

Exhibit B

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EXHIBIT B
DRAFT RESOLUTION

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

DRISCOLL STRAWBERRY ASSOCIATES INC (PLN160258)

RESOLUTION NO. ----

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project exempt per Section 15301 of the CEQA Guidelines; and
- 2) Approving the Combined Development Permit consisting of:
 - a. A Use Permit to allow construction of a 22,052 square foot agricultural support facility for offices, fruit lab, cold box, and storage and ancillary space; and
 - b. A Use Permit to allow construction of 151,238 square feet of greenhouses and screenhouses.

[PLN160258, Driscoll Strawberry Associates Inc.,
1790 San Juan Road, Aromas, North County Area
Plan (APN: 267-043-017-000)]

The Combined Development Permit application (PLN160258) came on for public hearing before the Monterey County Zoning Administrator on August 10, 2017. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan (General Plan);
 - North County Area Plan (Area Plan);
 - Monterey County Zoning Ordinance (Title 21);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The property is located at 1790 San Juan Road, Aromas (Assessor's Parcel Number 267-043-017-000), North County Area Plan. The parcel is zoned Farmland, 40-acres per unit or "F/40," which allows for agricultural support facilities and non-soil dependent greenhouses and

nurseries with a Use Permit. The proposed project includes the displacement and conversion of row crop land to allow construction of an agricultural support facility (offices, fruit lab, mixing room, work area, storage, growth chambers, and a cooler) and non-soil dependent greenhouses and screenhouses for research and development relative to breeding strawberries. Therefore, the project is an allowed land use for this site.

- c) The project is consistent with the site development standards of the Farmland zoning district contained in Section 21.30.060 of Title 21. Improvements are located within the interior of the lot allowing for greater setback distance from property lines than the minimum required. The height of the buildings are also under the maximum allowed. Lot coverage allowance in the district is 5%, with the exception of greenhouses, which are permitted a coverage of 50%. The project is well below the coverage allowed.
- d) Data from the Monterey County Geographic Information System indicates that the subject property is designated as Prime Farmland. The project is consistent with applicable policies that promote the long-term protection, conservation, and enhancement of productive and potentially productive agricultural land. See subsequent Evidence “h” through “l.”
- e) Policy No. NC-5.1 of the Area Plan requires new development to be designed to maximize groundwater recharge and minimize runoff. Condition No. 9 – Stormwater Management Plan, has been incorporated to require the collection and storage of runoff within a stormwater detention facility. Compliance with this condition ensures consistency with this policy.
- f) Policy No. LU-1.13 of the General Plan requires all exterior lighting be unobtrusive, constructed or located so that only the intended area is illuminated, long range visibility is reduced of the lighting source, and off-site glare is fully controlled. Condition No. 6 has been incorporated requiring the applicant to submit an exterior lighting plan for review and approval prior to issuance of construction permits. Compliance with this condition ensures consistency with this policy.
- g) Policy No. PS-3.1 of the General Plan states that new development requiring a discretionary permit and the use of water, shall be prohibited without proof of a long-term sustainable water supply. The subject property is currently planted with row crops (strawberries) and has an established historical water use of approximately 3.23 acre feet per year. The applicant demonstrates that at full build-out, the project would reduce existing water consumption by over 50% and requests the project is considered not be subject Policy PS-3.1. The intent of this Policy is to ensure new discretionary development would have an adequate long-term water supply before it is built. The applicant clearly demonstrates the project would not result in a new water demand. RMA-Planning and Water Resources consulted with the Pajaro Valley Water Management Agency (PVWMA) to determine if the project meets their objective for groundwater sustainability. In a letter dated November 16, 2016, the General Manager of PVWMA, Mary Bannister, the agency stated that they are generally in agreement that the project would result in a reduction in groundwater use at the site and that they generally

supportive such activities as it contributes to the effort of bringing the groundwater basin into balance. Based on this finding of sustainability and the overall reduction in water use on the site, Policy PS-3.1 does not apply.

- h) Policy No. AG-1.1 of the General Plan prohibits land uses that interfere with routine and ongoing agricultural operations on viable farmlands designated a Prime. Based on Policy No. AG-3.3, conversion of agricultural land to other agricultural uses, greenhouses, sheds, storage, and outbuildings are considered routine and ongoing. Furthermore, Policy No. AG-2.1 considers agricultural support facilities and greenhouses as compatible and appropriate uses in the Farmland designation and Policy No. AG-2.2 encourages and supports agricultural support business and services in order to enhance development potential of the agricultural industry. Therefore, the project is consistent with this policy.
- i) Policy No. AG-1.4 of the General Plan states that viable agricultural uses, including ancillary and support uses and facilities, shall be conserved, enhanced, and expanded. The project includes establishment of a support facility, greenhouses, and screenhouses in order to expand and enhance research and development capabilities for growing strawberries. Therefore, the project is consistent with this policy.
- j) Policy No. AG-2.4 of the General Plan requires siting and design of agricultural support uses in a way that would minimize the loss of productive agricultural lands. Consistent with this policy, placement of the development takes advantage of an existing main driveway and access road, minimizing the amount of pavement necessary for vehicular circulation. In addition, the development is compact, disturbing only the areas necessary for the facility.
- k) Policy No. AG-2.6 of the General Plan considers innovation in plant breeding vital to maintain a competitive agricultural industry and therefore development of agricultural research facilities shall be encouraged and supported. The primary objective of the project is to expand and enhance the existing research and development capabilities for breeding strawberries. Therefore, the project is supported by this policy.
- l) Pursuant to General Plan Policy No. AG-1.8, the project was referred to the Agricultural Advisory Committee (AAC) for review. The AAC found the project consistent with the policies contained in the Agricultural Element of the General Plan; specifically, Policy Nos. AG-1.4, AG-2.4, AG-2.6, and AG-3.3. The AAC recommended the Zoning Administrator approve the project by a vote of 9 to 0, with 3 members absent and 1 member recused.
- m) In order to ensure future operational components of the project are consistent with applicable regulations in the Farmland zoning district, Condition No. 7 has been incorporated notifying current, and future owners, that cultivation of cannabis is prohibited within the agricultural support facility, greenhouses, or screenhouses pursuant to Section 21.67 of Title 21. However, the ongoing condition provides a caveat should regulations be later amended and cultivation would be allowed.
- n) The project planner conducted a site inspection on May 2, 2017 to

verify that the project on the subject parcel conforms to the plans listed above.

- o) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160258.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Aromas Tri-County Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to archaeological resources, soils, and traffic. The following reports have been prepared:

- “Preliminary Archaeological Assessment” (LIB170004) prepared by Archaeological Consulting, Salinas, CA, September 8, 2016.
- “Geotechnical Investigation – Design Phase” (LIB170162) prepared by Pacific Crest Engineering Inc., Watsonville, CA, November 2016.
- “Geotechnical Investigation – Pier and Grade Beam Option” (LIB170163) prepared by Pacific Crest Engineering Inc., Watsonville, CA, December 16, 2016.
- “Driscoll’s Breeding Greenhouse Facility Traffic Study” and “Update” (LIB170165) prepared by Keith Higgins, Traffic Engineer, Gilroy, CA, February 23, 2017 and April 17, 2017.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions. Condition No. 13 has been incorporated to ensure construction has been in accordance with the recommendations of the geotechnical engineer.

- c) Staff conducted a site inspection on May 2, 2017 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN160258.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

EVIDENCE: a) The project was reviewed by RMA - Planning, Aromas Tri-County Fire Protection District, RMA - Public Works, Environmental Health

Bureau, RMA - Environmental Services, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Necessary public facilities are available and will be provided.
- c) The subject property contains three wells, two of which will be used for domestic, fire suppression, and irrigation uses. (See Finding 1, Evidence “g” for discussion on long-term sustainable water supply.
- d) Development of the site includes installation of a wastewater system. The preliminary design and location was found acceptable by the Environmental Health Bureau. No conditions were required.
- e) The project and accompanying traffic reports have been reviewed by RMA-Public Works. No impacts to existing roadways were identified and standard conditions of approval requiring payment of regional development traffic impact fees (Condition No. 8) and County-wide traffic impacts fees (Condition No. 9) have been incorporated.
- f) Staff conducted a site inspection on May 2, 2017 to verify that the site is suitable for this use.
- g) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN160258.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property. Staff conducted a site inspection on May 2, 2017 and researched County records to assess if any violation exists on the subject property. There are no known violations on the subject parcel.
- b) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN160258.
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5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts minor alteration of existing facilities involving no negligible or no expansion of use beyond that existing at the time of the lead agencies determination.
- b) The project would expand and enhance existing research and development capabilities for breeding strawberries on a property that currently produces strawberries for consumption. The overall change is use on the site would be minimal.
- c) Development of the site will convert an existing outdoor agricultural use into an indoor agricultural use. As a result, water use would decrease and traffic circulation would remain almost identical. Grading of the site

will require 1,900 cubic yards of cut and 1,900 cubic yards of fill which will be balanced onsite. Activities such as these are typically within the CEQA thresholds of significance for air quality impacts, which is grading/excavation of 2.2 acres/day or more. Furthermore, the project has been conditioned to require submittal of a grading plan (Condition No. 14) to ensure earth movement activities are consistent with Monterey County Code (MCC) Chapter 16.08 – Grading, and submittal of an erosion control plan (Condition No. 13) to ensure development is in conformance with MCC Chapter 16.12 – Erosion Control.

- d) The project would have no impact to agricultural resources on the site and in the area. See Finding No. 1, Evidence “h” through “l.” Implementation of the project would not meet or exceed CEQA thresholds of significance for agricultural resources.
- e) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project is not located on a hazardous waste site, near a scenic highway or historical resource. Although the project would result in removal of 9% of existing row crop land on the site, the converted area would still be devoted to a viable agricultural use and therefore would not contribute to a cumulative impact of the conversion of farmland to non-agricultural uses.
- f) No adverse environmental effects were identified during staff review of the development application during a site visit on May 2, 2017 and verifies that the site and proposed project meet the criteria for an exemption.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160258.

6. **FINDING:**

APPEALABILITY - The decision on this project may be appealed to the Planning Commission.

EVIDENCE:

Section 21.80.040.B of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project Categorically Exempt per Section 15301 of the CEQA Guidelines; and
2. Approve the Combined Development Permit consisting of:
 - a. A Use Permit to allow construction of a 22,052 square foot agricultural support facility for offices, fruit lab, cold box, and storage and ancillary space; and
 - b. A Use Permit to allow construction of 151,238 square feet of greenhouses and screenhouses;

in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

Approval is subject to 18 conditions, incorporated herein by reference.

PASSED AND ADOPTED this 10th day of August, 2017:

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160258

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN160258) allows 1) Use Permit for 22,052 square foot agricultural support facility (offices, fruit lab, cold box, storage and ancillary space); and 2) Use Permit for 151,238 square feet of non-soil dependent breeding greenhouses and screen houses upon completion of two-stage build-out. The property is located at 1790 San Juan Road, Aromas (Assessor's Parcel Number 267-043-017-000), North County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number ***) was approved by Zoning Administrator for Assessor's Parcel Number 267-043-017-000 on August 10, 2017. The permit was granted subject to 18 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD004 - INDEMNIFICATION AGREEMENT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Director of RMA-Planning for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to RMA-Planning .

5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PDSP01 - CANNABIS CULTIVATION PROHIBITED (NON-STANDARD)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: As of the date this project was approved, pursuant to Section 21.67 of the Monterey County Zoning Ordinance, cannabis cultivation is prohibited within a greenhouse or industrial buildings permitted or legally established after January 1, 2016. Therefore, cannabis cultivation shall be prohibited in the new agricultural support facility, greenhouses, or screenhouses associated with this project for as long as that use is prohibited by County Ordinance. If the owner/applicant elects to discontinue research, development, and breeding of strawberries on the site; a change in the agricultural product shall not include cannabis cultivation until such a time as allowed by County Ordinance.

Compliance or Monitoring Action to be Performed: Adhere to condition as specified.
Ongoing unless otherwise stated.

8. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the RMA-PW.

9. PWSP001 – COUNTYWIDE TRAFFIC FEE (NON STANDARD)

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, and if in place, the Owner/Applicant shall pay the Countywide Traffic Fee. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the RMA-PW.

10. WRSP1 - STORMWATER MANAGEMENT PLAN

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall incorporate drainage and stormwater control measures to limit post-development, off-site peak flow drainage from the area being developed to pre-development conditions. New development shall include measures to collect and conduct runoff from paved parking areas to drainage areas/devices capable of minimizing runoff and allowing for stormwater infiltration (e.g., bioretention filters, vegetated swales, etc). These facilities will have adequate volume to treat stormwater discharge events up to the 85th percentile 24-hour rainfall event as determined by local rainfall data. Additionally, the project shall include detention facilities to limit the 100-year post-development runoff rate to the 10-year pre-development rate. An overflow or high flow bypass system shall be provided. A registered civil engineer shall design a stormwater management plan in conformance with the drainage and water quality and supply policies set forth in the 2010 General Plan (Goals S-3 & PS-2). (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permits, the Owner/Applicant shall submit a stormwater management plan with measures to minimize runoff and allow for stormwater infiltration to the Water Resources Agency for review and approval.

11. WRSP2 - WRA INSPECTION - PRIOR TO FINAL

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with the Water Resources Agency to ensure all necessary drainage and stormwater controls are in place and the project is compliant with respective water resources policies. This inspection requirement shall be noted on the stormwater management plan. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the Owner/Applicant shall schedule an inspection with the Water Resources Agency to ensure all necessary drainage and stormwater controls have been constructed in accordance with approved plans.

12. CALIFORNIA CONSTRUCTION GENERAL PERMIT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Waste Discharger Identification (WDID) number certifying the project is covered under the California Construction General Permit. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

13. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

14. GEOTECHNICAL CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geotechnical Investigation. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

15. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Grading Plan, prepared by a registered Professional Engineer, incorporating the recommendations from the project Geotechnical Investigation prepared by Pacific Crest Engineering Inc. The Grading Plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The Grading Plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the Grading Plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a Grading Plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the Grading Plan for conformance with the geotechnical recommendations.

16. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

17. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

18. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

Breeding Greenhouse Facility

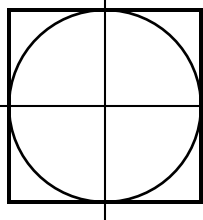
for

Driscoll's, Inc.

1790 San Juan Road · Watsonville, California

Sheet Schedule

A0.1	Sheet Schedule, Abbreviations, Project Data, and Vicinity Map
A1.1	Site Plan, Project Notes, and Project Phasing
A1.2	Partial Site Plan
A2.1	Floor Plan at Support Building "C" thru "K"
A2.1	Floor Plan at Support Building "A" thru "C"
A3.1	Exterior Elevations at Support Building and Greenhouses / Screenhouses
L0	Landscape Documentation
L1	Planting Plan
L2	Irrigation Plan
L3	Landscape Details
L4	Landscape Specifications
C-1	Grading and Drainage Plan
C-2	Details

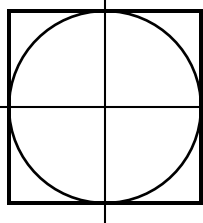


Abbreviations

Alum.	Aluminum
A.B.	Anchor Bolt
A.C.	Asphaltic Concrete
Bk'g.	Between
Bm.	Blocking
Bldg.	Building
Cfg.	Ceiling
Cm.	Cement
Clr.	Clear
Compo.	Composition
Conc.	Concrete
CMU.	Concrete Masonry Unit
Dbl.	Double
D.F.	Douglas Fir
D.S.	Downspout
Ea.	Each
Elect.	Electrical
Exist., (E)	Existing
Ext.	Exterior
F.O.C.	Face of Concrete
F.O.G.	Face of Girt
F.O.P.	Face of Plywood
F.O.S.	Face of Stud
Fut.	Future
Galv.	Galvanized
G.I.	Galvanized Iron
Ga.	Gauge
Gl.	Glass
Ht.	Height

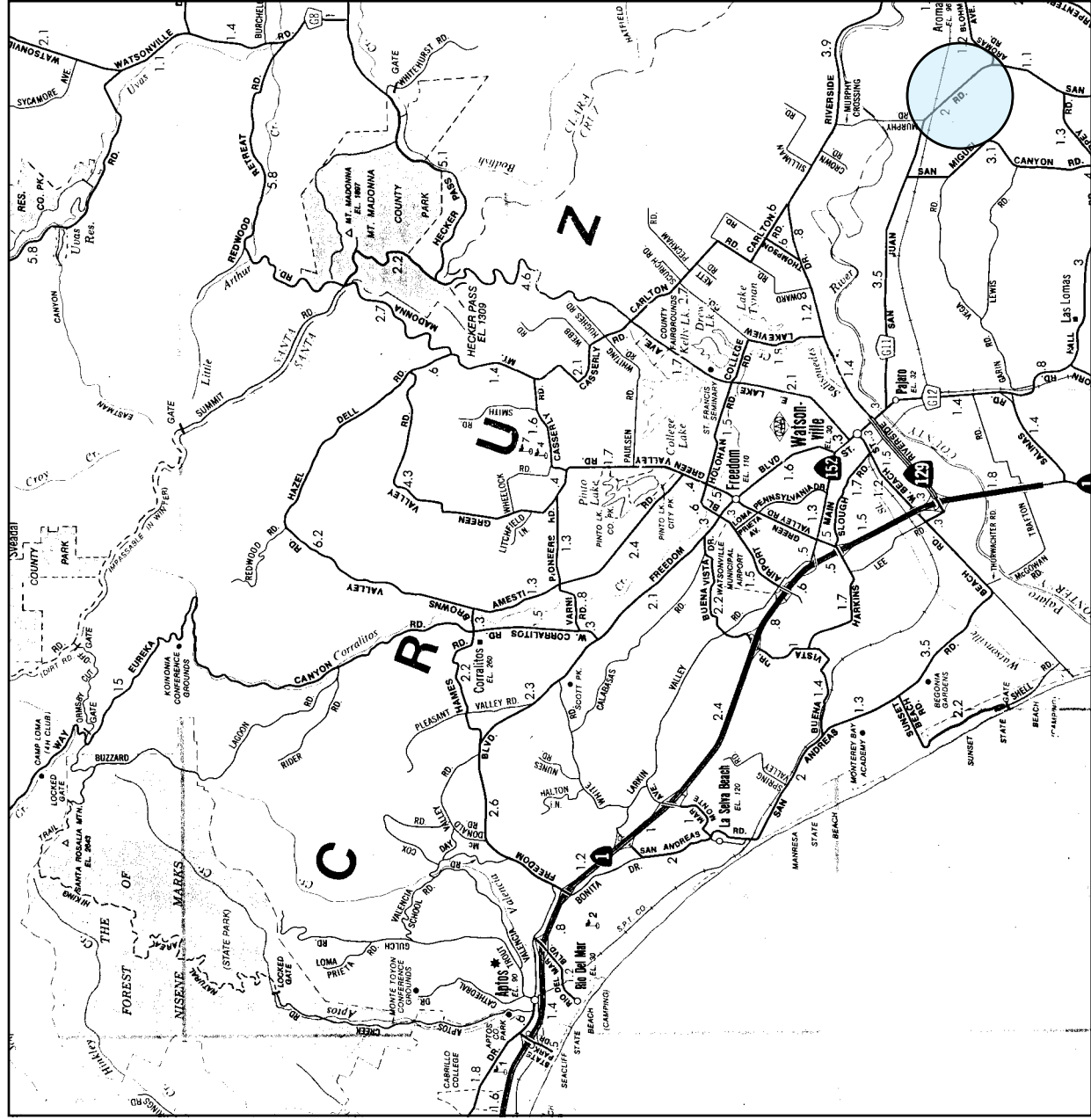
H.L.C.	Height In Clear
H.M.	Hollow Metal
Int.	Interior
K.D.D.F.	Kiln Dried Douglas Fir
M.B.	Machine Bolt
Mfr.	Manufacturer
Max.	Maximum
Mech.	Mechanical
Met.	Metal
Min.	Minimum
N.L.C.	Not In Contact
O.C.	On Center
Opt'g	Opening
Plywd.	Plywood
Pl.	Point
P.A.P.	Powder Actuated Pin
Req'd	Required
Redwd.	Redwood
Sim.	Similar
Struct.	Structural
Temp.	Tempered
Thk.	Thick
T.O.S.	Top of Slab
T.O.W.	Top of Wall
Typ.	Typical
W.	Width
W.I.C.	Width In Clear
Wd.	With Wood

Project Owner:	Driscoll's, Inc. 345 Westridge Drive Watsonville, California 95076
Project Address:	1790 San Juan Road Watsonville, California
Assessor's Parcel Number:	267-043-017
Zoning:	"F"/40" (Farmlands, 40 acre minimum)
Type of Construction:	V-B /II-B
Occupancy Group:	F-1 /S-1
Number of Floors:	One
Fire Sprinklers:	
Support Building:	Yes
Greenhouses / Screenhouses:	No
Gross Parcel Area:	43,646 ± acres
Existing Building Area On Site:	3,070 ± sf
Proposed Building Area:	173,290 ± sf
Total Building Area:	176,360 ± sf
Structure Area Coverage:	9.30%
Impervious Area Coverage (structures + paving):	11.35%
Allowable Building Area:	Unlimited
Proposed Parking:	Based on occupancies, fire sprinklers, and 60' min. yards
Employee Parking:	37 spaces
Visitor Parking:	30 spaces
	7 spaces



Project Data

Vicinity Map



Title Sheet

MARK	REVISIONS
1	County Review 1 02/22/17
2	County Review 2 04/21/17

DRAWN	
CHECKED	
DATE	12.19.16
SCALE	As Noted
JOB NO.	16010

SHEET

A0.1

Existing Use:	Agriculture
Proposed Use:	Agriculture, greenhouses/screenhouses, agricultural support building
Grading:	Minimal grading will be required, and will mostly involve sub-excavation and re-compaction under the building and pavement areas
Soils Work:	Some soil re-compaction will be required under the building and pavement areas per the recommendations of the Geotechnical Engineer.
Site Drainage:	A site drainage plan has been prepared by a Civil Engineer in conjunction with the proposed site improvements.
Water/Wastewater:	Existing wells will provide water service to the facility for domestic, fire suppression, and irrigation uses. Waste water system will be engineered to comply with Monterey County Sewage Disposal Ordinance.

Add parking for 37 vehicles

Add 22,052 sf Support Building to include offices, break room, toilet rooms, fruit lab, mixing room, work area, storage, growth chambers, and cooler

Add 45,808 sf Greenhouses

Add 23,265 sf Greenhouses

Add 1,249 sf Connectors between Support Building and Greenhouses / Screenhouses

Add 12,320 sf Import Greenhouse

Total proposed square feet for Phase 1 = 104,694 sf

Add 45,490 sf Greenhouses

Add 23,106 sf Screenhouses

Energy Efficiency Measures

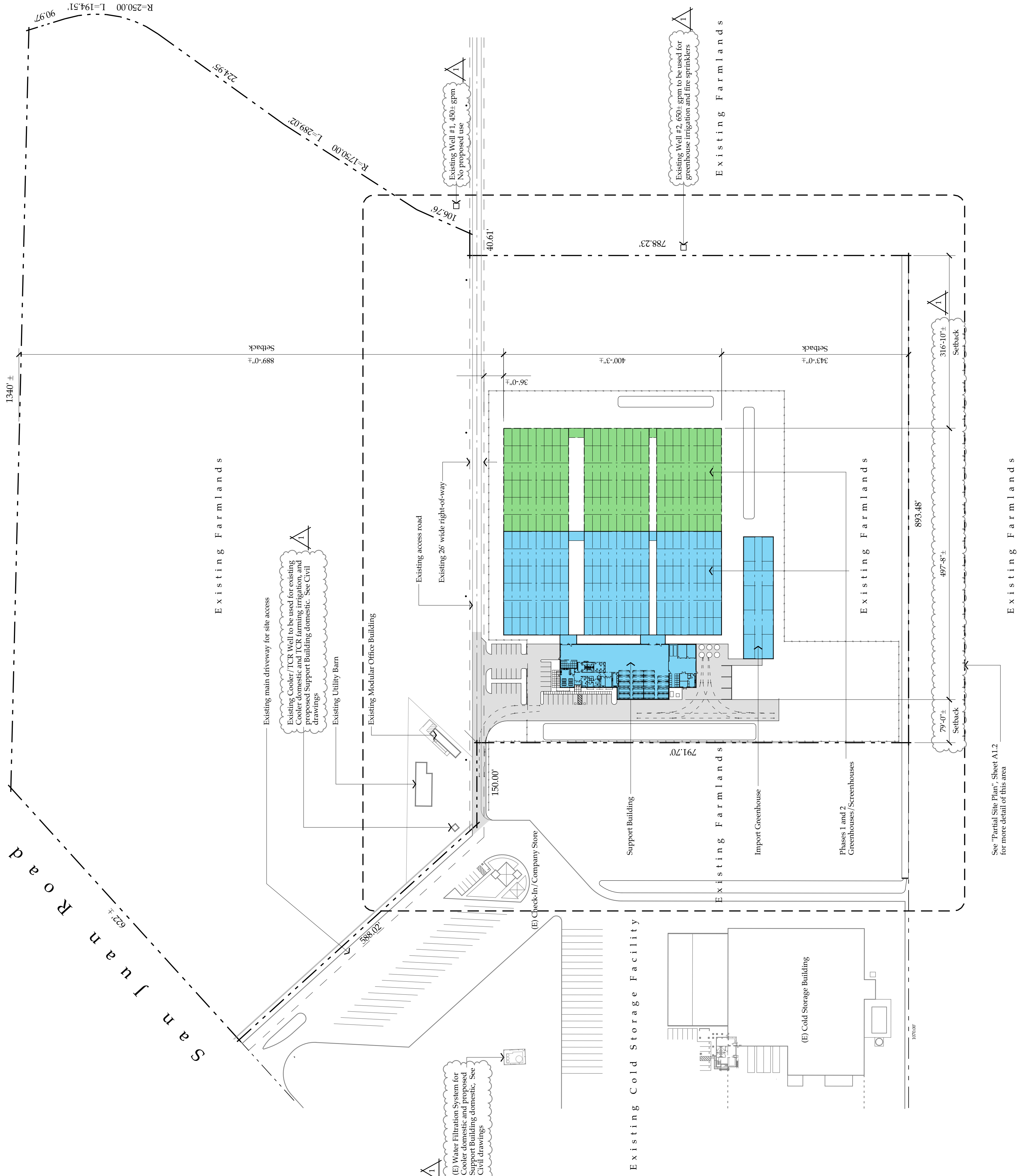
1. Under bench heating
2. Moveable benches
3. Double heat curtains
4. High efficiency boilers
5. VFD's on fans
6. VFD's on pumps
7. Energy management systems
8. LED supplemental heating

MARK	REVISIONS
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2	County Review 2 04/21/17

DRAWN	
CHECKED	
DATE	12.19.16
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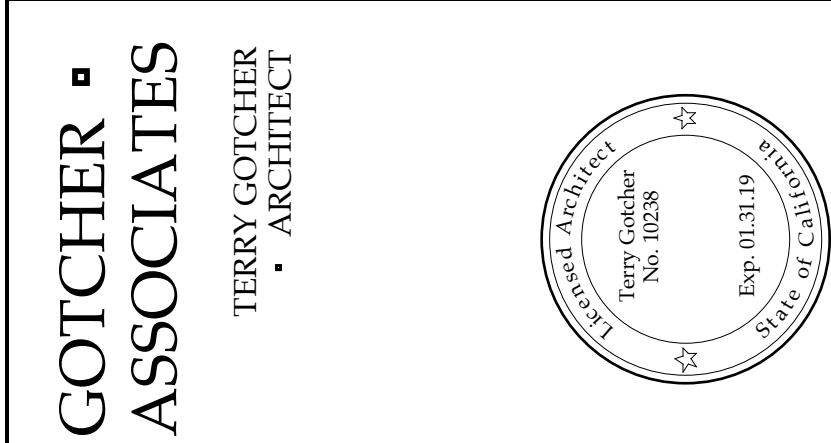
SHEET

A1.1.1



A 2x2 grid with a vertical blue bar in the bottom-left cell.

Scale: 1" = 100'



159 WESTRIDGE DRIVE
WATSONVILLE, CA 95076
(P) 831.724.1977
(C) 831.818.6128
dra4bux@earthlink.net

Breeding
Greenhouse
Facility

for

Driscoll's, Inc.
1790 San Juan Road
Watsonville, California

APN: 267-043-017

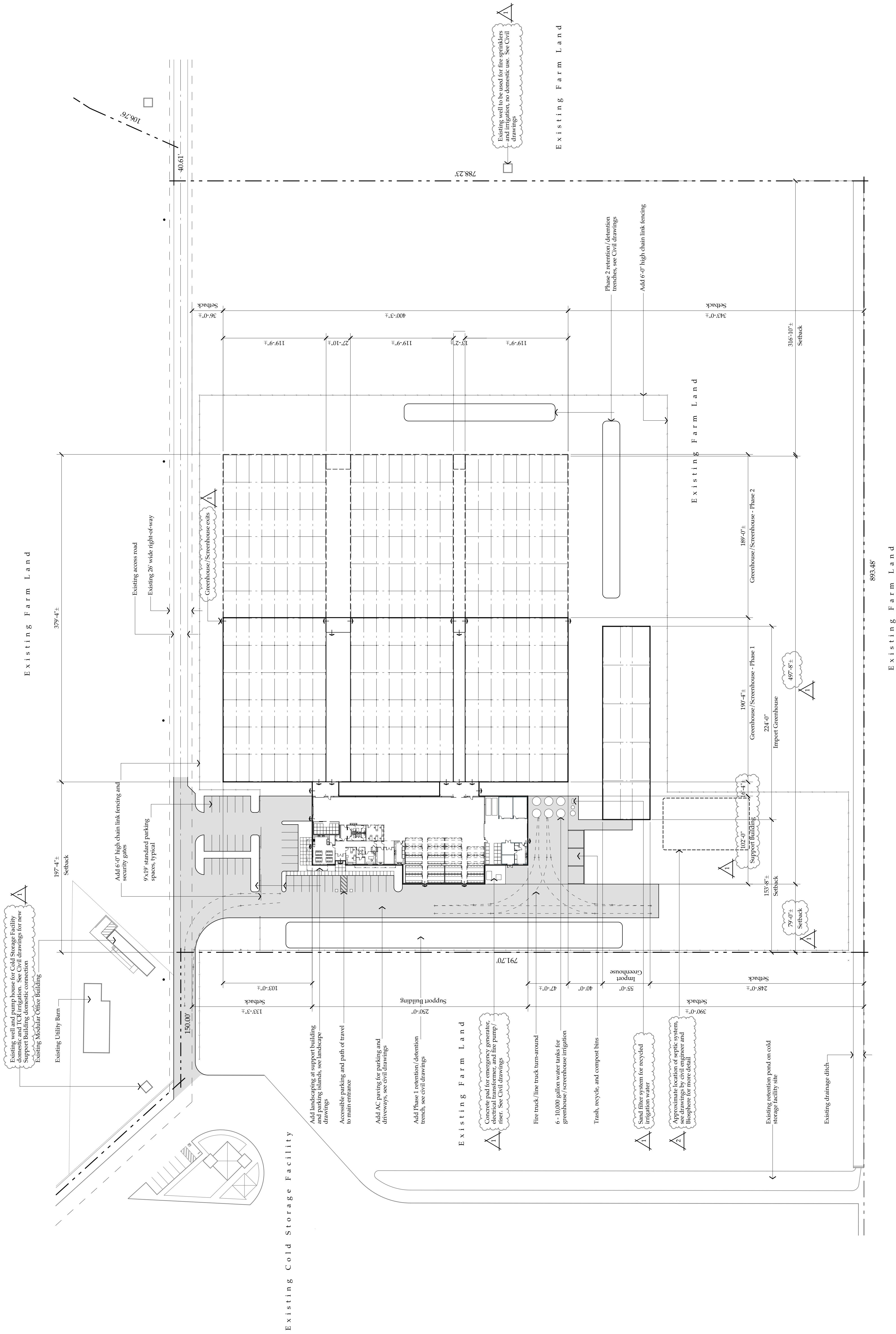
Partial Site Plan

MARK	REVISIONS
1	County Review 1 02/22/17
2	County Review 2 04/21/17

DRAWN	
CHECKED	
DATE	12.19.16
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JOB NO.	16010

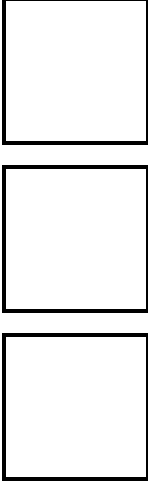
SHEET

A1.2



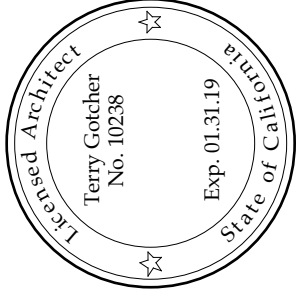
Partial Site Plan

Scale: 1" = 50'



GOTCHER ▯
ASSOCIATES

TERRY GOTCHER
• ARCHITECT



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Floor Plan *at*
Support Building
"C" *thru* "K"

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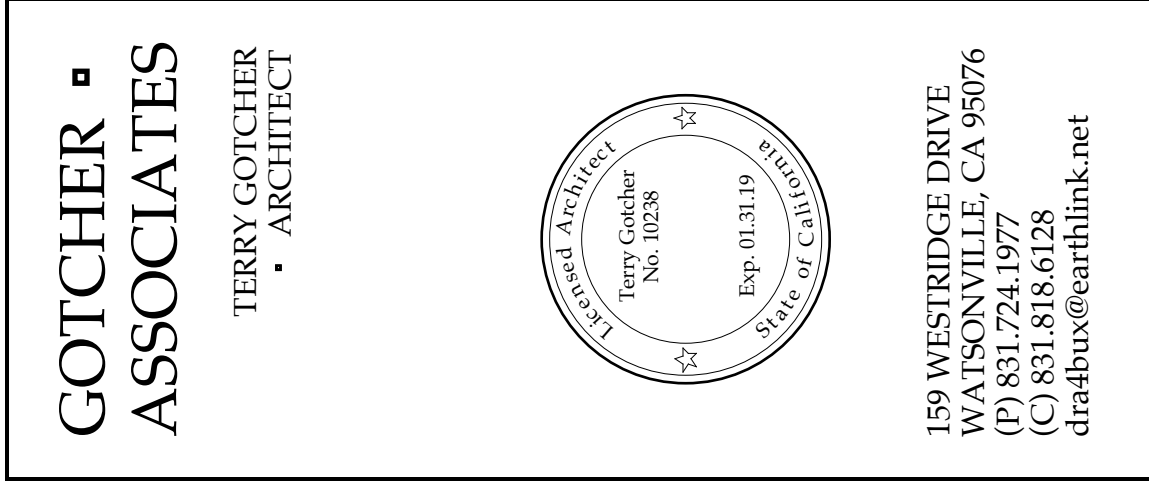
SHEET
A2.1



Floor Plan *at* Support Building "C" *thru* "K"

Scale: 1/8" = 1'-0"

23,760 sf



Breeding
Greenhouse
Facility

for

Driscoll's, Inc.
1790 San Juan Road
Watsonville, California

APN: 267-043-017

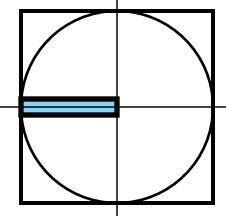
Floor Plan *at*
Support Building
"A" thru "G"

MARK	REVISIONS
1	County Review 1 02/22/17
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DRAWN	
CHECKED	
DATE	12.19.16
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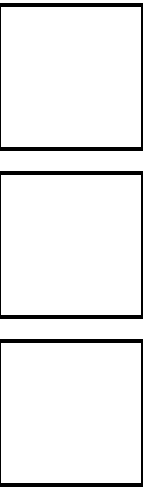
A2.2

SHEET



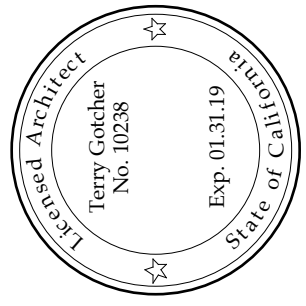
Floor Plan *at* Support Building "A" thru "G"

Scale: $1/8" = 1'-0"$



GOTCHER ▣
ASSOCIATES

TERRY GOTCHER
• ARCHITECT



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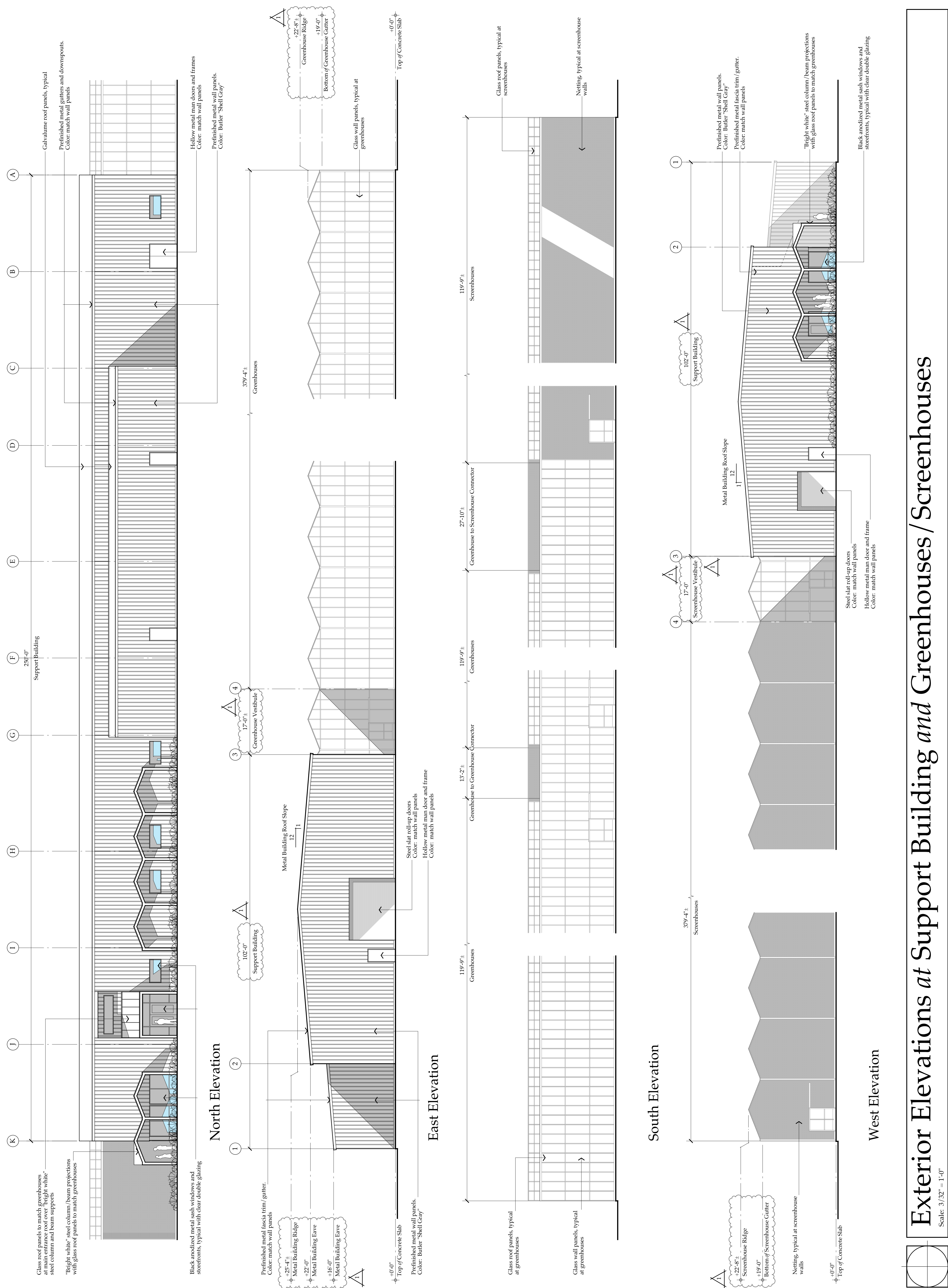
Exterior
Elevations *at*
Support Building
and Greenhouses /
Screenhouses

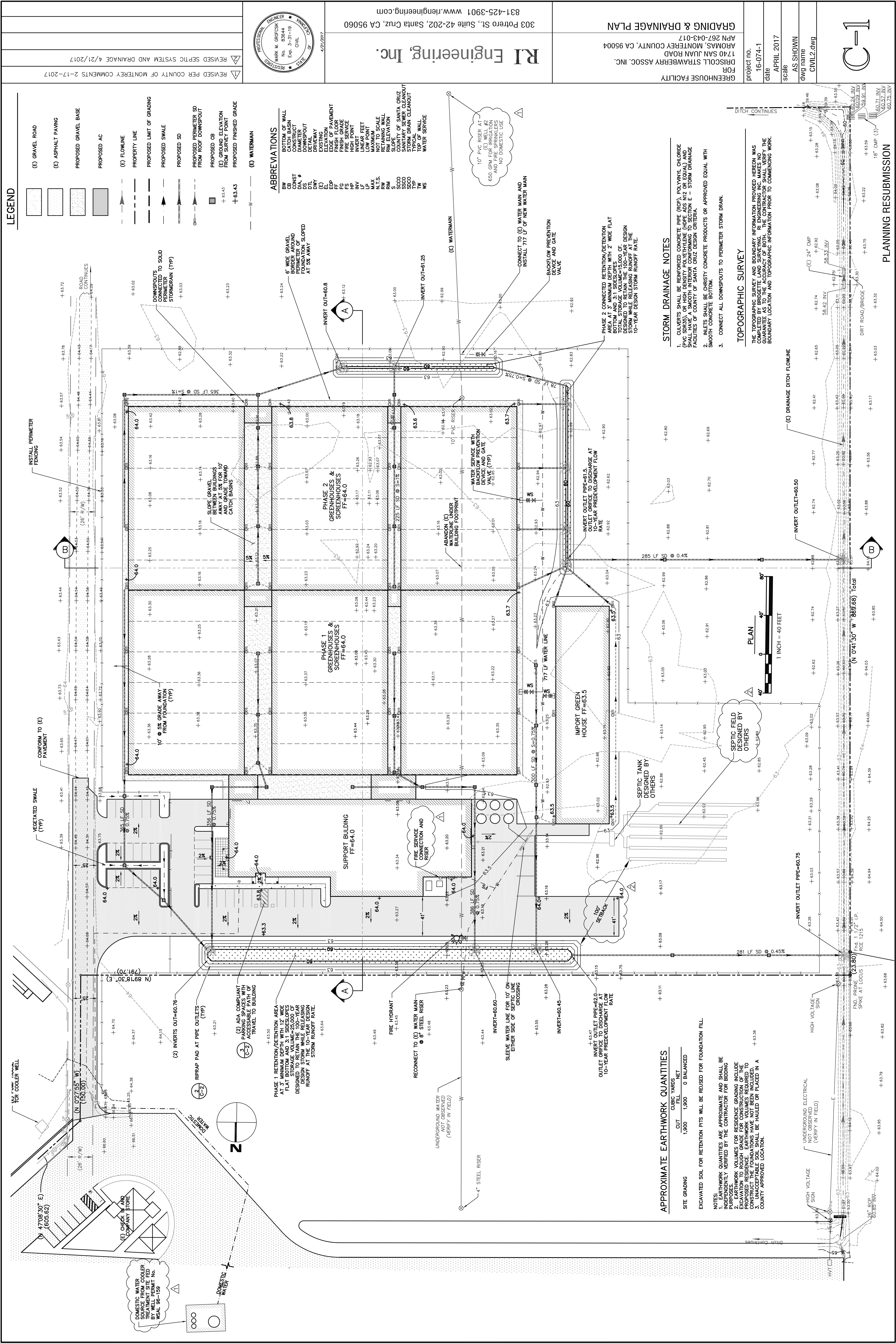
MARK	REVISIONS
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<div>2</div>	County Review 2 04 / 21 / 17

DRAWN	
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DATE	12.19.16
SCALE	As Noted
JOB NO.	16010

SHEET

A3.1



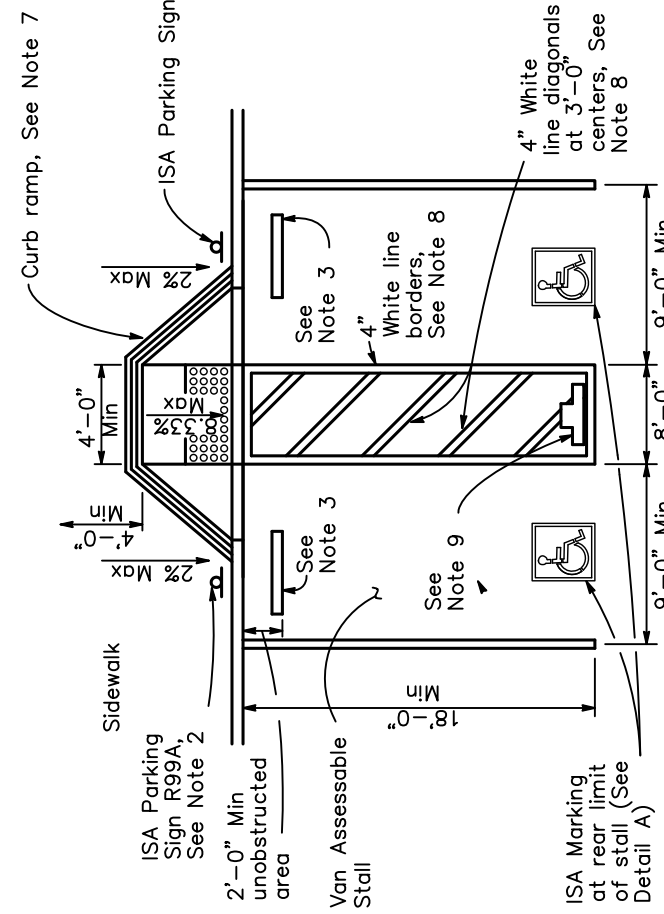


EARTHWORK AND GRADING

- WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF SUBGRADE, EARTHWORK, GRADING, FILL, EXCAVATION, COMPACTION AND CONTROL OF FILL AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS AND SHALL ALSO BE DONE IN ACCORDANCE WITH THE MOST STRINGENT GUIDELINE SHALL PREVAIL.
3. REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY PACIFIC CREST ENGINEERING INC. ENTITLED "GEOTECHNICAL REPORT FOR PROPOSED GREENHOUSE FACILITY," DATED NOVEMBER 2016. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL CONTACT PACIFIC CREST ENGINEERING INC. FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
5. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
6. STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6" WITH A COMBINATION OF THE FOLLOWING: (1) A MINIMUM OF 80% EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION), SUBGRADES AND SUBBASES SHALL BE COMPACTED TO A MINIMUM OF 95%.
7. ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 12" MAXIMUM LIFT THICKNESS, EACH LIFT SHALL BE COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
8. MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED REPORTS BY PACIFIC CREST ENGINEERING INC.
9. IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED GEOTECHNICAL INVESTIGATION.
10. ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO OBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
11. BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.
12. SUBGRADE BELOW FOUNDATIONS WILL BE OVEREXCAVATED AND RECOMPACTED, LIME TREATED, OR TREATED WITH AN APPROVED ALTERNATIVE PER THE GEOTECHNICAL RECOMMENDATIONS.

NOTES:

1. Accessible parking spaces serving a particular building shall be located on the shortest accessible route of travel from adjacent parking to an accessible entrance. In parking facilities that do not have a central parking area, accessible spaces shall be located on the shortest accessible route of travel to an accessible pedestrian entrance of the parking facility.
2. One in every eight accessible off-street parking stalls, but not less than two, shall be provided for persons with disabilities. The minimum width and shall be signed van accessible. The R99 "ISA Parking" sign shall be mounted below the R99 "ISA" sign.
3. In each parking stall, a curb or bumper shall be provided and shall be located so that it is able to traffic. The width of walkways, parking stalls shall be so located that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own.
4. Surface slopes of accessible off-street parking stalls shall be the minimum possible and shall not exceed 2 percent in any direction.
5. Where R99 "ISA Parking" or R99A "Van Accessible" signs are installed, the bottom of the sign panel shall be a minimum of 4'-0" above the surrounding surface.
6. Curb ramps shall conform to the details shown on CALTRANS Standard Plan 688A.
7. The words "NO PARKING", shall be painted in white letters no less than 1"-0" high and located so that it is able to traffic. Traffic shall be painted in white letters no less than 1"-0" high and located so that it is able to traffic. The words "NO PARKING" pavement marking.
8. A R100B sign shall be posted in a conspicuous place at each entrance to off-street parking facilities or immediately adjacent to the entrance to off-street parking facilities. The sign shall be located where the towed vehicle may be reclaimed and the telephone number of the local traffic law enforcement agency.
9. Where a single (non-van) accessible parking space is provided, the loading and unloading access shall be on the passenger side of the vehicle. Where a van accessible parking space is provided, the loading and unloading access shall be on the driver side of the vehicle. Where a towed vehicle parking space is provided, the loading and unloading access shall be on the passenger side of the vehicle. Where a towed vehicle parking space is provided, the loading and unloading access shall be on the driver side of the vehicle.



DOUBLE PARKING STALL

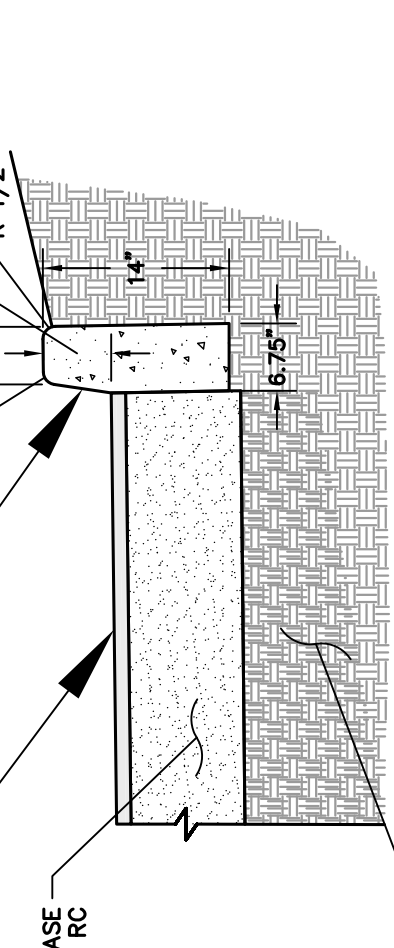


SECTION

RIP RAP PAD DETAIL (C-2)

PAVEMENT SECTIONS

MATERIAL	PARKING STALL	TRAFFIC AISLES	TRUCK AREAS
ASPHALT CONCRETE	3 INCHES	3 INCHES	4 INCHES
CLASS 2, AGGREGATE BASE R=75 MIN	8 INCHES	10 INCHES	8 INCHES
CLASS 2, AGGREGATE SUB BASE, R=50 MIN			8 INCHES

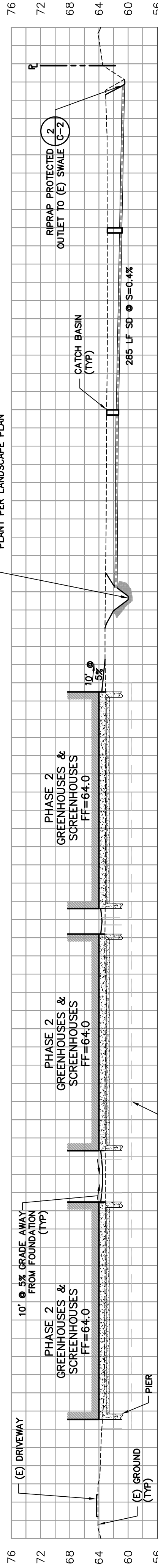


PAVEMENT DETAIL (C-2)

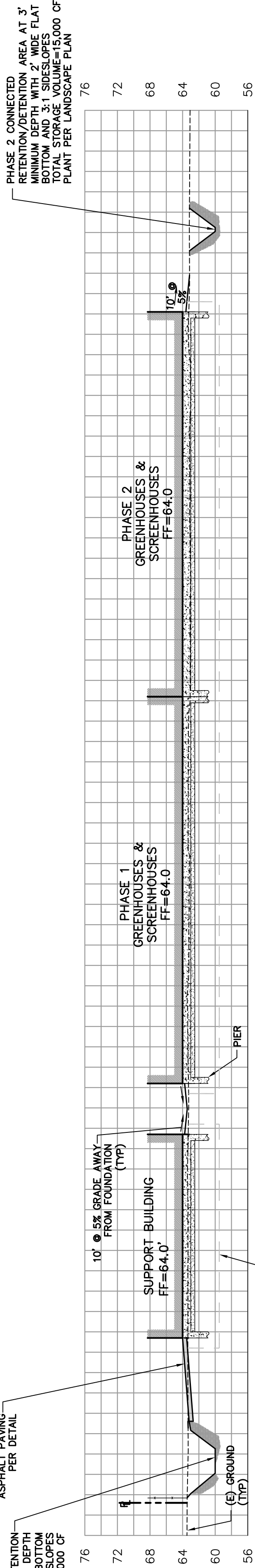
ADA PARKING STALLS PER CALTRANS DETAIL A90A (C-2)

DETAIL A

ISA MARKING FOR ACCESSIBLE PARKING SPACE OR STALL (See Std Plan A24C)



SECTION B-B
SCALE: 1"=40' HORIZONTAL, 1"=10' VERTICAL
4:1 VERTICAL EXAGGERATION



SECTION A-A
SCALE: 1"=10' HORIZONTAL, 1"=10' VERTICAL
4:1 VERTICAL EXAGGERATION

IMPERVIOUS AREA AND PRELIMINARY DRAINAGE CALCULATIONS

EXISTING CONDITIONS

10-YEAR 24-HOUR DESIGN STORM
RAINFALL INTENSITY=0.16 IN/HOUR
RAINFALL DEPTH (NOAA)=3.87 IN
100-YEAR 24-HOUR DESIGN STORM
RAINFALL INTENSITY=0.25 IN/HOUR
RAINFALL DEPTH (NOAA)=6.19 IN
EXISTING LAND USE: AGRICULTURAL
RATIONAL METHOD RUNOFF C VALUE = 0.30
10-YEAR DESIGN STORM, Q_{peak10} = 0.28 CFS
100-YEAR DESIGN STORM, Q_{peak100} = 0.39 CFS

PROPOSED CONDITIONS

IMPERVIOUS AREA:
ASPHALT: 14,100 SF
TOTAL IMPERVIOUS AREA = 1,850 SF
SUPPORT BUILDING = 21,920 SF
CONNECTORS = 3,350
TOTAL IMPERVIOUS AREA = 137,570 SF
IMPORT SCREENHOUSE = 12,200
TOTAL IMPERVIOUS AREA = 231,310 SF

RATIONAL METHOD C VALUE = 0.80

10-YEAR DESIGN STORM, Q_{peak10} = 0.78 CFS

100-YEAR DESIGN STORM, Q_{peak100} = 1.16 CFS

SOIL INFILTRATION RATE = 2.00 IN/HOUR (FROM SEPTIC PERC TESTING AND WEBSOL SURVEY DATA)

STORAGE REQUIRED TO RETAIN THE 100-YEAR DESIGN STORM MINUS THE 10-YEAR PREDEVELOPMENT FLOW RATE AND INFILTRATION = 39,600 CUBIC FEET

PROVIDED STORAGE VOLUME IN RETENTION/DETENTION AREAS = 40,000 CUBIC FEET.

THE RETENTION/DETENTION AREAS WILL MITIGATE INCREASES IN RUNOFF DUE TO PROPOSED IMPERVIOUS AREAS FOR BUILDINGS AND PAVEMENT.

Plant Legend

KEY	QTY	SIZE	WATER USE	BOTANICAL NAME	COMMON NAME
TREES					
AM	3	15	LOW	Abutilon Mafimo	Gold Medallion Tree
CO	9	15	LOW	Cercis occidentalis	Western Redbud
MEDIUM SHRUBS					
CE	8	5	LOW	Chorodaphnolium alaphanthium	Large Cape Rush
LO	11	5	LOW	Loropetalum chinense Plum Delight	Tall Rosemary
RO	26	5	LOW	Rosmarinus Blue Sprays	Fornight Lily
DV	8	5	LOW	Dieris vegeta	
GROUND COVERS					
AP	33	1	LOW	Actinophyllos Pacific Mist	Marzonilla
CH	17	1	LOW	Ceanothus Yankee Point	
CK	26	1	LOW	Calamagrostis Karl Foerster	Pacific Reed Grass
SL	13	1	LOW	Salvia leucantha	Mexican Sage
JP	14	1	LOW	Juncus polaris	Grey Rush

Hydroseeding Mixes

Long term erosion control hydroseeding in bio retention areas	
Use a straw erosion control blanket on steeper slopes 3:1 and over	
Pacific Coast Seed - Native Ornamental Bluewale Mix	
lbs./Acres	Species/Common Name
20	Festuca rubra Molde, (Molde Blue Fescue)
10	Festuca occidentalis, (Western Fescue)
8	Deschampsia cespitosa holciornis, (California Holgrass)
2	Carex proserpicilis, (Deer Bed Sedge)
50 lbs. per acre total	

HYDROSEED SLURRY FOR BOTH SEED MIXES

Seed mix as specified

Fertilizer @ 800 lbs./acre Blueol 7-3-1 Organic

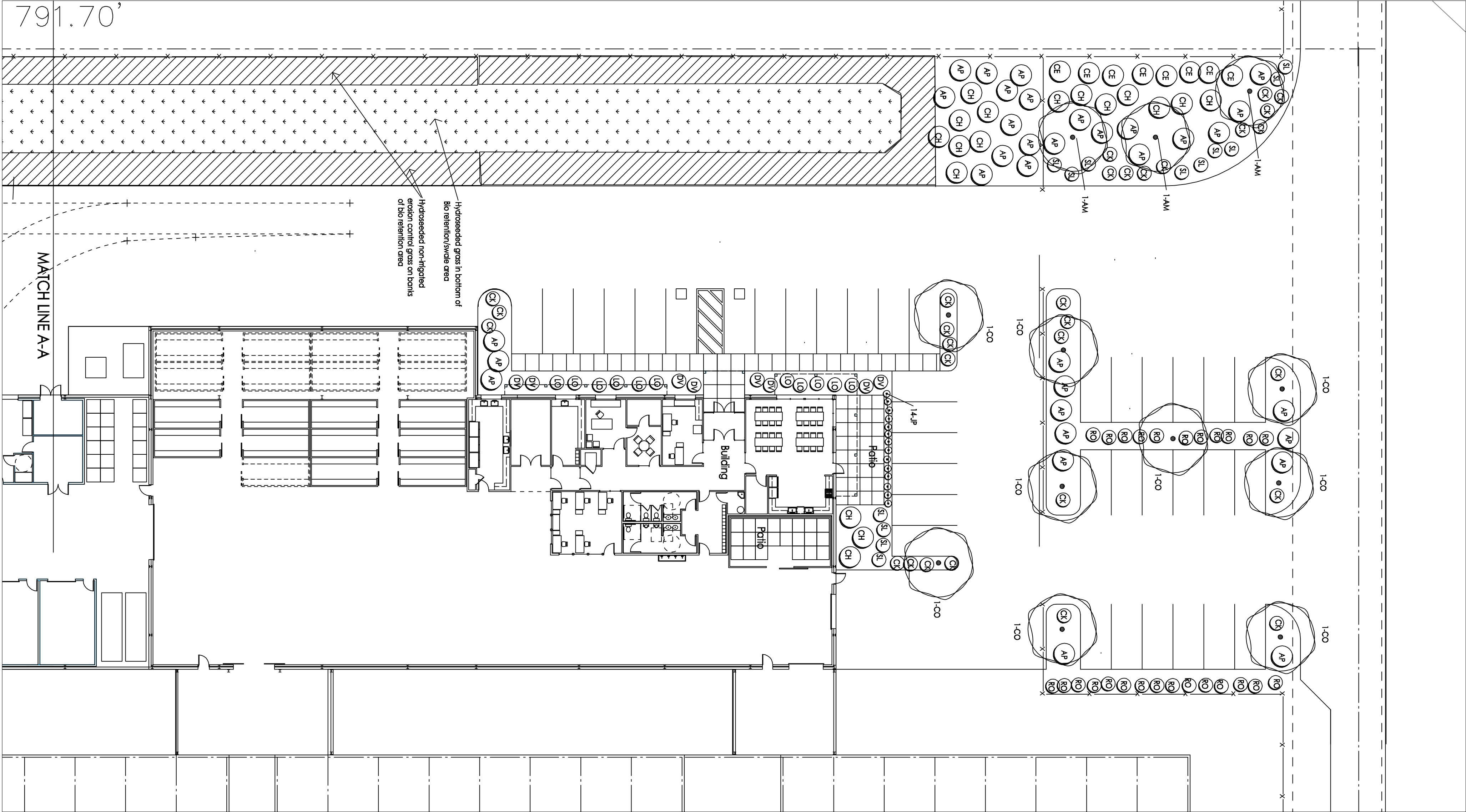
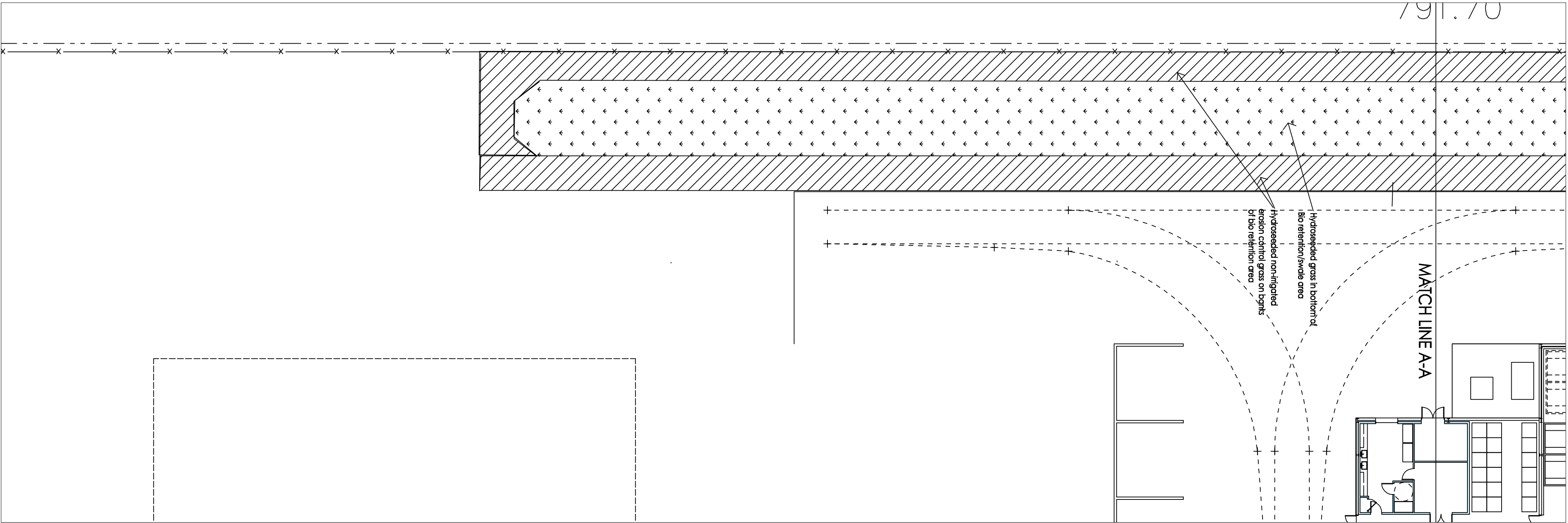
lockfiller @ 80 lbs./acre - Fyllum based such as M Binder

Fiber @ 2000 lbs./acre Cellulose Mulch

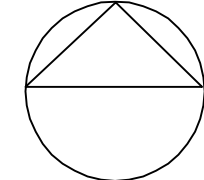
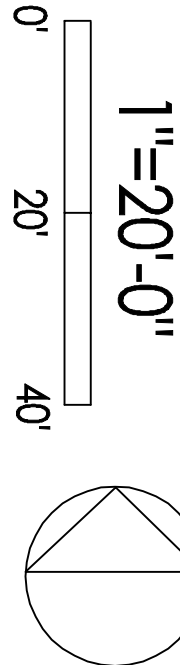
	Long term erosion control hydroseeding on graded areas
	Use a straw erosion control blanket on steeper slopes 3:1 and over
	No supplemental irrigation is being proposed. This is watered by rain.
	Success of the growth will vary according to the amount and timing of rain.
	Temporary supplemental irrigation may be needed to get it started depending on the time of year planted and the weather
City of Watsonville Erosion Control Standard Mix	
lbs./Acres	Species/Common Name
25	Bromus cernuatus
10	Elymus glaucus
6	Vulpia microstachys
4	Triticum ciliatum
45 lbs. per acre total	

Landscape Notes

- 1) Final landscape construction drawings meet the requirements of the CA state MWEO Model Water Efficient Landscape Ordinance
- 2) Exact location of plants on site to be adjusted so as to best coordinate with irrigation locations, lights, drainage features, and swales
- 3) Use 3 inch deep mulch in all shrub and ground cover planting areas. Provide owner with different mulch samples and prices including Redwood Sawdust or dark brown monogony colored Wonder Mulch from Vision Recycling. Bid the Wonder Mulch. Pick a mulch that will not float or plug up drains or overflows when some of the area flood temporarily. Hydromulched, seeded area will have the hydromulch and no additional Wonder Mulch or other mulch top dress.
- 4) Install plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, if no one is available to answer questions, assume that any plant circle scaled less than 8" wide is 5 gal. size and any circle scaled larger is 24" box size
- 5) The plan is schematic. Don't install plants too close to edges of paving of buildings. Be sure plants are not blocking sprinkler spray excessively. Keep voices and quick couplers away from trees
- 6) See specs. concerning soil amendments and fertilizer. For bidding purposes, until the soil mononement test/report is done, bid 6 cubic yards of nitrified reduced sulfur oxidant or BR Super Humus Control and 16 pounds of 12-12-12 fertilizer filled into the top 6" to 8" of soil after ripping soil to 12" deep, except under existing trees or on steep slopes.
- 7) Don't trench too close to structures without getting an OK from the building architect or structural engineer.
- 8) Prior to signing contract for work or ordering plants check with landscape architect to make sure you have the current drawings and to make sure there aren't any plant changes
- 9) After grading operations are done and the soil that the plants will be installed in is in place a laboratory soils test and analysis of the soil must be submitted to the Landscape Architect with site specific recommendations for soil amendments and fertilizers. The soil test analysis and recommendations for soil amendments and fertilizers is to be done by the soil lab and the landscape architect will review it. See the CA State MWEO for more details concerning the soil fertility testing.



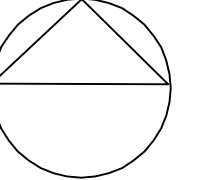
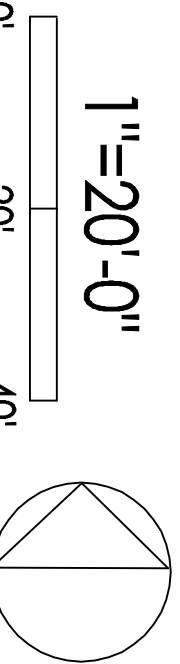
Planting Plan



I, Gregory Lewis, landscape Architect, certify that this planting plan complies with all Monterey County landscaping requirements including but not limited to the use of native/drought tolerant non-invasive species and limited turf.

Gregory Lewis 12/19/16

Planting Plan

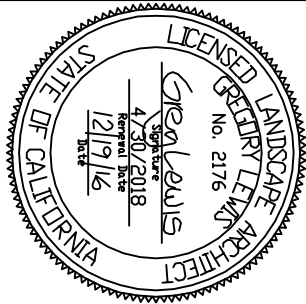
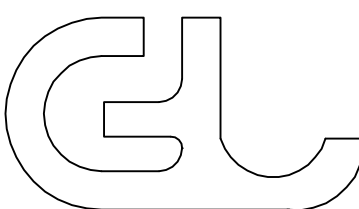


Revision

GREGORY LEWIS LANDSCAPE ARCHITECT #2176

736 Park Way Santa Cruz, CA 95065 (831) 425-4747

lewislandscape@sbcglobal.net



Breeding Greenhouse Facility

1790 San Juan Road, Watsonville, CA

for Driscoll Strawberry Associates, Inc.

Date 12/19/16

Scale 1"=20'-0"

Drawn Greg

Job 39661

of 5

Irrigation Legend

KEY	MANUF. #	DESCRIPTION
Ⓔ	Hunter Two IC-600PL	2 Controller with enough modules for 12 stations (expandable) 8 programs are required for 8 hydrozones
Ⓘ		wall mount exterior with Wireless Solar Sync On-Site Weather Station. Controller will change it's program based on current weather conditions. install weather sensor where it will get full sun and fan.
Ⓕ	Fibco 825V 1"	Reduced freeze protection blanket Provide freeze protection blanket Hunter GSV 101 G Master Valve and Hunter Flow Click and FCI 3/4" Irrigation Sub Water Meter
Ⓙ		Manual shutoff ball valve in valve box same size as pressure line
Ⓚ	Hunter PCV 101 G	1" globe valve with 1" drip filter and 30 psi pressure regulator below grade in valve box large enough to service the filter
Ⓛ	Hunter PCV 101 G	1" globe valve below grade in valve box - for spray heads
Ⓜ	Rehobird 33 DLAC	3/4" Quick coupler with locking cover and 2 piece body below grade in valve box - provide one key and one hose swivel
Ⓝ	Hunter MP 2000	MP Roditor stub head 18" above grade with redco stake
Ⓟ		Nonpressure line - CL 200 PVC 3/4" unless noted for larger size - 12" cover - pipes less than 2" to be Sch 40 PVC
Ⓡ		1-1/4" Pressure line - Sch 40 PVC - 18" of cover (24" of cover under A.C. paving) Lines under paving Sch 40 PVC - 24" of cover
Ⓢ		Pressure line - 1-1/4" Sch 40 PVC
Ⓣ		Non Pressure line - 1-1/4" Sch 40 PVC
Ⓤ		1-1/4" gray elec. conduit for control wires.
Ⓡ		Also install on extra capped 1" water line for future use under paving
Ⓣ		3/4" PE drip tubing with compression fittings - see drip notes
Ⓤ		All lines under pavement to be sleeved using a Sch 40 PVC sleeve 2 sizes larger than the pipe inside

Irrigation Notes

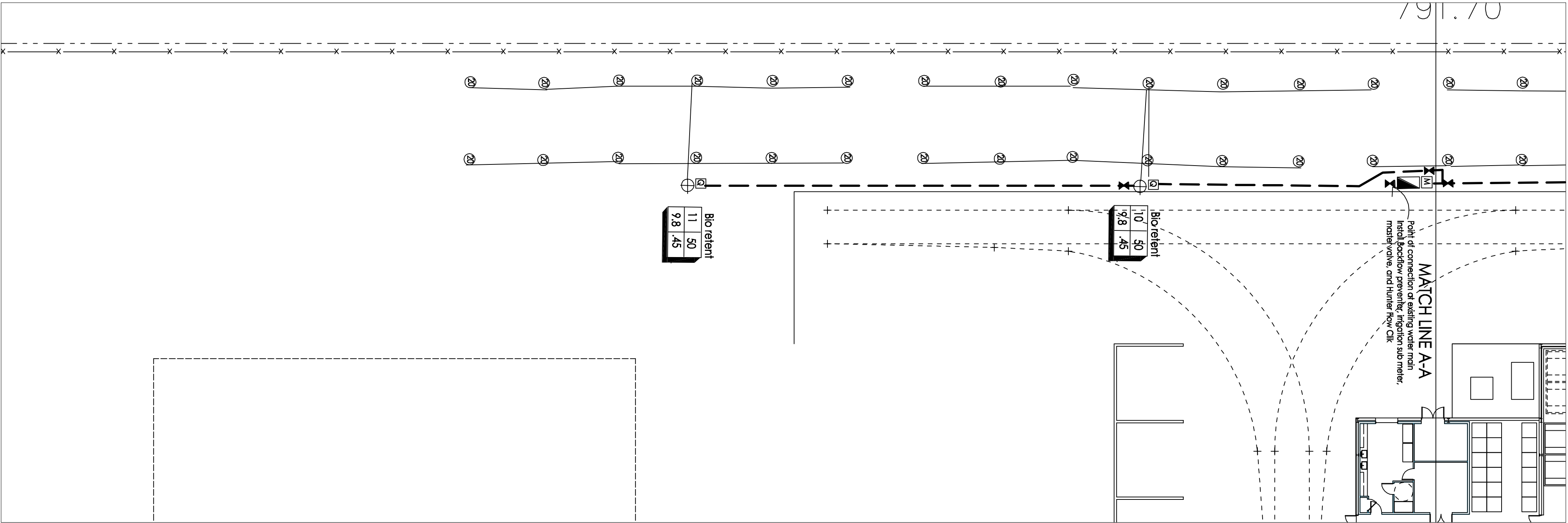
- See sheet 13 and 14 for details and specifications
- The system is designed to operate with minimum 10 GPM at minimum 70 p.s.i. at the point of connection. If this condition is not met contact the Landscape Architect for possible redesign. If pressure exceeds 75 psi at point of connection install a Wilkins 600 1" pressure regulator.
- Detector tape should be installed with any pressure lines not buried in the same trench with control wires and with any lines of any kind under paving not in a trench with control wires.
- All valve groupings provide a threaded capped pressure line about 6" so it is easy to add additional valves later. Run a few extra wires to these locations from the controller.
- Electric controllers should be set to water between 6:00 PM and 10:00 a.m. to avoid watering during times of higher wind or temperature and programmed with repeat cycles to avoid runoff. This is not as important for drip but is not directed by the wind. Set irrigation schedule according to plant's water needs.
- Red 12 extra control wires from the controller to the far end of each bag and to the furthest end of each hydrozone. Run the extra wires under the paving and to the end of the zone. If needed it is necessary in the future - does not apply in this case because valves are all in one place
- The routing of sprinkler lines is schematic on this plan. Do not put valves too close to trees. Stay 8' to 10' away if possible. Do not put pressure lines under trees. Install line in planting areas instead of under paving whenever possible.
- The controller is to include an additional separate cost for an Irrigation Audit by a certified Irrigation auditor just in case it is required. The water audit should include irrigation schedules for when the plants are first starting and needing more water and a schedule for when they are more established and need less water
- Provide a hydrozone summary and a color coded reduced plan showing which areas are irrigated by which valves to put in the controller box
- Install the Solar Sync weather sensor where it will receive full sun and rain.
- Install a master automatic valve close to the backflow preventer that comes on when it's time to irrigate and turns off after irrigation so that the lines are not always pressurized and a broken valve will not leak all the time. Also install a Hunter Flow Click and FCI Sensor to detect breaks in the system and shut it off until it can be fixed.
- Install sufficient check valves to keep excess water from draining out of the system when it is shut off to avoid backflow into the system.
- If an irrigation water audit is required the Landscape Contractor is to include the cost in his bid along with the cost to correct anything the Irrigation water auditor requires.
- Notify the Landscape Architect at least a week prior to landscape construction. The County will probably require construction observation.

Drip Irrigation Notes

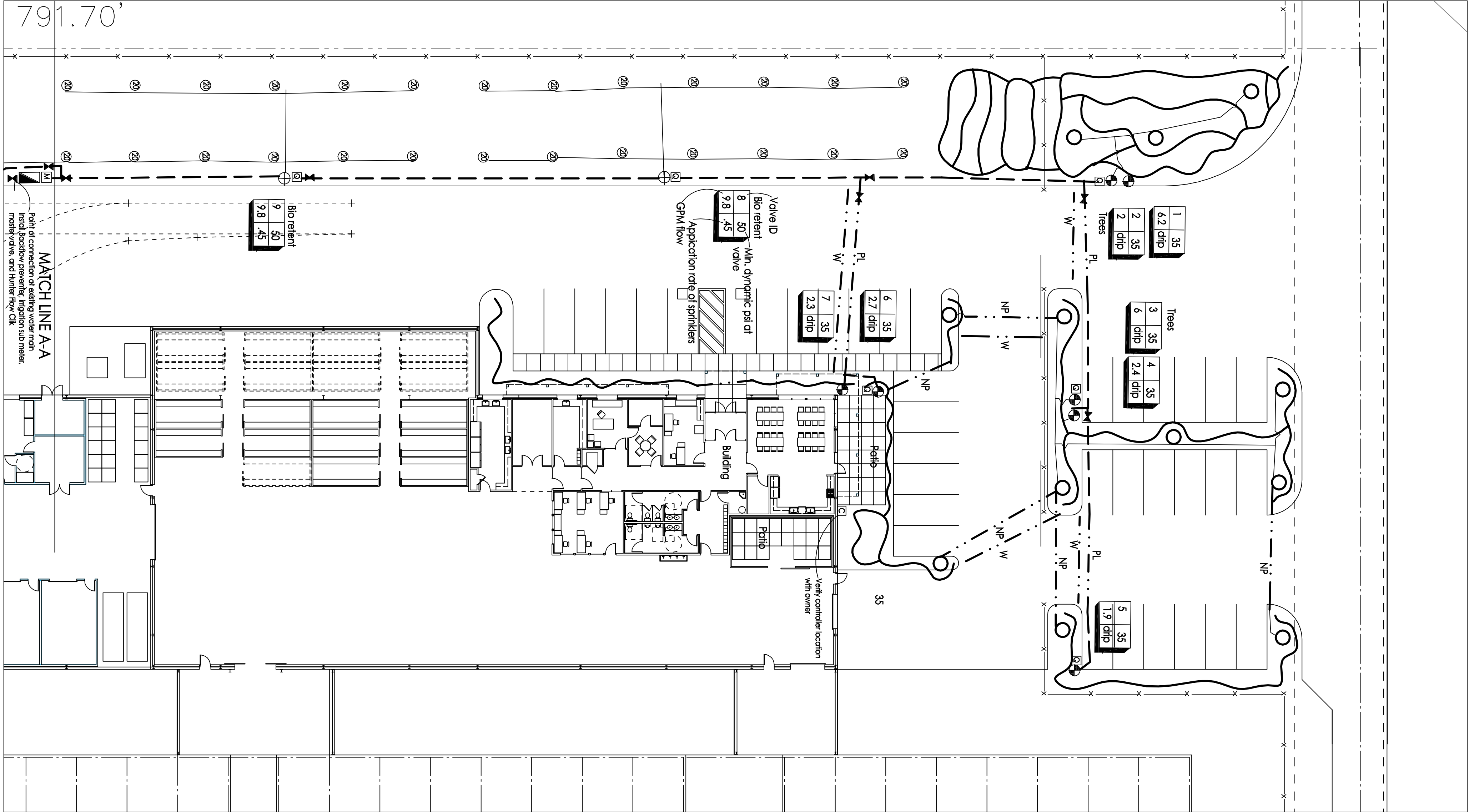
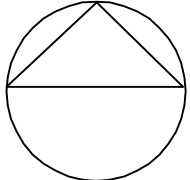
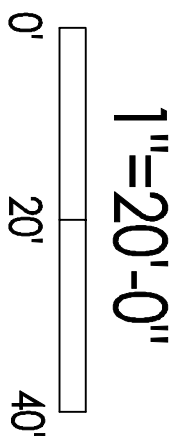
- Secure larger 3/4" drip tubing 1" below grade with 7" or 11" U-shaped stakes 3 feet on center or closer so that the tubing can be found easily but does not show if the mulch gets brushed away. Cover tubing with soil and mulch and install manual Italian valves at ends of tubing and mark them so they can be found easily.
- Run large tubing over top of or right next to edge of plant rootbolls to minimize length of smaller 1/4" tubing. Secure emitters on 3/4" tubing from emitters to plant root bolls. When necessary run short lengths of 1/4" tubing from emitters to plant root bolls. Install stakes on 1/4" tubing at 12" on center and cover tubing with 1" of soil plus mulch.
- As the plant and plant rootbolls increase in size, the locations of the emitters may need to be adjusted so they are evenly spaced over the rootball.
- Install pressure compensating emitters with minimal difference in flow between 10 PSI and 40 PSI at each plant on root ball (not right at stem). Use Agrium C-100 pressure compensating emitters. Use the 1/4" tubing and 1/4" tubing can be secured to. Other emitters may have a higher discharge rate at startup requiring larger pipe sizes.

Emitter schedule:

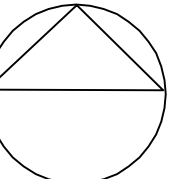
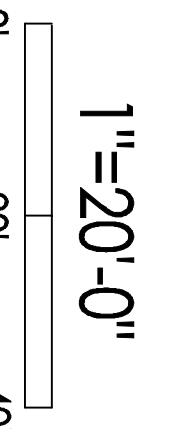
- Two 2 GPH emitters at small ground covers and shrubs (eventual size) JP
- Three 2 GPH emitters at medium shrubs. AP CHSLC,R,D,V,L,O
- With shrubs that have multiple emitters, put some at edge of root ball (not right on stem) and some out under future canopy. Space emitters evenly in future root zone area.
- Trees to have six 2 GPH emitters at root ball and 14 additional 2 GPH emitters under future canopy of tree at 2x2' grid spacing



Irrigation Plan



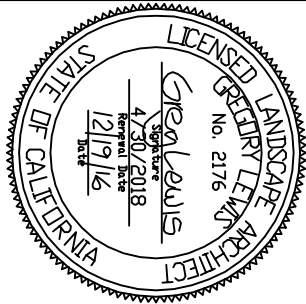
Irrigation Plan



Revision

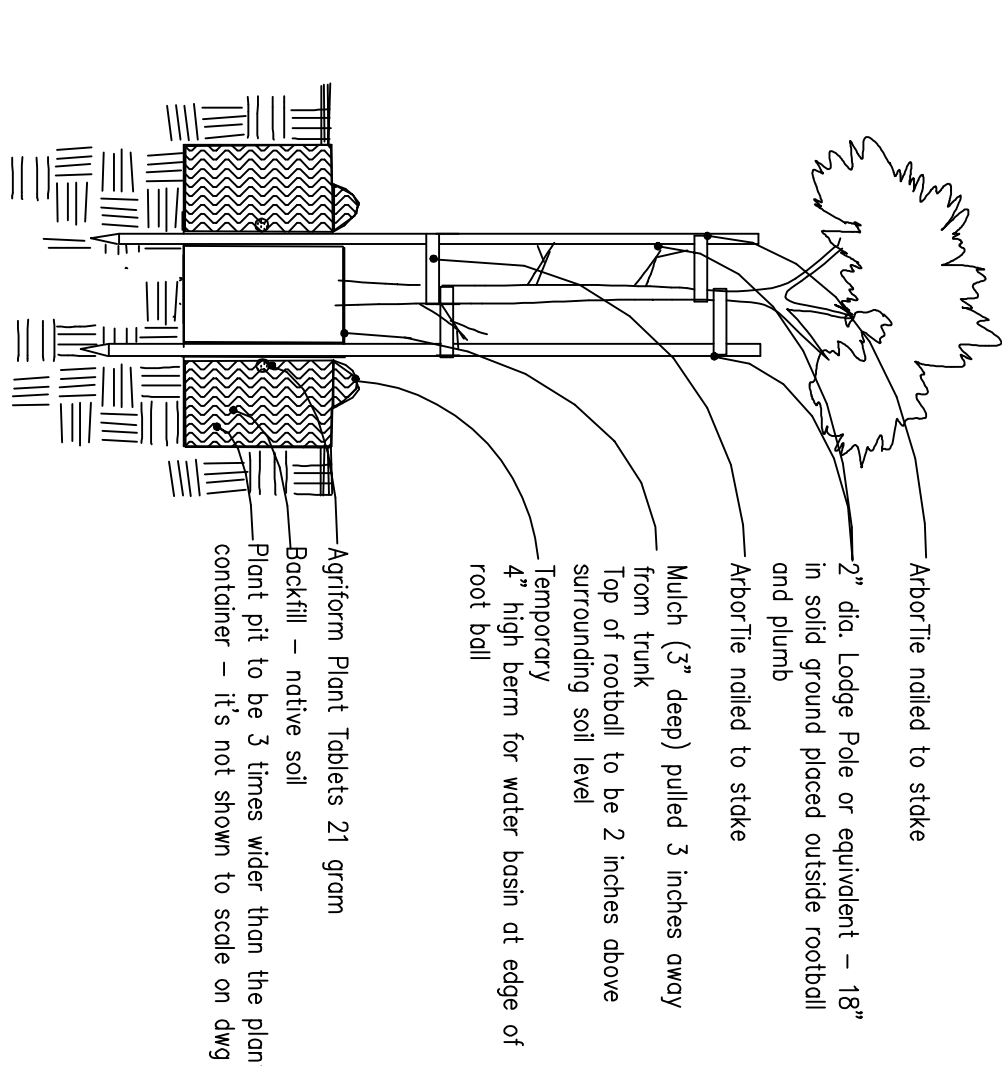
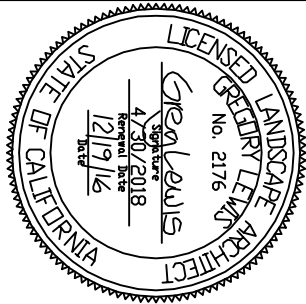
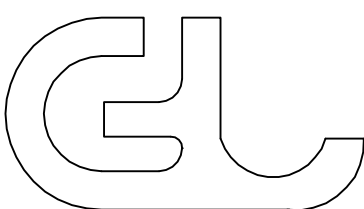
#2176

GREGORY LEWIS LANDSCAPE ARCHITECT
736 Park Way Santa Cruz, CA 95065 (831) 425-4747
lewislandscape@sbcglobal.net



Breeding Greenhouse Facility
1790 San Juan Road, Watsonville, CA
for Driscoll Strawberry Associates, Inc.

Date	12/19/16
Scale	1"=20'-0"
Drawn	Greg
Job	39661
Sheet	of 5



- thoroughly wet root balls.
- 1) Dig hole of least 2" less deep than the container and 3 times wider than the diameter of the container the plants were delivered in.
 - 2) Gauge holes in the side of the plant pit – 2 holes per sq. ft. of wall surface
 - 3) Remove rootball carefully from container with support from below. Sever any circling roots (3/16" dia. or greater) with sharp knife. Do not pull roots apart. The severing of large roots will encourage new roots at the cuts. Install enough backfill under root ball so top of rootball ends up 2" above grade of surrounding soil when it settles. Install some of fertilizer pockets under root ball.
 - 4) Fill around rootball with backfill mix to 1/2 its height and pack soil as you fill with shovel handle or feet being careful not to disturb root ball
 - 5) Fill around rootball with backfill mix to 1/2 its height and pack soil as you fill with shovel handle or feet being careful not to disturb root ball
 - 6) Scatter 21 gram AgriForm plant tablet fertilizer at this level adjacent to rootball and at bottom of hole (5 tablets per sq. ft. of hole) 5 tablets per 1 inch of scaper width. Fill the remainder of the hole with backfill and pack it.
 - 7) Water tree thoroughly by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet
 - 8) Install stakes such that the stakes and the tree ties won't damage the tree and the stakes won't lean toward each other. Cut off tops of stakes if necessary to lower below branches that could be rubbed by stakes. Install stakes so they are straight up and don't lean in to each other

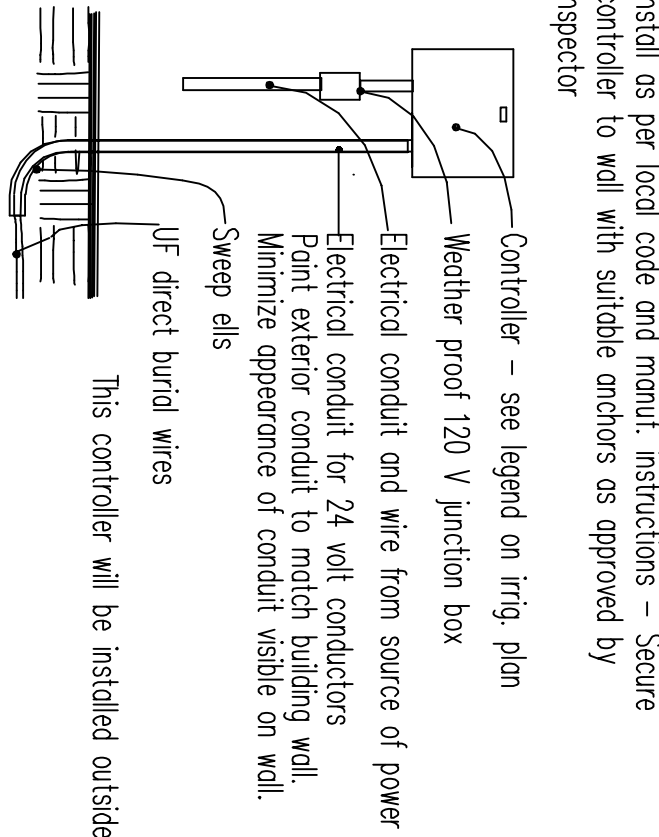
Tree Planting

No Scale

- Diagram illustrating the tree planting process. The setup includes a container, backfill, and various materials like AgriForm plant tablets and mulch. The diagram shows the container being pulled 2 inches away from stems, with a 4" high berm for water basin at edge of root ball. It also shows the container being pulled 2 inches away from stems, with a 4" high berm for water basin at edge of root ball. The diagram shows the container being pulled 2 inches away from stems, with a 4" high berm for water basin at edge of root ball.
- 1) 8 – 12 hours before installation, water all plants while still in containers sufficiently to thoroughly wet root balls
 - 2) Dig the plant hole at least 3 times the dia. and 2 times the depth of the plant container. Replace this mixture in bottom half of hole and walk on it. The level of it should be such that when the plant is installed and settled it will be slightly above grade of existing soil. Fill hole with water.
 - 3) Remove rootball carefully from container by tapping out, not pulling out by the stem. Scarily rootball woks in 3 vertical cuts and bottom to 1/2" deep, or by cutting roots of 1/2" or larger with shears. Do not pull roots apart.
 - 4) Install fertilizer pockets under rootball of plant. Set rootball on prepared surface and fill hole to 1/2 the depth, tamping soil around rootball. Fill hole with water.
 - 5) Fill the container with backfill and pack it but do not tamp rootball.
 - 6) Make the water basin
 - 7) Water shrub thoroughly within 1 hour of planting by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet
 - 8) Install mulch

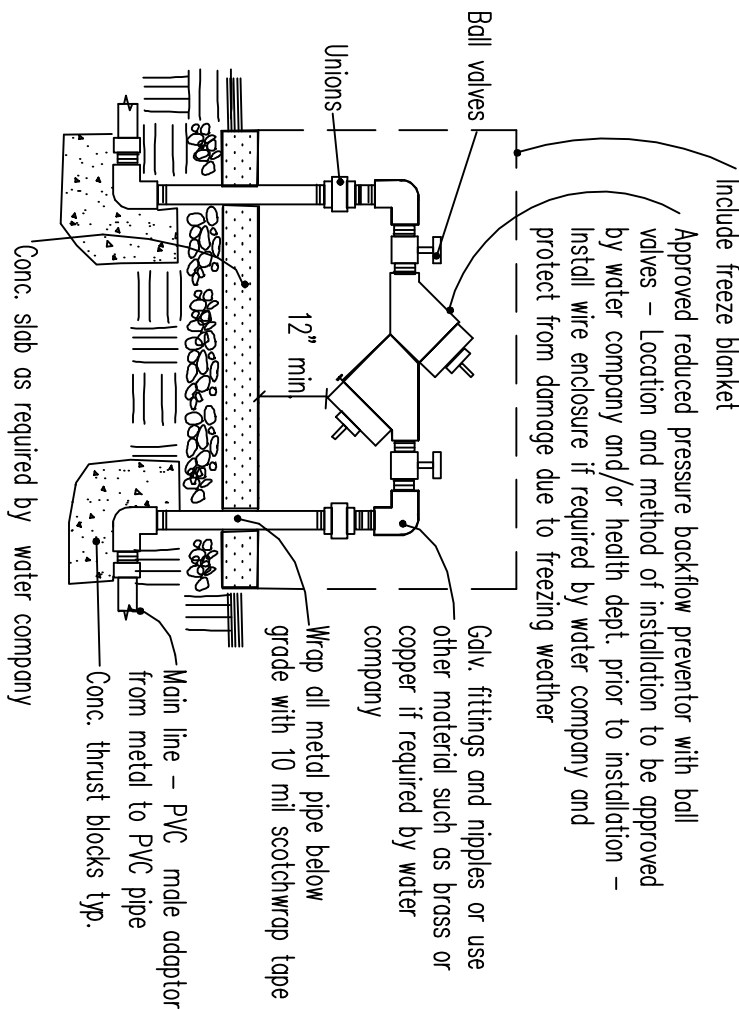
Shrub Planting

No Scale



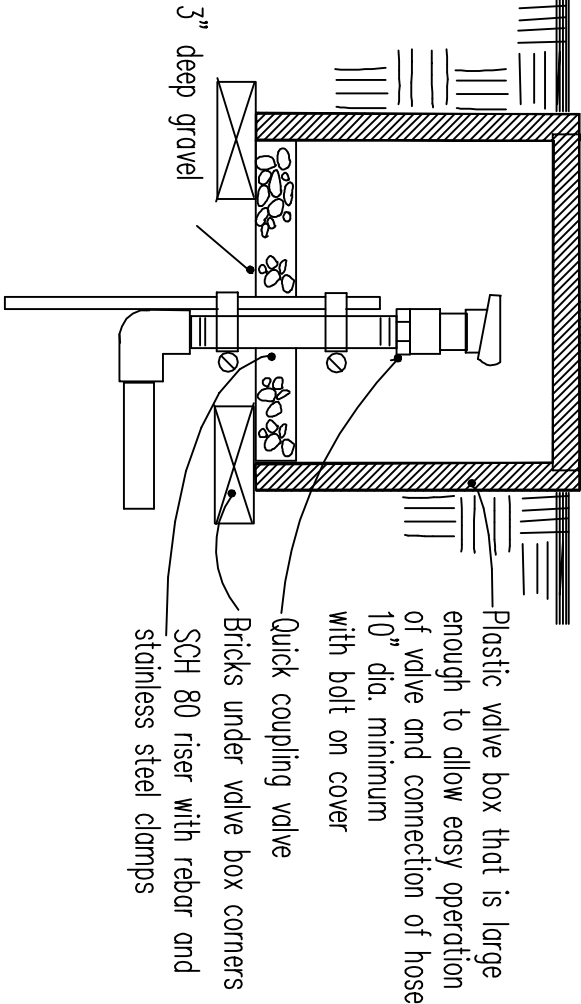
Wall Mount Controller

No Scale



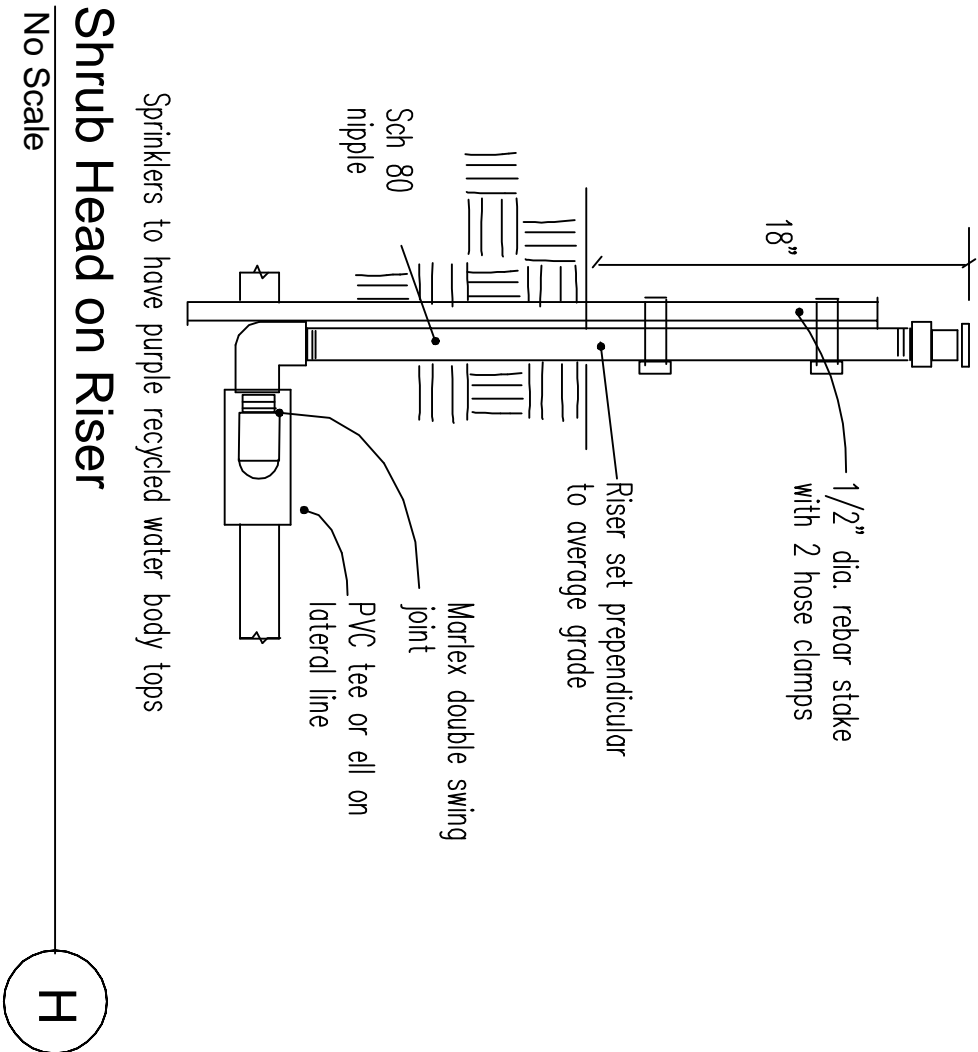
Reduced Pressure Backflow Preventor

No Scale



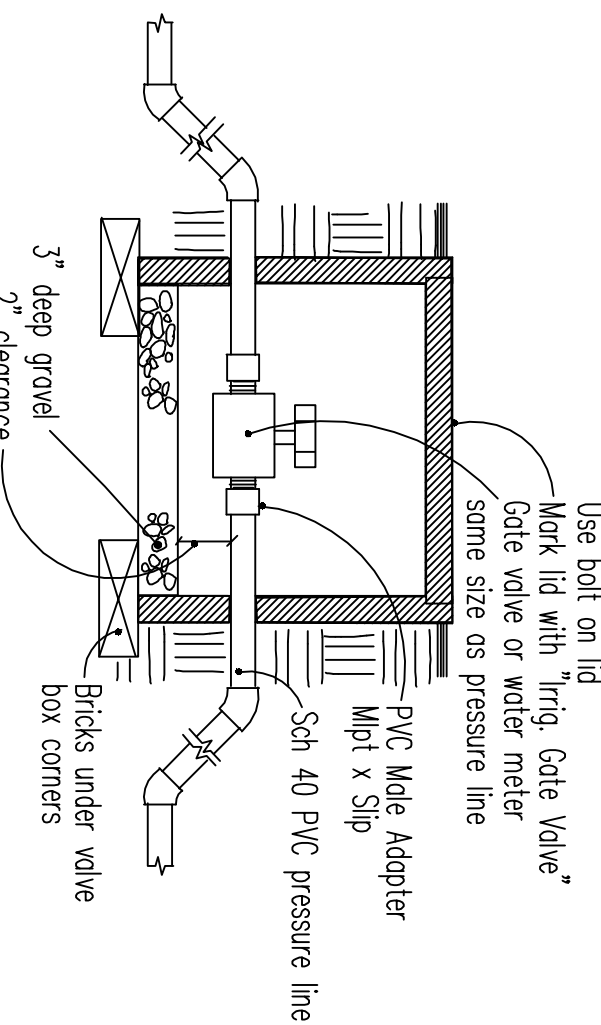
Quick Coupling Valve Below Grade

No Scale



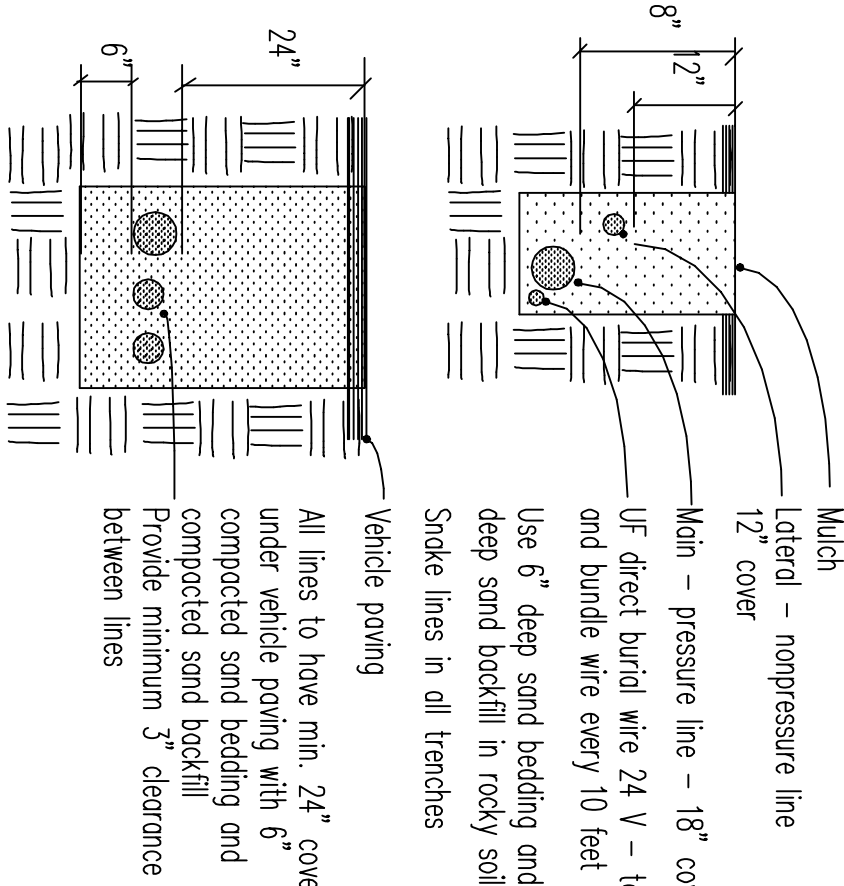
Shrub Head on Riser

No Scale



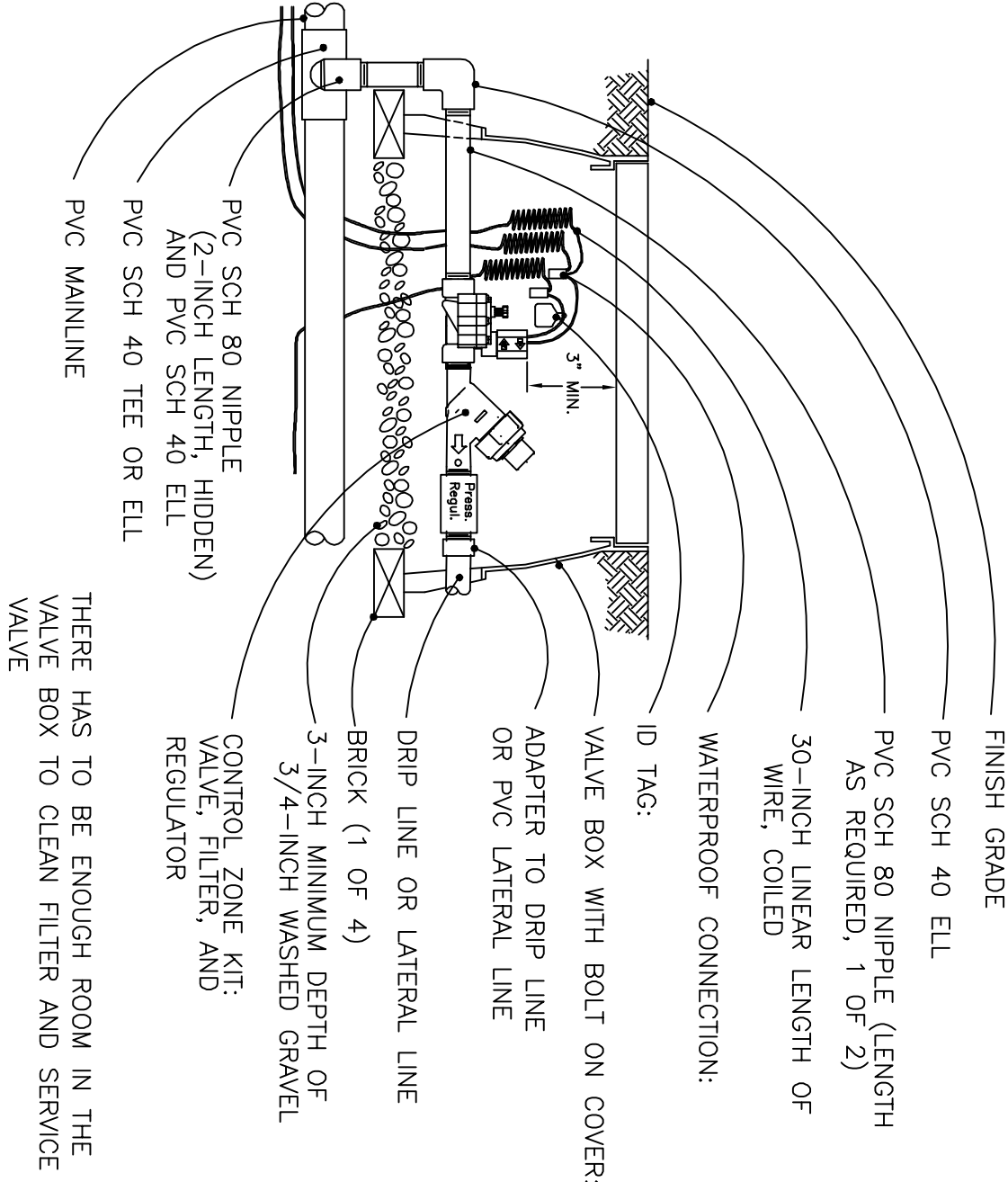
Manual Gate Valve

No Scale



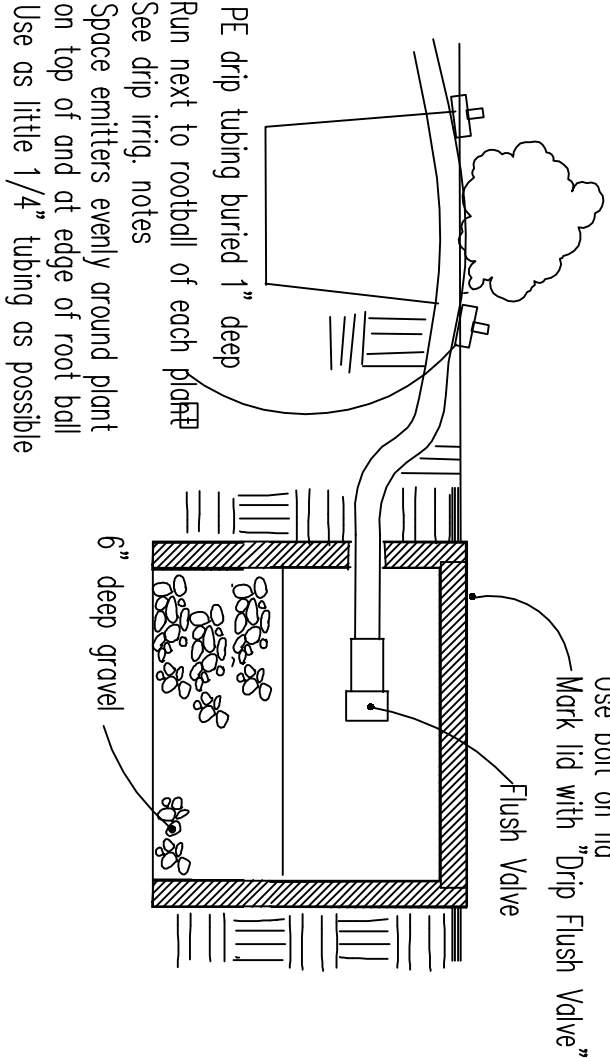
Trenches/Lines

No Scale



Remote Control Globe Valve, Filter and Pressure Regulator

No Scale



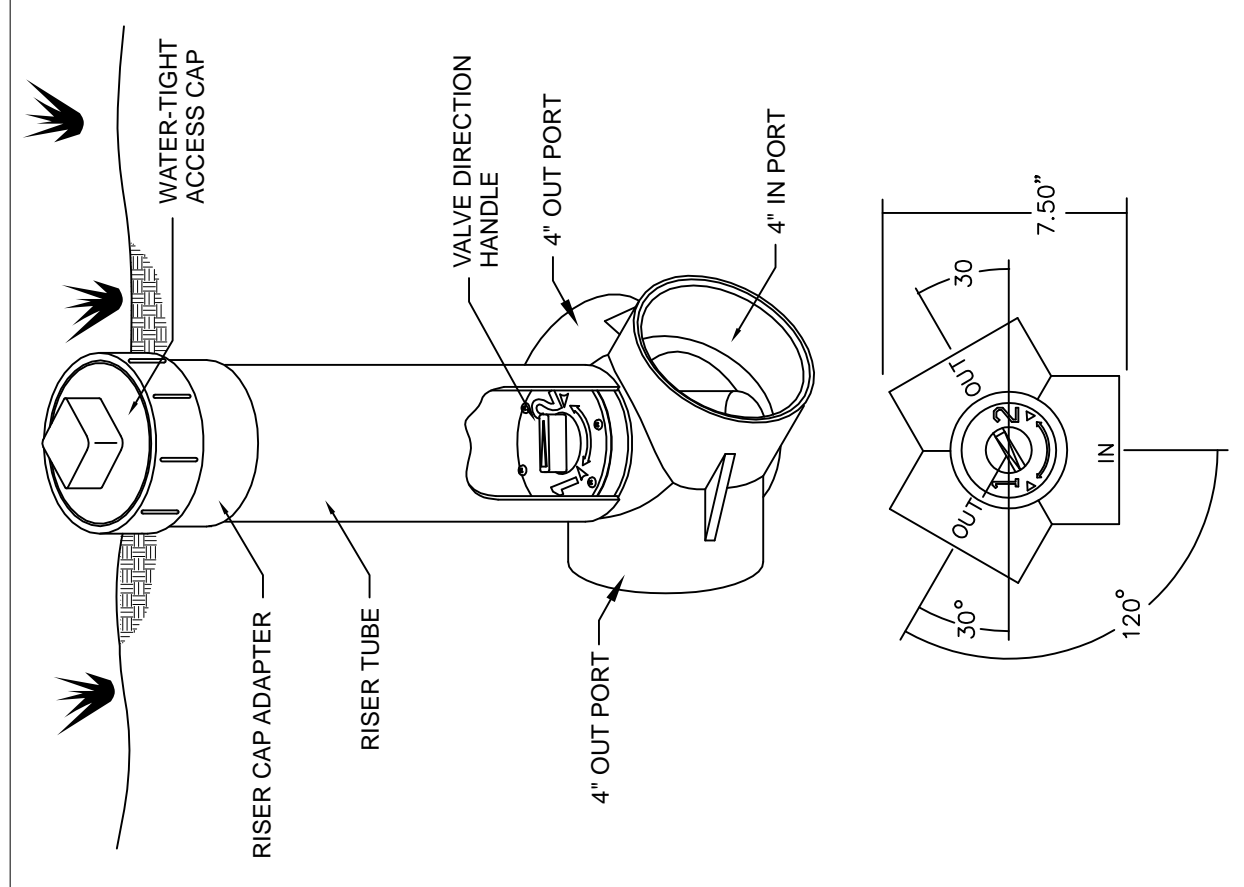
Drip Emitter and Flush Valve

No Scale

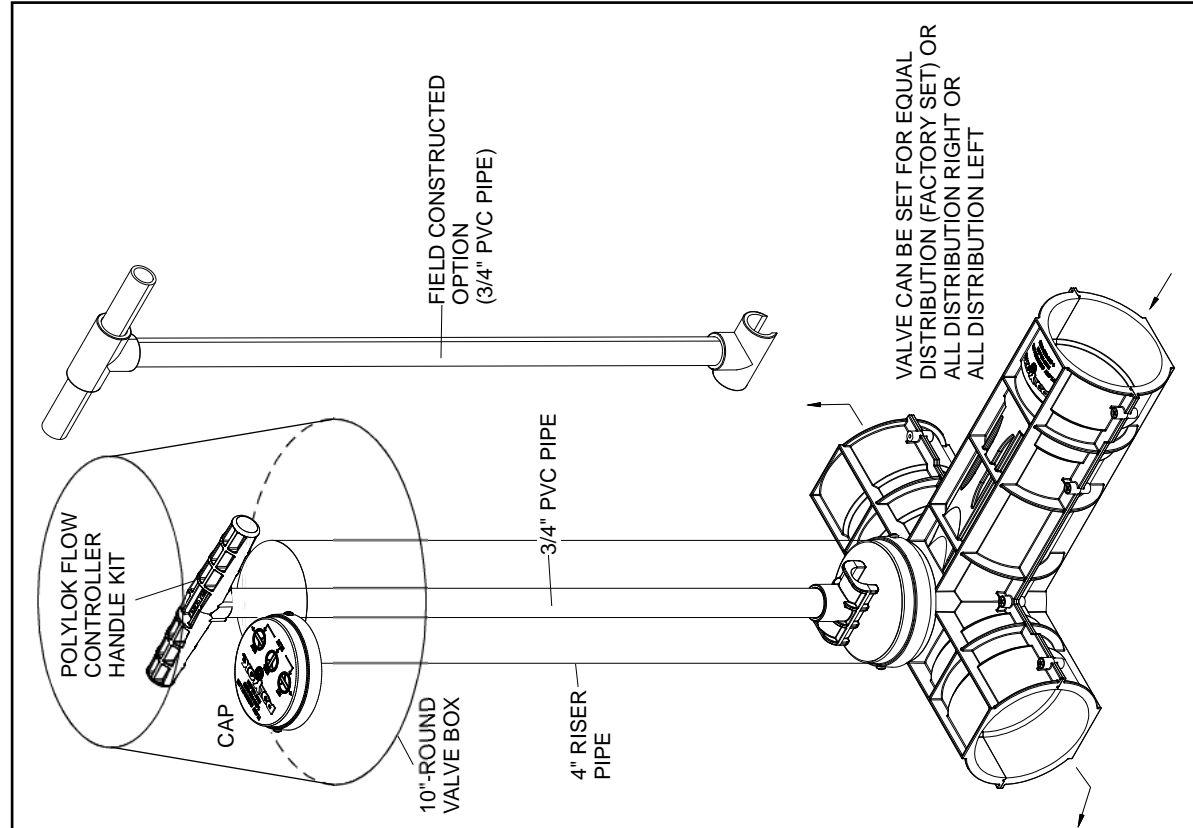
NOTES:

- 1 4" ABS GRAVITY SEWER LINE WITH MINIMUM 2% GRADIENT AND 2-WAY CLEANOUTS
- 2 2,000 GALLON DON CHAPIN PRECAST CONCRETE SEPTIC TANK WITH 24" ORENCO RISERS (SEE DETAIL)
- 3 BULL RUN VALVE (SEE DETAIL)
- 4 POLYLOK FLOW DIVIDER 2X (SEE DETAIL)
- 5 4" ABS GRAVITY SEWER LINE
- 6 FOUR TRENCHES, EACH 100 FT LONG, CONSISTING OF 25 QUICK 4 HIGH-CAPACITY INFILTRATOR CHAMBERS. (SEE DETAIL)
- 7 INSPECTION RISERS (TYP) 8X

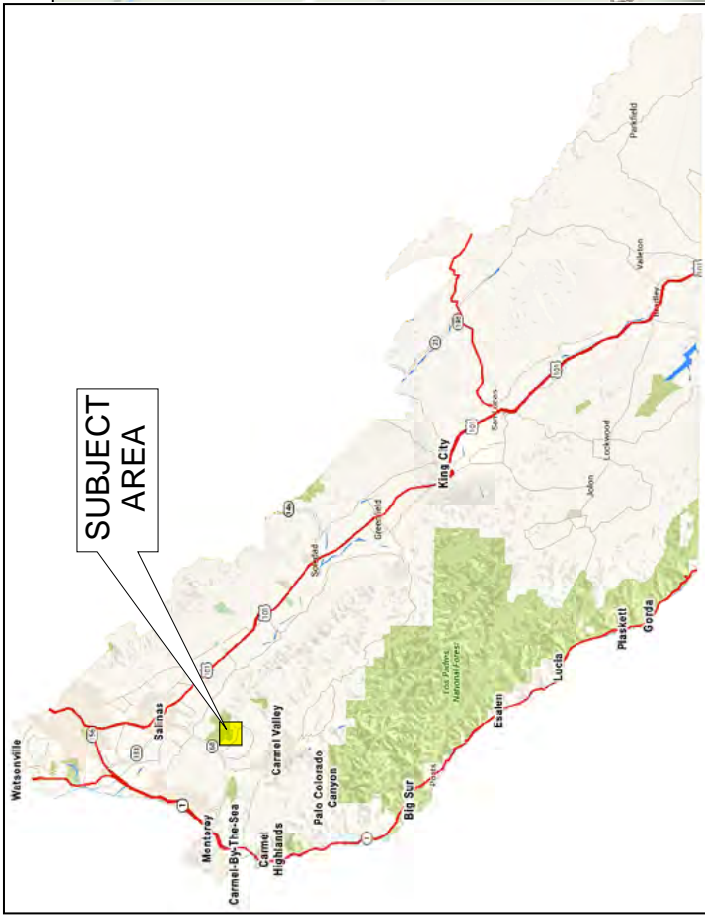
BULL RUN VALVE DETAIL



POLYLOK FLOW CONTROLLER DETAIL



COUNTY INDEX MAP



TOPOGRAPHIC VICINITY MAP

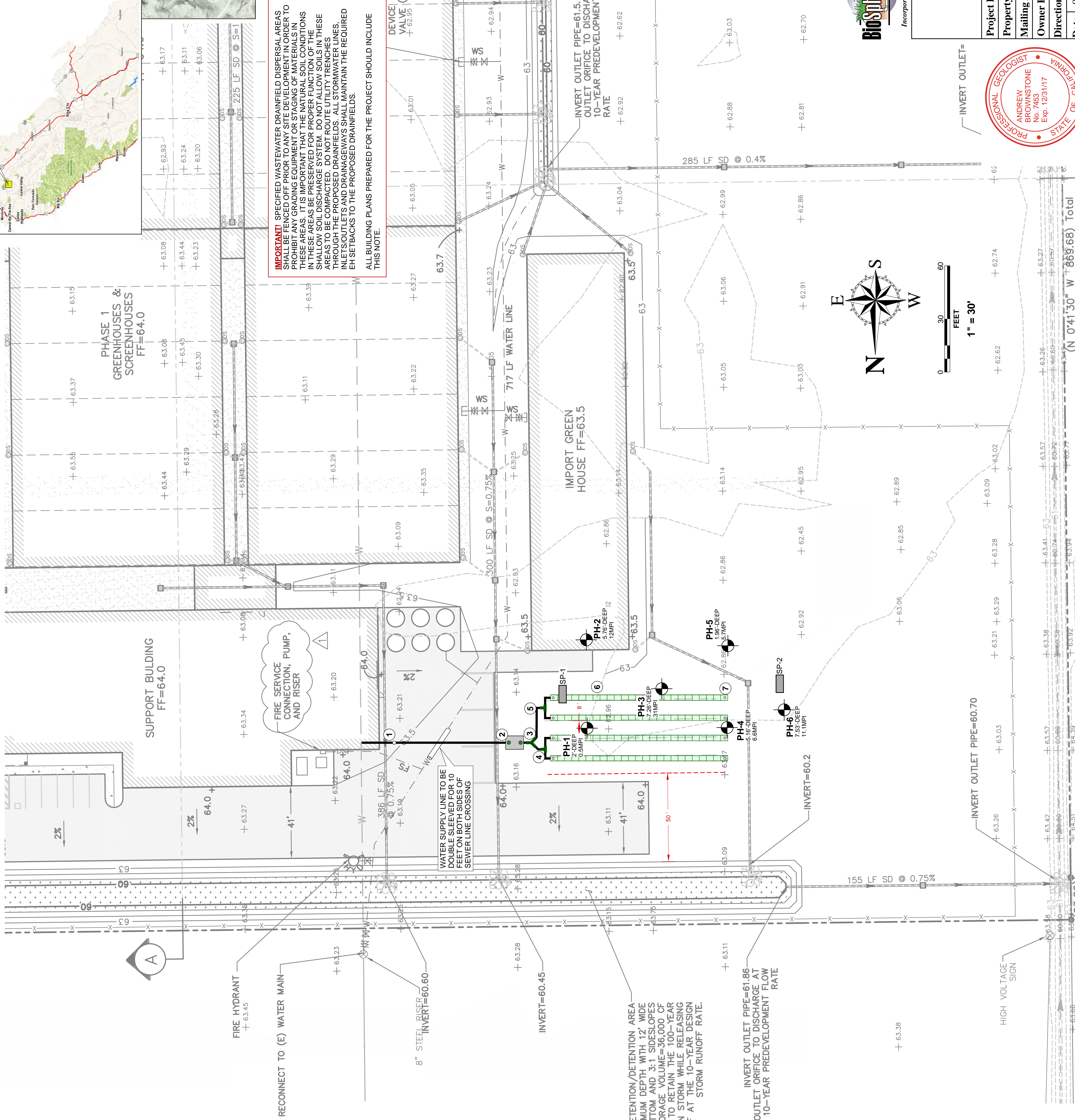


PARCEL INDEX MAP



IMPORTANT: SPECIFIED WASTEWATER DRAINFIELD DISPERSAL AREAS SHALL BE MAINTAINED AND PROTECTED TO PREVENT OVERFLOW TO ADJACENT PROPERTIES. PROHIBIT ANY GRADING EQUIPMENT OR STAGING OF MATERIALS IN THESE AREAS. IT IS IMPORTANT THAT THE NATURAL SOIL CONDITIONS IN THESE AREAS BE PRESERVED FOR PROPER FUNCTION OF THE SHALLOW SOIL DISCHARGE SYSTEM. DO NOT ALLOW SOILS IN THESE AREAS TO BE COMPACTED. DO NOT ROUTE UTILITY TRENCHES THROUGH THE PROPOSED DRAINFIELDS. ALL STORMWATER LINES, INLETS/OUTLETS AND DRAINAGEWAYS SHALL MAINTAIN THE REQUIRED EH SETBACKS TO THE PROPOSED DRAINFIELDS.

ALL BUILDING PLANS PREPARED FOR THE PROJECT SHOULD INCLUDE THIS NOTE.



Biosphere Consulting
Alternative Wastewater System Design
Incorporated

• Site Evaluation & Mapping
• Soil Analysis & Percolation Testing
• New Development, Upgrade & Repairs
• Residential & Commercial

1315 King Street
Santa Cruz, CA 95060
Tel: (831) 430-9116
www.biosphere-consulting.com

CONVENTIONAL SEPTIC SYSTEM
FOR 40 PERSON OFFICE BUILDING

Project Location:	1790 San Juan Road, Watsonville, California [Monterey County]
Property Owner:	Driscoll Strawberry Associates, Inc.
Mailing Address:	345 Westridge Drive, Watsonville, CA 95076
Owner Phone #:	Project Manager: Charlie Eadie -- (831) 431-3396
Directions to Site:	From CA 15 take east 125th to CA 129 Westside Drive. Turn left onto CA 129 W Westside Dr. (toward the State Route 129/Watsonville). Turn right onto Main St. Continue onto Pioneer Dr. Use the left 2 lanes to turn left onto San Juan Rd.
Date:	02/23/17
By:	David Quinn
Job No.:	16045
APN:	267-043-017
Sheet:	1 of 2

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