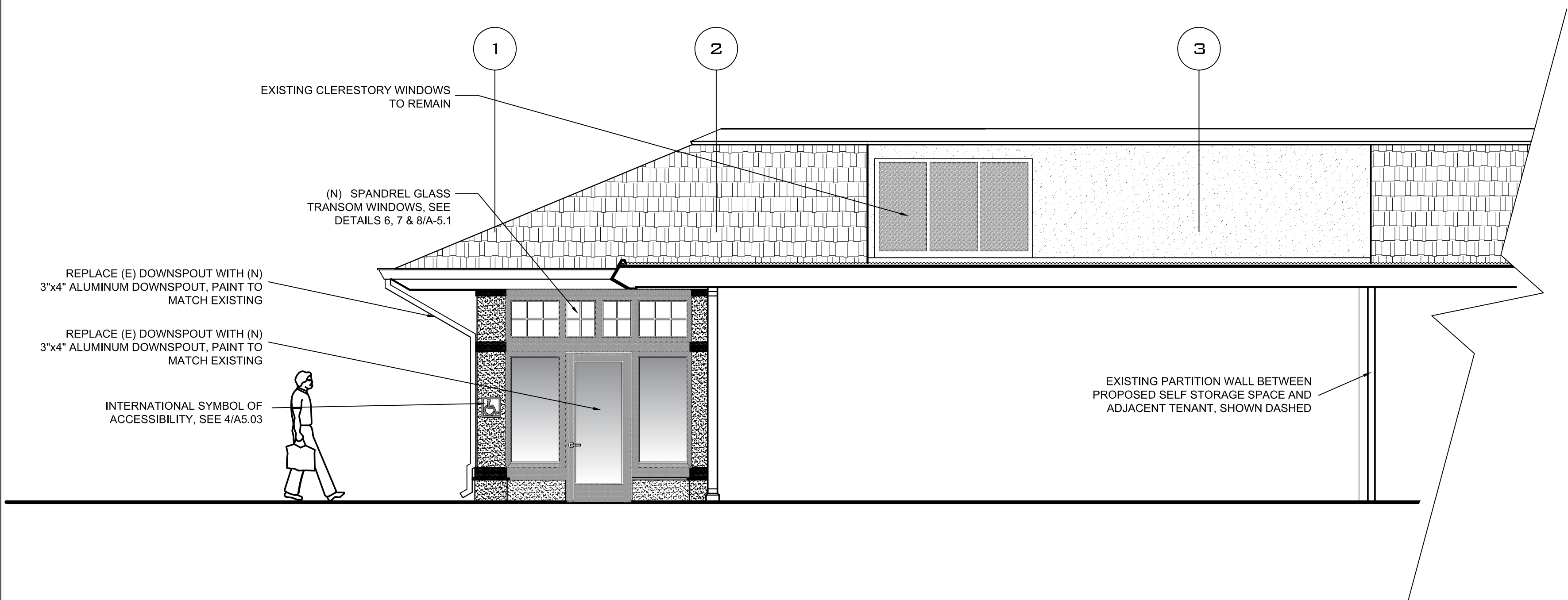
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Partial East Elevation

Scale: 1/4"=1'-0"

E



Partial West Elevation/Building Section

Scale: 1/4"=1'-0"

W