

Exhibit C

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

MESSIAH SAMIR (PLN170513)

RESOLUTION NO.

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project Categorically Exempt
from per section 15301(a)
- 2) Approving a Design Approval to allow a
change in paint color from a previously
approved off-white to “Frosty Melon”;

[PLN170513, Samir Messiah, 26425 Via Petra,
Carmel, Carmel Valley Master Plan (APN:015-271-
016-000)]

The Messiah application (PLN170513) came on for public hearing before the Monterey County Zoning Administrator on August 31, 2017 and November 9, 2017. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **PROJECT DESCRIPTION** – The proposed project is a Design Approval to allow the change of exterior body color from off-white/grey to “Frosty Melon”; trim to remain white.
EVIDENCE: The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170513.
2. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - The 2010 Monterey County General Plan;
 - Carmel Valley Master Plan
 - Monterey County Zoning Ordinance (Title 21);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The property is located at 26425 Via Petra (Assessor’s Parcel Number 015-271-016), Carmel Valley Master Plan. The parcel is zoned LDR/2.5-D-S, which allows minor modifications to existing structures with the issuance of a Design Approval. Therefore, the project is an allowed land use for this site.

- c) The subject site is in a Design Control “D” zoning district, which provides regulation of the location, size, configuration, materials, and colors of structures and fences, except agricultural fences, in those areas of the County of Monterey where the design review of structures is appropriate to assure protection of the public viewshed, neighborhood character, and to assure the visual integrity of certain developments without imposing undue restrictions on private property. Projects in “D” districts require a Design Approval application. In January 2017, an addition and remodel for the Messiah residence was approved via a public hearing Design Approval. That resolution (Resolution No. 17-001) approved the addition and remodel with off-white/grey colors to match the existing paint colors. Changing the already approved paint color requires a new Design Approval, therefore the project is consistent with this requirement.
- d) The project is consistent with the intent and purpose of the “D” (Design Control) district. Homes in the neighborhood are a mix of pastel and earth tone hues. The proposed “Frosty Melon” color is similar to other homes seen on Via Petra; therefore the project is consistent with the neighborhood character of the surrounding area.
- e) The subject property includes an “S” (Site Plan Review) overlay, which requires an Administrative Permit for construction. This project does not involve any construction – only the change in color for an existing structure, so this requirement does not apply.
- f) The project is consistent with the intent and purpose of Carmel Valley Master Plan Policy CV-1.20, which requires development to be visually compatible with the surrounding areas or enhance the quality of areas that have been degraded by existing development. The proposed color is consistent with the colors of other homes in the neighborhood.
- g) The project planner conducted a site inspection on October 13, 2017 to verify that the project on the subject parcel conforms to the plans listed above.
- h) The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the LUAC because it is a Design Approval subject to review by the Zoning Administrator. The LUAC recommend approval of the proposed color change.
- i) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170513.

3. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by RMA-Planning. It did not warrant review by other departments or agencies because it is strictly a change in color.
 - b) No potential impacts were identified. The project does not have the potential to impact the environment.
 - c) Staff conducted a site inspection on October 13, 2017 to verify that the site is suitable for this use.

- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170513.
4. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by RMA – Planning. No potential for adverse effects on health, safety, or welfare were identified and there are no proposed conditions.
 - b) Necessary public facilities are available. The project is a change in color to an already existing and approved single family dwelling and no additional public facilities are necessary as a result of this change in color.
 - c) Staff conducted a site inspection on October 13, 2017 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170531.
5. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on October 13, 2017 and researched County records to assess if any violation exists on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170513.
6. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301(a) categorically exempts interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances.
 - b) The project is a change from a previously approved paint color in a residential neighborhood and has no potential to negatively affect the environment.
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on October 13, 2017.
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project.

- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170531.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.

EVIDENCE: a) Section 21.80.040(B) of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project exempt per section 15301(a) of the California Environmental Quality Act
2. Approve a Design Approval to allow a change in paint color from a previously approved off-white to "Frosty Melon" in general conformance with the attached color sample

PASSED AND ADOPTED this 9th of November, 2017:

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

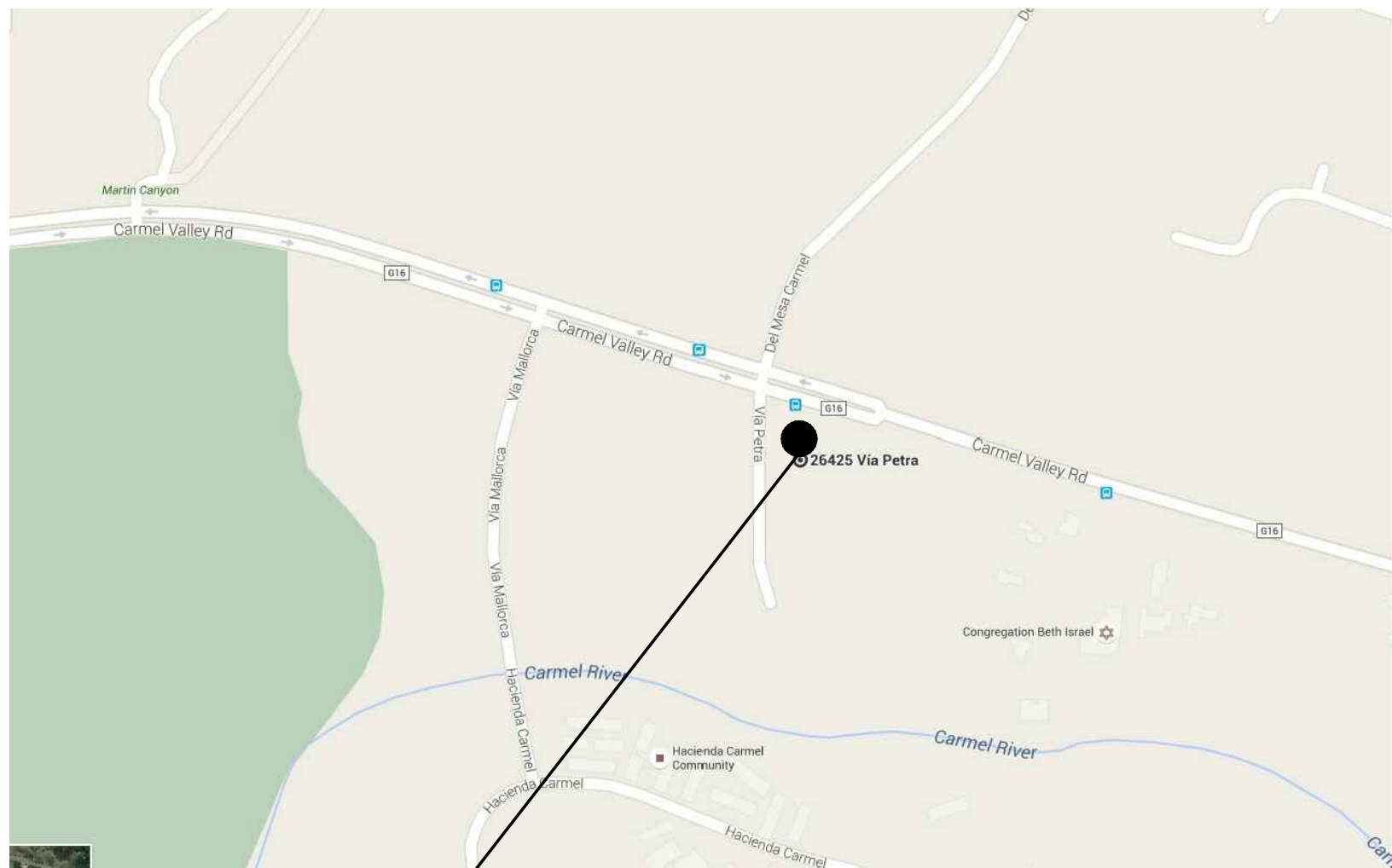
Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

REMODEL & ADDITION

SAMIR MESSIAH
26425 VIA PETRA, CARMEL , CA. 93923
APN 015-271-016-000

VICINITY MAP



26425 VIA PETRA
CARMEL , CA

AREA MAP



26425 VIA PETRA
CARMEL , CA

GENERAL NOTES

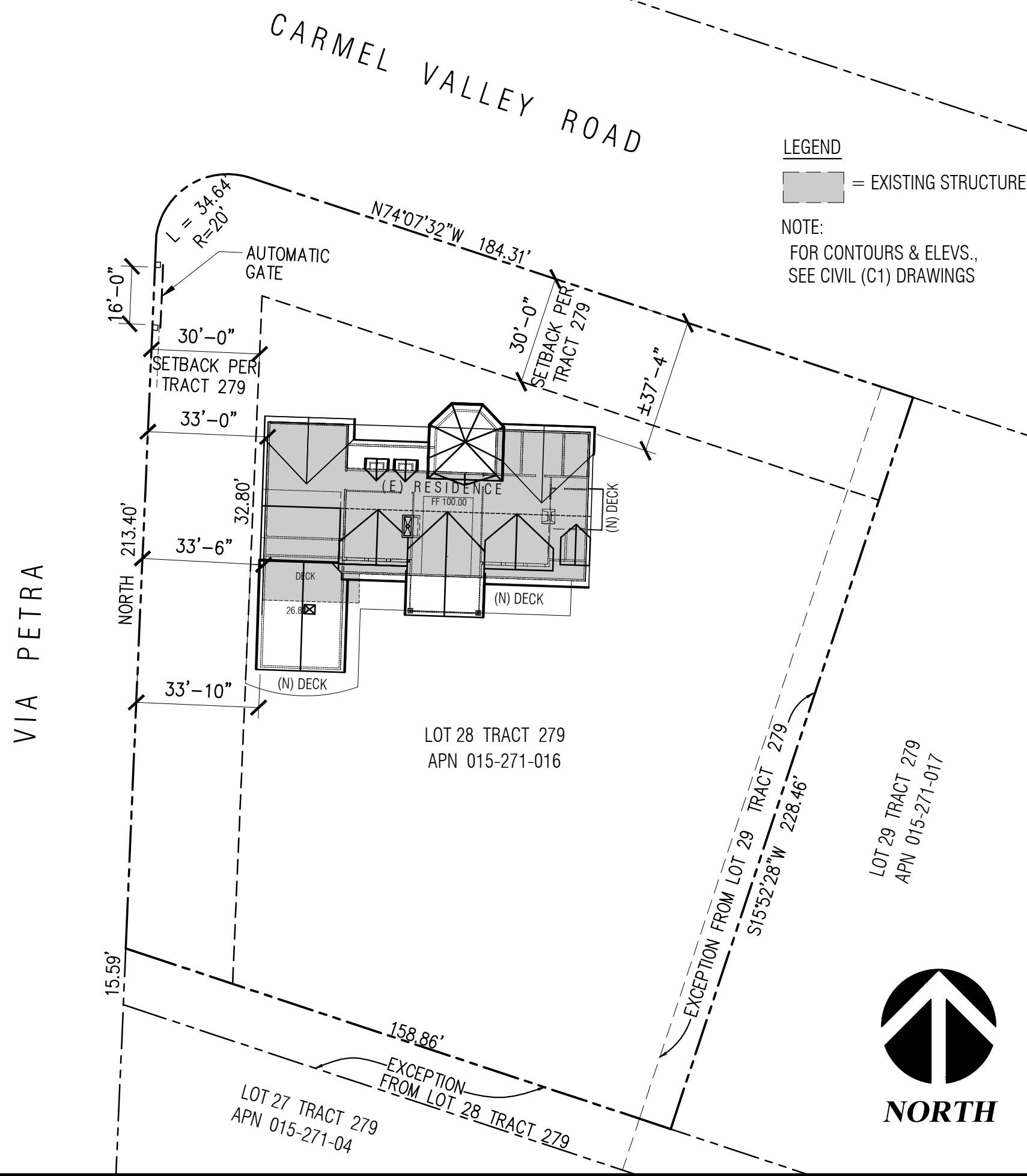
- THESE NOTES ARE ARRANGED ACCORDING TO THE FOLLOWING DIVISIONS AS A CONVENIENCE TO THE CONTRACTOR. GENERAL NOTES ARE NOT LIMITED BY THEIR DIVISION HEADING AND APPLY AS NECESSARY THROUGHOUT THE ENTIRE PROJECT.
- CODES**
 - ALL CONTRACTORS WORK SHALL CONFORM TO THE 2013 CALIFORNIA BUILDING, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE CODES, AMERICANS WITH DISABILITIES ACT, AND ALL OTHER APPLICABLE CODES, OR THOSE ADOPTED BY COUNTY OF MONTEREY, CALIFORNIA. GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
 - READING THE PLANS**
 - DIMENSIONS SHALL GOVERN ON WORKING DRAWINGS. DO NOT SCALE DRAWINGS.
 - IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
 - SHOULD CONFLICTS OCCUR BETWEEN THE DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN IN MATTERS OF DIMENSION OR QUANTITY; SPECIFICATIONS SHALL GOVERN IN MATTERS OF MATERIALS OR FINISHES.
 - IN CASE OF DISCREPANCIES OR CONFLICTS IN INFORMATION OR REQUIREMENTS WITHIN THE DRAWINGS, WITHIN THE SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MOST EXPENSIVE REQUIREMENT SHOWN OR SPECIFIED SHALL BE THE BASIS OF THE CONTRACT.
 - PRIOR TO CONSTRUCTION**

PRIOR TO CONSTRUCTION AND GRADING, VERIFY ALL EXISTING CONDITIONS AND CONTACT UTILITY COMPANIES AND AFFECTED CITY AGENCIES. CONTACT "UNDERGROUND SERVICE ALERT" PHONE: (800) 642-2444. THE CONTRACTOR SHALL THOROUGHLY REVIEW PLANS AND EXISTING SITE CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.

ALWAYS CALL 811 AT LEAST 2 WORKING DAYS BEFORE STARTING THE PROJECT THAT INVOLVES DIGGING TO HAVE GAS PIPELINES AND OTHER UNDERGROUND UTILITY LINES LOCATED AND MARKED.
 - SITE WORK**
 - THE CIVIL ENGINEER IS RESPONSIBLE FOR PROVIDING THE FOLLOWING INFORMATION:
 - FINISHED AND EXISTING GRADES
 - ALL SITE DRAINAGE
 - SIZES AND TYPE OF CURB AND GUTTERS
 - SITE DIMENSION AND SETBACKS
 - VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
 - JOB SITE**
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL THE EXPENSE FOR REPAIR OR REPLACEMENT OF UTILITIES AND/OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTIONS WITH THE EXECUTION OF WORK.
 - CONTRACTOR SHALL PROVIDE TEMPORARY PROJECT OFFICE, TELEPHONE, FAX MACHINE, SECURITY FENCE, WATER, POWER, AND TOILET FACILITIES. COORDINATE LOCATIONS WITH ALL APPROPRIATE AGENCIES. CONTRACTOR'S FIELD OFFICE SHALL ALSO CONTAIN A CURRENT COPY OF GOVERNING BUILDING CODE(S).
 - CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX IN THE FIELD OFFICE AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL BE KEPT UP TO DATE, AND REFLECT THE SAME INFORMATION. THE CONTRACTOR SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS AND SPECIFICATIONS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETE.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. NO RADIOS, ALCOHOL, OR CONTROLLED SUBSTANCES ARE ALLOWED ON THE JOB SITE. ALL DEBRIS SHALL BE REMOVED FROM PREMISES, AND ALL AREAS SHALL BE LEFT IN A BROOM-CLEAN CONDITION ON A DAILY BASIS.
 - COMMUNICATION**
 - FIELD CONFIRMATION OF DISCREPANCIES SHALL BE RECORDED ON A REPRODUCIBLE DOCUMENT AND IMMEDIATELY TRANSMITTED TO ENGINEER FOR PROJECT RECORD, COORDINATION, AND NECESSARY RESOLUTION PRIOR TO CONTINUING WORK.
 - THE GENERAL CONTRACTOR SHALL PROVIDE OR MAKE AVAILABLE A COMPLETE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS) TO EVERY SUBCONTRACTOR BIDDING ANY PORTION OF THIS PROJECT. THE CONSTRUCTION DOCUMENTS SHALL NOT BE SEPARATED INTO DISCIPLINES (ENGINEERURAL, MECHANICAL, ELECTRICAL, ETC.), FOR PURPOSE OF SUBCONTRACTOR BIDDING. THE GENERAL CONTRACTOR SHALL REQUIRE BIDDING SUBCONTRACTOR TO REVIEW THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO OBTAIN CLARITY ON THE COMPLETE SCOPE OF THEIR WORK AND REFER TO CROSS DISCIPLINE DRAWINGS FOR FULL COORDINATION OF WORK WITH OTHER TRADES, AND TO BE AWARE OF ALL WORK WHICH DOES NOT APPEAR WITHIN THE PARTICULAR DISCIPLINE'S DRAWINGS FOR THE PARTICULAR TRADE. FURTHERMORE, THE GENERAL CONTRACTOR SHALL INSURE THAT EACH SUBCONTRACTOR WORKING ON THE PROJECT MAINTAINS A FULL SET OF CONSTRUCTION DOCUMENTS THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
 - COMPLETION**
 - ONE SET OF EQUIPMENT OPERATING AND MAINTENANCE MANUALS PER UNIT SHALL BE SUBMITTED TO OWNER UPON COMPLETION OF PROJECT, PRIOR TO REQUEST FOR FINAL PAYMENT.
 - CONTRACTOR SHALL ASSIST OWNER IN OBTAINING "CERTIFICATE OF OCCUPANCY" OR "OCCUPANCY PERMIT" AS NECESSARY.

PLOT PLAN

SCALE: $\frac{1}{32}''=1'-0''$



PROJECT DATA

OWNER SAMIR MESSIAH
26245 VIA PETRA
CARMEL, CA
PHONE 415-4370701

APN APN 015-271-016

PROPERTY AREA 40276 SF (.925 AC)

ZONING LDR/2.5-D-S-RAZ

TYPE CONSTRUCTION V - N

OCCUPANCY GROUPS R-1, U-1

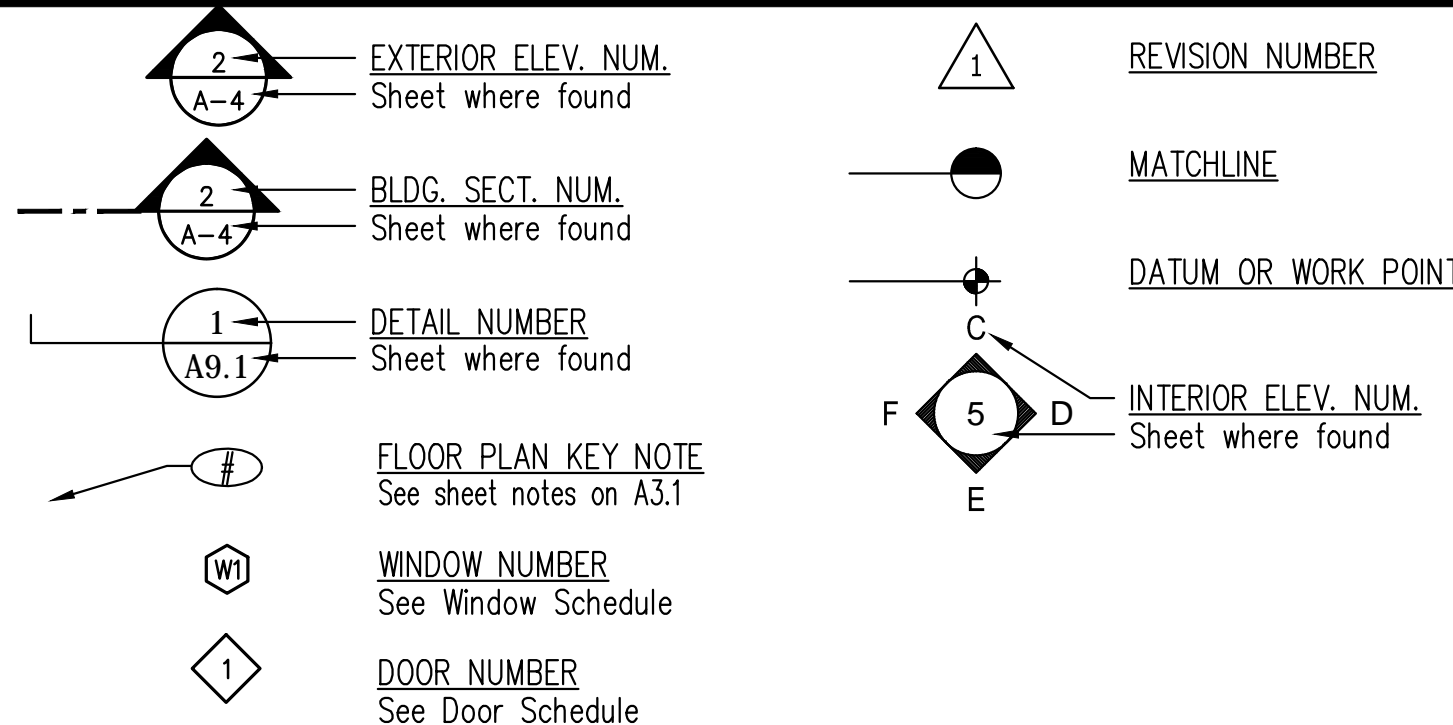
FAR: 6506/40276 = .16

LIVABLE AREA	
EXISTING FIRST FLOOR AREA	2,213 SF
EXISTING ATTIC AREA (LIVABLE)	1,197 SF
TOTAL EXISTING AREA	3,410 SF
PROPOSED 1ST REMODEL (216 + 78)	294 SF
PROPOSED 1ST FLOOR ADDITION (270+830)	1,100 SF
PROPOSED 2ND FLOOR REMODEL (244+540+146+60)	990 SF
TOTAL NEW FLOOR AREA (LESS GARAGE)	5,794 SF
TOTAL NEW FLOOR AREA (INCL GARAGE)	6,506 SF
NON-LIVABLE AREA	
EXISTING GARAGE AREA	712 SF
EXISTING STORAGE AREA ABV GARAGE (NO WORK)	712 SF
NEW FLOOR STORAGE AREA ABOVE (NON-LIVABLE)	216 SF
PROPOSED MAIN FLOOR DECK	1033 SF
PROPOSED 2ND FLOOR DECK	248 SF
TOTAL DECK AREA (1ST & 2ND)	1,281 SF

APPLICABLE CODES

2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA ELECTRIC CODE
2010 CALIFORNIA ENERGY CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA FIRE CODE

LEGEND



DESCRIPTION OF WORK

- ADDITION OF 270 SF GRAND ENTRY
- ADDITION OF 830 SF GUEST SUITE (INCLUDES (N) STAIRWELL)
- REMODEL 294 SF (LAUNDRY & KITCHEN) ON 1ST FLR
- RELOCATE (E) ATTIC STAIRS INTO (N) HALLWAY (BY GUEST STE)
- REMODEL ATTIC AREA & CONVERT TO MASTER SUITE, (N) FAMILY ROOM & STORAGE (TOTAL AREA = 990 SF)
- PARTIAL ROOF REMODEL TO CONFORM WITH THE 2ND FLOOR (7'-6" MIN TO 8'-0") CLG HT
- REAR DECK ADDITION AT MAIN FLOOR (1,033 SF) & 2ND FLOOR (248 SF)
- INSTALL AUTOMATIC ENTRY (BY OTHERS)

DRAWING SHEET

ARCHITECTURAL

- A0 COVER SHEET
- A0.1 EXISTING SITE PHOTOS
- A1.0 AREA CALCULATION/ EXTERIOR WALL CALCULATIONS
- A1.1 EXISTING / DEMO - MAIN FLOOR PLAN
- A1.2 EXISTING / DEMO - ATTIC / LOFT FLOOR PLAN
- A1.3 EXISTING ROOF PLAN
- A1.4 EXISTING ELEVATIONS
- A2.0 NEW MAIN FLOOR PLAN
- A3.0 NEW SECOND FLOOR PLAN
- A3.1 GENERAL NOTES & LEGENDS/ KEY FLOOR PLAN NOTES
- A4.0 NEW ROOF PLAN
- A5.0 FRONT & REAR ELEVATIONS
- A6.0 RIGHT SIDE / LEFT SIDE ELEVATIONS
- A7.0 SECTIONS (LONG. & TRANSVERSE)
- A8.0 DETAILS
- A9.0 DETAILS

STRUCTURAL

- S1.0 STRUCTURAL NOTES
- S1.2 TYP. CONCRETE DETAILS
- S1.3 TYP. WOOD DETAILS
- S1.4 TYP. FRAMING DETAILS
- S2.1 FOUNDATION PLAN & 1ST FLOOR FRAMING PLAN
- S2.2 2ND FLOOR FRAMING PLAN
- S2.3 ROOF FRAMING PLAN
- S3.1 FOUNDATION DETAILS
- S3.2 FOUNDATION DETAILS
- S5.1 FRAMING DETAILS
- S5.2 FRAMING DETAILS
- S5.3 ROOF FRAMING DETAILS

CIVIL

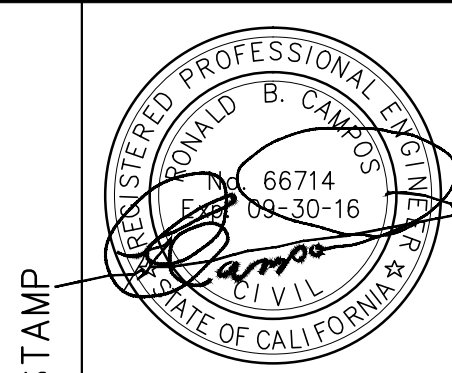
- C1 TOPOGRAPHIC PLAN
- C2 GRADING AND DRAINAGE

ELECTRICAL

- E1 FIRST FLOOR PLAN- ELECT. LAYOUT
- E2 SECOND FLOOR PLAN- ELECT LAYOUT

FIRE PROTECTION

- FP1 FIRE PROTECTION NOTES
- TITLE 24
- T24.1 TITLE 24 ENERGY COMPLIANCE
- T24.2 TITLE 24 ENERGY COMPLIANCE



PROJECT & OWNER (S):
RESIDENTIAL ADDITION & REMODEL
SAMIR MESSIAH
26425 VIA PETRA
CARMEL, CA 93923

DRAWN: MTC
CHECKED: RBC
SCALE:
DATE: 4/30/16

SHEET TITLE
COVER SHEET

PROJ. NO. 15-386
REVISIONS:
ISSUED FOR BLDG PERMIT 4/30/16

SHEET NO:
A.0



AERIAL PHOTO



FRONT VIEW



VIEW AT ENTRY



REAR DECK VIEW



PARTIAL REAR VIEW

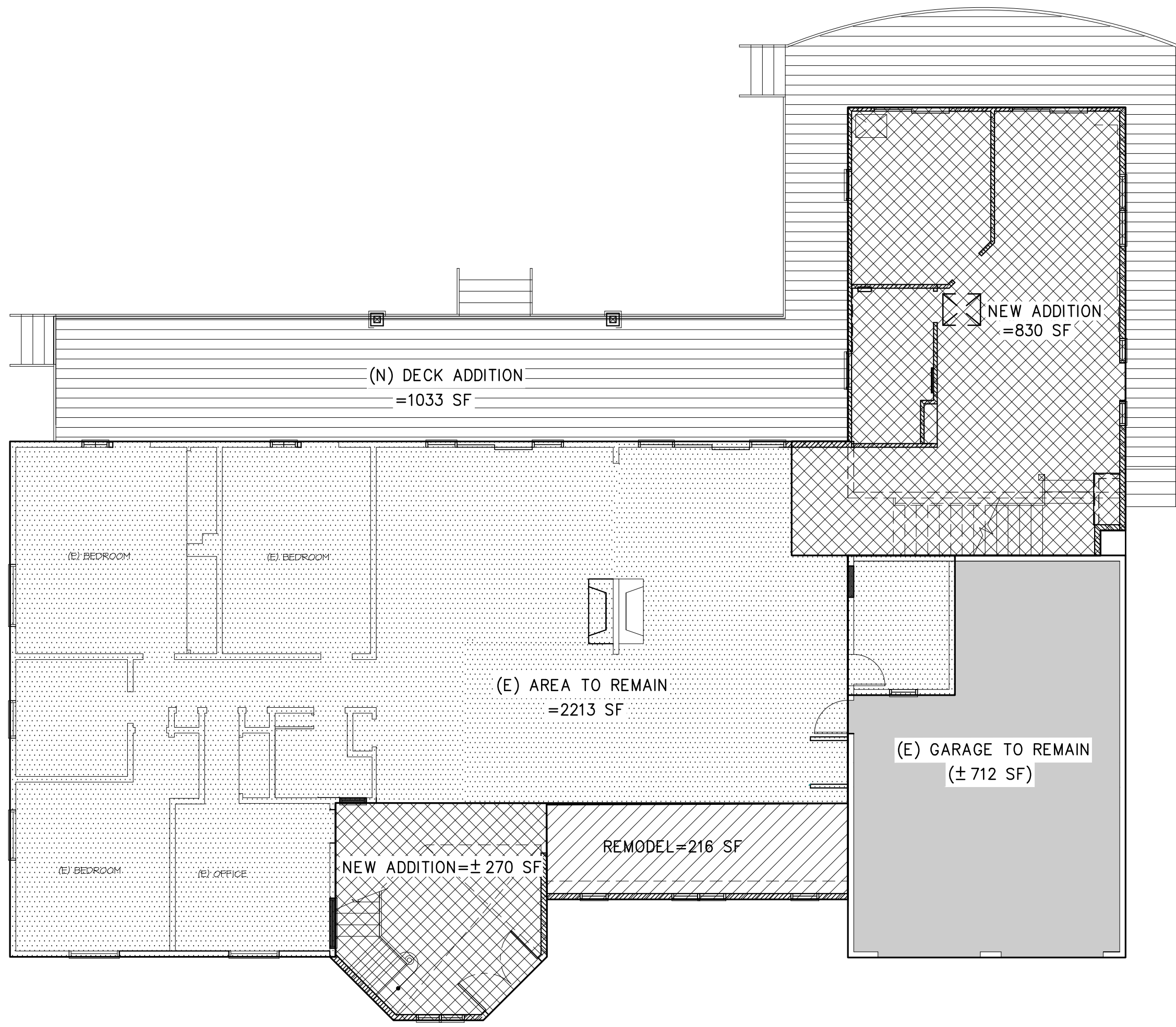


PARTIAL RIGHT SIDE VIEW

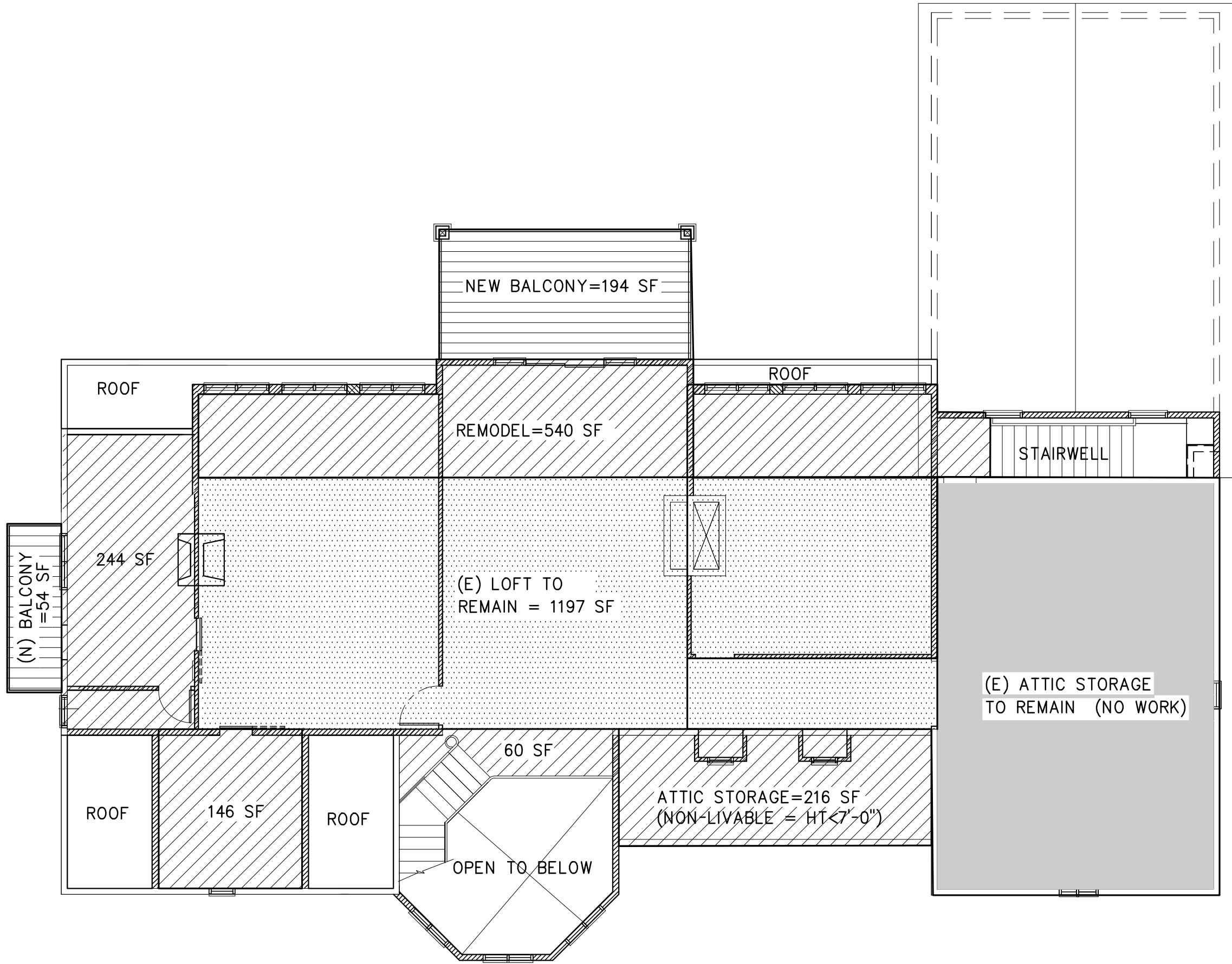


PARTIAL LEFT SIDE VIEW

STAMP			
CONSULTANT		 CONSULTING ENGINEERS, INC. 11100 SAN PABLO AVE., SUITE 207, EL CERRITO, CA 94530 TEL.: 510-232-0300 ; FAX: 510-232-0303 http://www.klceea.com	
PROJECT & OWNER (S):		RESIDENTIAL ADDITION & REMODEL	
		SAMIR MESSIAH	CARMEL, CA 93923
DRAWN:		MTC	
CHECKED:		RBC	
SCALE:			
DATE:		4/30/16	
SHEET TITLE	EXISTING SITE PHOTOS		
	PROJ. NO.	15-386	
	REVISIONS:		
	ISSUED FOR BLDG PERMIT	4/30/16	
SHEET NO:		A.01	



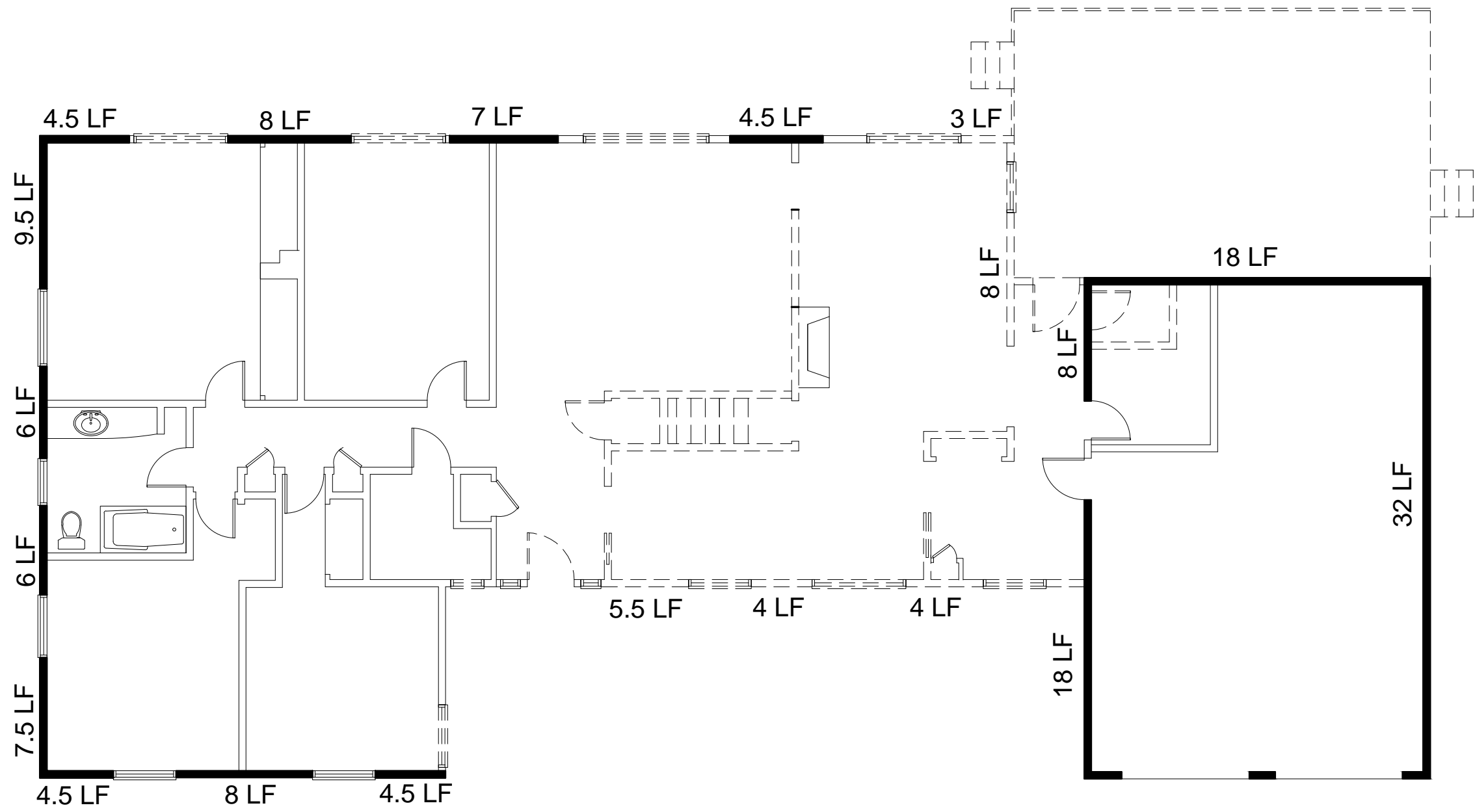
MAIN FLOOR AREA CALCULATION



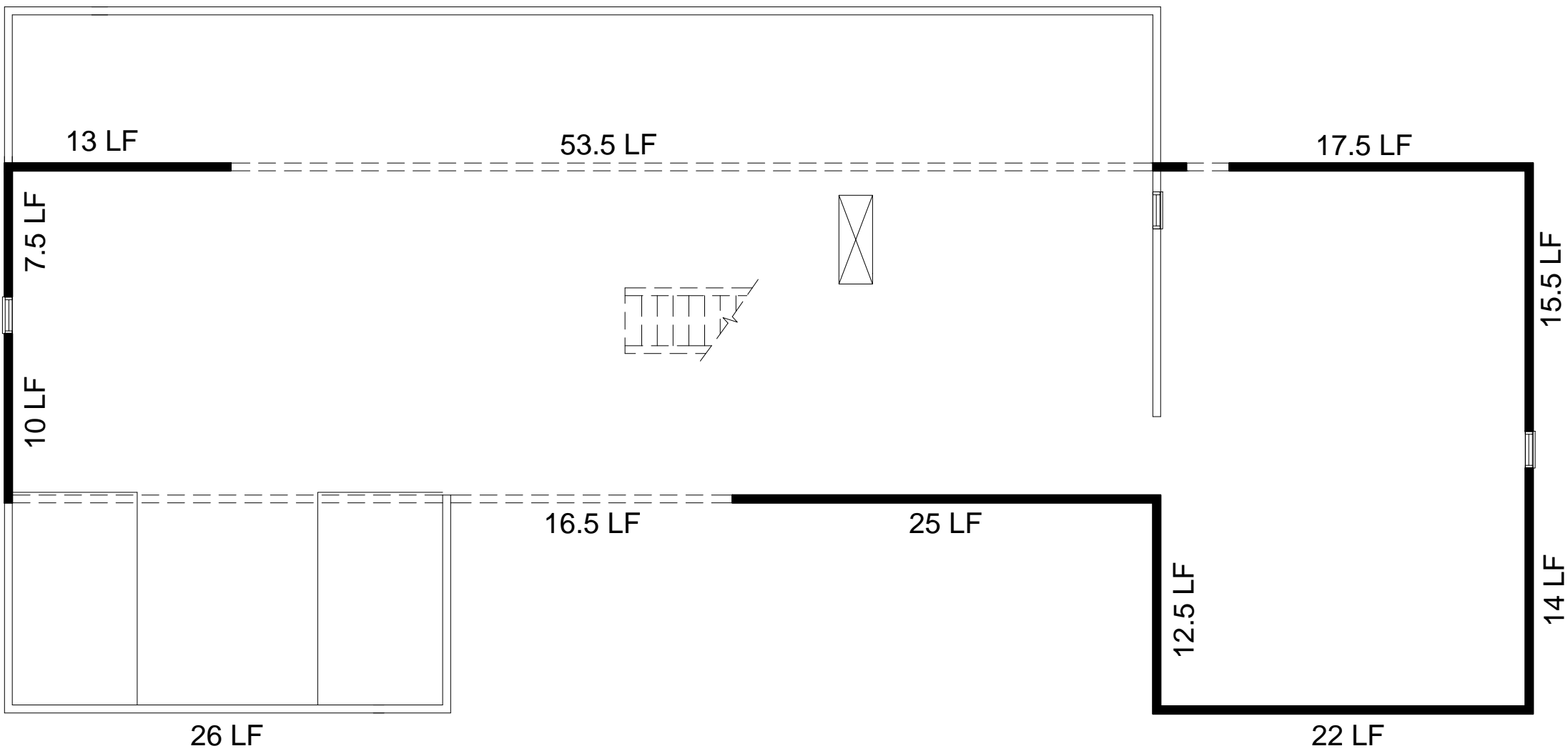
ATTIC / LOFT AREA CALCULATION

LEGEND:

- EXISTING AREA TO REMAIN
- EXISTING AREA TO BE REMODELLED
- EXISTING GARAGE /ATTIC AREA
- NEW ADDITION
- NEW DECK ADDITION
- AREA TO REMAIN (NO WORK)



146 LF- EXTERIOR WALL LENGTH TO REMAIN
24.5 LF- EXTERIOR WALL LENGTH TO BE REMOVED



187.5 LF- EXTERIOR WALL LENGTH TO REMAIN
70 LF- EXTERIOR WALL LENGTH TO BE REMOVED

SUMMARY OF AREA CALCULATIONS

FIRST FLOOR		SQ. FT
EXISTING GARAGE TO REMAIN		712 SF
EXISTING AREA TO REMAIN		2,213 SF
EXISTING TO BE REMODELLED		1,014 SF
NEW ADDITION		830 SF
NEW DECK ADDITION		1,033 SF
LOFT / ATTIC STORAGE AREA		SQ. FT
EXISTING ATTIC		1,197 SF
EXISTING STORAGE TO REMAIN		712 SF
EXISTING TO BE REMODELLED		930 SF
NEW DECK & COVERED PORCH (54 + 194)		248 SF

SUMMARY OF EXTERIOR WALLS:
TOTAL LENGTH OF WALLS = 377.5 LF
TOTAL WALLS TO BE REMOVED (1ST + 2ND) = 94.5 LF
TOTAL WALLS TO REMAIN (1ST + 2ND) = 283.5LF
% WALLS TO BE REMOVED (1ST + 2ND) = 25%
% WALLS TO REMAIN (1ST + 2ND) = 75 %

STAMP

CONSULTANT

KLC
CONSULTING ENGINEERS, INC
11100 SAN PABLO AVE. SUITE 207, EL CERRITO, CA 94530
TEL: 510-232-0300 ; FAX: 510-232-0303
http://www/klcea.com

PROJECT & OWNER (S):

RESIDENTIAL ADDITION & REMODEL

SAMIR MESSIAH

26425 VIA PETRA CARMEL, CA 93923

DRAWN:

MTC

CHECKED:

RBC

SCALE:

DATE:

4/30/16

SHEET TITLE

AREA CALCULATION/
EXT WALL LENGTH CALCS.

PROJ. NO.

15-386

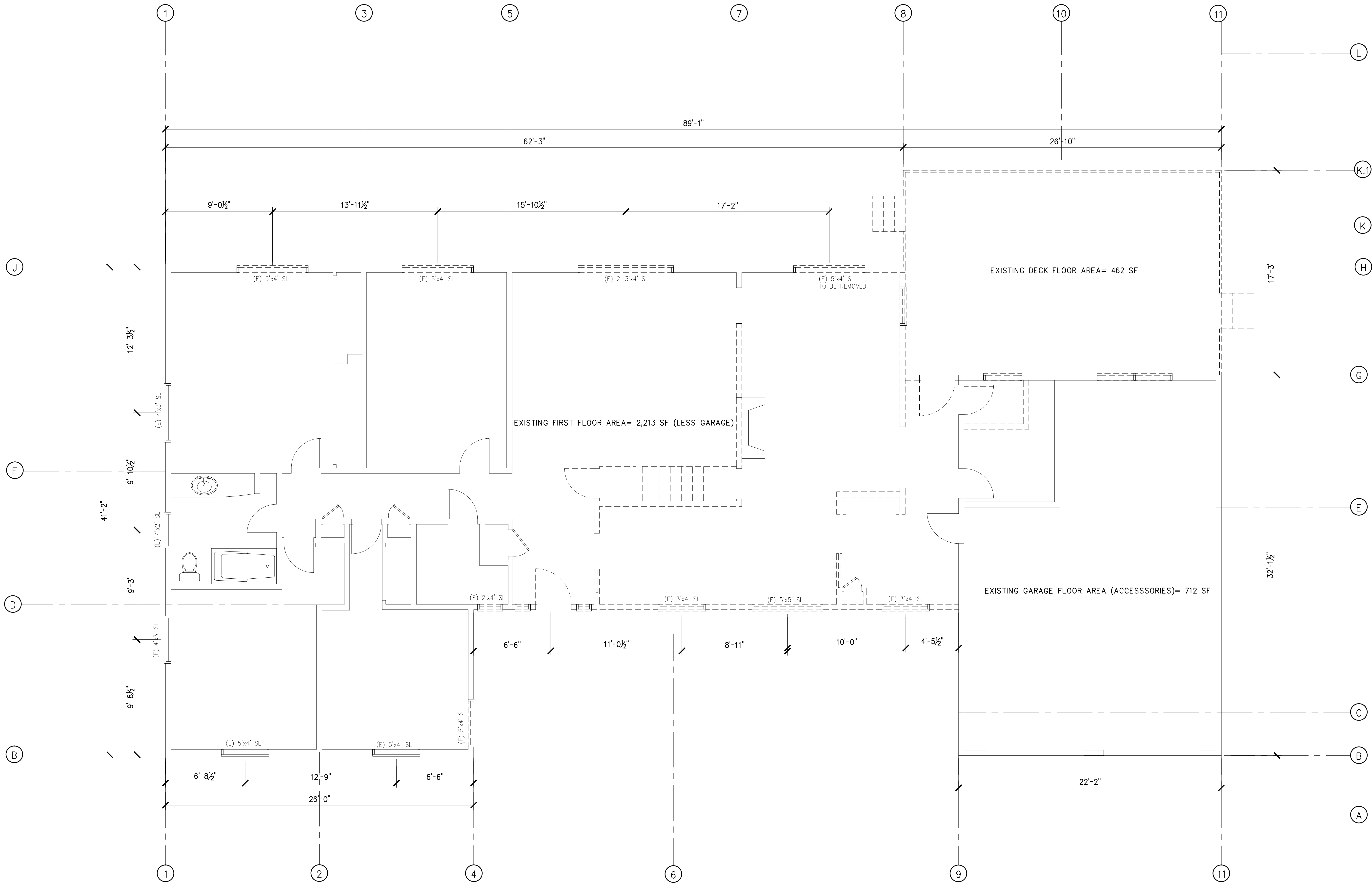
REVISIONS:

ISSUED FOR BLDG PERMIT

4/30/16

SHEET NO:

A1.0



EXISTING FIRST FLOOR PLAN & DEMO PLAN



EXISTING FIRST FLOOR AREA= 2,308 SF (LESS GARAGE)
EXISTING GARAGE FLOOR AREA (ACCESSORIES)= 617 SF

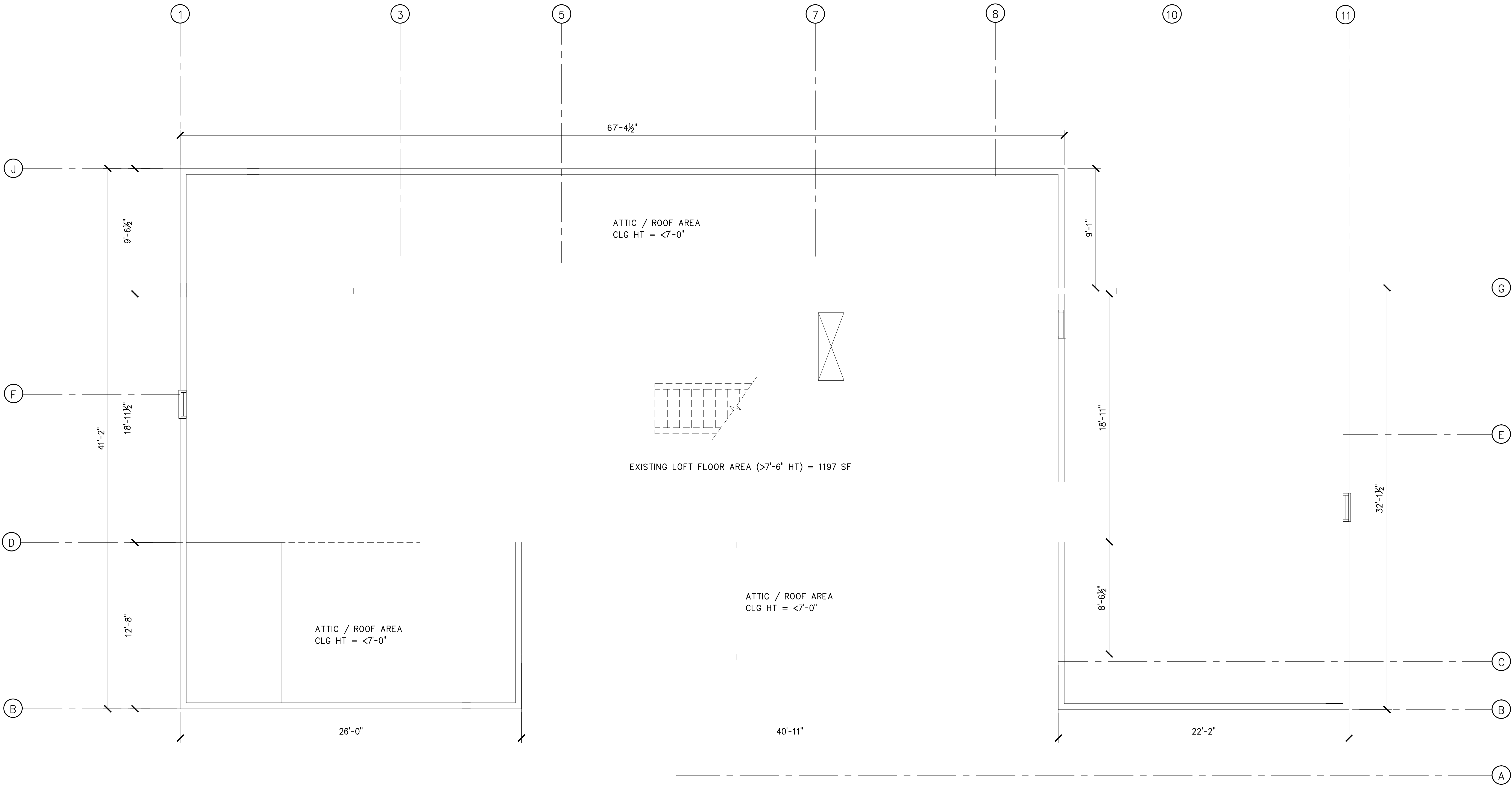
SCALE: 1/4"=1'-0"



WALL LEGEND:

- EXISTING WALLS, DOORS & WINDOWS (TO REMAIN)
--- REMOVE EXISTING WALLS, DOORS, WINDOWS AND DECK

STAMP			
CONSULTANT		 KLC CONSULTING ENGINEERS, INC 11100 SAN PABLO AVE, SUITE 207, EL CERRITO, CA 94530 TEL.: 510-232-0300 ; FAX: 510-232-0303 http://www/klicea.com	
PROJECT & OWNER (S):		RESIDENTIAL ADDITION & REMODEL	
		SAMIR MESSIAH 26425 VIA PETRA CARMEL, CA 93923	
DRAWN:		MTC	
CHECKED:		RBC	
SCALE:			
DATE:		4/30/16	
SHEET TITLE		EXISTING FIRST FLOOR PLAN & DEMO PLAN	
PROJ. NO.		15-386	
REVISIONS:			
ISSUED FOR BLDG PERMIT		4/30/16	
SHEET NO:			
A1.1			



EXISTING LOFT PLAN & DEMO PLAN

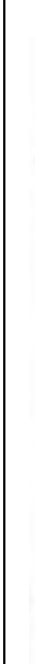

EXISTING LOFT FLOOR AREA= 2,356 SF

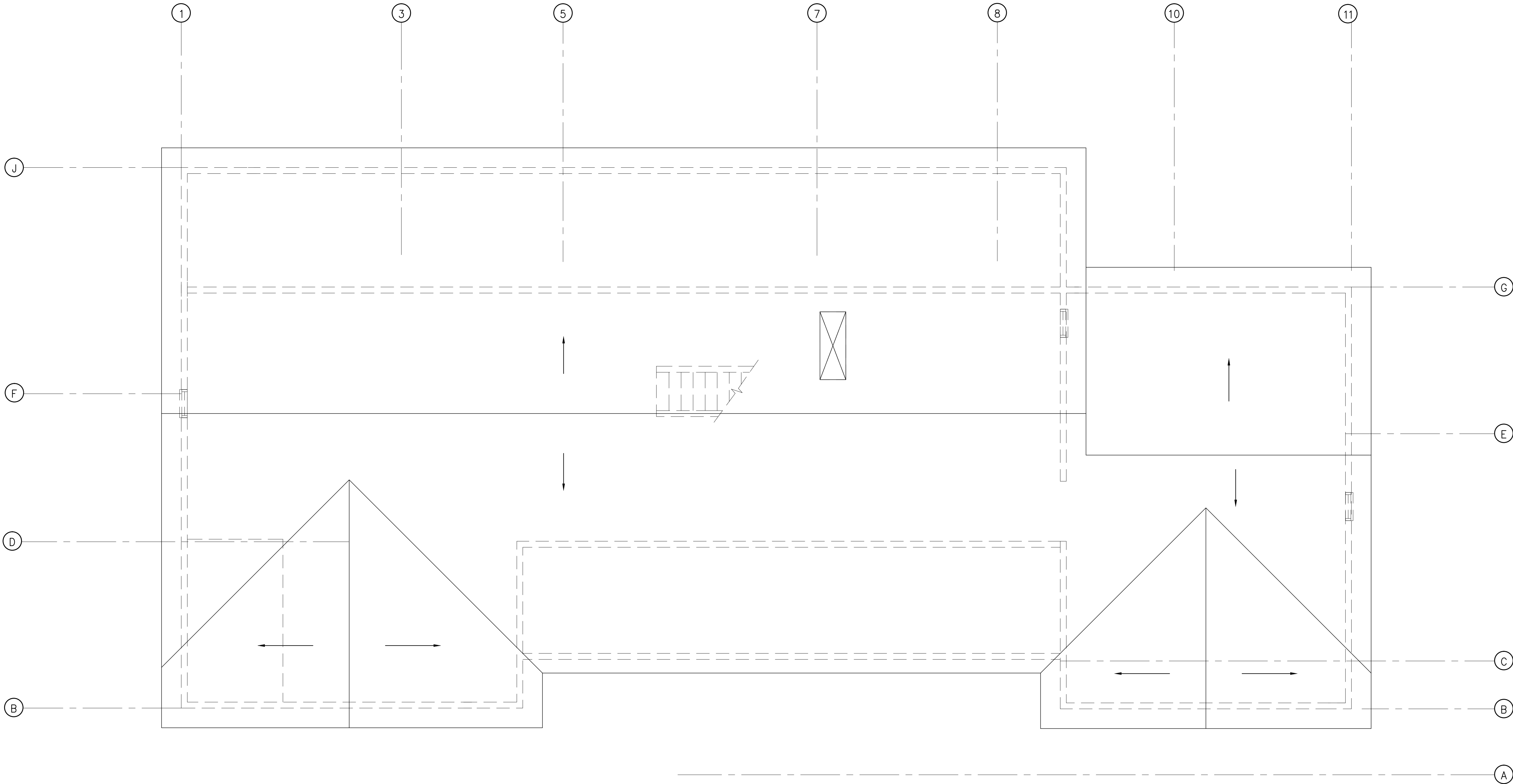
SCALE: 1/4"=1'-0"



WALL LEGEND:

- EXISTING WALLS, DOORS & WINDOWS (TO REMAIN)
- - - REMOVE EXISTING WALLS, DOORS, WINDOWS & STAIR

SHEET TITLE	PROJECT & OWNER (S):		CONSULTANT	STAMP
	RESIDENTIAL ADDITION & REMODEL		 KLC CONSULTING ENGINEERS, INC. 11100 SAN PABLO AVE., SUITE 207, EL CERRITO, CA 94530 TEL.: 510-232-0300 ; FAX: 510-232-0303 http://www.klceea.com	
EXISTING LOFT / SECOND FLOOR & DEMO PLANS				
PROJ. NO.		15-386		
REVISIONS:				
ISSUED FOR BLDG PERMIT		4/30/16		
SHEET NO:				
A1.2				



EXISTING ROOF PLAN

SCALE: 1/4"=1'-0"



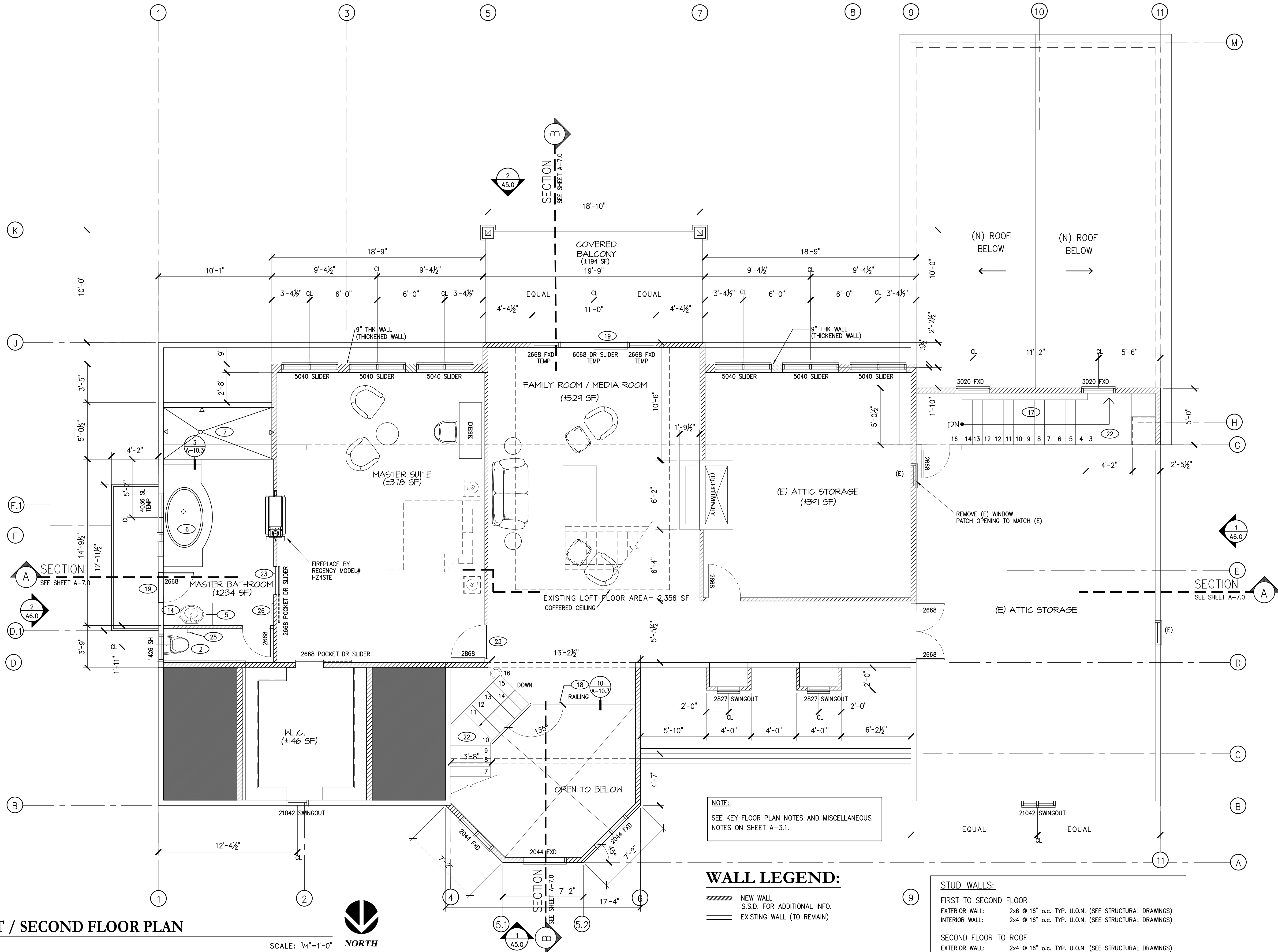
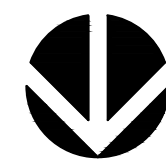
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CONSULTANT		 KLC CONSULTING ENGINEERS, INC 11100 SAN PABLO AVE., SUITE 207, EL CERRITO, CA 94530 TEL.: 510-232-0300 ; FAX: 510-232-0303 http://www.klceea.com	
PROJECT & OWNER (S):		RESIDENTIAL ADDITION & REMODEL	
		SAMIR MESSIAH 26425 VIA PETRA CARMEL, CA 93923	
DRAWN:		MTC	
CHECKED:		RBC	
SCALE:			
DATE:		4/30/16	
SHEET TITLE		EXISTING ROOF PLAN	
PROJ. NO.		15-386	
REVISIONS:			
ISSUED FOR BLDG PERMIT		4/30/16	
SHEET NO:			
		A1.3	



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CONSULTANT		 KLC CONSULTING ENGINEERS, INC 11100 SAN PABLO AVE. SUITE 207 EL CERRITO, CA 94530 TEL.: 510-232-0300 ; FAX: 510-232-0303 http://www.klcea.com	
PROJECT & OWNER (S):		RESIDENTIAL ADDITION & REMODEL	
SHEET TITLE		EXISTING ELEVATIONS	
PROJ. NO.		15-386	
REVISIONS:			
ISSUED FOR BLDG PERMIT		4/30/16	
SHEET NO:			
A1.4			

LOFT / SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



NOTE:
SEE KEY FLOOR PLAN NOTES AND MISCELLANEOUS
NOTES ON SHEET A-3.1.

WALL LEGEND:

- NEW WALL
- S.S.D. FOR ADDITIONAL INFO.
- EXISTING WALL (TO REMAIN)

STUD WALLS:
FIRST TO SECOND FLOOR
EXTERIOR WALL: 2x6 @ 16" o.c. TYP. U.O.N. (SEE STRUCTURAL DRAWINGS)
INTERIOR WALL: 2x4 @ 16" o.c. TYP. U.O.N. (SEE STRUCTURAL DRAWINGS)
SECOND FLOOR TO ROOF
EXTERIOR WALL: 2x4 @ 16" o.c. TYP. U.O.N. (SEE STRUCTURAL DRAWINGS)
INTERIOR WALL: 2x4 @ 16" o.c. TYP. U.O.N. (SEE STRUCTURAL DRAWINGS)

STAMP		
CONSULTANT	 CONSULTING ENGINEERS, INC. 11100 SAN PABLO AVE, SUITE 207, EL CERRITO, CA 94530 TEL.: 510-232-0300 ; FAX: 510-232-0303 http://www.klceco.com	
PROJECT & OWNER (S):	RESIDENTIAL ADDITION & REMODEL	CARMEL, CA 93923
	SAMIR MESSIAH	26425 VIA PETRA
DRAWN:	MTC	
CHECKED:	RBC	
SCALE:		
DATE:	4/30/16	
SHEET TITLE	LOFT / SECOND FLOOR PLAN	
PROJ. NO.	15-386	
REVISIONS:		
ISSUED FOR BLDG PERMIT	4/30/16	
SHEET NO:	A3.0	

A
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DEMOLITION NOTES:

ALL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE. "AMERICAN NATIONAL STANDARD SAFETY REQUIREMENTS FOR DEMOLITION" (ANSI A10.6-1) PROTECTION:

THE REMOVAL, CUTTING, DRILLING, ETC. OF EXISTING WORK SHALL BE PERFORMED WITH CARE AND SMALL TOOLS IN ORDER NOT TO JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. DO NOT OVCUT. IF STRUCTURAL MEMBERS NOT INDICATED

FOR REMOVAL INTERFER WITH THE NEW WORK, THE STRUCTURAL ENGINEER SHALL BE IMMEDIATELY NOTIFIED AND PRIOR APPROVAL OBTAINED BEFORE REMOVAL OF MEMBERS.

REMOVE ALL CONCRETE BOLTS AND EMBEDD ITEMS IN CONCRETE FLOORS THAT PROTRUDE ABOVE THE CONCRETE FLOOR SURFACE. GRIND FLUSH ALL PROJECTING STEEL OR PATCH HOLES FLUSH WITH NON SHRINK GROUT.

THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION NAD REMOVAL OF ALL ITEMS INDICATED ON THE DRAWINGS OR AS OTHERWISE DIRECTED BY THE OWNER.

DURING CONSTRUCTION, 100% OF CONCRETE MUST BE REUSED OR RECYCLED, AND AT LEAST 50% OF THE REMAINING DEBRIS MUST BE RE-USED OR RECYCLED.

CA GREEN MANDATORY MEASURES:

THE CONTRACTOR SHALL REVIEW THE LIMITATIONS AND BASELINES FOR THE SEALANT VOC LIMIT, ARCHITECTURAL COATING, WATER USE, FIXTURE FLOW RATES, AND FORMALDEHYDE LIMIT.

CA GREEN MANDATORY MEASURES:

- 1. GRADING AND PREVENTION OF WATER INTO THE BUILDING. NO STORM WATER RETENSION.
- 2. INDOOR FIXTURES REDUCES WATER USE.
- 3. RODENT PROOFING. SEAL PLATES WITH MORTAR.
- 4. MOISTURE CONTENT OF BUILDING MATERIALS IS 19%
- 5. BATHROOM EXHAUST FAN WITH HUMIDITY CONTROL.
- 6. WILL RECYCLE 50% OF DEMOLITION. STUDS, JOISTS, DOORS, AND CABINETS.
- 7. WASTE MANAGEMENT BY AUTHORITY HAVING JURIDICITION WILL HANDLE WASTE DISPOSALS.

VOC COMPLIANCE

- 1. ADHESIVE MARLITE C-109 OR APPROVED EQUAL
- 2. SEALANT SHEET ROCK SAEALANT LOW-VOC.
- 3. COATING NONE

FORMALDEHYDE COMPLIANCE

- 1. CARPET PER CARPET AND RUG INSTITUTES GREEN LABEL
- 2. PARTICLEBOARD, FIBERBOARD, PLYWOOD COMPOSIT NONESEALANT

STORMWATER NOTES:

NEW RAINWATER DOWNSPOUT SHALL BE DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAIN EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCK THAT DIRECTS WATER AWAY FROM THE BUILDING. THRU-CURB DRAINS ARE NOT ALLOWED.

SOLID WASTE

GARBAGE AND WASTE HANDLING SHALL BE IN ACCORDANCE WITH THE CITY OF ALAMO "WASTE HANDLING GUIDELINES". THE CONTRACTOR AND THE OWNER SHALL OBTAIN A COPY AND INCORPORATE THE APPLICABLE PARTS.

B
-
PLUMBING AND MECHANICAL REQMNT :

- 1) PROVIDE ULTRA LOW FLUSH TOILET (1.28 GALLONS/FLUSH) AT ALL NEW BATHROOMS. (ASSEMBLY BILL #2355)
- 2) PROVIDE WATER CLOSET CLEAR SPACE NOT LESS THAN 30 INCHES IN WIDTH AND 24" INCHES CLEAR SPACE IN FRONT. (CBC 2904)
- 3) PROVIDE MINIMUM SHOWER STALLS OF 1024 SQUARE INCHES CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. (UPC 410.4)
- 4) ANCHOR OR STRAP WATER HEATER AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION, THE LOWER ANCHOR/STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE THE CONTROLS. UPC 510.5

C
-
ELECTRICAL REQUIREMENTS:

- 1) RECEPTACLE OUTLETS SHALL BE INSTALLED IN ALL HABITABLE ROOMS:
 - A. ON ALL WALL SPACES 2 FEET OR WIDER.
 - B. NOT MORE THAN 6 FEET FROM OPENINGS.
 - C. NOT MORE THAN 12 FEET ON CENTERS (NEC 210-52).
- 2) RECEPTACLE OUTLETS SHALL BE INSTALLED IN KITCHENS:
 - A. ON COUNTER SPACES 12 INCHES OR WIDER.
 - B. NOT MORE THAN 4 FEET ON CENTERS.
 - C. NOT MORE THAN 2 FEET FROM AN EDGE COUNTER.
 - D. ON ISLAND/PENINSULAR COUNTER 12" OR WIDER (1 EVERY 4'). (NEC 210-52).
- 3) PROVIDE AT LEAST ONE RECEPTACLE OUTLET AT:
 - A. BATHROOM
 - B. OUTSIDE
- 4) ALL 110 VOLT, SINGLE PHASE RECEPTACLE OUTLETS SHALL HAVE GROUND FAULT CIRCUIT PROTECTION AT THE FOLLOWING LOCATIONS:
 - A. BATHROOM, ADJACENT TO BASIN
 - B. OUTSIDE
 - C. WITHIN 6 FEET FROM KITCHEN SINK (NEC 210-8).
- 5) PROVIDE RECEPTACLE OUTLET IN DWELLING UNIT HALLWAYS 10'-0" OR MORE IN LENGTH. (NEC 210-52H).
- 6) PROVIDE WALL SWITCH (2-WAY) AT EACH FLOOR LEVEL TO CONTROL INTERIOR STAIRWAY LIGHTING OUTLET WHEN DIFFERENCE BETWEEN FLOOR LEVELS IS SIX STEPS OR MORE. (NEC 210-70-A).
- 7) PROVIDE SWITCH AND LIGHT AT ATTIC, CRAWL SPACE, UTILITY ROOM OR AREAS WITH HVAC EQUIPMENT. (NEC 210-70-A).
- 8) BATHROOM EXHAUST FAN SHALL HAVE 50 CUBIC FEET PER MINUTE OF INTERMITTENT VENTILLATION, 25 CUBIC FEET PER MINUTE OF CONTINUOUS VENTILATION PER CRC R303.3.
- 9) ALL POWER AND LIGHTING OUTLETS IN FAMILY ROOMS, BEDROOMS, HALLWAYS & BEDROOMS SHALL BE PROTECTED BY A "LISTED AFCI BREAKER". KITCHEN AND BATHROOMS ARE EXEMPTED FROM THIS REQUIREMENTS PER CEC 210.12(A).
- 9) NOTE: INSTALL DEDICATED 20AMP CIRCUIT @ BATHROOMS, TYP.
- 10) ALL LIGHTS IN BATHROOM SHALL BE HIGH EFFICACY LUMINARIES.
- 11) ALL RECESSED LIGHT FIXTURES TO HAVE IC RATED ELECTRONIC BALLAST AND SHALL BE AIR-TIGHT.

D
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BATHROOMS

WATER CLOSET TO HAVE A MINIMUM CLEAR STALL SPACE OF 30" AND A MINIMUM CLEAR SPACE OF 24" IN FRONT AND SHALL BE A LOW FLUSH TYPE 1.28 GALLON MAXIMUM.

SHOWERS TO HAVE A MINIMUM AREA OF 1024 SQ. IN AND MINIMUM CLEAR HORIZONTAL DIMENSION OF 10" MEASURED AT A POINT 7" ABOVE THE DRAIN. SHOWER DOOR TO BE MINIMUM 22" WIDE.

INSTALL TUB WITH FULL MORTAR SET TILE SURROUND EXTEND TILE SURROUND DOWN SIDES OF TUB A MINIMUM OF ONE FULL TILE WIDTH. INSTALL SHOWER HEAD OVER TUB WHERE SHOWN ON DRAWINGS.

SHOWERS SHALL BE FINISHED TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SUCH WALLS SHALL BE OF A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE; I.E. CERAMIC TILE, WATER-RESISTANT GYPSUM, ETC. UBC 510.

WHEN GYPSUM IS USED AS A BASE FOR TILE OR WALL PANELS FOR TUB OR SHOWER ENCLOSURES OR WATER CLOSET COMPARTMENT WALLS, WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED, EXCEPT THAT WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS: OVER A VAPOR RETARDER, IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG SHOWER ROOMS, AND ON CEILINGS WHERE FRAME SPACING EXCEEDS 12" ON CENTER. UBC 2512.

MAXIMUM ALLOWED RATE FOR WATER USE:
WATER CLOSETS 1.28 GPF
SHOWER HEADS 2.0 GPM
FAUCETS 2.2 GPM.

STAGGER STUDS 6" WALL FOR PLUMBING.

WATER CLOSET VENT THROUGH ROOF, TYPICAL

ALL THREE BATHROOMS SHALL RECEIVE MECHANICAL EXHAUST.

E
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GENERAL NOTES:

VENTILATION

- 1) PROVIDE ONE SQ.FT. OF VEND AREA FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA TO CONFORM TO UBC SECTION 2317.7. CENTER VENTS UNDER WINDOWS WHERE POSSIBLE.
- 2) PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/150 OF THE ATTIC AREA. UBC SECTION 1505.3.
- 3) GIRDER ENTERING CONCRETE WALLS SHALL HAVE 1/2" AIR SPACE ON TOPS, SIDES AND ENDS. UBC 2317.6
- 4) ALL PLUMBING VENTS TO BE MINIMUM 10 FT. FROM OPERABLE SKYLIGHTS.

ACCESS

- 1) PROVIDE 18" MIN. BY 24" MIN. ACCESS TO ALL FOUNDATION SPACES UBC 2317.3. PROVIDE ONE ACCESS WITHIN 20' OF BATHROOM AND KITCHEN PLUMBING.
- 2) PROVIDE 22" MIN. BY 30" MIN. ACCESS TO ALL ATTIC SPACES WITH 30" CLEAR HEIGHT OR MORE. UBC 1505.1.

FIRE PROTECTION

- 1) ALL GARAGE WALLS AND CEILING COMMON WITH HOUSE, OR SUPPORTING LIVING AREA ABOVE, TO BE ONE HOUR CONSTRUCTION WITH 5/8" TYPE "X" GYPSUM BOARD MINIMUM ON EACH SIDE. DOORS FROM GARAGE TO HOUSE TO BE 20 MINUTES RATED WITH SELF-CLOSING DEVICE. TB-7 AND T3-B.
- 2) USEABLE SPACE UNDER STAIRS TO BE ONE HOUR CONSTRUCTION. 5/8" TYPE "X" GYPSUM BOARD MIN. AT ALL WALLS AND CEILING.
- 3) PROVIDE 6" MIN. CLEARANCE ON SIDES AND BACK OF FURNACE.
- 4) A SMOKE DETECTOR SHALL BE INSTALLED IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AND EACH STORY AND BASEMENT. IT SHALL BE MOUNTED ON A CEILING OR WALL AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. WHEN BEDROOMS ARE ON AN UPPER LEVEL, THE SMOKE DETECTOR SHALL BE PLACED ON THE CEILING OF THE UPPER LEVEL, CLOSE TO THE STAIRWAY. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. PROVIDE HARDWIRE INTERCONNECTED SMOKE DETECTORS EQUIPPED WITH BATTERY BACK UP, EXCEPTIONS: SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED INTO EXISTING BUILDINGS; OR IN BUILDINGS WHICH UNDERGO ALTERATIONS, REPAIRS OR ADDITION. UBC SECTION 3109.1.2.
- 5) CEMENT PLASTER SHALL BE MINIMUM 7/8" THICK (3 COATS) WITH WIRE MESH OVER TWO LAYERS OF GRADE "D" PAPER AND WITH WEEP SCREED AT BOTTOM. WEEP SCREED TO BE 4" MIN CLEARANCE TO EARTH, AND 2" MIN. CLEARANCE TO CONCRETE SLAB. T-25D SECTION 2506.

GLAZING

- 1) ALL GLASS AND GLAZING SHALL COMPLY WITH THE U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS, AND WITH FEDERAL SPECIFICATIONS. UBC CHAPTER 24 AND 26.
- 2) ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24" THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20".
- 3) WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. UBC 310.4.
- 4) GLASS SHOWER AND TUB ENCLOSURES TO BE TEMPERED GLASS. UBC 2406.
- 5) ALL WINDOWS AND SKYLIGHTS MUST HAVE DUAL GLASS PANE. (FMC 7-1221, ITEM 3601.3.7)

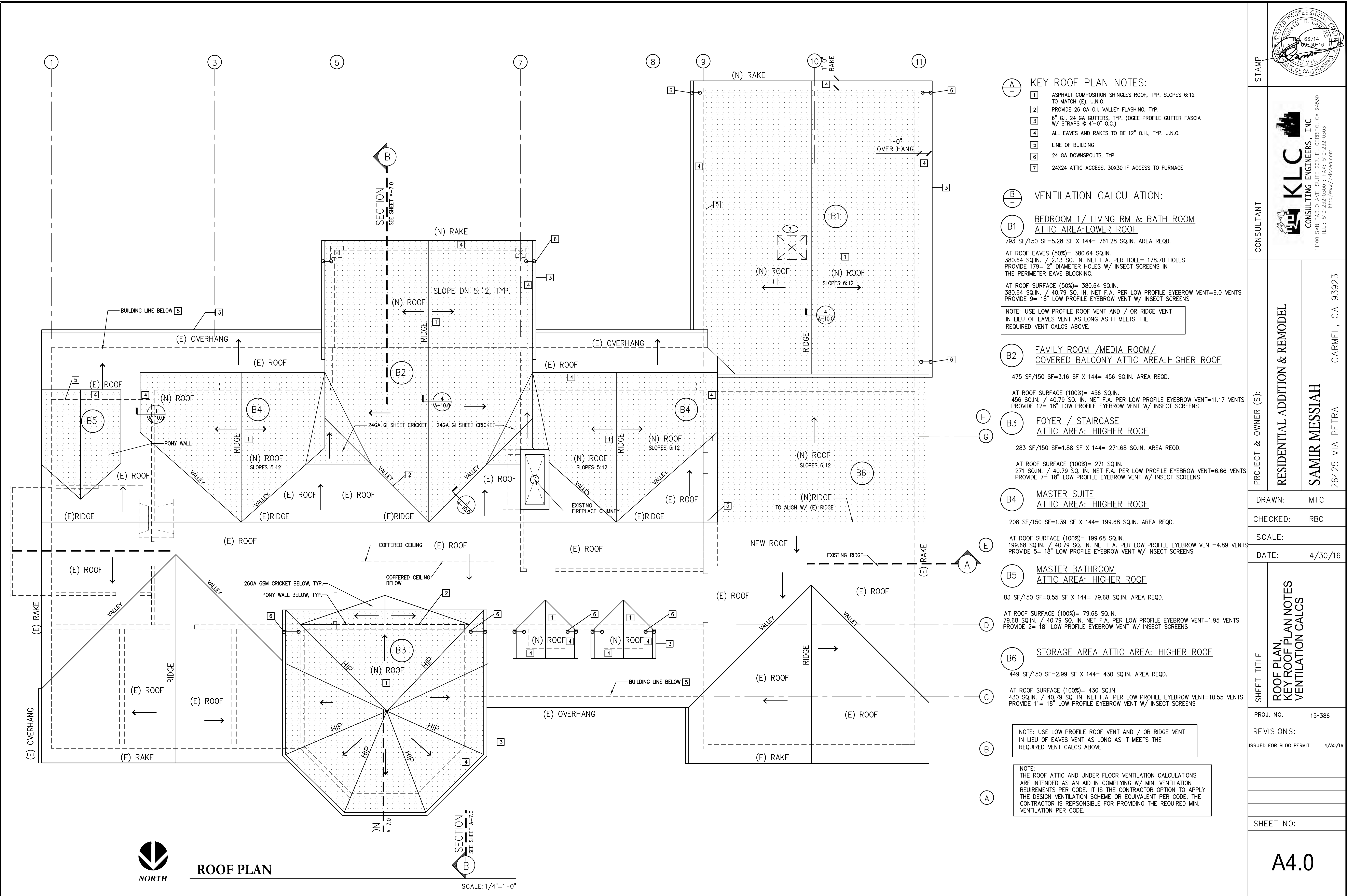
STAIRS

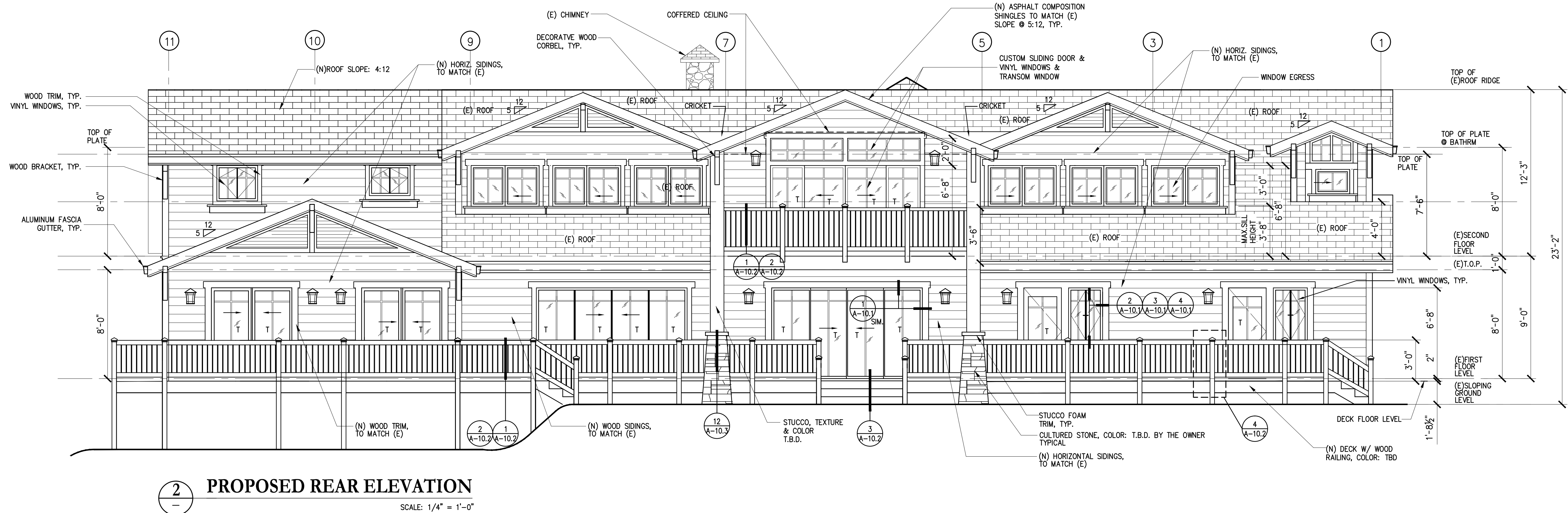
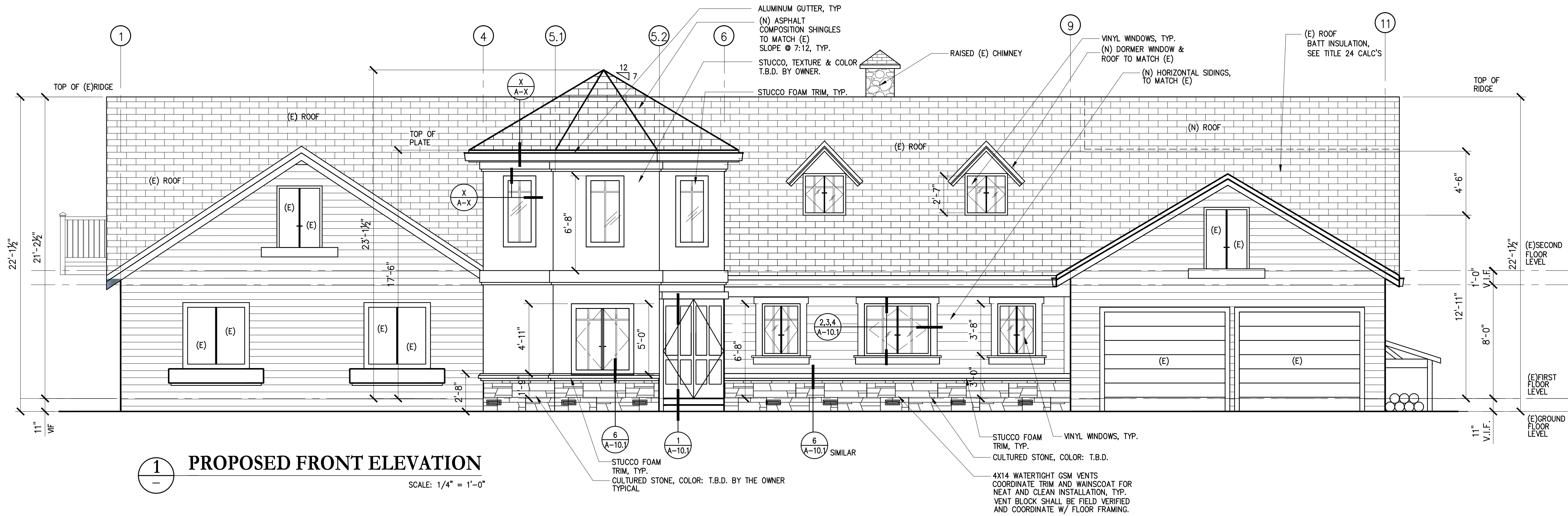
- 1) RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4" NOR GREATER THAN 7". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 9". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". UBC 1006.3.
- 2) THE TOP OF THE GUARDRAIL SHALL NOT BE LESS THAN 36" IN HEIGHT. INTERMEDIATE RAILS SHOULD BE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. UBC 509.2 AND 509.3.
- 3) THE HANDGRIP PORTION OF ALL STAIR HANDRAIL SHALL NOT BE LESS THAN 1 1/4" OR MORE THAN 2" IN CROSS SECTIONAL DIMENSION AND IT SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. UBC 1006.9.

F
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KEY FLOOR PLAN NOTES:

- 1 LINEN W/6 SHELVES
- 2 WATER CLOSET W/ 1.28 GPF (VENT THROUGH THE ROOF)
- 3 22"x30" ATTIC ACCESS, 30X30 IF ACCESS TO FURNACE
- 4 LINE OF CABINET ABOVE. CONRACTOR TO PROVIDE BLOCKING AS REQ'D. SEE DETAIL-8 / A-10.3 FOR ADDITIONAL INFO.
- 5 GRANITE SLAB. SEE DETAIL-2/A-10.3 FOR ADDITIONAL INFO.
- 6 WHIRLPOOL TUB AND PLATFORM-PROVIDE 14"x14" PUMP MOTOR ACCESS
- 7 TUB/SHOWER W/TEMP. GLASS ENCLOSURE
- 8 MEDICINE CABINET
- 9 WASHING MACHINE
- 10 DRYER-VENT TO OUTSIDE
- ~~11 WATER HEATER LOCATION W/SEISMIC STRAPPING. NOT USED~~
- 12 FURNACE LOCATION, T.B.D.
- 13 ELECTRIC FIREPLACE SHALL BE SUPERIOR MODEL BBV-36 OR EQUAL W/ GRANITE F
- 14 ANSI Z2150 AGENCY LISTING BY WARROCK HERSEY J99025850
- 15 LAVATORY
- 15 CLOSET: VINLY COATED WIRE CLOTHES RACK /SHELF: 1 SHELF AND 1 POLE
- 16 CLOSET: VINLY COATED WIRE CLOTHES RACK /SHELF: 2 SHELVES AND 2 POLES
- 17 5/8" TYPE 'X' GWB AT WALLS AND CEILIND UNDER STAIRS
- 18 36" WOODEN GUARD RAIL
- 19 THRESHOLD DIMENSION NOT TO EXCEED 0.75"
- ~~20 DUCT SPACE NOT USED~~
- 21 STUCCO BUILD OUT COLUMNS WITHCULTURED STONE BASE / WAINSCOT
- 22 STAIRS - 16 RISERS @ 7.0" EA.- SEE DETAIL 1, 4, 10 & 11 / A-10.3
- 23 FLOORING TRANSITION STRIP-- SEE DETAIL 9/A-10.3
- 24 22"x30" FLOOR ACCESS
- 25 TOILET PAPER HOLDER, PROVIDE BLOCKING +24" HIGH
- 26 TOWEL BAR, PROVIDE BLOCKING +52" HIGH
- 27 MIRROR W/ J MOLD FRAME
- 28 LAVATORY / SINK
- ~~29 FLOOR MATERIAL TRANSITION NOT USED~~
- 30 TOWEL RING, PROVIDE BLOCKING
- ~~31 BARREL VAULT OR ARCH NOT USED~~
- 32 DUAL SINK W/FOOD DISPOSER
- 33 DISHWASHER UNDER COUNTER
- 34 PANTRY W/5 SHELVES
- 35 36" GAS OVEN RANGE
- 36 36" REFRIGERATOR/FREEZER-PLUMB FOR ICE-MAKER
- 37 BUILT IN MICROWAVE
- 38 REMOVE (E) WINDOW & PATCH OPENING TO MATCH (E).
- 39 REMOVE (E) WINDOW & REPLACE W/ (N) DOOR W/ SIDELITE (SEE FLOOR PLAN). PATCH OPENING TOMATCH (E).
- 40 CUT (E) WLL TO ACCOMODATE (N) DOOR.
- 41 (N) OPEN DECK W/ STONE PAVER FINISH.
- 42 (N) STAIR W/ 3 THREADS @ 11" AND 4 RISERS @ 6.50". (V.I.F.).

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	PROJECT & OWNER (S): RESIDENTIAL ADDITION & REMODEL SAMIR MESSIAH 26425 VIA PETRA CARMEL, CA 93923	
SHEET TITLE GENERAL NOTES AND LEGEND KEY FLOOR PLAN NOTES	DRAWN:	MTC
	CHECKED:	RBC
	SCALE:	
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PROJECT & OWNER (S):
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SAMIR MESSIAH
26425 VIA PETRA
CARMEL, CA 93923

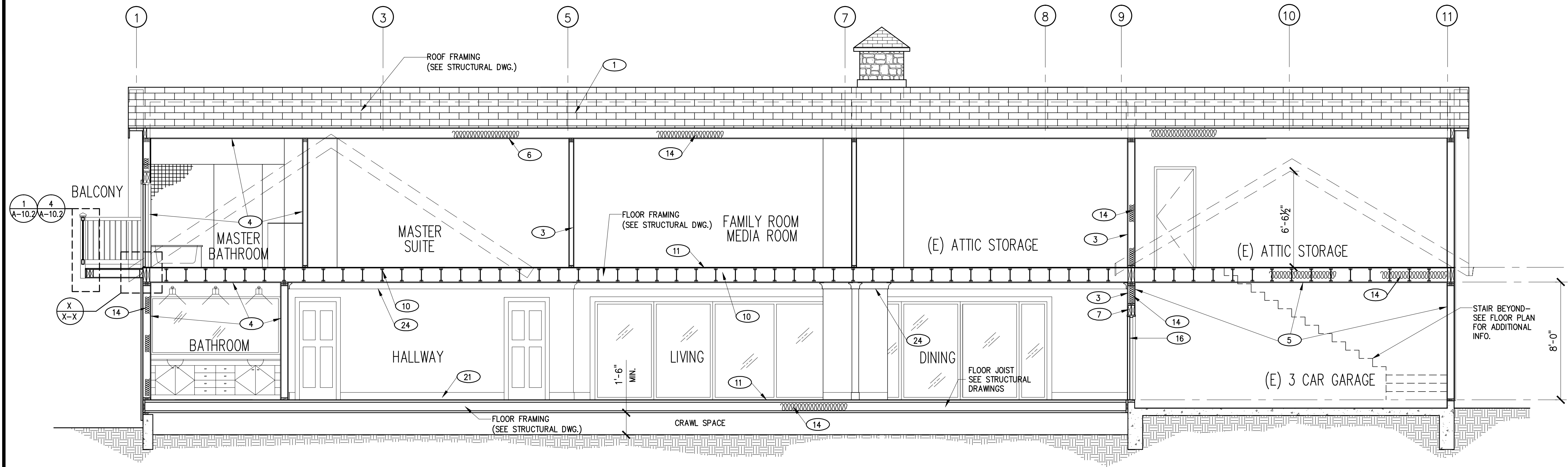
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DATE: 4/30/16

SHEET TITLE
BUILDING ELEVATIONS
FRONT & REAR

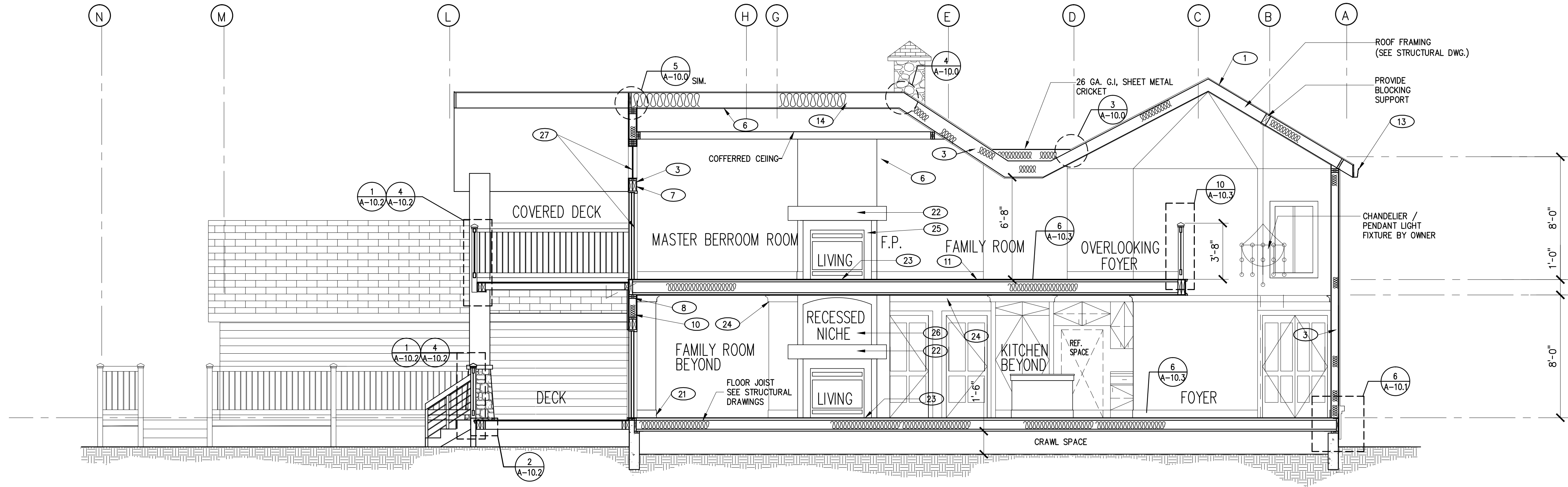
PRJ. NO. 15-386
REVISIONS:
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SHEET NO:

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A BUILDING SECTION- A
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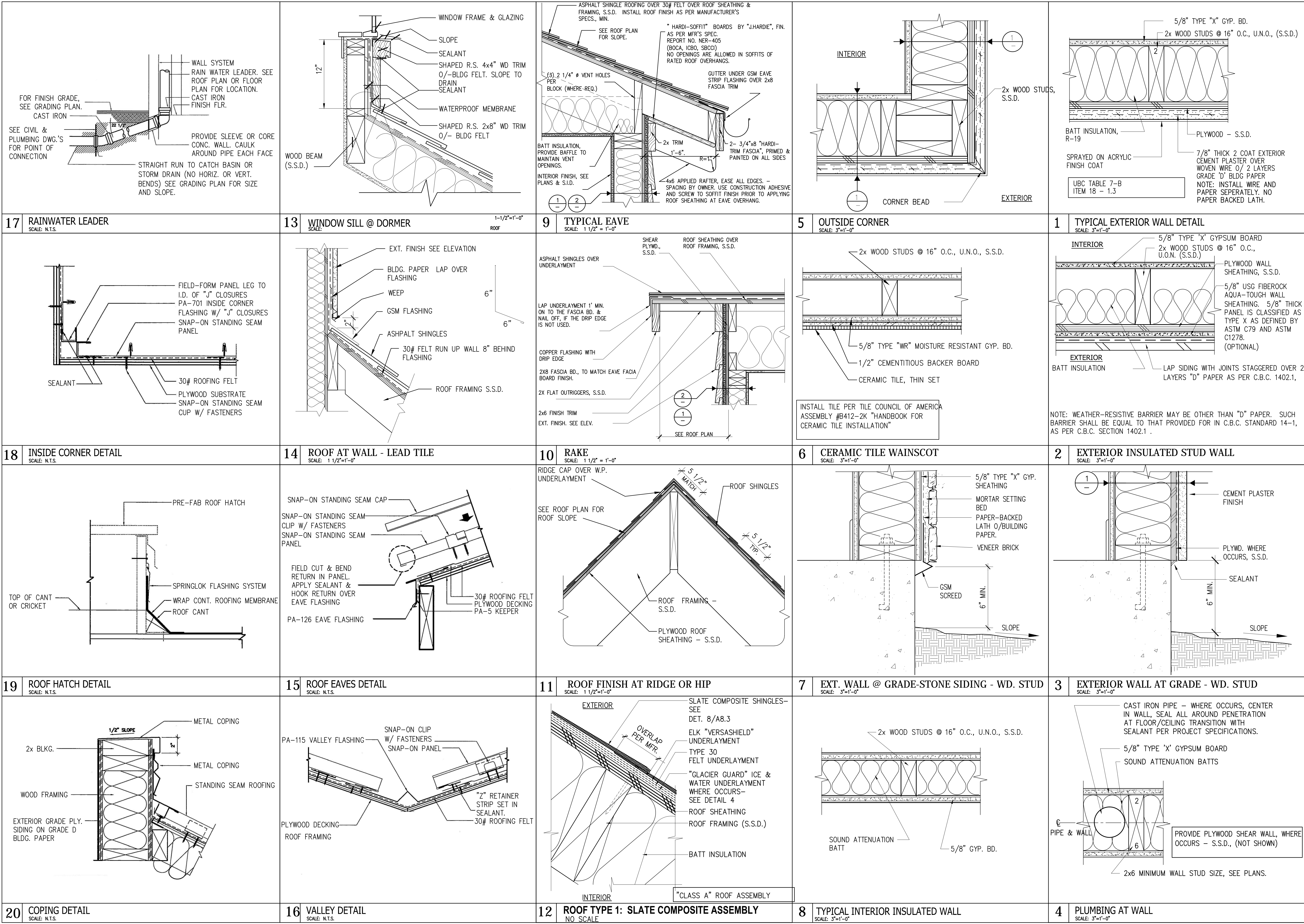


B BUILDING SECTION- B
SCALE: 1/4" = 1'-0"

KEY NOTES

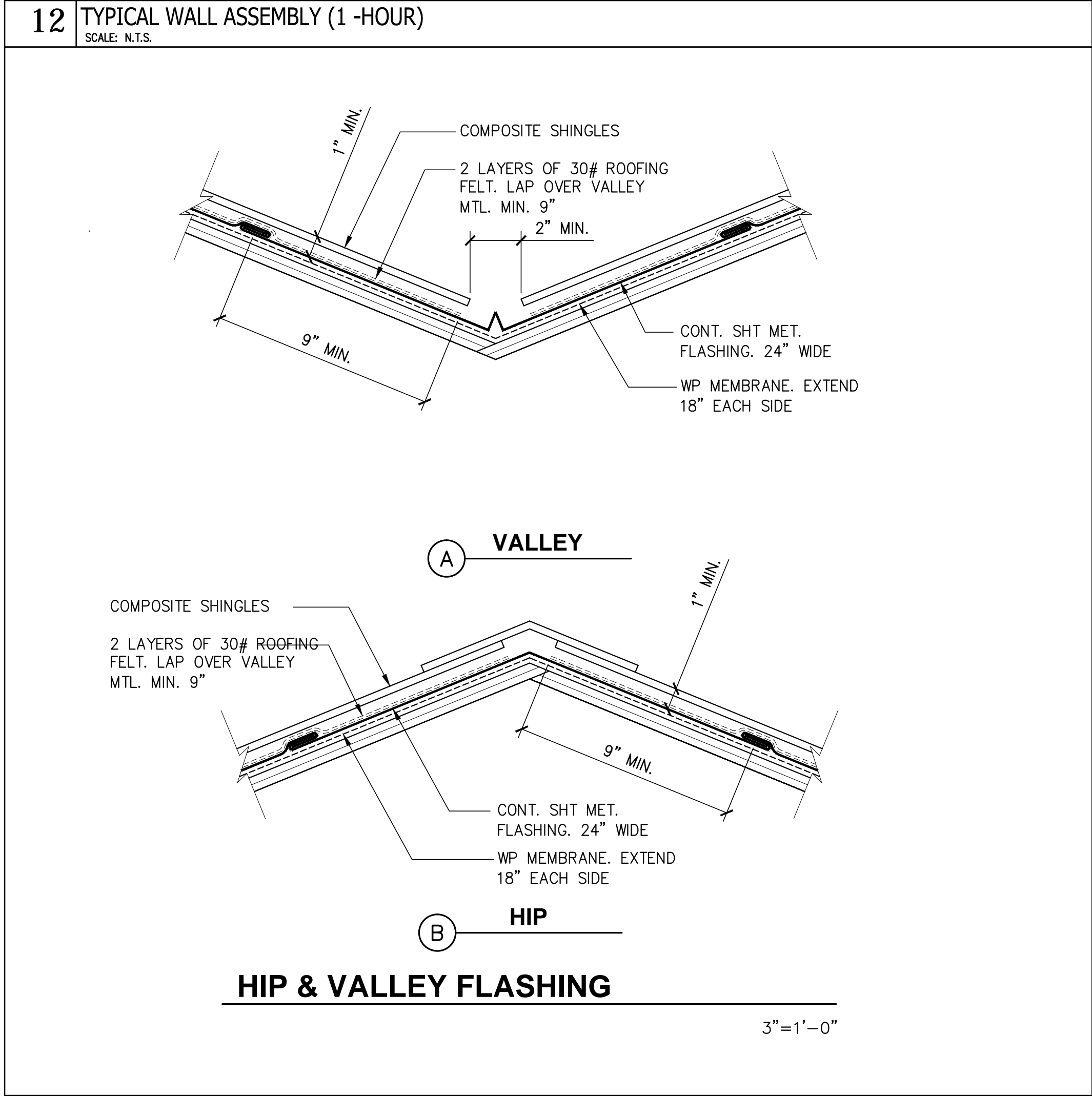
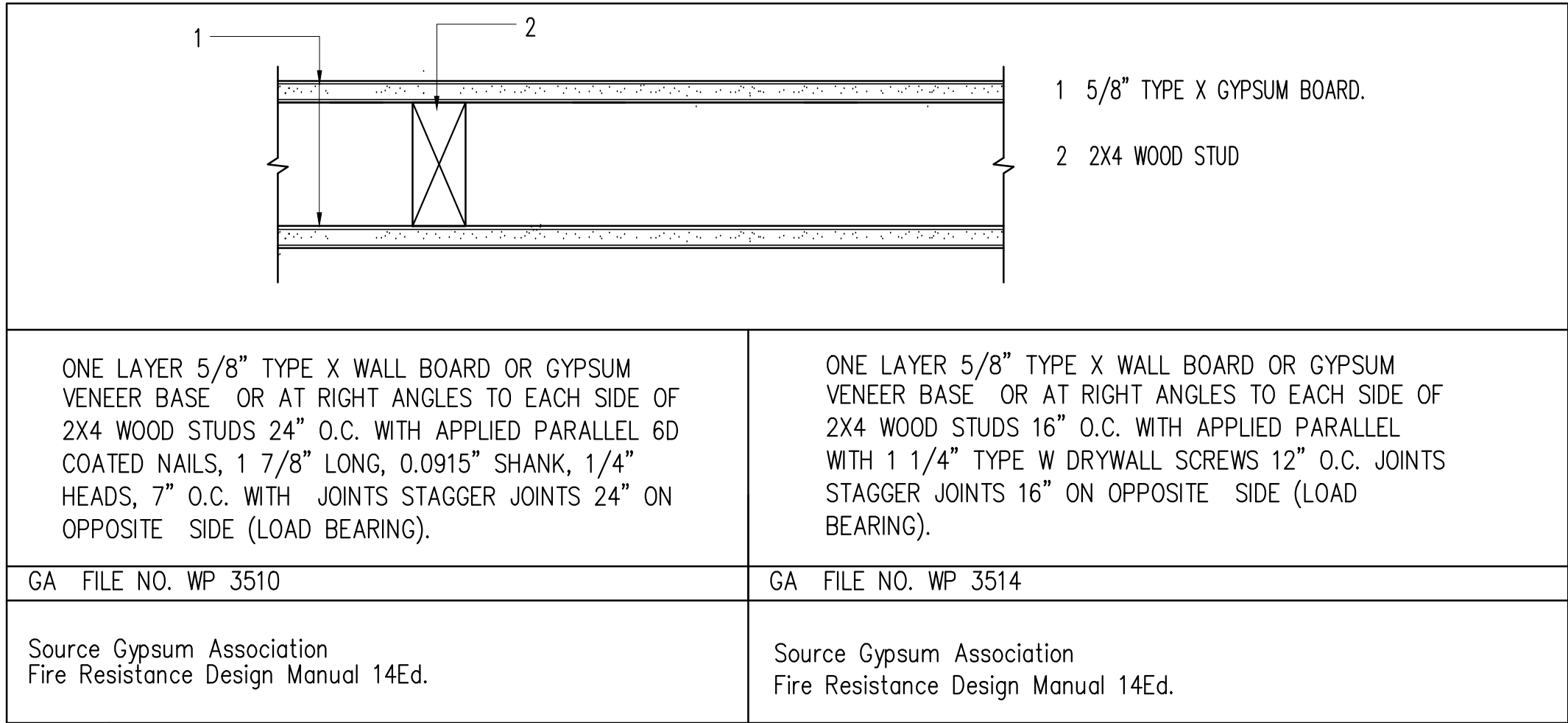
- 1 CONCRETE TILE ROOF 0/ 30# FELT PAPER 0/PLYWOOD 0/ROOF FRAMING PER STRUCTURAL.
- 2 7/8" STUCCO 0/WIRE LATH 0/2 LAYERS OF GRADE "D" BLDG. PAPER 0/PLYWOOD SHEATHING, TYP.
- 3 2X STUDS 16" O.C., SEE STRUCTURAL DWG
- 4 5/8" GWB TYP., TYPE W.R. IN ALL WET AREAS
- 5 5/8" TYPE "X" GWB, JOINTS TAPED AND SANDED SMOOTH.
- 6 2 X CEILING JOIST, TYP. SEE STRUCTURAL DWG
- 7 HEADER, TYP
- 8 DOUBLE 2X CONTINUOUS TOP PLATE, TYP.
- 9 2X RAFTERS, SEE STRUCTURAL DWG
- 10 FLOOR JOIST, TYP. SEE STRUCTURAL DWG
- 11 FLOOR SHEATHING, TYP.
- 12 STUCCO FOAM MOLDINGS, TYP.
- 13 ALUMINUM GUTTER
- 14 R-30 ROOF INSULATION
- 15 CONCRETE SLAB, SEE STRUCTURAL DWG.
- 16 DOOR - SEE FLOOR PLAN
- 17 CHIMNEY W/ SPARK ARRESTOR, TYP.
- 18 STUCCO WALL FINISH, TYP.
- 19 STUCCO MOLDING & TRIM, TYP.
- 20 CULTURED STONE VENEER TYP.
- 21 8" HIGH WOOD BASE, TYP. SEE DETAIL-6/A-10.3
- 22 GRANITE FIRE PLACE MANTLE
- 23 GRANITE HEARTH FLUSH WITH FLOOR FINISH
- 24 CROWN MOLDING
- 25 GRANITE SORROUND
- 26 36"-48" WIDE X 3 1/2" DEEP DECORATIVE RECESS. COORDINATE W/ CHIMNEY FLUE.
- 27 CUSTOM DOOR & WINDOW / VINYL WINDOWS/ TRANSOM WINDOW

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	SAMIR MESSIAH	
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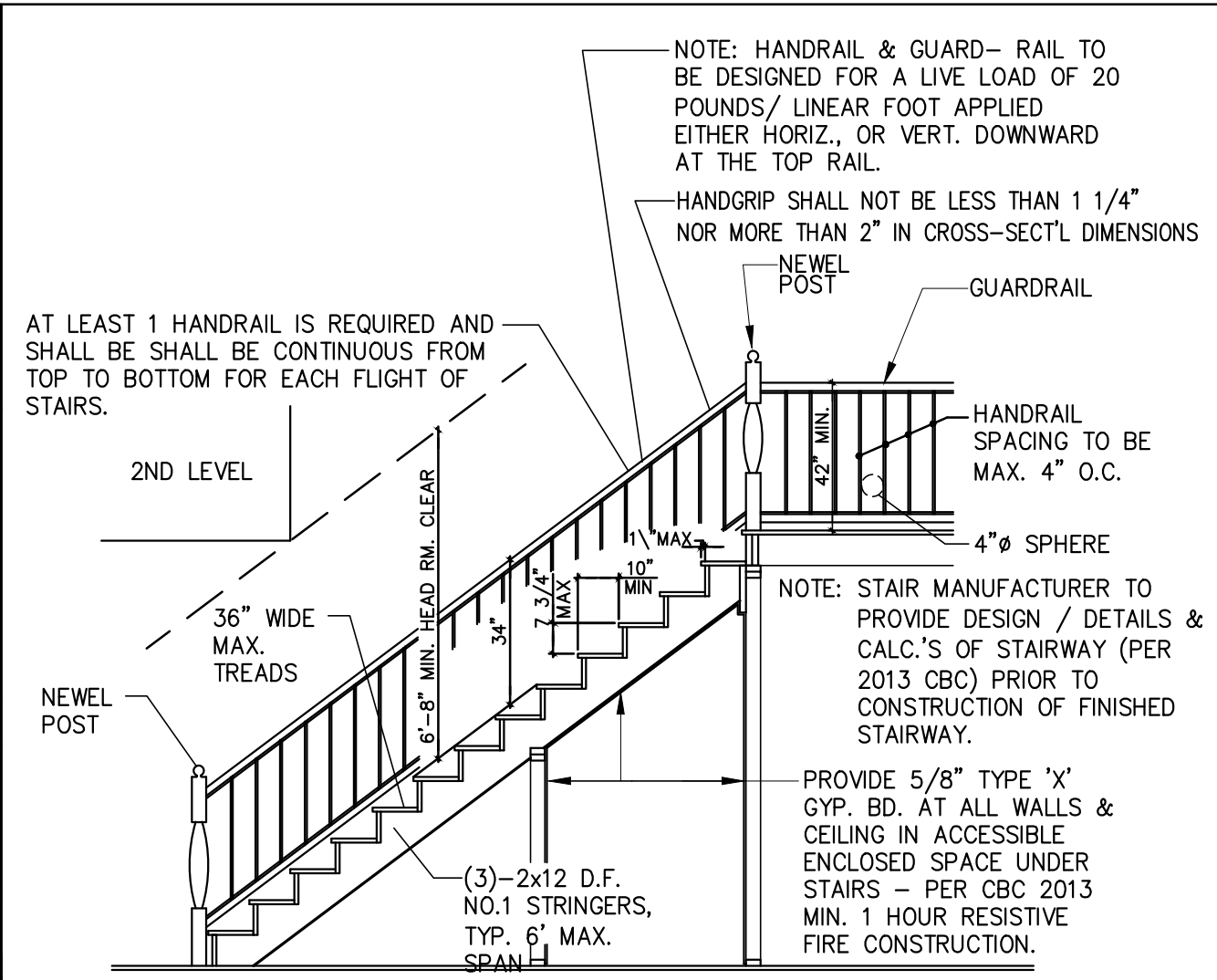


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	PROJ. NO. 15-386	
	REVISIONS:	
	ISSUED FOR BLDG PERMIT 4/30/16	
	SHEET NO:	

A8.0



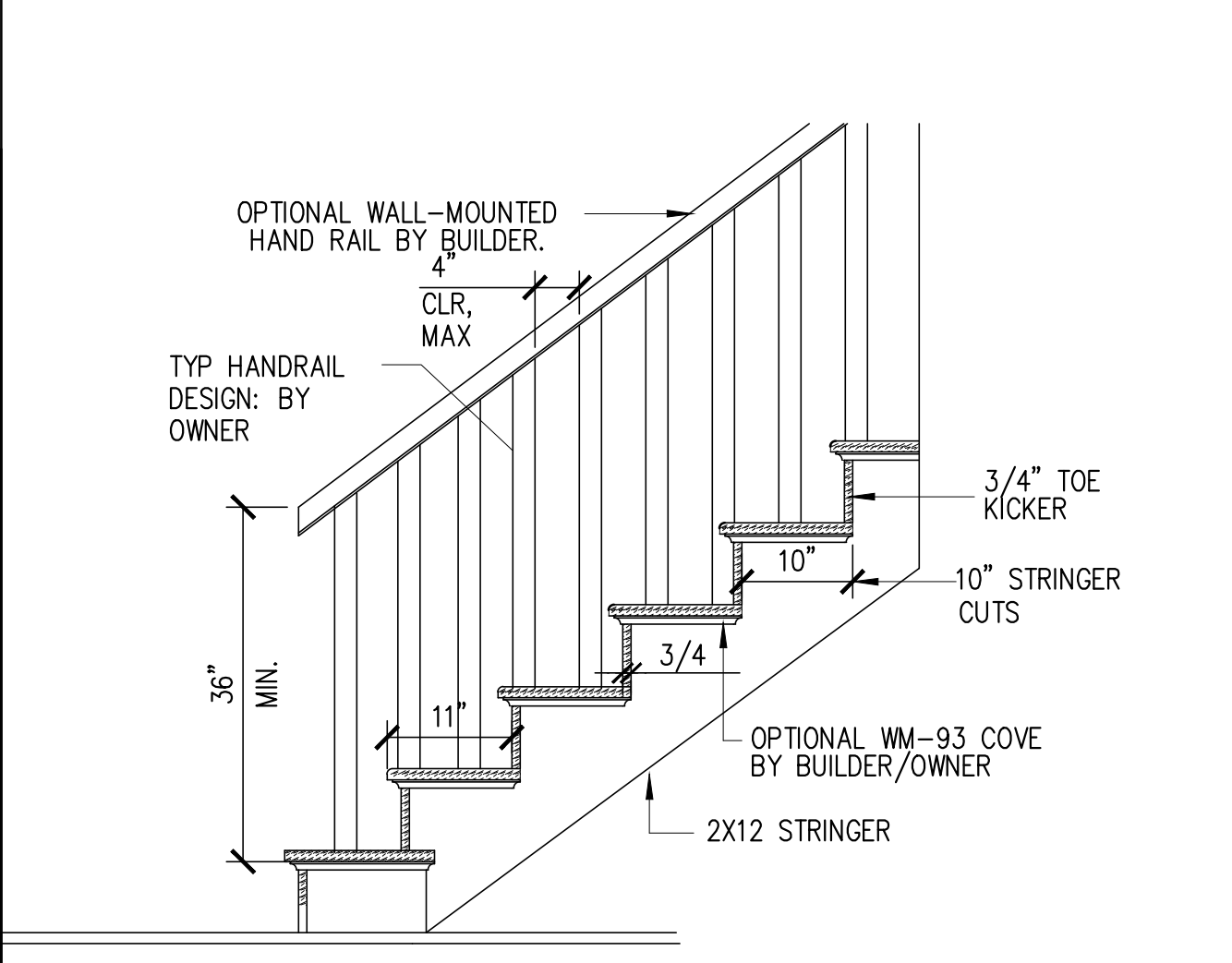
13 HIP & VALLEY FLASHING
SCALE: N.T.S.



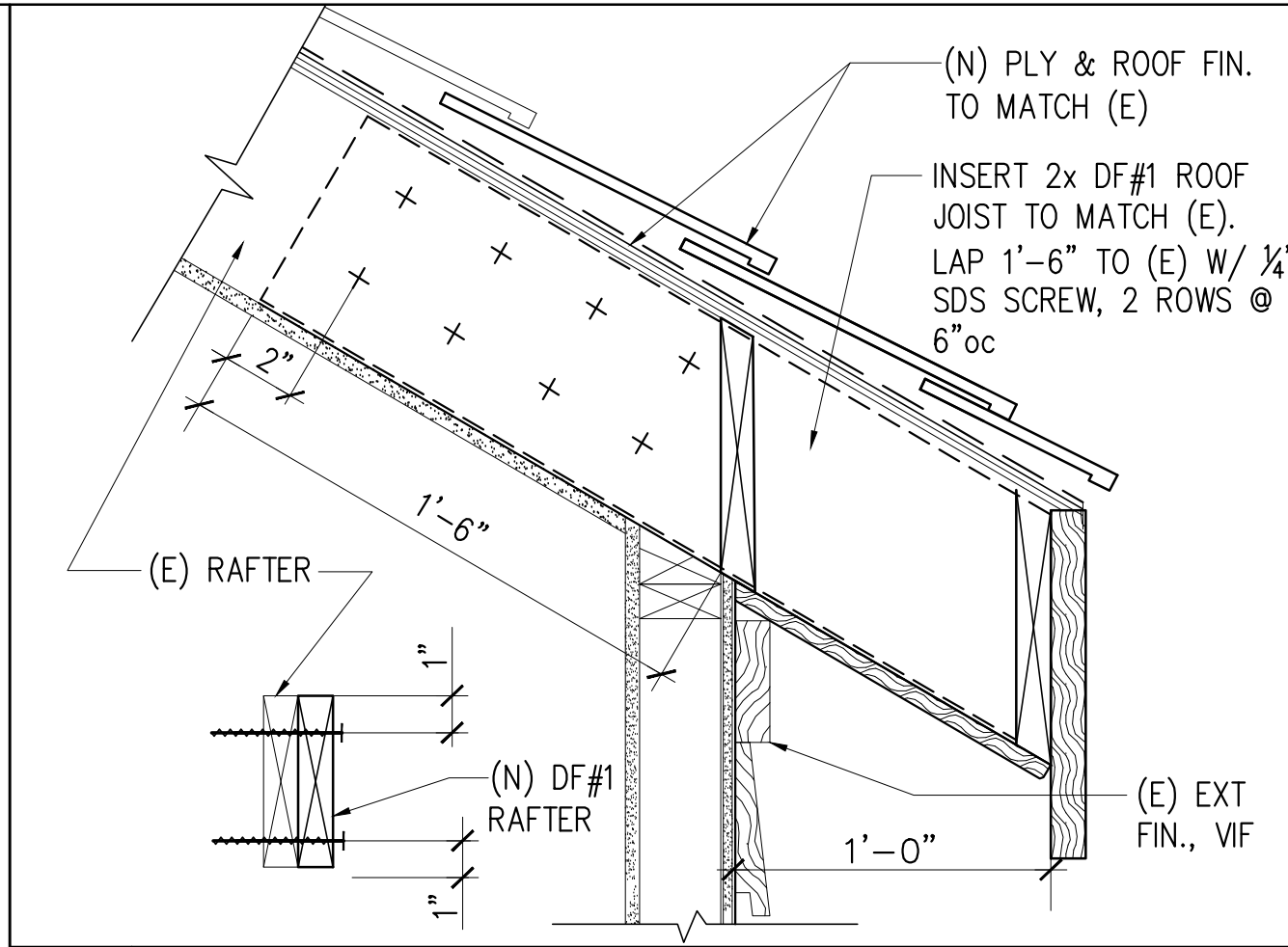
9 TYPICAL STAIR DETAIL
SCALE: N.T.S.

- FIRE STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER CBC 2013:
1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 4. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 5. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
 6. STAIR HANDRAILS ARE TO HAVE A GRIPPING SURFACE OF 1 1/4" MIN., 2" MAX., WITH 1 1/2" CLEAR TO WALL, NO SHARP CORNERS, EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER AND TERMINATE AT A NEWEL POST OR RETURN TO WALL AT 34" TO 38" HIGH ABOVE TREAD NOSING. HANDRAIL MUST BE PROVIDED WHERE 4 OR MORE RISERS OCCUR.
 7. THE INTERMEDIATE GUARDRAILS SHALL BE SPACED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH PER 2010 CBC. GUARDRAILS SHALL BE CONSTRUCTED TO RESIST A 200 POUND HORIZONTAL FORCE PERPENDICULAR TO THE TOP RAIL AND A 25 PSF HORIZONTAL FORCE PERPENDICULAR TO THE FILLER ELEMENTS/BALASTERS. STAIRS SHALL HAVE MAX. 7 3/4" RISE & MIN. 10" RUN WITH 6'-8" MIN. CLEAR AT TREAD NOSING/FINISH FLOOR.

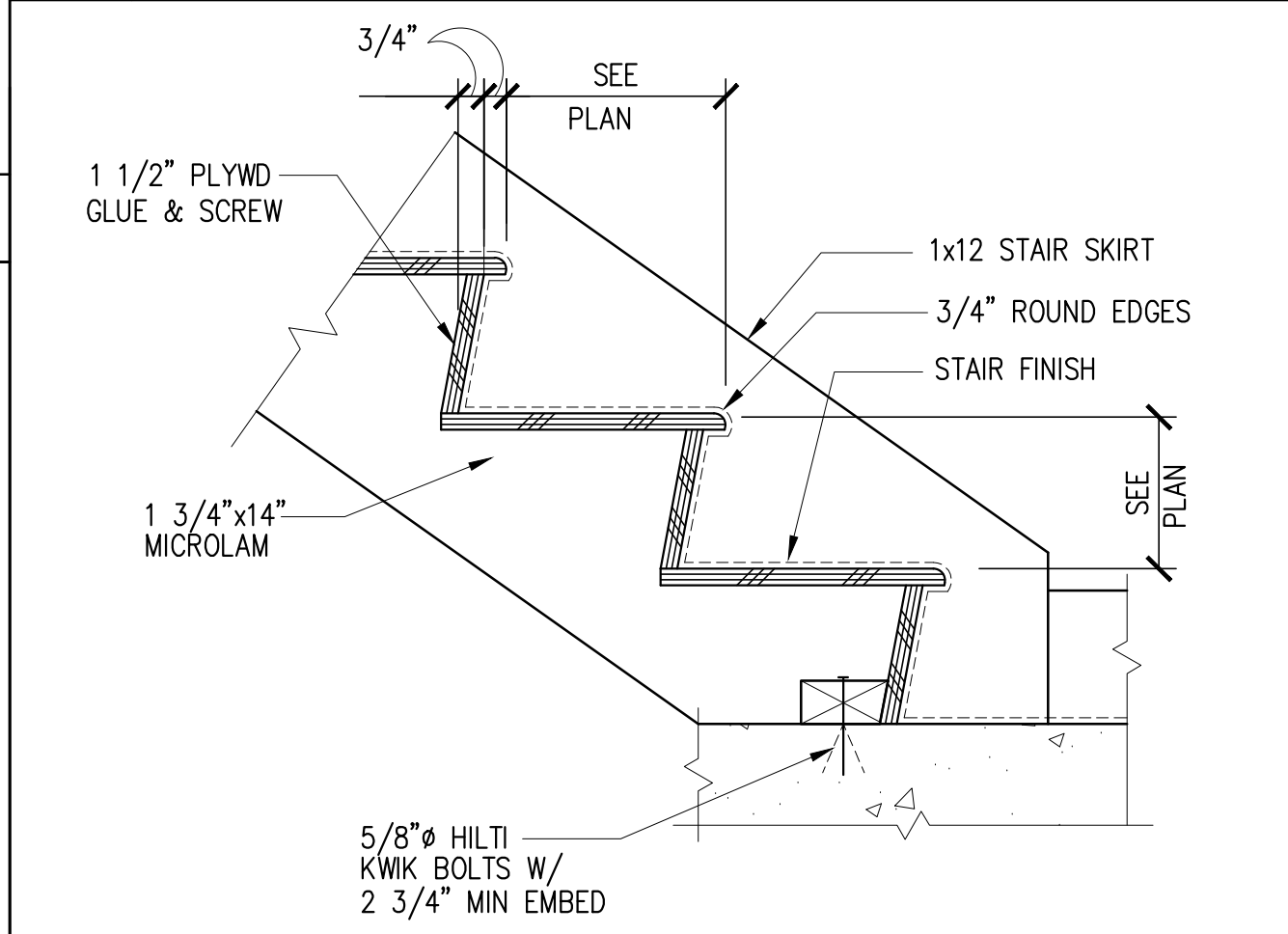
10 FIRE BLOCKS & DRAFT NOTES
SCALE: N.T.S.



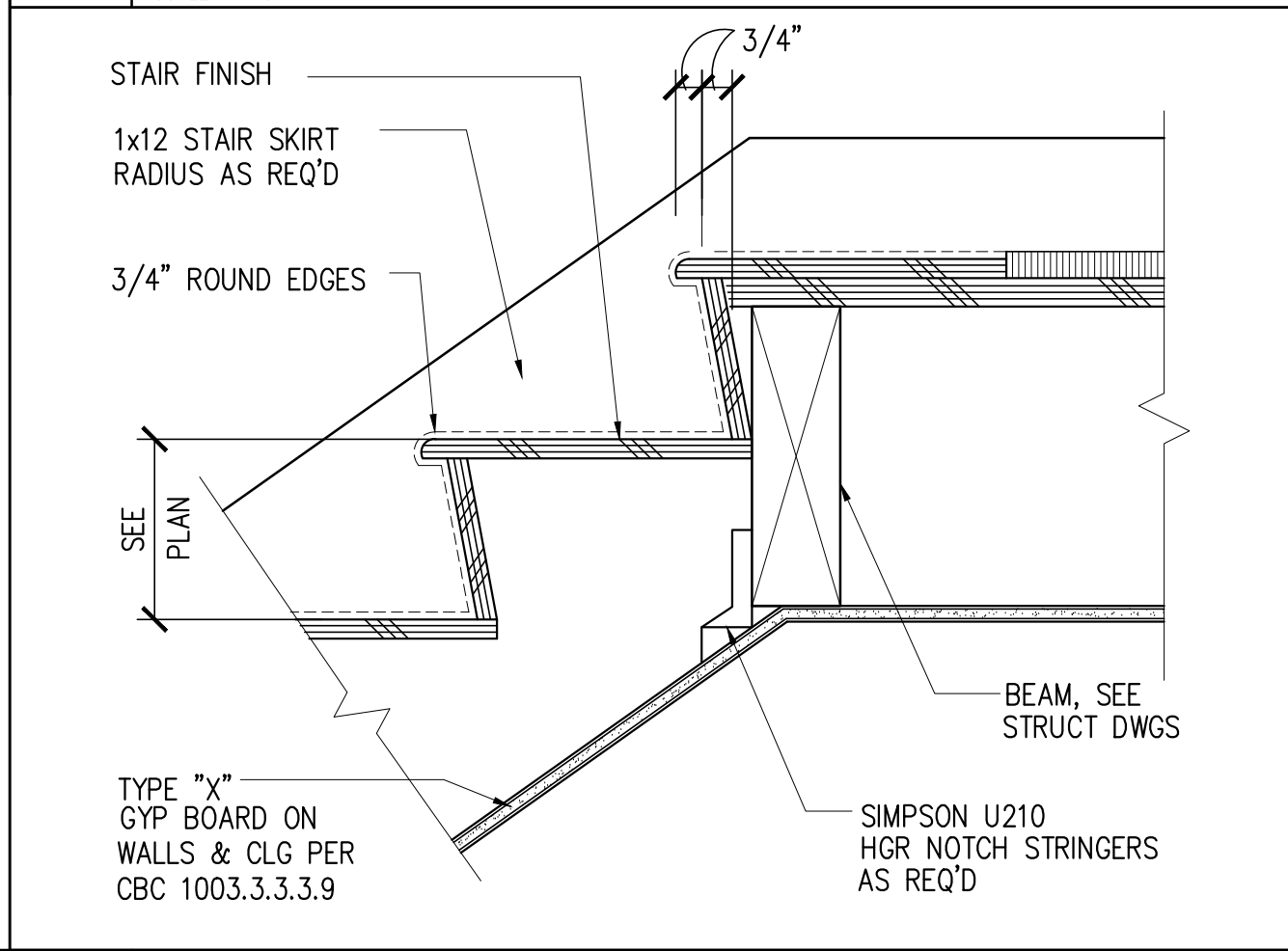
11 STAIR SECTION AT WALL
SCALE: N.T.S.



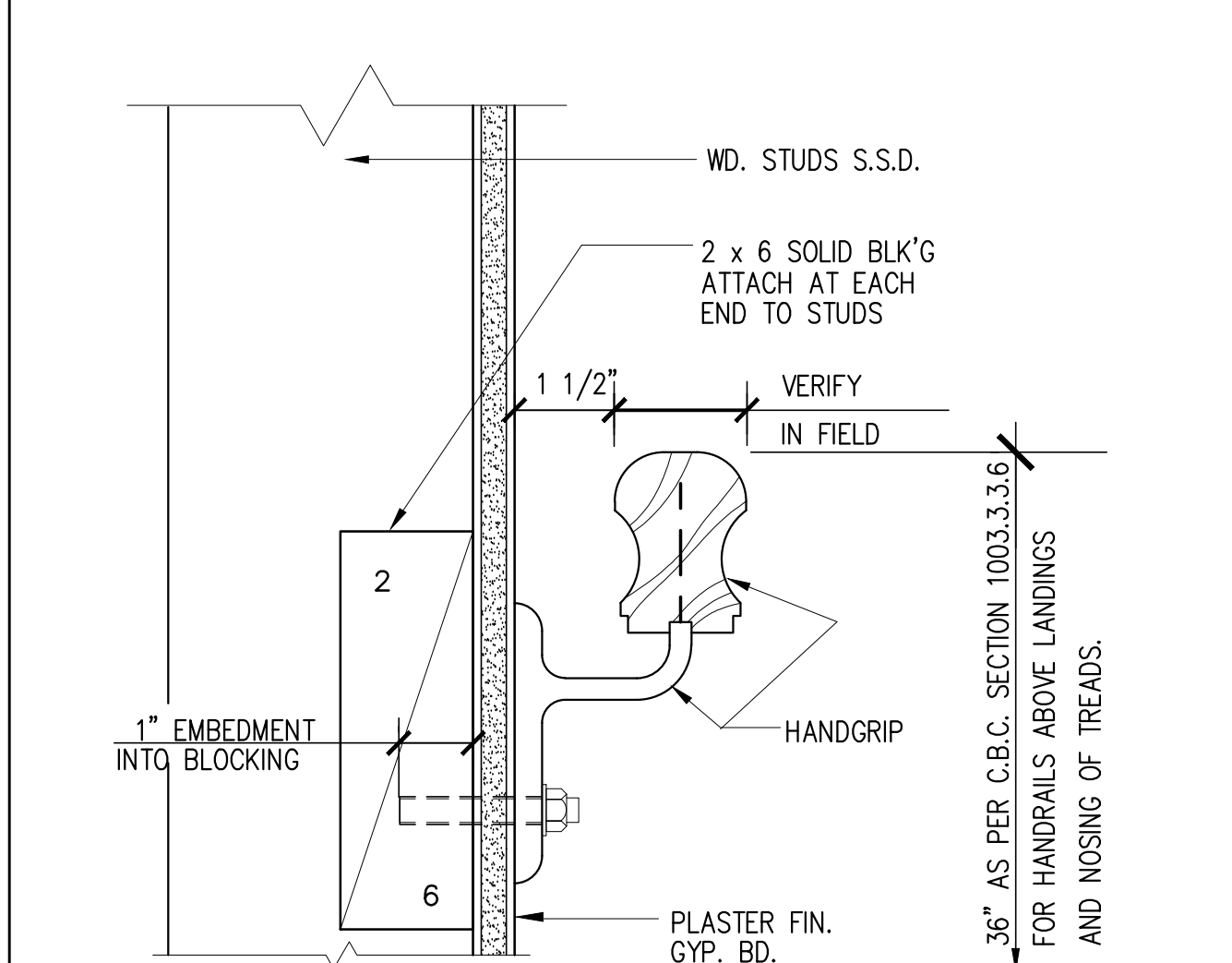
5 TYPICAL EAVES DETAIL
SCALE: N.T.S.



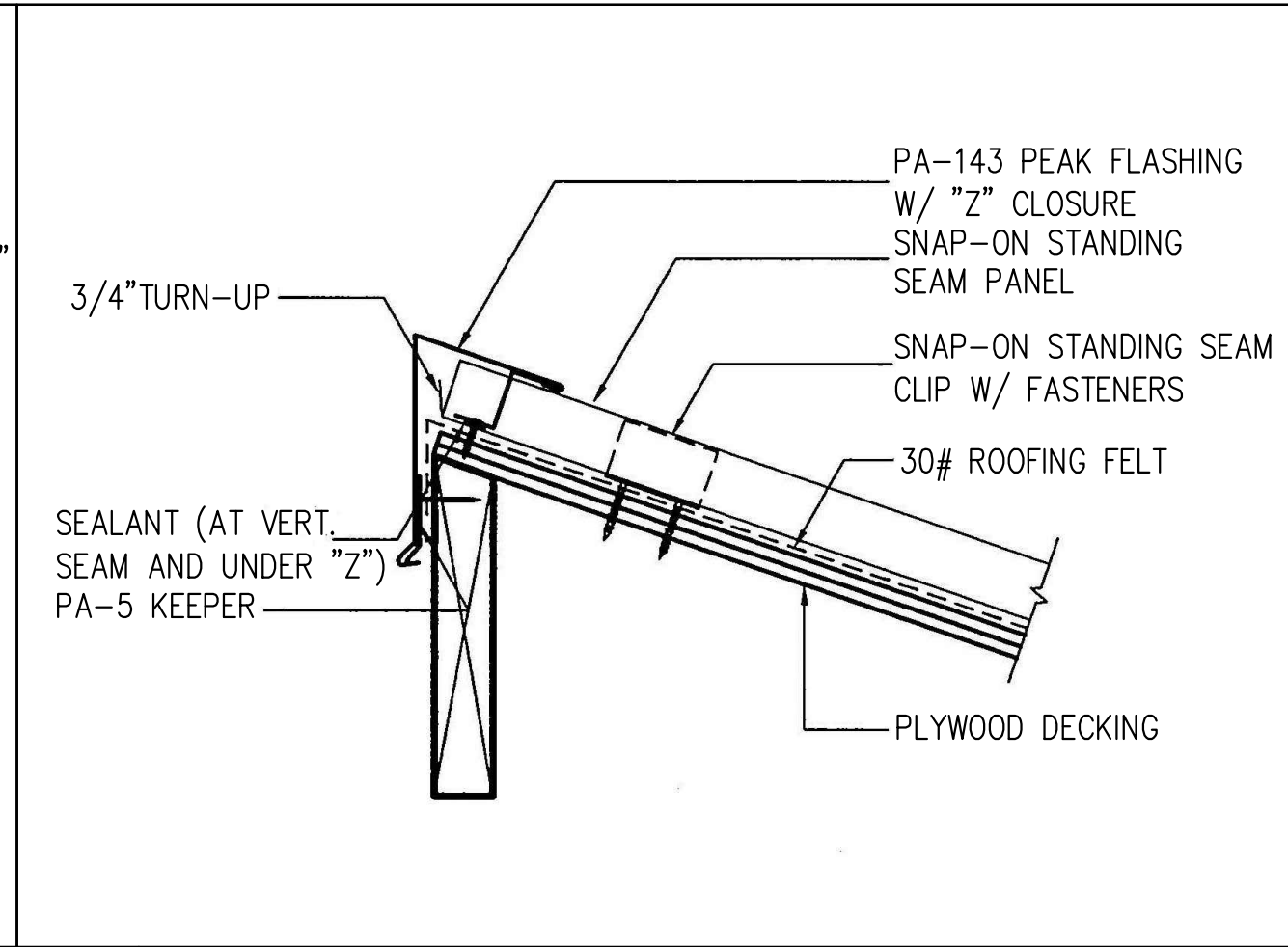
6 STAIR - FLOOR
SCALE: N.T.S.



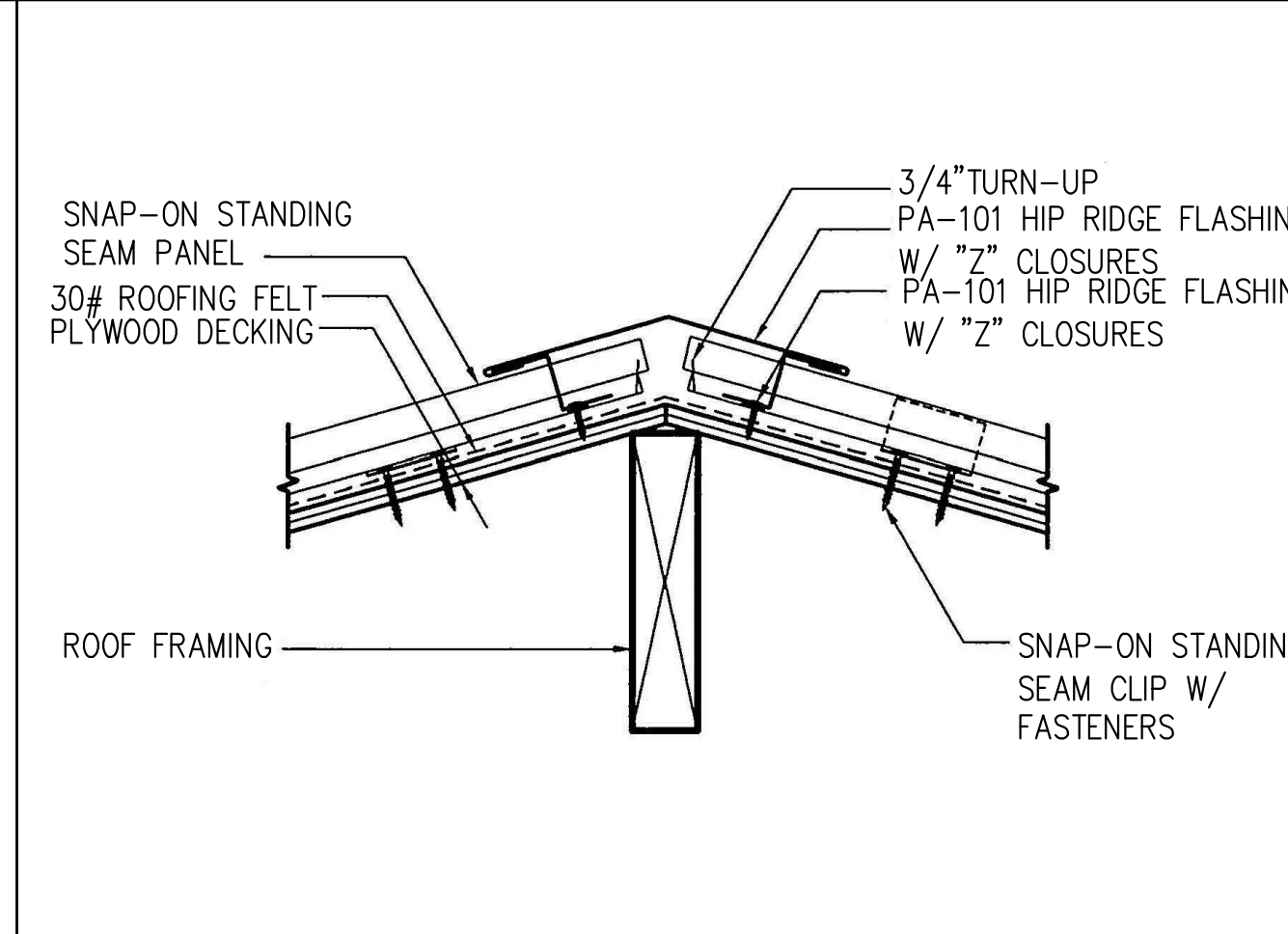
7 DETAIL AT LANDING
SCALE: N.T.S.



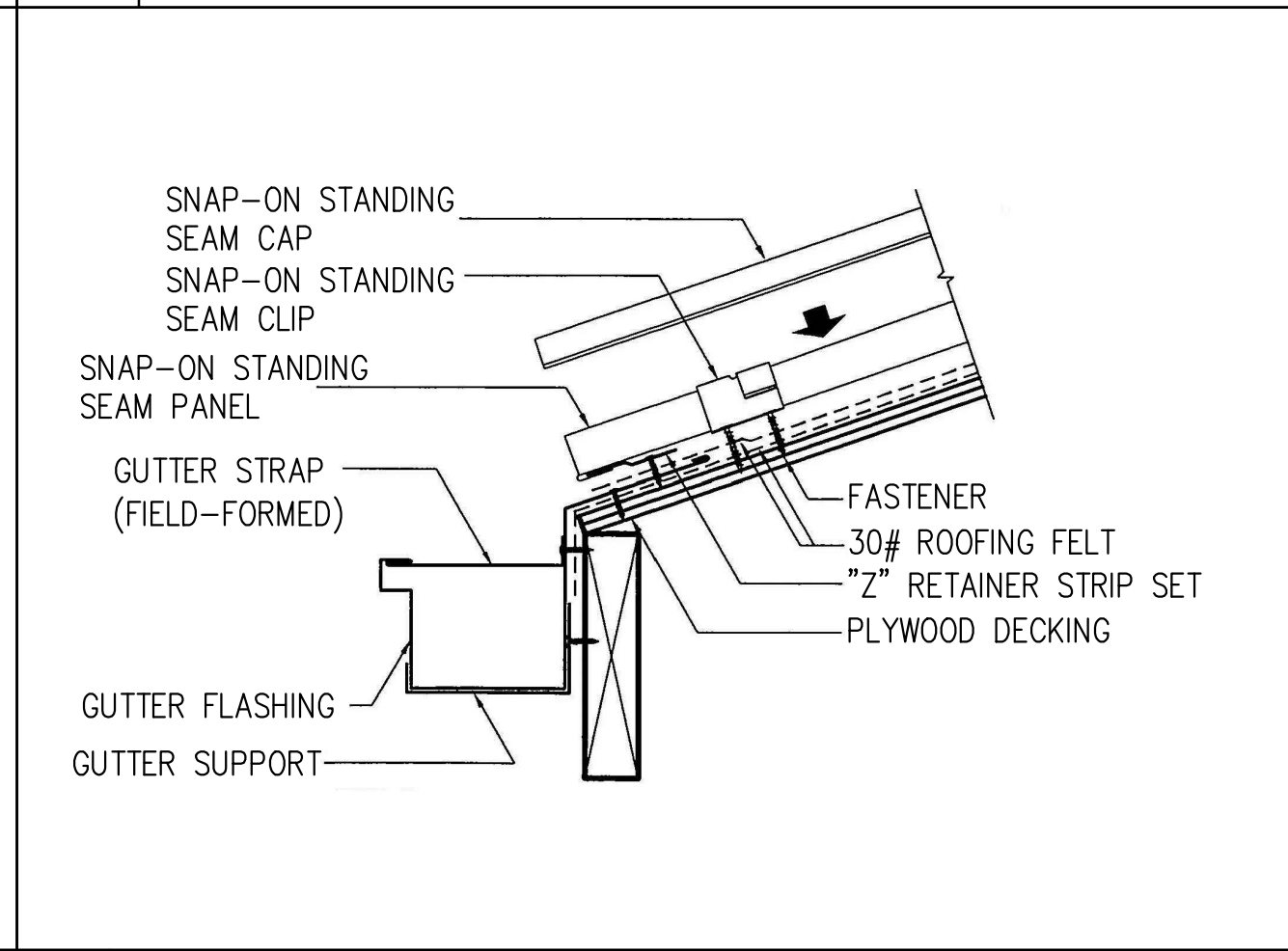
8 INTERIOR SECTION AT HANDRAIL
SCALE: N.T.S.



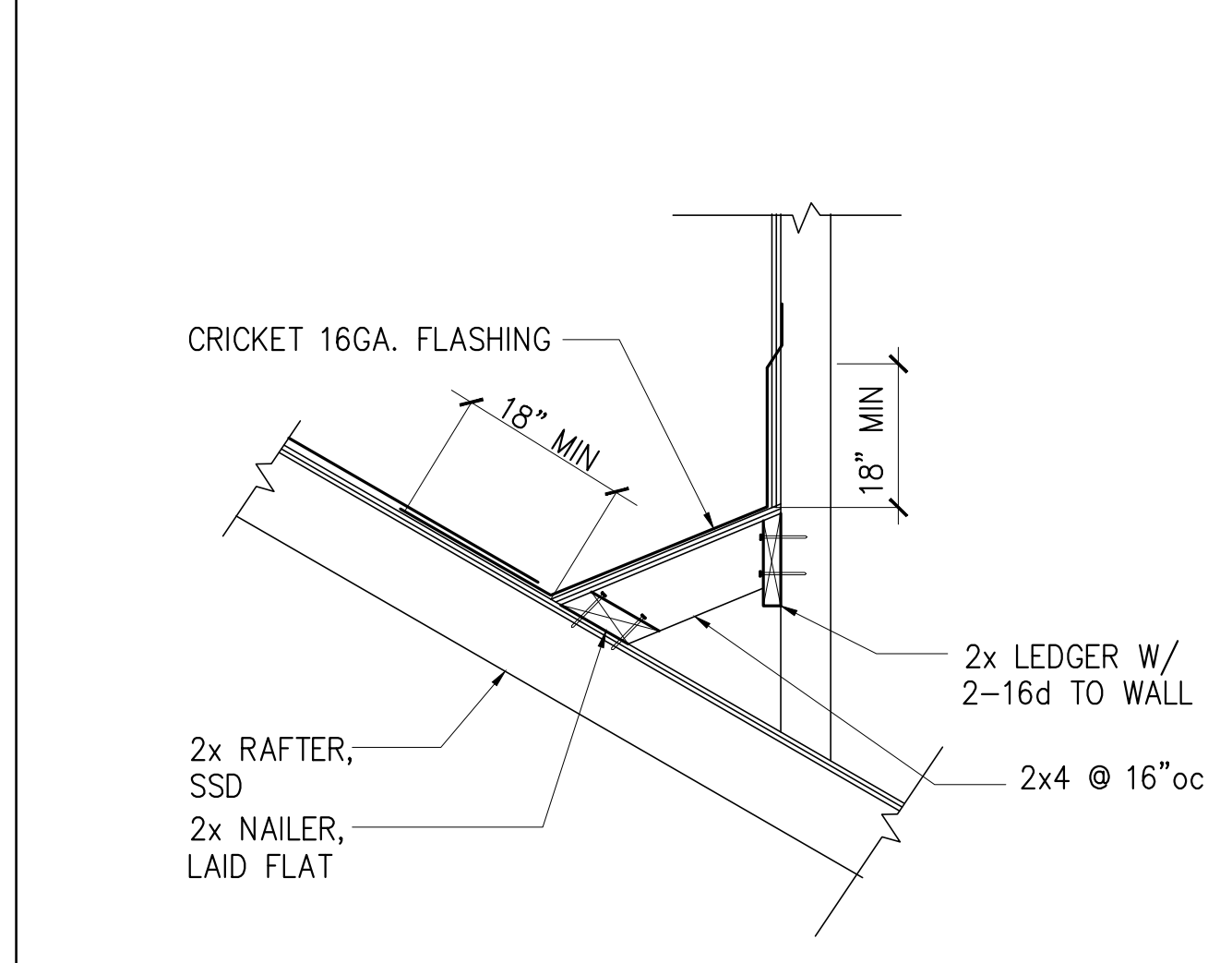
1 ROOF PEAK DETAIL
SCALE: N.T.S.



2 ROOF HIP DETAIL
SCALE: N.T.S.



3 GUTTER DETAIL
SCALE: N.T.S.



4 ROOF CRICKET DETAIL
SCALE: N.T.S.

STAMP

CONSULTANT

PROJECT & OWNER (S):

SHEET TITLE

REGISTERED PROFESSIONAL ENGINEER
RONALD B. CARROLL
66714
09-30-16
CIVIL
STATE OF CALIFORNIA

KLC
CONSULTING ENGINEERS, INC
11100 SAN PABLO AVE, SUITE 207, EL CERRITO, CA 94530
TEL.: 510-232-0300 • FAX: 510-232-0303
http://klceea.com

RESIDENTIAL ADDITION & REMODEL

SAMIR MESSIAH

26425 VIA PETRA
CARMEL, CA 93923

DRAWN: MTC

CHECKED: RBC

SCALE:

DATE: 4/30/16

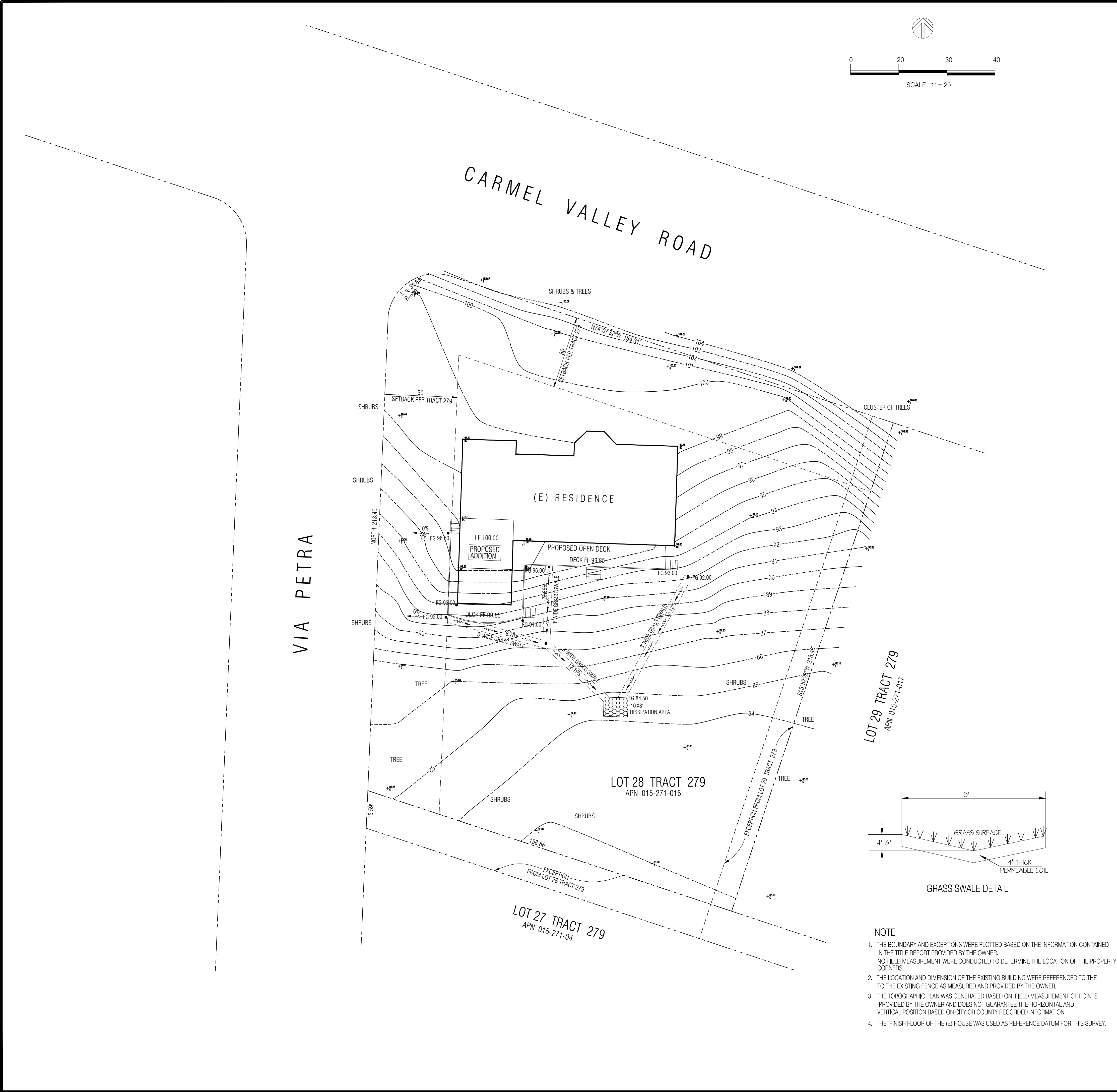
PROJ. NO. 15-386

REVISIONS:

ISSUED FOR BLDG PERMIT 4/30/16
PLAN CHECK RESP. 11/3/15

SHEET NO:

A9.0



GENERAL GRADING & DRAINAGE NOTES:

1. A GRADING PERMIT MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY EARTHWORK.
2. ALL GRADING SHALL CONFORM TO THE CITY SPECIFICATIONS AND STANDARDS.
3. CONTRACTOR WILL BE RESPONSIBLE FOR ADEQUATE TEMPORARY DRAINAGE FACILITIES DURING RAINY SEASON OPERATIONS AND PROTECT ALL GRADING AREAS FROM EROSION.
4. THE APPROXIMATE QUANTITY OF CUT= 20 CU. YD. AND FILL= 20 CU. YD. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR VERIFICATION OF ABOVE EARTHWORK QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION.
5. ADEQUATE PROVISIONS SHALL BE MADE FOR DUST CONTROL.
6. ANY DEVIATION FROM APPROVED PLANS DURING CONSTRUCTION WILL REQUIRE APPROVAL BY THE CITY ENGINEER.
7. GRADE BREAKS AT TOPS AND TOES OF CUT AND FILL SLOPES SHALL BE ROUNDED TO PRESENT A SMOOTH NATURAL APPEARANCE.
8. THE MINIMUM FILL DENSITY COMPACTION WILL BE IN ACCORDANCE WITH ASTM D-1557-78.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO THE START OF CONSTRUCTION REQUIRING FIELD STAKING.
10. RAIN WATER LEADERS FROM THE ROOF GUTTERS SHALL NOT BE PIPED DIRECTLY TO THE STORM DRAIN SYSTEM. THEY SHALL BE CONNECTED TO AN EARTHEN SWALE AND AREA DRAIN(S) CONNECTED TO THE STORM DRAIN SYSTEM, OR COMPARABLE METHOD TO EFFECTIVELY REDUCE THE ENTRY OF POLLUTANTS INTO THE STORM WATER RUNOFF. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS PER BUILDING CODE.

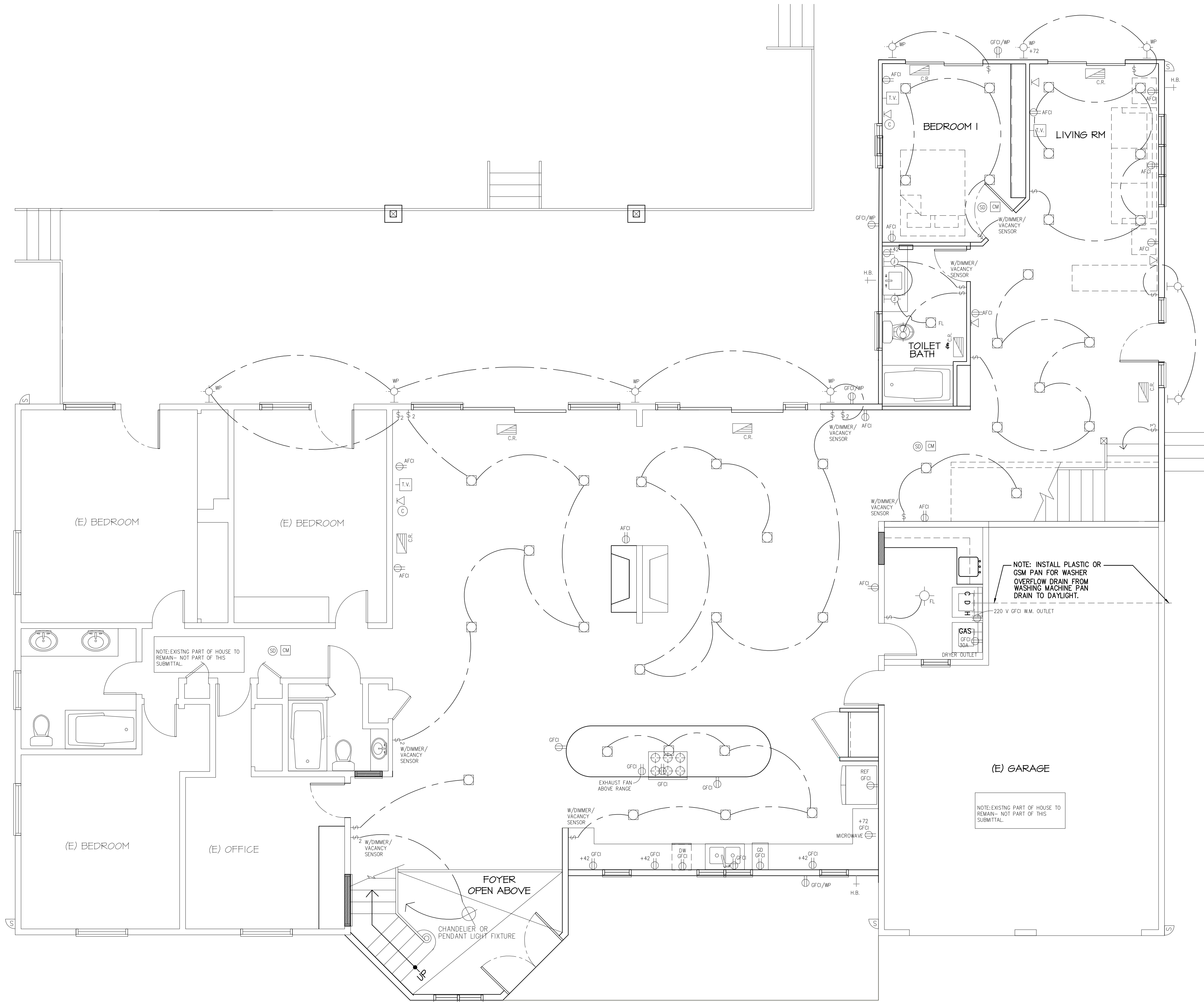
GENERAL NOTES

1. AN ENCROACHMENT PERMIT IS REQUIRED FOR CONSTRUCTION IN THE CITY RIGHT OF WAY. THE ENCROACHMENT PERMIT SHALL BE ISSUED CONCURRENT WITH THE BLDG. PERMIT.
2. UTILITY WORK IN THE STREET RIGHT OF WAY NOT INSTALLED BY CONTRACTOR WILL REQUIRE A SEPARATE PERMIT BY THE AGENCY PERFORMING SUCH WORK.
3. LANDSCAPE FINISHED GRADE WITHIN FIVE FEET OF THE BUILDING OR STRUCTURE SHALL SLOPE AWAY AT A 5% MIN. FROM THE FOUNDATION. ALL EXTERIOR HARD SURFACING AREAS (INCL. TERRACES) SHALL BE INSTALLED WITH A 1% MIN. GRADIENT, AND SHALL DRAIN AWAY FROM THE BUILDING. FINISHED GRADE DRAINAGE SWALES SHALL HAVE A MIN. SLOPE OF 1%. MAXIMUM GRADED SLOPE IS 3:1 (3 HORIZONTAL TO 1 VERTICAL).
4. PROVIDE A SPLASH BLOCK AND AT ALL DOWNSPOUTS LOCATIONS EXCEPT WHERE A CONCRETE WALKWAY IS PROPOSED.
5. THE APPLICANT NEEDS TO CONTACT THE MONTEREY COUNTY WATER DISTRICT (MCWD), MONTEREY SANITARY DISTRICT (MSD), PG&E, AT&T, COMCAST FOR SPECIFIC UTILITY REQUIREMENTS.
6. ALL NEW UTILITY CONNECTIONS MUST BE BORED JACKED, OPEN STREET CUTS / TRENCHING WILL NOT BE PERMITTED ACROSS VIA PETRA UNLESS APPROVED BY THE CITY ENGINEER.
7. ALL NEW ELECTRICAL, TELEPHONE, AND CABLE TELEVISION SERVICES NEEDS TO BE PROVIDED UNDERGROUND.
8. THE CONTRACTOR MUST REPAIR ANY DAMAGE TO THE EXISTING FRONTAGE IMPROVEMENTS CAUSED BY THIS CONSTRUCTION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

EROSION CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON (OCT 1 TO APRIL 15).
2. NO STORM RUNOFF WATER SHALL BE ALLOWED TO DRAIN DIRECTLY INTO THE EXISTING UNDERGROUND STORM SYSTEM BEFORE THE ON-SITE STORM DRAIN SYSTEM IS INSTALLED.
3. PERSON RESPONSIBLE FOR IMPLEMENTATION OF THE EROSION AND SEDIMENT CONTROL PLAN:
NAME: SAMIR MESSIAH
ADDRESS: 380 EL CAMINITO ROAD, CARMEL VALLEY, CA
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND PERMANENT LANDSCAPE IN PLACE. CHANGES TO EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE MADE TO TO MEET FIELD CONDITION, BUT ONLY WITH THE APPROVAL OF OR AT THE OR AT THE DIRECTION OF THE COUNTY GRADING INSPECTOR.
5. DURING THE RAINY SEASON SPECIFIED IN NOTE NO. 1, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF FROM ENTERING ANY STORM DRAINAGE SYSTEM.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH WORK DAY DURING THE RAINY SEASON.
7. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1ST OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY GRADING INSPECTOR.
8. THIS PLAN IS INTENDED TO BE USED FOR EROSION CONTROL WORK ONLY. OTHER INFORMATION SHOWN HEREIN MAY NOT BE THE MOST CURRENT. REFER TO GRADING PLAN FOR OTHER INFORMATION.

<div>PROJECT & OWNER (S):</div> <div>RESIDENTIAL ADDITION & REMODEL</div> <div>SAMIR MESSIAH</div> <div>26425 VIA PETRA</div> <div>CARMEL, CA 93923</div>		DRAWN: MTC	
		CHECKED: RBC	
		SCALE: AS NOTED	
		DATE: 04/30/15	
<div>SHEET TITLE</div> <div>GRADING & DRAINAGE PLAN</div>	PROJ. NO. 15-386		
	REVISIONS:		
	ISSUED FOR BLDG PERMIT 4/30/16		
SHEET NO:		C.2	



FIRST FLOOR ELECTRICAL PLAN

- NOTES:
1. SEE ELECTRICAL AND MECHICAL LEGEND ON SHEET A/A7.1.
 2. SEE MECHANICAL AND PLUMBING REQUIREMENTS ON SHEET B/A7.1.
 3. SEE ELECTRICAL REQUIREMENTS ON SHEET C/A7.1.
 2. SEE BATHROOM NOTES ON SHEET D/A7.1.

SCALE: 1/4"=1'-0"

- GENERAL NOTE:
1. ALL LIGHTS IN BATHROOM SHALL BE HIGH EFFICACY LUMINARIES.
 2. ALL RECESSED LIGHT FIXTURES TO HAVE IC RATED ELECTRONIC BALLAST AND SHALL BE AIR-TIGHT.

ELECTRICAL NOTES:

ELECTRICAL SYSTEM ARE SHOWN FOR INTENT ONLY. THIS SYSTEM SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.

DEDICATED 20AMP
CIRCUIT @ ALL
BATHROOM

- A** ELECTRICAL/MECHANICAL LEGEND
- CHANDELIER OR PENDANT LIGHT FIXTURE
 - RECESSED LIGHT FIXTURE
 - CEILING MOUNTED OR HUNG LIGHT FIXTURE (PROVIDE FLUORESCENT AT BATHROOMS)
 - WATERPROOF RECESSED LIGHT FIXTURE
 - SENSOR ACTIVATED LIGHT FIXTURE
 - FLUORESCENT COVE LIGHTING OR UNDER CABINET LIGHTING
 - EXTERIOR WALL MOUNTED LIGHT FIXTURE (+ 80" TYP.)
 - FLUORESCENT WALL MOUNTED LIGHT FIXTURE
 - 110V DUPLEX CONVENIENCE OUTLET SURACE MOUNTED
 - DUPLEX RECEPTACLE +15" TO < (U.O.N.) WITH ARC FAULT CIRCUIT INTERRUPTER
 - DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
 - DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT & WATER PROOF INTERRUPTER
 - SINGLE POLE WALL SWITCH +48" (U.O.N.)
 - DIMMER WALL SWITCH +48" (U.O.N.)
 - TWO-WAY WALL SWITCH +48" (U.O.N.)
 - THREE-WAY WALL SWTCH +48" (U.O.N.)
 - PHONE OUTLET
 - TELEVISION OUTLET (CABLE CONNECTION)
 - COMPUTER OUTLET
 - EXHAUST FAN / LIGHT FIXTURE--TO PROVIDE 5 AIR CHANGES PER HOUR W/BACK-DRAFT DAMPER POINT OF DISCHARGE, MIN. 3' AWAY FROM ANY OPNG.
 - ELECTRICAL PANEL
 - DOOR BELL / GARAGE DOOR PUSH BUTTON
 - HOSE BIBB W/ BACK FLOW VALVE PREVENTION
 - THERMOSTAT
 - CARBON MONOXIDE ALARMS--BATTERY OPERATED
 - SMOKE DETECTOR (WITH BATTERY BACKUP)
 - SPEAKER
 - FLOOR REGISTER HEATER
 - CEILING REGISTER HEATER
 - RETURN AIR

GENERAL NOTES

NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED ON THIS PROJECT.


ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNER TO DETERMINE THE FINAL LOCATIONS FOR RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY,DATA LINES, ETC.

PLUMBING LINES UTILIZED AS GROUNDS ARE PROHIBITED.
SMOKE DETECTORS SHALL BE INSTALLED PER U.B.C. SECTION 310.9.1.3 AND 310.9.1.4; EACH NEW OR EXISTING BEDROOM SHALL BE SERVED BY A SMOKE DETECTOR; IN NEW CONSTRUCTION EACH SMOKE DETECTOR SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITH HOUSE WIRING AS THE PRIMARY POWER SOURCE WITH BATTERY BACK-UP.; IN REMODELS EACH SMOKE DETECTOR MAY BE POWERED BY BATTERY ONLY. SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.

IF A FIRE ALARM SYSTEM IS INTERGRATED INTO A SECURITY SYSTEM, THE FIRE ALARM SYSTEM DRAWINGS MUST BE SUBMITTED TO THE LOCAL FIRE JURISDICTION FOR APPROVAL PRIOR TO INSTALLATION.

NOTE:

1. ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK ACTING VALVES ARE INSTALLED SHALL BE PROVIDED WITH DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING THESE VALVES (TYPICALLY THIS DEVISE MAY BE INSTALLED FOR CLOTH WASHER OR DISH WASHER)
2. (IF NEW) W.H. SHALL BE 'A.O.SMITH' OR EQUAL AND FURNACE SHALL BE 'BRAYANT' OR EQUAL--T.B.D. BY OWNER
3. ALL (N) WINDOWS TO HAVE AVERAGE 'U' VALUE OF .51

STAMP			
CONSULTANT		<div><div>KLC CONSULTING ENGINEERS, INC 11100 SAN PABLO AVE. SUITE 207, EL CERRITO, CA 94530 TEL.: 510-232-0300 : FAX: 510-232-0303 http://www.klceco.com</div></div>	
PROJECT & OWNER (S):		RESIDENTIAL ADDITION & REMODEL	
		SAMIR MESSIAH	
		26425 VIA PETRA CARMEL, CA 93923	
DRAWN:		MTC	
CHECKED:		RBC	
SCALE:			
DATE:		4/30/16	
SHEET TITLE		FIRST FLOOR ELECTRICAL LAYOUT	
PROJ. NO.		15-386	
REVISIONS:			
ISSUED FOR BLDG PERMIT		4/30/16	
SHEET NO:			
		E1	