

# Exhibit E

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**Phase Two Historic Assessment of 1600 Viscaino Road, Pebble Beach, CA 93953**  
**APN: 008-201-002-000**

Submitted By

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Prepared for:

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**August 18, 2017**

**Construction:** 1928 (Monterey County records indicate 1929)  
**Property Type:** Single-family dwelling and guesthouse  
**Other Resources:** None  
**Map:** 36.572160, -121.933142

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## Introduction

This document constitutes that reporting requested by the County of Monterey, and required of the property owners for compliance with the required Phase Two Historic Assessment of the property located at 1600 Viscaino Road, Pebble Beach, CA 93953. The property is listed as Assessor's Parcel Number 008-201-002-000 and is 0.83409 acres. The nearest cross streets to the property are Ronda and Spruance Streets. This report is mandated pursuant to Section 21.66.050.C of the Zoning Ordinance and as per the provisions of Policy OS-6.3; 2010 Monterey County General Plan.

Given that the property under consideration is located within the County of Monterey, and construed as lying within one of the most archaeologically and historically sensitive resource zones in the State of California, this report is required for compliance with the California Environmental Quality Act (CEQA). Therefore, the region is considered both historically and archaeologically sensitive, and likely to produce archaeological and historical resources. As such, it was determined that because (a) the buildings (including both the main house and guesthouse) date to 1928 (Monterey County records indicate 1929), and thereby fall beyond the minimum 45-year age for those buildings or structures that trigger such historical studies and assessments, and (b) given that the buildings under review have been determined to have historical significance and have since been listed on the Monterey County Local Official Register of Historic Resources, this study was undertaken as per compliance protocols.

Archives & Archaeology began the assessment of the historic resources for the Dorman Project (hereafter Proposed Project) on January 26, 2017 and completed the assessment on May 6, 2017. Completion of that archival research required for this study entailed a review of pertinent documentation housed or otherwise featured via a host of area and regional archives and libraries, including the Monterey Public Library California History Room (Monterey), Harrison Memorial Library (Carmel), Pacific Grove Public Library (Pacific Grove), the Robert B. Johnston Archival Vault, Monterey County Archives (Salinas), Monterey County Assessor (Salinas), the Pebble Beach Company Lagorio Archive (Pebble Beach), and the California Office of Historic Preservation (CA-OHP, Sacramento).

The following review of findings establishes that the proposed project will not cause a significant impact to the environment because it conforms to the *Secretary of Interior's Standards for the Treatment of Historic Properties* under the treatment of Rehabilitation.

### *Professional Qualifications*

This Phase Two Historic Assessment of the Dorman property was initially requested by the Claudio Ortiz Design Group (<http://codginc.com/>) on behalf of the owner, Mr. Paul Dorman, on Jan 10, 2017. The on-site field survey for the Phase Two Historic Assessment was subsequently scheduled and conducted by Dr. Rubén G. Mendoza, PhD, the Project Historian and Principal for Archives & Archaeology - Archaeological & Historical Resources Consulting

(<http://ArchivesArchaeology.com>), and Cultural Resources Management Research Associate Jennifer A. Lucido, MA, on January 26, 2017.

Archives & Archaeology Principal Investigator Rubén G. Mendoza Ph.D., RPA, is a University of Arizona trained Archaeology and Cultural Resources Management specialist who completed the MA degree in Anthropology at the University of Arizona in 1980, and the PhD at the same institution in 1992. His BA degree in Anthropology and History was completed in 1978 at the California State University, Bakersfield. His long established interest in archaeologically and ethnohistorically-mediated architectural histories remains a defining characteristic of his scholarship and career, and has resulted in scores of publications and reports, including peer-reviewed journal articles and book chapters spanning Precolumbian, Spanish Colonial, Spanish and Mediterranean/Mission Revival, and other contemporary California architectural styles and traditions. To that end, he has a forthcoming Rizzoli International book concerned with the architectural histories of the Spanish California missions (forthcoming Spring 2018), and another under contract review with Rizzoli International regarding the Andalusian/Spanish impact on the architects and architecture of contemporary California.

Under City of Salinas business licenses identified with both Archaeological and Historical Resource Consulting and Archives & Archaeology, Dr. Mendoza has undertaken archaeological and historical resources consulting on the Central Coast, specifically Monterey, Santa Cruz, San Benito, and San Luis Obispo counties, since the year 2000. His work with California contractors, engineers, conservators, and other historic preservationists spans the period from 1995 to the present. In addition to a host of residential and business clients, our client list includes: Architectural Conservation LLC; ARG – Architectural Resources Group; Lino Belli, AIA, Belli Architectural Group; Brett Brenkwitz and Charles Franks, Franks, Brenkwitz & Associates; Gretchen Flesher, GFA – Gretchen Flesher Architecture; John Swift, Hamilton Swift & Associates - Integrated Land Use and Development Services; Page & Turnbull; Pacific Grove Public Library; The Roman Catholic Diocese of Monterey (Old Mission San Juan Bautista HSR, San Carlos Borromeo, The Royal Presidio Chapel Conservation Project, San Miguel Arcángel HSR, Maryknoll Rectory, San Juan Bautista HSR, Mission Nuestra Señora de la Soledad); United States National Park Service; San Antonio Missions National Historical Park / UNESCO World Heritage List Consultant. He has been recognized for exemplary contributions to the historic preservation of early California architecture with the granting of the California Preservation Foundation Award (2008), the California Mission Directors and Curators Conference Father Fermín Francisco de Lasuén Award (2013), and the California Missions Foundation/California Mission Studies Association Norman Neuerburg Award (2016).

Archives & Archaeology Research Associate / Cultural Resources Manager Jennifer A. Lucido, completed the MA degree in Cultural Resources Management at Sonoma State University in 2015. She completed the BA degree in Social & Behavioral Sciences with a concentration in Archaeology at California State University, Monterey Bay, where she is presently an Adjunct Faculty member. Ms. Lucido has published widely on the topic of early California, and Spanish colonial architecture. Her scholarly contributions in “furthering the preservation and protection of the California Missions” were acknowledged by the California Mission Curators and Directors

Conference with the granting of the Father Fermín Francisco de Lasuén Award (2014). She is co-Principal and author for a host of major academic grants and fellowships, including the 2013 National Endowment for the Humanities Landmarks of American History and Culture: Workshops for School Teachers Grant (\$180,000), and the 2013 NEH Digital Enhancement Supplement Grant (\$12,000). Ms. Lucido's expertise centers on Cultural Resources Management and historic assessments and architectural resource studies. Her current body of academic research seeks to fully interpret the architectural history, ethnogenesis, and archaeological heritage of the Spanish Royal Presidio of Monterey for the period spanning 1770-1848.

### *Description of the Proposed Project*

The proposed project for a combination permit (Record 16CP03488) was initiated on December 2, 2016 with the County of Monterey (ACA 2017). The developer for the proposed project is the Claudio Ortiz Design Group, Inc. (CODG, Inc.) of Carmel-by-the-Sea, California. According to Record 16CP03488, the project description for the proposed project is as follows:

Remodel 1200 square feet. Remove existing powder room and tub/shower in the bathroom, add a new shower to the second level, remodel existing garage, install new French doors [PLN170017] and new ceiling, relocate the ground level bathroom door to face kitchen. New arch way by the living room and hallway (ACA 2017).

The proposed project for a discretionary permit (Record PLN 170052) was initiated on January 20, 2017 with the County of Monterey (ACA 2017). According to Record PLN 170052, the project description for the proposed project is as follows:

Coastal Administrative Permit and Design Approval to allow the addition of 1,200 square feet to a detached accessory structure (historical cottage). The property is located at 1600 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-201-002-000), Del Monte Forest Land Use Plan, Coastal Zone (ACA 2017).

A related building permit for the proposed project (Record 17CP00291) was initiated on February 3, 2017. The developer for this aspect of the proposed project is Frank Bruno Builder, Inc., Carmel-by-the-Sea, California (ACA 2017). According to Record 17CP00291, the project description for the proposed project is as follows:

Demolition permit to demo existing Powder room walls, bathroom three walls and a three-car interior walls related to Construction Permit 16CP03488 (ACA 2017).

According to the CODG, Inc., the scope of work for the proposed project consists of the following modifications (CODG, Inc. Cover Page: Issue 0-00-16, Project No. 16-14):

- 1) Covered breezeway from cottage to apartment
- 2) Cottage to remain with no added square feet. Remodel interior main and upper level
- 3) Apartment to be fully remodeled and enlarged

- 4) Main level addition with added kitchen, dining, living room, and elevated stone patio
- 5) Upper level addition for interior stair to remodeled second floor apartment.

Currently the main house, or Caretaker's Unit, and the Detached Garage / Guesthouse Unit (hereafter, Guesthouse Unit) are not presently occupied, but will be used for residential and or guest purposes. The Guesthouse Unit consists of two apartments, one at the lower level, which originally served as a detached garage, and an upstairs apartment. The New Main Level Addition has been designed to conform to those character-defining features that characterize the Chimney Cottage (both the Caretaker's Unit and the Guesthouse Unit) dated to 1928. The shale cladding to be used conforms most closely with that identified with exterior treatments installed as per rehabilitation in 1966, during which time the Caretaker's Unit was subjected to the replacement of much of the original hand-worked shale cladding of 1928 with machine-cut shale cladding for virtually all non-structural external surfaces presently identified with the Caretaker's Unit in 1966.

### *Research Procedures*

On January 26, 2016, the Archives & Archaeology Project Historian (Mendoza) and CRM Associate investigator (Lucido) undertook an initial architectural survey and historical study of the property under consideration. Documentation was predicated on an on-site photographic survey and detailed study of construction features and architectural elements identified with the main historic dwellings identified with the aforementioned address. Photography addressed the documentation of all exposed elevations of the Chimney Cottage buildings and their interiors. The completion of the on-site portions of the photographic survey and architectural review were followed by the analysis of construction details from photographic elevations, architectural plans provided by the Claudio Ortiz Design Group (CODG), and additional information available from public records and area archives and repositories. Much of the latter information was available from planning documents, including that of the Pebble Beach Historic Context Statement, Pebble Beach, Monterey County, California (2013) prepared by Page & Turnbull, Inc., and other documentary sources pertaining to the Monterey County APN Search, GIS-based online databases and mapping tools, and other available documentary sources for the region specifically pertinent to this historical study.

In anticipation of the study, available maps were reviewed for historic resources, parcel information was collected, and the parcel was plotted onto those maps obtained. The preliminary efforts in question were undertaken in order to facilitate a records search from the Northwest Information Center of the California Historical Resources Information System (NWIC) housed at Sonoma State University. The NWIC is one of ten CHRIS centers affiliated with the State of California Office of Historic Preservation (OHP) in Sacramento. One of the principal functions of the NWIC is to manage historical resource records (prehistoric and historic), reports, and maps. A records search (a) identifies previously documented or studied reports, maps, and site records within or adjacent to the study area, and (b) helps to determine the likelihood of unrecorded cultural resources based on archaeological, ethnographic, and historical documents and literature, and on the environmental setting of nearby sites. This

included a review of the following literature: California Inventory of Historic Resources (California Department of Parks and Recreation 1976), and the Historic Properties Directory (CA-OHP 1990, 1992, 1998, and 2008).

The NWIC Records Search for the Dorman parcel was requested by Archives & Archaeology on January 29, 2017 and was completed on February 2, 2017 by researcher Jessika Akmenkalns. The records search indicated that no archaeological resources had been previously recorded within the project area. Nevertheless, the NWIC records search confirmed the existence of three previous reports that encompassed the project area, and include S-5434, S-15071, S-34804, and 11 other studies within the records search radius (S-15529, S-30204, S-30789, S-848, S-2164, S-3455, S-3456, S-5537, S-32596, S-37714, and S-45010). As such, it is clear that the region within which the parcel is located is highly sensitive as per extant historic and cultural resources. However, in this instance, the 11 reports within the project area are classified by the NWIC as “Other Reports.” This designation signifies that these eleven reports have little or no field work, and or are missing maps.

In addition, Archives & Archaeology logged research time in local archives and libraries in Monterey County. The objective of these research visits was to locate and review both primary source documents and secondary resources to identify the property owners for the Chimney Cottage property from 1928 to the present. Said sources included books and manuscripts specific to local history, area newspapers, early 20th century City and County directories, census / population schedules, historic maps, and other related materials. Archives and repositories central to this study included: the California History Room, Monterey Public Library (Monterey), the Mayo Hayes O'Donnell Library (Monterey), the Henry Meade Williams Local History Department Collection of the Harrison Memorial Library (Carmel), the Pacific Grove Public Library (Pacific Grove), and the Pebble Beach Company Lagorio Archive (Pebble Beach).

#### *Current Listing of the Property*

The property is currently listed on the Monterey County Local Official Register of Historic Resources, identified as the “Chimney Cottage” (Page & Turnbull, Inc. 2013: 87). On December 4, 2007, the Monterey County Board of Supervisors approved the LeVett application to add the Chimney Cottages (including both the main house and guesthouse as per Monterey County) to the County's Local Official Register of Historic Resources by a 4 to 0 vote (Novo 2008; Application No. PLN070428).

### **Historical Background**

The Dorman property is located within the unincorporated community of Pebble Beach, California, and its Chimney Cottage units constitute a significant historic resource in Pebble Beach. Pebble Beach is located within the confines of two former Spanish era land grants, *Punto de Pinos Rancho* and *Rancho El Pescadero* (Pebble Beach Company 1984). *Punto de Pinos* was owned by José María Armenta and José Abrigo (USGLO 2016: 19). However, the

land was later claimed by L.E. Page, et al, on December 29, 1835, and was later claimed by John C. Gore on May 20, 1846 (Ebinger 1981: 23).

From circa 1880 to 1919, the Del Monte Forest was owned by the Pacific Improvement Co. (P.I. Company), which used the land primarily for cattle ranching (Pebble Beach Company 1984). In 1919, Samuel F.B. Morse was the manager of P.I. Company; he and his partner Herbert Fleishacker, the President of Anglo Bank, San Francisco, formed Del Monte Properties Company (DMPCo.; Pebble Beach Company 1984). Through this new company, they purchased 7,000 acres of Del Monte Forest for \$1,300,000 (Pebble Beach Company 1984). In addition, DMPCo also purchased a log cabin lodge, various cottages at Pebble Beach, the Del Monte Hotel (Monterey), Monterey County Water Works, Pacific Grove Sand Plant, Pacific Grove Hotel, some land in Carmel Valley, and residential lots in Pacific Grove, all of which was sold in a subsequent land auction (Pebble Beach Company 1984). Morse was known as “Duke of Del Monte” until his death in 1969. Today, Pebble Beach consists of 5,300 acres and some 74 miles of roads (Pebble Beach Company 1984). Pebble Beach is bordered by the cities of Pacific Grove, Monterey, and Carmel (Pebble Beach Company 1984).

#### *Pebble Beach Historic Context Statement*

The Pebble Beach Historic Context Statement is organized by seven themes: a) Residential Development, b) Commercial Development, c) Landscape Development & Preservation, d) Recreation, Leisure & Tourism, e) Transportation & Infrastructure, f) Resource Extraction, and g) Social and Economic Trends (Page & Turnbull, Inc. 2013: 12). The Dorman property is most closely associated with the theme of Residential Development of Pebble Beach.

During the 1920s, the Del Monte Properties Company established the “Mediterranean type” (Page & Turnbull, Inc. 2013: 113). This style consists of a mixture of Mission Revival, Italian Villa style, and Spanish Colonial Revival style elements, including that of a red tile roof, stucco-clad walls, and rounded or arched windows (Harris 2005: 625).

Most “Mediterranean type” buildings in Pebble Beach bore elevations with stuccoed walls (Page & Turnbull, Inc. 2013: 87). In contrast, the Chimney Cottage is one of several residences in Pebble Beach that employed partial stone cladding in addition to stucco (Page & Turnbull, Inc. 2013: 87). Notably, the only other such residential building in the area to make use of stone or shale cladding is located at 3426 17-Mile Drive, Pebble Beach, California. However, the Chimney Cottage units are the only known Pebble Beach examples of the “Fairytale” or “Storybook” architectural style designed by noted Carmel builder Hugh W. Comstock (Page & Turnbull, Inc. 2013: 87). The Del Monte Properties Company architect, William Otis Raiguel, was then responsible for reviewing and approving any building plans submitted to the company prior to construction (Seavey 2008). Therefore, in order to address the “Mediterranean type” specifications required by the Del Monte Properties Company, and thereby obtain Raiguel’s approval, Comstock incorporated a Mission Revival style tiled roof. This fact had a clear bearing on the electric design considerations inherent in the Chimney Cottage’s construction (Seavey 2007).

After World War II the “Mediterranean type” style was discontinued in Pebble Beach (Page & Turnbull, Inc. 2013: 113). During the post-World War II period, Ranch style residential architecture predominated on the Monterey Peninsula, as well as throughout California more generally (Page & Turnbull, Inc. 2013: 113). New trends in residential landscaping also emerged during the post-World War II period in Pebble Beach. The residential landscapes of this period reflected “the concept of indoor-outdoor living, and were designed to be comfortable, agreeable spaces” (Page & Turnbull, Inc. 2013: 106).

### *Ownership Chronology of the Chimney Cottage*

On August 26, 1926, the parcel located at 1600 Viscaino Road, Pebble Beach, CA 93953, was acquired by Mrs. Helen H. Carncross (PBCLA 2017; Seavey 2007, 2008). As noted in the foregoing narrative, Hugh W. Comstock (1893-1950) was the architect and builder of the Chimney Cottage (Page & Turnbull, Inc. 2013: 87; PBCLA 2017; Seavey 2007, 2008). Hugh W. Comstock drafted house plans for the property on June 26, 1928 (PBCLA 2017). Construction of the property was completed in 1929 (PBCLA 2017).

According to Mrs. Carncross’ 1949 obituary published in the *Carmel Pine Cone*, she spent the last ten years of her life (circa 1939-1949) at her Carmel residence located at Camino Real and Fifteenth Street (Carmel Pine Cone 1949; FamilySearch 2017). However, Carncross maintained ownership of the house until February 23, 1943 (PBCLA 2017). On February 24, 1943, Carncross deeded the property to Alfred Owen Ulph (PBCLA 2017). Shortly thereafter, Ulph deeded the house to his parents, Alfred Walter Alexander and Lily Blackburn Ulph of England, on November 15, 1944 (Ancestry 2017; PBCLA 2017).

About a year later, the property was then deeded to Salinas Title Guarantee on November 23, 1945 (PBCLA 2017). Mrs. Charlotte Wright next acquired the deed to the property on September 3, 1946, and resided at that address until May 20, 1963. Subsequently, Mr. John N. Hunter and his wife Josephine A. Hunter (Kegley), Thomas H. Hunter, and Diane Hunter, acquired the deed to the property (PBCLA 2017; U.S. Congress 2011). Shortly thereafter, the Hunters deeded the property to their corporation, Industrial Boxboard Company, on September 9, 1963 (PARIS 2017; PBCLA 2017). Industrial Boxboard Company held the deed until it was transferred back to Josephine A. and John N. Hunter on December 26, 1996 (PARIS 2017; PBCLA 2017). Two years later, John N. Hunter removed his wife Josephine A. Hunter from the deed, and added his daughter Julene A. Hunter on November 17, 1998 (PARIS 2017; PBCLA 2017). The Hunters retained ownership of the property until 2005 (PARIS 2017; PBCLA 2017). On December 5, 2005, Karen and Dennis LeVett acquired the property (PARIS 2017; PBCLA 2017). The LeVetts owned the property, but were listed in the 2007 Monterey and San Benito Counties AT&T Yellow Pages directory as residents of Ocean Ave, Carmel-by-the-Sea, whereas Karen was listed as residing at 3301 17-Mile Drive, Pebble Beach, California. On August 12, 2016, Mr. Paul Dorman acquired title to the property, and is the present property owner of 1600 Viscaino Road, Pebble Beach, California (PARIS 2017; PBCLA 2017).

### *Building History of the Chimney Cottage*

The only documented record of modifications to the Chimney Cottage units, hereafter, the Caretaker's and Guesthouse Units, was those remodeling efforts undertaken in 1966 and 1967, during which time the Hunters were the property owners identified with the Chimney Cottage (DPR Continuation Sheet 3; PBCLA 2017; Seavey 2007, 2008). According to an earlier study by Seavey (2008), the 1966-67 project met the *Secretary of the Interior's Standards for the Treatment of Historic Properties* under the treatment for Rehabilitation.

On November 13, 1966, designer Roger Poole and contractor Harold Houghton modernized the kitchen, and updated the electrical systems, of the Caretaker's Unit or main house (DPR Continuation Sheet 3; PBCLA 2017; Seavey 2007, 2008). The back door to the garage, located at the southwest corner of the south elevation, was infilled or sealed so as to accommodate the wholesale remodeling of the interior of the Caretaker's Unit (see Appendix IV: Blueprint/Elevations – Interior Caretaker's Unit / Guesthouse Addition, p. 64).

Alterations and modifications to the Guesthouse Unit coincide with the 1966-67 modernization and remodeling of the Caretaker's Unit. Renovations to both the exterior and interior of the structure include the following:

- 1) a stairway was added to the west elevation of the Guesthouse Unit so as to provide access to the de facto second-floor guesthouse (DPR Continuation Sheet 3; Seavey 2007, 2008);
- 2) an open deck (or landing) was added to the roof of the east elevation room addition to the Guesthouse Unit (DPR Continuation Sheet 3; Seavey 2007, 2008);
- 3) French doors were added to the south elevation of the Guesthouse Unit in order to provide a secondary entrance to the converted space on the ground level (DPR Continuation Sheet 3; PBCLA 2017; Seavey 2007, 2008); and,
- 4) a room addition was made to the east elevation such that the original floor plan was extended further eastward, and the fenestration altered, and the first floor portion of the elevation wall was demolished and removed so as to generate an open floor plan (DPR Continuation Sheet 3; Seavey 2007, 2008). The new room addition, or room-block or extension situated immediately beneath the deck and or landing, was clad in a wainscot consisting of machine-cut Monterey formation shale identical to that used to resurface the western two-thirds of the Caretaker's Unit (i.e., Chimney Cottage or Caret). This thereby conforms to a host of such modifications made via the addition and renovation of each of those structures noted at that time.

Moreover, a detailed visual inspection and photographic survey of the Caretaker's Unit (i.e., Chimney Cottage) and Guesthouse by Dr. Rubén Mendoza and Ms. Jennifer Lucido of Archives & Archaeology determined that additional modifications pertaining to rehabilitation were



undertaken in 1966. Because an earlier Phase 1 Historic Assessment overlooked the modifications in question, these were not documented at that time during the review on behalf of the County of Monterey, the Pebble Beach Company (PBCLA 2017), or by way of the Phase 1 Historic Assessment undertaken by Kevin Seavey (2007, 2008). The renovations in question center primarily on the (a) replacement of some two-thirds of the original hand-hewn or finished shale cladding or stone siding with machine-cut shale cladding identified with the Caretaker's Unit or Cottage in 1966, (b) the infilling of the door located at the southwest corner of the south elevation of the Caretaker's Unit (see Appendix IV: 1966 Blueprint/Elevations – Interior Caretaker's Unit / Guesthouse Addition), and (c) the discontinuous nature of the joist and rafter system employed in the west half of the upper floor of the Caretaker's Unit from that evident within the east end of the same Cottage footprint. In fact, the machine-cut lumber employed in the upper story of the west half of the Caretaker's Unit or Cottage is wholly distinct from that employed in the east half of the same structure.

When viewed against the roof plan for both the Caretaker's Unit and that of the Guesthouse Unit, significant variation exists for the roof pitch readings documented by the Claudio Ortiz Design Group (CODG 2017). Whereas the principal pitch for the four primary gabled features of the Caretaker's Unit is that of 8:12, the roof pitch over the room at the west end of the upper floor is that of 6:12. As noted, the materials and workmanship evident in the west end of the upper floor of the Caretaker's Unit are distinct from those that dominate the whole of the rest of the Cottage. As such, we are left to conclude, in lieu of additional documentation from the period between 1928 and 1966, that the Caretaker's Unit underwent significant remodeling that included the addition of an upper floor room block, and thereby, the modification of the original roof plan and pitch. This in turn resulted in the construction of a second story room addition that altered the one-story plan posited for the west end of the original Cottage. To that end, it should be noted that the roof pitch of the second story addition approximates that of the adjacent Guesthouse Unit. In sum, we conclude that much of the original stone or shale cladding was replaced in 1966, and the original configuration of the upper floor, and thereby view shed, was modified with the addition of an upper floor room at the west end of the Caretaker's Unit.

### **Description of the Historic Resource**

The Dorman property residence under consideration consists of a one and two-story, single-family dwelling or Caretaker's Unit (1,242 sq. ft.) and Guesthouse (1,070 sq. ft.; Novo 2008). The Caretaker's Unit (main house) consists of two bedrooms and two bathrooms. The Guesthouse Unit has two apartments, one on the lower level (350 sq. ft.), replacing the original detached garage, and one on the upper level (720 sq. ft.), each with integrates a kitchen and full bathroom. The parcel encompasses an area of 0.87 acres.

The Caretaker's Unit is constructed as a wood-frame Tudor style cottage with Mediterranean elements situated atop a concrete foundation (Harris 2005: 1021; Seavey 2008). The Caretaker's Unit, therefore, is characterized by a hybrid combination of architectural styles. These include Tudor style, Cottage style, and Mediterranean style elements, constructed on an irregular or asymmetrical plan, with a combined cladding in textured cement stucco and Carmel

stone (although brick is more characteristic of Tudor style), false half-timbering, Spanish or Mission style roof tiles, and a decorative chimney (Harris 2005: 268, 1021; Seavey 2008).

As noted by Kevin Seavey (2007), the overall architectural style of Chimney Cottage is unique because it incorporates both “Comstock’s...signature rustic Medieval half-timbering on the building envelope and the use of a Mission tile roof, to address specific design guidelines laid out by the Del Monte Properties Company for residential construction in the Pebble Beach resort community during the 1920s.” In addition, Seavey (2007, 2008) notes that in order to obtain Del Monte Properties Company architect William Otis Raiguel’s approval, the one-story Carmel stone living room (east) wing of the Caretaker’s Unit may have been added, although there is no documentation of said accommodation. We, however, concur with Seavey’s (2007) observation that the east half of the structure does not conform to that of the west half, in that the overall dimensions of the building footprint of the west half of the Caretaker’s Unit is virtually identical to that of the Guesthouse Unit. Moreover, as noted in the foregoing narrative, we found that the joist and rafter system of the west half of the Caretaker’s Unit is structurally and materially distinct from that of the east half of the same building.

### *Character Defining Features*

Prior to modifying, repairing, or otherwise altering a historic structure, the *Secretary of the Interior’s Standards for the Treatment of Historic Properties* emphasizes the requirement to first “identify the form and detailing of those architectural materials and features that are important in defining the building’s historic character and which must be retained in order to preserve that character” (Weeks and Grimmer 1995: 63).

Accordingly, Nelson (1982: 1) acknowledges two key considerations for those projects falling under the purview of the Secretary of the Interior’s Standards for Historic Preservation:

The Secretary of the Interior’s “Standards for Historic Preservation Projects” embody two important goals: 1) the preservation of historic materials and, 2) the preservation of a building’s distinguishing character. Every old building is unique, with its own identity and its own distinctive character.

Fulfillment of these two goals contributes to the preservation of a building’s historic integrity. As such, identifying distinguishing characteristics of a historic building (including both the exterior and interior) is crucial to its preservation. According to *Preservation Brief 17: Architectural Character, Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character*, character consists of “all those visual aspects and physical features that comprise the appearance of every historic building” (Nelson 1982: 1). Visual aspects include the overall shape of the building, construction / architectural materials, craftsmanship, decorative details, interior spaces and features, and the surrounding environment and space (Nelson 1982: 1).

Character defining features of the Chimney Cottage include the following elements: the decorative chimney, Mission or Spanish tile roof, rough-cut shale cladding (Carmel River stone,

Monterey Formation shale), the gabled roof, false half-timbering, arched windows, asymmetrical or irregular plan, cement stucco cladding, and an array of window types, including wooden windows, niched windows, dormer windows, and half-light windows. Notable interior character-defining features of the Caretaker's Unit include the joist and rafter system (east end) and the wooden staircase.

Inspection of the visual character at close range is another important element to consider when reviewing character defining features of a historic structure or building, particularly given that "surface qualities of the materials may be important because they impart the very sense of craftsmanship and age that distinguishes historic buildings from other buildings" (Nelson 1982: 2). Close range inspection of the Chimney Cottages indicates that much of the original cladding of the Caretaker's Unit was removed and resurfaced, and is not "pristine" as Seavey's Phase 1 Historic Assessment report originally indicated (Seavey 2007, 2008). Some two-thirds of the original hand-hewn or finished shale cladding or stone siding was replaced with machine-cut shale cladding in 1966. The 1966-1967 alterations to the Caretaker's Unit included the masonry infill of an extant narrow doorway located at the southwest portion of the south elevation (see Appendix III: 1928 Blueprint/Elevations – Guesthouse Unit [Plan & Elevations], p. 64). Other significant modifications were made to the east elevation of the Guesthouse Unit such that the original fenestration, including a second story window, and a main floor doorway and wall section were completely removed (see Appendix III: 1928 Blueprint/Elevations – Guesthouse Unit [Plan & Elevations], p. 64). As such, all available evidence from the 1966 remodel of the Guesthouse Unit indicates that key features identified with the east elevation were entirely removed so as to make way for the room addition and the install of an open deck situated atop the room addition so noted (Seavey 2008). In effect, a ground floor room addition was added to the east elevation, thereby expanding the length of the north and south elevations accordingly (Seavey 2008). Notably, only the lower portion of south elevation of the 1966 room addition was in turn clad with machine-cut shale siding akin to that used to resurface the Caretaker's Unit in 1966.

*Caretaker's Unit (Main House) North Elevation (facade)*



View south of north or main elevation of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).





View southwest toward west end of north elevation of the "Chimney Cottage" identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note third structure, dated to 2008, in background.

*Caretaker's Unit (Main House) South Elevation*



View northeast of south elevation of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).





View northeast of south elevation of the "Chimney Cottage" identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).

*Caretaker's Unit (Main House) East Elevation*



View northwest of east elevation chimney flue (tower with tiled cap) detail of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).





View southwest of east elevation window detail of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note: Window well is currently sealed, and the interior was converted for use as an interior niche.

*Caretaker's Unit (Main House) West Elevation*



View east of west elevation of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note stone wall and gate extending from southwest corner of the Caretaker's Unit to the Northeast corner of the Guesthouse Unit.



*Guesthouse Unit North Elevation (facade)*



View south of north or main elevation of the "Guesthouse Unit" identified with the Dorman residence located at 1600 Viscaio Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note wooden staircase at west end or right side of image.

*Guesthouse Unit South Elevation*



View northeast of south elevation of the "Guesthouse Unit" identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note deck railing and 1966-67 room addition at east end or right side of image.



*Guesthouse Unit East Elevation*



View northwest of east elevation of the "Guesthouse Unit" identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note wooden deck railing atop room addition added in 1966-67.

*Guesthouse Unit West Elevation*



View northeast of detail of west elevation staircase feature of the "Guesthouse Unit" identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).



## Evaluation for Significance

The Dorman property retains historical significance and is eligible for listing on the National Register of Historic Places under Criterion C at the local level of significance, and the California Register of Historical Resources under Criterion 3 at the local level of significance. The property is currently listed on the Monterey County Local Official Register of Historic Resources as of December 2007 (Page & Turnbull, Inc. 2013: 87).

### *National Register of Historic Places Criteria for Evaluation*

*A. Property is associated with events that have made a significant contribution to the broad patterns of our history.*

The Dorman House does not appear to be eligible under Criterion A because the property is not associated with events that have made a significant contribution to the broad patterns of our history.

*B. Property is associated with the lives of persons significant in our past.*

The Dorman House does not appear to be eligible under Criterion B because the property is not associated with the lives of persons significant to our past. However, noted Carmel builder Hugh W. Comstock was the builder and architect of the property.

*C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.*

The Dorman House appears to be eligible under Criterion C at the local level of significance because the property embodies distinctive characteristics of a type, period, and method of construction. The Chimney Cottage is the sole known example of the “Fairytale” or “Storybook” architectural style designed by Carmel builder Hugh W. Comstock in Pebble Beach, California.

*D. Property has yielded, or is likely to yield, information important in prehistory or history.*

The Dorman House does not appear to be eligible under Criterion D because the property does not demonstrate information, or the potential to yield information, important to understanding the prehistory or history of Pebble Beach or the Monterey County region more generally.

### *California Register of Historical Resources Criteria for Evaluation*

*1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.*

The Dorman House does not appear to be eligible under Criterion 1 because the property is not associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

*2. Is associated with the lives of persons important in our past.*

The Dorman House does not appear to be eligible under Criterion 2 because the property is not associated with the lives of persons significant in our past. However, noted Carmel builder Hugh W. Comstock was the builder and architect of the property.

*3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.*

The Dorman House appears to be eligible under Criterion 3 at the local level of significance because the property embodies the distinctive characteristics of a type and period. The Chimney Cottage is the sole known example of the “Fairytale” or “Storybook” architectural style designed by Carmel builder Hugh W. Comstock in Pebble Beach, California.

*4. Has yielded, or may be likely to yield, information important in prehistory or history.*

The Dorman House does not appear to be eligible under Criterion 4 because the property does not demonstrate information, or the potential to yield information, important to understanding the prehistory or history of Pebble Beach or Monterey County region more generally.

#### *Monterey County Register of Historic Resources Criteria for Evaluation*

Property is currently listed on the Monterey County Local Official Register of Historic Resources (Page & Turnbull, Inc. 2013: 87). On December 4, 2007, the Monterey County Board of Supervisors approved the LeVett application to add the property (Caretaker's Unit and Guesthouse Unit) to the County's Local Official Register of Historic Resources by a 4 to 0 vote (Novo 2008; Application No. PLN070428).

### **Impacts of the Proposed Project**

This investigator finds that the proposed project does not pose a significant impact to the historic resource per se, nor to that of the environment as the project as such addresses and conforms to the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (14 CCR § 15126.4(b)(1)). The proposed treatment constitutes a Rehabilitation. According to the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Weeks and Grimmer 1995: 61):

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The proposed project will make alterations and additions to the both the Caretaker's Unit and Guesthouse Unit for new use but preserve those features that convey the property's historical and architectural values as per the Secretary's Standards. The proposed project will alter limited portions of four existing elevations identified with the two units identified with the Chimney Cottages (i.e., both the Caretaker's and Guesthouse Units). These include modifications to: 1)



the southwest corner of the south elevation of the Caretaker's Unit (main house), and 2) the north elevation (northeast corner), south elevation (southeast corner), and east elevation of the 1966 Guesthouse Unit addition.

*Secretary of the Interior's Standards for Rehabilitation*

The proposed project will be analyzed according to the Secretary of the Interior's Standards for Rehabilitation (Weeks and Grimmer 1995: 62).

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### *Monterey County Planning - Conditions and Exceptions*

On April 24, 2008, Mr. Dennis LeVett submitted an application for the development of a new single family home on the parcel identified with the “Chimney Cottage” structures designed and built by Hugh Comstock in 1928. It should be noted that in December 2007, the Historic Resources Review Board commented on the proposed project in advance of the development application. The Board approved designation of the Chimney Cottages as historic resources, and in March 2008, they reviewed and approved the development proposal by a margin of 6 to 0, with the “addition of deed restrictions that would limit future owners to maintaining the historic structures with no changes.”

In a 2008 evaluation of a Combined Development Permit for the parcel made by Monterey County Zoning Administrator Mike Novo (2008: 1; Application No. PLN070428), it was determined that:

The applicant will preserve the two Chimney Cottages on the property at 1600 Viscaino Road as Historic Resources by requesting an exception for floor area and height under Section 18.25.060 County Code (Designation of Historic Resources and Districts) and Section 20.64.300.B CIP. The existing house and guesthouse above the garage are considered significant historic structures (Finding 7).

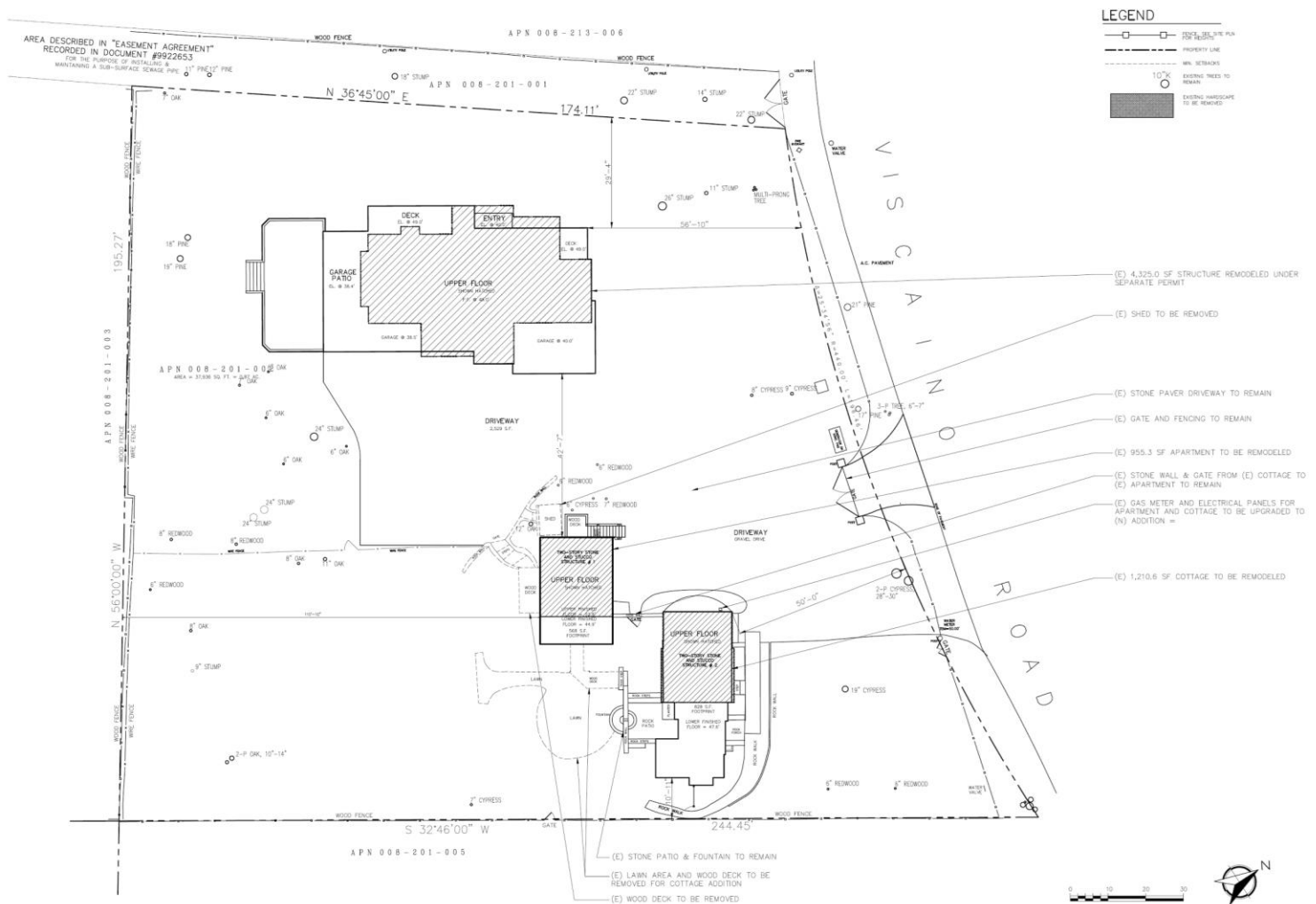
The Monterey County Zoning Administrator further acknowledged that Section 20.64.300 A and B CIP includes regulations that “provide reasonable flexibility of zoning standards to encourage and accommodate the renovation and rehabilitation of historic resources” (Novo 2008: 1; Application No. PLN070428). Therefore, that modicum of “reasonable flexibility” so noted permits the Director of Planning to “grant an exception to the zoning district regulations when such exception is necessary to permit the preservation or restoration of or improvements to a structure designated as historically significant” (Chapter 18.85; Novo 2008: 2; Application No. PLN070428). The Director of Planning thereby referred the matter to the Zoning Administrator, and an exception was granted (Novo 2008: 2; Application No. PLN070428). The exception was for a waiver of floor area regulations (1,242 square feet), and height (25 feet), for a house designated as a Caretaker Unit and waiver for a Guesthouse with floor area (720 square feet; Novo 2008: 2; Application No. PLN070428). The waiver and exception were intended to assist and encourage the preservation of the historic structures so noted (Novo 2008: 2; Application No. PLN070428).

According to Novo (2008: 2), the Guesthouse Unit was determined to be “legal nonconforming” as per Title 20 (Section 20.68.020 CIP). In other words, the Guesthouse Unit has the distinction of consisting of a “structure that was legally established but is nonconforming to subsequently adopted land use regulations” (Novo 2008: 2; Application No. PLN070428). As such, “an exception to floor area” was granted at that time pursuant to Section 20.64.300 CIP. Said

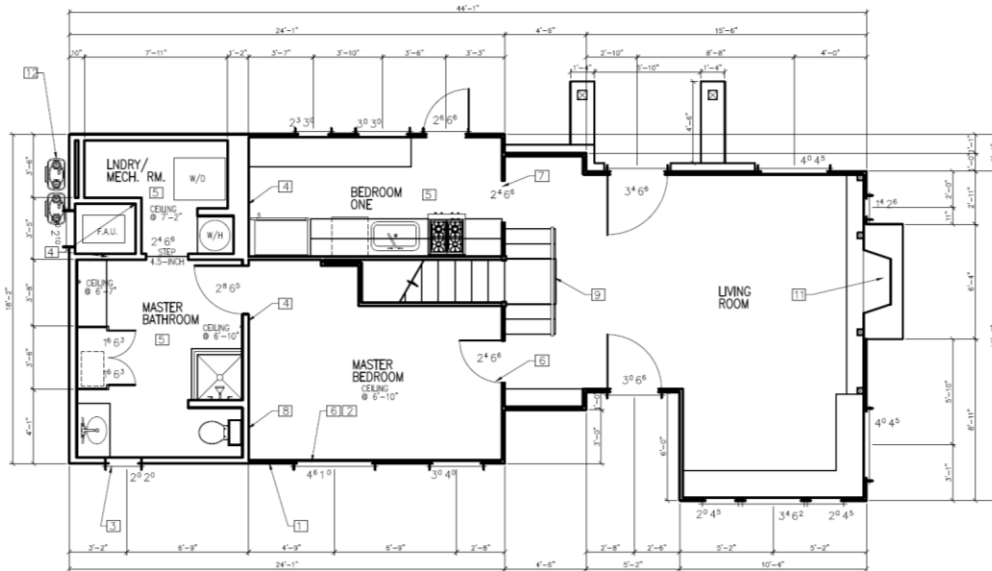
exception “allows reasonable flexibility of the zoning standards to accommodate historic structures” (Novo 2008: 2; Application No. PLN070428).

### Site Plan, Floor Plans, and Elevations

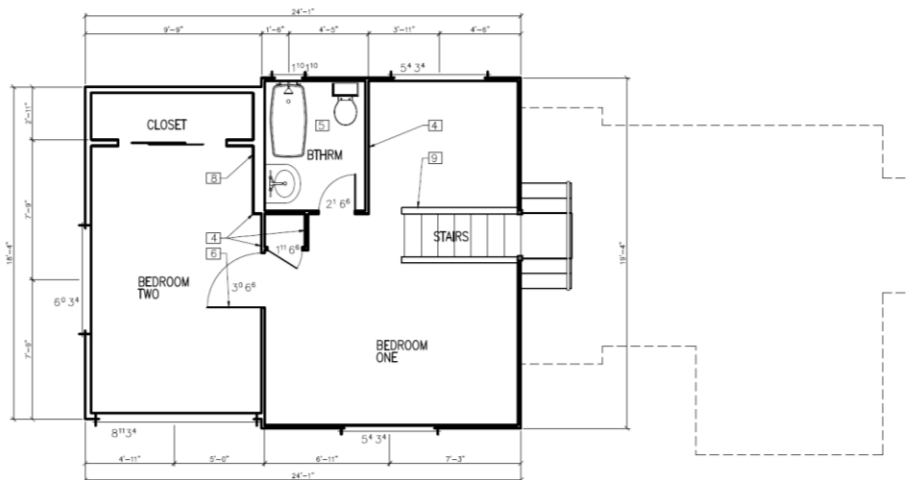
The existing site plan (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1) enumerates site wide modifications as well as those elements of the site plan to remain intact. All illustrations exhibited herein were provided courtesy of the Claudio Ortiz Design Group, Inc. (CODG, Inc., 2017).



Existing Site Plan of 1600 Viscaino Road, Pebble Beach, California. Courtesy Claudio Ortiz Design Group, Inc., 2017.



FRONT COTTAGE MAIN LEVEL



FRONT COTTAGE UPPER LEVEL

*Caretaker's Unit (Main House) Floor Plan (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



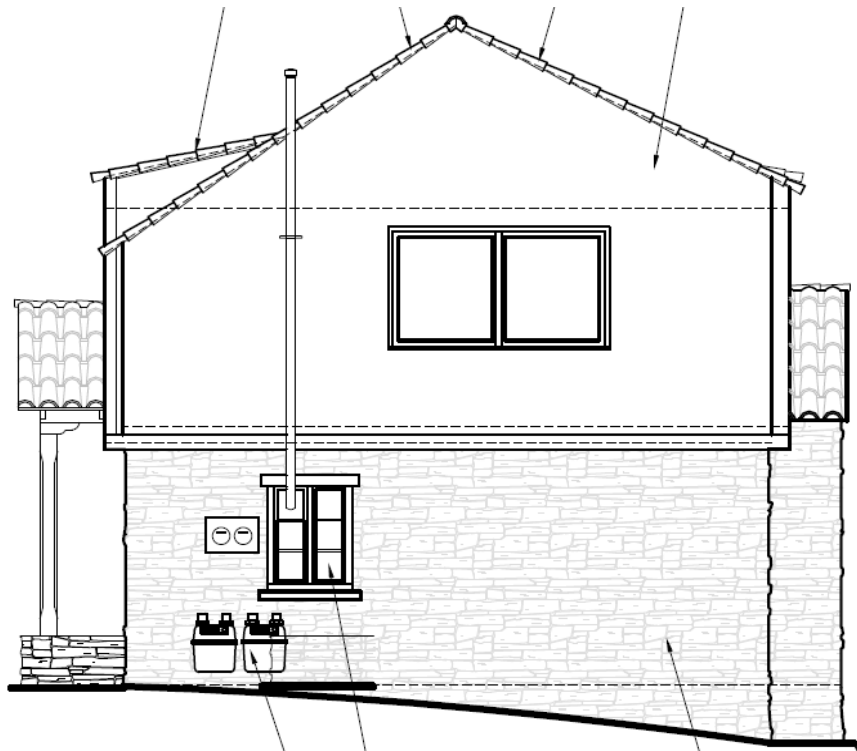
*Caretaker's Unit (Main House) North Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



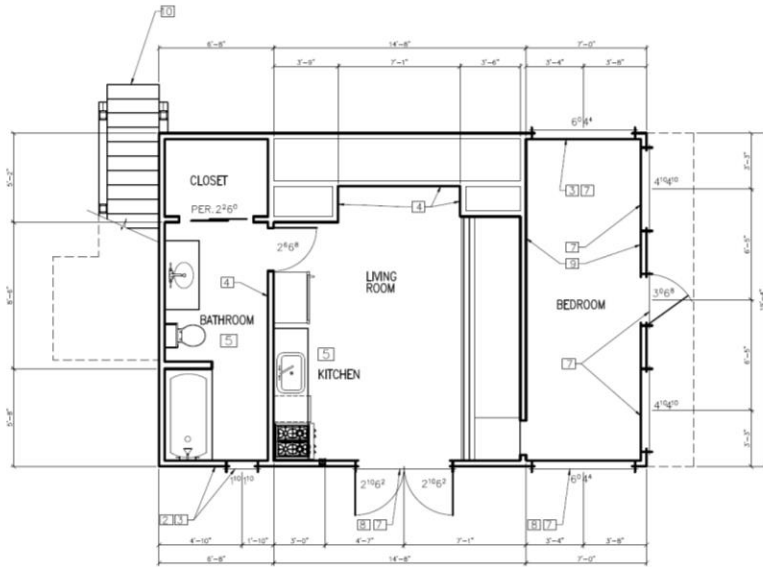
*Caretaker's Unit (Main House) South Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



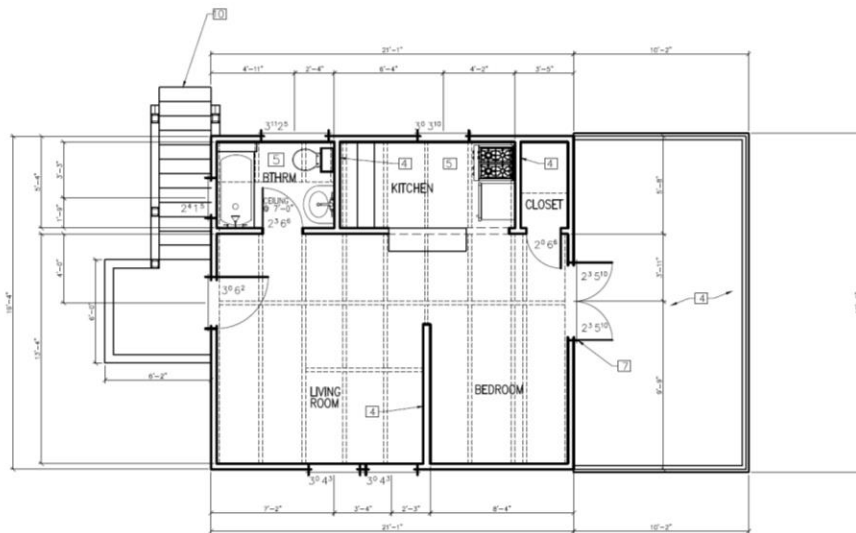
*Caretaker's Unit (Main House) East Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



*Caretaker's Unit (Main House) West Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



LOWER APT. FLOOR PLAN



UPPER APT. FLOOR PLAN

*Guesthouse Unit Floor Plan (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



*Guesthouse Unit North Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*

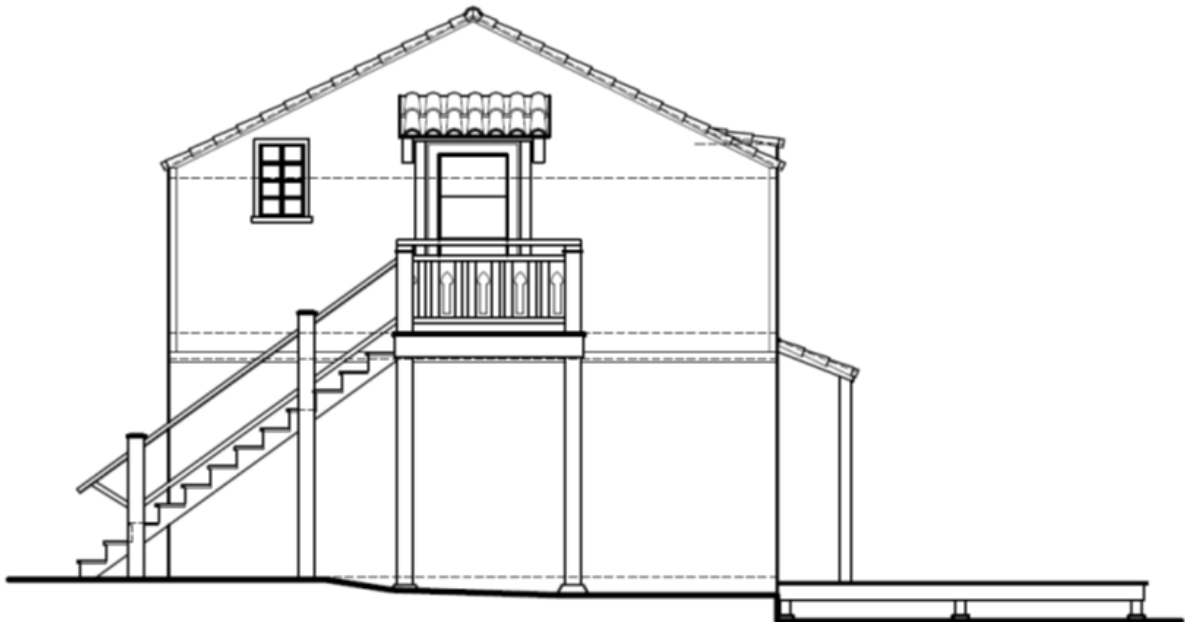


*Guesthouse Unit South Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*

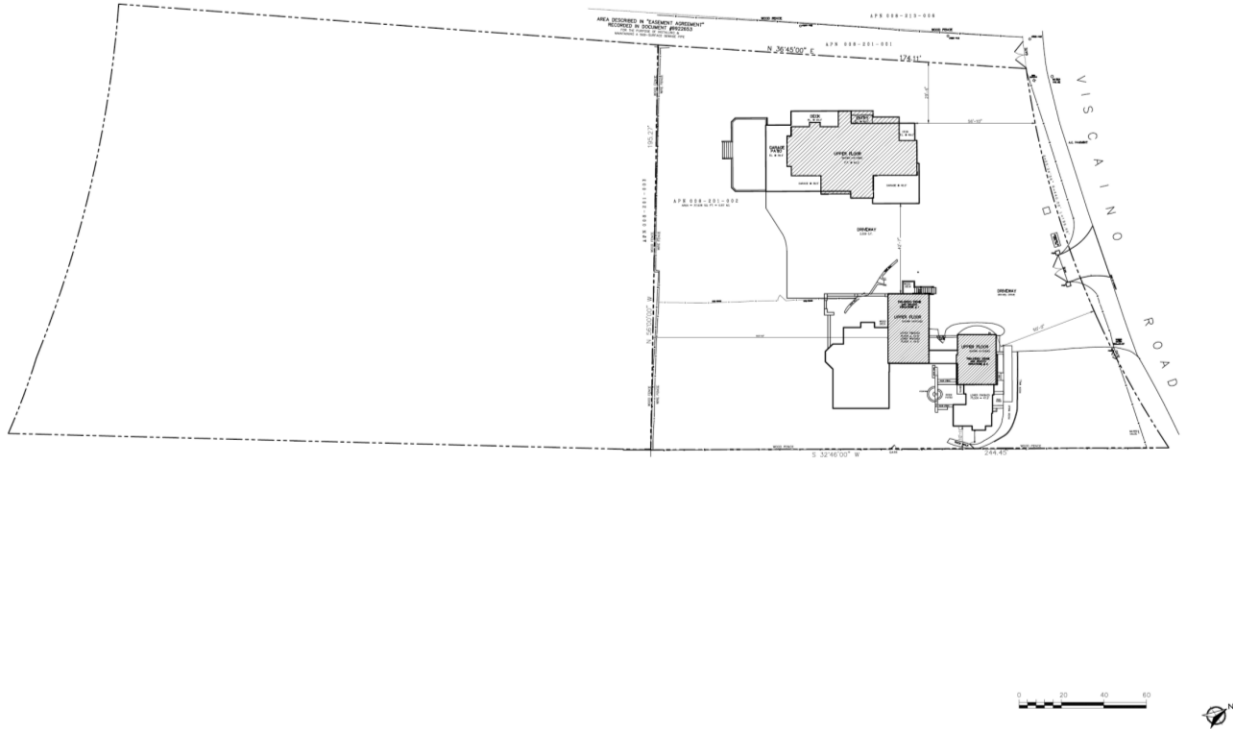




*Guesthouse Unit East Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*

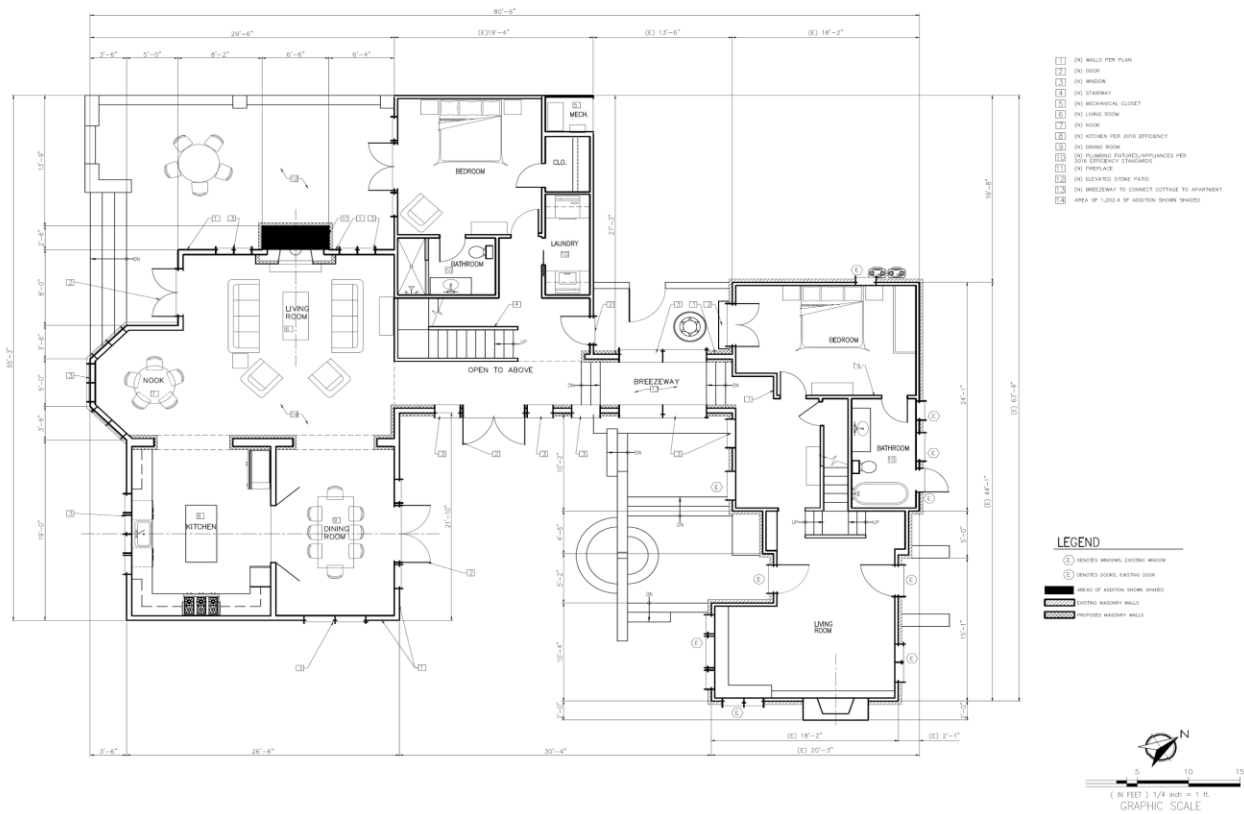


*Guesthouse Unit West Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



*Proposed Site Plan with New Addition of 1600 Viscaino Road, Pebble Beach, California. Courtesy Claudio Ortiz Design Group, Inc., 2017.*

The 1,210.6 ft.<sup>2</sup> Caretaker's Unit is to be remodeled (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1). The gas meter and electrical panels for the apartment and cottage are to be upgraded (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1). The original stone wall and gate connecting the Caretaker's Unit or Cottage with the Guesthouse apartment will remain intact (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1). The stone pavers used to surface the driveway are in turn to remain intact, as will the north entry gateway and perimeter fencing that defines the Viscaino Road approach to the parcel (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1). Where the Guesthouse Unit is concerned, the shed located at the west corner of the structure is to be removed. The interior of the 955.3 ft.<sup>2</sup> apartment is to be remodeled, and the wooden deck at the south elevation of the Guesthouse Unit is to be removed (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1). Where the landscaping immediately south of both the Caretaker's Unit and Guesthouse are concerned, the lawn area and wood deck are to be removed from the cottage addition, and the stone patio and fountain that constitutes a character defining feature of at the south elevation of the Caretaker's Unit is to remain intact (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1).



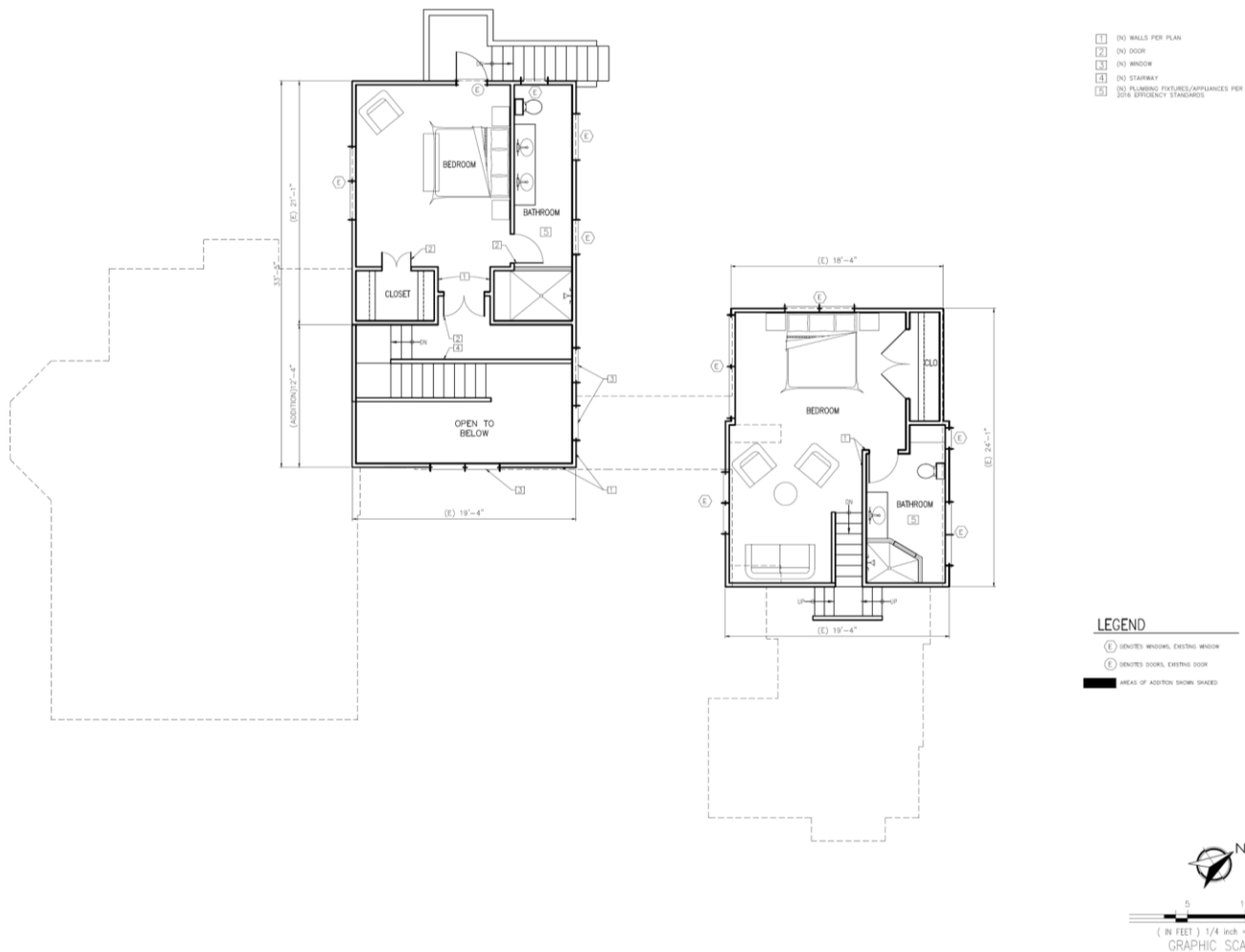
*Proposed Main or First Floor Plan of new addition replete with Caretaker's Unit (Right) and Guesthouse Unit (Center). Courtesy Claudio Ortiz Design Group, Inc., 2017.*

The A8 Plan (above) provides a detailed delineation of all first or main floor plans identified with both the proposed Breezeway connecting the Caretaker's Unit with the Guesthouse, and the new 1,202.4 square foot New Addition to the south (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A8). This plan also serves to diagram the placement of the French doors at the southwest corner of the south elevation of the Caretaker's Unit, as well as the placement of the Breezeway and modifications to the east end of the 1966 addition (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A8). In this instance, the placement of the interior staircase to the second floor apartment in the Guesthouse Unit is specified (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A8). Finally, the Elevated Stone Patio to be installed at the west end of the south elevation of the Guesthouse is indicated (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A8).

The proposed modifications to the interior of the Caretaker's Unit (right) include the demolition of that portion of the south elevation identified with the addition of the Breezeway to be situated at the southwest corner (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A4). This is to occur in tandem with the partial removal of an interior wall that once delimited the east perimeter wall of the original garage, and presently serves to define the east wall of the Master Bathroom (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A4). Moreover, the demolition so noted will serve to define the proposed addition of French doors leading into a forecourt just inside the existing stone wall at the southwest corner of the Caretaker's Unit (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A4). The Breezeway will connect the southwest portion of the south elevation of the Caretaker's Unit with the north elevation of the 1966 room addition situated at the east end of the Guesthouse Unit. The whole of those fixtures, including plumbing and appliances, identified with the master bathroom are to be removed (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A4). An interior wall that encloses the furnace at the northwest corner of

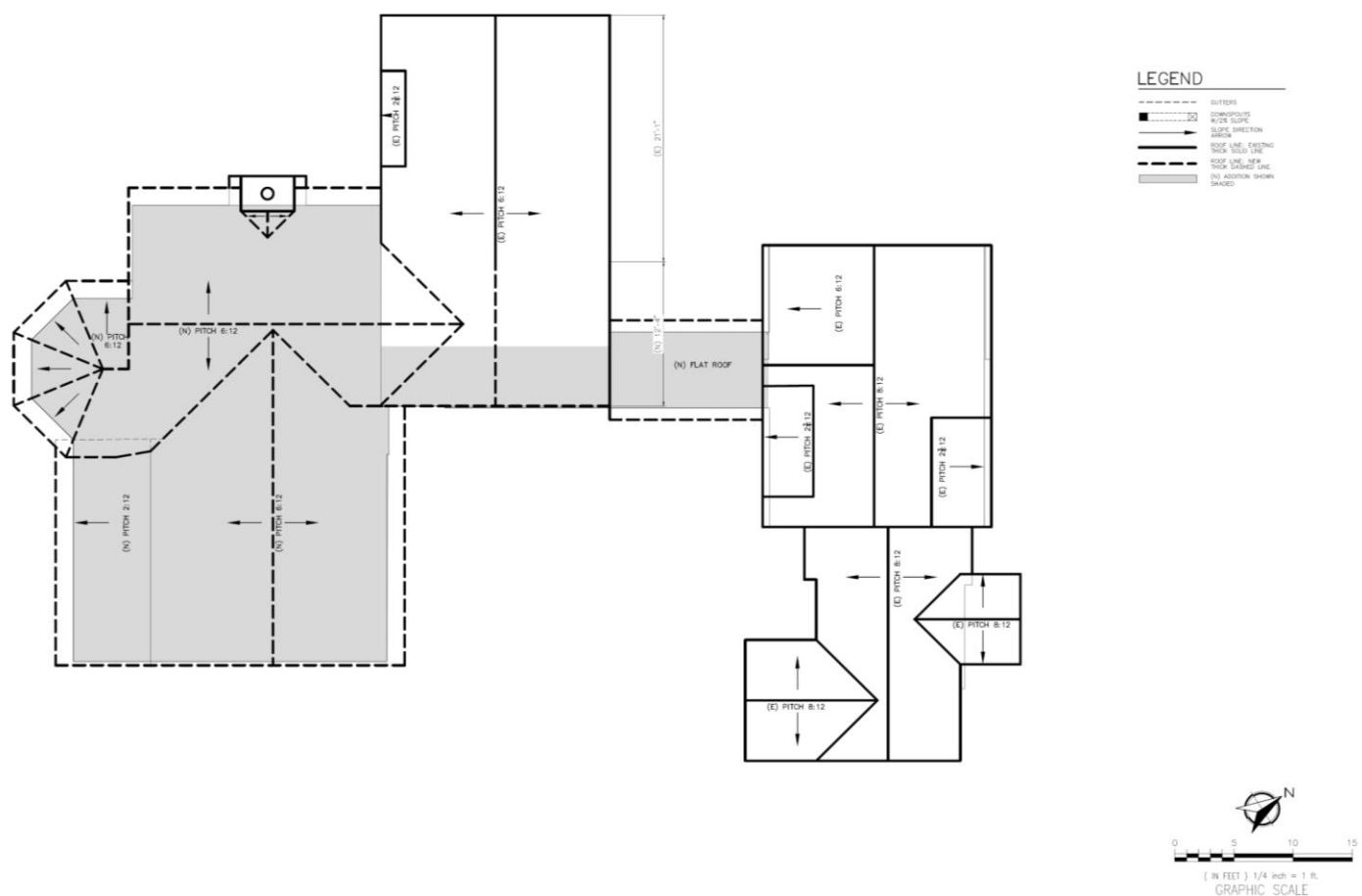
the former garage is to be removed, the southeast corner of the extant Master Bathroom is to be modified for access to the proposed breezeway, the east wall of extant kitchen is to be infilled, and the infilled door and Master Bedroom window situated at the location of the proposed Breezeway are to be removed (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A4). The most distinctive character-defining features of the east Living Room, including the stairs, and fireplace, are to remain intact (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A4). Finally, the gas and electrical meters located at the north end of the west elevation are to remain (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A4).

The proposed modifications to the interior of the Guesthouse Unit include the removal of the interior east wall of the Bathroom, the removal of the west wall of the Bedroom, as well as the removal of the existing southeast window and east door of the 1966 room addition (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A5). The existing French doors at the center of the south elevation will be removed, and the wall infilled so as to accommodate the new addition immediately adjacent said structure (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A5). All plumbing and fixtures, including appliances, to the Bathroom will in turn be removed, and a door/window added to the location of the extant window at the west end of the south elevation (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A5). No changes have been proposed for the west elevation, or that portion of the north elevation consisting of the garage area of the original 1928 era structure (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A5). The 1966 room/deck addition (which integrated a mix of non-conforming or modern vinyl/aluminum and fixed-pane, wood-frame, windows) will undergo the most pronounced modifications in the proposed plan (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A5). The addition so noted did not contribute to the character-defining features of the original 1928 building plan, and therefore, we contend that said modifications in fact detracted from the original east elevation and plan, and resulted in the dismantling and or remodeling of the original east elevation in its entirety. In the proposed remodel, the door and south window of the east elevation will be infilled, and the window at the east end of the north elevation will be converted for use as a doorway leading into the Breezeway and forecourt fronting the proposed French doors to be located at the west end of the south elevation to the Caretaker's Unit (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A5).



*Upstairs or Second Floor Plan of Caretaker's Unit (Right) and Guesthouse (Center) as these relate to proposed new addition delineated in broken line at left. Courtesy Claudio Ortiz Design Group, Inc., 2017.*

The A9 Plan (above) presents the proposed Upper Floor Plan for both the Caretaker's Unit and the Guesthouse Unit (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A9). Area 5 of the plan proposes the install of a Bathroom with plumbing fixtures/appliances as per 2016 efficiency standards (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A9). A portion of that wall currently subdividing the west half of the upper floor of the Caretaker's Unit will be removed, and another added adjacent the north margin of the stairway entering into the upper floor (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A9). Where the Guesthouse Unit is concerned, the most prominent interior modification will consist of the addition of an interior staircase in the area presently occupied by the 1966 room addition (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A9). Moreover, the current efficiency kitchen will be removed, and replaced with an expanded Bathroom facility, with plumbing fixtures and appliances as per 2016 efficiency standards (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A9).

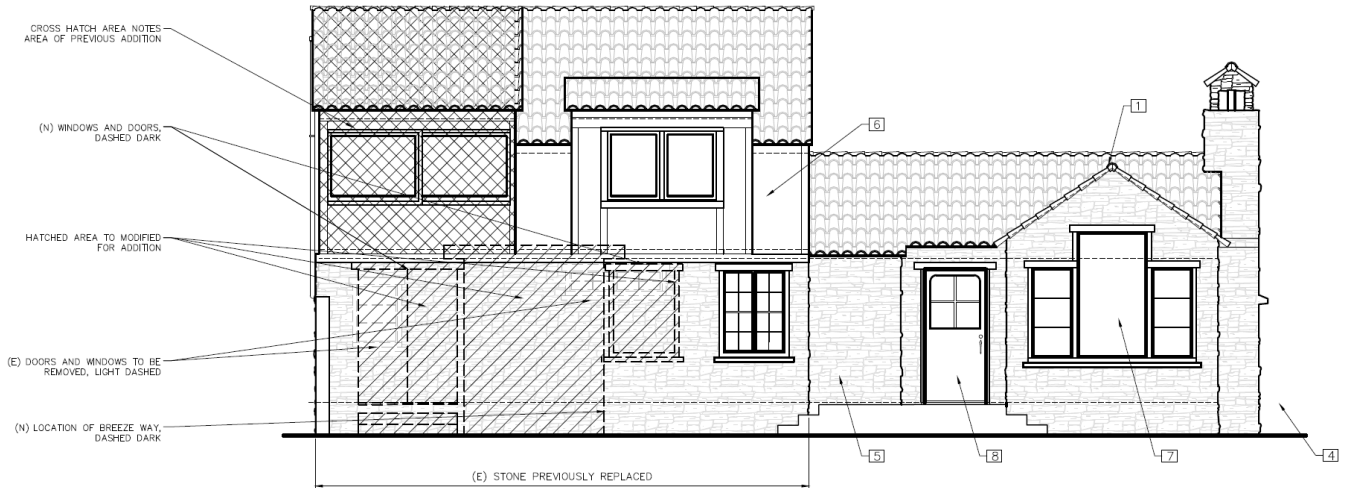


*Plan of Gabled Roof to New Addition in relation to that of the Caretaker's Unit (right) and Guesthouse Unit (center). Plan of New Addition delineated in broken line at left. Shaded area delineates areas of new construction. Courtesy Claudio Ortiz Design Group, Inc., 2017.*

Each of the three structures will be united by way of a flat-roofed Breezeway linking the main Cottage or Caretaker's Unit with the east end of the Guesthouse (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1C). A1C (above) provides a "shaded" schematic of that portion of the floorplan identified with the proposed addition. In this way, each of those structures to be united by way of the proposed Breezeway are indicated. Moreover, the 6:12 Pitch of the Guesthouse Unit has been preserved in the plan for the proposed structure, thereby maintaining stylistic continuity with the 1928 building (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1C). Despite the fact that the roofline of the Caretaker's Unit maintains an 8:12 Pitch, the Guesthouse Unit, also built in 1928, was erected with a 6:12 Pitch (CODG, Inc., Issue 0-00-16, Project No. 16-14, p. A1C). Therefore, the proposed addition is stylistically consonant with the original plan and roofline.



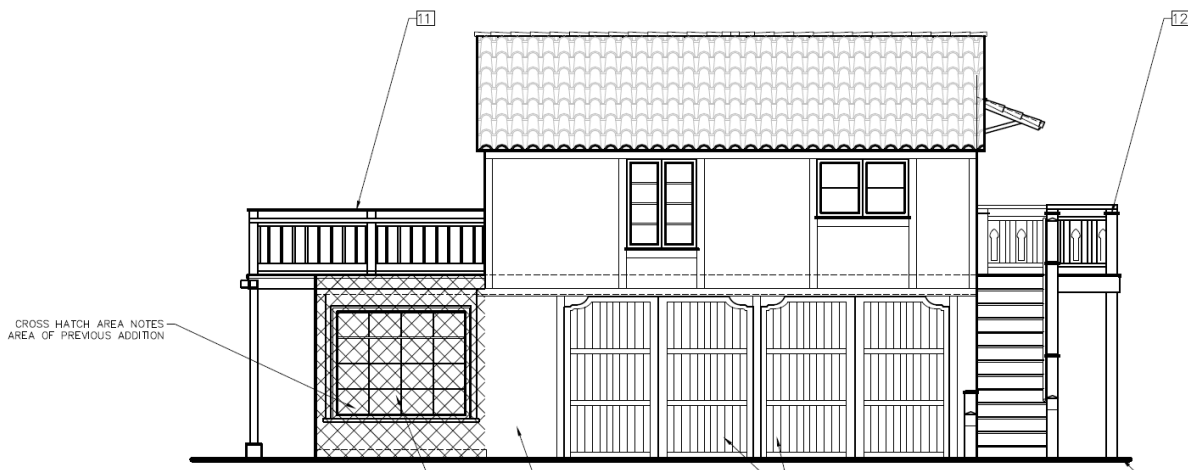
*Caretaker's Unit (Main House) South Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



*Caretaker's Unit (Main House) South Elevation (Proposed). Courtesy Claudio Ortiz Design Group, Inc., 2017.*

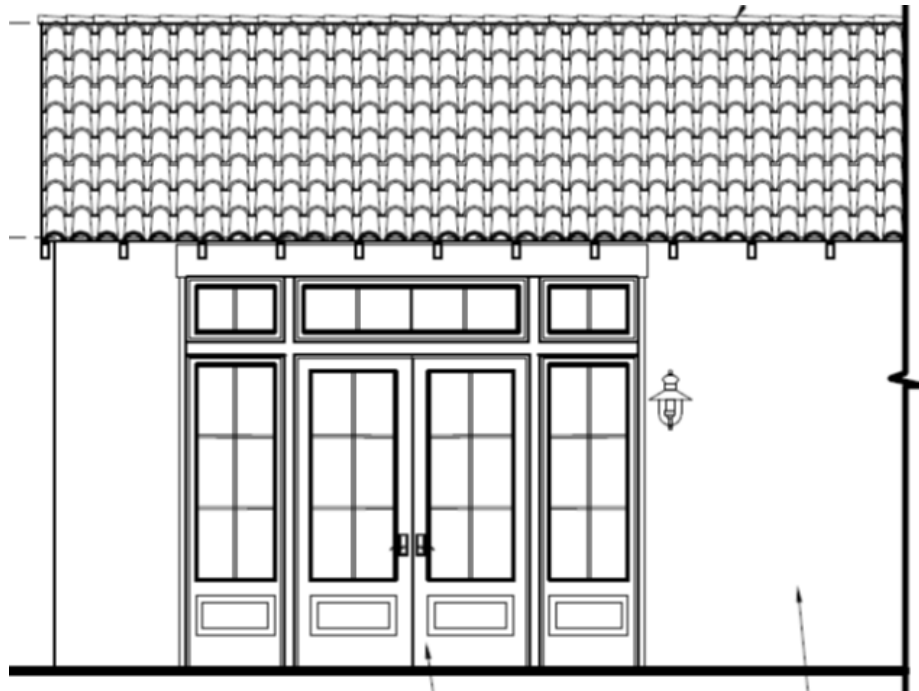


Guesthouse unit north elevation. *Courtesy Claudio Ortiz Design Group, Inc., 2017.*

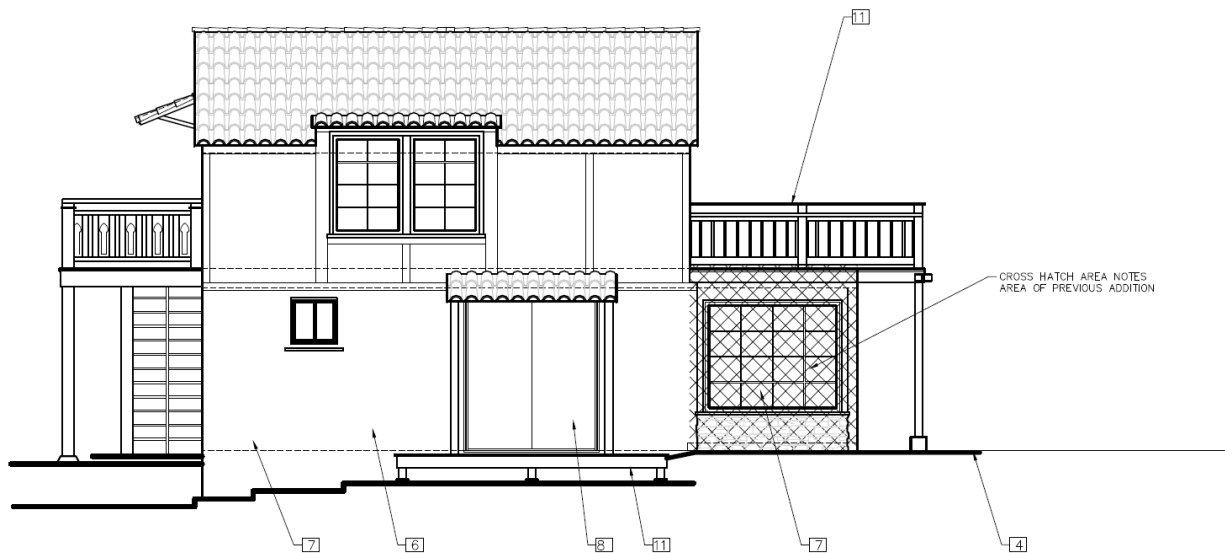


The north elevation (northeast corner) was previously modified by way of the 1966-67 room addition, resulting in the eastward extension of the ground floor and the addition of an open deck above (see cross-hatching in above illustration). This modification met the *Secretary of the Interior's Standards for the Treatment of Historic Properties* under the treatment for Rehabilitation (Seavey 2008). While this change occurred within the past 50-years, said changes to the Guesthouse Unit, however, have not acquired historic significance. This we contend on the basis of the fact that the fenestration made use of stylistically modern and materially-distinct window inserts and structural materials. *Courtesy Claudio Ortiz Design Group, Inc., 2017.*





*North Elevation of Dining Room identified with New Addition (Proposed). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



*Existing Guesthouse unit south elevation with previous modifications indicated (see cross-hatching). Courtesy Claudio Ortiz Design Group, Inc., 2017.*

A ground floor room (see cross-hatching in above illustration) was added to the east elevation of the former garage plan, and above the addition was added an open deck on the upper level in 1966-67 (Seavey 2008). This modification met the *Secretary of the Interior's Standards for the Treatment of Historic Properties* under the treatment for Rehabilitation (Seavey 2008). While

this change occurred within the past 50-years, said changes to the Guesthouse Unit, however, were not interpreted by Seavey (2008) to have acquired historic significance. *Courtesy Claudio Ortiz Design Group, Inc., 2017.*



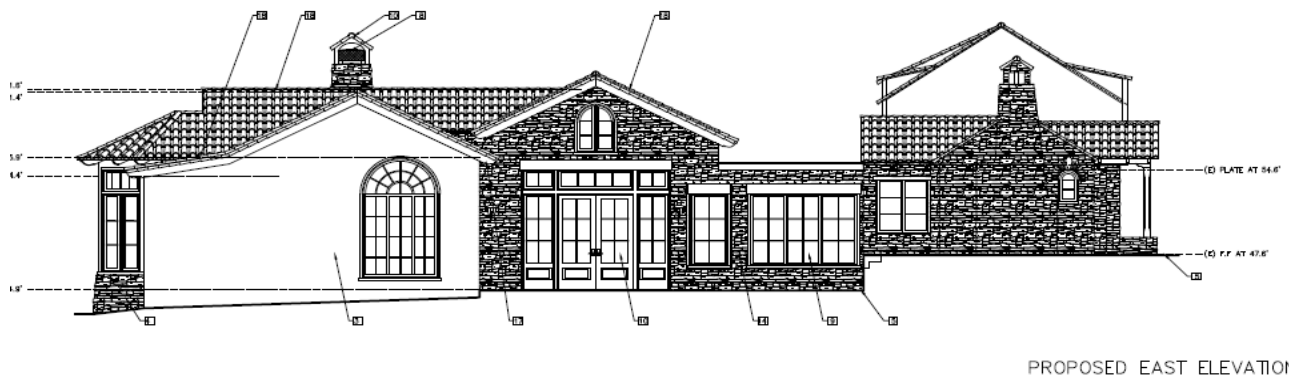
Existing Guesthouse Unit south elevation. *Courtesy Claudio Ortiz Design Group, Inc., 2017.*



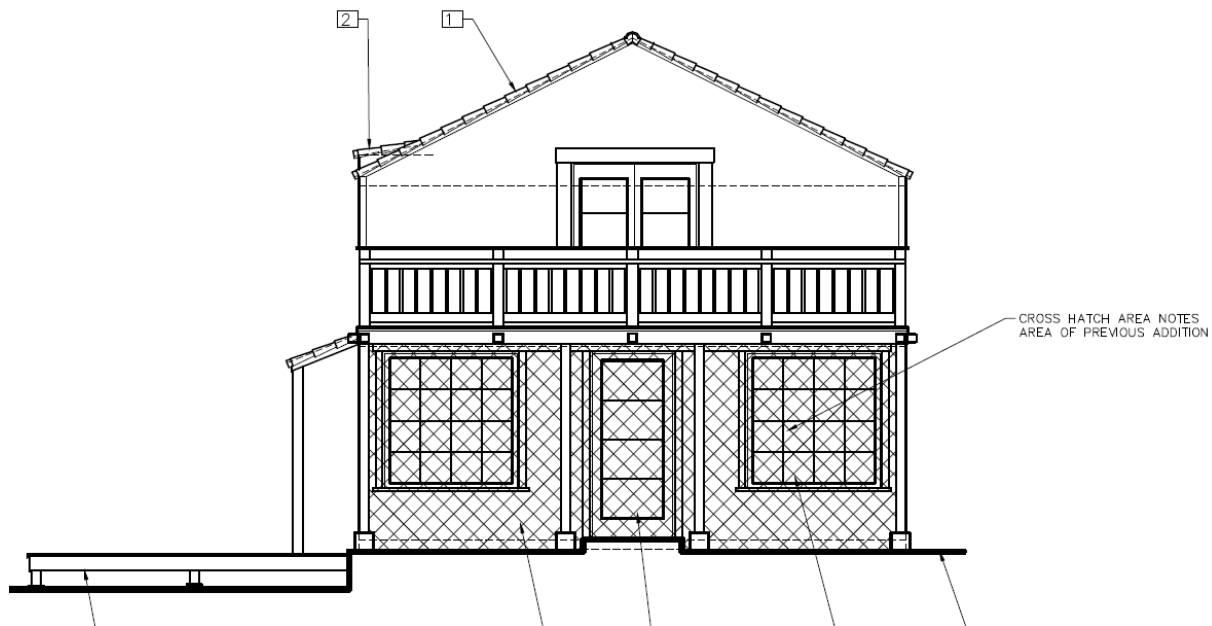
Proposed New Addition with Guesthouse Unit south elevation visible at far left, and the east end of the Caretaker's Unit visible in the background at far right. *Claudio Ortiz Design Group, Inc., 2017.*



*Guesthouse Unit East Elevation (Existing). Courtesy Claudio Ortiz Design Group, Inc., 2017.*



Proposed New Addition (east elevation) at left, with proposed east elevation modifications to Guesthouse Unit at center, with Breezeway at right of center. Note existing east elevation of original 1928 Caretaker's Unit at right.



Existing Guesthouse Unit east elevation with previous modifications indicated (see cross-hatching). *Courtesy Claudio Ortiz Design Group, Inc., 2017.*

The ground floor room (see cross-hatching in above illustration) addition to the east end of the garage and Guesthouse Unit in 1966-67, were not interpreted by Seavey (2008) to have acquired historic significance. *Courtesy Claudio Ortiz Design Group, Inc., 2017.*

#### *Standards for Rehabilitation for Proposed North Elevation of the Guesthouse Unit*

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The historical use of the property (both the Caretaker's Unit and Guesthouse) was residential. The property will continued to be used for residential purposes. Therefore the proposed project meets Standard 1.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The distinctive materials, features, and spatial relationships of the north elevation of the Guesthouse Unit include the gabled roof, false half-timbering, wooden windows, cement stucco cladding, stone cladding and stone wall and gate. The proposed project will alter the north elevation (northeast corner) of the 1966 Guesthouse Unit addition by way of the addition of a Breezeway extending from the southwest corner of the south elevation

of the Caretaker's Unit through to that portion of the 1966 addition identified with the east end of the Guesthouse Unit. A New Addition will also be added to create a second north elevation for use as a dining room. The proposed changes permit these parts of the building to remain intact. Furthermore, the affected portion of the Guesthouse Unit is necessarily obscured by the stone wall and gate located such that it articulates with the southwest corner of the Caretaker's Unit and the original northeast corner of the pre-1966 detached portion of the Guesthouse. Therefore, the project will not change its distinctive materials. The proposed project meets Standard 2.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

No conjectural features or elements from other historical properties will be added to the north elevation of the Guesthouse Unit. A New Addition will be added to create a second north elevation for use as a dining room. The proposed project will also alter the north elevation (northeast corner) of the 1966 Guesthouse Unit extension by way of the addition of a Breezeway extending from the southwest corner of the south elevation of the Caretaker's Unit through to that portion of the 1966 addition identified with the east end of the Guesthouse Unit. Each of these elements and features of the new construction are stylistically similar to the original Caretaker's and Guesthouse Units, and the 2008 New Addition, but do not convey a false sense of historical development. Therefore the proposed project meets Standard 3.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Previous changes to the north elevation have not acquired historic significance in their own right. This Standard is not relevant to the project.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Distinctive materials, features, finishes, and construction techniques of the north elevation of the Guesthouse Unit include the gabled roof, false half-timbering, wooden windows, and stone wall and gate are being preserved. Therefore the proposed project meets Standard 5.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

No repair or replacement of deteriorated features are being proposed. Therefore the project meets Standard 6.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

No chemical treatments are being proposed. Therefore the project meets Standard 7.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

On January 28th, 2017, Archives & Archaeology conducted a Phase 1 Inventory of Archaeological Resources survey. The final report advanced negative findings for the parcel. Therefore the proposed project meets Standard 8.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed project will add a New Addition to create a second north elevation for use as a dining room. The proposed project will also alter the north elevation (northeast corner) of the 1966 Guesthouse Unit addition by way of the addition of a Breezeway extending from the southwest corner of the south elevation of the Caretaker's Unit through to that portion of the 1966 addition identified with the east end of the Guesthouse Unit, thereby forming a continuous floor plan with that of the New Addition situated immediately adjacent and just south and east of the southeast corner of the 1966 addition identified with the Guesthouse Unit. The affected portion of the Guesthouse Unit is necessarily obscured by the stone wall and gate located such that it articulates with the southwest corner of the Caretaker's Unit and the original northeast corner of the pre-1966 detached portion of the Guesthouse Unit.

There are no historic materials or spatial relationships that will be destroyed. The new building is compatible with the existing in scale, massing, features, and materials. The north elevation of the New Addition is situated at the southeast corner of the 1966 Guesthouse east addition and features three coat cement plaster, French doors replete with Divided-Light and Simulated Divided-Light windows and doors with wood muntins or grills with bullnose jambs and headers, custom shaped wood rafter tails, and a 6:12 roof with Spanish tile. The north elevation of this portion of the New Addition will be visible only from the area immediately adjacent the east elevation of the Guesthouse Unit. Beyond this fact, it should be noted that a portion of the east end of the ridge line of the New Addition will be partially visible at left of center of the north elevation of the Caretaker's Unit. Beyond this single element, no other feature of the proposed new



addition will be visible from the Viscaino Road approach or view shed. Therefore the project meets Standard 9.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If the proposed project were removed, the essential form and integrity of the Caretaker's Unit and Guesthouse Unit would be unimpaired. Therefore the proposed project meets Standard 10.

#### *Standards for Rehabilitation for Proposed East Elevation of the Guesthouse Unit*

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The historical use of the property (both the Caretaker's Unit and Guesthouse) was residential. The property will continue to be used for residential purposes. Therefore the proposed project meets Standard 1.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The east elevation of the Guesthouse Unit no longer retains its historic character. The 1966 remodel and room addition identified with the east elevation of the Guesthouse Unit was such that the original fenestration of the east elevation was dramatically altered and reconfigured, and new materials added to the mix of elements identified with that portion of the structure. The 1966 blueprints delineate the original east elevation (see Appendix III: 1928 Blueprint/Elevations – Guesthouse Unit [Plan & Elevations], p. 64), and thereby indicate that original doorway access through the east elevation consisted of a single-wide door located at the northeast corner of the elevation, and an upper story window. In order to accommodate the renovations of 1966, it was necessary to remove the original door and that portion of the east elevation identified with the main floor, and transform the second floor window just below the gable to a French door ensemble. In effect, the whole of the east elevation of the Guesthouse Unit was dramatically altered so as to accommodate the integration of the Guesthouse as per those plans submitted in 1966. This Standard is not relevant to the project.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

No conjectural features or elements from other historical properties will be added to the east elevation of the Guesthouse Unit. A New Addition will be added to create a second east elevation. The proposed project will also alter the north elevation (northeast corner) of the 1966 Guesthouse Unit extension by way of the addition of a Breezeway extending from the southwest corner of the south elevation of the Caretaker's Unit through to that portion of the 1966 addition identified with the east end of the Guesthouse Unit. Each of these elements and features of the new construction are stylistically similar to the original Caretaker's and Guesthouse Units, and the 2008 New Addition, but do not convey a false sense of historical development. Therefore the proposed project meets Standard 3.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Previous changes to the east elevation have not acquired historic significance in their own right. This Standard is not relevant to the project.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Significant modifications were made to the east elevation of the Guesthouse Unit in an earlier remodel such that the original fenestration, including a second story window, and a main floor doorway and wall section were completely removed in 1966 (see Appendix III: 1928 Blueprint/Elevations – Guesthouse Unit [Plan & Elevations], p. 64). As such, all available evidence from the 1966 remodel of the Guesthouse Unit indicates that distinctive materials, features, finishes, and construction techniques identified with the east elevation were entirely removed so as to make way for the room addition and the install of an open deck situated atop the room addition so noted (Seavey 2008). In effect, a ground floor room addition was added to the east elevation, thereby expanding the length of the north and south elevations accordingly (Seavey 2008). Notably, only the lower portion of south elevation of the 1966 addition was in turn clad with machine-cut shale siding akin to that used to resurface the Caretaker's Unit in 1966. This Standard is not relevant to the project.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

No repair or replacement of deteriorated features are being proposed. Therefore the project meets Standard 6.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

No chemical treatments are being proposed. Therefore the project meets Standard 7.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

On January 28th, 2017, Archives & Archaeology conducted a Phase 1 Inventory of Archaeological Resources survey. The final report advanced negative findings for the parcel. Therefore the proposed project meets Standard 8.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

There are no historic materials or spatial relationships that will be destroyed on the east elevation of the Guesthouse Unit. As previously noted, the proposed modifications to extant elevations are identified with the east end of that portion of the structure added to the Guesthouse Unit in 1966. The proposed New Addition is compatible with the existing building in scale, massing, features, and materials. The stone veneer siding or shale cladding that comprises the majority of those elevations identified with the Caretaker's Unit will in turn dominate the east elevation of the Guesthouse and Breezeway, as well as that cladding affixed to the base of the Bay window wells on the south elevation. The proposed New Addition to the east elevation of the Guesthouse Unit does not impact the view shed as per historic context, or constitute a visual intrusion, as construed from the Viscaino Road approach. Therefore the proposed project meets Standard 9.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If the proposed project were removed, the essential form and integrity of the Caretaker's Unit and Guesthouse Unit would be unimpaired. Therefore the proposed project meets Standard 10.

#### *Standards for Rehabilitation for Proposed South Elevation of the Guesthouse Unit*

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The historical use of the property (both the Caretaker's Unit and Guesthouse) was residential. The property will continue to be used for residential purposes. Therefore the

proposed project meets Standard 1.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The distinctive materials, features, and spatial relationships of the north elevation of the Guesthouse Unit include the gabled roof, false half-timbering, cement stucco cladding, and second story wooden windows. The proposed changes will retain these parts of the building intact. The proposed project will remove the French Doors on the east elevation which are not original to the building nor convey the historic character of the property. The proposed project meets Standard 2.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

No conjectural features or elements from other historical properties will be added to the south elevation of the Guesthouse Unit. The south elevation of the Guesthouse Unit has been previously modified with the removal of the original 1928 double-wide windows which were replaced with French doors and wall infill at the center of the south elevation. The proposed project will remove the French doors, and infill that portion of the wall. This proposed modification serves to accommodate the new addition immediately adjacent to said structure without conveying a false sense of historical development. Therefore the proposed project meets Standard 3.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Previous changes to the south elevation have not acquired historic significance in their own right. This Standard is not relevant to the project.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The distinctive materials, features, and spatial relationships of the south elevation of the Guesthouse Unit include the gabled roof, false half-timbering, and second story wooden windows, all of which will be preserved. Therefore the proposed project meets Standard 5.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

No repair or replacement of deteriorated features are being proposed. Therefore the project meets Standard 6.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

No chemical treatments are being proposed. Therefore the project meets Standard 7.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

On January 28th, 2017, Archives & Archaeology conducted a Phase 1 Inventory of Archaeological Resources survey. The final report advanced negative findings for the parcel. Therefore the proposed project meets Standard 8.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

There are no historic materials or spatial relationships which will be destroyed on the south elevation of the Guesthouse Unit given that the elevation has been previously modified with the removal of the double-wide window of the original 1928 structure. This window was replaced with French doors and wall infill at the center of the south elevation. The proposed project will remove the circa 1966 French doors and infill that portion of the wall. This will accommodate the new addition immediately adjacent to said structure of the south elevation. As such, both the modifications to the existing elevation, and the south elevation of the proposed new building are compatible with the existing structure in scale, massing, features, and materials. The south elevation of the New Addition includes a proposed Elevated Stone Patio, a new stone chimney at the center of the west elevation of the new 1,202.4 sf room addition situated just southeast of the Guesthouse Unit, and a Bay window at the center of the south elevation of the proposed room addition.

The new materials and features to comprise the south elevation of the proposed addition to the Guesthouse Unit include materials consonant with those used in the original construction, but sufficiently distinct so as to distinguish these from historic construction. These include: (a) Three Coat Cement Plaster, (b) Stone Veneer Siding, (c) 6" Copper Gutters with 3" round downspouts, (d) Metal Best or Equal Spark Arrestor, (e) Both Painted and Stained Divided-Light and Simulated Divided-Light Windows and Doors with Wood Muntins or Grills with Bullnose Jambs and Headers, (f) Gabled-end Vents

(Stained), (g) Custom Shaped Wood Rafter Tails, and (f) a 6:12 Roof with Spanish Tile to Match extant construction. Therefore the proposed project meets Standard 9.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If the proposed project were removed, the essential form and integrity of the Caretaker's Unit and Guesthouse Unit would be unimpaired. Therefore the proposed project meets Standard 10.

#### *Standards for Rehabilitation for Proposed South Elevation of the Caretaker's Unit*

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The historical use of the property (both the Caretaker's Unit and Guesthouse Unit) was residential. The property will continue to be used for residential purposes. Therefore the proposed project meets Standard 1.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The distinctive materials, features, and spatial relationships of the south elevation of the Caretaker's Unit include the gabled roof, false half-timbering, cement stucco cladding, stone cladding, and wooden windows. The proposed changes leave these parts of the building intact with the exception of the garage access door (rear entrance) and adjacent stone cladding. The proposed project will remove the remaining elements of the garage access door which was infilled or sealed in 1966, and no longer serves its original function. The original 1928 stone cladding surrounding the access door was removed and replaced with machine-cut shale cladding in 1966. As such, the historic character of that portion of the Caretaker's Unit was compromised at that time, and the project will not adversely affect this portion of the structure. Therefore the proposed project meets Standard 2.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

No conjectural features or elements from other historical properties will be added to the south elevation of the Caretaker's Unit. The proposed project will undertake the addition of a Breezeway extending from the southwest corner of the south elevation of the



Caretaker's Unit through to that portion of the 1966 addition identified with the east end of the Guesthouse Unit, thereby forming a continuous floor plan with that of the New Addition situated immediately adjacent and just south and east of the southeast corner of the 1966 addition identified with the Guesthouse Unit. Therefore the proposed project meets Standard 3.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Previous changes to the south elevation have not acquired historic significance in their own right. This Standard is not relevant to the project.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed project will remove the garage access door (rear entrance) which was infilled or sealed in 1966, and no longer serves its original function. The original 1928 stone cladding surrounding the access door feature was removed and replaced with machine-cut shale cladding in 1966. As such, the historic character has been compromised and the project will not adversely change its distinctive materials. Otherwise, the removal of the garage access door and the addition of the Breezeway will not impact the view shed as per historic context, or constitute a visual intrusion, as construed from the Viscaino Road approach. Therefore the proposed project meets Standard 5.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

No repair or replacement of deteriorated features are being proposed. Therefore the project meets Standard 6.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

No chemical treatments are being proposed. Therefore the project meets Standard 7.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

On January 28th, 2017, Archives & Archaeology conducted a Phase 1 Inventory of Archaeological Resources survey. The final report advanced negative findings for the parcel. Therefore the proposed project meets Standard 8.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

There are no historic materials or spatial relationships that will be destroyed on the south elevation of the Caretaker's Unit, particularly given the fact that the elevation has been previously modified with the removal of the original 1928 stone cladding. The siding was replaced with machine-cut shale cladding in 1966. As previously noted, the proposed project will remove the garage access door (rear entrance) which was sealed in 1966, and no longer serves its original function. As such, the historic cladding has been removed and the project will not adversely change its distinctive materials or features on this elevation. Furthermore, the removal of the garage access door and the addition of the Breezeway does not impact the view shed as per historic context, or constitute a visual intrusion, as construed from the Viscaino Road approach. Therefore the proposed project meets Standard 9.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If the proposed project were removed, the essential form and integrity of the Caretaker's Unit and Guesthouse Unit would be unimpaired. Therefore the proposed project meets Standard 10.

### **Mitigation**

According to the Monterey County Guidelines for Historic Assessments (2017):

A project that has been determined to conform to the Secretary of Interior's Standards for the Treatment of Historic Properties can generally be considered to be a project that will not cause a significant impact to the environment (14 CCR § 15126.4(b)(1)). If the proposed project does not conform to the Secretary of Interior's Standards for the Treatment of Historic Properties, then include feasible mitigation measures that will either avoid or reduce the impacts of the proposed project.

In order to meet the *Secretary of Interior's Standards for the Treatment of Historic Properties*, specifically, the Standards of Rehabilitation, the New Addition will be both "compatible with the historic character" of the Chimney Cottage and preserve the "historic relationship between the building or buildings and the landscape" (Weeks and Grimmer 1995: 105). Such is also consistent with the recommendations for the addition of the house constructed on the parcel in

2008, at which time Monterey County required that “The design of the new house shall be consistent with the existing historic structures and shall be compatible for the historic structures to maintain their integrity. Although the design is not required to be the same it should have similar features materials and design features” (Novo 2008: 2; Application No. PLN070428). As such, because the proposed project’s impacts are considered less than significant, there is no required mitigation.

### **Concluding Observations**

As previously noted, an April 24, 2008 application for the development of a new two-story single family home with a ten-car garage on the parcel identified with the Chimney Cottage was approved by the Monterey County Historic Resources Review Board. Said approval was made contingent on twenty conditions, all of which were essentially met by the owners of that time, albeit with some shortcomings as per the Chimney Cottage buildings proper. Admittedly, the 2008 project did not accomplish the conscientious and ongoing preservation of the two historic dwellings as originally intended. Much of this concern centers on the construction of the 2008 residence, which neglected to fully consider the totality of the historic landscape and viewshed.

1. In effect, the construction of the 2008 main residence essentially redefined, and thereby redirected, the focus of the living area away from the two historic structures under consideration. This thereby relegated them to only ancillary and intermittent use. As such, the Chimney Cottage structures designed by Hugh Comstock in 1928 were rendered secondary importance as accessories to the new structure of 2008. Their respective use was narrowly redefined in terms of their sole use as Guesthouse and Caretaker’s Units.
2. Although, in retrospect, it is apparent that the Tuscan style family residential structure built on the parcel in 2008 only served to detract from the historic cottages, particularly in terms of their ambiance and character, the Monterey County Historic Resources Review Board of that time only stipulated that “The design of the new house shall be consistent with the existing historic structures and shall be compatible for the historic structures to maintain their integrity. Although the design is not required to be the same it should have similar features materials and design features” (Novo 2008: 2; Application No. PLN070428). In this latter regard, the previous owners did in effect seek to integrate stylistic elements consonant with those identified with the historic structures, but the massing, location, and integration of the new structure ultimately worked at cross purposes with the overall intent of the Board and the development plans of that time.
3. Clearly, the location of the new Tuscan style structure built in 2008 requires additional attention as per current concerns regarding the current viewshed and the former residential centrality of the historic cottages. Given that the Chimney Cottage and Guesthouse Unit once held a central place as the primary dwellings identified with the property, it is clear that the location of the Tuscan style residential structure by and large detracts from this fact. As a consequence, the locational patterning, and thereby viewshed, have shifted to the Tuscan style residential structure. While the Tuscan style home should have been set back or otherwise located behind the historic structures in 2008, revisiting the site plan by way of

reintegrating the historic structures into the current residential project plan is here deemed a viable solution that will breath new life into the Chimney Cottage and its Guesthouse Unit. Had the historic structures not been relegated to ancillary status as Guesthouse and Caretaker's units during the 2008 undertaking, the extent of deferred maintenance now in evidence might have been averted.

While the previous owners of the parcel went to extraordinary lengths to address all Monterey County Historic Resources Review Board conditions, relegating the Chimney Cottage and Guesthouse Unit to use as Caretaker's units as per those conditions set at that time did not ultimately affect or otherwise prompt the ongoing conservation of the historic units as intended. The 2008 permit applicants, Karen and Dennis LeVett acquired the property on December 5, 2005, and remained the de facto owners and caretakers of the property through to its purchase by and conveyance to the current owner, Mr. Paul Dorman, on August 12, 2016 (PARIS 2017; PBCLA 2017). The current owner, Mr. Paul Dorman, has expressed a conscientious commitment to return the Chimney Cottage and Guesthouse Unit to a central place in the current plan, otherwise intended to integrate the historic structures into a new more comprehensive residential configuration. The proposed plan advanced by the Claudio Ortiz Design Group, Inc., on behalf of the current owner, Mr. Paul Dorman, seeks to honor the spirit and intent originally envisioned by the Monterey County Historic Resources Board for the upkeep and preservation of the historic structures in question.

The current project and plan, unlike its precursor, has instituted a host of safeguards in the design and planning so as to assure the integrity of the process by way of visiting and revisiting considerations specific to the historic preservation of both the Chimney Cottage and the Guesthouse Unit. Moreover, the current owner and architect(s) have asserted a bona fide commitment to the conservation and maintenance of the Chimney Cottage and its associated Guesthouse Unit. This commitment includes the carefully considered integration of the Chimney Cottage and Guesthouse Unit, and its immediate landscape features, into the overall design plan of the proposed new residential unit. Moreover, given that research and those interviews undertaken for this report, it is our professional opinion that the proposed project will go far to assuring the preservation of the historic structures of the Dorman residence by way of reasserting the centrality of the Chimney Cottage and Guesthouse Unit located thereon. This will be achieved by way of those considerations published by way of the Monterey County Guidelines for Historic Assessments (2017):

1. In order to meet the *Secretary of Interior's Standards for the Treatment of Historic Properties*, specifically, the Standards of Rehabilitation, the New Addition will be both "compatible with the historic character" of the Chimney Cottage and preserve the "historic relationship between the building or buildings and the landscape" (Weeks and Grimmer 1995: 105). To the extent possible, we have documented that the new construction will be located such that it will in no way detract from the viewshed identified with both the Chimney Cottage and the Guesthouse Unit. Moreover, the plan seeks to maximize the preservation and integration of existing landscape features. As such, the preservation of the historic structures and the attendant landscape elements identified with the courtyard fountain and shale pavement features that abut the back of the Chimney Cottage will be integrated into the plan such that they form a continuous living area with the new addition.

2. "The design of the new house shall be consistent with the existing historic structures and shall be compatible for the historic structures to maintain their integrity. Although the design is not required to be the same it should have similar features materials and design features" (Novo 2008: 2; Application No. PLN070428). To the extent possible, all newly proposed construction will integrate features consonant or compatible with the historic structures, without duplicating materials so as to make possible distinctions between extant historic fabric and modern construction materials (See 5, below).
3. Inspection of the visual character at close range is another important element to consider when reviewing character defining features of a historic structure or building, particularly given that "surface qualities of the materials may be important because they impart the very sense of craftsmanship and age that distinguishes historic buildings from other buildings" (Nelson 1982: 2). Character defining features of the Chimney Cottage include (a) the decorative chimney, (b) Mission or Spanish tile roof, (c) rough-cut shale cladding (Carmel River stone, Monterey Formation shale), (d) the gabled roof, (e) false half-timbering, (f) arched windows, (g) asymmetrical or irregular plan, (h) cement stucco cladding, and (i) an array of window types, including wooden windows, niched windows, dormer windows, and half-light windows. Notable interior character-defining features of the Caretaker's Unit include (j) the joist and rafter system (east end), and (k) the wooden staircase. Each of these character defining features will be retained in the historic structures, and secondarily, will be integrated into the design character of the new addition such that they form a visually appealing melding of the old and new.
4. Finally, the proposed project seeks to mitigate and or otherwise ameliorate the consequences of deferred maintenance in the historic structures by way of a program of preservation treatments that function to stabilize, consolidate, and conserve the physical condition of character-defining materials and features of both the Chimney Cottage and Guesthouse Unit (Weeks and Grimmer 1995: 19-20).

## Appendices



## Appendix I: References

### Accela Citizen Access (ACA)

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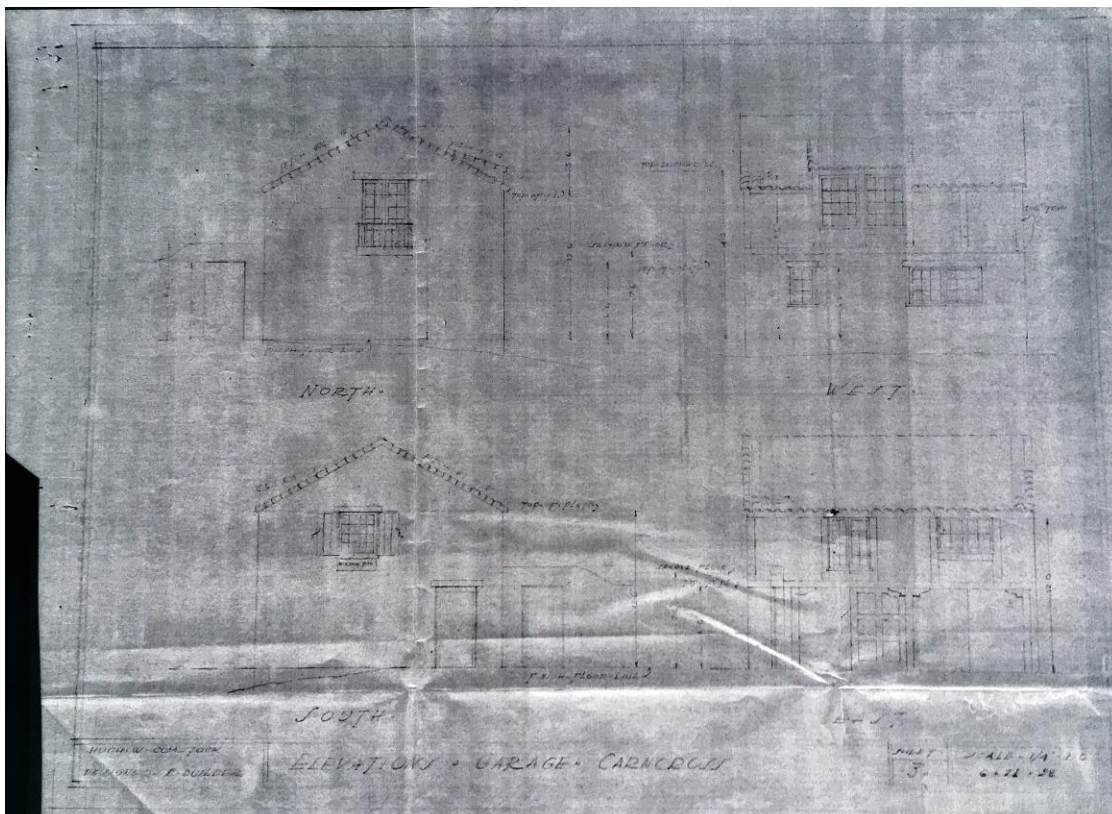
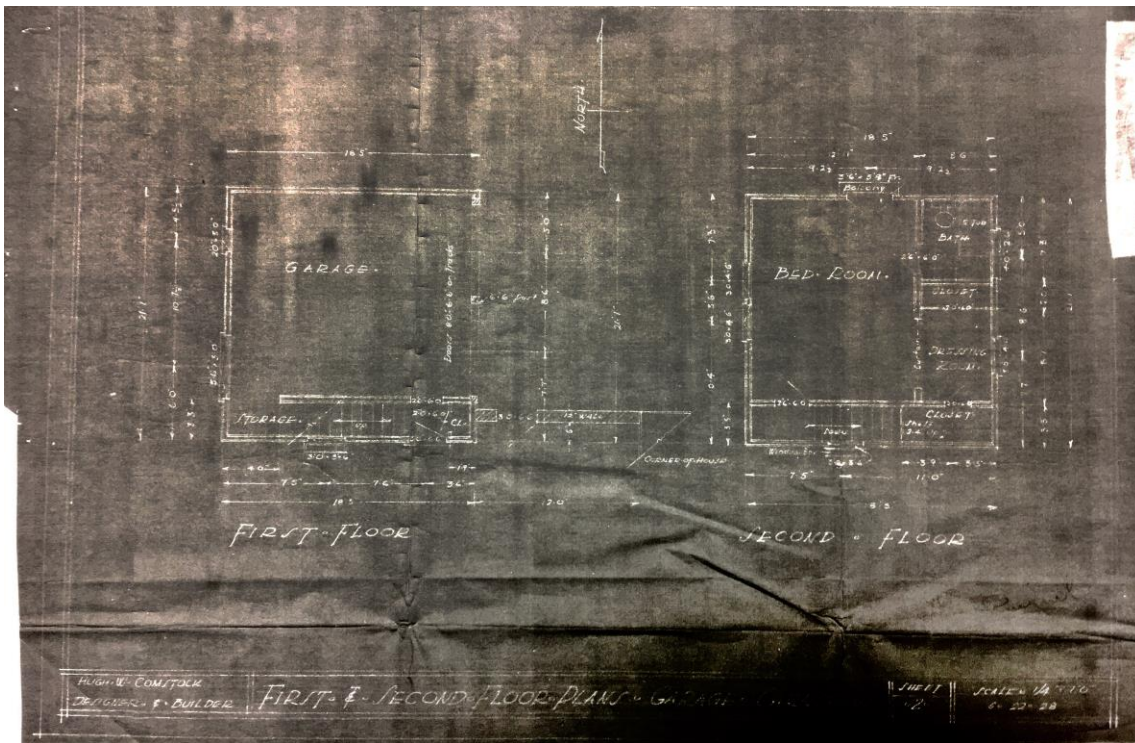
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Appendix III: 1928 Blueprint/Elevations – Guesthouse Unit (Plan & Elevations).





This is a hand-drawn floor plan of a house, likely a duplex or a small commercial building, with various rooms and annotations. The plan is oriented with a vertical axis on the left and a horizontal axis at the top.

**Rooms and Features:**

- Top Left:** A room labeled "Covered Lino Floor" with a central square symbol. To its left is a vertical strip labeled "Door" and "Window".
- Top Center:** A room labeled "Bed Room" with a central square symbol. To its left is a vertical strip labeled "Door" and "Window".
- Top Right:** A room labeled "WALLS IN KITCHEN & BATH TO BE SHEET ROCKED & PAINTED". To its left is a vertical strip labeled "Door" and "Window".
- Middle Left:** A room labeled "KEEP SPACE" with a central square symbol. To its left is a vertical strip labeled "Door" and "Window".
- Middle Center:** A room labeled "COVERED LINO FLOOR" with a central square symbol. To its left is a vertical strip labeled "Door" and "Window".
- Middle Right:** A room labeled "TO 2nd FLOOR" with a central square symbol. To its left is a vertical strip labeled "Door" and "Window".
- Bottom Left:** A room labeled "13' FINISHED" with a central square symbol. To its left is a vertical strip labeled "Door" and "Window".
- Bottom Center:** A room labeled "Closet" with a central square symbol. To its left is a vertical strip labeled "Door" and "Window".
- Bottom Right:** A room labeled "SPACE LEFT FOR OFFICE" with a central square symbol. To its left is a vertical strip labeled "Door" and "Window".

**Annotations and Details:**

- Top Left:** "COVERED LINO FLOOR" (repeated), "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".
- Top Center:** "Bed Room", "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".
- Top Right:** "WALLS IN KITCHEN & BATH TO BE SHEET ROCKED & PAINTED", "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".
- Middle Left:** "KEEP SPACE", "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".
- Middle Center:** "COVERED LINO FLOOR", "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".
- Middle Right:** "TO 2nd FLOOR", "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".
- Bottom Left:** "13' FINISHED", "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".
- Bottom Center:** "Closet", "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".
- Bottom Right:** "SPACE LEFT FOR OFFICE", "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".

The plan includes numerous handwritten notes and dimensions, such as "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE", "COVERED LINO FLOOR", "TO 2nd FLOOR", "13' FINISHED", "Closet", "SPACE LEFT FOR OFFICE", "WALLS IN KITCHEN & BATH TO BE SHEET ROCKED & PAINTED", "Door", "Window", "10' DIAMETER", "D.W.", "SINK", "CABINET", "KEEP SPACE".



## **Appendix V: State Historic Resources Evaluation Forms (DPR 523)**



Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5S2  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

Resource Name or #: (Assigned by recorder) "Chimney Cottage"

P1. Other Identifier:

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County Monterey  
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_ ; R \_\_\_\_\_ ; 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_ ; B.M. \_\_\_\_\_

c. Address: 1600 Viscaino Road City Pebble Beach Zip 93953

d. UTM: (Give more than one for large and/linear resources) \_\_\_\_\_ ; \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Blk 157-A Lot B Pebble Beach

Parcel No. 008-201-002

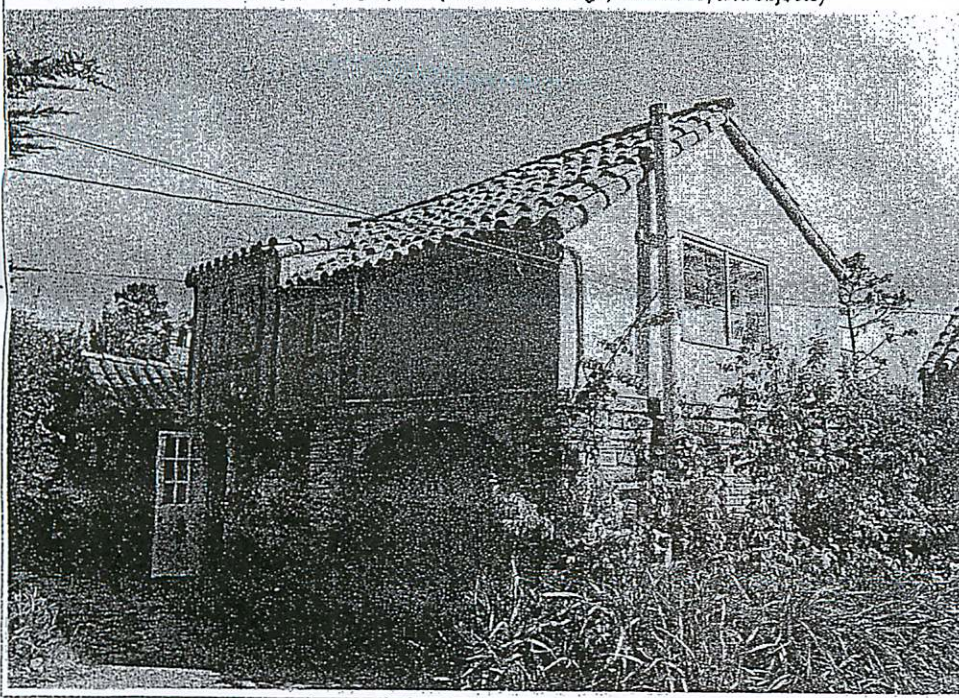
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-and-two-story wood-framed Tudor Style cottage with detached two-story garage, irregular in plan, resting on a concrete foundation. The exterior wall cladding of the cottage is a combination of textured cement stucco with a Carmel stone veneer. The detached garage is clad in textured cement stucco. The stepped side-gable medium-pitched roof system of the cottage and garage is covered in Mission tiles, rolled at the gable ends. There is one exterior gable wall chimney. It is found centered in the ridge line of the east side-elevation on the cottage. The chimney stack is randomly laid up Carmel stone, with a tiled decorative cap. A lower cross-gabled door hood projects toward the NE off the center of the one-story living room. It is carried on large, chamfered square wood posts with shaped corbels supporting the pedimented door hood. The wood posts rest on raised Carmel stone bases. A kitchen door is found at the SE corner of the two-story wing on this elevation. The entire exterior wall cladding of the one-story living area is Carmel stone. The Carmel stone veneer on the two-story portion of the cottage, to the NW, comes up to about the floor plate of the second story. Hand-carved false half-timbering is found on the NE (front), and SW (rear) elevations of the two-story portion of the cottage, generally employed as window surrounds. Fenestration is irregular with a combination of fixed, casement type and sliding multi-paned wood windows, with predominantly horizontal wood muntins.

P3b. Resource Attributes: (List attributes and codes) HP2 - Single Family Property

i. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)  
Looking SE at the north facing facade and w/side elevation, 5/2/05, #34386-4

P6. Date Constructed/Age and Sources

☐ Prehistoric ☒ Historic ☐ Both

1928 Pebble Beach Co. records

P7. Owner and Address

Mr. Dennis Levett  
P.O. Box 6286  
Carmel, CA 93921

P8. Recorded by: (Name, affiliation, and address)

Kent L. Seavey  
Preservation Consultant  
310 Lighthouse Ave.  
Pacific Grove, CA 93950

P9. Date Recorded: 5/5/2005

P10. Survey Type: (Describe)

Intensive-CEQA required

P11. Report Citation: (Cite survey report and other sources, or enter "none")

None

Attachments

☐ NONE ☒ Continuation Sheet ☐ District Record ☐ Rock Art Record ☐ Other: (List)  
☐ Location Map ☒ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record  
☐ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Primary #

HRI #

Page 2 of 4

NRHP Status Code

5S2

Resource Name or #: (Assigned by recorder) "Chimney Cottage"

B1. Historic Name: "Chimney Cottage"

B2. Common Name: "Chimney Cottage"

B3. Original Use: residence

B4. Present Use: residence

B5. Architectural Style: Tudor (Storybook substyle)

B6. Construction History: (Construction date, alterations, and date of alterations)  
Constructed 1928 (Pebble Beach Co. property records)

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

B8. Related Features: detached two-car garage 1928 (Pebble Beach Co. building records; second-story entry stairs replaced on NW elevation & deck and room added to SE elevation 1967 (pebble Beach Co. building records)

B9a. Architect: Designer/Hugh W. Comstock

b. Builder: Hugh W. Comstock

B10. Significance: Theme: Architectural Development

Area: Pebble Beach

Period of Significance: 1928

Property Type: single family residence

Applicable Criteria: CR3

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address Integrity.)

The "Chimney Cottage" is significant under California Register criterion 3, in the area of architecture as the earliest known example of residential design in Pebble Beach by Carmel masterbuilder Hugh White Comstock. Hugh White Comstock (1893-1950), was one of the most important early designer/builders in the Carmel area. With no architectural training and only basic carpentry skills, Comstock designed, and constructed Carmel's first "fairy-tale" cottages in village in 1924. The first, "Doll House", was constructed as a showroom for his doll maker wife. The storybook cottage form was a whimsical caricature of the popular Tudor style, with no straight building lines, including their Carmel stone chimneys which were a Comstock signature. Their single-wall wood frames were first clad with a mixture of plaster and pine needles, troweled over burlap to create an uneven textured surface. Undulating ridgelines, and randomly carved pieces from the door and window casings added to the rustic effect. The tiny buildings struck a chord within Carmel's artistic community and Comstock rapidly found himself in the construction trade. Comstock's early work was highly imaginative and individual. He used native materials including Carmel stone, local redwood and hand designed fixtures, and was particularly sensitive to protecting the natural landscape setting with the placement of his buildings. He personally built about 12, houses, before hiring unskilled carpenters and training them to work to his specifications. Comstock designed these Storybook cottages until about 1929-1930 when he began to work in the more fashionable romantic revival building styles of the period. Hugh Comstock defined the architectural character of Carmel with his "fairy-tale" cottages and commercial buildings constructed between 1924 and 1929-30. To a considerable degree they have set the architectural tone for the village since that time. "Chimney Cottage" is the only known example of Comstock's "Fairy-tale" residential design to be found in Pebble Beach.

B11. Additional Resource Attributes: (List attributes and codes) HP2 - Single Family Property

**B12. References:**

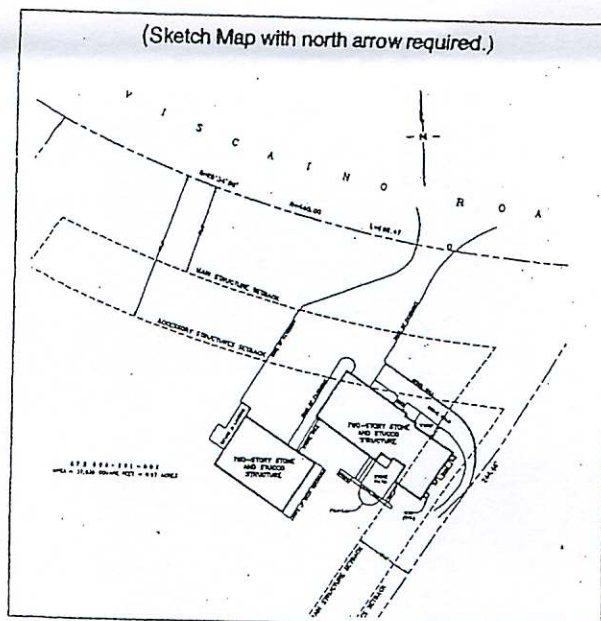
Boone, L., Janick, R., Seavey, K., *Architecture of the Monterey Peninsula*, Monterey Peninsula Museum of Art: Monterey, CA, 1976  
*Carmel Pine Cone*, (Obit.) Helen Carncross 3/10/49  
Pebble Beach Co. building records  
Monterey County Assessor's records

B13. Remarks: Zoning LDR/1.5-D (C2)

B14. Evaluator: Kent Seavey

Date of Evaluation: 5/5/2005

(This space reserved for official comments.)





**CONTINUATION SHEET**

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

Page 3 of 4

Resource Name or #: (Assigned by recorder) "Chimney Cottage"

Recorded by: Kent L. Seavey

Date 5/5/2005

☒ Continuation ☐ Update

P3. Small, arched openings flank the fireplace on the SE side-elevation. The arched opening on the south side of the chimney acts as a niche. A large, Palladian style focal window is centered in the gable end of an ell, facing SW off the one-story living area. There is a large, wood paneled double garage door, with a Tudor arch, located on the NW side of the NE facing facade. This feature now functions as a wall for a bathroom closet and laundry room behind. Most exterior door latches, hinges and lighting fixtures are hand wrought metal dating from the 1920s. A Carmel stone connecting wall between the cottage and garage unit has an arched and paneled wooden door leading into the rear garden. The garden is protected from the weather by the ell formed by the two buildings.

The NE facing two-story garage unit has living quarters above, reached by a side approach wood stair on the SW side-elevation. This feature, with a small landing above, and a shed-roofed hood above the entry door, was added in 1967, and is consistent with the design character of the building. The two-car garage at the ground level has paired, wood paneled double garage doors, similar in design to those found on the one-car cottage garage, but with minor variations in the panel detailing. The same hand-carved half timbering details found on the cottage appear on the window surrounds of the upper floor of the garage. A ground floor room was added at the east end of the garage unit in 1967, with an open deck above. The deck rail is similar to that found on the wood stair at the SW end of the building, which includes a shaped rail, with flatworm balusters pierced in a spear point motif. It should be noted that the roof pitch on the two-story portion of the cottage varies from front (NE) to rear (SW) with the steeper pitch to the NE. This change in pitch may be accounted for by a wall dormer found on the SE end of the second story.

There is a raised Carmel stone terrace at the rear of the cottage, fronted to the SW by a semicircular fountain at its base. The area immediately adjacent to the two buildings is overgrown with tall shrubbery and immature trees. The parcel itself slopes gently downhill toward the south, covered in grasses and some mature pines. The cottage and garage are located in a wooded neighborhood of post WWII one and two-story residences. It is fronted along Viscaïno Road by a tall redwood grape stake fence, in poor repair. A gate post at the entry has a hand-carved wooden sign reading "Chimney Cottage", held in place by a scrolled wrought iron armature.

B10. Little is known of the original owner, Dr. Helen H. Carncross, except that she was a native of Philadelphia, and lived in Winnetka, Illinois, when she purchased the Viscaïno Road property. She was living at Camino Real and Fifteenth St., with Dr. Margaret Levick, when she passed away 1949. What is clear is that Dr. Carncross wanted one of Comstock's "fairy-tale" cottages on her Viscaïno Road lot. This posed a problem for the designer in that the Del Monte Properties Company, owner of Pebble Beach, sold their land with very specific deed restrictions. These included a proviso that all residential design be in "...a style of architecture similar to that found in early California, Spain, Italy, Southern France or Mexico." The architectural design criteria, some of the first in California (1919), was established to implement the Del Monte Properties Co. philosophy of developing "a community which will fit harmoniously into the landscape, maintain the traditions of the early days and present to the world a unity of aspect in a style or mode free from the cut and dried sameness of most such efforts." Architect William Otis Raiguel was the official plan checker for Del Monte Properties in 1928, and would have had to approve any plans submitted to the company prior to construction. There is no available record of any negotiations between Dr. Carncross, designer Comstock and architect Raiguel regarding the solution to design issues posed by the Tudor "fairy-tale" cottage, but it is possible that the one-story Carmel stone living room wing to the SE was added to the original building plans as a "Mediterranean" compromise to meet Del Monte's design criteria.

The result of those negotiations was "Chimney Cottage", an eclectic mix of Comstock's favored eclectic Tudor style, capped by a Mission tiled roof system. The cottage is little changed from its 1928 date of construction, retaining its historic integrity to a remarkable degree. The garage was slightly modified in a 1967 remodeling by Carmel building designer Roger Poole, with contractor Harold H. Houghten, who rebuilt the second story entry stairs on the NW side-elevation, and added a room with open deck above to the SE side-elevation. This work is consistent with the design character of the original building and meets the Secretary of the Interior's Standards for the Treatment of Historic Properties, under the treatment for Rehabilitation.

"Chimney Cottage" is the only known example of Carmel master builder Hugh Comstock's "Tudor derived fairy-tale" residential design in Pebble Beach. Its employment of "Mediterranean" detailing is reflective of the early use of architectural design controls by a development company, the Del Monte Properties Company, to control community appearance. "Chimney Cottage" evokes a strong sense of time and place, and of feeling and association with the early development of Pebble Beach. It clearly qualifies for listing in the California Register, at the local level of significance, for its architectural qualities, including high artistic value, and for its overall design by noted Carmel master builder, Hugh White Comstock.

B12.

Lemos, Pedro, "The Little Houses of Carmel", *The School Arts Magazine*, February 1928, pp. 338-343.



**CONTINUATION SHEET**

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

Page 4 of 4

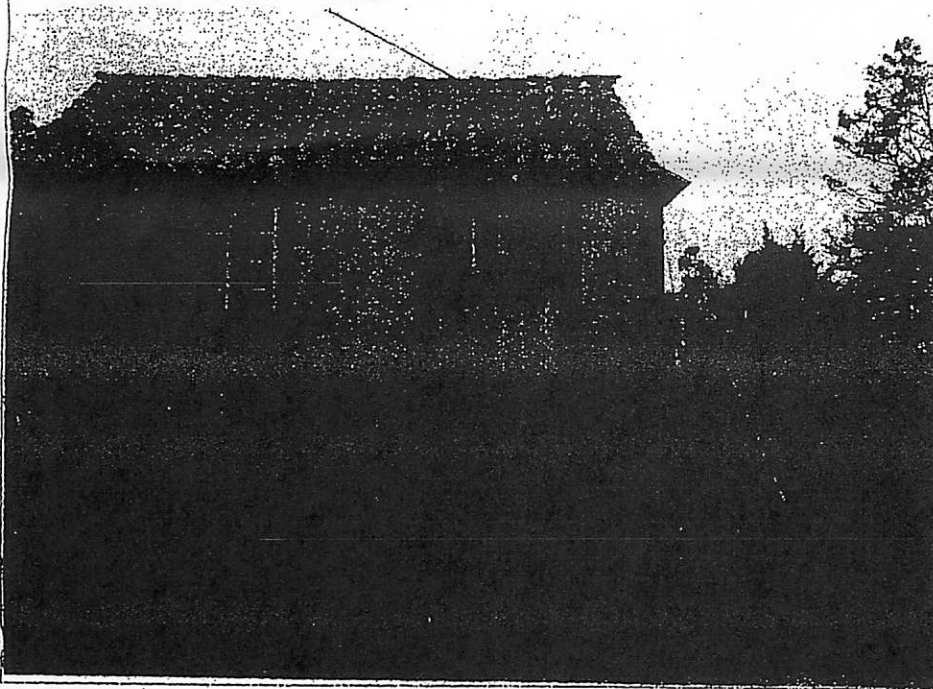
Resource Name or #: (Assigned by recorder) "Chimney Cottage"

Recorded by: Kent L. Seavey

Date 5/5/2005

☒ Continuation ☐ Update

Supplemental Photograph or Drawing



Description of Photo: (View, date, accession #)  
Looking SW at the front of the two-story detached garage, 5/2/05, #34386-21

\*Recorded by: R. Mendoza and J. Lucido

\*Date: May 6, 2017 ☐ Continuation

☒ Update

### Historical Background

The Dorman property is located within the unincorporated community of Pebble Beach, California, and its Chimney Cottage units constitute a significant historic resource in Pebble Beach. Pebble Beach is located within the confines of two former Spanish era land grants, *Punto de Pinos Rancho* and *Rancho El Pescadero* (Pebble Beach Company 1984). *Punto de Pinos* was owned by José María Armenta and José Abrigo (USGLO 2016: 19). However, the land was later claimed by L.E. Page, et al, on December 29, 1835, and was later claimed by John C. Gore on May 20, 1846 (Ebinger 1981: 23).

From circa 1880 to 1919, the Del Monte Forest was owned by the Pacific Improvement Co. (P.I. Company), which used the land primarily for cattle ranching (Pebble Beach Company 1984). In 1919, Samuel F.B. Morse was the manager of P.I. Company; he and his partner Herbert Fleishacker, the President of Anglo Bank, San Francisco, formed Del Monte Properties Company (DMPCo.; Pebble Beach Company 1984). Through this new company, they purchased 7,000 acres of Del Monte Forest for \$1,300,000 (Pebble Beach Company 1984). In addition, DMPCo also purchased a log cabin lodge, various cottages at Pebble Beach, the Del Monte Hotel (Monterey), Monterey County Water Works, Pacific Grove Sand Plant, Pacific Grove Hotel, some land in Carmel Valley, and residential lots in Pacific Grove, all of which was sold in a subsequent land auction (Pebble Beach Company 1984). Morse was known as “Duke of Del Monte” until his death in 1969. Today, Pebble Beach consists of 5,300 acres and some 74 miles of roads (Pebble Beach Company 1984). Pebble Beach is bordered by the cities of Pacific Grove, Monterey, and Carmel (Pebble Beach Company 1984).

#### *Pebble Beach Historic Context Statement*

The Pebble Beach Historic Context Statement is organized by seven themes: a) Residential Development, b) Commercial Development, c) Landscape Development & Preservation, d) Recreation, Leisure & Tourism, e) Transportation & Infrastructure, f) Resource Extraction, and g) Social and Economic Trends (Page & Turnbull, Inc. 2013: 12). The Dorman property is most closely associated with the theme of Residential Development of Pebble Beach.

During the 1920s, the Del Monte Properties Company established the “Mediterranean type” (Page & Turnbull, Inc. 2013: 113). This style consists of a mixture of Mission Revival, Italian Villa style, and Spanish Colonial Revival style elements, including that of a red tile roof, stucco-clad walls, and rounded or arched windows (Harris 2005: 625).

Most “Mediterranean type” buildings in Pebble Beach bore elevations with stuccoed walls (Page & Turnbull, Inc. 2013: 87). In contrast, the Chimney Cottage is one of several residences in Pebble Beach that employed partial stone cladding in addition to stucco (Page & Turnbull, Inc. 2013: 87). Notably, the only other such residential building in the area to make use of stone or shale cladding is located at 3426 17-Mile Drive, Pebble Beach, California. However, the Chimney Cottage units are the only known Pebble Beach examples of the “Fairytale” or “Storybook” architectural style designed by noted Carmel builder Hugh W. Comstock (Page & Turnbull, Inc. 2013: 87). The Del Monte Properties Company architect, William Otis Raiguel, was then responsible for reviewing and approving any building plans submitted to the company prior to construction (Seavey 2008). Therefore, in order to address the “Mediterranean type” specifications required by the Del Monte Properties Company, and thereby obtain Raiguel’s approval, Comstock incorporated a Mission Revival style tiled roof. This fact had a clear bearing on the electric design considerations inherent in the Chimney Cottage’s construction (Seavey 2007).

After World War II the “Mediterranean type” style was discontinued in Pebble Beach (Page & Turnbull, Inc. 2013: 113). During the post-World War II period, Ranch style residential architecture predominated on the Monterey Peninsula, as well as throughout California more generally (Page & Turnbull, Inc. 2013: 113). New trends in residential landscaping also emerged during the post-World War II period in Pebble Beach. The residential landscapes of this period reflected “the concept of indoor-outdoor living, and were designed to be comfortable, agreeable spaces” (Page & Turnbull, Inc. 2013: 106).

#### *Ownership Chronology of the Chimney Cottage*

On August 26, 1926, the parcel located at 1600 Viscaiano Road, Pebble Beach, CA 93953, was acquired by Mrs. Helen H. Carncross (PBCLA 2017; Seavey 2007, 2008). As noted in the foregoing narrative, Hugh W. Comstock (1893-1950) was the architect and builder of the Chimney Cottage (Page & Turnbull, Inc. 2013: 87; PBCLA 2017; Seavey 2007, 2008). Hugh W. Comstock drafted house plans for the property on June 26, 1928 (PBCLA 2017). Construction of the property was completed in 1929 (PBCLA 2017). Continued on Continuation Sheet 2



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According to Mrs. Carncross' 1949 obituary published in the *Carmel Pine Cone*, she spent the last ten years of her life (circa 1939-1949) at her Carmel residence located at Camino Real and Fifteenth Street (Carmel Pine Cone 1949; FamilySearch 2017). However, Carncross maintained ownership of the house until February 23, 1943 (PBCLA 2017). On February 24, 1943, Carncross deeded the property to Alfred Owen Ulph (PBCLA 2017). Shortly thereafter, Ulph deeded the house to his parents, Alfred Walter Alexander and Lily Blackburn Ulph of England, on November 15, 1944 (Ancestry 2017; PBCLA 2017).

About a year later, the property was then deeded to Salinas Title Guarantee on November 23, 1945 (PBCLA 2017). Mrs. Charlotte Wright next acquired the deed to the property on September 3, 1946, and resided at that address until May 20, 1963. Subsequently, Mr. John N. Hunter and his wife Josephine A. Hunter (Kegley), Thomas H. Hunter, and Diane Hunter, acquired the deed to the property (PBCLA 2017; U.S. Congress 2011). Shortly thereafter, the Hunters deeded the property to their corporation, Industrial Boxboard Company, on September 9, 1963 (PARIS 2017; PBCLA 2017). Industrial Boxboard Company held the deed until it was transferred back to Josephine A. and John N. Hunter on December 26, 1996 (PARIS 2017; PBCLA 2017). Two years later, John N. Hunter removed his wife Josephine A. Hunter from the deed, and added his daughter Julene A. Hunter on November 17, 1998 (PARIS 2017; PBCLA 2017). The Hunters retained ownership of the property until 2005 (PARIS 2017; PBCLA 2017). On December 5, 2005, Karen and Dennis LeVett acquired the property (PARIS 2017; PBCLA 2017). The LeVetts owned the property, but were listed in the 2007 Monterey and San Benito Counties AT&T Yellow Pages directory as residents of Ocean Ave, Carmel-by-the-Sea, whereas Karen was listed as residing at 3301 17-Mile Drive, Pebble Beach, California. On August 12, 2016, Mr. Paul Dorman acquired title to the property, and is the present property owner of 1600 Viscaino Road, Pebble Beach, California (PARIS 2017; PBCLA 2017).

#### *Building History of the Chimney Cottage*

The only documented record of modifications to the Chimney Cottage units, hereafter, the Caretaker's and Guesthouse Units, was those remodeling efforts undertaken in 1966 and 1967, during which time the Hunters were the property owners identified with the Chimney Cottage (DPR Continuation Sheet 3; PBCLA 2017; Seavey 2007, 2008). According to an earlier study by Seavey (2008), the 1966-67 project met the *Secretary of the Interior's Standards for the Treatment of Historic Properties* under the treatment for Rehabilitation.

On November 13, 1966, designer Roger Poole and contractor Harold Houghton modernized the kitchen, and updated the electrical systems, of the Caretaker's Unit or main house (DPR Continuation Sheet 3; PBCLA 2017; Seavey 2007, 2008). The back door to the garage, located at the southwest corner of the south elevation, was infilled or sealed so as to accommodate the wholesale remodeling of the interior of the Caretaker's Unit (see Appendix IV: Blueprint/Elevations – Interior Caretaker's Unit / Guesthouse Addition, p. 64).

Alterations and modifications to the Guesthouse Unit coincide with the 1966-67 modernization and remodeling of the Caretaker's Unit. Renovations to both the exterior and interior of the structure include the following:

- 1) a stairway was added to the west elevation of the Guesthouse Unit so as to provide access to the de facto second-floor guesthouse (DPR Continuation Sheet 3; Seavey 2007, 2008);
- 2) an open deck (or landing) was added to the roof of the east elevation room addition to the Guesthouse Unit (DPR Continuation Sheet 3; Seavey 2007, 2008);
- 3) French doors were added to the south elevation of the Guesthouse Unit in order to provide a secondary entrance to the converted space on the ground level (DPR Continuation Sheet 3; PBCLA 2017; Seavey 2007, 2008); and,
- 4) a room addition was made to the east elevation such that the original floor plan was extended further eastward, and the fenestration altered, and the first floor portion of the elevation wall was demolished and removed so as to generate an open floor plan (DPR Continuation Sheet 3; Seavey 2007, 2008). The new room addition, or room-block or extension situated immediately beneath the deck and or landing, was clad in a wainscot consisting of machine-cut Monterey formation shale identical to that used to resurface the western two-thirds of the Caretaker's Unit (i.e., Chimney Cottage or Caret). This thereby conforms to a host of such modifications made via the addition and renovation of each of those structures noted at that time.

Continued on Continuation Sheet 3

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Moreover, a detailed visual inspection and photographic survey of the Caretaker's Unit (i.e., Chimney Cottage) and Guesthouse by Dr. Rubén Mendoza and Ms. Jennifer Lucido of Archives & Archaeology determined that additional modifications pertaining to rehabilitation were undertaken in 1966. Because an earlier Phase 1 Historic Assessment overlooked the modifications in question, these were not documented at that time during the review on behalf of the County of Monterey, the Pebble Beach Company (PBCLA 2017), or by way of the Phase 1 Historic Assessment undertaken by Kevin Seavey (2007, 2008). The renovations in question center primarily on the (a) replacement of some two-thirds of the original hand-hewn or finished shale cladding or stone siding with machine-cut shale cladding identified with the Caretaker's Unit or Cottage in 1966, (b) the infilling of the door located at the southwest corner of the south elevation of the Caretaker's Unit (see Appendix IV: 1966 Blueprint/Elevations – Interior Caretaker's Unit / Guesthouse Addition), and (c) the discontinuous nature of the joist and rafter system employed in the west half of the upper floor of the Caretaker's Unit from that evident within the east end of the same Cottage footprint. In fact, the machine-cut lumber employed in the upper story of the west half of the Caretaker's Unit or Cottage is wholly distinct from that employed in the east half of the same structure.

When viewed against the roof plan for both the Caretaker's Unit and that of the Guesthouse Unit, significant variation exists for the roof pitch readings documented by the Claudio Ortiz Design Group (CODG 2017). Whereas the principal pitch for the four primary gabled features of the Caretaker's Unit is that of 8:12, the roof pitch over the room at the west end of the upper floor is that of 6:12. As noted, the materials and workmanship evident in the west end of the upper floor of the Caretaker's Unit are distinct from those that dominate the whole of the rest of the Cottage. As such, we are left to conclude, in lieu of additional documentation from the period between 1928 and 1966, that the Caretaker's Unit underwent significant remodeling that included the addition of an upper floor room block, and thereby, the modification of the original roof plan and pitch. This in turn resulted in the construction of a second story room addition that altered the one-story plan posited for the west end of the original Cottage. To that end, it should be noted that the roof pitch of the second story addition approximates that of the adjacent Guesthouse Unit. In sum, we conclude that much of the original stone or shale cladding was replaced in 1966, and the original configuration of the upper floor, and thereby view shed, was modified with the addition of an upper floor room at the west end of the Caretaker's Unit.

### Description of the Historic Resource

The Dorman property residence under consideration consists of a one and two-story, single-family dwelling or Caretaker's Unit (1,242 sq. ft.) and Guesthouse (1,070 sq. ft.; Novo 2008). The Caretaker's Unit (main house) consists of two bedrooms and two bathrooms. The Guesthouse Unit has two apartments, one on the lower level (350 sq. ft.), replacing the original detached garage, and one on the upper level (720 sq. ft.), each with integrates a kitchen and full bathroom. The parcel encompasses an area of 0.87 acres.

The Caretaker's Unit is constructed as a wood-frame Tudor style cottage with Mediterranean elements situated atop a concrete foundation (Harris 2005: 1021; Seavey 2008). The Caretaker's Unit, therefore, is characterized by a hybrid combination of architectural styles. These include Tudor style, Cottage style, and Mediterranean style elements, constructed on an irregular or asymmetrical plan, with a combined cladding in textured cement stucco and Carmel stone (although brick is more characteristic of Tudor style), false half-timbering, Spanish or Mission style roof files, and a decorative chimney (Harris 2005: 268, 1021; Seavey 2008).

As noted by Kevin Seavey (2007), the overall architectural style of Chimney Cottage is unique because it incorporates both "Comstock's...signature rustic Medieval half-timbering on the building envelope and the use of a Mission tile roof, to address specific design guidelines laid out by the Del Monte Properties Company for residential construction in the Pebble Beach resort community during the 1920s." In addition, Seavey (2007, 2008) notes that in order to obtain Del Monte Properties Company architect William Otis Raiguel's approval, the one-story Carmel stone living room (east) wing of the Caretaker's Unit may have been added, although there is no documentation of said accommodation. We, however, concur with Seavey's (2007) observation that the east half of the structure does not conform to that of the west half, in that the overall dimensions of the building footprint of the west half of the Caretaker's Unit is virtually identical to that of the Guesthouse Unit. Moreover, as noted in the foregoing narrative, we found that the joist and rafter system of the west half of the Caretaker's Unit is structurally and materially distinct from that of the east half of the same building.

Continued on Continuation Sheet 4

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*Character Defining Features*

Prior to modifying, repairing, or otherwise altering a historic structure, the *Secretary of the Interior's Standards for the Treatment of Historic Properties* emphasizes the requirement to first "identify the form and detailing of those architectural materials and features that are important in defining the building's historic character and which must be retained in order to preserve that character" (Weeks and Grimmer 1995: 63).

Accordingly, Nelson (1982: 1) acknowledges two key considerations for those projects falling under the purview of the Secretary of the Interior's Standards for Historic Preservation:

The Secretary of the Interior's "Standards for Historic Preservation Projects" embody two important goals: 1) the preservation of historic materials and, 2) the preservation of a building's distinguishing character. Every old building is unique, with its own identity and its own distinctive character.

Fulfillment of these two goals contributes to the preservation of a building's historic integrity. As such, identifying distinguishing characteristics of a historic building (including both the exterior and interior) is crucial to its preservation. According to *Preservation Brief 17: Architectural Character, Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character*, character consists of "all those visual aspects and physical features that comprise the appearance of every historic building" (Nelson 1982: 1). Visual aspects include the overall shape of the building, construction / architectural materials, craftsmanship, decorative details, interior spaces and features, and the surrounding environment and space (Nelson 1982: 1).

Character defining features of the Chimney Cottage include the following elements: the decorative chimney, Mission or Spanish tile roof, rough-cut shale cladding (Carmel River stone, Monterey Formation shale), the gabled roof, false half-timbering, arched windows, asymmetrical or irregular plan, cement stucco cladding, and an array of window types, including wooden windows, niched windows, dormer windows, and half-light windows. Notable interior character-defining features of the Caretaker's Unit include the joist and rafter system (east end) and the wooden staircase.

Inspection of the visual character at close range is another important element to consider when reviewing character defining features of a historic structure or building, particularly given that "surface qualities of the materials may be important because they impart the very sense of craftsmanship and age that distinguishes historic buildings from other buildings" (Nelson 1982: 2). Close range inspection of the Chimney Cottages indicates that much of the original cladding of the Caretaker's Unit was removed and resurfaced, and is not "pristine" as Seavey's Phase 1 Historic Assessment report originally indicated (Seavey 2007, 2008). Some two-thirds of the original hand-hewn or finished shale cladding or stone siding was replaced with machine-cut shale cladding in 1966. The 1966-1967 alterations to the Caretaker's Unit included the masonry infill of an extant narrow doorway located at the southwest portion of the south elevation (see Appendix III: 1928 Blueprint/Elevations – Guesthouse Unit [Plan & Elevations], p. 64). Other significant modifications were made to the east elevation of the Guesthouse Unit such that the original fenestration, including a second story window, and a main floor doorway and wall section were completely removed (see Appendix III: 1928 Blueprint/Elevations – Guesthouse Unit [Plan & Elevations], p. 64). As such, all available evidence from the 1966 remodel of the Guesthouse Unit indicates that key features identified with the east elevation were entirely removed so as to make way for the room addition and the install of an open deck situated atop the room addition so noted (Seavey 2008). In effect, a ground floor room addition was added to the east elevation, thereby expanding the length of the north and south elevations accordingly (Seavey 2008). Notably, only the lower portion of south elevation of the 1966 room addition was in turn clad with machine-cut shale siding akin to that used to resurface the Caretaker's Unit in 1966.

Continued on Continuation Sheet 5

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### Evaluation for Significance

The Dorman property retains historical significance and is eligible for listing on the National Register of Historic Places under Criterion C at the local level of significance, and the California Register of Historical Resources under Criterion 3 at the local level of significance. The property is currently listed on the Monterey County Local Official Register of Historic Resources as of December 2007 (Page & Turnbull, Inc. 2013: 87).

#### *National Register of Historic Places Criteria for Evaluation*

*A. Property is associated with events that have made a significant contribution to the broad patterns of our history.*

The Dorman House does not appear to be eligible under Criterion A because the property is not associated with events that have made a significant contribution to the broad patterns of our history.

*B. Property is associated with the lives of persons significant in our past.*

The Dorman House does not appear to be eligible under Criterion B because the property is not associated with the lives of persons significant to our past. However, noted Carmel builder Hugh W. Comstock was the builder and architect of the property.

*C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.*

The Dorman House appears to be eligible under Criterion C at the local level of significance because the property embodies distinctive characteristics of a type, period, and method of construction. The Chimney Cottage is the sole known example of the "Fairytale" or "Storybook" architectural style designed by Carmel builder Hugh W. Comstock in Pebble Beach, California.

*D. Property has yielded, or is likely to yield, information important in prehistory or history.*

The Dorman House does not appear to be eligible under Criterion D because the property does not demonstrate information, or the potential to yield information, important to understanding the prehistory or history of Pebble Beach or the Monterey County region more generally.

Continued on Continuation Sheet 6

\*Recorded by: R. Mendoza and J. Lucido

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*California Register of Historical Resources Criteria for Evaluation*

*1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.*

The Dorman House does not appear to be eligible under Criterion 1 because the property is not associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

*2. Is associated with the lives of persons important in our past.*

The Dorman House does not appear to be eligible under Criterion 2 because the property is not associated with the lives of persons significant in our past. However, noted Carmel builder Hugh W. Comstock was the builder and architect of the property.

*3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.*

The Dorman House appears to be eligible under Criterion 3 at the local level of significance because the property embodies the distinctive characteristics of a type and period. The Chimney Cottage is the sole known example of the "Fairytale" or "Storybook" architectural style designed by Carmel builder Hugh W. Comstock in Pebble Beach, California.

*4. Has yielded, or may be likely to yield, information important in prehistory or history.*

The Dorman House does not appear to be eligible under Criterion 4 because the property does not demonstrate information, or the potential to yield information, important to understanding the prehistory or history of Pebble Beach or Monterey County region more generally.

*Monterey County Register of Historic Resources Criteria for Evaluation*

Property is currently listed on the Monterey County Local Official Register of Historic Resources (Page & Turnbull, Inc. 2013: 87). On December 4, 2007, the Monterey County Board of Supervisors approved the LeVett application to add the property (Caretaker's Unit and Guesthouse Unit) to the County's Local Official Register of Historic Resources by a 4 to 0 vote (Novo 2008; Application No. PLN070428).

Continued on Continuation Sheet 7

\*Recorded by: R. Mendoza and J. Lucido

\*Date: May 6, 2017 Continuation

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State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
HRI#  
Trinomial

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Continued on Continuation Sheet 9



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\*Resource Name or # Chimney Cottage

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View south of north or main elevation of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).



View southwest toward west end of north elevation of the "Chimney Cottage" (Caretaker's Unit) identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note third structure, dated to 2008, in background.



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View northeast of south elevation of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).



View northeast of south elevation of the "Chimney Cottage" (Caretaker's Unit) identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).

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Primary #

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View northwest of east elevation chimney flue (tower with tiled cap) detail of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).



View southwest of east elevation window detail of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note: Window well is currently sealed, and the interior was converted for use as an interior niche.





View east of west elevation of the Caretaker's Unit identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note stone wall and gate extending from southwest corner of the Caretaker's Unit to the Northeast corner of the Guesthouse Unit.



View south of north or main elevation of the "Guesthouse Unit" identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note wooden staircase at west end or right side of image.

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View northeast of south elevation of the "Guesthouse Unit" identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note deck railing and 1966-67 room addition at east end or right side of image.



View northwest of east elevation of the "Guesthouse Unit" identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000). Note wooden deck railing atop room addition added in 1966-67.



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\*Date: May 6, 2017 Continuation

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View northeast of detail of west elevation staircase feature of the "Guesthouse Unit" identified with the Dorman residence located at 1600 Viscaino Road, Pebble Beach, CA 93953 (APN: 008-201-002-000).



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