

**Before the Planning Commission in and for the  
County of Monterey, State of California**

In the matter of the application of:

**R&Q Mall Properties (PLN170465)**

**(Casa Boronda Agricultural Employee Housing)**

**RESOLUTION NO. 17-034**

Resolution by the Monterey County Hearing Body:

- 1) Rescinding the Standard Subdivision tentative map (10 lots) and General Development Plan approved by Planning Commission Resolution No. 08013 (PLN050545);
- 2) Adopting a Mitigated Negative Declaration;
- 3) Approving the Lot Line Adjustment to merge three legal lots of record of approximately 1.21 acres (Assessor's Parcel Number 261-041-024-000), 1.39 acres (Assessor's Parcel Number 261-041-025-000) and 1.36 acres (Assessor's Parcel Number 261-410-026-000), resulting in one legal lot of 3.96 acres; and
- 4) Approving a General Development Plan including a Use Permit for a 75-unit Agricultural Employee Housing Complex; and
- 5) Adopting a Mitigation Monitoring and Reporting Plan.

[PLN170465, R&Q Mall Properties, 1144 Madison Lane, Greater Salinas Area Plan (APN: 261-041-024-000, 261-041-025-000)]

**The R&Q Mall Properties application (PLN170465) came on for public hearing before the Monterey County Planning Commission on August 30, 2017. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) A Development Review Committee meeting was conducted for this project on April, 14 2017. Feedback was provided in an email dated April 19, 2017 and included input from following agencies: Fire, Building, Public Works, Environmental Services, Planning, and Parks.
  - b) On June 9, 2017, the applicant submitted an application for an employee housing project for 600 seasonal agricultural employees.
  - c) The application was deemed complete on July 20, 2017.

- d) According to the adopted Guidelines for Review of Matters Referred to Land Use Advisory Committees (LUAC) by the Appropriate Authority, the project is subject to LUAC review because it is development requiring CEQA review; however, the County does not have a LUAC for the Greater Salinas Area. The project was referred to the Agricultural Advisory Committee. The Committee reviewed the project on June 22, 2017 and voted 9-0 to recommend approval. They did not express any concerns with the project.
- e) The property is located at 1144 Madison Lane (APN: 261-041-024-000, 261-041-025-000, 261-410-026-000), Greater Salinas Area Plan. The parcel is zoned UR-HC, which allows hotels, motels, restaurants, and similar visitor facilities with a Use Permit. If approved by the Planning Commission, the UR-HC zoning also allows "Other uses of a similar character, density and intensity as those listed in this Section". The proposed agricultural employee housing facility is designed to provide housing to agricultural employees primarily during the harvest season from April to November, and is similar in design and use to a hotel/motel. Therefore, the project is an allowed land use for this site with a Use Permit.
- f) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 2010 Monterey County General Plan;
  - Greater Salinas Area Plan;
  - Monterey County Zoning Ordinance (Title 21);
  - Monterey County Subdivision Ordinance (Title 19);
- No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- g) The site is located within the Boronda Community Area as designated in the 2010 General Plan Policy LU-2.21, Figure CA1. A Neighborhood Improvement Plan was adopted under the 1982 General Plan; however, it was not carried forward under the 2010 General Plan. A Community Plan for the Boronda Community Area has not yet been adopted. The project is consistent with Policy LU-2.25, which allows interim development in Community Areas prior to the adoption of a community plan provided the project-related infrastructure improvements are constructed concurrent with the development and that an adequate means of providing water and wastewater disposal exist or are provided. The project has been conditioned to require drainage facilities (Condition 13) and frontage improvements along Boronda Rd. and Madison Ln. (Condition 12). California Water Service Company has provided a will-serve letter indicating they can and will provide water to serve the project. The project will be connected to the Boronda County Sanitation District, which receives sewer service from the City of Salinas. The City has provided a letter stating it has the capacity to serve the project. The project has been conditioned to provide any necessary improvements or upgrades to the wastewater system (Condition 28).
- h) The project is consistent with General Plan Policy LU-2.22(d), which states that Community Areas shall be designed to achieve a sustainable, balanced, integrated community offering opportunities for workers to

live near jobs. The project will provide housing for agricultural employees near the fields where they work.

- i) The project is consistent with General Plan Policy H-2.9, to encourage the development of housing affordable to the general workforce of Monterey County and encourage employers and other organizations to assist with the production of housing units needed for their employees. The project will provide housing for up to 600 agricultural employees.
- j) The subject property is in an Urban Reserve (UR) district, which requires referral to the appropriate city for review and recommendation prior to action by an Appropriate Authority. The project was referred to the City of Salinas. The city stated that they are in support of the project, but expressed concerns about potential traffic impacts, land use compatibility and landscaping.
- k) The project was referred to the Agricultural Advisory Committee for review. The Committee voted 9-0 to recommend approval and did not express any concerns with the project.
- l) The Lot Line Adjustment is consistent with the Subdivision Map act and Title 19 (The Subdivision Ordinance). The lot line adjustment will merge three existing legal lots of record and will not result in a greater number of parcels than originally existed. (See Finding 7.)
- m) The proposed project meets the standards for development of agricultural employee housing for more than twelve units or thirty-six beds (Section 21.66.060 C3).
  - *There is adequate water and sewer available to service the development as determined by the Director of Environmental Health.* (See Finding and Evidence 3b.)
  - *The housing is located off prime farmland. The project site is not located on prime farmland.* The project site is zoned Heavy Commercial (HC) and is currently vacant.
  - *The development incorporates proper erosion and drainage controls.* A Storm Water Control Plan was prepared for the property. The plan summarizes the project's proposed stormwater management strategy pursuant to the Post Construction Stormwater Management Requirements for Development Projects in the Central Coast Region, Central Coast Regional Water Quality Board Resolution No. R3-2013-0032, and the guidance documents promulgated by the Monterey Regional Stormwater Management Program (MRSWMP), including the Stormwater Technical Guide for Low Impact Development, dated 18 February 2014. Mitigation Measures have been incorporated to require a Maintenance Agreement, an Operations and Maintenance Plan, and Field Verification of Post-Construction Stormwater Control Measures.
  - *Enclosed storage facilities are provided for each housing or dwelling unit.* The project will include storage drawers as a part of each bunk bed. Additionally, eight individual food storage cabinets are provided in the kitchen/dining area.
  - *Laundry facilities, including washers and dryers are provided on-site.* Two laundry rooms with washers and dryers are provided on-site. The plans show that each laundry room will

have 15 washers dryers, resulting in a total of 30 washers and dryers. At full occupancy this would be a ratio of 20 employees to each washer and dryer.

- *The site design of the facilities shall be subject to the approval of the Director of Planning.* As the application includes a General Development Plan and a Use Permit, the project design has been reviewed by RMA-Planning and will be decided by the Planning Commission.
  - *The development will be landscaped pursuant to a landscaping plan approved by the Director of Planning prior to issuance of building permits for the facility.* Landscaping plans have been submitted. Landscaping will be required as a condition prior to final of the Building Permit.
  - *All recreational areas and landscaping shall be installed prior to occupancy of the facilities. Landscaped areas shall be maintained.* A condition of approval (Condition 9) has been added to require installation of landscaping and recreational areas.
- n) Section 21.64.250 provides regulations for the reduction of vehicle trips for certain developments; a facilities trip reduction plan is required for any residential development of 25 or more units in the Heavy Commercial zoning district (21.20.080). A Facilities Trip Reduction Plan was completed for the project. The project will incorporate printed public transit schedules, bike racks, transportation information centers, transit oriented design, and shuttle bus service to and from work sites.
- o) The project is consistent with General Plan Policy AG-1.6, which states that *“farmworker housing projects shall be located to minimize the conversion of viable agricultural lands and shall be consistent with the nature of the surrounding land uses”*. The project site is zoned Heavy Commercial and is not currently in agricultural production. The project will not adversely affect the surrounding uses. The surrounding properties contain a variety of uses, including an auto repair shop, a United Parcel Service customer center, a Waste Management Transfer Station, an OnTrac trucking delivery business, and a seed company. Three single-family homes are located adjacent to the project site south-east on Madison Lane, and a residential neighborhood is located north of the project site off of Boronda Road. There is productive agricultural land to the West across Boronda Road. The project provides an effective agricultural buffer including trees and landscaping.
- p) The project is consistent with General Plan Policy AG-1.2, which requires well-defined buffer areas as partial mitigation for new non-agricultural development proposals that are located adjacent to agricultural land uses on farm lands designated as Prime, of Statewide Importance, Unique, or Local Importance. Farmland of Statewide Importance is located east of the project site across Boronda Road. The project provides a minimum 30 foot buffer in addition to the road. The site plan was reviewed by the Monterey County Agricultural Commissioner’s office.
- q) The project is consistent with Greater Salinas Area Plan Policy GS-3.2, which requires that native plant materials be used to integrate the man-



made environment with the natural environment and to screen or soften the visual impact of new development. The landscape plan shows native trees bordering the project and providing screening from Boronda Road and Madison Lane. The project has been conditioned (Condition 9) to require landscaping installation prior to occupancy.

- r) Section 21.58.040 of the Monterey County Code requires 1 parking space per dwelling or 1 parking space per four beds for Agricultural Employee housing. The project will provide 151 parking spaces. At full occupancy this would meet the requirement for 1 space for every 4 beds.
- s) The project is consistent with Public Transit Services Goal C-6 in the Circulation Element of the Monterey County General Plan to *Promote Viable Transportation Alternatives*. Transportation to and from work sites will be provided via bus.
- t) The project is consistent with the Monterey County General Plan/Greater Salinas Area Plan. The use and development is consistent with the land use categories (Heavy Commercial, Urban Reserve) and densities of these plans.
- u) The project planner conducted a site inspection on August 2, 2017 to verify that the project on the subject parcel conforms to the plans listed above.
- v) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170465.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Monterey County Regional Fire Protection District, RMA-Parks, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) As reviewed in detail in the Initial Study and proposed Mitigated Negative Declaration, the site is suitable for the development proposed in that Geologic and Erosion hazards are low, no protected trees are proposed for removal, and the property is not considered Environmentally Sensitive Habitat. Mitigation measures have been proposed to mitigate to less than significant levels, potential impacts to Archaeological Resources, Biological Resources, Hazards/Hazardous Materials, Tribal Cultural Resources, Geology/Soils, Hydrology/Water Quality, Noise. Evidence supports the conclusion that impacts would be less than significant with mitigation incorporated for these resource subjects, and that the site is suitable for the uses proposed in the General Development Plan.
  - c) The following reports have been prepared: “Casa Boronda Agricultural Employee Housing Project Traffic Impact Analysis” (LIB170253) by Keith Higgins, Traffic Engineer, Gilroy, CA, May 30, 2017.

- “Geotechnical Investigation Report for New Ten Lot Subdivision at 1144 Madison Lane” (LIB050670) prepared by Richard Dante, P.E., Salinas, CA, June 30, 2005.
- “Update of Prior Geotechnical Investigation Report for Massolo Ten Lot Subdivision Located at 1144 Madison...” (LIB170253) prepared by Richard Dante, P.E., Salinas, CA July 26, 2007.
- “Update Report to our Original Geotechnical Investigation Report, dated June 30, 2005 and our prior update report dated July 26, 2007...” (LIB170253) prepared by Belinda Taluban, P.E., Salinas, CA, May 17, 2017.
- Preliminary Archeological Reconnaissance of APN 261-041-024, 025, and 026 in Salinas, Monterey County CA (LIB170252) by Archeological Consulting, dated May 30, 2017.
- “Storm Water Control Plan for Casa Boronda Agricultural Employee Housing Project Boronda Road” by Whitson Engineers, Monterey, CA, June 6, 2017.
- “Phase I Environmental Site Assessment 1144 Madison Lane Salinas, CA” (LIB170286) prepared by Caprock Geology, Salinas, CA July 15, 2017.
- “Casa Boronda Agricultural Employee Housing Biological Memorandum”, (LIB170290) prepared by Denise Duffy and Associates, Monterey, CA June 9, 2017.
- “Casa Boronda, Agricultural Employee Housing, Monterey County, State and County Noise Standards Compliance for Residential Land Use” (LIB170300) prepared by Sonics ESD, Monterey, CA, August 18, 2017.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports.

- d) The project is located at 1144 Madison Lane, Salinas, in the Boronda Community and is subject to the Monterey County General Plan/Greater Salinas Area Plan. As described in the Evidence for Finding 1(l),(m),(n), (r), and Finding 7, the proposed Agricultural Employee Housing development is consistent with the rules and regulations pertaining to zoning uses and other applicable provisions of Title 19 and Title 21, and is therefore suitable for the proposed development.
- e) Staff conducted a site inspection on August 2, 2017 to verify that the site is suitable for this use.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170465.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA - Planning, Monterey County Regional Fire Protection District, RMA - Parks, RMA - Public Works, Environmental Health Bureau, RMA - Environmental Services, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are available. The project is served by the Boronda County Sanitation District, which is operated and maintained by the County of Monterey. An existing 8" sewer main runs southerly on Boronda Road and connects to the existing 10" sewer main that runs east on Madison Lane. The 10" main ultimately connects to the 54" sewer main in North Davis Road, which is operated and maintained by the City of Salinas. Both the Boronda County Sanitation District and the City of Salinas have issued conditional will serve letters confirming they will serve the project. The project has been conditioned to require an analysis to determine the impact of the project on the system and assess required improvements. Water service will be provided by California Water Service Company Salinas District, which has issued a letter to confirm that they have the capacity to and will serve the project.
  - c) A Phase 1 Environmental Site Assessment completed for the project site found that the site is not included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5; however a Tier 1 Vapor Encroachment Screening Process determined that a vapor encroachment condition exists near the subject property. Additionally, due to the agricultural history of the surrounding area the assessment also recommended that soil samples be collected and analyzed for pesticides. The project has been conditioned to require further testing and to require implementation of specific mitigation measures if results indicate mitigation is needed. The required mitigation measures will reduce any potential Hazardous Materials effects to less than significant.
  - d) Staff conducted a site inspection on August 2, 2017 to verify that the site is suitable for this use.
  - e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170465.

4. **FINDING:** **GENERAL DEVELOPMENT PLAN** – Title 21.20.030 requires a General Development Plan (GDP) prior to the establishment of uses/development if there is no prior approved GDP, and if 1) the lot is in excess of one acre; or, 2) the development proposed includes more than one use; or, 3) the development includes any form of subdivision. This project requires a General Development Plan because the lot is over 1 acre.

- EVIDENCE:**
- a) A previous General Development Plan was approved for this property in 2008; in conjunction with a Use Permit (PLN05045) and standard subdivision of the three existing properties into 10 parcels. That project was never constructed and permit has expired.. This project represents a new use; therefore, a new General Development Plan has been prepared.

- b) The Proposed project is located in an HC-UR (Heavy Commercial Urban Reserve) zoning district. The proposed project is over one acre, thus a General Development Plan is required.
- c) A General Development Plan has been developed that outlines the proposed use, transportation plan, recreation facilities, water, wastewater, drainage, grading, construction activities, and police and fire protection. The General Development Plan is attached hereto as Exhibit E and incorporated herein by reference as a condition of approval.

5. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on August 2, 2017 and researched County records to assess if any violation exists on the subject property.
  - c) There are no known violations on the subject parcel.
  - d) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170465.

6. **FINDING:** **CEQA (Mitigated Negative Declaration):** - On the basis of the whole record before the Board of Supervisors, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgement and analysis of the County.

- EVIDENCE:**
- a) Public Resources Code Section 21080.d and California Environmental Quality Act (CEQA) Guidelines Section 15064.a.1 require environmental review if there is substantial evidence, in light of the whole record before the County, that the project may have a significant effect on the environment.
  - b) An Mitigated Negative Declaration (MND) was prepared for the previously approved project on the same site (PLN05045). That MND, dated October 1, 2017, analyzed potential impacts of a proposed standard subdivision and General Development Plan to divide the property into 10 parcels and allow for a variety of heavy commercial uses. Since the current application is for agricultural employee housing, a new Initial Study and Mitigated Negative Declaration were prepared.
  - c) The project applicant submitted a Draft Initial Study dated June 9, 2017, prepared by environmental professionals Denise Duffy and Associates. The applicant submitted Draft Initial Study is marked "applicant submittal" and is on file in the offices of RMA-Planning.
  - d) Monterey County-RMA reviewed the applicant submitted Initial Study, and RMA staff prepared a new Initial Study utilizing, when appropriate in its independent judgment, information supplied by the applicant, and prepared a Mitigated Negative Declaration. The Initial Study/Mitigated Negative Declaration reflects the County's independent judgement. It is

on file in the offices of RMA-Planning and is hereby incorporated by reference (PLN170465).

- e) The Initial Study identified several potentially significant effects, but revisions have been made to the project and/or the applicant has agreed to proposed mitigation measures that would avoid or mitigate the effects to a point where clearly no significant effects would occur.
- f) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and/or Reporting Plan has been prepared in accordance with Monterey County regulations, is designed to ensure compliance during project implementation, and is hereby incorporated herein by reference. The applicant must enter into an “Agreement to Implement a Mitigation Monitoring and/or Reporting Plan” as a condition of project approval.
- g) Issues that were analyzed in the Mitigated Negative Declaration include: Aesthetics, Biological Resources, Greenhouse Gas Emission, Population/Housing, Transportation/Traffic, Cultural Resources, Hazards/Hazardous Materials, Public Services, Tribal Cultural Resources, Air Quality, Geology/Soils, Hydrology/Water Quality, Noise, Recreation, and Utilities/Service Systems. The analyses were based on the use specified in the General Development Plan: seasonal housing for agricultural employee housing for up to 600 individuals, primarily H2A Visa Workers, but also domestic workers. Where necessary, analyses considered the possibility that the project could be used as traditional apartments. Specifically, the Traffic Impact Analysis considered two scenarios: agricultural employee housing and traditional apartments.
- h) The County identified potentially significant impacts to biological resources, and a mitigation measure has been proposed to reduce impacts to a level of less than significant. Mitigation Measure 4-1 requires that construction activities that may impact nesting raptors or protected avian species be timed to avoid the breeding and nesting seasons.
- i) The County identified potentially significant impacts to geological resources due to the presence of expansive soil, and a mitigation measure has been proposed to reduce impacts to a level of less than significant. Mitigation Measure 6-1 requires all site grading, soil recompaction, and foundation to incorporate recommendation found in the project-specific geotechnical report and all construction to meet latest code requirements.
- j) The County identified potentially significant impacts to hazards and hazardous materials, and mitigation measures (8-1 and 8-2) have been proposed to require detection, removal, and disposal of any contaminated soils.
- k) The County identified potentially significant impacts to hydrology and water quality due to changing drainage patterns, and mitigation measures have been proposed to reduce impacts to a level of less than significant. Mitigation Measures 9-1 and 9-2 require stormwater control measures and maintenance.

- l) The County identified potentially significant impacts to noise. Mitigation measures have been proposed to reduce impacts to a level of less than significant. Mitigation Measure 12-1 requires building and sound insulation requirements to reduce interior noise levels to acceptable standards for building occupants based on the project specific acoustical analysis.
- m) The County identified potentially significant impacts to tribal cultural resources, and mitigation measures have been proposed to reduce impacts to less than significant. Mitigation Measure 17 requires tribal monitors to be onsite during construction.
- n) The draft Mitigated Negative Declaration (“MND”) for PLN170465 was prepared in accordance with CEQA and circulated for public review from July 28, 2017 to August 28, 2017.
- o) A Condition of Approval has been added to the project as Condition 43 in response to comment by the Monterey Bay Air Pollution Control District. Condition 43 requires a Construction Emissions Reduction Plan to minimize offsite drift of fugitive dust. Pursuant to CEQA section 15073.5, the added condition is not required by CEQA, does not create new significant environmental effects, and is not necessary to mitigate an avoidable significant effect.
- p) Monterey County RMA-Planning, located at 168 W. Alisal, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the Negative Declaration is based.
- q) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170465.

7. **FINDING:** **LOT LINE ADJUSTMENT** – Section 66412 of the California Government Code (Subdivision Map Act) Title 19 (Subdivision Ordinance) of the Monterey County Code states that lot line adjustments may be granted based upon the following findings:

- 1. The lot line adjustment is between four (or fewer) existing adjoining parcels;
- 2. A greater number of parcels than originally existed will not be created as a result of the lot line adjustment;
- 3. The parcels resulting from the lot line adjustment conform to the County’s General Plan, any applicable Specific Plan, any applicable coastal plan, and zoning and building ordinances.

- EVIDENCE:**
- a) The parcel is zoned HC-UR (Heavy Commercial - Urban Reserve)
  - b) A Standard Subdivision Tentative Map was approved March 26, 2008. The Final Map was never filed and the Tentative map expired in 2016, thus the subject site is still three parcels at the time of this application.
  - c) The Lot Line Adjustment is to merge three existing legal lots of record of approximately 1.21 acres (Assessor's Parcel Number 261-041-024-000), 1.39 acres (Assessor's Parcel Number 261-041-025-000) and 1.36 acres (Assessor's Parcel Number 261-410-026-000), resulting in one legal lot of 3.96 acres.
  - d) The Lot Line Adjustment will not create a greater number of parcels than originally existed. Three contiguous separate legal parcels of

record will be merged into one separate legal parcel of record as a result of the adjustment. No new parcels will be created.

- e) The proposed Lot Line adjustment is consistent with the Monterey County Zoning Ordinance (Title 21). Staff verified that the subject property is in compliance with all rules and regulations pertaining to the use of the property that no violations exist on the property.
- f) As an exclusion to the Subdivision Map Act, no map is recorded for a Lot Line Adjustment. In order to appropriately document the boundary changes, a Certificate of Compliance for each new lot is required per a standard condition of approval (Condition 26).
- g) The project planner conducted a site inspection on August 2, 2017 to verify that the project would not conflict with zoning or building ordinances.
- h) The application, plans, and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN170465.

8. **FINDING:** **LONG-TERM SUSTAINABLE WATER SUPPLY AND ADEQUATE WATER SUPPLY SYSTEM-** The project has an adequate water supply system to serve the development.

- EVIDENCE:**
- a) The proposed project is new development consisting of the construction of a 75-unit agricultural employee housing complex comprised of two bedroom apartment units and related facilities.
  - b) The proposed project is within Zone 2C of the Salinas Valley groundwater basin, and within this zone there is the rebuttable presumption of the existence of a long term sustainable water supply, and there is a lack of evidence to rebut the presumption of a long-term sustainable water supply for this project.
  - c) The project will be served by California Water Service Company. California Water Service Company has issued a can and will serve letter indicating it has the capacity to and will serve the project.
  - d) The project has been conditioned to require low water use landscaping consistent with Monterey County landscaping requirements “including use of native, drought-tolerant, non-invasive species, limited turf; and low-flow, water conserving irrigation fixtures” (Condition 9).

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

- EVIDENCE:**
- a) Section 21.80.040 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:


1. Rescind the Standard Subdivision tentative map (10 lots) and General Development Plan approved by Planning Commission Resolution No. 08013 (PLN050545);
2. Adopt a Mitigated Negative Declaration;

3. Approve the Lot Line Adjustment to merge three legal lots of record of approximately 1.21 acres (Assessor's Parcel Number 261-041-024-000), 1.39 acres (Assessor's Parcel Number 261-041-025-000) and 1.36 acres (Assessor's Parcel Number 261-410-026-000), resulting in one legal lot of 3.96 acres;
4. Approve a General Development Plan including a Use Permit for a 75-unit Agricultural Employee Housing Complex,; and,
5. Adopt a Mitigation Monitoring and Reporting Program.

Approval is subject to 43 conditions, including nine (9) Mitigation Measures incorporated herein by reference. The project shall be developed and maintained in general conformance with the Lot Line Adjustment and General Development Plan, subject to the Condition Compliance and Mitigation Monitoring Program attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 30th day of August, 2017 upon motion of Commissioner Ambriz, seconded by Commissioner Duflock, by the following vote:

AYES: Ambriz, Diehl, Duflock, Getzelman, Hert, Mendez, Roberts, Rochester, Vandever  
NOES: None  
ABSENT: Padilla  
ABSTAIN: None

  
\_\_\_\_\_  
Jacqueline R. Onciano, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON **SEP 05, 2017**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **SEP 15, 2017**.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.



2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# Monterey County RMA Planning

## Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170465

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This General Development Plan including a Use Permit (PLN170465) allows a 75 unit Agricultural Employee Housing Facility and a Lot Line Adjustment to merge 3 legal lots of record. The property is located at 1144 Madison Lane (Assessor's Parcel Number 261-041-024-000, 261-041-025-000, and 261-410-026-000, Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation** The applicant shall record a Permit Approval Notice. This notice shall state:

**Monitoring Measure:** "A Lot Line Adjustment and a General development Plan including a Use Permit (Resolution Number 17-034) was approved by the Planning Commission for Assessor's Parcel Number 261-041-024-000, 261-041-025-000, and 261-410-026-000 on August 30, 2017. The permit was granted subject to 43 conditions of approval/mitigation measures which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

**Compliance or** Prior to the issuance of grading and building permits, certificates of compliance, or  
**Monitoring** commencement of use, whichever occurs first and as applicable, the Owner/Applicant  
**Action to be Performed:** shall provide proof of recordation of this notice to the RMA - Planning.

## 3. PD002(A) - ATTACH RESOLUTION TO CONSTRUCTION PLANS

**Responsible Department:** RMA-Planning

**Condition/Mitigation** A copy of the Resolution of Approval (Resolution No. \*\*\*) for the Combined  
**Monitoring Measure:** Development Permit (Planning File No.: PLN170513) shall be incorporated onto the construction plans for the project prior to the issuance of a grading or building permit. The Contractor/Owner/Applicant shall be responsible for compliance with all conditions of approval. (RMA - Planning)

**Compliance or** Prior to commencement of any grading or construction activities, the Owner/Applicant  
**Monitoring** shall submit evidence to RMA-Planning for review and approval, that the Resolution of  
**Action to be Performed:** Approval, for the project, has been incorporated onto the construction plans for the project/approved development.

Ongoing throughout construction and until all Conditions of Approval and/or Mitigation Measures have been complied with, the Contractor/Owner/Applicant shall provide evidence of compliance with Conditions of Approval to the Responsible Land Use Department as specified in the "Condition of Approval Implementation Plan/Mitigation Monitoring Reporting Plan."

#### 4. CC01 INDEMNIFICATION AGREEMENT

**Responsible Department:** County Counsel

**Condition/Mitigation  
Monitoring Measure:**

The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

**Compliance or  
Monitoring  
Action to be Performed:**

Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

## 5. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

## 6. PD005 - FISH & GAME FEE NEG DEC/EIR

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

## 7. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to RMA-Planning.

## 8. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

## 9. PD012(G) - LANDSCAPE PLAN & MAINTENANCE (OTHER)

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped and recreation areas shall be installed. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping and recreation areas shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping and recreation areas shall be installed and inspected.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 10. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.  
(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 11. OPERATION OF PROJECT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** If the project is to be operated in a way that is inconsistent with the approved General Development Plan or the description in this resolution, then an amendment to the General Development Plan will be required.

**Compliance or Monitoring Action to be Performed:** If the owner or their assignees decide to operate the project in a way that is inconsistent with the approved General Development Plan or the description in this resolution, then an amendment to the General Development Plan will be required prior to implementation of any such changes in operation.

## 12. PW0001 –FRONTAGE IMPROVEMENTS

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Construct curb, gutter, driveway connections, sidewalk, and paveout, together with required drainage facilities, along the frontage of Boronda Road and Madison Lane. The design and construction is subject to the approval of the RMA.

**Compliance or Monitoring Action to be Performed:** Owner/Applicant shall obtain an encroachment permit from the RMA prior to issuance of building or grading permits, and construct and complete improvements prior to occupying or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.



### 13. PW0002 –OFFSITE IMPROVEMENTS

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Construct required drainage facilities from the subject parcel, along Boronda Road, to the Reclamation Ditch. The design and construction is subject to the approval of the RMA.

**Compliance or Monitoring Action to be Performed:** Owner/Applicant shall obtain an encroachment permit from the RMA prior to issuance of building or grading permits, and construct and complete offsite improvements prior to occupying or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

### 14. PW0007 - PARKING STD

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** The parking plan shall meet county standards and shall be subject to the approval of the RMA.

**Compliance or Monitoring Action to be Performed:** Prior to Building/Grading Permits Issuance the Applicant's engineer or architect shall prepare a parking plan, Owner/Applicant/Engineer to submit plans for review and approval.

### 15. PW0008 - DEDICATION

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Dedicate to the County of Monterey, an easement 5 feet in width along the property's entire frontage along Boronda Road for road right-of-way purposes.

**Compliance or Monitoring Action to be Performed:** Owner/Applicant shall prepare the required dedication documents subject to County approval prior to issuance of building permits.

## 16. PW0044 - CONSTRUCTION MANAGEMENT PLAN

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information:  
Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

**Compliance or Monitoring Action to be Performed:**

1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

## 17. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the RMA-Development.

## 18. PWSP001 - NON-STANDARD CONDITION - CITY OF SALINAS TRAFFIC FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the City of Salinas (City) Traffic Fee Ordinance (TFO) program. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay to the City of Salinas the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the Monterey County RMA.

## 19. CALIFORNIA CONSTRUCTION GENERAL PERMIT

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) including the Waste Discharger Identification (WDID) number, to RMA-Environmental Services. In lieu of a Stormwater Pollution Prevention Plan (SWPPP), a letter of exemption or erosivity waiver from the Central Coast Regional Water Quality Control Board may be provided.  
(RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a SWPPP including the WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

## 20. EROSION CONTROL PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

## 21. GRADING PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Grading Plan, prepared by a registered Professional Engineer, incorporating the recommendations from the project Geotechnical Investigation prepared by Soil Surveys Group Inc. The Grading Plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The Grading Plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the Grading Plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a Grading Plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the Grading Plan for conformance with the geotechnical recommendations.

## 22. INSPECTION-DURING ACTIVE CONSTRUCTION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

## 23. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

## 24. INSPECTION-PRIOR TO LAND DISTURBANCE

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

## 25. FACILITIES TRIP REDUCTION PLAN

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Applicant shall implement the measures specified in the Facilities Trip Reduction Plan

**Compliance or Monitoring Action to be Performed:** Prior to final, applicant shall submit proof to the department of Public Works that the measures specified in the Facilities Trip Reduction Plan are in place.

## 26. PD045 - COC (LOT LINE ADJUSTMENTS)

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall request unconditional Certificates of Compliance for the newly configured parcel. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the expiration of the entitlement, the Owner/Applicant/Surveyor shall prepare legal descriptions for each newly configured parcel and submit them to RMA-Planning for review and approval. The legal descriptions shall be entitled "Exhibit A." The legal description shall comply with the Monterey County Recorder's guidelines as to form and content. The Applicant shall submit the legal descriptions with a check, payable to the Monterey County Recorder, for the appropriate fees to record the Certificates of Compliance.

Prior to the expiration of the entitlement and after the Certificates are recorded, the Owner/Applicant shall file a request and pay the fees for separate assessments or combination assessments (for lot mergers) with the Assessor's Office.

## 27. WASTEWATER SYSTEM IMPROVEMENTS

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a professionally prepared sewer capability study to identify necessary improvements to the Boronda Wastewater Treatment system equipment.

The applicant must fund and complete the identified improvements prior final inspection. A reimbursement agreement should be developed if the County determines that would be appropriate.

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of construction permits, the applicant must submit the sewer capability study.

Prior to final, the applicant must provide verification to Public Works that the required improvements have been completed.

## 28. EHSP01 - WATER DISTRIBUTION SYSTEM IMPROVEMENTS (NON-STANDARD)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** The proposed distribution system expansion of the California Water Service Company-Salinas (Cal Water) shall comply with all pertinent sections of the CA Waterworks Standards including but not limited to:

- CA Code of Regulations Section 64570 thru 64578 which specifies requirements for pipeline sizes, materials and installation, including required horizontal and vertical separations between new water mains and pipes carrying non-potable fluids
- CA Code of Regulations Section 64591 which requires all materials that come in contact with the water shall be certified to meet NSF Standard 61 for indirect additives.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of construction permits that include expansion of the water distribution system, the applicant shall provide documentation to the satisfaction of the Environmental Health Bureau that plans have been reviewed and approved by the State Water Resources Control Board Division of Drinking Water (SWRCB-DDW). Alternately, if expansion of water distribution system is not required, the applicant shall provide documentation from Cal Water indicating that expansion of water distribution system is not required to accommodate the project.

### 29. EHSP02 - CROSS CONNECTION TESTING VERIFICATION (NON-STANDARD)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** This property receives potable water service from California Water Service Company-Salinas (Cal Water), a State Public Water System regulated by the State Water Resources Control Board, Division of Drinking Water. Cal Water is responsible to ensure the potable water supply complies with Chapter 17 of the California Plumbing Code, regarding cross-connection control.

**Compliance or Monitoring Action to be Performed:** Prior to final inspection of construction permits, the applicant shall submit to the Environmental Health Bureau documentation from Cal Water Service indicating that satisfactory testing has occurred and that the potable water supply is protected in compliance with Chapter 17 of the California Plumbing Code, regarding cross-connection control.  
Alternately, if Cal Water Service determines that the testing is not required, provide written evidence from Cal Water Service that states the testing is not required.

### 30. EHSP03 -ORGANIC WASTE DIVERSION (NON-STANDARD)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** Businesses and multifamily residential dwellings that consist of 5 or more units must implement an organic waste recycling program to divert organic waste pursuant to AB 1826 Chesbro (Chapter 727, Statutes of 2014).

**Compliance or Monitoring Action to be Performed:** Prior to issuance of construction permits, submit documentation to the Environmental Health Bureau for review and approval a descriptive plan on how organic wastes will be collected and stored. Organic waste enclosures shall be sized appropriately and located on the site plan.

### 31. EHSP04 - SEPARATE RECYCLABLES IN MULTI-FAMILY HOUSING (NON-STANDARD)

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** The facility shall comply with California Assembly Bill AB 341 and Monterey County Code, Chapter 10.41.

**Compliance or Monitoring Action to be Performed:** Prior to final inspection of construction permits, the applicant shall submit to the Environmental Health Bureau for review and approval a descriptive plan on how recyclables will be collected from common areas and consolidated prior to removal off site.

### 32. PAYMENT OF SCHOOL DISTRICT DEVELOPMENT FEES

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Applicant shall pay all applicable school fees.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, applicant shall provide a copy of School District Developer Fee Referral Form signed and approved by the Salinas Unified School District verifying that the appropriate fees have been collected from the developer by those districts.

### 33. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the DPW.

### 34. MM001 - BIOLOGICAL RESOURCES

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure 4-1. Construction activities that may directly (e.g., vegetation removal) or indirectly affect (e.g. noise/ground disturbance) nesting raptors and/or protected avian species will be timed to avoid the breeding and nesting seasons. Specifically, building demolition, grading with heavy machinery, building construction, vegetation and/or tree removal can be scheduled after September 16 and before January 31.

If construction activities must occur during the breeding and nesting season (February 1 through September 15), a qualified biologist shall conduct pre-construction surveys for nesting raptors and other protected avian species within 300 feet of the proposed construction activities. Pre-construction surveys shall be conducted no more than 7 days prior to the start of the construction activities during the early part of the breeding season (February through April) and no more than 14 days prior to the initiation of these activities during the late part of the breeding season (May through August).

If raptors or other protected avian species nests are identified during the pre-construction surveys, the qualified biologist shall notify the project proponent and an appropriate no-disturbance buffer imposed within which no construction activities or disturbance would take place (generally 300 feet in all directions for raptors; other avian species may have species-specific requirements) until the young of the year have fledged and are no longer reliant upon the nest or parental care for survival, as determined by a qualified biologist.

**Compliance or Monitoring Action to be Performed:** Monitoring Action 4.1.1. Prior to issuance of construction permits, the applicant shall submit documentation to the Monterey County RMA Planning Department for review or approval providing evidence that construction will be timed to avoid the breeding and nesting season or evidence of pre-construction surveys and potential no-disturbance buffer zones, if applicable.



### 35. MM002 - GEOLOGY AND SOILS

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** Mitigation Measure 6-1: The site grading, soil recompaction, and foundation systems will incorporate the recommendations found in the project-specific geotechnical report as provided by Soil Surveys, Inc. in 2017. All buildings will meet the requirements of the latest edition of the Uniform Building Code and the County of Monterey Building Department. All construction will be designed to meet the requirements for Seismic Zone 4 Building Codes in order to resist seismic forces.

**Compliance or Monitoring Action to be Performed:** Mitigation Monitoring Action 6-1: The applicant will submit a letter from a geotechnical engineer to RMA-Environmental Services certifying that construction was completed in accordance with the recommendations and approved plans.

### 36. MM003-HAZARDS AND HAZARDOUS MATERIALS

**Responsible Department:** Health Department

**Condition/Mitigation Monitoring Measure:** Mitigation Measure 8-1: Prior to issuance of grading permits, a soil work plan shall be prepared for the site by a Registered Geologist to determine the location of any contaminated soils on the site with concentrations above California Human Health Screening Levels (CHHSLs), as developed by the California Environmental Protection Agency (Cal-EPA), January 2005, and submitted to the Monterey County Environmental Health Bureau (EHB) for review and approval. Soils samples shall be taken on-site in accordance with the soil work plan approved by the EHB. Once a soil sampling analysis is complete, a report of the findings shall be provided to the EHB for review and approval. If soil exceeds California Human Health Screening levels, the EHB will have oversight and receive copies of the environmental investigations. Any soils with residual agricultural or industrial chemicals with concentrations above California Human Health Screening Levels (CHHSLs), as developed by the California Environmental Protection Agency (Cal-EPA), January 2005, shall be characterized, removed, and disposed of off-site at a licensed hazardous materials disposal site. All measures will be printed on all construction documents, contracts, and project plans prior to issuance of grading permits.

**Compliance or Monitoring Action to be Performed:** Mitigation Monitoring Action 8-1a: Prior to disturbance of on-site soils and prior to the issuance of grading permits, the applicant shall submit a soil work plan and resulting reports prepared by a qualified professional to the Environmental Health Bureau. If the soil exceeds California Human Health and Screening Levels, the EHB will have oversight and receive copies of the environmental investigations.

Mitigation Monitoring Action 8-1b: The applicant shall ensure that all measures be printed on all construction documents, contracts, and project plans prior to the issuance of grading permits.



### 37. MM004 - HAZARDS AND HAZARDOUS MATERIALS

**Responsible Department:** Health Department

**Condition/Mitigation  
Monitoring Measure:**

Mitigation Measure 8-2: If contaminated soils are found in concentrations above California Human Health Screening Levels (CHHSLs), as developed by the California Environmental Protection Agency (Cal-EPA), January 2005, a Site Management Plan (SMP) shall be prepared and implemented (as outlined below) and any contaminated soils found in concentrations above established thresholds shall be removed and disposed of according to California Hazardous Waste Regulations. The SMP shall be prepared by a qualified hazardous materials consultant. The SMP shall include:

- o Management practices for handling contaminated soil or other materials if encountered during construction or cleanup activities and measures to minimize dust generation, stormwater runoff, and tracking of soil off-site.

- o Preliminary Remediation Goals (PRGs) for environmental contaminants of concern to evaluate the site conditions following SMP implementation.

- o A Health and Safety Plan (HSP) for each contractor working at the site that addresses the safety and health hazards of each phase of site operations that includes the requirements and procedures for employee protection. The HSP will also outline proper soil handling procedures and health and safety requirements to minimize worker and public exposure to hazardous materials during construction.

The SMP shall be completed and approved prior to the issuance of grading permits and commencement of cleanup activities, and monitoring shall take place during construction, as applicable.

**Compliance or  
Monitoring  
Action to be Performed:**

Mitigation Monitoring Action 8-2a: Prior to the issuance of grading permits and commencement of cleanup activities, the applicant shall submit to EHB the SMP prepared by a qualified Hazardous Materials Consultant. The approved SMP shall detail procedures and protocols for management of soil containing environmental contaminants during site development activities. EHB will provide a copy of the approved SMP to the RMA Planning Department. Cleanup and remediation activities on the site prior to building construction shall be conducted in accordance with the SMP approved by EHB.

Mitigation Monitoring Action 8-2b: The applicant shall ensure that all measures be printed on all construction documents, contracts, and project plans prior to the issuance of grading permits.

Mitigation Monitoring Action 8-2c: A No Further Action letter (or equivalent assurance) from Monterey County EHB documenting completion of cleanup activities shall be provided to the RMA-Planning Department prior to issuance of occupancy permits.

### 38. MM005 - HYDROLOGY AND WATER QUALITY

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** Mitigation Measure 9-1: Stormwater control measures shall be designed, implemented, and maintained in accordance with Post Construction Stormwater Management Requirements (PCRs) for Development Projects in the Central Coast Region and shall be approved by RMA-Environmental Services.

**Compliance or Monitoring Action to be Performed:** Mitigation Monitoring Action 9-1.1: Stormwater Control Plan. Prior to issuance of any grading or building permits, the applicant shall submit a Stormwater Control Report and a Stormwater Control Plan, prepared by a registered professional engineer, to RMA-Environmental Services for review and approval. The report and plan shall address the Post-Construction Stormwater Management Requirements (PCRs) for Development Projects in the Central Coast Region. The plan shall include the location of the drainage facilities and construction details. Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the Stormwater Control Plan for conformance with the geotechnical recommendations.

### 39. MM006 - STORMWATER MAINTENANCE AGREEMENT

**Responsible Department:** Environmental Services

**Condition/Mitigation  
Monitoring Measure:**

Mitigation Measure 9-2.1: Maintenance Agreement. The applicant shall enter into a Maintenance Agreement (Agreement) that clearly identifies the responsible party for ongoing maintenance of structural Stormwater Control Measures. Prior to issuance of any grading or building permits, the owner/applicant shall submit the signed and notarized Agreement to RMA-Environmental Services for review and approval. The approved Agreement shall be recorded, and a copy of the recorded document shall be provided to RMA-Environmental Services. The Agreement shall contain provisions for an annual drainage system report, prepared by a registered Professional Engineer, that includes the status of all structural stormwater control measures and maintenance recommendations. The annual report shall be submitted to RMA-Environmental Services, for review and approval, no later than August 15th. All recommended maintenance shall be completed by October 15th of the same year. If maintenance is required, certification shall be provided that all recommended maintenance has been completed before the start of the rainy season.

**Compliance or  
Monitoring  
Action to be Performed:**

Mitigation Monitoring Action 9-2.2: Operations and Maintenance Plan. Prior to issuance of any building or grading permits, the owner/applicant shall submit an Operation and Maintenance Plan (O&M Plan), prepared by a registered Professional Engineer, to RMA-Environmental Services for review and approval. The O&M Plan shall include, at a minimum, the following:

- a) A site map identifying all structural Stormwater Control Measures requiring O&M practices to function as designed.
- b) O&M procedures for each structural Stormwater Control Measure including, but not limited to, LID facilities, retention/detention basins, and proprietorship devices.
- c) The O&M Plan shall include short- and long-term maintenance requirements, recommended frequency of maintenance, and estimated cost for maintenance.

Mitigation Monitoring Action 9-2.3: Field Verification of Post-Construction Stormwater Control Measures. Prior to final inspection, the owner/applicant shall provide certification from a registered Professional Engineer that the stormwater control facilities have been constructed in accordance with the approved Stormwater Control Plan. The letter shall be submitted to RMA-Environmental Services for review and approval.

#### 40. MM007 - NOISE

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure 12.1: The project's final design plans shall incorporate building design and acoustical treatments to ensure compliance with State and County noise standards for the residential use. The project shall incorporate recommendations of the project-specific acoustical analysis (Prepared August 18, 2017 by Sonics ESD) to ensure that the design incorporates controls to reduce interior noise levels to 45 dBA DNL or lower within the apartments. Building sound insulation requirements shall include the provision of forced-air mechanical ventilation. Special building construction techniques may be required that can include sound rated windows and doors, sound rated wall constructions and acoustical caulking.

**Compliance or Monitoring Action to be Performed:** Mitigation Monitoring Action 12.1.1: Pursuant to the State Building Code, the project shall incorporate the results of the analysis, including the necessary noise control measures. The building plans for review and approval by RMA planning prior to issuance of a building permit.

#### 41. MM008 - CONSTRUCTION COORDINATOR

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure 12.2 The proposed project will appoint a Construction Coordinator available on a 24 hour basis to address inquiries and noise concerns. The coordinator's contact information will be posted at the job site in a location that is accessible and visible from public viewing areas. The temporary short-term construction impacts of the project are considered less than significant.

**Compliance or Monitoring Action to be Performed:** Mitigation Monitoring Action 12-2.1 Prior to the issuance of construction permits, the applicant shall provide contact information for the appointed Construction Coordinator and shall submit proof of posting to RMA-Planning.

#### 42. MM009 - TRIBAL MONITORS

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Mitigation Measure 17-1: In order to reduce potential impacts to cultural resources and sacred places, earth disturbance activities shall be observed by multiple tribal monitors.

**Compliance or Monitoring Action to be Performed:** Mitigation Monitoring Action 17-1.1: Prior to issuance of construction permits for grading and/or building, the owner/applicant shall submit proof of an agreement to RMA-Planning with an Ohlone/Costanoan-Esselen Nation approved tribal monitor. The agreement shall outline logistics for monitoring during earth disturbance activities as well as how cultural resources will be handled if uncovered for the duration of the project. Due to the large amount of grading that will be required in a short timeframe, more than one tribal monitor will be necessary at any given time.

Mitigation Monitoring Action 17-1.2: During earth disturbance, the Ohlone/Costanoan-Esselen Nation approved tribal monitor shall be onsite observing the work, consistent with the approved contract discussed in Mitigation Monitoring Action 17-1. Prior to final of construction permits for grading and/or building, the owner/applicant shall submit a letter from the tribal monitor verifying all work was done consistent with the contract to RMA-Planning for review and approval.

#### 43. CONSTRUCTION EMISSIONS REDUCTIONS PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The Monterey County Resource Management Agency (RMA)-Planning Department shall require that the project and all construction activities comply with Monterey Bay Unified Air Pollution Control District (MBUAPCD) Rule 402 (Nuisance). Through the creation, and implementation of best management practices, the applicant shall reduce construction-generated fugitive dust and emissions. The MBUAPCD shall be consulted to identify the specific measures to be implemented to minimize impacts to nearby sensitive receptors.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any permits for on-site or off-site improvements, the Monterey County Resource Management Agency (RMA)-Planning Department shall require that the project applicant prepare, submit and implement a construction best management practices plan to verify compliance with MBUAPCD Rule 402.







Project / Owner:

Casa Boronda  
Agricultural  
Employee Housing  
Project

BORONDA ROAD  
SALINAS, CA 93908  
A.P.N.: 261-041-024-000  
261-041-025-000  
261-041-026-000



WHITSON ENGINEERS

8 Harris Court • Monterey, CA 93940  
(831) 648-2225 • Fax (831) 373-5665  
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

THE  
PAUL DAVIS  
PARTNERSHIP  
ARCHITECTS & PLANNERS



The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: GSK

Drawing Date: 5/31/2017

Project Number: 3624.00

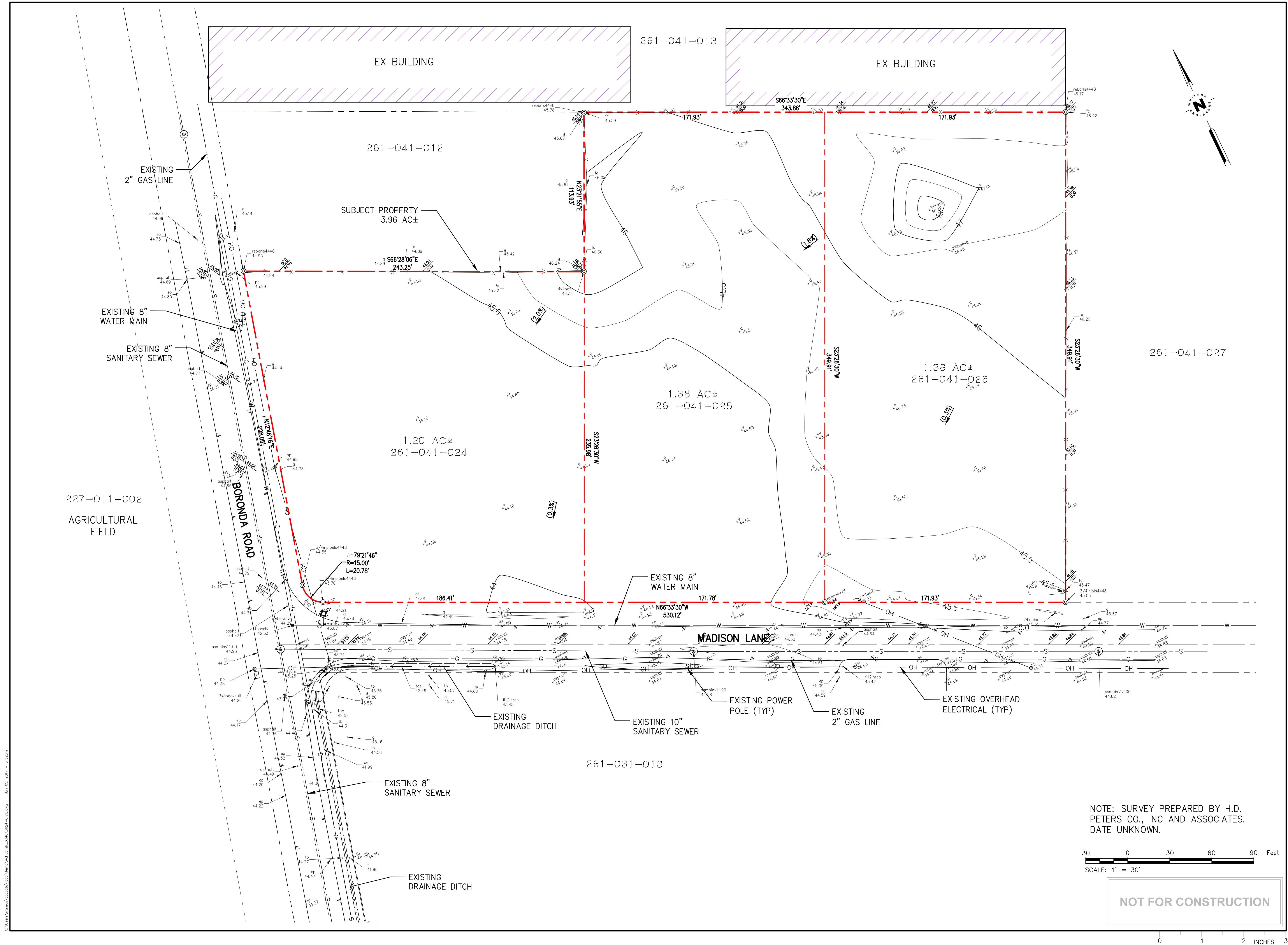
Revisions:



Sheet Title:  
EXISTING CONDITIONS

Sheet Number:

C1.0



NOTE: SURVEY PREPARED BY H.D.  
PETERS CO., INC AND ASSOCIATES.  
DATE UNKNOWN.

30 0 30 60 90 Feet  
SCALE: 1" = 30'

NOT FOR CONSTRUCTION

0 1 2 INCHES 3



Casa Boronda  
Agricultural  
Employee Housing  
Project

BORONDA ROAD  
SALINAS, CA 93908  
A.P.N.: 261-041-024-000  
261-041-025-000  
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Project Number: 3624.00

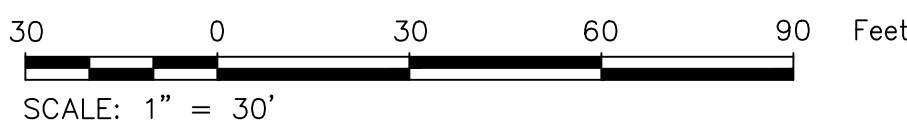
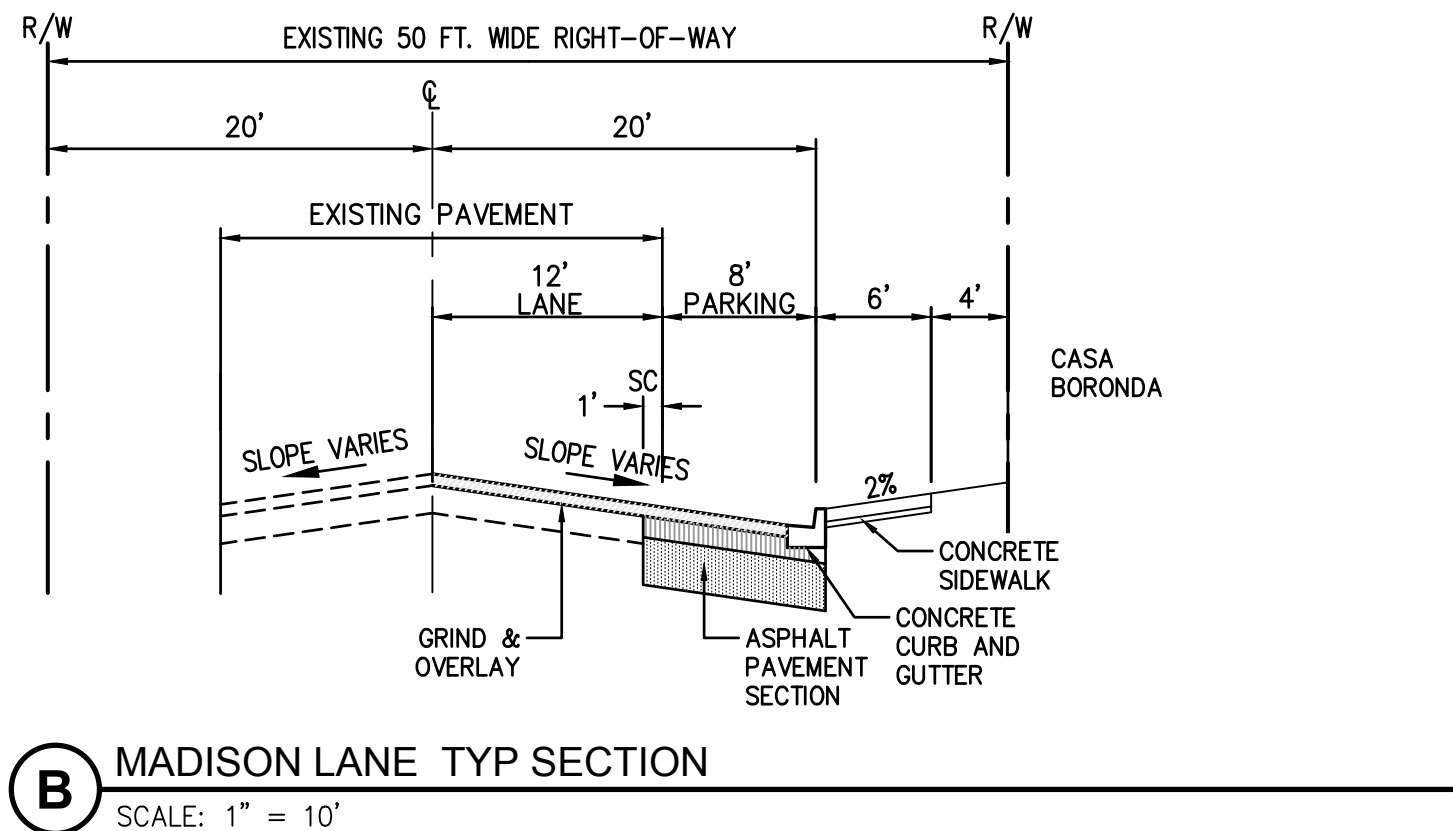
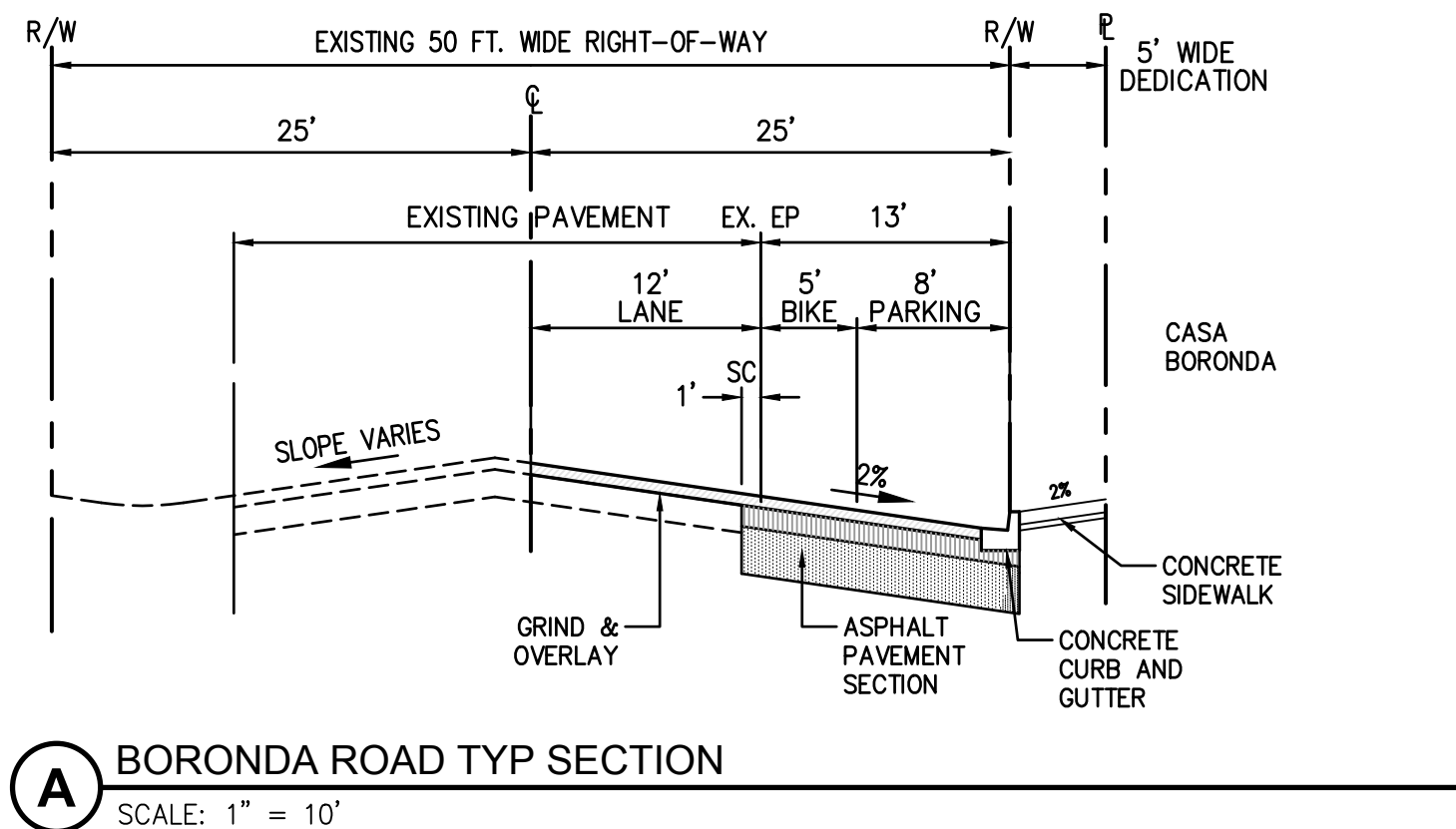
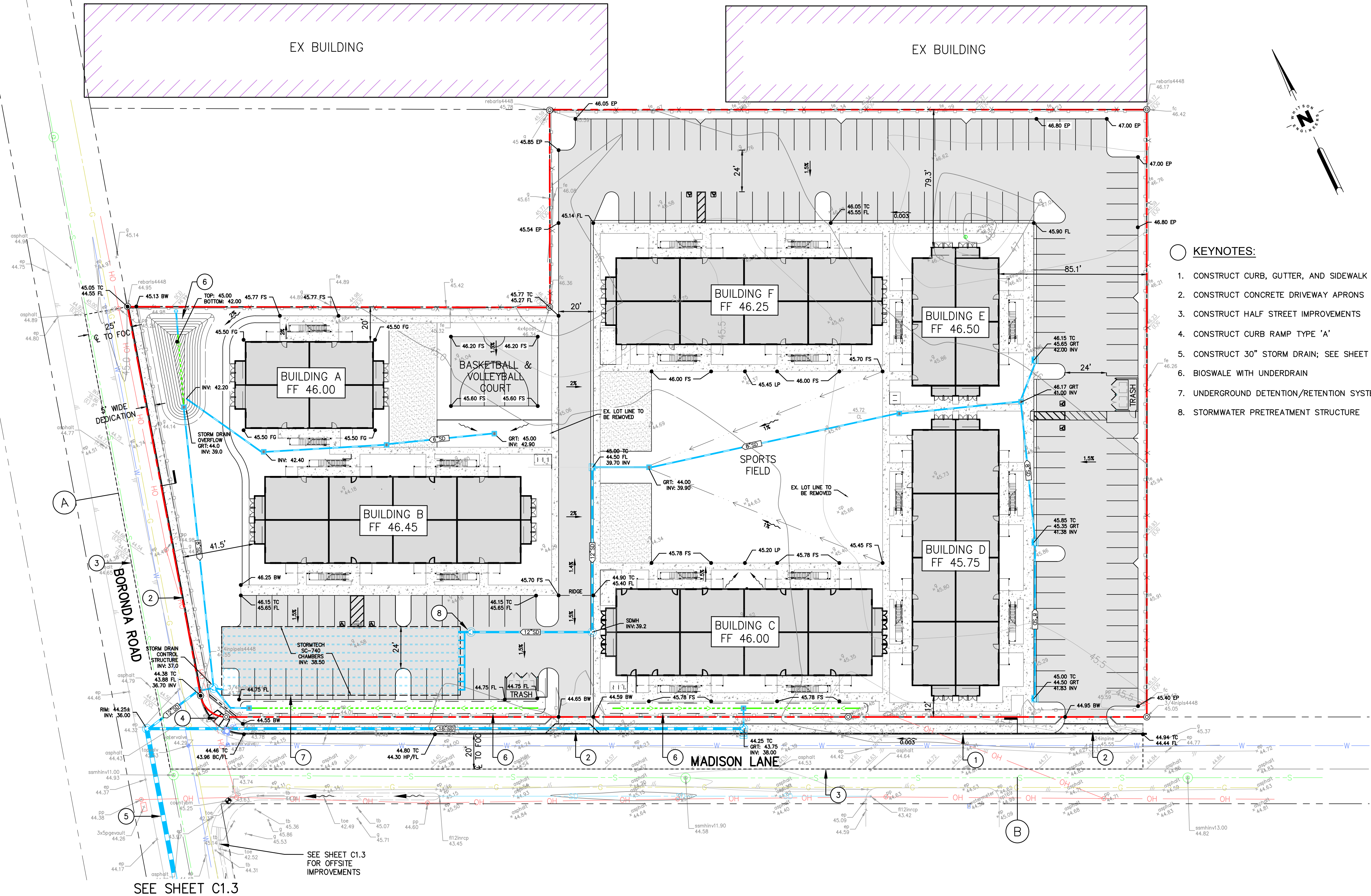
Revisions:

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Sheet Title:  
PROPOSED SITE PLAN,  
PRELIMINARY GRADING  
AND DRAINAGE PLAN

Sheet Number:

C1.1



NOT FOR CONSTRUCTION

0 1 2 INCHES 3



BORONDA ROAD  
SALINAS, CA 93908  
A.P.N.: 261-041-024-000  
261-041-025-000  
261-041-026-000



**WE**  
**WHITSON ENGINEERS**  
6 Harris Court • Monterey, CA 93940  
831 649-5225 • Fax 831 373-5065  
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

**THE  
PAUL DAVIS  
PARTNERSHIP**  

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*ARCHITECTS & PLANNERS*

*The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: [info@pauldavispartnership.com](mailto:info@pauldavispartnership.com)*

Drawn By: GSK

Drawing Date: 5/31/2017

Project Number: 3624.00

Revisions:

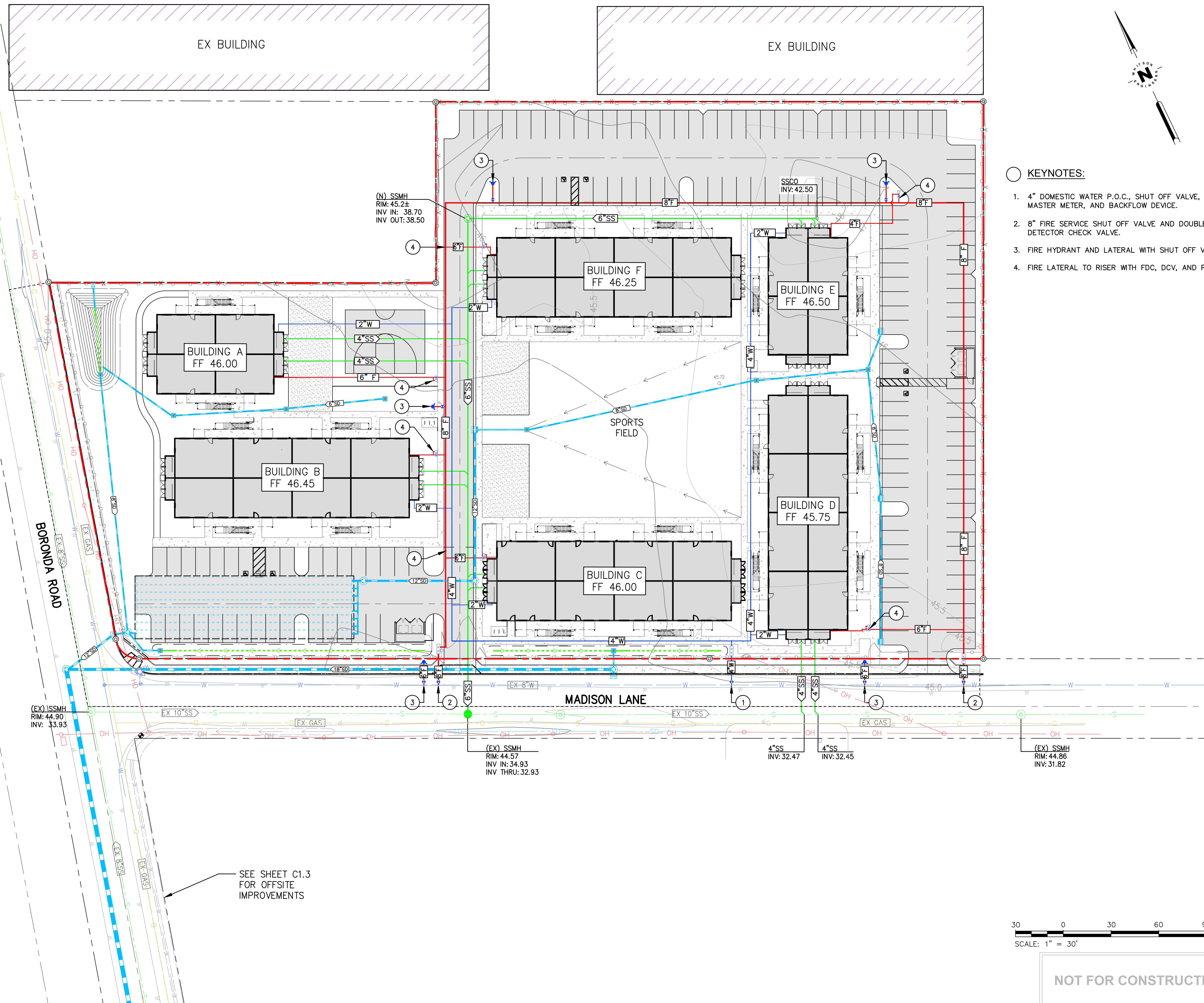
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Sheet Title:

**PRELIMINARY  
UTILITY PLAN**

Sheet Number:

C1.2



30 0 30 60 90 Feet

SCALE: 1" = 30'

NOT FOR CONSTRUCTION



Project / Owner:

Casa Boronda  
Agricultural  
Employee Housing  
Project

BORONDA ROAD  
SALINAS, CA 93908  
A.P.N.: 261-041-024-000  
261-041-025-000  
261-041-026-000



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Drawn By: GSK  
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Project Number: 3624.00

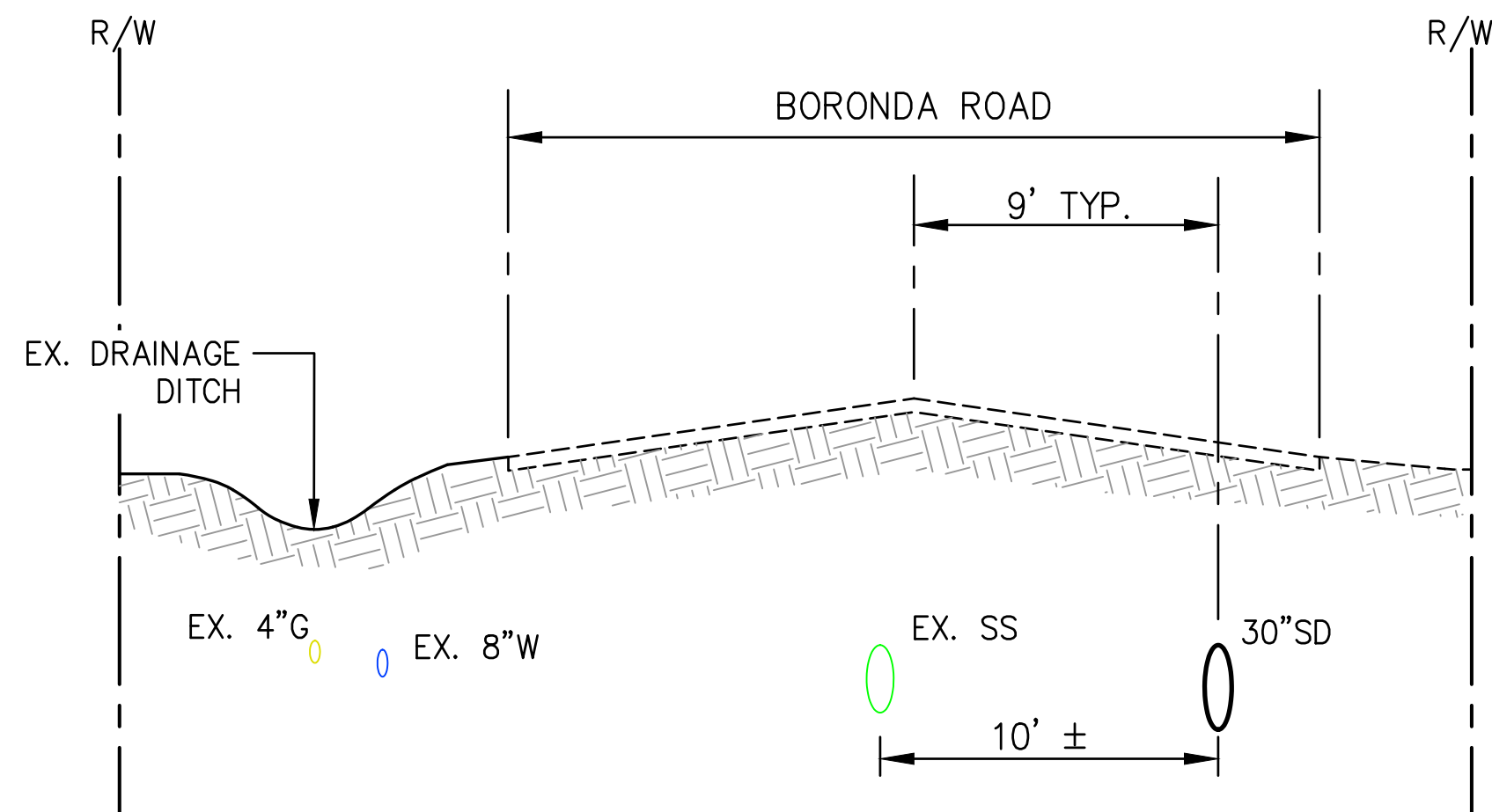
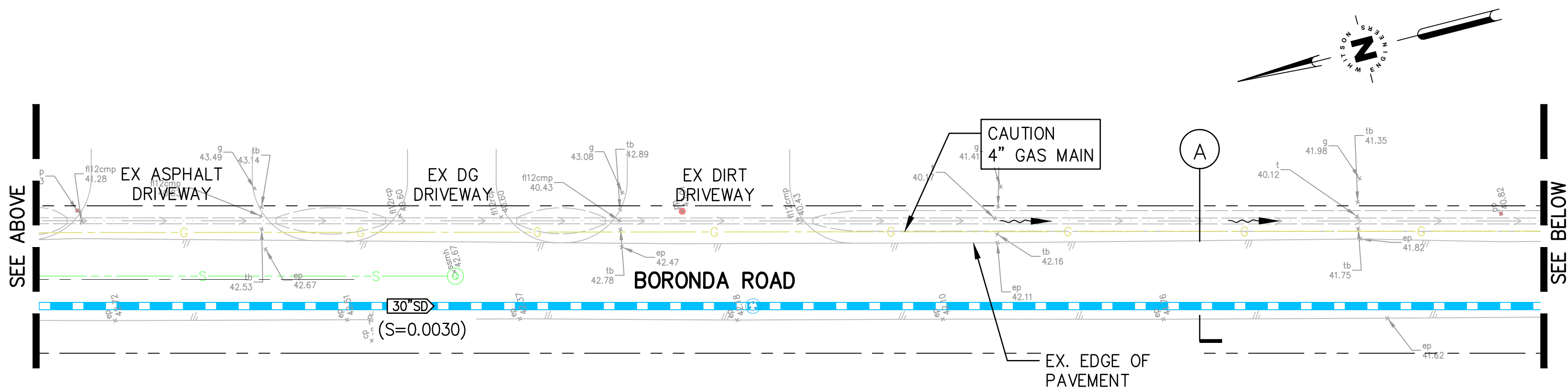
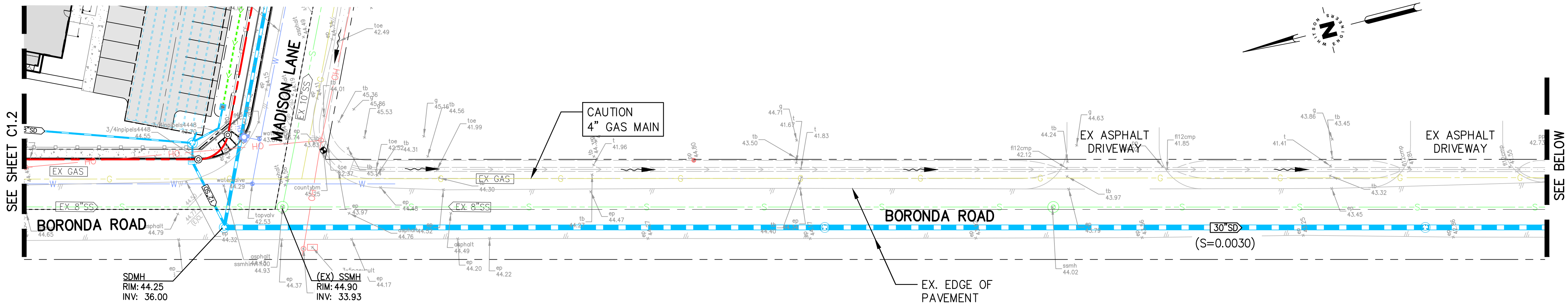
Revisions:

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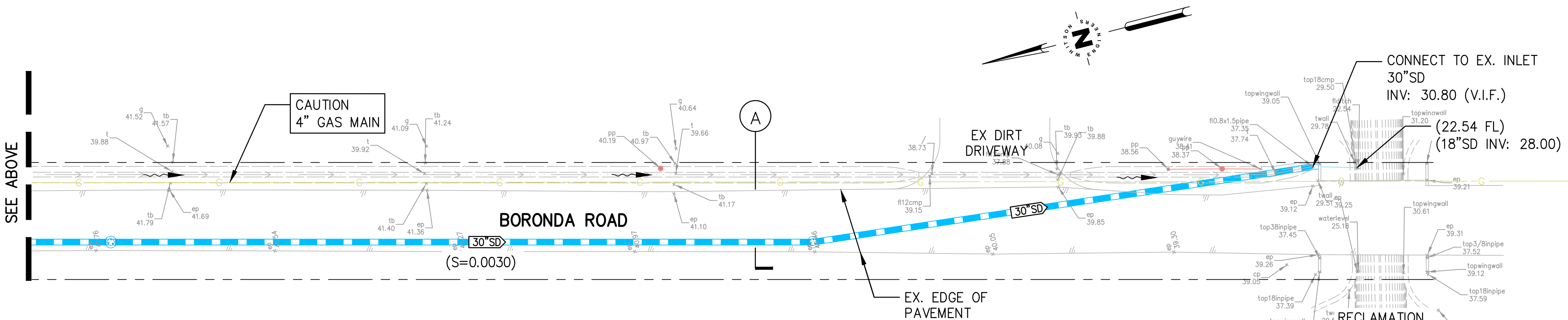
Sheet Title:  
OFF-SITE STORM  
DRAIN IMPROVEMENT  
PLAN

Sheet Number:

C1.3



A BORONDA ROAD SECTION  
SCALE: 1" = 5'



30 0 30 60 90 Feet  
SCALE: 1" = 30'

NOT FOR CONSTRUCTION

0 1 2 INCHES 3





Revisions:

## C1.4

1. ESTIMATED TOTAL DISTURBED AREA: 1.87 AC. THIS PLAN SHALL BE USED IN CONJUNCTION WITH THE PROJECT SWPPP.

2. BEST MANAGEMENT PRACTICES (BMPs) (MATERIALS AND THEIR INSTALLATION) SHALL CONFORM TO ONE OF THE FOLLOWING:

2.1. THE 2011 EDITION OF THE CALTRANS STORM WATER QUALITY HANDBOOK / CONSTRUCTION SITE BMP MANUAL. THE HANDBOOK MAY BE DOWNLOADED FOR A FEE FROM THE CASQA WEBSITE AT [http://www.dot.ca.gov/hq/construct/stormwater/documents/SWPPP\\_Prep\\_ManualJune2011.pdf](http://www.dot.ca.gov/hq/construct/stormwater/documents/SWPPP_Prep_ManualJune2011.pdf)

2.2. THE 2011 EDITION OF THE CALIFORNIA STORMWATER BMP HANDBOOK PROMULGATED BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA). THE HANDBOOK MAY BE DOWNLOADED FOR A FEE FROM THE CASQA WEBSITE AT <http://www.casqa.org/>

3. THE BMPs SHOWN ON THIS WATER POLLUTION CONTROL PLAN SHALL BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AND/OR AS DIRECTED BY THE ENGINEER OR JURISDICTION HAVING AUTHORITY.

4. ELEVATIONS OR PERMANENT OR TEMPORARY EROSION CONTROL MEASURES SHALL BE ADJUSTED TO PROTECT WATER QUALITY. THIS PLAN IS INTENDED TO BE USED FOR INTERIM WATER POLLUTION CONTROL ONLY AND IS NOT TO BE USED FOR FINAL EROSION CONTROL.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING BMPs PRIOR TO, DURING, AND AFTER STORM EVENTS, AND SHALL PROMPTLY CORRECT ANY DEFICIENCIES NOTED.

6. ALL FILL AREAS SHALL BE KEPT CLEAN OF SOIL AND DEBRIS. REGULAR STREET SWEEPING IS REQUIRED. ADDITIONAL STREET SWEEPING MAY BE REQUIRED BY THE ARCHITECT/ENGINEER OR JURISDICTION HAVING AUTHORITY.

7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE, ANY MATERIAL THAT IS TO BE HAULED OFF-SITE SHALL BE COVERED. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.

8. KEEP ADDITIONAL EROSION AND SEDIMENT CONTROL SUPPLIES ON SITE IN CASE IMMEDIATE REPAIRS OR MODIFICATIONS ARE REQUIRED. EROSION CONTROL SUPPLIES SHALL BE KEPT IN THE SAME LOCATION AS THE EROSION CONTROL SUPPLIES. TRAPS, CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.

9. EROSION CONTROL SITE PROTECTION SHALL BE MAINTAINED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

10. PROVIDE TEMPORARY EROSION CONTROL COVER ON ALL INACTIVE DISTURBED AREAS (AREAS WHICH HAVE NOT BEEN DISTURBED FOR AT LEAST 14 DAYS) PRIOR TO INSTALLATION OF FINAL LANDSCAPING, IF REQUIRED DUE TO PROJECT SCHEDULING.

12. PROVIDE WIND EROSION CONTROL AT ALL TIMES IN ACCORDANCE WITH BEST MANAGEMENT PRACTICE WE-1.

13. THE USE OF POLYMER OR OTHER CHEMICALS TO PREVENT EROSION OR SEDIMENTATION SHALL BE LIMITED TO THOSE CASES WHERE PLANTS OR MATERIALS ARE DEEMED NECESSARY. CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SALINE DEGRADATION AND WHICH MAY BE RE-USED.

14. ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.

- PROVIDE SILT FENCE AT CONSTRUCTION SITE PERIMETER WHERE RUNOFF LEAVES THE CONSTRUCTION SITE.
- PROVIDE INLET PROTECTION AT ALL DRAIN INLETS.

15. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2355, EROSION CONTROL ORDINANCE #2806, AND CALIFORNIA BUILDING CODE.

16. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE MONTEREY COUNTY SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING ORDINANCE #2355, EROSION CONTROL ORDINANCE #2806, AND CALIFORNIA BUILDING CODE.

17. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs AND AS WELL AS TO VERIFY THE EFFECTIVENESS OF EROSION CONTROL MEASURES AND THE RUD.

18. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER REQUIRED HAVE BEEN REMOVED.

19. ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).

20. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)

THE SWPPP HAS BEEN PREPARED BY THE OWNER'S CIVIL ENGINEER. ONE ORIGINAL "FIELD COPY" SWPPP WILL BE PROVIDED TO THE CONTRACTOR BY THE OWNER, IN ADDITION TO ELECTRONIC (PDF) FILES.

1. SERVE AS THE QUALIFIED SWPPP PRACTITIONER (QSP), AND ALSO THE QUALIFIED SWPPP DEVELOPER (QSD) IF QSD SERVICES ARE REQUIRED DURING CONSTRUCTION
2. TRAIN ITS EMPLOYEES AND SUBCONTRACTORS AS REQUIRED BY THE CONSTRUCTION GENERAL PERMIT
3. MAINTAIN THE FIELD COPY SWPPP BINDER
4. PERFORM ALL STORM WATER INSPECTIONS, SAMPLING AND ANALYSIS
5. IMPLEMENT THE RAIN EVENT ACTION PLANS (REAPS)
6. PROVIDE A SPLIT RESPONSE PLAN (TYPICALLY PART OF THE CONSTRUCTOR'S IIPP)
7. PROVIDE A STORMWATER ANNUAL REPORT TO THE OWNER EACH YEAR, AND BEFORE TO PROJECT COMPLETION
8. IMPLEMENT A SYSTEM OF TERMINAL CONTROL TO REPORT TO THE OWNER AT THE END OF EACH COMPLETION
9. SERVE AS DATA SUBMITTER FOR THE OWNER FOR ON-LINE SUBMITTALS THROUGH THE STATE'S WEBSITE (SMARTS)
10. ASSIST THE OWNER IN COORDINATING WITH THE REGIONAL WATER QUALITY CONTROL BOARD AND STATE WATER RESOURCES CONTROL BOARD, AS NEEDED
11. IMPLEMENT ALL BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY TO PROTECT WATER QUALITY, AS REQUIRED BY THE CONSTRUCTION GENERAL PERMIT, AND AS OUTLINED IN THE PROJECT SWPPP
12. PAY FOR NON-STORMWATER TESTING, IF REQUIRED DUE TO LEAKS OR SPILLS.
13. BE RESPONSIBLE FOR ANY FINES IMPOSED FOR FAILURE TO COMPLY WITH THE CONSTRUCTION GENERAL PERMIT OR OTHER LAWS, REGULATIONS, OR REQUIREMENTS OF THE VARIOUS JURISDICTIONS HAVING AUTHORITY.

ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.

1. THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 1 AND APRIL 30.
  - A. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
  - B. RUNOFF FROM THE SITE SHALL BE COLLECTED IN FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
  - C. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
  - D. THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
  - E. CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
  - F. ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
3. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR COVERING THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN DUST CONTROLS TO PREVENT THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.

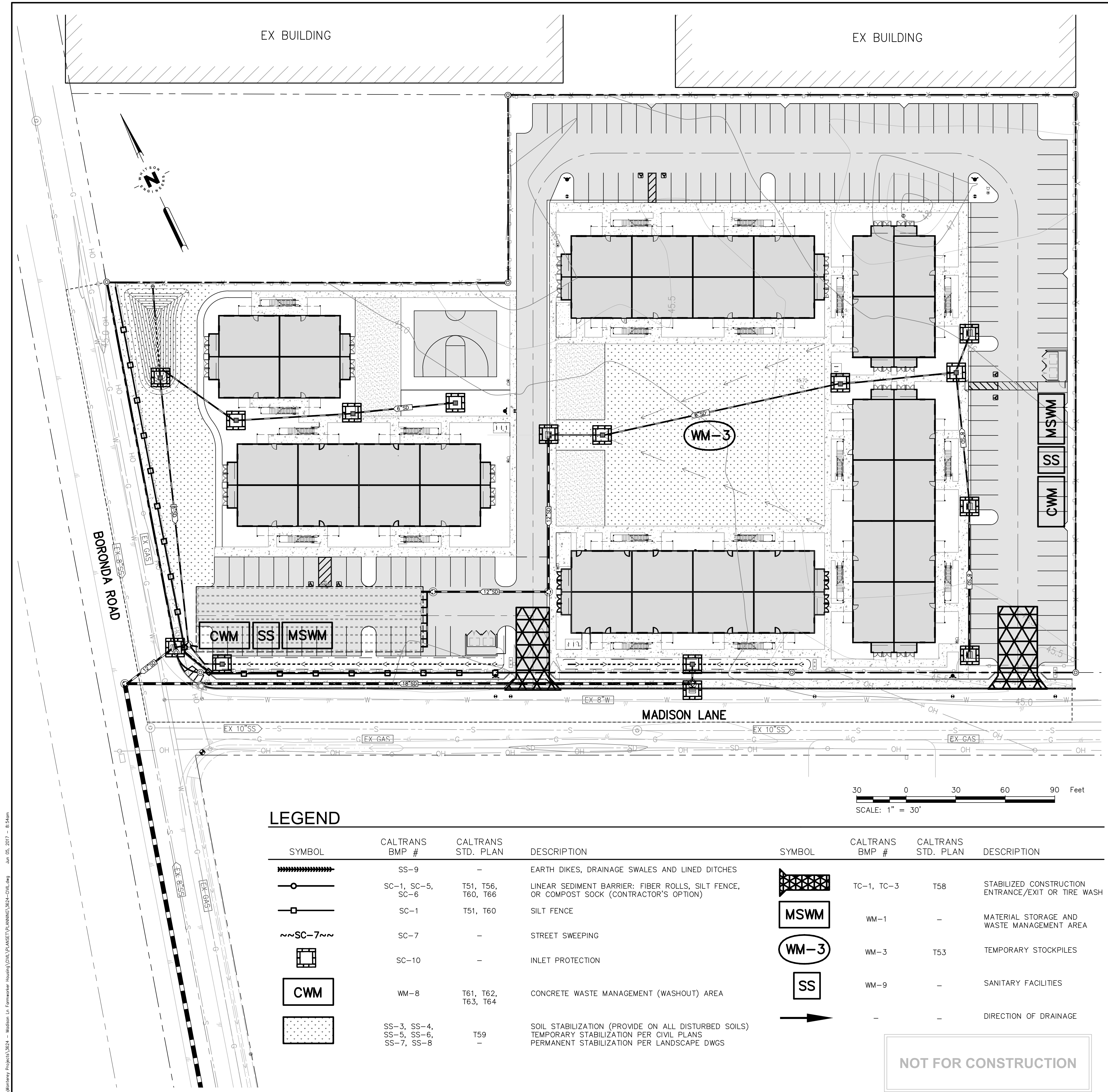
1. VISUALLY OBSERVE AND MAINTAIN BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:

- A. WEEKLY, AND
  - B. WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
  - C. WITHIN 48 HOURS AFTER EACH STORM EVENT.
  - D. DAILY DURING STORM EVENTS
2. REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
3. SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
4. TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
5. REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED AT AN APPROVED SITE.
6. REPAIR PILLS AND SULLIES AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

1. NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
2. MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
3. HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINIZED POTABLE WATER SOURCES SUCH AS:
  - FIRE HYDRANT FLUSHING,
  - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
  - PIPE FLUSHING AND TESTING,
  - WATER TO CONTROL DUST,
  - UNCONTAMINATED GROUND WATER FROM DEWATERING,
  - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
4. THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
  - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
  - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
  - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
  - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
  - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
  - THE DISCHARGE IS MONITORED
5. IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

1. STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- SPILL PREVENTION AND RESPONSE;
- LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
- GOOD HOUSEKEEPING;
- FINES AND PENALTIES;
- MATERIAL MANAGEMENT PRACTICES.





Casa Boronda  
Agricultural  
Employee Housing  
Project

BORONDA ROAD  
SALINAS, CA 93908  
A.P.N.: 261-041-024-000  
261-041-025-000  
261-041-026-000



WHITSON ENGINEERS

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CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

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The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: GSK

Drawing Date: 6/5/2017

Project Number: 3624.00

Revisions:

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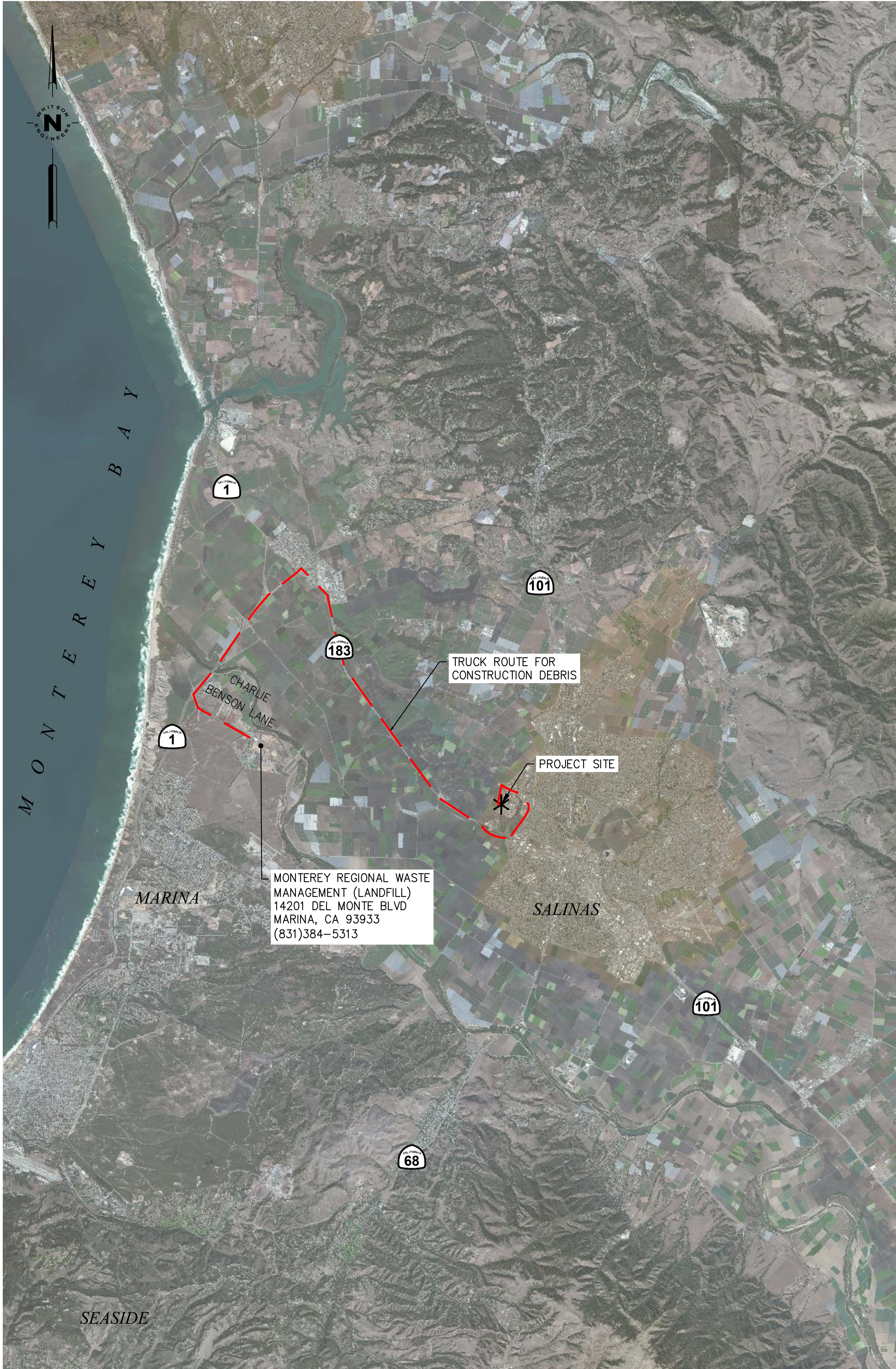


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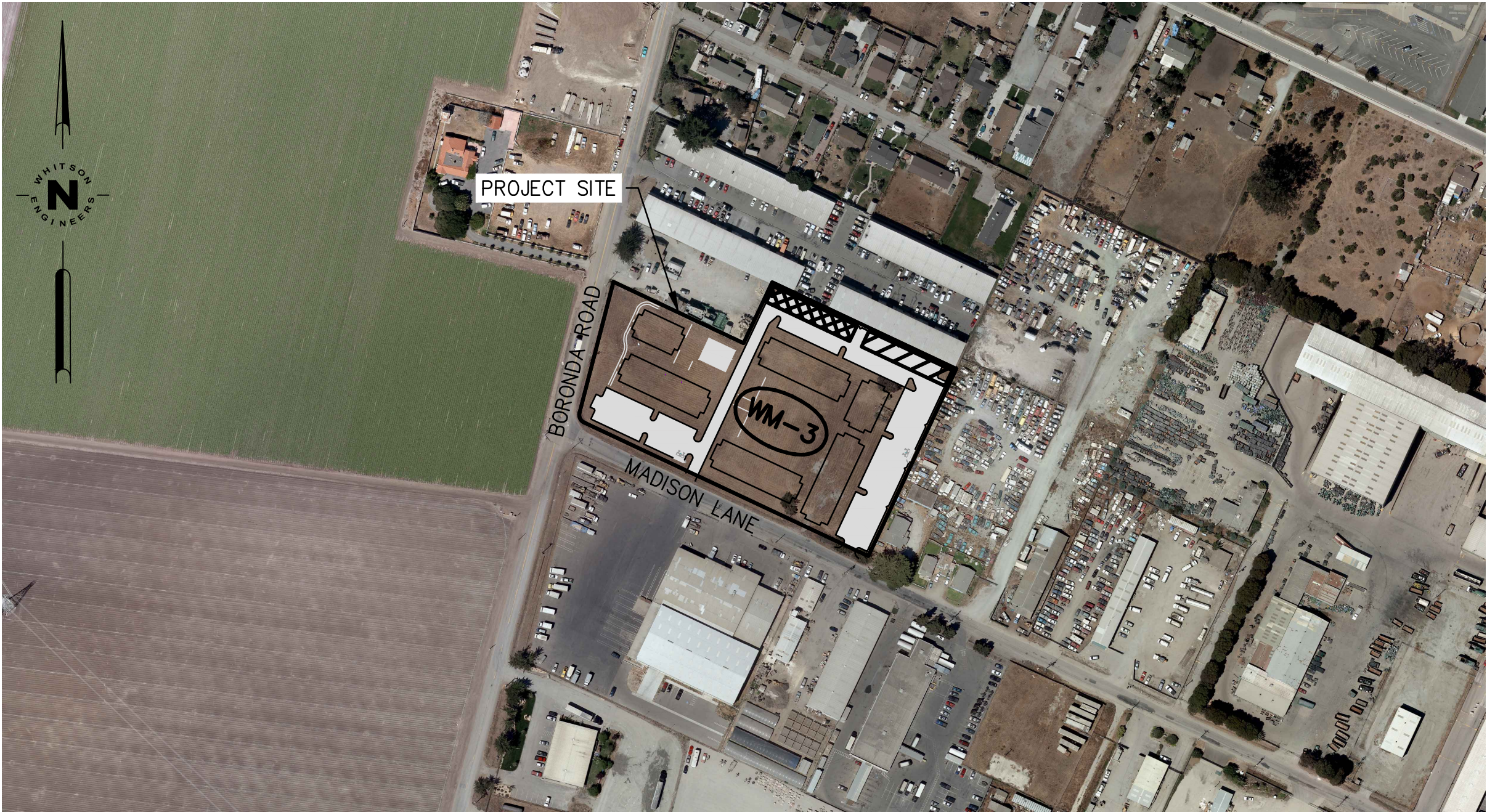
CONSTRUCTIOIN  
MANAGEMENT PLAN

Sheet Number:

CM1



C  
CM1 TRUCK ROUTING PLAN  
SCALE: 1"=7000'



B  
CM1 CONSTRUCTION SITE PLAN  
SCALE: 1"=200'

LEGEND



WORKER PARKING



EQUIPMENT PARKING



TRUCK ROUTE FOR CONSTRUCTION DEBRIS



HAUL ROUTE



TEMPORARY STOCKPILES

EARTHWORK QUANTITIES

0 CY CUT  
12,500 CY FILL  
12,500 CY NET IMPORT

CONTACT INFO

ARCHITECT  
THE PAUL DAVIS PARTNERSHIP  
286 ELDORADO STREET  
MONTEREY, CA 93940

TEL: (831) 373-2784

CONTRACTOR  
AVILA CONSTRUCTION  
12 THOMAS OWENS WAY, #200  
MONTEREY, CA 93940

TEL: MIKE AVILA - (831) 594-1288  
JEFFREY NOHR - (831) 917-5622

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION. SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IN READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES ARE IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

CONSTRUCTION MANAGEMENT NOTES

1. DURATION OF CONSTRUCTION IS 6 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
2. NOISE-GENERATING CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS BETWEEN 7 A.M. AND 7 P.M. MONDAY THROUGH SATURDAY; NO CONSTRUCTION NOISE IS ALLOWED ON SUNDAYS OR NATIONAL HOLIDAYS.
3. 244 TRUCK TRIPS WILL BE NECESSARY FOR THE GRADING PHASE OF THE PROJECT TO RAISE THE SITE PER PLAN.
4. TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING THE TRUCK ROUTE SHOWN ON THIS SHEET UNLESS A CLOSER COUNTY APPROVED SITE IS AVAILABLE FOR IMPORT OR TO RECEIVE EXPORT.
5. EXCESS MATERIAL WILL BE HAULED TO OTHER JOB SITES TO BE USED AS ENGINEERED FILL.
6. THE NUMBER OF WORKERS WILL VARY THROUGH OUT CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 10 TO 100.
7. EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS.

A  
CM1 OVERALL SITE PLAN  
SCALE: 1"=500'



SHEET NOTES

1. SEE CIVIL DRAWINGS FOR ALL BUILDING FINISHED FLOOR ELEVATIONS.
2. BOOT WASH LOCATION
3. TRASH ENCLOSURE FOR (1) 4-YARD RECYCLE BINS, (1) 4-YARD WASTE BINS, & (1) 64 gal. ORGANIC WASTE CARTS
4. BIKE RACKS
5. MECHANICAL ROOM
6. ELECTRICAL ROOM

Project / Owner:

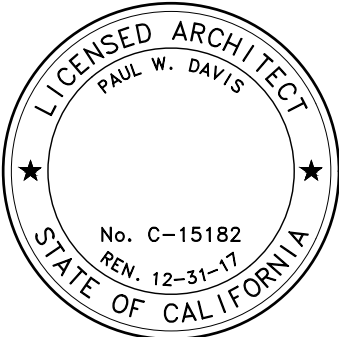
Casa Boronda  
Agricultural  
Employee Housing  
Project

1144 MADISON LANE  
SALINAS, CA 93908

THE  
PAUL DAVIS  
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ARCHITECTS & PLANNERS



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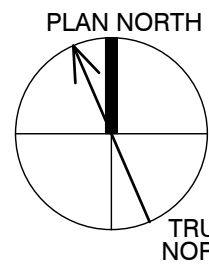
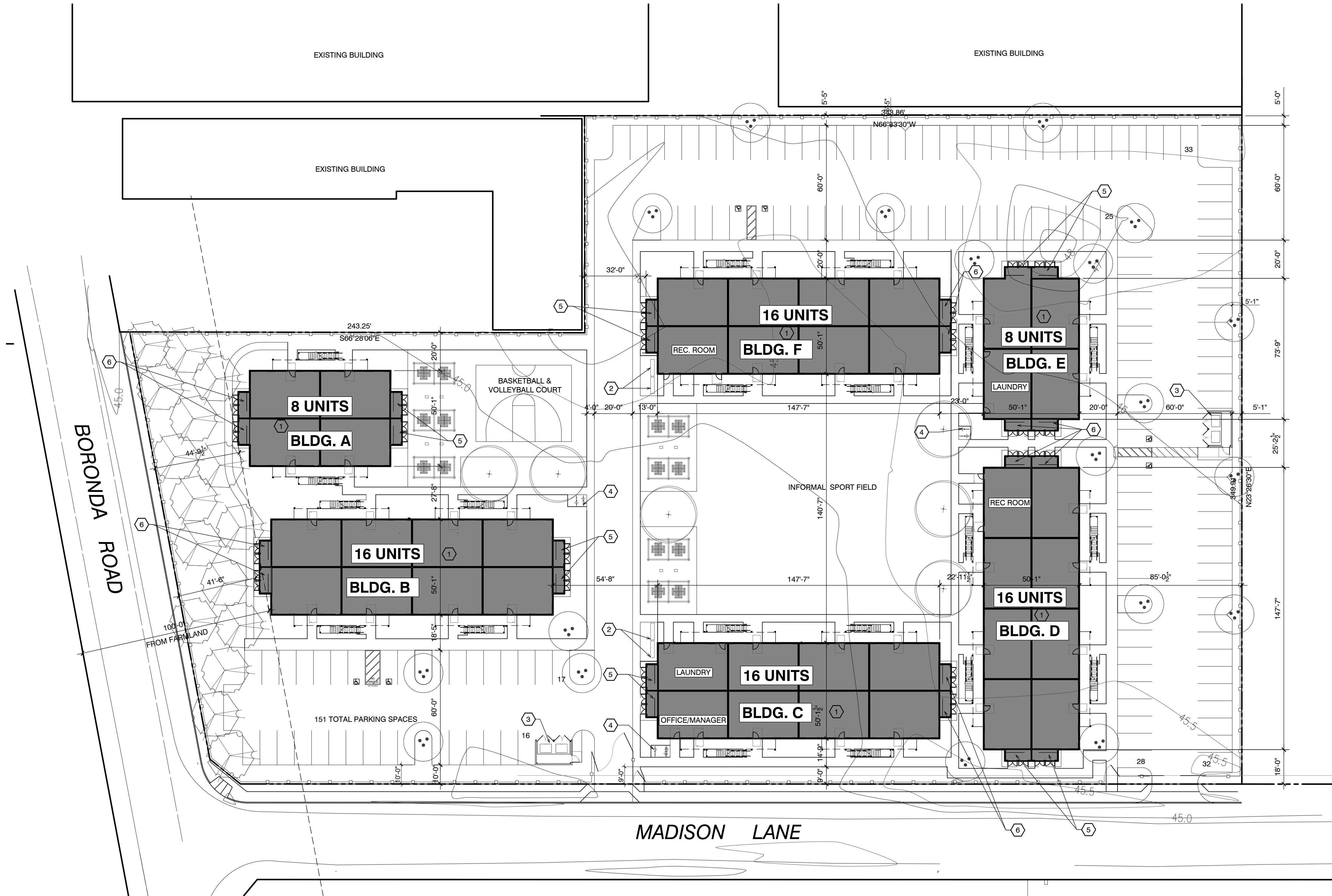
Drawn By: AC  
Drawing Date: 06/05/2017  
Project Number: 1713

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Sheet Title:  
PROPOSED  
SITE PLAN

Sheet Number:



PROPOSED SITE PLAN

SCALE: 1" = 30'-0"

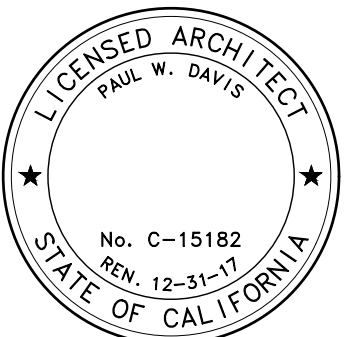
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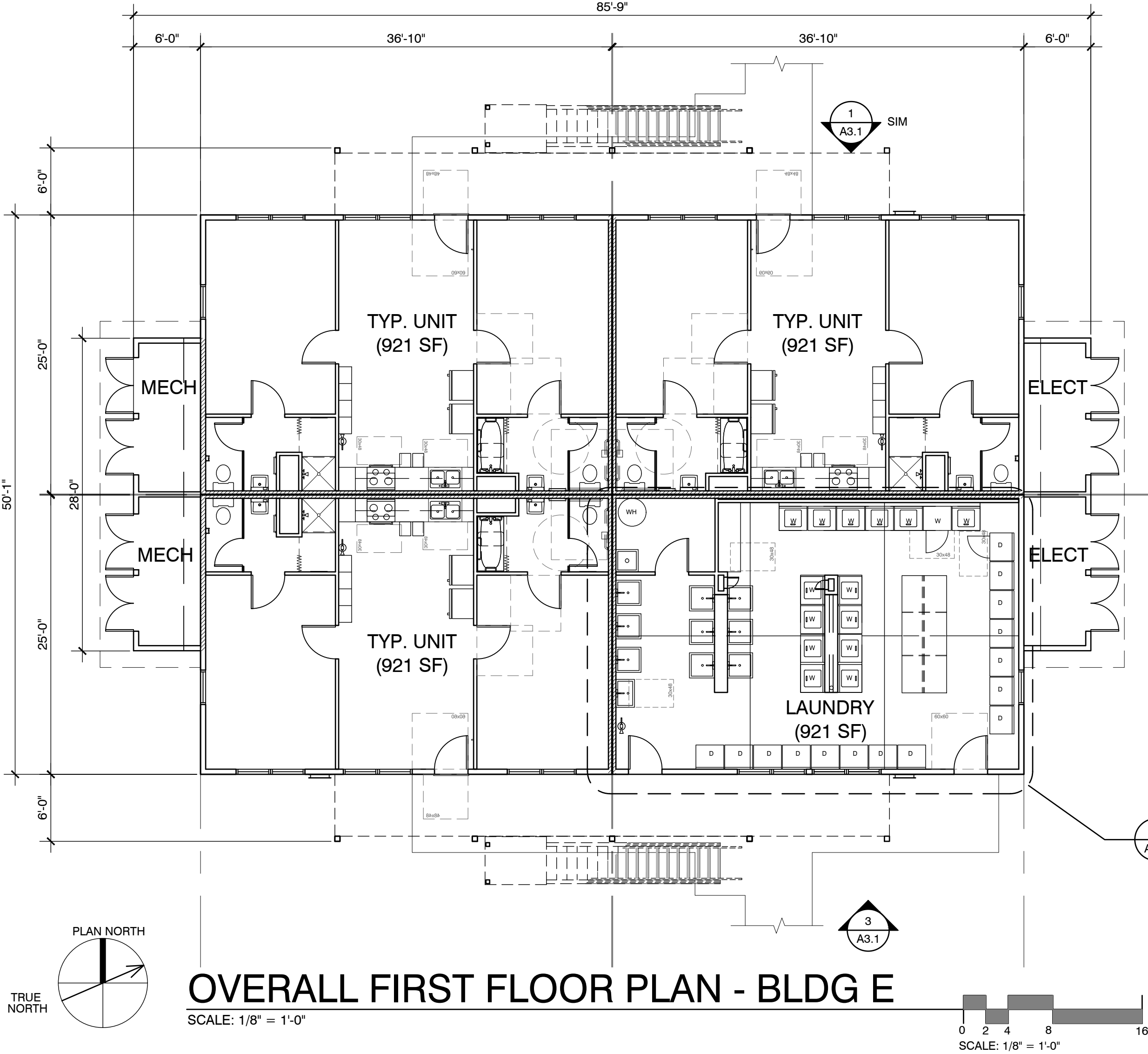
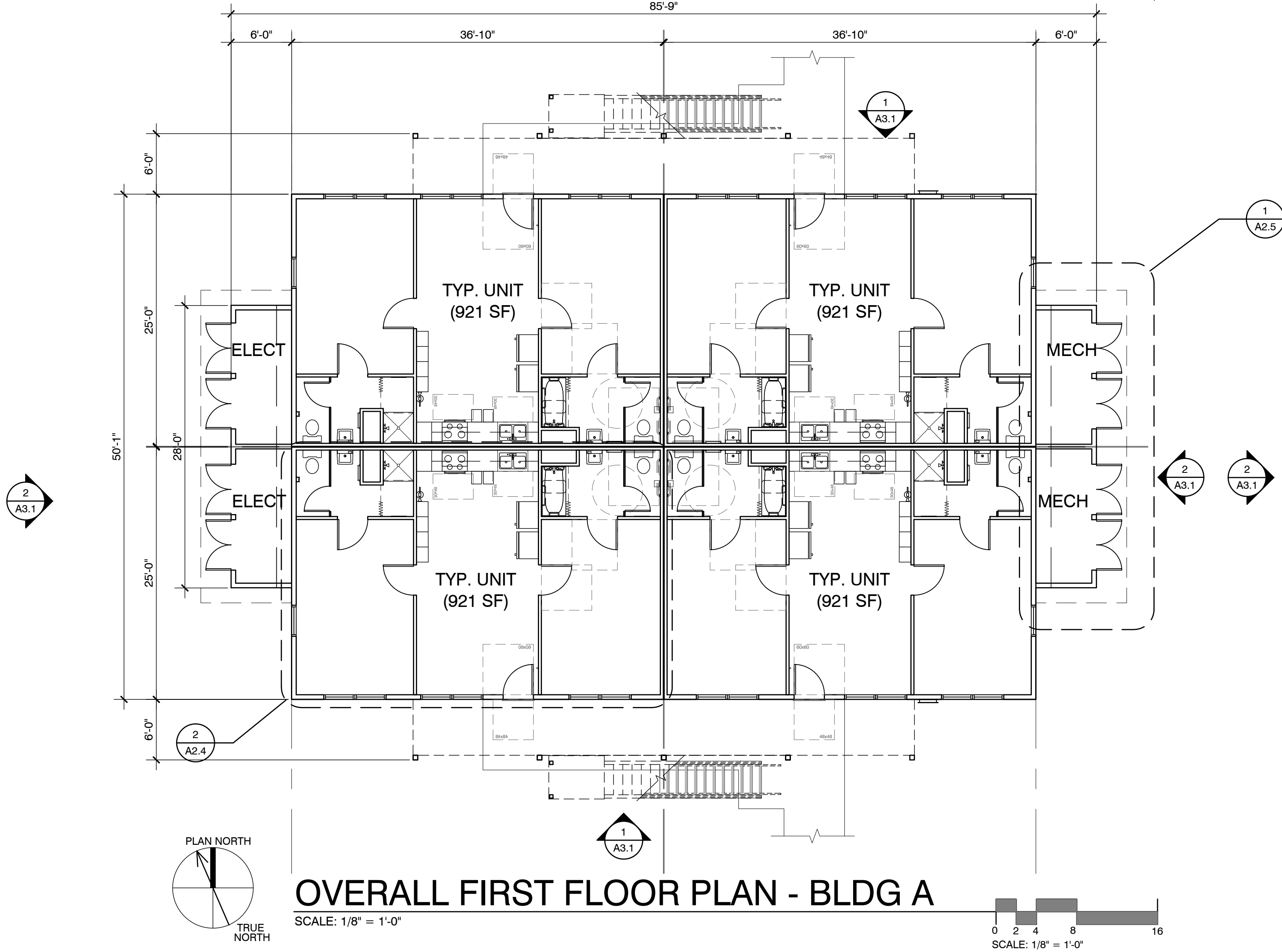
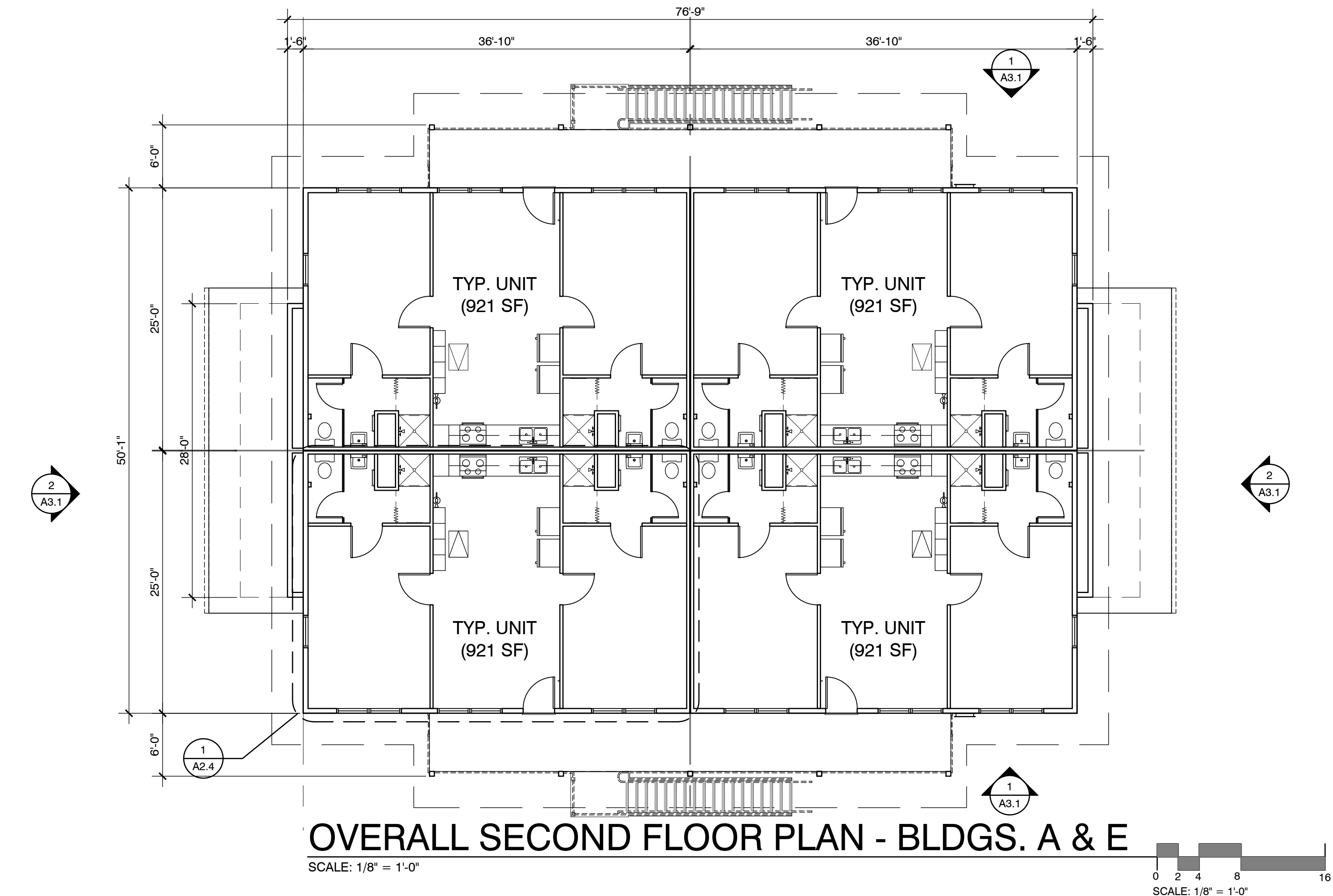
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Sheet Title:  
PROPOSED 8-UNIT  
BLDGS. A & E  
FIRST & SECOND  
FLOOR PLANS

Sheet Number:

GENERAL NOTES

1. SEE SHEET A1.1 SITE PLAN FOR BUILDING ORIENTATION AND EXACT LOCATION OF MECHANICAL AND ELECTRICAL ROOMS.



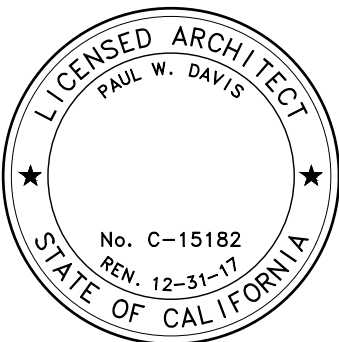
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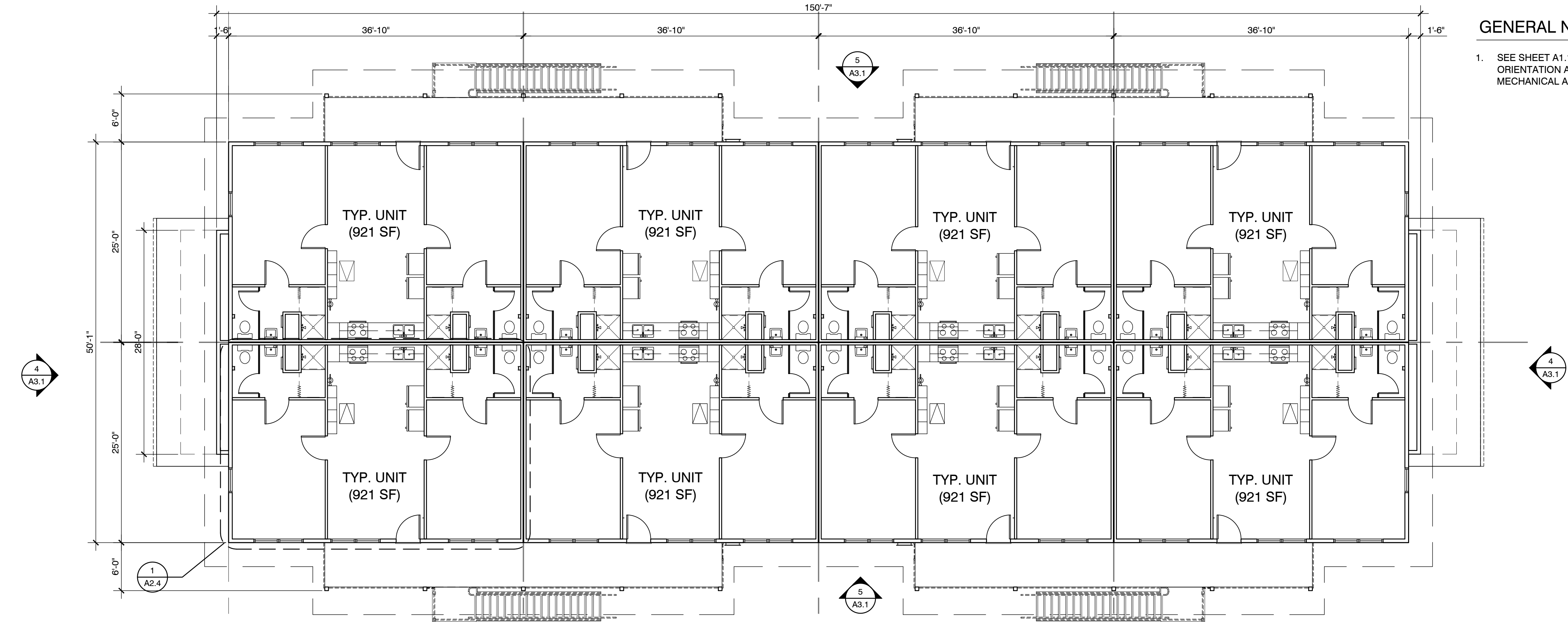
Sheet Title:  
PROPOSED 16-UNIT  
BLDG. B - FIRST  
FLOOR PLAN &  
BLDGS. B, C, D, & F  
SECOND FLR PLAN

Sheet Number:

A2.2

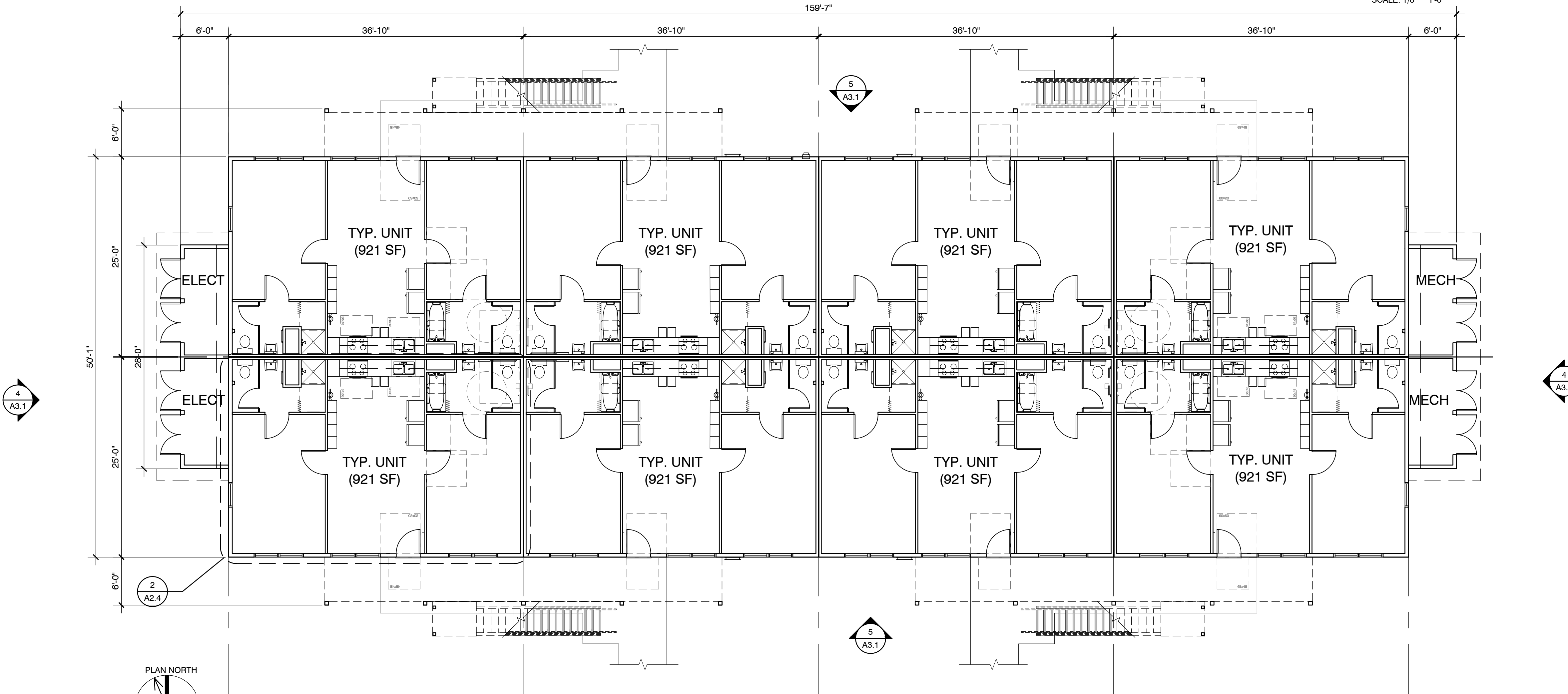
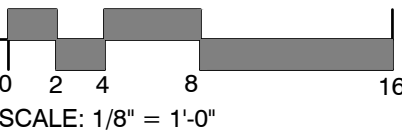
GENERAL NOTES

1. SEE SHEET A1.1 SITE PLAN FOR BUILDING ORIENTATION AND EXACT LOCATION OF MECHANICAL AND ELECTRICAL ROOMS.



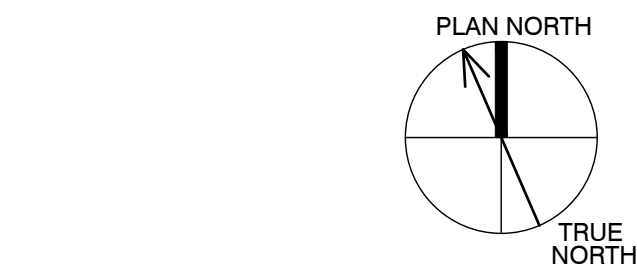
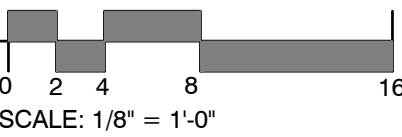
OVERALL SECOND FLOOR PLAN - BLDGS. B, C, D, & F

SCALE: 1/8" = 1'-0"

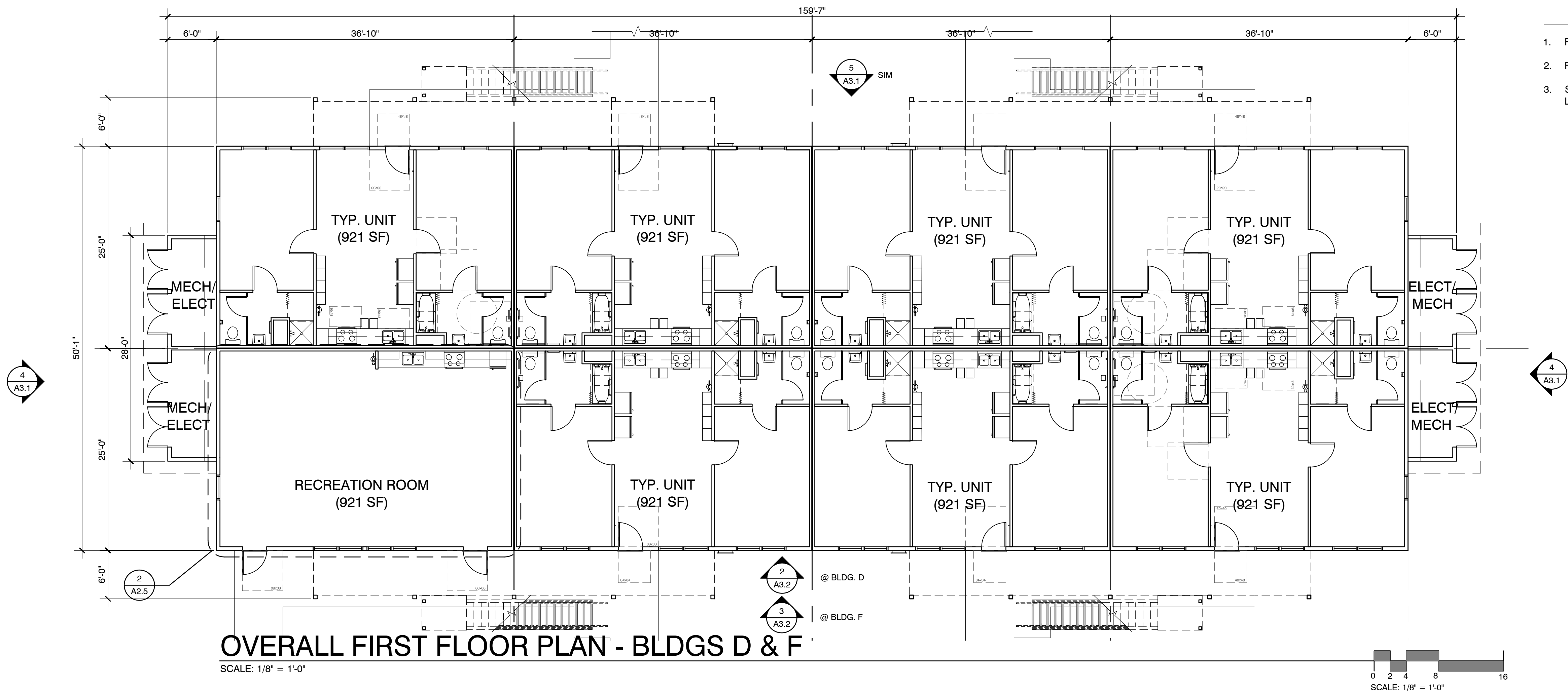


OVERALL FIRST FLOOR PLAN - BLDG B

SCALE: 1/8" = 1'-0"

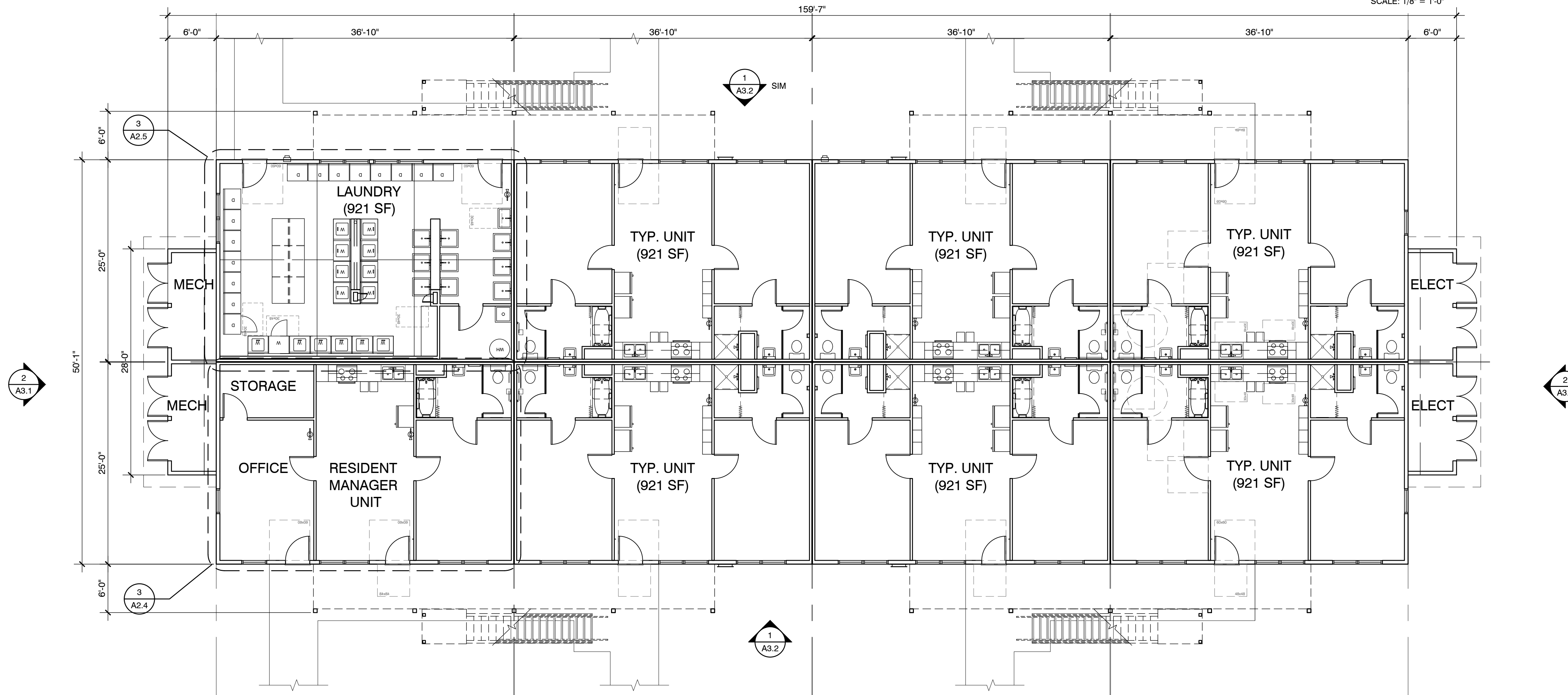
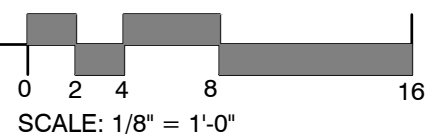






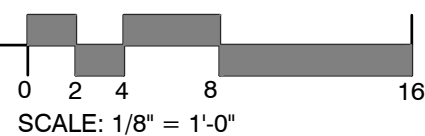
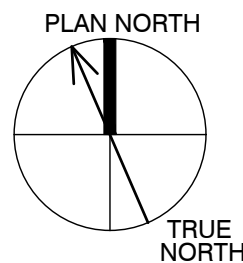
OVERALL FIRST FLOOR PLAN - BLDGS D & F

SCALE: 1/8" = 1'-0"



OVERALL FIRST FLOOR PLAN - BLDG C

SCALE: 1/8" = 1'-0"



## GENERAL NOTES

1. FOR BUILDING C SECOND FLOOR PLAN - SEE SHEET A2.2.
2. FOR BUILDINGS D & F SECOND FLOOR PLAN - SEE SHEET A2.2.
3. SEE SHEET A1.1 SITE PLAN FOR BUILDING ORIENTATION AND EXACT LOCATION OF MECHANICAL AND ELECTRICAL ROOMS.

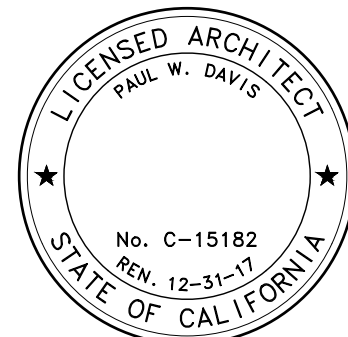
Project / Owner:

## Casa Boronda Agricultural Employee Housing Project

1144 MADISON LANE  
SALINAS, CA 93908

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286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
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Drawing Date: 06/05/2017  
Project Number: 1713

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Sheet Title:  
PROPOSED 16-UNIT  
BLDGS. C, D, & F  
FIRST FLOOR PLANS

Sheet Number:

A2.3



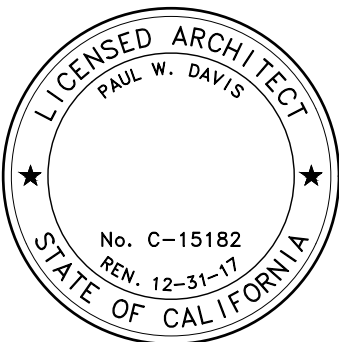
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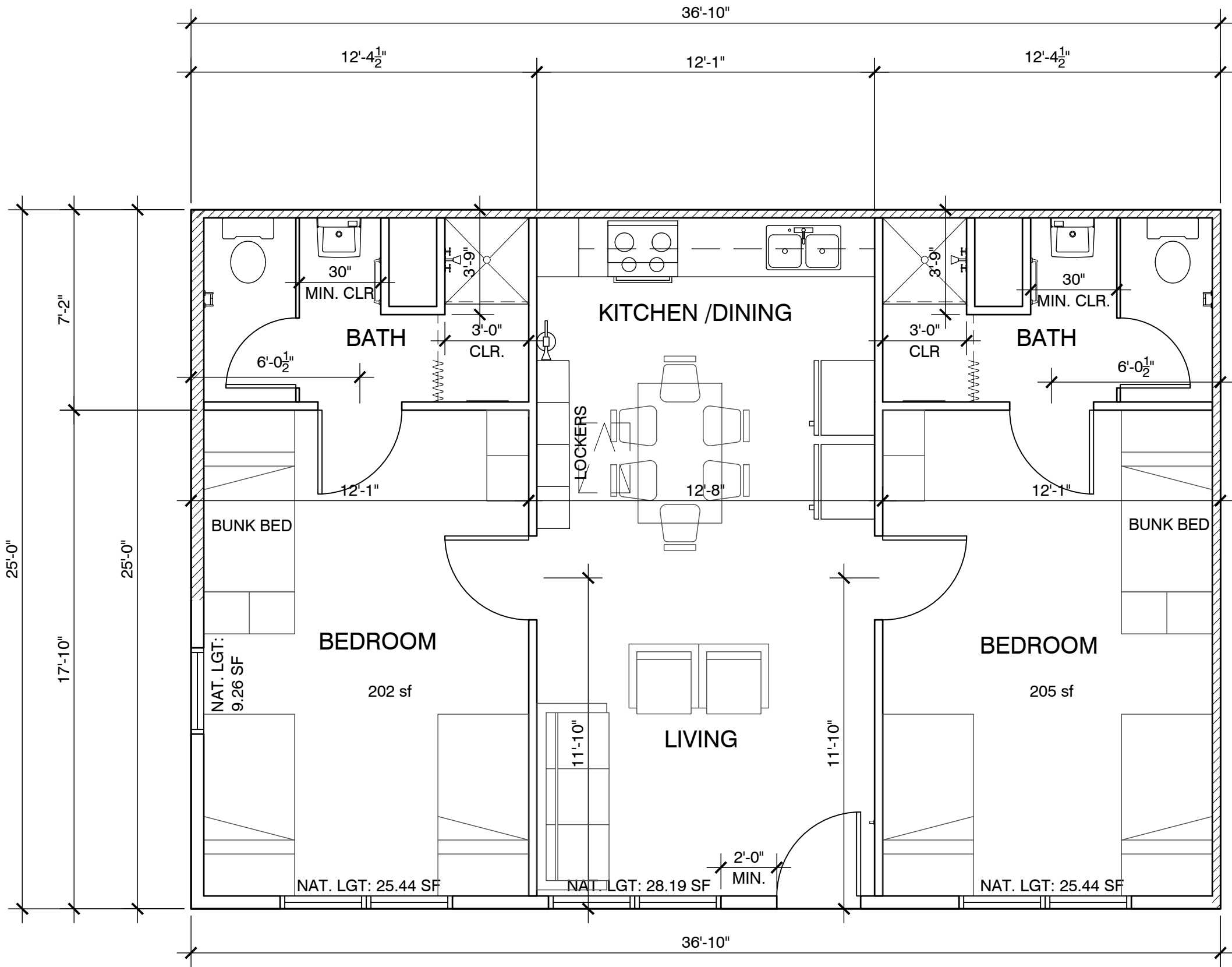
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Sheet Title:  
ENLARGED PLANS

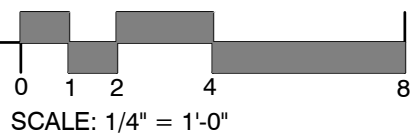
Sheet Number:

A2.4

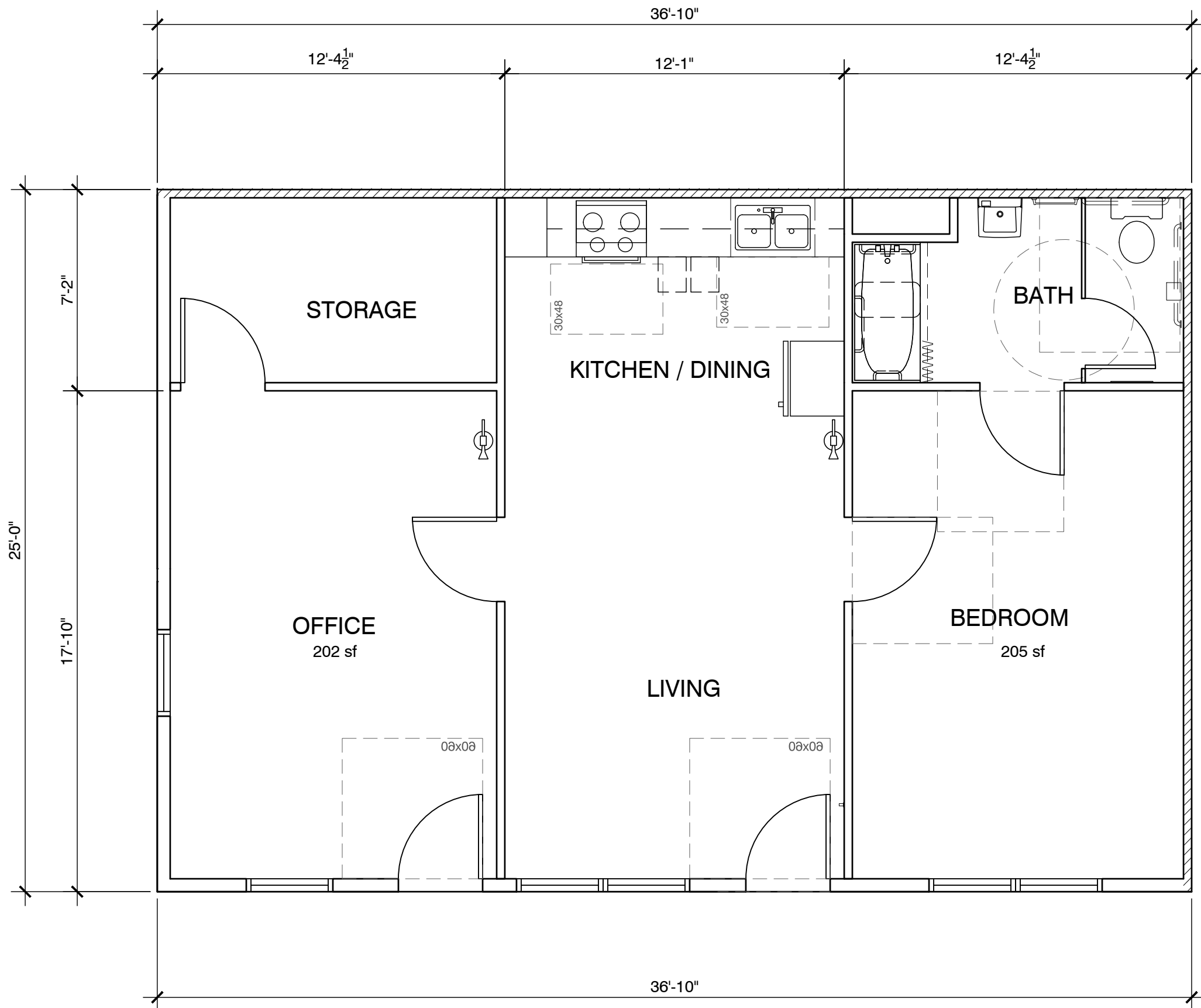


1 TYPICAL SECOND FLOOR UNIT PLAN

SCALE: 1/4" = 1'-0"

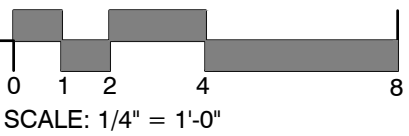


SCALE: 1/4" = 1'-0"

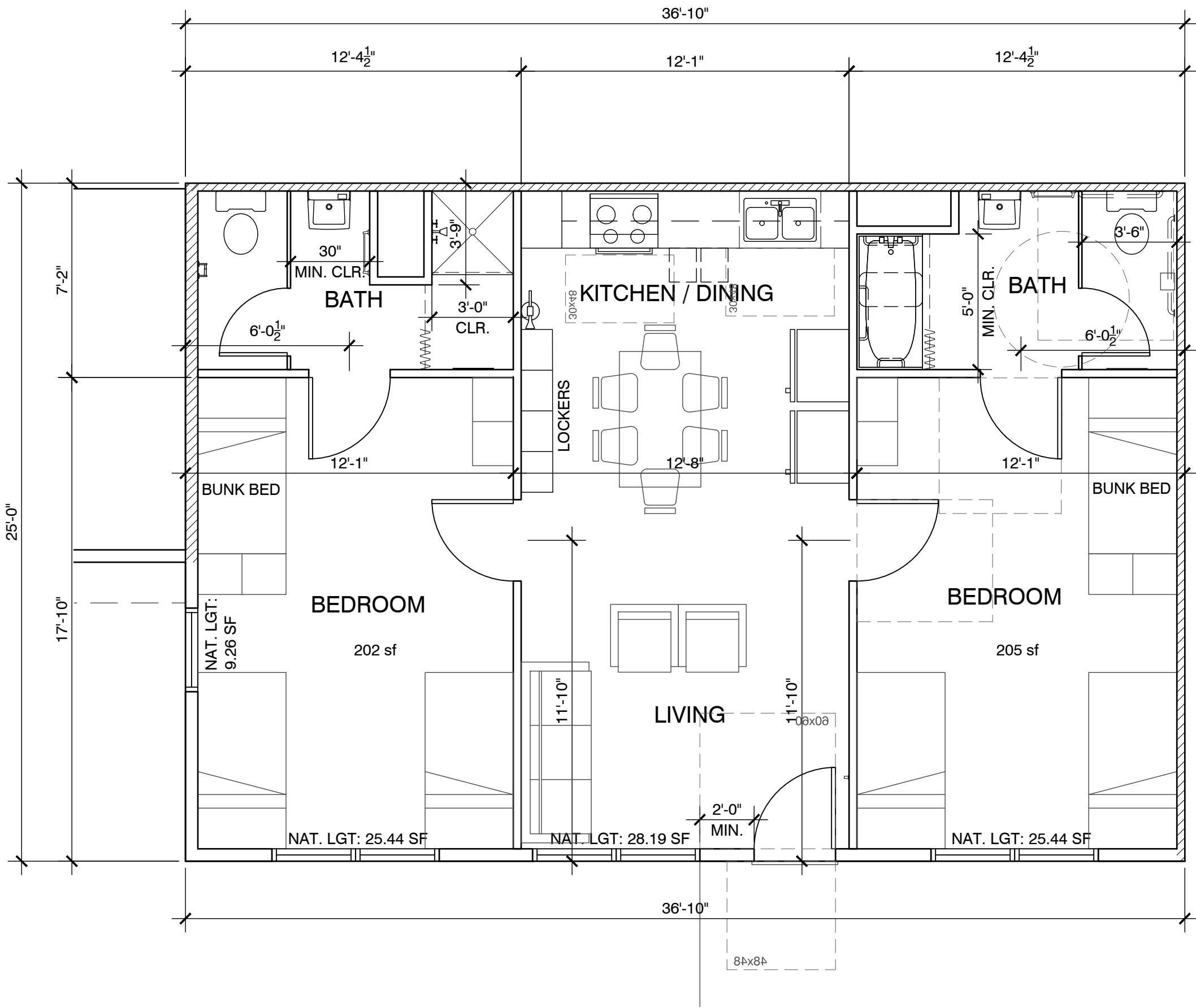


3 OFFICE/RES. MANAGER UNIT - BLDG. C

SCALE: 1/4" = 1'-0"

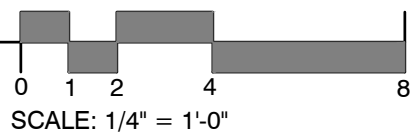


SCALE: 1/4" = 1'-0"



2 TYPICAL FIRST FLOOR UNIT PLAN

SCALE: 1/4" = 1'-0"



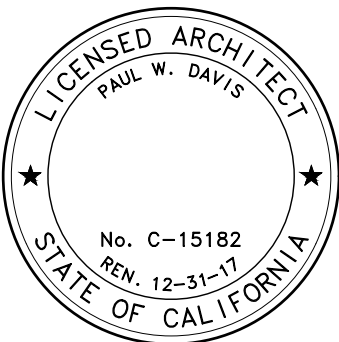
SCALE: 1/4" = 1'-0"

Casa Boronda  
Agricultural  
Employee Housing  
Project

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SALINAS, CA 93908

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ARCHITECTS & PLANNERS

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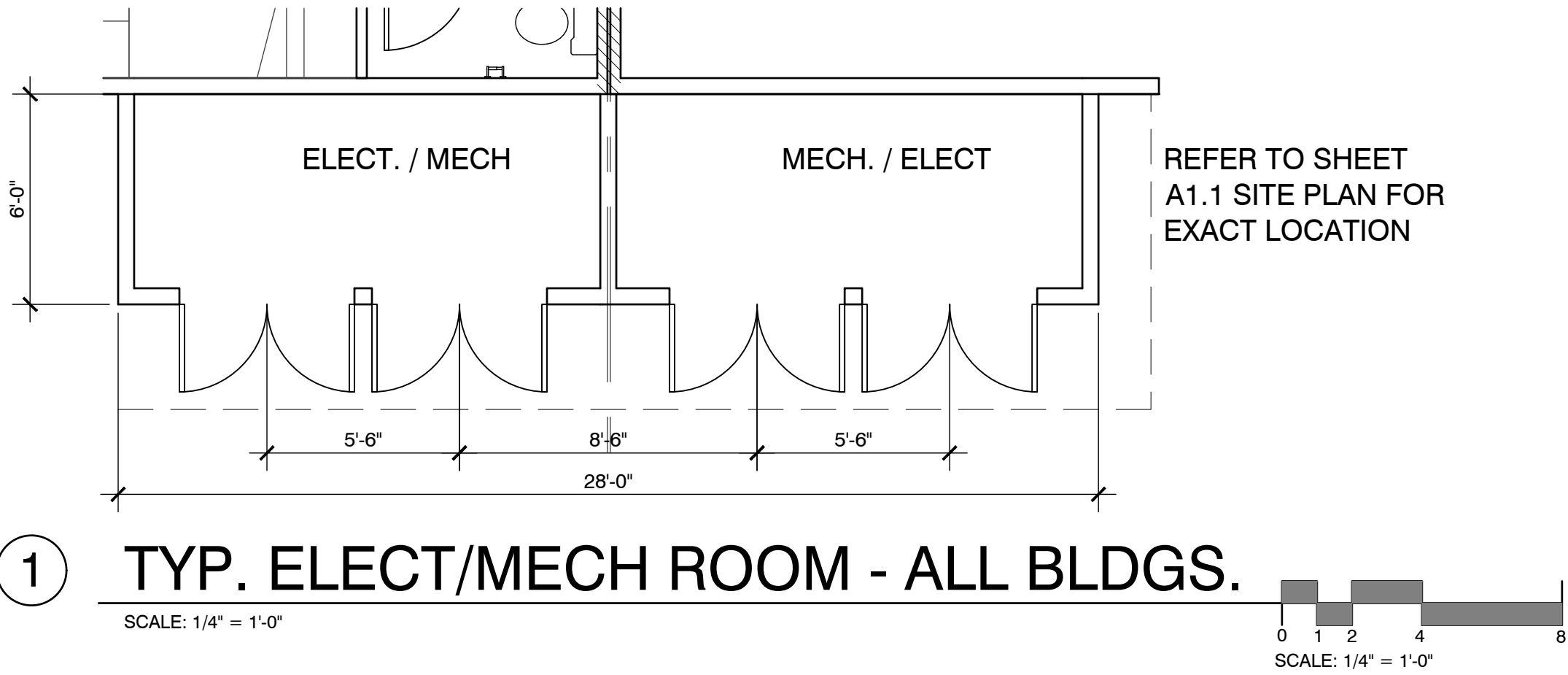
Drawn By: AC  
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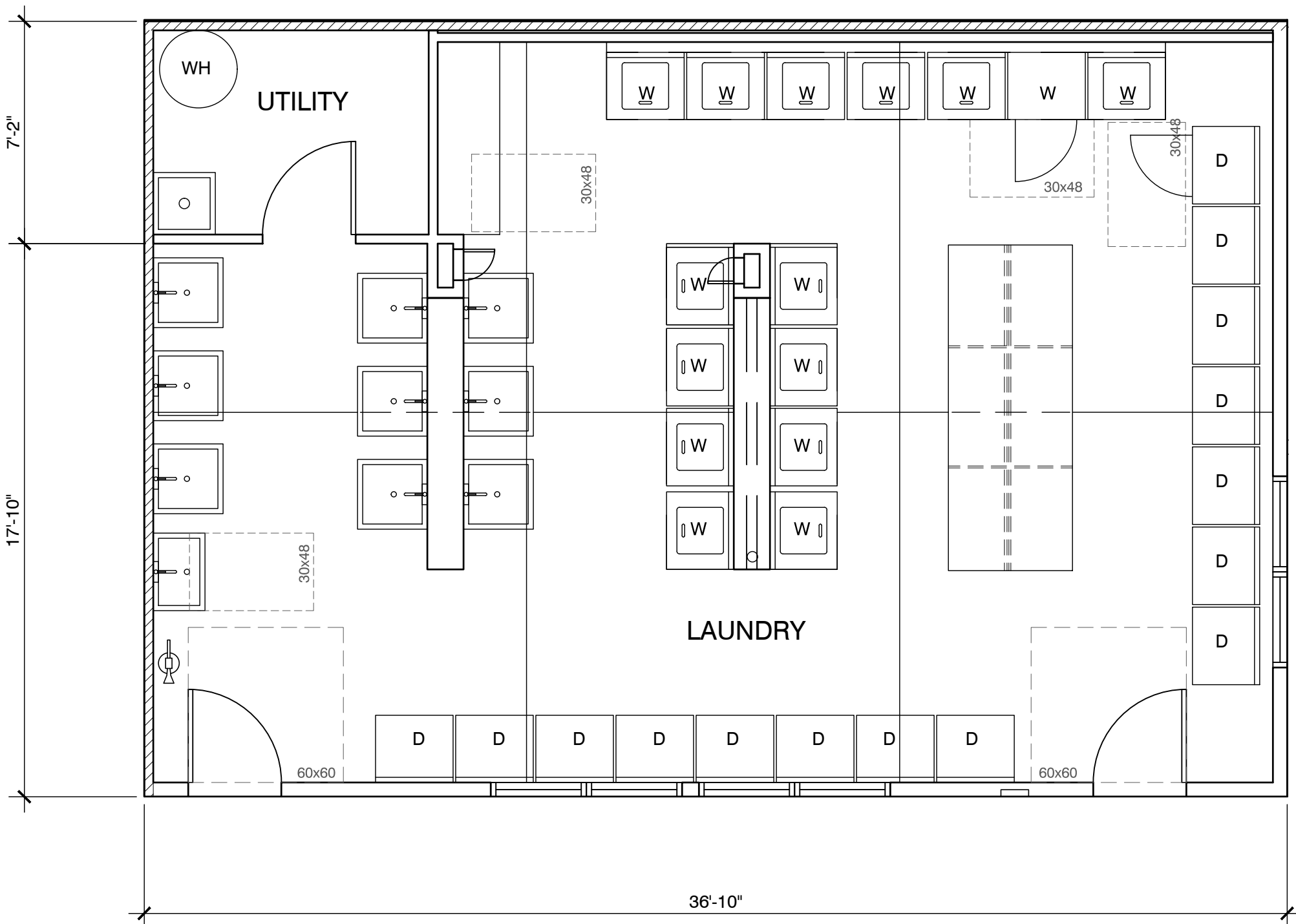
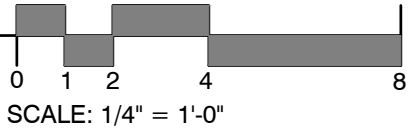
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ENLARGED PLANS

Sheet Number:



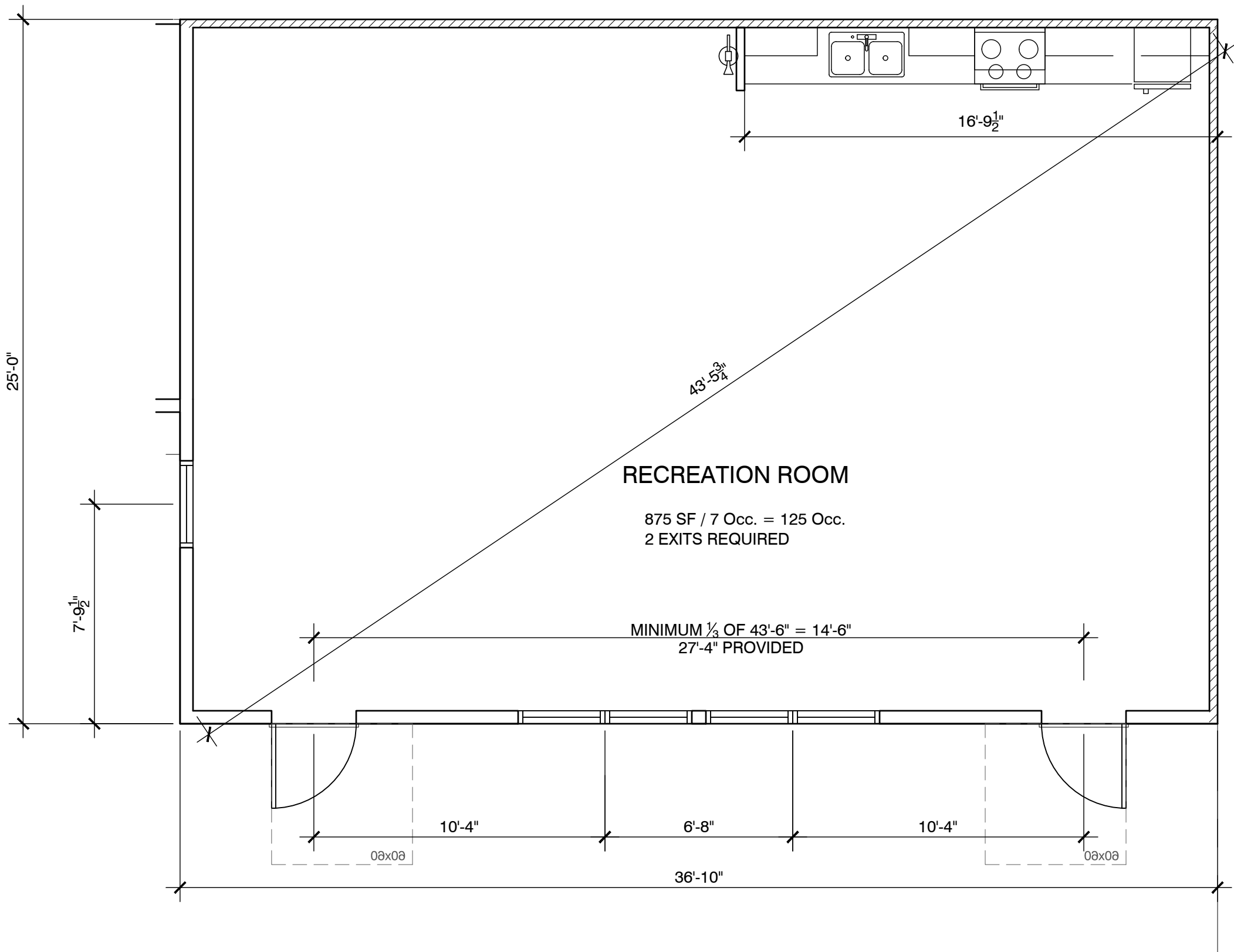
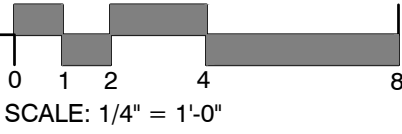
1 TYP. ELECT/MECH ROOM - ALL BLDGS.

SCALE: 1/4" = 1'-0"



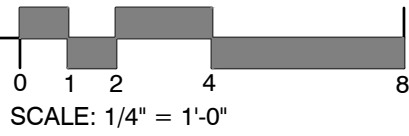
3 TYP. LAUNDRY ROOM - BLDGS. C & E

SCALE: 1/4" = 1'-0"



2 TYP. RECREATION ROOM - BLDGS. D & F

SCALE: 1/4" = 1'-0"

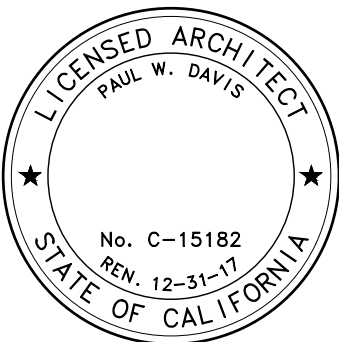


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Sheet Title:  
PROPOSED  
EXT. ELEVATIONS

Sheet Number:

SHEET NOTES

1. ASPHALT COMPOSITION SHINGLE ROOFING
2. PAINTED 2x FASCIA
3. PAINTED 2x TRIM
4. 6-1/4" CEMENT FIBER BOARD LAP SIDING WOOD GRAIN FINISH
5. VINYL WINDOWS
6. 1x4 BOARD AND BATT @ 16" O.C. OVER CEMENT FIBER PANEL
7. PAINTED WOOD POST/BEAM
8. PAINTED METAL RAILING
9. PRE-CAST CONCRETE STAIR
10. FIXED EXIT LADDER

EXTERIOR FINISH SCHEDULE

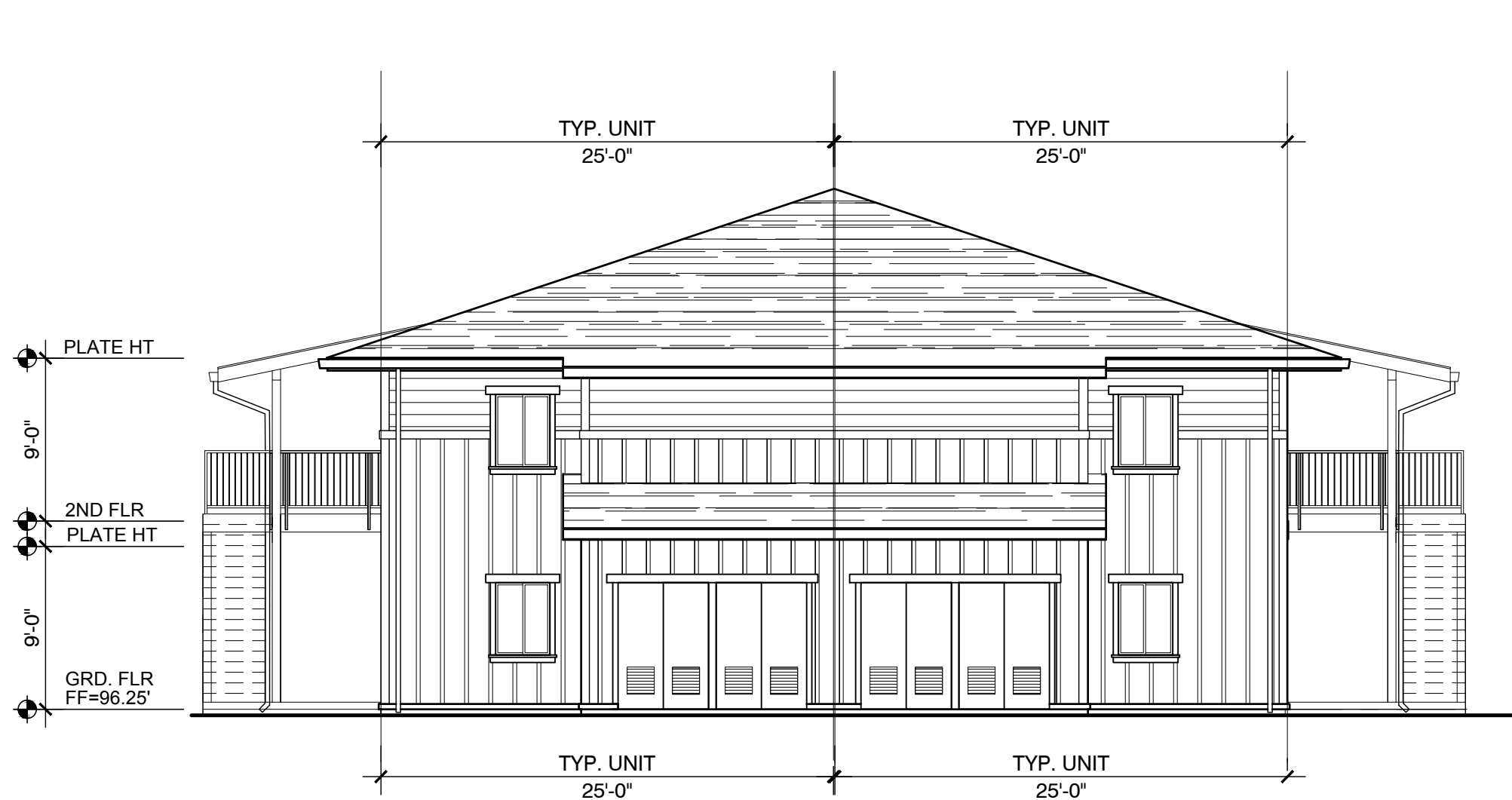
ROOF: Class A rated 40 year, High Profile asphalt shingles on Type 15 felt min. per CBC Chapter 15. Packaging for roof materials shall bear manufacturer's and approved testing agency's labels for field inspection.  
At low sloped roofs, install o/ underlayment section as recommended by roofing manufacturer.

FLASHING: 24 GA. Galvanized Sheet Metal, paint all sides prior to installation and a second coat after installation

WALLS: General - At a minimum, provide a minimum of one layer of No. 15 asphalt felt, 60 minute rated complying with ASTM D 226 for Type 1 felt or other approved materials, shall be attached to the studs or sheathing, with flashing as described in Section 1405.3, in such a manner as to provide a continuous water-resistive barrier behind the exterior wall veneer/covering. (CBC 1404.2)

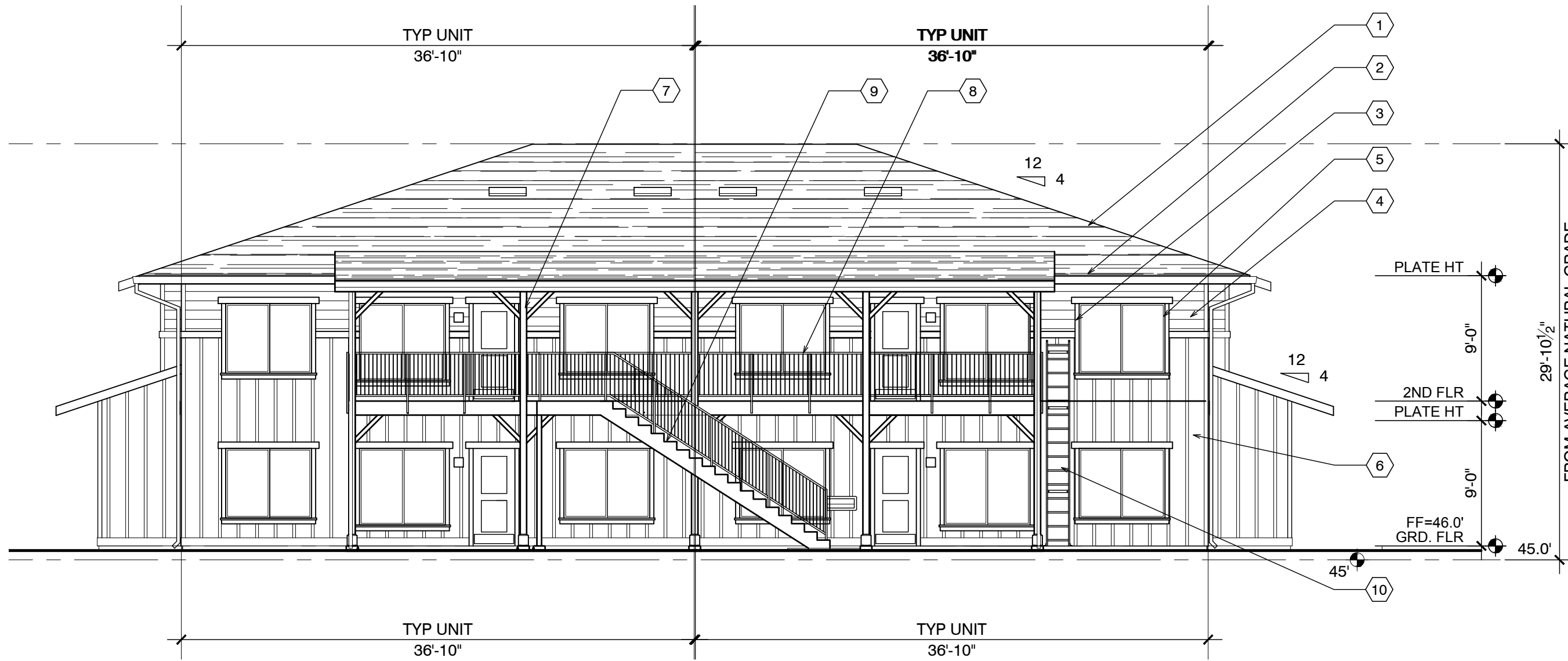
BOARD SIDING: Board and Panel siding on Kraft weather-resistive barrier or 60-minute rated building paper. Siding applied horizontally, diagonally, or vertically shall be fastened to studs, nailing strips or blocking set at a maximum 24 inches on center.  
Fasteners shall be nails or screws with a penetration of not less than 1 1/2 inches into studs, studs and sheathing combined, or blocking.  
Distance between such fasteners shall not exceed 24 inches for horizontally or vertically applied sidings and 32 inches for diagonally applied sidings unless otherwise requirements by manufacturer are more restrictive.

- NOTES:
1. All exterior wall and surfaces, gutters, downspouts, flashing, trim and exposed concrete foundations shall be painted.
  2. Paint all roof jacks, roof caps, dampers and flues to match roof color.
  3. Paint all exposed flashing.



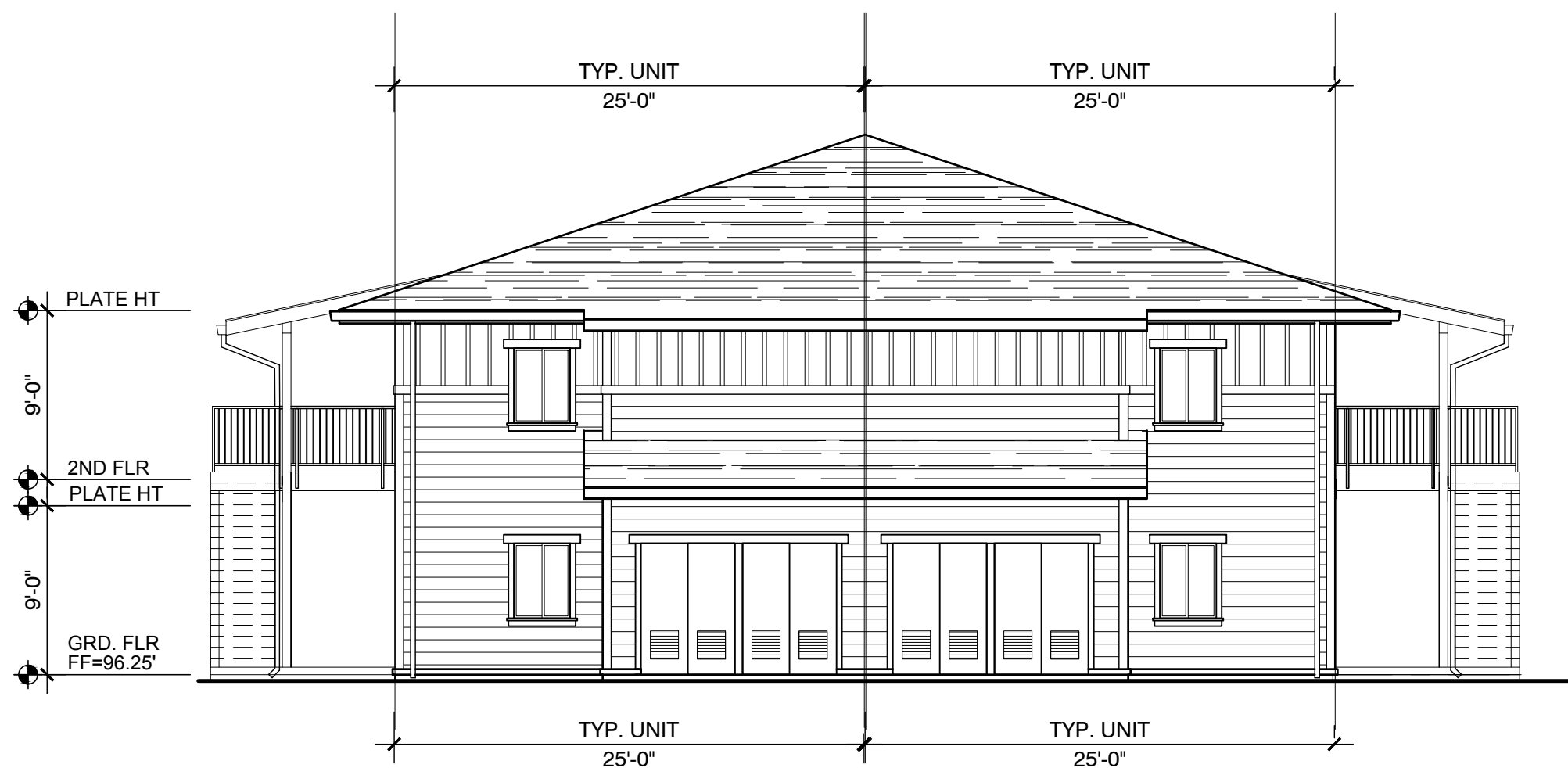
2 TYPICAL SIDE ELEVATION - BLDGS. A, C, & E

SCALE: 1/8" = 1'-0"



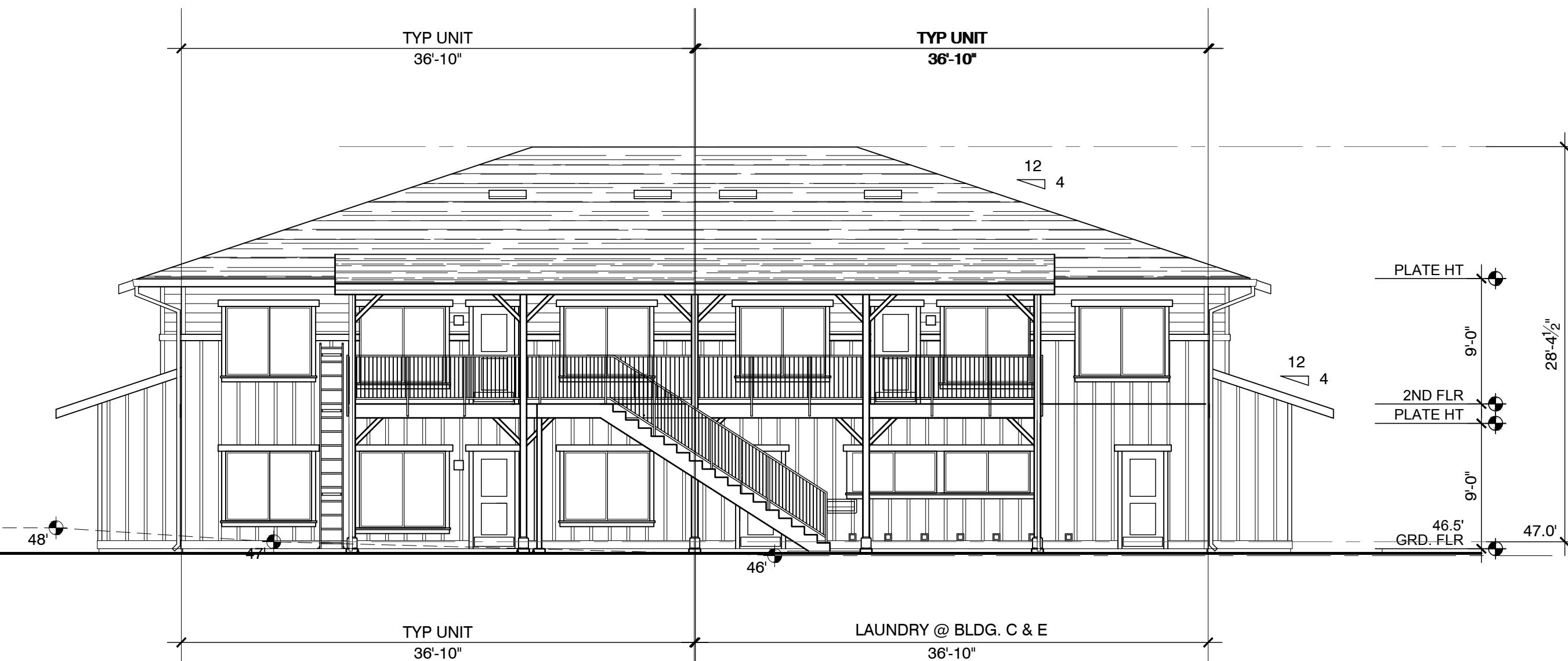
1 TYPICAL FRONT ELEVATION - BLDGS. A

SCALE: 1/8" = 1'-0"



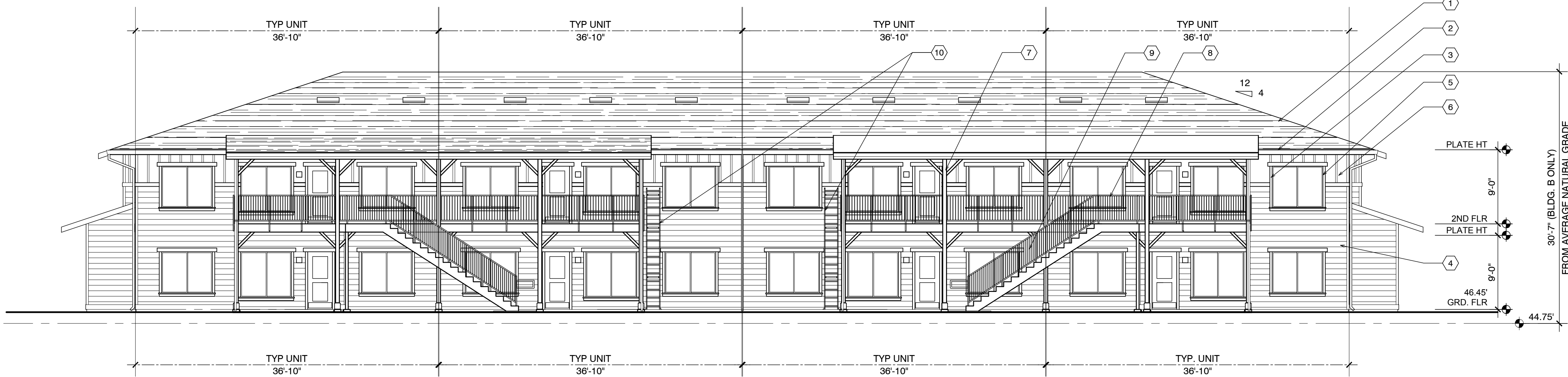
4 TYP SIDE ELEVATION - BLDGS. B, D, & F

SCALE: 1/8" = 1'-0"



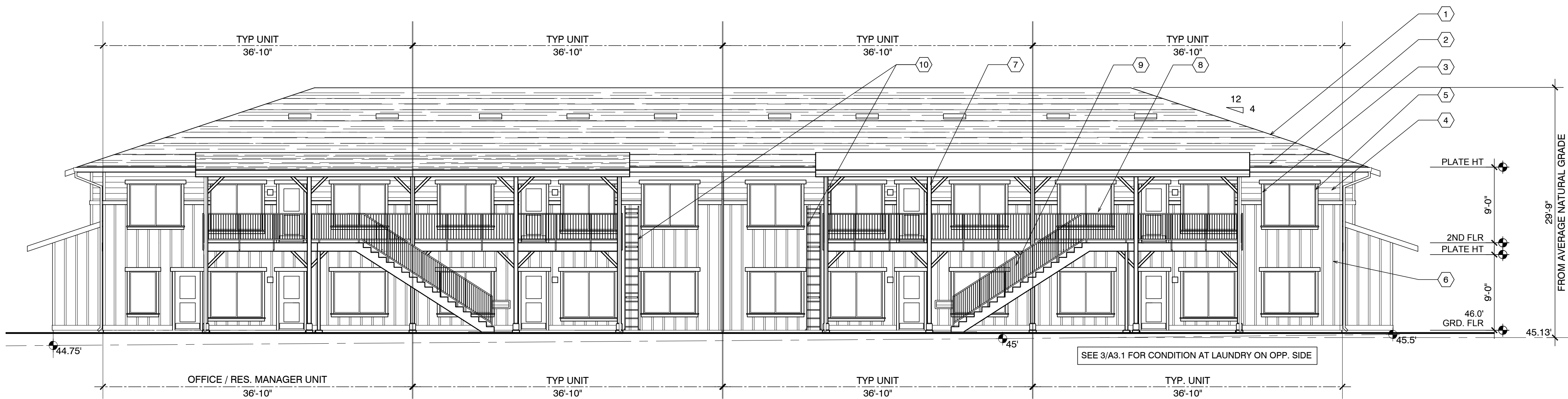
3 TYPICAL FRONT ELEVATION - BLDGS. E

SCALE: 1/8" = 1'-0"



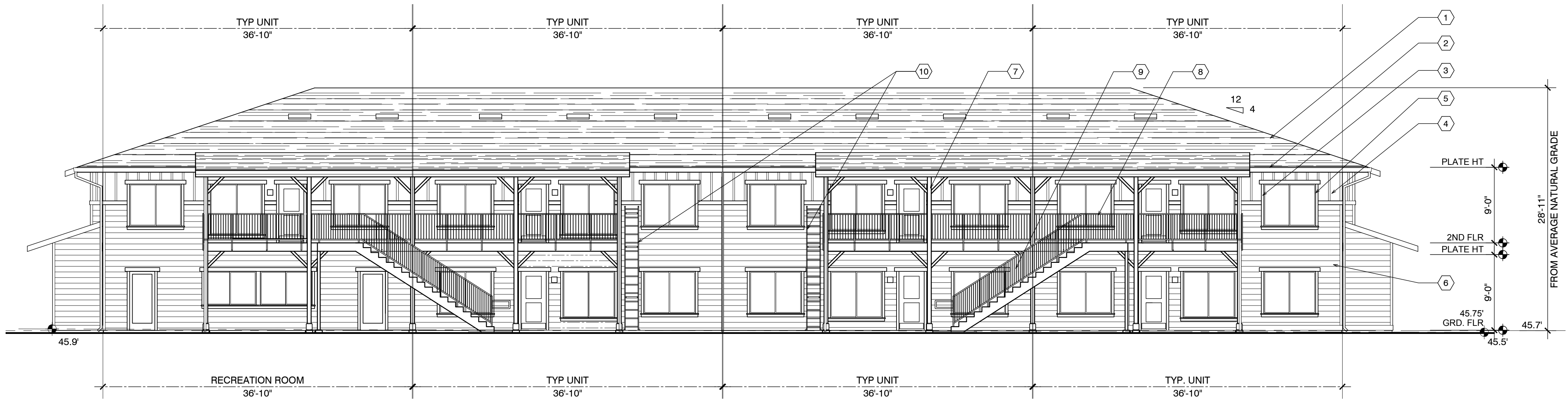
5 TYP SIDE ELEVATION - BLDGS. B, D, & F (SEE A3.2 FOR CONDITIONS AT SUPPORT ROOMS)

SCALE: 1/8" = 1'-0"



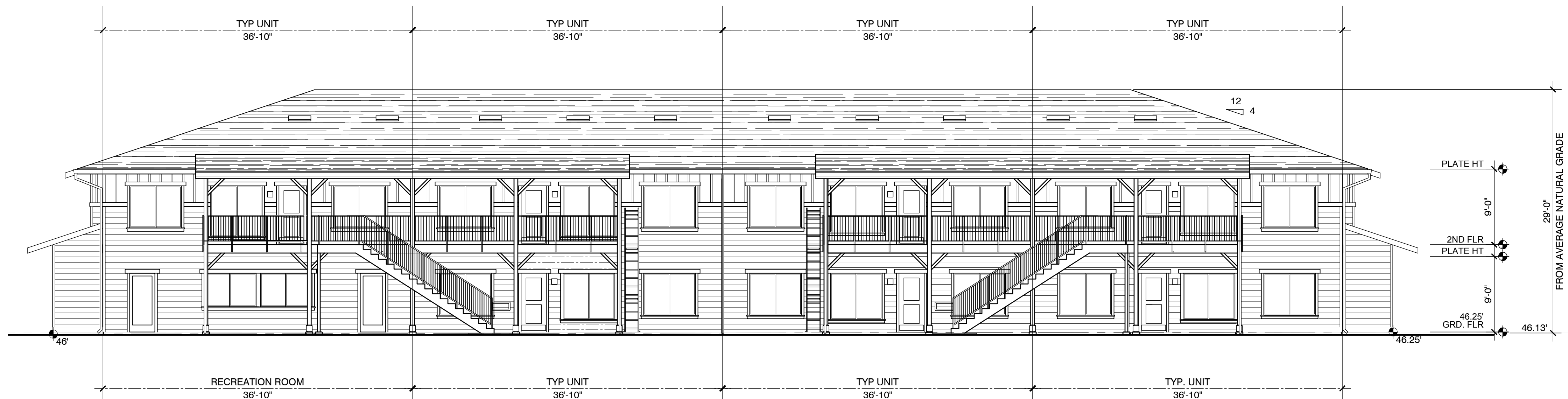
1 FRONT ELEVATION - BLDG. C ONLY (SEE A3.1 FOR SIDE ELEVATION)

SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION - BLDG. D ONLY (SEE A3.1 FOR OPPOSITE AND SIDE ELEVATION)

SCALE: 1/8" = 1'-0"



3 FRONT ELEVATION - BLDG. F ONLY (SEE A3.1 FOR OPPOSITE AND SIDE ELEVATION)

SCALE: 1/8" = 1'-0"

SHEET NOTES

1. ASPHALT COMPOSITION SHINGLE ROOFING
2. PAINTED 2x FASCIA
3. PAINTED 2x TRIM
4. 6-1/4" CEMENT FIBER BOARD LAP SIDING WOOD GRAIN FINISH
5. VINYL WINDOWS
6. 1x4 BOARD AND BATT @ 16" O.C. OVER CEMENT FIBER PANEL
7. PAINTED WOOD POST/BEAM
8. PAINTED METAL RAILING
9. PRE-CAST CONCRETE STAIR
10. FIXED EXIT LADDER

EXTERIOR FINISH SCHEDULE

ROOF: Class A rated 40 year, High Profile asphalt shingles on Type 15 felt min. per CBC Chapter 15. Packaging for roof materials shall bear manufacturer's and approved testing agency's labels for field inspection. At low sloped roofs, install o/ underlayment section as recommended by roofing manufacturer.

FLASHING: 24 GA. Galvanized Sheet Metal, paint all sides prior to installation and a second coat after installation

WALLS: General - At a minimum, provide a minimum of one layer of No. 15 asphalt felt, 60 minute rated complying with ASTM D 226 for Type 1 felt or other approved materials, shall be attached to the studs or sheathing, with flashing as described in Section 1405.3, in such a manner as to provide a continuous water-resistive barrier behind the exterior wall veneer/covering. (CBC 1404.2)

BOARD SIDING: Board and Panel siding on Kraft weather-resistive barrier or 60-minute rated building paper. Siding applied horizontally, diagonally, or vertically shall be fastened to studs, nailing strips or blocking set at a maximum 24 inches on center. Fasteners shall be nails or screws with a penetration of not less than 1 1/2 inches into studs, studs and sheathing combined, or blocking. Distance between such fasteners shall not exceed 24 inches for horizontally or vertically applied sidings and 32 inches for diagonally applied sidings unless otherwise requirements by manufacturer are more restrictive.

NOTES: 1. All exterior wall and surfaces, gutters, downspouts, flashing, trim and exposed concrete foundations shall be painted.  
2. Paint all roof jacks, roof caps, dampers and flues to match roof color.  
3. Paint all exposed flashing.

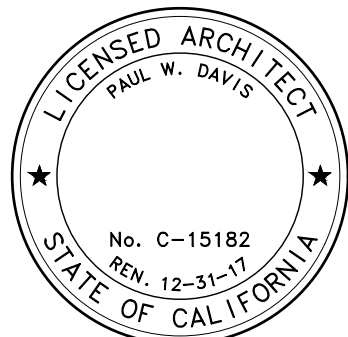
Project / Owner:

Casa Boronda  
Agricultural  
Employee Housing  
Project

1144 MADISON LANE  
SALINAS, CA 93908

THE  
PAUL DAVIS  
PARTNERSHIP  
ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: AC  
Drawing Date: 06/05/2017  
Project Number: 1713

Revisions:

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Sheet Title:  
PROPOSED  
EXTERIOR  
ELEVATIONS

Sheet Number:



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PAUL DAVIS  
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*ARCHITECTS & PLANNERS*

**bfs** **BFS**  
**LANDSCAPE**  
**ARCHITECTS**  
425 PACIFIC STREET #201  
MONTEREY, CALIFORNIA 93940  
831.646.1363 • BFSLA.COM

Project Number: 1713

SYMBOLS,  
ABBREVIATIONS,  
LIGHT FIXTURE  
SCHEDULE, CODES,  
STANDARDS &  
SHEET INDEX

# E0.1

GENERAL		POWER (SEE DRAWINGS FOR QUANTITIES & MOUNTING HEIGHT)		FIRE ALARM (SEE DRAWINGS FOR QUANTITIES & MOUNTING HEIGHT)	
	METER W/ CURRENT TRANSFORMER		CONVENIENCE RECEPTACLE - DUPLEX *		MANUAL PULL STATION
	JUNCTION BOX - CEILING OR WALL MOUNTED, SIZE PER CODE, TAPE AND TAG WIRES		DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT		HORN ONLY
	MOTOR CONNECTION		RECEPTACLE - DOUBLE DUPLEX *		CHIME ONLY
	NON-FUSED DISCONNECT SWITCH		DOUBLE DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT		MINI HORN
	FUSED DISCONNECT SWITCH; FUSED WITH DUAL-ELEMENT FUSES SIZED PER EQUIPMENT MFG'S NAMEPLATE DATA		GFCI CONVENIENCE RECEPTACLE - DUPLEX *		STROBE ONLY
	COMBINATION STARTER/FUSED DISCONNECT SWITCH; FUSED DISCONNECT SWITCH ELEMENT FUSES SIZED PER EQUIPMENT MFG'S NAMEPLATE DATA		GFCI CONVENIENCE RECEPTACLE - DOUBLE DUPLEX *		HORN/STROBE
	MAGNETIC STARTER - NEMA SIZE INDICATED NEMA 3R ENCLOSURE UNLESS OTHERWISE SPECIFIED CIRCUIT BREAKER		GFCI CONVENIENCE DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT		CHIME/STROBE
	GROUND ROD WITH GROUNDWELL BOX		GFCI CONVENIENCE DOUBLE DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT		HEAT DETECTOR
	GROUND ELECTRODE	SYSTEMS (SEE DRAWINGS FOR QUANTITIES & MOUNTING HEIGHT)		REFERENCE	
	NORMALLY OPEN CONTACT		VOICE/DATA WALL OUTLET - INSTALL ABOVE COUNTER - FIELD VERIFY HEIGHT		SHEET NOTE REFERENCE SYMBOL; SEE ASSOCIATED NOTE ON SAME SHEET
	NORMALLY CLOSED CONTACT		VOICE/DATA WALL OUTLET *		DETAIL NOTE REFERENCE SYMBOL; SEE ASSOCIATED NOTE ON SAME DETAIL
	TRANSFORMER - SEE SINGLE LINE FOR SIZE		DATA WALL OUTLET NEAR CEILING - 12" BELOW FINISHED CEILING		SCHEDULE NOTE REFERENCE SYMBOL; SEE ASSOCIATED NOTE ON SAME SHEET
	PULLBOX		DATA WALL OUTLET NEAR CEILING - 12" BELOW FINISHED CEILING		FEEDER DESIGNATION; SEE ASSOCIATED NOTE ON SAME DETAIL
	FLEX CONDUIT WITH CONNECTION		FLOOR MOUNTED VOICE/DATA OUTLET		DETAIL NUMBER DETAIL REFERENCE SHEET NUMBER
	CONDUIT - UP		TV OUTLET *		INDICATES QUANTITY OF TELEPHONE OUTLETS
	CONDUIT - DOWN		INTERIOR SPEAKERS CEILING MOUNTED		INDICATES QUANTITY OF DATA OUTLETS
	CONDUIT EMERGENCY SYSTEM		INTERIOR SPEAKERS WALL MOUNTED	ABBREVIATIONS	
	CONDUIT - TELEPHONE		CLOCK 48-0" AFF U.O.N. VERIFY BEFORE INSTALLATION	A	AMPERE
	CONDUIT - TELEVISION		THERMOSTAT - SEE MECHANICAL DRAWINGS DRAWINGS **	A.F.F.	ABOVE FINISHED
	LOW VOLTAGE WIRING	LIGHTING (SEE DRAWINGS FOR QUANTITIES & LIGHT FIXTURE SCHEDULE FOR TYPE)		ALUMAL	ALUMINUM
	SURFACE METAL OR NON-METALLIC RACEWAY		FLUORESCENT OR LED LUMINAIRE	ANG	ARCHITECT
	CONDUIT - CONCEALED IN WALLS OR CEILING		EMERGENCY OR NIGHT LIGHT	BKR	BREAKER
	CONDUIT - EXISTING		STRIP FLUORESCENT OR LED LUMINAIRE	C	CONDUIT
	CONDUIT - BELOW SLAB OR UNDERGROUND: 3/4" MIN.		DIGITAL DUAL TECHNOLOGY OCC. SENSOR	CATV	CABLE TV
	CAPPED OR STUB-OUT CONDUIT		LIGHTING CONTROL OCCUPANCY SENSOR CORNER MOUNTED	CB	CIRCUIT BREAKER
	CONDUIT CONTINUATION		DIMMER ROOM CONTROLLER	CCTV	CLOSED CIRCUIT TV
	CONDUIT - HOME RUN TO PANEL, TERMINAL CABINET, ETC. RUNS MARKED WITH CROSSHATCHES INDICATE NUMBER OF #12 AWG WIRES WHEN MORE THAN TWO. SIZE CONDUIT ACCORDING TO SPECIFICATIONS AND APPLICABLE CODE. CROSS HATCHES WITH NUMBER ADJACENT INDICATES WIRE SIZE OTHER THAN #12AWG.		ROOM LIGHTING CONTROLLER	CKT	CIRCUIT
			DIGITAL DIMMER SWITCH **	CL	CENTER LINE
			LIGHTING CONTROL PANEL	CLG	CEILING
			DIGITAL MULTI SCENE LIGHTING SWITCH **	CO	CONDUIT ONLY
			DIGITAL DAYLIGHT SENSOR	CTR	CENTER
			EXIT LIGHT - DIRECTIONAL ARROWS AS INDICATED	D	DIMMER
			WALL OCCUPANCY SENSOR **	DIM	DIMENSION
			DOUBLE SWITCHED WALL OCCUPANCY SENSOR **	DIST	DISTRIBUTION
			DIMMING DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR **	(E)	EXISTING
			2-BUTTON DIMMING DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR **	EC	ELECTRICAL CONTRACTOR EVENING LIGHT
			MECHANICAL EMERGENCY	EM	EMERGENCY
			METAL HALIDE	EMT	ELECTRICAL METALLIC TUBING
			EQUIPMENT	EQUIP	EQUIPMENT
			FIRE ALARM	FA	FIRE ALARM
			FIRE ALARM CONTROL PANEL	FACP	FIRE ALARM CONTROL PANEL
			FOOT CANDLE	FC	FOOT CANDLE
			FINISH	FIN	FINISH
			FLOOR	FL	FLOOR
			FULL LOAD AMPS	FLA	FULL LOAD AMPS
			FLUORESCENT	FLUOR	FLUORESCENT
			FUTURE	(F)	FUTURE
			GENERAL	GC	GENERAL CONTRACTOR
			NEW	(N)	NEW
			NOT IN CONTRACT	NIC	NOT IN CONTRACT
			NOT IN ELECTRICAL	NIEC	NOT IN ELECTRICAL
			CONTRACT	W	WITH
			NIGHT LIGHT	(NL)	NIGHT LIGHT
			NUMBER	NO.	NUMBER
			UNDERGROUND	UG	UNDERGROUND
			VOLT	V	VOLT
			WATT	W	WATT
			WITH	WI	WITH

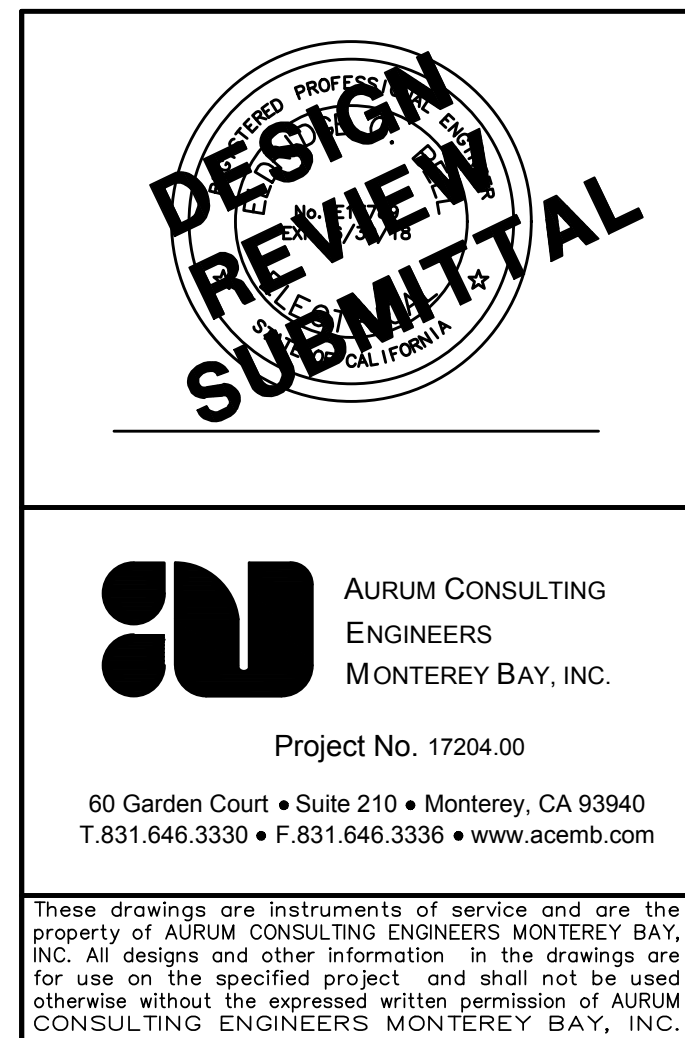
FIXTURE NOTES:			
1. ALL FLUORESCENT/LED LIGHT FIXTURE BALLASTS/DRIVERS SHALL BE ELECTRONIC TYPE, 10% TOTAL HARMONIC DISTORTION MAXIMUM. 2. ALL FLUORESCENT LIGHT FIXTURE LAMPS AND LED LIGHT MODULES SHALL BE ENERGY SAVING 3500° K, 80 CRI MINIMUM, U.O.N. (SEE SPECIFICATIONS FOR MORE INFORMATION). 3. ALL FLUORESCENT BALLASTS AND LED DRIVERS (AND ASSOC. FIXTS.) SHALL HAVE MANUFACTURER'S CERTIFICATION OF COMPLIANCE WITH CALIFORNIA ENERGY COMMISSION STANDARDS AND REQUIREMENTS, WHERE SUCH ARE USED IN CONDITIONED SPACES. 4. ALL LINEAR FLUORESCENT FIXTURES SHALL BE FURNISHED WITH A DISCONNECTING MEANS COMPLYING WITH C.E.C. 410.130 (G). 5. EXIT SIGNS , EMERGENCY LIGHTS AND LIGHT FIXTURES WITH EMERGENCY BATTERY BACK-UP SHALL SUPPLY A MINIMUM DURATION OF 90 MINUTES OF POWER IN THE EVENT OF A POWER OUTAGE/FAILURE.			
TYPE	DESCRIPTION	LAMPS	MANUFACTURER
XA	15 1/2" W x 30" L POLE MTD LED FIXTURE, ALUMINUM. HOUSING, FULL CUT OFF, ARM MOUNT, TYPE 2 OPTICS, MOTION RESPONSE SENSOR FOR 50% DIMMING, FINISH PER ARCH., NW COLOR, UNIVERSAL VOLTAGE ELECTRONIC DRIVER, 6" DIA. 18" ALUM. POLE WITH SINGLE BANNER ARM OPTION.	(1) 110W LED 4000°K	VISIONAIRE LIGHTING VMX LED SERIES RNTA-STB-18" POLE
XB	12 1/2" DIA. HEAD, 10" DIA. BASE x 3' H BOLLARD LED FIXTURE, ALUMINUM BODY, FINISH PER ARCHITECT, FROSTED FLAT GLASS LENS, ELECTRONIC DRIVER, 120V.	(1) 30W LED 4000°K	STERNBERG LIGHTING SOLANA SL360 SERIES

1. 2013 CALIFORNIA ADMINISTRATIVE CODE C.C.R., TITLE 24, PART 1.
2. 2013 CALIFORNIA BUILDING CODE (CBC) C.C.R., TITLE 24, VOL. 1 & 2 BASED ON THE 2012 INTERNATIONAL BUILDING CODE (IBC) WITH CALIFORNIA AMENDMENTS.
3. 2013 CALIFORNIA RESIDENTIAL CODE C.C.R., TITLE 24, PART 2.5 BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE WITH CALIFORNIA AMENDMENTS.
4. 2013 CALIFORNIA ELECTRICAL CODE (CEC) C.C.R., TITLE 24, PART 3 BASED ON THE 2011 NATIONAL ELECTRICAL CODE (NEC) WITH CALIFORNIA AMENDMENTS.
5. 2013 CALIFORNIA MECHANICAL CODE (CMC) C.C.R., TITLE 24, PART 4 BASED ON THE 2012 UNIFORM MECHANICAL CODE (UMC) WITH CALIFORNIA AMENDMENTS.
6. 2013 CALIFORNIA PLUMBING CODE (CPC) C.C.R., TITLE 24, PART 5 BASED ON THE 2012 UNIFORM PLUMBING CODE (UPC) WITH CALIFORNIA AMENDMENTS.
7. 2013 CALIFORNIA ENERGY CODE C.C.R., TITLE 24, PART 6.
8. 2013 CALIFORNIA FIRE CODE (FCF) C.C.R., TITLE 24, PART 9 BASED ON THE 2012 INTERNATIONAL FIRE CODE (IFC) WITH CALIFORNIA AMENDMENTS.
9. 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE C.C.R., TITLE 24, PART 11.
10. 2013 CALIFORNIA REFERENCED STANDARDS CODE C.C.R., TITLE 24, PART 12.
11. TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
12. NATIONAL FIRE ALARM CODE (NFPA 72) 2013.
13. CITY OF SALINAS ORDINANCES, CODES, AND REGULATIONS.

**STANDARDS:**

1. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
2. ELECTRONICS INDUSTRIES ASSOCIATION (EIA)
3. INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE)
4. NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
5. NATIONAL ELECTRICAL TESTING ASSOCIATION (NETA)
6. UNDERWRITER LABORATORIES (UL)
7. CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT STANDARDS (CAL/OSHA)

E0.1	SYMBOLS, ABBREVIATIONS, LIGHT FIXTURE SCHEDULE, CODES, STANDARDS & SHEET INDEX
E2.0	ELECTRICAL SITE PLAN
E2.0P1	PHOTOMETRIC SITE PLAN
E2.0P2	EXTERIOR LIGHT FIXTURE CUT SHEETS



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SHEET NOTES

1. XX

Project / Owner:

Casa Boronda  
Agricultural  
Employee Housing  
Project

BORONDA ROAD  
SALINAS, CA 93908

THE  
PAUL DAVIS  
PARTNERSHIP  
ARCHITECTS & PLANNERS



The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Project Number: 17.046



Drawn By: SF

Drawing Date: 05/17/2017

Project Number: 1713

Revisions:

NOTES:

- A. CONTRACTOR SHALL LOCATE ALL (E) UNDERGROUND UTILITIES PRIOR TO TRENCHING AND TAKE CAUTION TO AVOID DAMAGE DURING TRENCHING. HAND TRENCH IF NECESSARY. CONTRACTOR SHALL MAKE ALL REPAIRS TO DAMAGED UTILITIES AT NO CHARGE TO OWNER.
- B. ALL WIRING FOR SITE LIGHTING SHALL BE #10 AWG MINIMUM, U.O.N.
- C. ALL UTILITIES (PG&E, AT&T AND CATV) ARE SHOWN IN SCHEMATIC FORM ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS WITH UTILITY COMPANY ENGINEERED DRAWINGS PRIOR TO START OF CONSTRUCTION AND PROVIDE FACILITIES ACCORDINGLY.

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Sheet Title:

ELECTRICAL  
SITE PLAN



AURUM CONSULTING  
ENGINEERS  
MONTEREY BAY, INC.

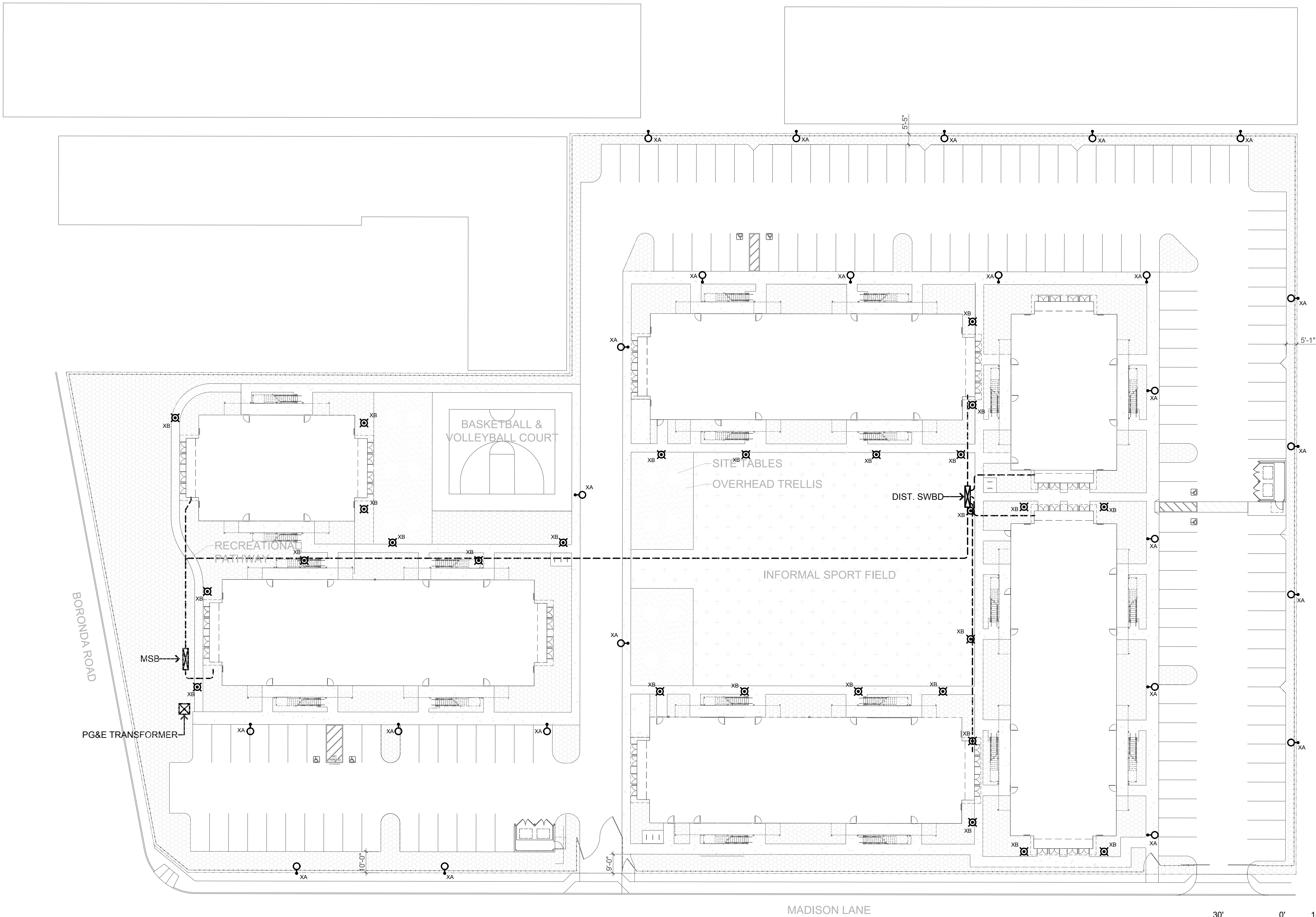
Project No. 17204.00

60 Garden Court • Suite 210 • Monterey, CA 93940  
T.831.646.3330 • F.831.646.3336 • www.acemb.com

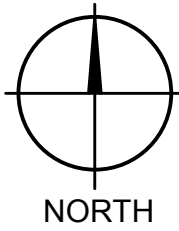
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Sheet Number:

E2.0



30' 0' 15' 30'  
SCALE: 1"=30'-0"





Casa Boronda  
Agricultural  
Employee Housing  
Project

BORONDA ROAD  
SALINAS, CA 93908

THE  
PAUL DAVIS  
PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP

286 Eldorado Street

Monterey, CA 93940

(831) 373-2784 FAX (831) 373-7459

EMAIL: info@pauldavispartnership.com

bfs

BFS  
LANDSCAPE  
ARCHITECTS

425 PACIFIC STREET #201  
MONTEREY, CALIFORNIA 93940  
831.646.1363 • BFS@G.COM

Project Number: 17.046

Drawn By: SF

Drawing Date: 05/17/2017



Project Number: 1713

Revisions:

Sheet Title:

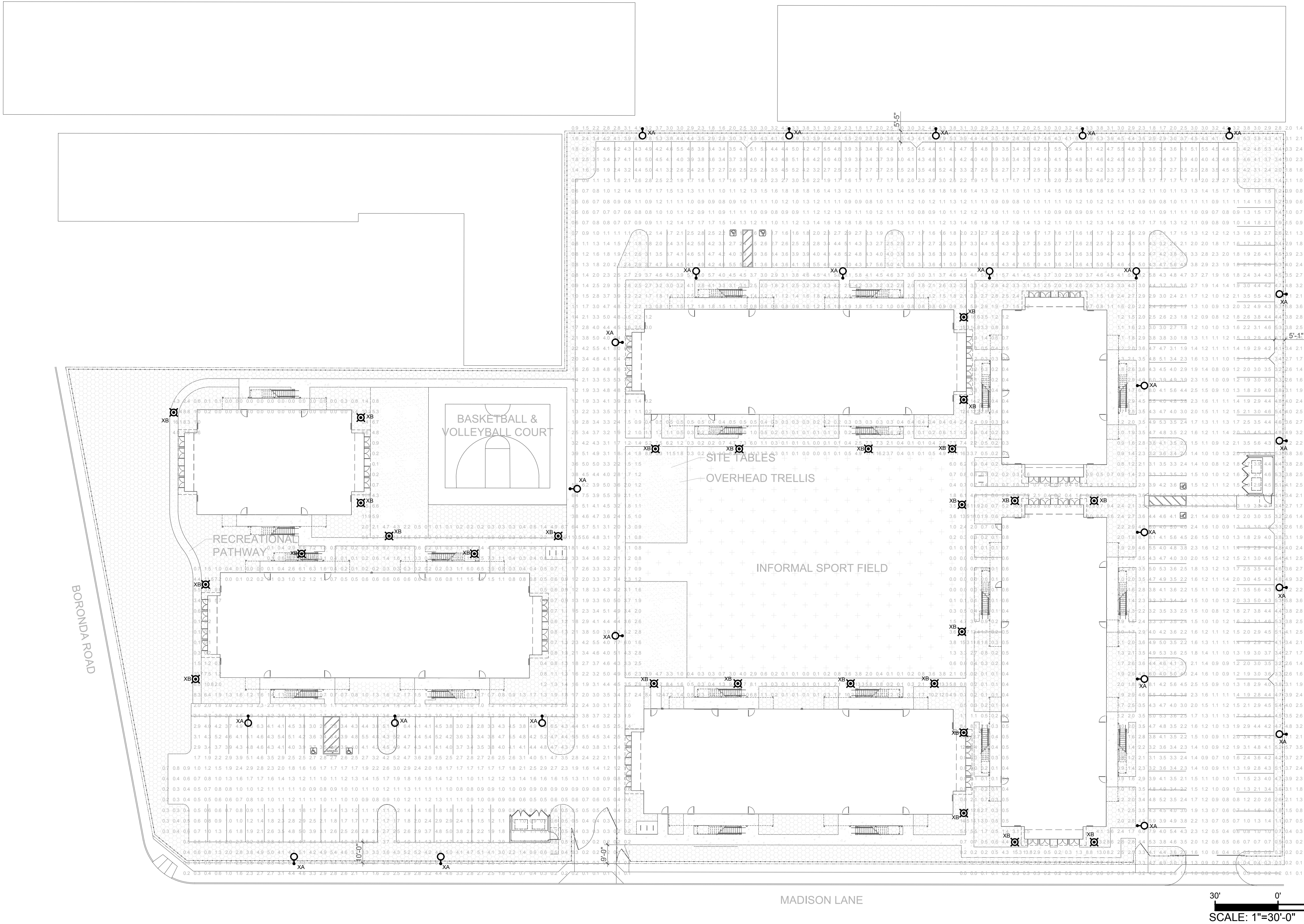
PHOTOMETRIC  
SITE PLAN

Sheet Number:

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	XA	25	Visionaire Lighting LLC	VMX-1-T2-96LC-3-4K-UNV	31-1/2 in.L X 15 in.W. X 11-3/4 in.H. LED LUMINAIRE		1	XA-VMX-1_T2_96LC_3_4K.IES	11521.12	0.89	102
	XB	27	Sternberg Lighting	SL360-FG-26L45T5-F-MDL03	SL360 Solana Bolard, Post Top, Type 5 Optic, Clear Glass (AR)	26 LEDs	1	SL360-FG-26L45T5-F-MDL03.IES	2389.649	0.89	31.3

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot and Walkway	+	2.6 fc	17.4 fc	0.0 fc	N/A	N/A



- NOTES:**
- CONTRACTOR SHALL LOCATE ALL (E) UNDERGROUND UTILITIES PRIOR TO TRENCHING AND TAKE CAUTION TO AVOID DAMAGE DURING TRENCHING. HAND TRENCH IF NECESSARY. CONTRACTOR SHALL MAKE ALL REPAIRS TO DAMAGED UTILITIES AT NO CHARGE TO OWNER.
  - ALL WIRING FOR SITE LIGHTING SHALL BE #10 AWG MINIMUM, U.O.N.
  - ALL UTILITIES (PG&E, AT&T AND CATV) ARE SHOWN IN SCHEMATIC FORM ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS WITH UTILITY COMPANY ENGINEERED DRAWINGS PRIOR TO START OF CONSTRUCTION AND PROVIDE FACILITIES ACCORDINGLY.

DESIGN  
REVIEW  
SUBMITTAL

FOR THE  
PROJECT  
OF  
CALIFORNIA

AURUM CONSULTING  
ENGINEERS  
MONTEREY BAY, INC.

Project No. 17204.00

60 Garden Court • Suite 210 • Monterey, CA 93940  
T.831.646.3330 • F.831.646.3336 • www.acemb.com

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## FIXTURE XB

**ORDERING EXAMPLE:** PT8-SL360-FG-26L45T5-F-MD.L03-PEC-FHD-UBK

MOUNTING	HEIGHT	SL360	LENS	NO. OF	COLOR	DISTRIBUTION	DRIVER	BUTTON	DUAL FUSE	ROUND	COLOR
CONSOLE	(IN FT)	SERIES	TYPE	LENS	TEMP	TYPE	TYPE	PHOTOCELL	& HOLDER	POLE ADAPTER	
BL	2		FG	26L	2700K	T2	F	MD.L03	PEC	FHD	UBK
PB	3		FFG	3600K	T3	R	MD.L05	PEC	FHD	RP45	UBT
PM	4	Outdoor Ground, Pole, Post Top or Wall Mounted Luminaire	CA	4600K	T4		MD.L07				ULBT
PT	5		SV1		T5		MD.H03				USL
WM	6		SV2		T5		MD.H05				UWHT
	7						MD.H07				UCHS
	8										

PT8-2 BL-3.4 FT=5.6,7.8

**Product Specs**

**Optical**

- Full-cutoff, IP65 rated optic module.
- Available in ES Type 2, 3, 3R, 4 and 5 distributions.
- Utilizes high output, high brightness LEDs.
- Operates at -40°C (-40°F) to +50°C (122°F) ambient temperature range.
- Typical CRI of 70, CCT 2700, 3500 and 4500K. Call factory for custom CCT.
- LM-79 and LM-80 tests in accordance with IESNA standards.
- Lumen depreciation rating L70>100,000 hours, projected per TM-21 guidelines using 700mA drive current at 25°C ambient.
- RoHS Compliant.

**Electrical**

- 120-277 volt and 347-480 volt available.
- Minimum driver power factor: >0.9
- Electrical surge protection in accordance with IEEE/ANSI C62.41-2 guidelines.
- UL or ETL listed in U.S. and Canada.

**Mechanical**

- Cast aluminum heat sink, arms, lens cover, heat sink cover, housing top cover and housing filter.
- AOD™ "Advanced Air-Flow Dynamics" maximizes heat sink expulsion.

**Controls**

- Optional electronic button photocell: PEC (120-277V).

**Finish**

- Durable, color retentive powder coat finish.

**Warranty & Standards**

LED Systems and Drivers - 7 years.

All fixtures shall be free from all defects in materials and workmanship for a period of 7 years from the date of manufacture. The luminaire manufacturer shall warrant the LED board/system, during the stated warranty period, against failure defined as more than 10 percent of non-operating LEDs.

**Drivers (0-10V dimming):**

- MD.L03: 350mA, 120-277V
- MD.L05: 350mA, 120-277V
- MD.L07: 700mA, 120-277V
- MD.H03: 350mA, 347-480V
- MD.H05: 350mA, 347-480V
- MD.H07: 700mA, 347-480V

**Lenses:**

- FG - Anti-Reflection Flat Glass
- FFG - Frosted Flat Glass
- CA - Clear Flat Acrylic
- SV1 - Flat Diffuse Acrylic Lens
- SV2 - Flat Diffuse Acrylic Lens

**Colors:**

- UBK - Urban Black Textured
- UBT - Urban Bronze Textured
- ULBT - Urban Light Bronze Textured
- USL - Urban Silver Textured
- UWHT - Urban White Textured
- UCHS - Urban Champagne Satin Smooth
- UWB - Urban Black Matte
- ULB - Urban Bronze Matte
- USL - Urban Silver Matte
- UWB - Urban White Matte

**Performance (Based on FG Lenses)**

MODEL #	T2 DELIVERED LUMENS	EFFICIENCY (LPW)	T3 DELIVERED LUMENS	EFFICIENCY (LPW)	T3R DELIVERED LUMENS	EFFICIENCY (LPW)	T4 DELIVERED LUMENS	EFFICIENCY (LPW)	T5 DELIVERED LUMENS	EFFICIENCY (LPW)	WATTAGE
26L2T2-MD-03	1735	57.0	1730	57.0	1880	62.0	1930	64.0	1960	65.0	30
26L3S1-MD-03	1975	63.0	1975	63.0	2120	70.0	2205	73.0	2255	74.0	30
26L4S1-MD-03	2105	70.0	2105	70.0	2260	75.0	2345	78.0	2385	79.0	30
26L7T1-MD-05	2365	53.0	2340	53.0	2485	58.0	2610	59.0	2665	60.0	44
26L3S1-MD-05	2700	61.0	2670	60.0	2855	64.0	2980	67.0	3040	68.0	44
26L4S1-MD-05	2875	65.0	2845	64.0	3050	69.0	3175	72.0	3240	73.0	44
26L7T1-MD-07	2880	58.0	2780	50.0	2930	53.0	3075	55.0	3160	57.0	55
26L3S1-MD-07	3195	58.0	3170	57.0	3340	60.0	3505	63.0	3605	65.0	55
26L4S1-MD-07	3465	61.0	3375	61.0	3560	64.0	3735	67.0	3840	69.0	55

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**Product Dimensions & Features**

**Other Options**

**Mounting Configurations**

**EPA and Weight**

SL360	EPA	WT	PT	EPA	WT
BL	1.5 SQ. FT.	28.6 LBS. (3 FT. HT.)	PT	0.7 SQ. FT.	16.5 LBS. (FIXTURE ONLY)
PB	1.2 SQ. FT.	25.3 LBS.	WM	0.8 SQ. FT.	22.9 LBS.
PM	0.7 SQ. FT.	20.3 LBS.			

**ISO Footcandle Plots**

**ISO Footcandle Plots**

All published luminance measurements were taken in accordance with IESNA LM-79 standards by NALAP certified laboratory. ISO footcandle plots determine the illuminance at the specified distance. For complete specifications and ETL files, see website.

**SternbergLighting**  
ESTABLISHED 1923 / EMPLOYEE OWNED

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## FIXTURE XA

**VMX LED**

Project Name: \_\_\_\_\_ Catalog Number: \_\_\_\_\_ Type: \_\_\_\_\_

**Dimensional Drawings**

**VMX LED**

The new VMX LED Series offers clean, functional styling that is defined by its sleek low profile design and rugged construction. It combines LED performance and advanced LED thermal management technology and provides outdoor lighting that is both energy efficient and aesthetically pleasing.

The LED's performance and the driver's life are maximized by enclosing them in two separate cast aluminum housings. Easy tool-less access for mounting and maintenance.

The LED light assemblies come with 32 to 96 LEDs. Seven optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The VMX LED series is an exceptional choice for commercial parking lots, office complexes, architectural projects, and other general lighting projects.

**Heatsink**

- Cast aluminum heatsink with integral cooling fins for thermal management.

**Mounting Arm/Driver Compartment**

- Durable two-piece die cast aluminum driver compartment utilizes a tool-less push button latch for ease of maintenance and sealed with a one-piece silicone gasket.

**Thermal Management**

- The VMX series provides excellent thermal management by mounting the LEDs to the substantial heat sink of the housing. This enables the Luminaire to withstand higher ambient temperatures and driver currents without degrading LED life.
- The L70 test determines the point in an LED's life when it reaches 70 percent of its initial output. The VMX series LEDs have been determined to last 100,000+ hours in 25° C environments when driven at 350 mA.
- CRI values are 70 for 3000K, 70 for 4000K and 70 for 5000K.

**Optical System**

- The highest lumen output. LEDs are utilized in the VMX series. IES distribution Types I, II, III, IV, I/A, V and V-W are available. The optical system qualifies as IES full cutoff to restrict light trespass, glare and light pollution.
- CRI values are 70 for 3000K, 70 for 4000K and 70 for 5000K.

**Quali-Guard® Finish**

- The finish is a Quali-Guard® textured, chemically pretreated through a multiple-stage washer electrostatically applied, thermoset polyester powder coat finish, with a minimum of 3-5 millimeter thickness. Finish is oven-baked at 400° F to promote maximum adhesion and finish hardness. All finishes are available in standard and custom colors.
- Finish is guaranteed for five (5) years.

**Options**

- Photo receptor
- Round pole plate adapter
- Cast Wall Plate
- 0-10V Dimming Driver
- Motion Sensor
- Wireless Control
- Universal Pole Mount Adapter
- Cut-Off Lower Shield

**Warranty**

- Five (5) year Limited Warranty on entire system, including finish. For full warranty information, please visit visionairighting.com.

**Lists**

- The VMX Series is cUL Listed
- IP65 Rated
- Powder Coated Tough
- DLC Listed

**VMX LUMEN DATA**

# LEDs	Type I (T1)	Type II (T2)	Type III (T3)	Type IV (T4)	Type V (T5)	Type V-A (T6)	Type V-W (T7)
32	1735	1730	1880	1930	1960	1960	1960
64	3470	3460	3760	3860	3920	3920	3920
96	5205	5190	5640	5790	5880	5880	5880
128	6940	6920	7540	7720	7840	7840	7840
160	8680	8660	9420	9680	9760	9760	9760
192	10420	10400	11180	11440	11600	11600	11600
224	12160	12140	12960	13220	13360	13360	13360
256	13900	13880	14720	15080	15200	15200	15200
288	15640	15620	16560	16920	17040	17040	17040
320	17380	17360	18320	18680	18800	18800	18800
352	19120	19100	20080	20440	20560	20560	20560
384	20860	20840	21840	22200	22320	22320	22320
416	22600	22580	23560	23920	24040	24040	24040
448	24340	24320	25280	25640	25760	25760	25760
480	26080	26060	27040	27400	27520	27520	27520
512	27820	27800	28760	29120	29240	29240	29240
544	29560	29540	30480	30840	30960	30960	30960
576	31300	31280	32240	32600	32720	32720	32720
608	33040	33020	33960	34320	34440	34440	34440
640	34780	34760	35680	36040	36160	36160	36160
672	36520	36500	37440	37800	37920	37920	37920
704	38260	38240	39160	39520	39640	39640	39640
736	40000	39980	40880	41240	41360	41360	41360
768	41740	41720	42640	43000	43120	43120	43120
800	43480	43460	44360	44720	44840	44840	44840
832	45220	45200	46080	46440	46560	46560	46560
864	46960	46940	47840	48200	48320	48320	48320
896	48700	48680	49560	49920	50040	50040	50040
928	50440	50420	51280	51640	51760	51760	51760
960	52180	52160	53040	53400	53520	53520	53520
992	53920	53900	54760	55120	55240	55240	55240
1024	55660	55640	56480	56840	56960	56960	56960
1056	57400	57380	58240	58600	58720	58720	58720
1088	59140	59120	59960	60320	60440	60440	60440
1120	60880	60860	61680	62040	62160	62160	62160
1152	62620	62600	63440	63800	63920	63920	63920
1184	64360	64340	65160	65520	65640	65640	65640
1216	66100	66080	66880	67240	67360	67360	67360
1248	67840	67820	68640	69000	69120	69120	69120
1280	69580	69560	70360	70720	70840	70840	70840
1312	71320	71300	72080	72440	72560	72560	72560
1344	73060	73040	73840	74200	74320	74320	74320
1376	74800	74780	75560	75920	76040	76040	76040
1408	76540	76520	77280	77640	77760	77760	77760
1440	78280	78260	79040	79400	79520	79520	79520
1472	80020	80000	80760	81120	81240	81240	81240
1504	81760	81740	82480	82840	82960	82960	82960
1536	83500	83480	84240	84600	84720	84720	84720
1568	85240	85220	85960	86320	86440	86440	86440
1600	86980	86960	87680	88040	88160	88160	88160
1632	88720	88700	89440	89800	89920	89920	89920
1664	90460	90440	91160	91520	91640	91640	91640
1696	92200	92180	92880	93240	93360	93360	93360
1728	93940	93920	94640	95000	95120	95120	95120
1760	95680	95660	96360	96720	96840	96840	96840
1792	97420	97400	98080	98440	98560	98560	98560
1824	99160	99140	99840	100200	100320	100320	100320
1856	100900	100880	101560	101920	102040	102040	102040
1888	102640	102620	103280	103640	103760	103760	103760
1920	104380	104360	104960	105320	105440	105440	105440
1952	106120	106100	106680	107040	107160	107160	107160
1984	107860	107840	108400	108760	108880	108880	108880
2016	109600	109580	110160	110520	110640	110640	110640
2048	111340	111320	111840	112200	112320	112320	112320
2080	113080	113060	113560	113920	114040	114040	114040
2112	114820	114800	115280	115640	115760	115760	115760
2144	116560	116540	116960	117320	117440	117440	117440

**EPA Data**

0.75	1.47	1.5	2.22	2.1	2.22

10

Project / Owner:

## Casa Boronda Agricultural Employee Housing Project

BORONDA ROAD  
SALINAS, CA 93908

**THE PAUL DAVIS PARTNERSHIP**

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com

**BFS LANDSCAPE ARCHITECTS**

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Casa Boronda  
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Employee Housing  
Project

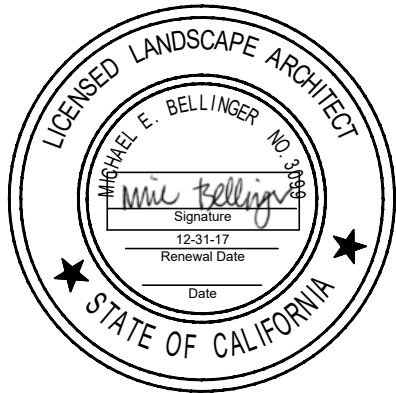
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Drawn By: AC

Drawing Date: 07/24/2017

Project Number: 1713

Revisions:  
07/24/17 BID SET

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Sheet Title:

Planting Plan

Sheet Number:

PLANT LEGEND

--- Limit of Work Line  
HDR Headerboard. See Specs. See (X/L-5.X)

*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
VL	Oe	Olea europaea 'Majestic Beauty'	Fruitless Olive	15 Gal.
L	Co	Cercis occidentalis	Western Redbud	15 Gal.
L	Pr	Platanus racemosa	California Sycamore	15 Gal.
L	Pe	Pinus eldarica	Afghan Pine	15 Gal.
L	Qa	Quercus agrifolia	Coast Live Oak	15 Gal.
Shrubs				
L	Apc	Arctostaphylos 'Pacific Mist'	Manzanita	1 Gal.
L	Am	Achillea 'Moonshine'	Moonshine Yarrow	1 Gal.
M	Bc	Bergenia cordifolia	Heartleaf Bergenia	1 Gal.
M	Aa	Agapanthus africanus	Lily of the Nile	1 Gal.
L	Cs	Calandrinia spectabilis	Rock Purslane	1 Gal.
L	Pt	Pittosporum tobira 'Variegatum'	Mock Orange	5 Gal.
L	Rc	Rhamnus californica 'Mound San Bruno'	Dwarf Coffeeberry	5 Gal.
L	Ro	Rosmarinus officinalis 'Tuscan Blue'	Upright Rosemary	5 Gal.
L	Ao	Anigozanthus 'Orange Cross'	Orange Kangaroo Paw	5 Gal.
L		Festuca rubra 'Molate'	Molate Fescue	1 Gal.
Groundcovers				
L		Juncus patens	California Gray Rush	1 Gal. 12" o.c.
L		Trachelospermum jasminoides	Star Jasmine	5 Gal. 60" o.c.
L		Myoporum parvifolium	Myoporum	
L		Senecio madraliscae	Chalk sticks	1 Gal. 12" o.c.
Turf				
Mulch				
Vines				
M	Hc	Hardenbergia comptoniana	Lilac Vine	1 Gal.
Bioswale Planting				
L	Jp	Juncus patens	California Gray Rush	1 Gal.
L	Sc	Salvia clevelandii	Cleveland Sage	1 Gal.
L	Fr	Festuca rubra 'Molate'	Molate Fescue	1 Gal.

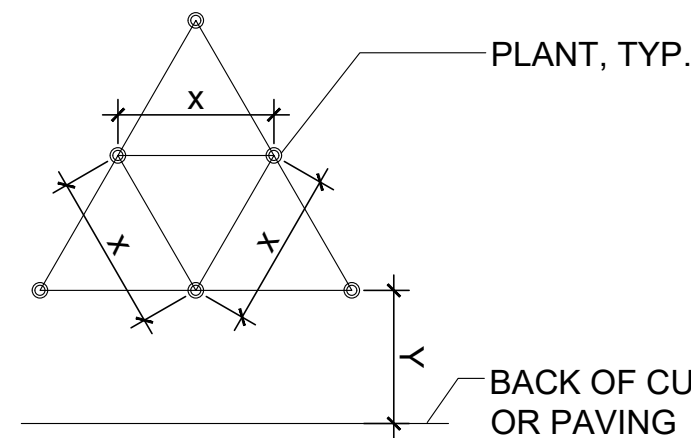
GENERAL NOTES

- See Specifications for materials and procedures including, but not limited to, soil preparation, amendments, fertilizers, herbicides, and mulch application.
- See Specifications for materials and procedures including plant pit size, staking, aeration tubes / bubblers, and windscreen. See (1/L-5.2)
- See Specifications for materials and procedures relating to weed mat and headerboard. See (4/L-5.2)
- Install root barrier panels around trees planted within 5' of foundations, walls, and curbs, and in all planters in paved areas. See (1/L-5.2)

GENERAL NOTES

- Landscape Architect to approve plant material BEFORE plant layout commences.
- Landscape Architect to approve layout of all plants BEFORE planting commences.
- Apply pre-emergent herbicide to all planting areas, excluding naturalized hydroseed areas/ See Specifications.
- Apply post-emergent herbicide to all naturalized hydroseed areas. See Specifications.
- Prepare, amend, and fertilize existing soil per Specifications. Import topsoil per Specifications.
- Install weed mat under river rock, gravel, and mulch-only areas. See Specifications.
- Install weed mat in all planting areas. See Specifications.
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- Pre-mix amendments into soil before backfilling plant pits - do not mix inside pits. Break large clods into small pieces. See Specifications.
- Plant shrubs and groundcovers per detail (2/L-5.2) . See Spacing Diagram.
- Plant and stake trees per detail (1/L-5.2).
- Install mulch to all planting areas. See Specifications for thickness.
- Install vine mounting per detail (6/L-5.2)
- Apply deer repellent to all plants. See Specifications.
- See Specifications for Maintenance Period.

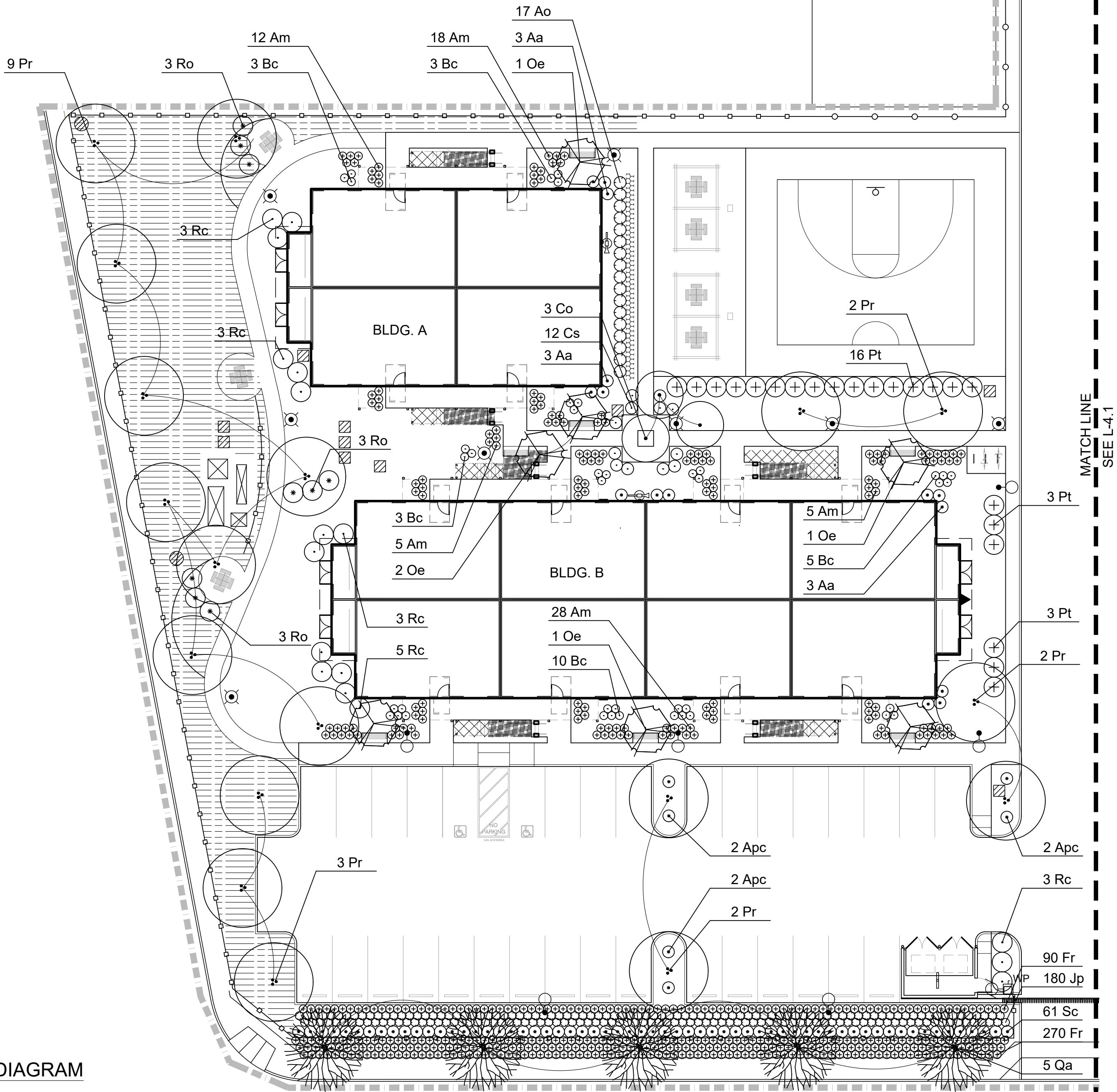
GROUNDCOVER SPACING AND PLANTING SETBACK DIAGRAM



- FOR SPACING 'X', SEE PLANTING PLAN LEGEND
- $Y = 1/2X + 12"$

\* WATER USE CATEGORY (WUC) KEY

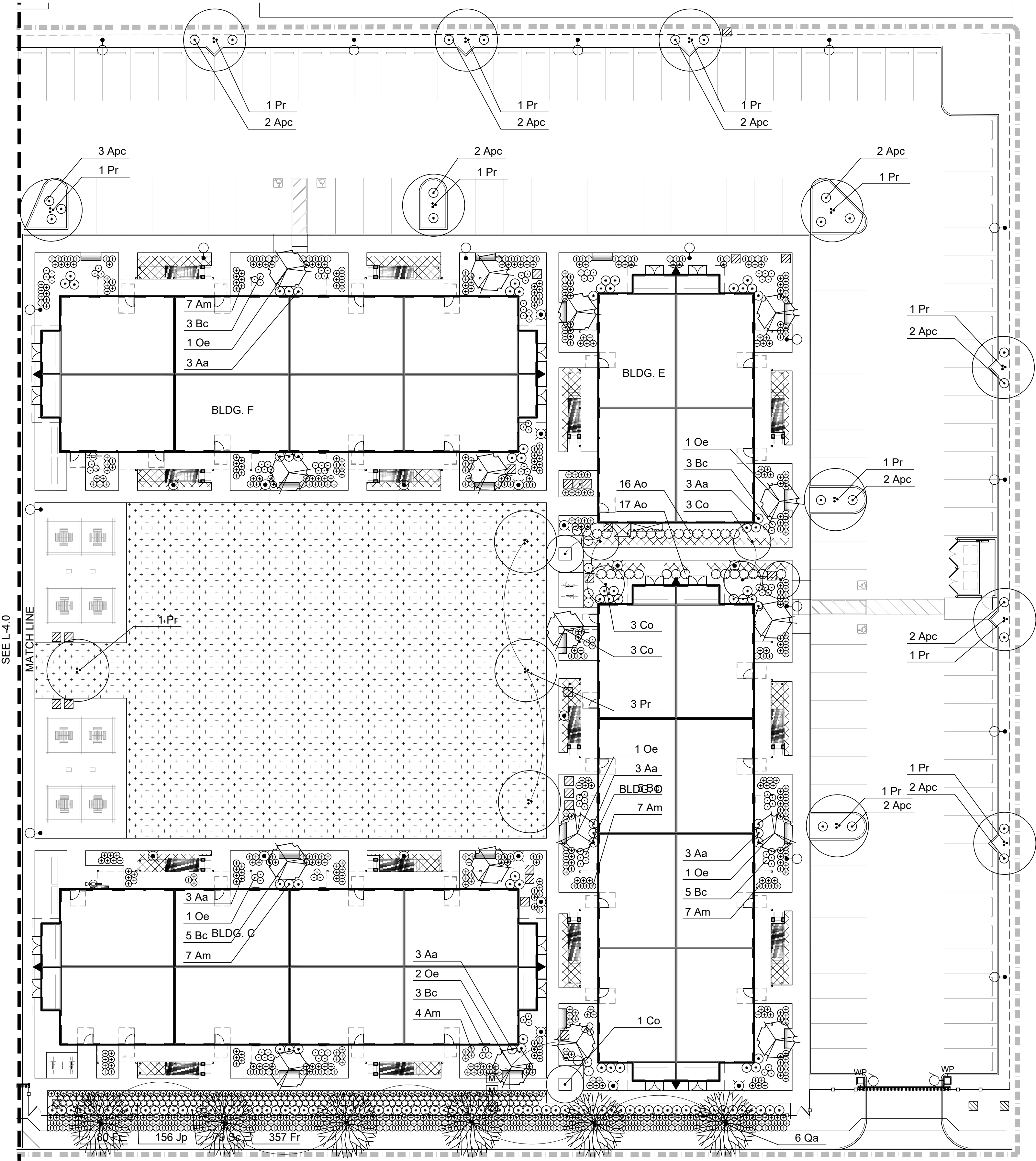
WUCOLS Region Applicable to this Project: REGION 1  
H = High; M = Moderate; L = Low; VL = Very Low; NL = Species Not Listed  
\* from: Water Use Classification of Landscape Species,  
A Guide to the Water Needs of Landscape Plants (WUCOLS)



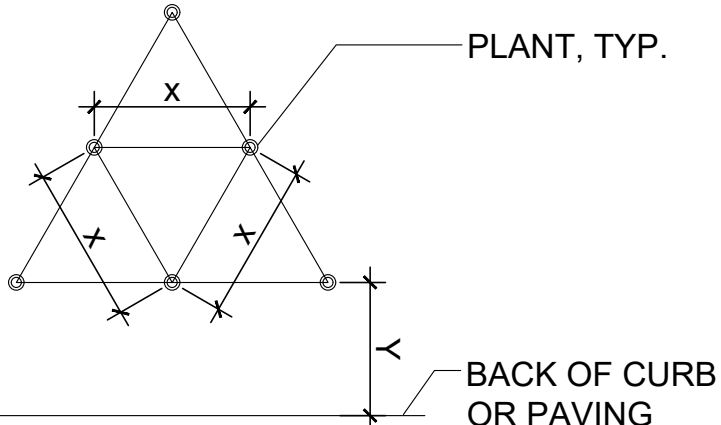
SCALE: 1"= 20'-0"







GROUNDCOVER SPACING AND PLANTING SETBACK DIAGRAM



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Revised 2014. University of California Cooperative Extension. L.R. Costello, K.S. Jones

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Mulch			
Vines			
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Project

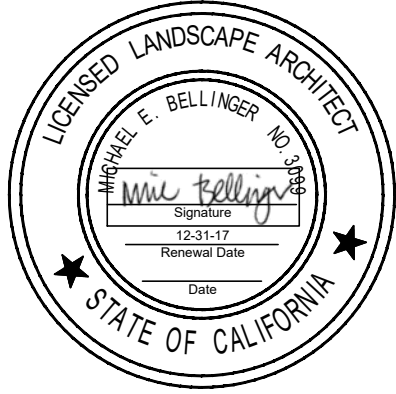
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PARTNERSHIP  
ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
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Sheet Title:

Planting Plan

Sheet Number:

L-4.1