

Exhibit B

This page intentionally left blank.

**EXHIBIT B
DRAFT RESOLUTION**

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

WILSON (PLN170876)

RESOLUTION NO. 18 -

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow construction of a 2,551 square foot single-family dwelling with a 605 square foot attached garage, 72 square foot entry porch and a 48 square foot wooden trellis.

1070 Trappers Trail, Greater Monterey Peninsula Area
Plan (APN: 007-473-012-000)

The Wilson application (PLN170876) came on for a public hearing before the Monterey County Zoning Administrator on March 29, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.

EVIDENCE:
 - a) The proposed project involves construction of a 2,551 square foot single-family dwelling with a 605 square foot attached garage, 72 square foot entry porch and a 48 square foot wooden trellis.
 - b) The property is located at 1070 Trappers Trail, Salinas (Assessor's Parcel Number 007-473-012-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays (MDR/B-6-D-RES). Development of single-family dwellings, is allowed uses pursuant to MCC Sections 21.12.030.A. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below).
 - c) The project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula; and
 - Monterey County Zoning Ordinance (Title 21)
- d) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
- e) Review of Development Standards. The development standards for the MDR zoning district in the Del Monte Forest are identified in MCC Section 21.12.070. Special required setbacks in the MDR district for main dwelling units are 20 feet (front), 10 feet (rear), and 10 feet (sides). Corresponding maximum structure heights is 27 feet, respectively. The proposed heights for the single-family dwelling is 21 feet 10 inches, respectively. The allowed site coverage maximum in the LDR district is 35 percent on lots less than 20,000 square feet. The property is 9,176 square feet, which would allow site coverage of approximately 3,212 square feet. The proposed single-family dwelling unit and garage would result in site coverage of approximately 3,156 square feet or 34 percent. Therefore, as proposed, the project meets all required development standards.
- f) The project has been reviewed for site suitability by RMA-Planning. The project planner reviewed the application materials and plans, as well as the County's GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- g) The following technical report has been prepared:
- *Geological Hazards Investigation (LIB170876) prepared by Landset Engineers, Inc., Salinas, California, August 2017.*
 - *Archaeological Consulting (LIB170367) prepared by Gary Breschini, Salinas, California, October 6, 2017.*
- County staff has independently reviewed this report and concurs with its conclusions.
- h) Necessary public facilities are available. The sewer for the site will be served by Pebble Beach Community Services District and water will be served by Cal-Am.
- i) Design. See Finding No. 2.
- j) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- k) The project planner conducted a site inspection on February 6, 2018 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC.
- l) The project was referred to the Del Monte Forest Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project is a Design Approval subject to review by the Zoning Administrator. The LUAC, at a duly-noticed public meeting on January 9, 2018 voted 5 – 0 to support the project as proposed with 2 absent.

- m) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN170876.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The Applicant proposes to develop on an existing vacant lot with a 9,176 square foot single-family dwelling and an attached garage.
 - b) Pursuant to Section 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - c) Material and Color Finishes. The Applicant proposes exterior colors and materials that are consistent with the residential setting. The primary colors and materials include dark gray concrete tile roofing, bone stucco siding trim, swiss coffee accents, and white vinyl windows. The proposed exterior finishes would blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood.
 - e) The project planner conducted a site inspection on February 6, 2018, to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character.
 - f) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes). As proposed, the project is consistent with neighborhood character, and assures visual integrity.

3. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small facilities or structures, including habitable and non-habitable structures accessory to a single-family dwelling or residential use.
 - b) The subject project consists of the installation of three manufactured structures (i.e.; single-family or main dwelling unit, accessory or second dwelling unit, and garage/workshop), an on-site wastewater treatment system, and associated grading and site improvements for utilities. Therefore, the proposed development is consistent with the exemption parameters of CEQA Guidelines Section 15303(a).
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does

not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.

- d) No adverse environmental effects were identified during staff review of the development application.

4. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Board of Supervisors.

EVIDENCE: a) Pursuant to Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approving a Design Approval to allow construction of a 2,551 square foot single-family dwelling with a 605 square foot attached garage, 72 square foot entry porch and a 48 square foot wooden trellis.

PASSED AND ADOPTED this 29th day of March, 2018.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

GENERAL CONDITIONS	
1.	Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
2.	Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
3.	Contractor shall be responsible to obtain and all necessary permits inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.
4.	Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.
5.	Materials that are specified by their brand names establish standards of quality and performance. any request for substitution shall be submitted to Moore Design llc and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
6.	All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code/ California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
7.	All dimensions on constructions drawings are face of stud (f.o.s.), face of cmu, unless otherwise noted to be the center line of mullion, partition, or column, etc.
8.	All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.
9.	All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
10.	All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturers requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be of quality acceptable by industry standards.
11.	The use of the word "provide" in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
12.	The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
13.	The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
14.	The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
15.	The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
16.	All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
17.	Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
18.	All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
19.	Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
20.	Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mgmt. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.
ABBREVIATIONS AND SYMBOLS	
APPROX. BLK CLO. CONC. CONT. DS DW (D) F.O.C. F.O.S. GALV. GYP. G.W.B. FLR HWDW N.I.C. N.T.S.	APPROXIMATE CLOSET CONCRETE CONTINUOUS DOWNSPOUT DISHWASHER EXISTING FACE OF CONCRETE FACE OF STUD GALVANIZED GYPSUM GYPSUM WALLBOARD FLOOR HARDWOOD NOT IN CONTRACT NOT TO SCALE
O.C. O.D. PLYWD REF R.O. SHWR SM SL TKG T.O.P. TYP. U.O.N. W.P. W/ W/O W.I.C.	ON CENTER OUTSIDE DIAMETER PLYWOOD REFRIGERATOR ROUGH OPENING SHOWER SIMILAR SKYLIGHT TONGUE AND GROOVE TOP OF PLATE TYPICAL UNLESS OTHERWISE NOTED WATERPROOF WITH WITHOUT WALK IN CLOSET
(1) A 1 1 1 1	WALL LINE NUMBERS VERTICAL LETTERS HORIZONTAL DOORS SYMBOL NUMBERS WINDOW TYPE-NUMBERS DETAIL NUMBER SHEET WHERE DETAIL IS LOCATED SHEET NOTE
SECTION ELEVATION REVISIONS-NUMBERS	SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN CLOUD AROUND REVISION OPTIONAL
+8'-0"	CEILING HEIGHT

VICINITY MAP	

<p>M.P.C.C. SUB. No. 1 BLK. 50 & 51 LOTS 176/11, 22 To 30 BLK. 49</p>	

THE WILSON RESIDENCE																																																																											
PEBBLE BEACH,		CA																																																																									
SHEET INDEX		PROJECT DIRECTORY																																																																									
<table><tr><th>ARCHITECTURAL</th><th></th></tr><tr><td>A0.1</td><td>COVER SHEET</td></tr><tr><td>A0.2</td><td>FIRE DEPT. NOTES, PLANNING CONDITIONS</td></tr><tr><td>A1.1</td><td>SITE PLAN, LANDSCAPE PLAN</td></tr><tr><td>CM1</td><td>CONSTRUCTION MANAGEMENT PLAN</td></tr><tr><td>C2</td><td>TOPOGRAPHIC MAP / EXISTING CONDITIONS</td></tr><tr><td>C3</td><td>GRADING & DRAINAGE PLAN</td></tr><tr><td>C4</td><td>GRADING SECTIONS & DETAILS</td></tr><tr><td>C5</td><td>EROSION CONTROL PLAN & BMP'S</td></tr><tr><td>A2.1</td><td>FLOOR PLAN, GENERAL BUILDING NOTES</td></tr><tr><td>A2.3</td><td>ROOF PLAN</td></tr><tr><td>A4.1</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A4.2</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A5.1</td><td>BUILDING SECTIONS</td></tr><tr><td>A6.1</td><td>ELECTRICAL FLOOR PLAN</td></tr><tr><td>A8.1</td><td>DETAILS</td></tr><tr><th>STRUCTURAL</th><th></th></tr><tr><td>S1.0</td><td>FOUNDATION PLAN</td></tr><tr><td>S1.1</td><td>ROOF FRAMING PLAN</td></tr><tr><td>S2.0</td><td>GENERAL NOTES & DETAILS</td></tr><tr><td>S3.0</td><td>DETAILS</td></tr><tr><td>S4.0</td><td>DETAILS</td></tr><tr><td>S5.0</td><td>DETAILS</td></tr><tr><td>S6.0</td><td>DETAILS</td></tr><tr><th>MECHANICAL & PLUMBING</th><th></th></tr><tr><td>M0.1</td><td>NOTES</td></tr><tr><td>M0.2</td><td>ENERGY COMPLIANCE</td></tr><tr><td>M0.3</td><td>ENERGY COMPLIANCE</td></tr><tr><td>M0.4</td><td>MANDATORY MEASURES</td></tr><tr><td>M2.1</td><td>HVAC PLAN</td></tr><tr><td>P2.1</td><td>GAS LINE POC AND SCHEMATIC</td></tr></table>		ARCHITECTURAL		A0.1	COVER SHEET	A0.2	FIRE DEPT. NOTES, PLANNING CONDITIONS	A1.1	SITE PLAN, LANDSCAPE PLAN	CM1	CONSTRUCTION MANAGEMENT PLAN	C2	TOPOGRAPHIC MAP / EXISTING CONDITIONS	C3	GRADING & DRAINAGE PLAN	C4	GRADING SECTIONS & DETAILS	C5	EROSION CONTROL PLAN & BMP'S	A2.1	FLOOR PLAN, GENERAL BUILDING NOTES	A2.3	ROOF PLAN	A4.1	EXTERIOR ELEVATIONS	A4.2	EXTERIOR ELEVATIONS	A5.1	BUILDING SECTIONS	A6.1	ELECTRICAL FLOOR PLAN	A8.1	DETAILS	STRUCTURAL		S1.0	FOUNDATION PLAN	S1.1	ROOF FRAMING PLAN	S2.0	GENERAL NOTES & DETAILS	S3.0	DETAILS	S4.0	DETAILS	S5.0	DETAILS	S6.0	DETAILS	MECHANICAL & PLUMBING		M0.1	NOTES	M0.2	ENERGY COMPLIANCE	M0.3	ENERGY COMPLIANCE	M0.4	MANDATORY MEASURES	M2.1	HVAC PLAN	P2.1	GAS LINE POC AND SCHEMATIC	<table><tr><td>■ OWNER:</td><td>STEVE WILSON 1070 TRAPPERS TRAIL PEBBLE BEACH,CA 93953 831-224-6887</td></tr><tr><td>■ DESIGNER:</td><td>MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA. 93940 OFFICE (831) 642-9732 CELL (831) 239-6868 EMAIL: john@mooredesign.org</td></tr><tr><td>■ GEOTECHNICAL ENGINEER:</td><td>LANDSET ENGINEERS, INC. CONTACT: BRIAN PAPURELLO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: bpapurello@landseteng.com</td></tr><tr><td>■ TITLE 24 CONSULTANT:</td><td>MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8228 FAX (831) 372-4613 EMAIL: cad@meg4.com</td></tr><tr><td>■ STRUCTURAL ENGINEER</td><td>ESA DESIGN CONTACT: EFFEN ABARADO 4075 PAPAZIAN WAY, SUITE 206 FREMONT, CA. 94538 TEL (510) 683-8914 FAX (510) 683-8941 EMAIL: effen@esadesign.net Lic. #C 62568</td></tr></table>		■ OWNER:	STEVE WILSON 1070 TRAPPERS TRAIL PEBBLE BEACH,CA 93953 831-224-6887	■ DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA. 93940 OFFICE (831) 642-9732 CELL (831) 239-6868 EMAIL: john@mooredesign.org	■ GEOTECHNICAL ENGINEER:	LANDSET ENGINEERS, INC. CONTACT: BRIAN PAPURELLO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: bpapurello@landseteng.com	■ TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8228 FAX (831) 372-4613 EMAIL: cad@meg4.com	■ STRUCTURAL ENGINEER	ESA DESIGN CONTACT: EFFEN ABARADO 4075 PAPAZIAN WAY, SUITE 206 FREMONT, CA. 94538 TEL (510) 683-8914 FAX (510) 683-8941 EMAIL: effen@esadesign.net Lic. #C 62568
ARCHITECTURAL																																																																											
A0.1	COVER SHEET																																																																										
A0.2	FIRE DEPT. NOTES, PLANNING CONDITIONS																																																																										
A1.1	SITE PLAN, LANDSCAPE PLAN																																																																										
CM1	CONSTRUCTION MANAGEMENT PLAN																																																																										
C2	TOPOGRAPHIC MAP / EXISTING CONDITIONS																																																																										
C3	GRADING & DRAINAGE PLAN																																																																										
C4	GRADING SECTIONS & DETAILS																																																																										
C5	EROSION CONTROL PLAN & BMP'S																																																																										
A2.1	FLOOR PLAN, GENERAL BUILDING NOTES																																																																										
A2.3	ROOF PLAN																																																																										
A4.1	EXTERIOR ELEVATIONS																																																																										
A4.2	EXTERIOR ELEVATIONS																																																																										
A5.1	BUILDING SECTIONS																																																																										
A6.1	ELECTRICAL FLOOR PLAN																																																																										
A8.1	DETAILS																																																																										
STRUCTURAL																																																																											
S1.0	FOUNDATION PLAN																																																																										
S1.1	ROOF FRAMING PLAN																																																																										
S2.0	GENERAL NOTES & DETAILS																																																																										
S3.0	DETAILS																																																																										
S4.0	DETAILS																																																																										
S5.0	DETAILS																																																																										
S6.0	DETAILS																																																																										
MECHANICAL & PLUMBING																																																																											
M0.1	NOTES																																																																										
M0.2	ENERGY COMPLIANCE																																																																										
M0.3	ENERGY COMPLIANCE																																																																										
M0.4	MANDATORY MEASURES																																																																										
M2.1	HVAC PLAN																																																																										
P2.1	GAS LINE POC AND SCHEMATIC																																																																										
■ OWNER:	STEVE WILSON 1070 TRAPPERS TRAIL PEBBLE BEACH,CA 93953 831-224-6887																																																																										
■ DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA. 93940 OFFICE (831) 642-9732 CELL (831) 239-6868 EMAIL: john@mooredesign.org																																																																										
■ GEOTECHNICAL ENGINEER:	LANDSET ENGINEERS, INC. CONTACT: BRIAN PAPURELLO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: bpapurello@landseteng.com																																																																										
■ TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8228 FAX (831) 372-4613 EMAIL: cad@meg4.com																																																																										
■ STRUCTURAL ENGINEER	ESA DESIGN CONTACT: EFFEN ABARADO 4075 PAPAZIAN WAY, SUITE 206 FREMONT, CA. 94538 TEL (510) 683-8914 FAX (510) 683-8941 EMAIL: effen@esadesign.net Lic. #C 62568																																																																										
CAL GREEN NOTES																																																																											
<div><div></div><div><div>1. Irrigation Controllers- Automatic irrigation controllers installed at the time of final inspection shall be weathered-based. CGBC 4.304.1</div><div>2. Rodent Proofing- Protect annular spaces around pipes, electrical cables, conduits or other openings at exterior walls against passage of rodents. CGBC 4.406.1</div><div>3. Construction Waste Management- Recycle and/or salvage for reuse a minimum of 50% of the nonhazardous construction and demolition waste in accordance with the CGBC Sec. 4.408.1</div><div>4. Covering of Mechanical Equipment & Ducts- Cover duct openings and other air related air distribution component openings during storage, construction and until final start up with tape, plastic, or other acceptable method. CGBC 4.504.1</div><div>5. Adhesives, sealants and caulks- Adhesives, sealants and caulks used on the project shall be compliant with VOC and other toxic compound limits. CGBC 4.504.2.1</div><div>6. Paint and Coatings- Paint, stains and other coatings used on the project shall be compliant with VOC limits. CGBC 4.504.2.2</div><div>7. Aerosol paints and coatings- Aerosol paints and coatings used on the project shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Documentation shall be provided to verify compliant VOC limit finish materials have been used. CGBC 4.504.2.3. Verification of compliance shall be provided.</div><div>8. Carpet Systems- All carpet and carpet systems installed shall be compliant with VOC limits. CGBC 4.504.3</div><div>9. Resilient Floor Systems- 80% of the floor area receiving resilient floorings shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. CGBC 4.504.4</div><div>10. Composite Wood Products- Particleboard, Medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. CGBC 4.504.5</div><div>11. Foundation: Capillary Break- A 4" thick of 1/2" or larger clean aggregate shall be installed with a vapor retarder in direct contact with concrete. CGBC 4.505.2.1</div><div>12. Moisture Content of Building Materials- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. CGBC 4.505.3</div><div>13. Bathroom Exhaust Fans- Each bathroom shall be mechanically ventilated with an Energy Star exhaust fan and the fan must be controlled by a humidistat capable of adjustment between a relative humidity range of < 50% to a maximum of 80%. CGBC 4.506.1</div><div>14. Heating and Air-Conditioning System Design- HVAC systems shall be sized, designed and their equipment sized per CGBC 4.507.2. HVAC system installer must be trained and certified and special inspectors employed by the enforcing agency must be qualified.</div></div></div>																																																																											
PLANNING CONDITIONS		CONTRACTOR NOTES																																																																									
<p>PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT</p> <p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - planning and a qualified archaeologist (i.e., an archaeologist registered with the register of professional archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.</p> <p>PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN</p> <p>All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the future. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 part 6. The exterior lighting plan shall be subject to approval by the director of RMA - Planning, prior to the issuance of building permits.</p> <p>(RMA - PLANNING)</p>		<div><div></div><div><div>1. Glu-lam certificates shall be copied to the building department.</div><div>2. At time of final inspection provide installation, operation and maintenance guides/manuals for all equipment and appliances including masonry veneer anchors, fireplace insert, and chimney flue acceptable to the enforcing agency shall be provided to the owner.</div><div>3. All construction shall be in accordance with soils investigations by Landset Engineers, project # 1704-02, dated August 2017.</div><div>4. Contractor to provide two copies completed & signed of the CP2R-LTG-01-E form (where applicable) to the owner & field inspector prior to receiving the final.</div></div></div>																																																																									
PROJECT INFORMATION																																																																											
<table><tr><td>■ PROJECT ADDRESS:</td><td>1070 TRAPPERS TRAIL PEBBLE BEACH, CA 93953</td></tr><tr><td>■ A.P.N.</td><td>007-473-012</td></tr><tr><td>■ PROJECT SCOPE:</td><td>NEW 3 BED 3 BATH SINGLE FAMILY DWELLING (2,457 SF) WITH ATTACHED 2-CAR GARAGE (614 SF), NEW TRELLIS ATTACHED TO GARAGE (48 SF), NEW COVERED ENTRY (105 SF), 4 SKYLIGHTS.</td></tr><tr><td>■ PROJECT VALUATION:</td><td>\$400,000</td></tr><tr><td>■ RELATED PERMIT</td><td>PLN170876</td></tr><tr><td>■ PROJECT CODE COMPLIANCE:</td><td>2016 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code Local Amendments</td></tr><tr><td>■ ZONE:</td><td>MDR/B-6-D-RES</td></tr><tr><td>■ MAX BLDG. HT:</td><td>21'-4 1/2" (27'-0" ALLOWED)</td></tr><tr><td>■ CONSTR. TYPE:</td><td>TYPE V-B</td></tr><tr><td>■ OCCUPANCY:</td><td>R-3 (RESIDENTIAL), U</td></tr><tr><td>■ FIRE SPRINKLERS</td><td>REQUIRED NFPA-13D</td></tr><tr><td>■ WATER SYSTEM:</td><td>CALAM</td></tr><tr><td>■ SEWER SYSTEM:</td><td>PBCSD</td></tr><tr><td>■ TREE REMOVAL:</td><td>NONE</td></tr><tr><td>■ TOPOGRAPHY:</td><td>GENTLY SLOPING</td></tr><tr><td>■ GRADING:</td><td>APPROXIMATELY 5 CY OF CUT/FILL</td></tr><tr><td>■ LOT SIZE:</td><td>9,176 SF</td></tr><tr><td>■ LOT COVERAGE CALCS:</td><td></td></tr><tr><td>ALLOWED</td><td>35% = 3,211 SF</td></tr><tr><td>NEW RESIDENCE</td><td>2,457 SF</td></tr><tr><td>NEW GARAGE & UTILITY RM</td><td>614 SF</td></tr><tr><td>COVERED FRONT PORCH</td><td>105 SF</td></tr><tr><td>TOTAL</td><td>3,176 SF (34.6%)</td></tr><tr><td>■ FLOOR AREA CALCS:</td><td></td></tr><tr><td>ALLOWED</td><td>35% = 3,211 SF</td></tr><tr><td>NEW RESIDENCE</td><td>2,457 SF</td></tr><tr><td>NEW GARAGE</td><td>614 SF</td></tr><tr><td>TOTAL</td><td>3,071 SF (33.4%)</td></tr></table>		■ PROJECT ADDRESS:	1070 TRAPPERS TRAIL PEBBLE BEACH, CA 93953	■ A.P.N.	007-473-012	■ PROJECT SCOPE:	NEW 3 BED 3 BATH SINGLE FAMILY DWELLING (2,457 SF) WITH ATTACHED 2-CAR GARAGE (614 SF), NEW TRELLIS ATTACHED TO GARAGE (48 SF), NEW COVERED ENTRY (105 SF), 4 SKYLIGHTS.	■ PROJECT VALUATION:	\$400,000	■ RELATED PERMIT	PLN170876	■ PROJECT CODE COMPLIANCE:	2016 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code Local Amendments	■ ZONE:	MDR/B-6-D-RES	■ MAX BLDG. HT:	21'-4 1/2" (27'-0" ALLOWED)	■ CONSTR. TYPE:	TYPE V-B	■ OCCUPANCY:	R-3 (RESIDENTIAL), U	■ FIRE SPRINKLERS	REQUIRED NFPA-13D	■ WATER SYSTEM:	CALAM	■ SEWER SYSTEM:	PBCSD	■ TREE REMOVAL:	NONE	■ TOPOGRAPHY:	GENTLY SLOPING	■ GRADING:	APPROXIMATELY 5 CY OF CUT/FILL	■ LOT SIZE:	9,176 SF	■ LOT COVERAGE CALCS:		ALLOWED	35% = 3,211 SF	NEW RESIDENCE	2,457 SF	NEW GARAGE & UTILITY RM	614 SF	COVERED FRONT PORCH	105 SF	TOTAL	3,176 SF (34.6%)	■ FLOOR AREA CALCS:		ALLOWED	35% = 3,211 SF	NEW RESIDENCE	2,457 SF	NEW GARAGE	614 SF	TOTAL	3,071 SF (33.4%)																		
■ PROJECT ADDRESS:	1070 TRAPPERS TRAIL PEBBLE BEACH, CA 93953																																																																										
■ A.P.N.	007-473-012																																																																										
■ PROJECT SCOPE:	NEW 3 BED 3 BATH SINGLE FAMILY DWELLING (2,457 SF) WITH ATTACHED 2-CAR GARAGE (614 SF), NEW TRELLIS ATTACHED TO GARAGE (48 SF), NEW COVERED ENTRY (105 SF), 4 SKYLIGHTS.																																																																										
■ PROJECT VALUATION:	\$400,000																																																																										
■ RELATED PERMIT	PLN170876																																																																										
■ PROJECT CODE COMPLIANCE:	2016 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code Local Amendments																																																																										
■ ZONE:	MDR/B-6-D-RES																																																																										
■ MAX BLDG. HT:	21'-4 1/2" (27'-0" ALLOWED)																																																																										
■ CONSTR. TYPE:	TYPE V-B																																																																										
■ OCCUPANCY:	R-3 (RESIDENTIAL), U																																																																										
■ FIRE SPRINKLERS	REQUIRED NFPA-13D																																																																										
■ WATER SYSTEM:	CALAM																																																																										
■ SEWER SYSTEM:	PBCSD																																																																										
■ TREE REMOVAL:	NONE																																																																										
■ TOPOGRAPHY:	GENTLY SLOPING																																																																										
■ GRADING:	APPROXIMATELY 5 CY OF CUT/FILL																																																																										
■ LOT SIZE:	9,176 SF																																																																										
■ LOT COVERAGE CALCS:																																																																											
ALLOWED	35% = 3,211 SF																																																																										
NEW RESIDENCE	2,457 SF																																																																										
NEW GARAGE & UTILITY RM	614 SF																																																																										
COVERED FRONT PORCH	105 SF																																																																										
TOTAL	3,176 SF (34.6%)																																																																										
■ FLOOR AREA CALCS:																																																																											
ALLOWED	35% = 3,211 SF																																																																										
NEW RESIDENCE	2,457 SF																																																																										
NEW GARAGE	614 SF																																																																										
TOTAL	3,071 SF (33.4%)																																																																										
BUILDING DEPARTMENT NOTES																																																																											
<div><div></div><div><div>1. No person may tap into any fire hydrant other than fire suppression or emergency aid, without first obtaining written approval from the water purveyor supplying water to the hydrant and from the monterey county health department.</div><div>2. All hoses used in connection with any construction activities shall be equipped with a nozzle shut-off, when an automatic shut-off nozzle can be purchased or otherwise obtained for the size or type of hose in use, the nozzle shall be an automatic shut-off nozzle.</div><div>3. No potable water may be used for compaction or dust control purposes in construction activities where there is a reasonably available source of reclaimed or other sub-potable water approved by the monterey county health department and appropriate for such use.</div><div>4. The use of solders containing more than 2/10ths of 1% lead in making joints on private or public water supply systems is prohibited (SB 164).</div><div>5. Provide non-removable backflow devices at all hosebells.</div></div></div>																																																																											
DEFERRED APPROVALS / SPECIAL INSPECTIONS																																																																											
<div><div></div><div><div>1. GAS LINE - Contractor to submit gas line sizing for county & utility approval before inspection.</div><div>2. FIRE SPRINKLERS - Plans for fire sprinkler system (NFP13-D system) must be submitted & approved by local fire jurisdiction prior to installation.</div><div>3. STRUCTURAL OBSERVATION REQUIRED: Structural observation is required by the structural engineer of record per (MCC Section 18.04.060(d)). Prior to commencement of observation, the structural observer shall submit to the building official a written statement identifying the frequency and extent of the observation. At the conclusion of work included in the permit, the structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies which, to the best of the observer's knowledge, have not been corrected.</div><div>4. Contractor shall schedule the geotechnical engineer to inspect and approve foundation excavations prior to requesting a building foundation inspection.</div><div>5. Shear wall nailing 4" oc- See structural drawings for locations</div></div></div>																																																																											

PROJECT NAME:
WILSON RESIDENCE
1070 TRAPPERS TRAIL PEBBLE BEACH, CA 93953
APN: 007-473-012
 MOORE DESIGN RESIDENTIAL PLANNING & CONSTRUCTION ADMINISTRATION 225 CANNERY ROW, SUITE 1 MONTEREY CA. 93940 831.642.9732 FAX 831.401.3292 john@mooredesign.org

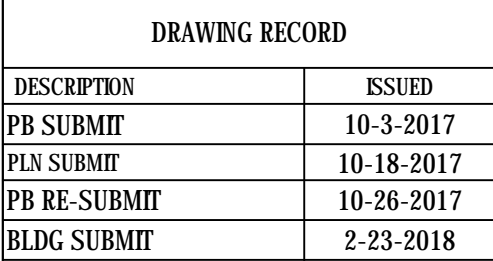
DRAWING RECORD	
DESCRIPTION	ISSUED
PB SUBMIT	10-3-2017
PLN SUBMIT	10-18-2017
PB RE-SUBMIT	10-26-2017
BLDG SUBMIT	2-23-2018
PRINT DATE:	3/14/2018
MEMBER	
A I	
B D	
AMERICAN INSTITUTE of BUILDING DESIGN	

All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of Moore Design, LLC. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with Moore Design, LLC., and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:
COVER SHEET / PROJECT INFO
SHEET NUMBER:
A0.1

WILSON
RESIDENCE

APN: 007-473-012



MEMBER

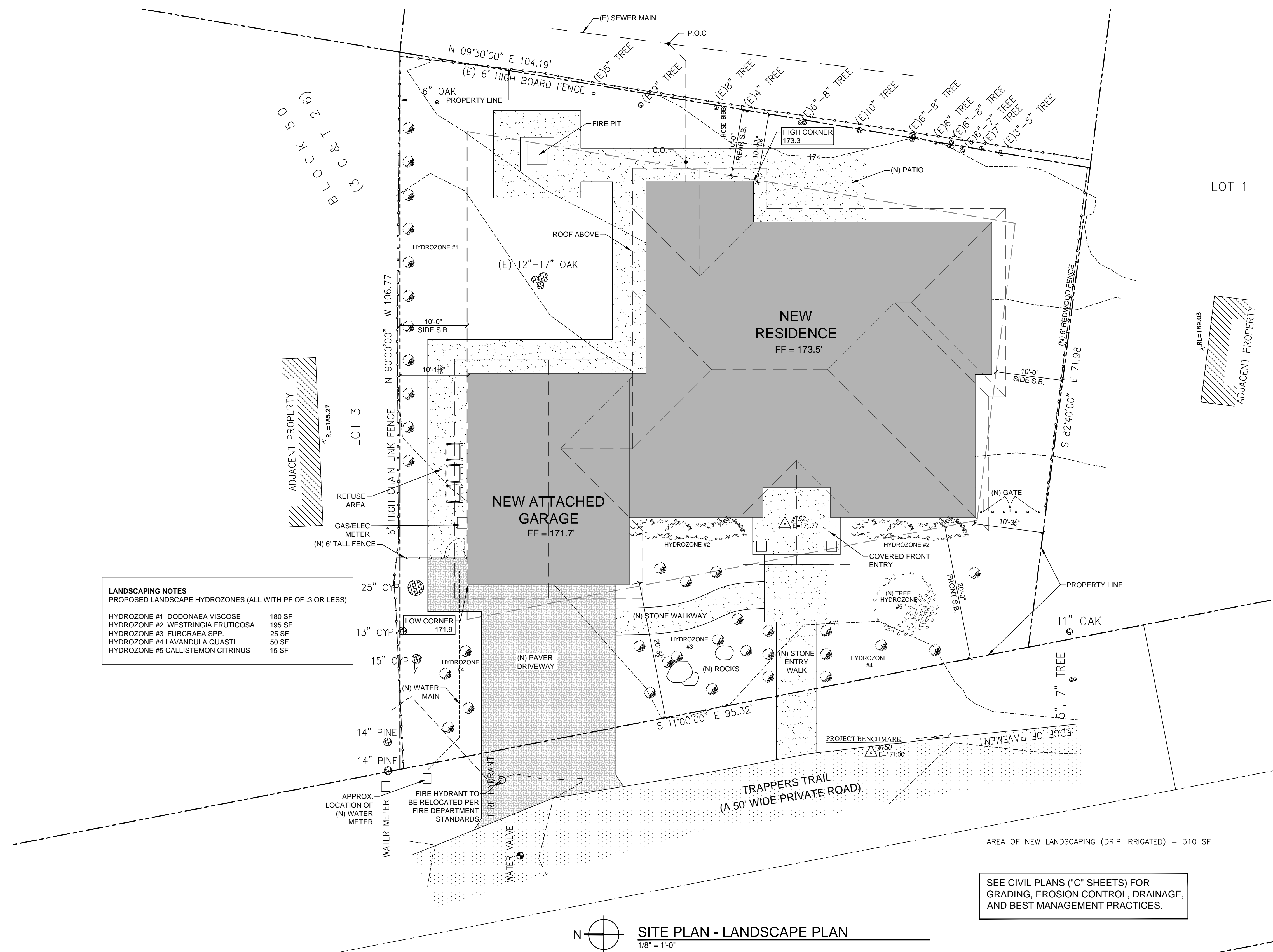
A		
B		D

**AMERICAN INSTITUTE of
BUILDING DESIGN**

Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SITE PLAN - LANDSCAPE PLAN

A1.1



1. All dimensions are to the face of stud or c.m.u. unless otherwise noted.
2. Contractor is to verify all dimensions and notify the designer of any discrepancies before proceeding.
3. All projects with waterproof decks will require periodic maintenance. owner shall be responsible to seal, caulk, or otherwise maintain or replace sealant as recommended by manufacturer of waterproofing surface.

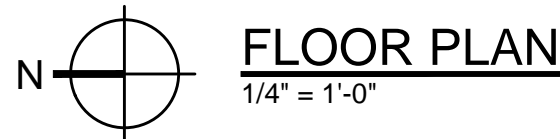
1. Provide fireblocking at 10' intervals in the wall both horizontally and vertically per (CRC R302.11).
2. The openings around gas vents, ducts, pipes, chimneys, and fireplaces at the ceiling and floor levels shall be fireblocked with noncombustible materials. (CRC R302.11.4).
3. Fireblocking is required at the opening between the attic space and the chimney chase for the factory-built chimneys. (CRC R1003.19).
4. If a fire alarm system is integrated into a security system, the fire alarm system drawings must be submitted to the local fire jurisdiction for approval prior to installation.
5. The State of California requires **smoke and carbon monoxide alarms** to be installed in all residential buildings. (California Residential Code Sections R312.2 and R314.3.3 requires a 10-year lifespan for smoke alarms/detectors; units that are older than 10-years need to be replaced. battery type units must have a 10-year battery life. smoke, carbon monoxide or multiple-purpose alarms (carbon monoxide and smoke alarms) must be approved and listed by the state fire marshal. The devices must be installed per the manufacturer's instructions. In **new construction** each smoke detector shall be installed per manufacturer's instructions with a house wiring as the primary power source with battery backup. **In remodels**, the devices must be replaced by battery only. smoke detectors shall sound an audible alarm in all sleeping areas of the dwelling unit in which they are located.

- A) In each room used for sleeping purposes
- B) In each hallway outside of the sleeping room(s)
- C) On each level of the dwelling, including basements

A) Outside of each sleeping room in the immediate vicinity of the bedroom(s)
B) On each level of the dwelling, including basements

1. Contractor is to verify that the project when completed shall comply with the water permit issued by the governing jurisdiction.
2. Accessible under floor areas shall be provided with an 18"x24" min. access within 20' of all plumbing cleanouts (CBC 1209.1 & CPC 707.10).
3. Shower heads with a flow rate shall not exceed 2.0 gallons per minute @ 40 p.s.i. Control valves and showerheads shall be located on the sidewall of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray. (CPC 408.9)
4. (E) Toilets with a flow rate that exceeds 1.6 gpf need to be upgraded (or any new toilet) with a max. flow of 1.28 gpf.
5. (E) Lavatory faucets with a flow rate that exceeds 2.2 gpm need to be upgraded (or any new faucet) with a max. flow rate at no more than 1.2 gallon-per-minute.
6. (E) Kitchen faucets with a flow rate that exceeds 2.2 gpm need to be upgraded (or any new faucet) with a max. flow rate at no more than 1.8 gpm.
7. Water pressure in the building shall be limited to 50 p.s.i. or less.
8. Provide pressure absorbing devices, either an air chamber or approved mechanical devices that will absorb high pressure resulting from the quick closing of quick-acting valves. (CPC 609.10)
9. All shower compartments, regardless of shape, shall have a minimum interior floor area of 1,024 sq. in., and also capable of encompassing 30" diameter circle (CPC 411.7)
10. Provide 30" width clear in the toilet compartment and 24" clear in front of the bowl to the wall (CPC 407.5).
11. Provide non-removable backflow prevention devices on all exterior hose bibs.
12. Maximum hot water temperature discharging from bathtubs & showers shall be limited to 120°F. (CPC 414.5 & 418.0)
13. **SHOWER AND TUB**-shower combinations shall be provided with individual control valves of the pressure balance, thermostatic or combination pressure balance/thermostatic mixing valve controls type and installed in a 2x6 stud wall. (CPC 418.0)
14. **IN NEW CONSTRUCTION** - all hot water fixtures that have more than 10' of pipe from the fixture to the hot water heater serving the fixture shall be equipped with a hot water recirculating system.
15. Plumbing lines utilized as grounds are prohibited.

1. **FURNACE OR WATER HEATERS** located in the crawl space or attic shall have a min 30"x30" access opening located within 20" of the equipment and a min 24" wide continuous solid walkway from access to unit (CMC 904.11). Where an under-floor entrance is supported from above, a minimum 6" clearance shall be provided from finished grade (CMC 904.3.1.2)
2. Minimum 30"x30" unobstructed level working space in front of F.A.U. (CMC 904.11)
3. A permanent 120-volt receptacle outlet and a lighting fixture shall be installed near the appliance, the switch controlling the lighting fixture shall be located at the entrance to the passageway (CMC 904.1.5 & NFPA 54.9.5.2)
4. **FURNACES LOCATED IN THE GARAGE**, all air ducts that penetrate the garage/residence fire separation wall shall be constructed of 26 gauge steel with no openings in the garage.
5. **WATER HEATERS** or cooling units located in the attic shall have a second watertight pan installed beneath the unit per (CMC 310.2)
6. Appliances which generate a glow, spark, or flame (such as water heater and furnace) shall be located a minimum of 18 inches above garage floor.
7. Where it is required to move under ducts for access to areas of the crawlspace, a minimum vertical clearance of 18" shall be provided (CMC 604.1).
8. **KITCHEN HOOD** - a ducted residential exhaust hood is required, a metal, smooth interior surface duct required on vent hood or duct draft exhaust vent, aluminum flex duct not approved; provide back draft damper. CMC504.2 minimum 30" vertical clearance to combustibles from cook top surface. CMC504.2. Kitchen local exhaust ventilation requires a minimum rate of 100cfm meeting the requirements of ASHRAE 62.2, this includes a minimum sound rating of 3 sone @ 100cfm.



1. Floor elevations at the required Egress Door (1 required) (CRC §311.3.1) landings or floors at the required egress door shall not be more than 1'-1/2" lower than the top of the threshold for outswing doors and 7'-3/4" for swinging or sliding doors. Non-egress doors (CRC §311.3.2) - landings or floors shall be no more than 7'-3/4" lower than the top of the threshold for inswinging, outswing, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.	10. Skylight - see roof plan for size and detail location
2. Landing at doors (CRC §311.3) - min. depth 36", min. width shall be not less than the width of the door served. Landing may have a slope not to exceed 2% (1/4" vertical in 12" horizontal).	11. Casework- 24" base cabinet/workbench, owner to select finish, countertop & layout
3. Terraces and patios- slope at min. 1/4" per ft. away from structure and toward drainage system - see civil drawings	12. Attic space and access (CRC §807.1) attic opening shall be min. 22"x30" with 30" min. head clearance and is required when an attic area exceed 30 sq ft and has a vertical height of 30" or greater.
4. Hose bib- provide shut off valve for all hose bibs located near the garage or water main. all hose bibs shall have a non-removable back flow device per cbc 603.3.7.	13. Kitchen sink with garbage disposal- owner to select make and model
5. Fire separation wall (CRC §302.6) provide 5/8 type "x" gyp. bd. over framing at walls and ceiling	14. Casework- 24" base cabinet with 14" upper cabinet. owner to select finish, countertop & layout.
6. Garage Floor- Provide: 6.1. concrete slab & control joints per structural drawings 6.2. seal concrete with concrete sealer 6.3. slope toward garage doors for drainage (min. 2") 6.4. a6" curb at all walls for termite and water protection 6.5. protect finish slab during construction with protection board	15. Casework- island with drawers below. owner to select finish, countertop & layout
7. On Demand water heater	16. Casework- full height linen cabinet with adjustable shelves
8. Water softener	17. Casework- slide out trash/recycle center
9. Venting- provide 100 sq. in. of venting within the top 12" and bottom 12" of the door/wall for combustion air for fuel burning appliances	18. Coffee bar- 36" base cabinet with 14" drawers below. owner to select finish, countertop & layout
	19. Not used
	20. 24" dishwasher- low-flow per standards- owner to select make & model
	21. Range top- 36" wide with drawers below. owner to select make & model
	22. Oven with convection microwave- 30" wide- owner to select make & model
	23. Refrigerator- 36" wide, provide recessed plumbing for ice maker- owner to select make & model
	24. Shower- provide: 24.1. 24" wide minimum (outswing) tempered glass door, door optional 24.2. shampoo recess, soap shelf & seat per owner's specifications

Floor Plan Notes:

- Refer to general building notes on this sheet for additional notes.
- SEE DOOR & WINDOW SCHEDULE ON SHEET A2.3

A2.1

WINDOW & SKYLIGHTS NOTES

1.

CONTRACTOR TO VERIFY ALL ASPECTS OF THE WINDOWS WITH OWNER AND HAVE THE OWNER SIGN OFF ON ALL SIZES, MATERIALS, AND COLORS PRIOR TO ORDERING.
2.

All casement windows used in bedrooms as emergency egress must be "break away" type to ensure complete openable area for access. Egress windows shall have a minimum net openable area of 5.7 square feet. the minimum net clear openable height dimension shall be 24". The minimum net clear openable width dimension shall be 20". When windows are provided as a means of escape or rescue, they shall have the bottom of the clear opening not greater than 44" measured from the floor (CBC 1026.2 & 1026.3)
3.

Window dimensions are proposed rough opening sizes. general contractor is to verify manufacturer's nearest stock sizes. all window sizes, shapes, colors, hardware, screens, glazing, etc. must be approved in writing by owner prior to ordering.
4.

Specialty windows shall be coordinated with the general contractor for site verification and installation.
5.

All windows are to be double glazed.
6.

Owners to specify which window are to be low 'e'.
7.

Tempered Glazing Required per R308.1

7.1.

All glazing located in hazardous locations as defined in Section R308.4.1 through R308.4.7 shall be tempered glass or wire safety glass

7.2.

R308.4.1 Glazing in fixed or operable doors

7.3.

R308.4.2 Glazing in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60" above the walking surface shall be safety glass.

7.4.

R308.4.3 Glazing in windows where the individual pane is 9 sf or larger, the bottom edge of glazing is less than 18" above the floor, the top edge of glazing is more than 36" above the floor, one or more walking surface are within 36" measured horizontally and in a straight line, of the glazing.

7.5.

R308.4.4 Glazing in guards and railing

7.6.

R308.4.5 Glazing and wet surfaces- Glazing in wet areas where the bottom edge is less than 60" measured vertically above any standing or walking surface.

7.7.

R308.4.6 Glazing adjacent to stairs and ramps- where bottom exposed edge is less than 36" above the adjacent walking surface of stairways, landings between flights of stairs and ramps.

7.8.

R308.4.7 Glazing adjacent to bottom of stair landing- Glazing adjacent to the bottom of a stairway where the glazing is less than 36" above the landing and within 60" horizontally of the bottom tread.
8.

Skylights R308.6.2- may have the following glazing:

8.1.

Laminated glass with a minimum .015-inch ployvinyl butyral interlayer for glass panes 16 sf or less in area located such that the highest point of the glass is not more than 12 feet above the walking surface or other accessible area; for higher or larger sizes, the minimum interlayer thickness shall be .030 inch.

8.2.

Fully tempered glass

8.3.

Heat-strengthened glass.

8.4.

Wired glass.

8.5.

Approved rigid plastics.

DOOR NOTES

1.

CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER AND HAVE THE OWNER SIGN OFF ON ALL SIZES, MATERIALS, AND COLORS PRIOR TO ORDERING.
2.

All glazing in doors shall be temp. glass.
3.

Door sizes shown are proposed rough opening sizes. general contractor to verify manufacturer's nearest stock sizes for designer/owner to review and approve.
4.

Specialty doors shall be coordinated with general contractor for site verification and installation.
5.

All exterior doors shall have pan. & brass (weather resistant) hinges.
6.

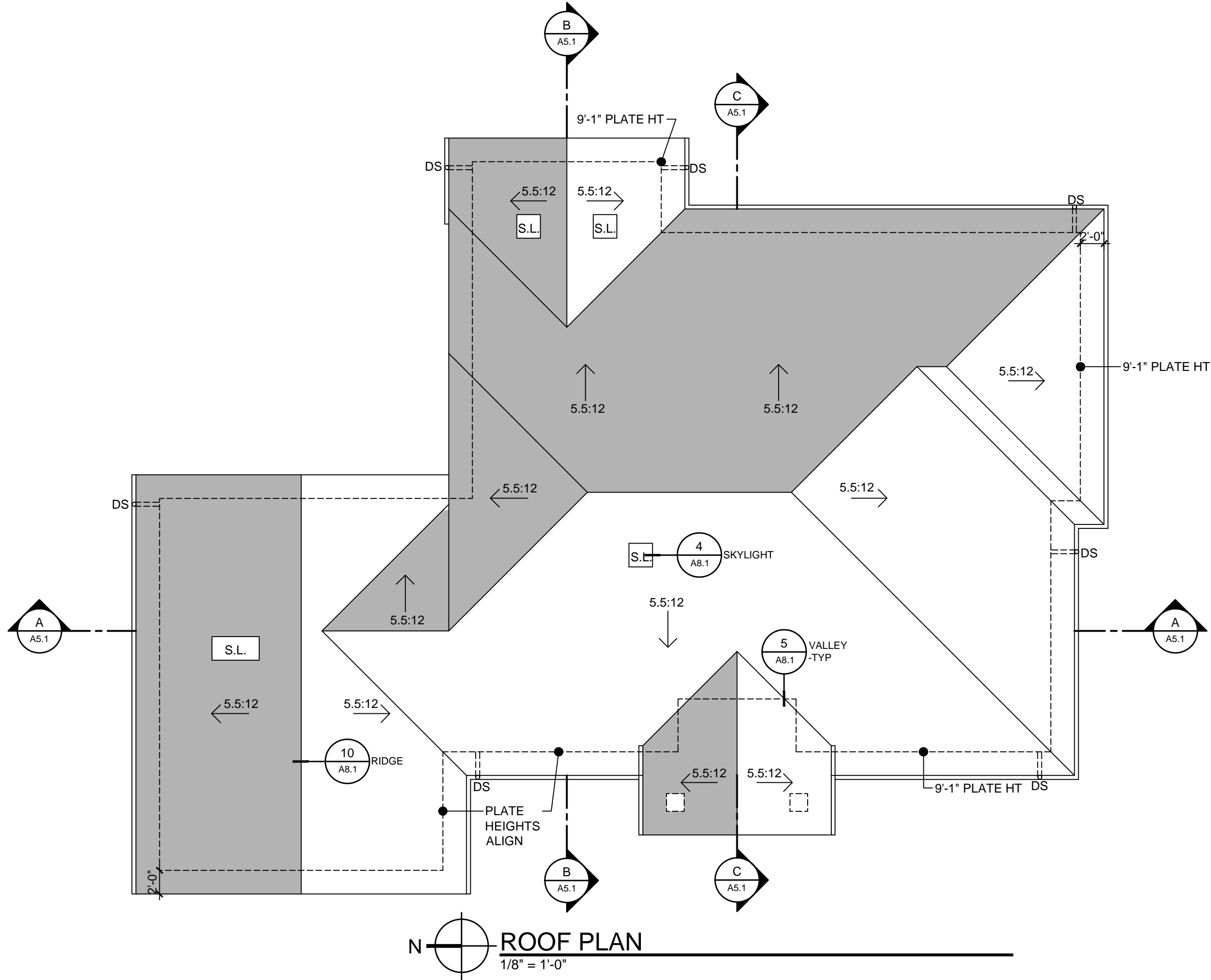
All exposed edges to be sealed to prevent moisture fenestration and warping.
7.

All french doors are to have dead bolts.
8.

Any door in a 1-hour rated wall shall be 20 minute fire rated, 1-3/8", tight fitting, self closing and self latching per CRC R302.5

DOOR SCHEDULE							
DOOR #	LOCATION	WIDTH	HEIGHT	THICK	MATERIAL	ACTION	TYPE
1	GARAGE	9'0"	7'0"	1-3/4"	WD	OH	STAINED
2	GARAGE	9'0"	7'0"	1-3/4"	WD	OH	STAINED
3	GARAGE	3'0"	6'8"	1-3/4"	WD	SWING	PAINTED
4	MECH. RM	5'0"	6'8"	1-3/8"	WD	SWING	PAINTED
5	LAUNDRY	2'6"	7'0"	1-3/8"	WD	SWING	PAINTED
6	LAUNDRY	2'10"	7'0"	1-3/8"	WD	SWING	PAINTED
7	GARAGE	3'0"	7'0"	1-3/8"	WD	SWING	PAINTED.SEE DOOR NOTE 8
8	HALL	2'4"	7'0"	1-3/8"	WD	SWING	PAINTED
9	BEDROOM 1	5'0"	7'0"	1-3/8"	WD	SLIDER	PAINTED
10	BEDROOM 1	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
11	BATH 1	2'6"	7'0"	1-3/8"	WD	SWING	PAINTED
12	POWDER RM	2'6"	7'0"	1-3/8"	WD	SWING	PAINTED
13	ENTRY	6'0"	7'0"	1-3/4"	WD	SWING	FRENCH - ARCHED
14	ENTRY	5'0"	7'0"	1-3/8"	WD	SWING	PAINTED
15	BATH 2	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
16	BEDROOM 2	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
17	BEDROOM 2	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
18	MASTER BATH	2'6"	7'0"	1-3/8"	WD	SWING	PAINTED
19	MASTER BED	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
20	LIVING ROOM	12'0"	7'0"	1-3/8"	VINYL	SLIDER	
21	DINING ROOM	8'0"	7'0"	1-3/8"	VINYL	SLIDER	
CONTRACTOR TO VERIFY ALL SIZES WITH OWNER							
PROVIDE GALV PAN UNDER ALL EXTERIOR DOORS							

WINDOW SCHEDULE							
WDW #	LOCATION	WIDTH	HEIGHT	HEAD HT	JAMB	ACTION	TYPE
1	BATH 1	3'0"	2'0"	7'0"	3-1/2"	HORZ SLIDER	TEMP
2	BEDROOM 1	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
3	LAUNDRY	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	TEMP
4	HALL	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
5	KITCHEN	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
6	KITCHEN	2'6"	3'8"	7'0"	3-1/2"	HORZ SLIDER	
7	KITCHEN	2'6"	3'8"	7'0"	3-1/2"	HORZ SLIDER	
8	MASTER BD RM	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
9	MASTER BD RM	2'6"	4'0	7'0"	3-1/2"	HORZ SLIDER	
10	MASTER BD RM	2'6"	4'0	7'0"	3-1/2"	HORZ SLIDER	
11	MASTER BATH	2'6"	2'0"	7'0"	3-1/2"	HORZ SLIDER	TEMP
12	MASTER CLO	2'0"	2'0"	7'0"	3-1/2"	HORZ SLIDER	
13	BEDROOM 2	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
14	BEDROOM 2	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
15	BATH 2	3'0"	2'0"	7'0"	3-1/2"	HORZ SLIDER	TEMP
16	GARAGE	3'0"	1'8"	8'10"	3-1/2"	PICTURE	TRANSOM-TEMP
17	GARAGE	3'0"	1'8"	8'10"	3-1/2"	PICTURE	TRANSOM-TEMP
18	GARAGE	3'0"	1'8"	8'10"	3-1/2"	PICTURE	TRANSOM-TEMP



GENERAL ROOF & CHIMNEY NOTES

1.

Roof Material = Class 'A' Concrete tile
2.

Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3.

Roof Slope = 6/12 unless otherwise noted
4.

Overhang = 24" unless otherwise noted
5.

Ogee gutters with round downspouts
6.

Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location

PROJECT NAME:

WILSON
RESIDENCE

1070 TRAPPERS TRAIL
PEBBLE BEACH, CA
93953

APN: 007-473-012

MOORE DESIGN

RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PB SUBMIT	10-3-2017
PLN SUBMIT	10-18-2017
PB RE-SUBMIT	10-26-2017
BLDG SUBMIT	2-23-2018

PRINT DATE: 3/14/2018

MEMBER

A

B

D

AMERICAN INSTITUTE of
BUILDING DESIGN

All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of Moore Design, LLC. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with Moore Design, LLC, and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

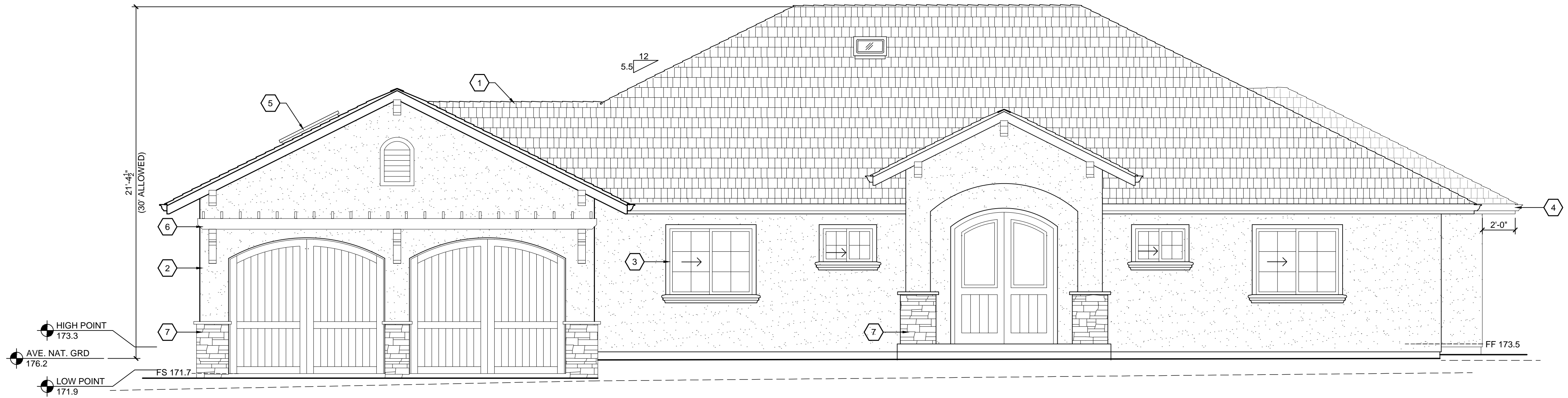
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

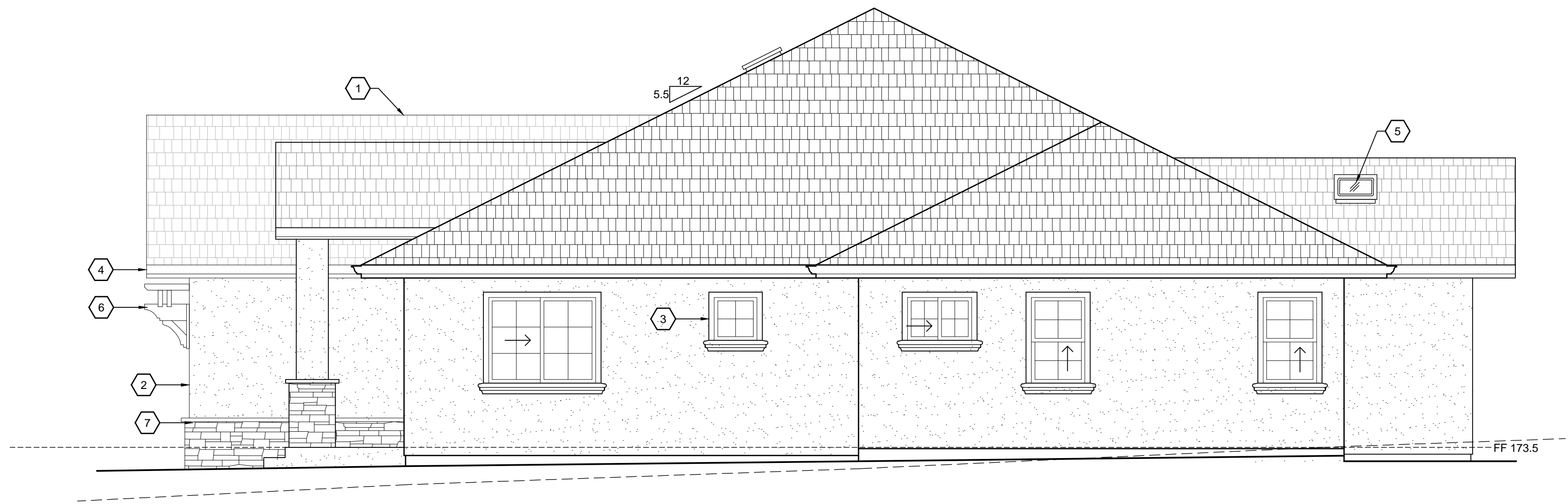
A2.3



1 WEST ELEVATION
1/4" = 1'-0"

SHEET NOTES

1. ROOF - CLASS 'A' FLAT CONCRETE TILE
2. WALLS - ELASTOMERIC PAINT OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTESIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE 'D' BLDG. PAPER.
3. WINDOWS - DOUBLE PANE WHITE VINYL WINDOWS
4. GUTTERS - OGEE GUTTERS WITH 3" ROUND DOWNSPOUTS.
5. SKYLIGHT
6. TRELLIS
7. STONE VENEER



2 SOUTH ELEVATION
1/4" = 1'-0"

PROJECT NAME:

WILSON
RESIDENCE

1070 TRAPPERS TRAIL
PEBBLE BEACH, CA
93953

APN: 007-473-012


MOORE DESIGN
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PB SUBMIT	10-3-2017
PLN SUBMIT	10-18-2017
PB RE-SUBMIT	10-26-2017
BLDG SUBMIT	2-23-2018

PRINT DATE: 3/14/2018

MEMBER

A | I
B | D

AMERICAN INSTITUTE of
BUILDING DESIGN

All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of Moore Design, LLC. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with Moore Design, LLC, and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

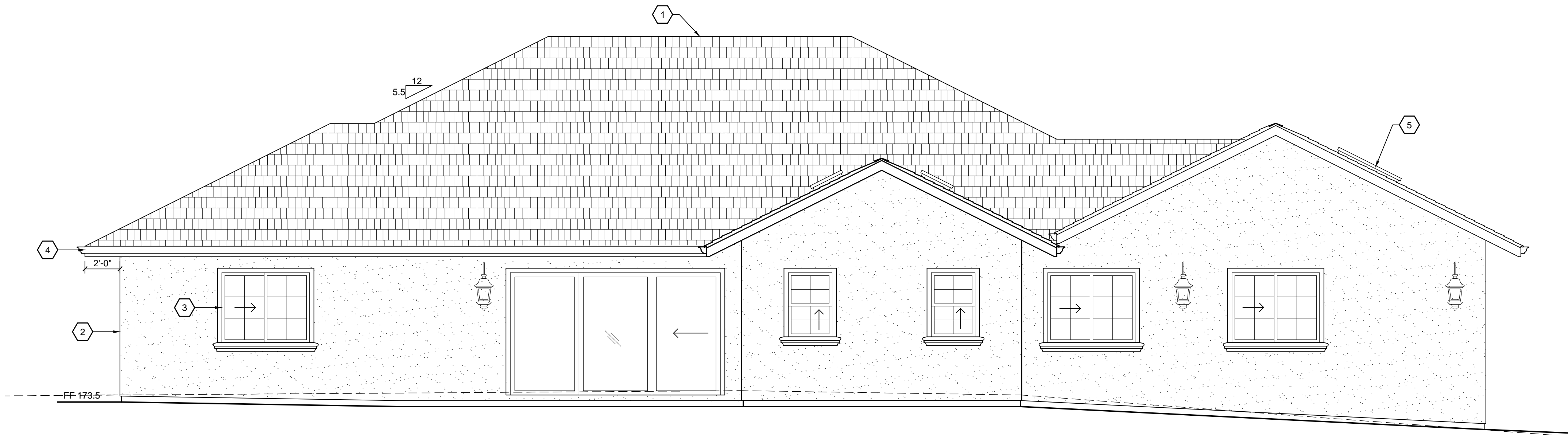
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

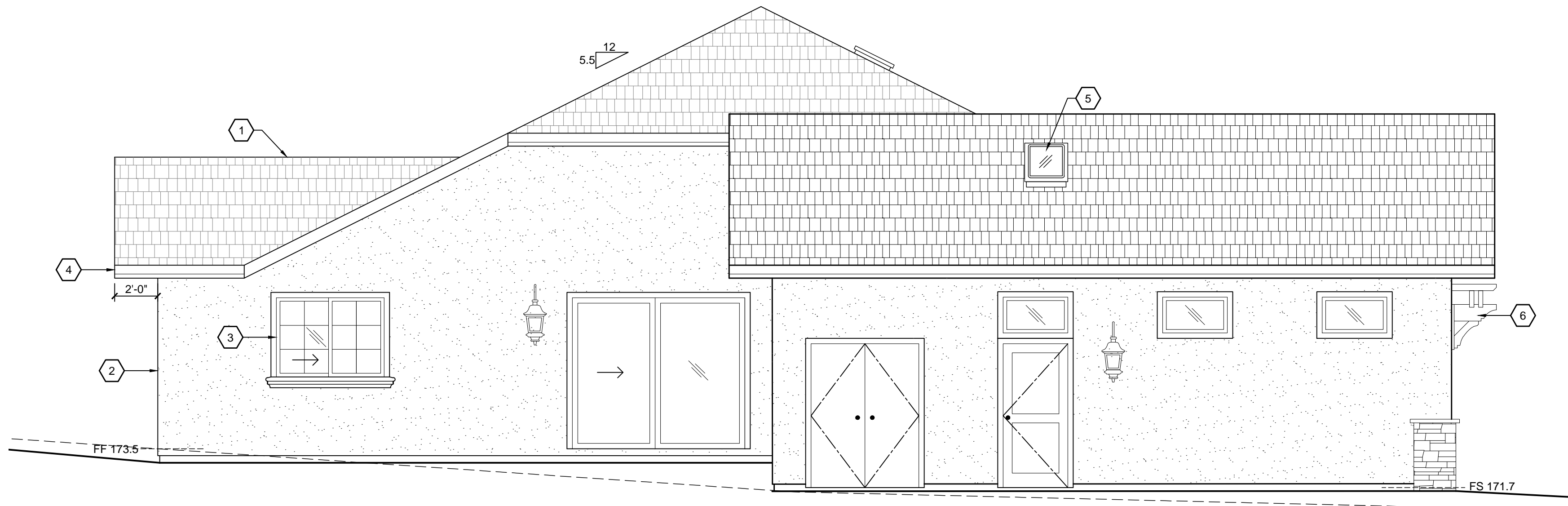
A4.1



1 EAST ELEVATION
1/4" = 1'-0"

SHEET NOTES

1. ROOF - CLASS 'A' FLAT CONCRETE TILE
2. WALLS - ELASTOMERIC PAINT OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTESIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE 'D' BLDG. PAPER.
3. WINDOWS - DOUBLE PANE WHITE VINYL WINDOWS
4. GUTTERS - OGEE GUTTERS WITH 3" ROUND DOWNSPOUTS.
5. SKYLIGHT
6. TRELLIS
7. STONE VENEER



2 NORTH ELEVATION
1/4" = 1'-0"

PROJECT NAME:

WILSON
RESIDENCE

1070 TRAPPERS TRAIL
PEBBLE BEACH, CA
93953

APN: 007-473-012


MOORE DESIGN
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PB SUBMIT	10-3-2017
PLN SUBMIT	10-18-2017
PB RE-SUBMIT	10-26-2017
BLDG SUBMIT	2-23-2018

PRINT DATE: 3/14/2018

MEMBER

A | **B**
D

AMERICAN INSTITUTE of
BUILDING DESIGN

All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of Moore Design, LLC. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with Moore Design, LLC., and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A4.2

COLOR AND MATERIAL SAMPLES FOR WILSON RESIDENCE

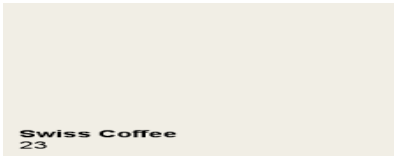
1070 Trappers Trail
PEBBLE BEACH, CA.
APN#: 007-473-012



ROOFING (EAGLE FLAT CONCRETE TILE)
BEL AIR 4697 SLATE RANGE



WALLS (KELLY MOORE 27 BONE LVR69)



TRIM & GUTTERS (KELLY MOORE 23 SWISS COFFEE LVR86)



WINDOWS (WHITE VINYL MILGARD)



EL DORADO STONE (LIMESTONE)