

**Before the Board of Supervisors in and for the
County of Monterey, State of California**

Resolution No. 04-254

Approve Property Tax Transfer for the proposed)
"Miravale Phase II Reorganization" involving)
Sphere of Influence amendment, annexation of 135)
acres to the City of Soledad and detachments from)
the Monterey County Resource Conservation)
District and Mission Soledad Rural Fire Protection)
District; approve City/County agreement regarding)
proposed Sphere of Influence boundaries,)
development standards and zoning requirements.)

WHEREAS, Government Code Section 56425(6) requires that prior to updating of a city's Sphere of Influence, representatives of the city and county shall meet to discuss the proposed sphere and its boundaries and explore methods to reach agreement on the boundaries, development standards and zoning requirements within the area; and

WHEREAS, representatives of the City of Soledad and County of Monterey have held such discussions as required by Government Code Section 56425(6); and

WHEREAS, the City has proposed that immediately adjacent to the Miravale II property, the Bryant Canyon Road right of way (40 feet wide) and an existing drainage easement (80 feet wide) will provide a buffer between the project site and adjoining vineyard operations; and

WHEREAS, the proposed buffer narrows to 40 feet in width for the northerly 1,250 feet of frontage; and

WHEREAS, the Monterey County Agricultural Commissioner has reviewed the proposed buffer and notes the status of the approved Miravale II vesting tentative map; and

WHEREAS, the Agricultural Commissioner recommends that the developer be required to build an 8 foot high masonry wall along the entire Bryant Canyon Road frontage of Miravale II in order to create an adequate barrier to potential impacts from the existing adjoining agricultural operation; and

WHEREAS, the City has agreed to require that the final subdivision map and subdivision improvement agreement will include a requirement for the developer to install a 6 foot high masonry wall built upon a 2 foot high earth berm along the entire Bryant Canyon Road frontage of the Miravale II project; and

WHEREAS, the Miravale II project will allow for development of 840 residential units within the City of Soledad of which 467 will be zoned as single family residential and 373 multi-family; and

WHEREAS, the densities for very low and low income units are not less than 18 units/net acre and for moderate income units densities are not less than 12 units/net acre; and

A. DISTRIBUTION OF PROPERTY TAX BASE:

Property tax base is the property tax revenue that is available prior to change of organization/reorganization.

Prior to Change or Organization/Reorganization:

(City of Soledad, Tax Rate Area 6-000)

			<u>Current Ratio</u>
City of Soledad	-	22.94%	51.38%
Monterey County	-	21.71%	48.62%

Based on existing Tax Rate Area 126-011, Monterey County's share of property tax reduced by 40% is equal to 16.76%. The total property tax available for distribution in the proposal area is equal to 16.76%.

After Change of Organization/Reorganization:

(New Tax Rate Area – To Be Assigned)

16.76% - Property Tax Available for Distribution

1. City of Soledad's Share of Total Property Taxes Collected:

	16.76%	-	Property Tax Available for Distribution
X	51.38%	-	City of Soledad's Current Ratio
=	8.61%		
+	0.84%	-	Fire District Share
=	9.45%		

2. Monterey County's Share of Total Property Taxes Collected:

	16.76%	-	Property Tax Available for Distribution
X	48.62%	-	Monterey County's Current Ratio
=	8.15%		

plus

	11.18%	-	The Adjustment for State Tax Shift
=	19.33%		

Formula for property tax base allocation to the City of Soledad from tax rate area 126-011 after change of organization/reorganization.

City of Soledad's Property Tax Revenue =

Formula for property tax increment to the City of Soledad from Tax Rate Area 126-011 after change of organization/reorganization:

$$\begin{array}{lcl} \text{City of Soledad's Property Tax Increment} & = & \\ \text{Total Property Tax Increment Collected} & \times & 13.64\% \\ \text{Full Months Remaining in Tax Year Dividend by 12.} & \times & \end{array}$$

PASSED AND ADOPTED this 13th day of July, 2004, by the following vote, to-wit:

AYES: Supervisors Armenta, Calcagno, Lindley, Johnsen, and Potter

NOES: None

ABSENT: None

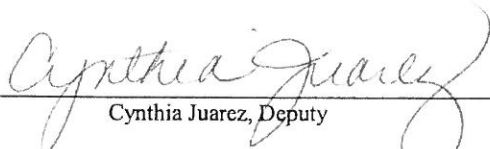
I, Sally R. Reed, Clerk of the Board of Supervisors of the County of Monterey, State of California, hereby certify that the foregoing is a true copy of an original order of said Board of Supervisors duly made and entered in the minutes thereof Minute Book 72, on July 13, 2004.

Dated: July 15, 2004

SALLY R. REED, Clerk of the Board of Supervisors, County of Monterey, State of California

JC/NC:cmd

By


Cynthia Juarez, Deputy

