

Exhibit B

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EXHIBIT B
Draft Resolution

Before the Zoning Administrator
in and for the County of Monterey, State of California

In the matter of the application of:

RAVEN (PLN150755)

RESOLUTION NO. 18 -

Resolution by the Monterey County Zoning Administrator:

- 1) Adopting a Negative Declaration; and
- 2) Approving a Combined Development Permit consisting of a
 - 1) Coastal Administrative Permit and Design Approval to allow the construction of a single family dwelling consisting of 2,306 square foot two story, 1,690 square foot basement and a 298 square foot garage;
 - 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; and
 - 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%); and
 - 4) Variance to exceed floor area ratio FAR by 5.3% (totaling 22.8%).

3213 Whitman Lane, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (APN: 008-401-010-000)

The Raven application (PLN150755) came on for a public hearing before the Monterey County Zoning Administrator on April 26, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 1982 General Plan, Del Monte Forest Land Use Plan, Del Monte Forest Coastal Implementation Plan – Part 5, Monterey County Zoning Ordinance - Coastal (Title 20), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.
EVIDENCE: a) The proposed project involves the construction of a 3,996 square foot, two story home, with a subterranean level on an 11,413 square foot parcel as follows: 2,306 square foot two stories, 1,690 square foot basement and a 298 square foot garage.

- b) The property is located at 3213 Whitman Lane, Pebble Beach (Assessor's Parcel Number 008-401-010-000), Del Monte Forest (DMF) Land Use Plan (LUP), Coastal Zone. The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control zoning overlay (Coastal Zone) [LDR/1.5-D (CZ)]. Development of single-family dwellings and non-habitable accessory structures are identified as allowed uses pursuant to MCC Sections 20.14.040.A and F, subject to the granting of applicable coastal development permits. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below).
- c) The .262-acre (11,413 square feet) lot is identified with an Unconditional Certificate of Compliance (COC030103). Thus, the property is a legal lot of record.
- d) The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 1982 Monterey County General Plan;
 - Del Monte Forest Area Land Use Plan;
 - Del Monte Forest Coastal Implementation Plan (Part 5); and
 - Monterey County Zoning Ordinance - Coastal (Title 20)
- e) No conflicts were found to exist. The County received communications from an attorney for the neighboring property owners and interested members of the public during the course of project review indicating inconsistencies with the text, policies, and regulations in the applicable plans and Monterey County Code (MCC); however, the County finds that the project is consistent with the text, policies, and regulations in the applicable documents.
- f) The project has been reviewed for site suitability by RMA-Planning, RMA-Public Works, RMA-Environmental Services, Pebble Beach Community Services District (Fire Protection District), and Water Resources Agency. County staff reviewed the application materials and plans, as well as the County's GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- g) The following technical reports have been prepared:
 - Preliminary Biological Resource Reconnaissance (LIB160343), prepared by Zander Associates, Berkeley, CA, June 13, 2106;
 - Assessment of Resource Values Associated with Stillwater Creek & Adjoining Private Properties, prepared by Jeffrey B. Froke, Ph.D., Pebble Beach CA, dated October 26, 2016;
 - Updated Soil Sampling and Analysis Report, Former Pebble Beach Golf Course Maintenance Facility, Whitman Lane, Pebble Beach, prepared by D&M Consulting Engineers, Inc., dated October 20, 2003;
 - Preliminary Archaeological Assessment (LIB090296) prepared by Archaeological Consulting, Salinas, California, June 2, 2009;

- Soil Engineering Investigation for Raven Residence at 3213 Whitman Lane, Pebble Beach (LIB160055), prepared by LandSet Engineers, Inc., Salinas, CA, dated January, 2016;
- 2016 CBC Soil Engineering Investigation Update for Raven Residence, prepared by LandSet Engineers, Inc., Salinas, CA, dated September 27, 2017.

County staff has independently reviewed these reports and concurs with their conclusions.

- h) Necessary public facilities are available for the single family dwelling. The property is and will be served by a public water system (California American Water) and an existing public sewer system (Pebble Beach Community Services District and Carmel Area Wastewater District). The Environmental Health Bureau did not impose any conditions for project approval.
- i) No Violations: Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- j) History: The approximately 0.262 acre parcel was the site of the former Pebble Beach golf course maintenance facility, but has since been cleared of all structures and other features (including underground storage tanks). The site was covered by a 2,700 square foot maintenance building, a lean-to shed, a concrete pad and asphalt concrete yard area. In addition, a fueling facility and underground storage tanks were also located in the central part of the yard. The fueling facility was inactive around October 2003 and staff has confirmed that the tanks were properly removed according to all County regulations in early 2004. Demolition activities and interim uses for materials and equipment stockpiling and storage have eliminated any sustainable habitat for native populations of plants or animals.
- k) Pescadero Watershed: The project is located on the edge of the Del Monte Forest Watershed Boundary, within an un-named watershed. Pursuant to 20.147.030, A.b., "Impervious surface coverage for residential development shall be limited to a maximum of 9,000 square feet. Maximum coverage for the proposed project is 7,002 square feet (including covered patios, which is well under the maximum allowed). Although Variances are proposed, the structure meets all other site development standards (i.e., setbacks, height) within the MDR zoning district.
- l) Cultural Resources. The project site is in an area identified in County records as having a high archaeological sensitivity, and is within 750 feet of known archaeological resources. A "Preliminary Archaeological Reconnaissance" was prepared by Archaeological Consulting for the project site to evaluate potential resources on or within the vicinity of the site, which could be impacted by the proposed residential development on the project site. At the time of the reconnaissance, the parcel contained the existing maintenance building, asphalt pavements, a small pesticide shed and piles of various plastic pipes, plywood, vehicles, etc. Some soil was visible in the center of the parcel where a fuel tank had been removed. None of the materials frequently associated with prehistoric cultural

resources in this area were observed during the field reconnaissance. Based upon on the background research and field reconnaissance, it has been concluded that there is not surface evidence of potentially significant archaeological resources on the project parcel. Therefore, there is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- m) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review on April 7, 2016, August 17, 2017 and September 21, 2017, in which a site visit occurred on September 21, 2017. At the September meeting, the Del Monte Forest LUAC recommended approval of the project (4-2 vote) as it was a reduction of the previous project. Attorney representing the neighbors attended the LUAC meetings, voicing concerns about size and visibility of the project, the noise potential from the roof deck and impacts to the adjacent estuarine. Staff stated an Initial Study would be prepared to identify impacts, if any, to the adjacent creek. The LUAC agreed. The Initial Study fully addresses the neighbors' concerns.
- n) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN150755.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The proposed project would re-develop an existing previously disturbed.262-acre (11,413 square foot) lot with a single-family dwelling with attached garage.
 - b) Pursuant to Section 20.44, Title 20 (Coastal Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - c) Material and Color Finishes. The proposed exterior colors and materials are consistent with the residential setting and other dwelling units in the immediate vicinity. The primary colors and materials include tan stucco and natural wood doors and windows, copper accents, a metal gate and clay tile roofing materials. The second story is setback from the first story so as to prevent the feeling of a box-type structure. A variety of roof pitches help to soften the height of the structure. Exterior finishes include several openings along with shutters, stained wood beams, rafter tails and outriggers, which allow the structure to blend with the environment, blend with the residential character of the neighborhood, and is consistent with other dwellings in the neighborhood.

- d) Visual Resources. The subject property is located in an area where the Local Coastal Program may require visual public access (Figure 3, Visual Resources, Del Monte Forest Land Use Plan). Portions of the Whitman Drive enclave are visible from Point Lobos Reserve at a distance of over three miles. However, the subject property is in the northernmost portion (rear) of the enclave and is fully shielded from Point Lobos from the existing development and trees. The project site and the Whitman Drive enclave are also visible from Seventeen Mile Drive across the 15th fairway of the Pebble Beach Golf Course. At the closest point, the site is about 300 feet from Seventeen Mile Drive. That portion of Seventeen Mile Drive is two lanes with minimal shoulders. While there are clear views towards the site, there is ample screening along Seventeen Mile Drive, the 15th hole, and along the parcel itself to minimize the view of the project to the public. The proposed home will also be subject to County lighting conditions to prevent light pollution and intrusion into the public viewshed. In addition to screening, due to the speed of traffic, and the length of the visible window to the project site, there is little only a short duration that the project site is visible at all. Therefore, as sited and designed the proposed house will not have a significant visual impact on the area's scenic resources, and is therefore consistent with Del Monte Forest Land Use Plan Policies 123 and 137. It will not block public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
- e) Review of Development Standards. The development standards for the LDR zoning district are identified in MCC Section 20.14.060. Required setbacks in the LDR district for main dwelling units are 30 feet (front), 20 feet (rear), and 20 feet (sides). As proposed, the structure meets or exceeds all required setbacks. Corresponding maximum structure height is 30, proposed is 29.9%. A height verification condition of approval has been included (Condition #9). A variance is allowed to exceed lot coverage and Floor Area Ratio (FAR) as the lot is substantially smaller than other lots within this Whitman enclave. That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of Title 20 is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone. (See Findings 7, 8, and 9).
- f) The project planner conducted a site inspections on August 17 and September 21, 2017 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character or scenic/visual resources.

3. **FINDING:**

CEQA (Mitigated Negative Declaration) - On the basis of the whole record before the Monterey County Zoning Administrator, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Public Resources Code Section 21080.d and California Environmental Quality Act (CEQA) Guidelines Section 15064.a.1 require environmental review if there is substantial evidence that the project may have a significant effect on the environment.
 - b) Monterey County RMA-Planning prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of RMA-Planning and is hereby incorporated by reference (PLN150755).
 - c) A Biological Assessment was prepared for the site to determine potential impacts to any environmentally sensitive habitat which could be located on the project site. The Biological Assessment concluded there are no sensitive biological resources on the subject property. There is a riparian corridor easterly of the site called Stillwater Creek. The creek meanders through residential neighborhoods and golf course fairways until it outfalls into Stillwater Cover near the 5th tee at the Pebble Beach Golf links. Some natural habitat remains in certain areas of the creek, notably just upstream of the Whitman Lane crossing northeasterly of the site. Just downstream of this crossing location and directly adjacent to the site, the canopy opens up and the vegetation is a mix of native and non-native species of trees, shrubs and herbaceous plants.
 - d) As a result, an Initial Study was prepared to address any potential impacts from development in relation to Stillwater Creek. In summary, the site is a vacant lot in the context of an existing residential neighborhood surrounded on all sides by the fairways, tees and greens of the Pebble Beach Golf Links. A long history of use as a golf course maintenance facility, demolition activities and interim uses for materials and equipment stockpiling and underground storage have eliminated any sustainable habitat for native populations of plants or animals on the pre-disturbed site. The site does not provide cover, shelter or movement corridors for native resident or migratory wildlife. No rare, threatened, endangered or otherwise special status species occur on the site.
 - e) Comments were received from the neighbors' attorney on April 16, 2018.

Comments received from Neighbors' attorney:

- 1) ESHA – Wetlands, Riparian Woodland, and Riverine Habitats that flow to ASBS require protection and a 100-foot setback:
Response: Since the site is within close proximity of the Creek, there is no alternative to developing outside of the 100 foot setback. There are other residences that have been built along the Riverine. Engineered drainage plans were prepared for the site and designed to retain storm water on site, erosion control plans, and pre- and post- construction inspections to ensure that the site is stabilized and erosion control measures are effective. Site runoff will be detained onsite and released slowly into an existing storm drain system so that no drainage impacts on the adjacent Riverine or adjacent properties are anticipated. Therefore, development on the site will not affect the Creek.
- 2) Evidence of Hazardous Waste Contamination:

Response: The Biological Assessment determined there was no appreciable subsurface fuel contamination detected at the site just prior to tank removal. Demolition of the structures and hard surface areas on the site occurred by permit in September 2009. Since then and prior to the sale of the property in June 2015, the Pebble Beach Company used the site for storage and stockpiling of materials and equipment. A Soil Sampling and Analysis Report prepared by D & M Consulting Engineers, Inc. dated October 20, 2003 concluded that the site does not have any subsurface contamination issues. The investigated work was pursued as a precursor for removal of the underground storage tanks prior to the sale of the property. On September 2, 2004, the Monterey County Environmental Health Department confirmed the completion of a site investigation and remedial action for the underground storage tanks formerly located at the site.

- 3) Viewshed: Located in an area designated by the Del Monte Forest Land Use Plan visually sensitive both from distant views from Point Lobos and from Seventeen Mile Drive

Response: The project is not visible from Pt. Lobos, however, the project site and the Whitman Drive enclave are visible from Seventeen Mile Drive across the 15th fairway of the Pebble Beach Golf Course. At the closest point, the site is about 300 feet from Seventeen Mile Drive. That portion of Seventeen Mile Drive is two lanes with minimal shoulders and while there are clear views of the site, there is ample screening both along Seventeen Mile Drive and in the enclave to minimize the view of the project to the public. As sited and designed, the proposed house will not have a significant visual impact on the area's scenic resources. A standard lighting condition will not allow up-lighting on the roof deck.

- 4) Archaeological Resources – Consultation Required:

Response: In May 2009, a "Preliminary Archaeological Reconnaissance" was prepared for the project site to evaluate potential resources on or within the vicinity of the site, which could be impacted by the proposed residential development on the project site. At the time of the reconnaissance, the parcel contained the existing maintenance building, asphalt pavements, a small pesticide shed and piles of various plastic pipes, plywood, vehicles, etc. Based upon on the background research and field reconnaissance, it has been concluded that there is not surface evidence of potentially significant archaeological resources on the project parcel. The project was deemed complete prior to requirement of a tribal consultation.

- f) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and/or Reporting Plan has been prepared in accordance with Monterey County regulations, is designed to ensure compliance during project implementation, and is hereby incorporated herein by

reference. The applicant must enter into an “Agreement to Implement a Mitigation Monitoring and/or Reporting Plan as a condition of project approval (Condition # 6).

- g) A Draft Mitigated Negative Declaration (MND) was prepared in accordance with CEQA and circulated for public review from March 16, 2018 to April 16, 2018.
- h) Issues that were analyzed in the Mitigated Negative Declaration include: Aesthetics, Air Quality, Biological Resources, Geology/Soils and Greenhouse Gas Emissions.
- i) Evidence that has been received and considered includes: the application, technical studies/reports (see Finding 2/Site Suitability), staff reports that reflect the County’s independent judgment, and information and testimony presented during public hearings. These documents are on file in RMA-Planning (PLN150755) and are hereby incorporated herein by reference.
- j) Staff analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the California Department of Fish and Game (CDFG) regulations. All land development projects that are subject to environmental review are subject to a State filing fee plus the County recording fee, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources (Condition #5).
- k) Monterey County RMA-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the mitigated negative declaration is based.

5. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
 - d) The subject property is identified as an area where the Local Coastal Program may require visual public access (Figure 3, Visual Resources, Del Monte Forest Land Use Plan). See also Finding No. 2.
 - e) The proposed development is consistent with Del Monte Forest Land Use Plan Policies 123 and 137, and will not block significant public views toward the ocean and will not adversely impact the public

viewshed or scenic character in the project vicinity. As proposed, the project is consistent with applicable visual resource and public access policies in the Del Monte Forest Land Use Plan.

- f) The project planner completed a site inspections on August 17, September 21 2017, to verify that the proposed project would not impact public access. The project planner also reviewed plans and visual simulations of the proposed development to verify that the structures will not impact visual resources/access.
- g) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150755.

7. **FINDING:** **VARIANCE (Authorized Use)** – The Variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zoning regulation governing the parcel of property.

- EVIDENCE:**
- a) The property has a zoning designation of Low Density Residential, 1.5 acres per unit, with a Design Control zoning overlay (Coastal Zone) [LDR/1.5-D (CZ)].
 - b) Development of a single-family dwelling and non-habitable accessory structures are identified as allowed uses pursuant to MCC Sections 20.14.040.A and F, subject to the granting of applicable coastal development permits. Therefore, the proposed dwelling is expressly authorized within the project site residential district. See also Finding No. 1, Evidence b above.

8. **FINDING:** **VARIANCE (Special Circumstances)** - Because of special circumstances applicable to the subject property, including the size, shape, topography, location of the lot, or the surrounding area, the strict application of development standards in the Monterey County Codes is found to deprive the subject property of privileges enjoyed by other property owners in the vicinity under identical zoning classification.

- EVIDENCE:**
- a) Policy 77 of the Del Monte Forest Land Use Plan (DMF LUP) limits development of parcels within the applicable watersheds to a maximum site coverage of 9,000 square feet, including both structural and impervious surface coverages. Maximum coverage for the proposed project is 7,002 square feet (including paving, paths and patios), is well under the maximum allowed.
 - b) Pursuant to MCC Section 20.14, the Low Density Residential, 1.5 acres per unit (LDR/1.5) zoning district/classification allows building site coverage of 15 percent, and does not specifically restrict impervious surface coverage. Pursuant to Policy 77 of the DMF LUP, the property is restricted beyond the limits imposed by the Monterey County Zoning Ordinance (Title 20) on other properties with the same zoning classification.
 - d) The subject property is relatively small at 11,413 square feet (.26 acres), which would allow building site coverage of 1710 square feet under regular zoning district development standards and a Floor Area Ratio of 1,995 square feet (17.5%). There are 10 developed parcels in this residential enclave averaging between 1 to 2 acres, with houses that average between 4,013 to 10,951 square feet. The proposed

project has a substantially smaller lot size with proposed development of 2,306 square feet above ground and 1,690 square feet below ground. The quasi-triangular, unusually shaped lot restricts designing a structure that would be visually consistent with the other homes in the neighborhood. To allow for a design conducive to the triangular shaped site, applicants are proposing 18.9% lot coverage (exceeds by 3.9%) and 22.8% floor area (exceeds by 5.3%). Setbacks required for this lot include a 30 foot front setback, 20 foot side setback and 20 foot rear setback. The applicants meet all setback requirements, including allowable height of 30 feet. There is a sunken BBQ and fire pit within the setbacks but this does not count as lot coverage.

- e) The project planner conducted a site inspection on August 17, and September 21, 2017, to verify circumstances related to other properties in the vicinity and in the same zoning district.
- h) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150755.

9. **FINDING:** **VARIANCE (Special Privileges)** – The Variance shall not constitute a grant of privileges inconsistent with the limitations upon other property owners in the vicinity and zone in which such property is situated.

- EVIDENCE:**
- a) Given that the approximately ¼ acre lot is surrounded by no less than 1 to 2 acre parcels, applying the LDR percentage for lot coverage and floor area ratio to this parcel would make it impossible to develop a home consistent with the surrounding properties and would deprive the applicant of the same use in neighbors enjoy.
 - b) The existing homes in the neighborhood average from 4,014 square feet with 605 square foot garages to as high as 10,951 square feet with 1,064 square foot garage. The proposed single family dwelling is still smaller with a 2,306 square feet of living space above grade and a 1,690 square foot basement.
 - c) The single family dwelling is an authorized use; the special circumstance is that this lot is not only substantially smaller than all of the lots within the Whitman enclave, it is also a triangular shaped lot, making it difficult to design a structure conducive with the character of the neighborhood; and therefore, is not a special privilege site development limitations are far more restrictive than that of the neighboring properties.
 - d) The project planner conducted a site inspection on August 17 and September 21, 2017, to verify that the Variance would not constitute a grant of special privileges inconsistent with the limitations upon other property owners in the vicinity and zone in which the subject property is situated.
 - e) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN150755.

APPEALABILITY - The decision on this project may be appealed to the Monterey County Board of Supervisors and the California Coastal Commission.

11. **FINDING:** Board of Supervisors: Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

EVIDENCE: a) California Coastal Commission: Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (State Route 1), and development that is permitted in the underlying zone as a conditional use (i.e.; development within an area of known archaeological resources).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Adopt a Negative Declaration; and
- B. Approve a Combined Development Permit consisting of a
 - Coastal Administrative Permit and Design Approval to allow the construction of a single family dwelling consisting of 2,306 square foot two story, 1,690 square foot basement and a 298 square foot garage;
 - 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; and
 - 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%); and
 - 4) Variance to exceed floor area ratio (FAR) by 5.3% (totaling 22.8%); in general conformance with the attached plans and conditions of approval, both being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 26th day of April, 2018.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN150755

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

This is a Combined Development Permit consisting of a 1) Coastal Administrative Permit and Design Approval to allow the construction of a 3,996 square foot single family dwelling consisting of 2,306 square foot two stories, 1,690 square foot basement and a 298 square foot garage; 2) Coastal Development Permit to allow development within 750 feet of an archaeological resource; and 3) Variance to exceed lot coverage by 3.9% (totaling 18.9%) and FAR by 5.3% (totaling 22.8%). The property is located at 3213 Whitman Lane, Pebble Beach (Assessor's Parcel Number 008-401-010-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or
Monitoring
Action to be Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number ***) was approved by Zoning Administrator for Assessor's Parcel Number on [Date the permit was approved]. The permit was granted subject to 17 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be Performed: shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.
Monitoring

Action to be Performed: Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

5. PD005 - FISH & GAME FEE NEG DEC/EIR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of RMA - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

6. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to RMA-Planning.

7. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

**Compliance or
Monitoring
Action to be Performed:**

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by RMA-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to RMA-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

8. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

9. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of RMA - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

10. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an erosion control plan to RMA-Environmental Services for review and approval.

11. GEOTECHNICAL CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Soil Engineering Investigation. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

12. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a grading plan incorporating the recommendations in the project Soil Engineering Investigation prepared by LandSet Engineers, Inc. The grading plan shall also address the requirements of Monterey County Code Chapter 16.08, and the geotechnical inspection schedule shall be included on the plan. The applicant shall provide certification from the licensed practitioner that the grading plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the grading plan for conformance with the geotechnical recommendations.

13. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

14. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

15. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

16. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information:
Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the Construction/grading phase of the project.

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

17. WR008 - STORMWATER DETENTION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer, addressing on-site and off-site impacts. The plan shall include detention facilities to mitigate the impact of impervious surface stormwater runoff. Supporting calculations and construction details shall also be provided. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

18. WR010 - COMPLETION CERTIFICATION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a registered civil engineer or licensed contractor that stormwater detention facilities have been constructed in accordance with the approved drainage plan. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit a letter to the Water Resources Agency prepared by a registered civil engineer or licensed contractor.

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RAVEN RESIDENCE

3213 WHITMAN LANE PEBBLE BEACH, CA 93953

REVISION

No.

CONSULTANT:

ARCHITECT

TITLE SHEET

JOB NAME: **Raven Residence**
3213 Whitman Lane
Pebble Beach, CA
A.P.N. 008-401-010

DATE: 6/6/17
SCALE: N.T.S.
DRAWN: BRW
JOB NUMBER: 15.17

A-0.1
SHEET OF

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PROJECT DATA

SETBACKS

LDR/1.5-D (CZ)	REQUIRED	PROPOSED
FRONT (NORTH)	30'-0"	30'-0"
REAR (SOUTH/WEST)	20'-0"	22'-2"
REAR (SOUTH/EAST)	20'-0"	20'-0"
SIDE (EAST)	20'-0"	20'-9"
SIDE (WEST)	20'-0"	21'-11"

BUILDING HEIGHT	30 FT., MAX.	24.75 FT.
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LOT DATA :
LOT SIZE : 11,949.0 SQ. FT.
A.P.N. : 008-401-010-000
ZONING : LDR/1.5-D (CZ)
BUILDING VARIANCE: FOR FLOOR AREA RATIO AND
FOR BUILDING SITE COVERAGE.

ZONING	LDR/1.5-D (CZ)
FLOOR AREA RATIO :	17.5%
MAXIMUM AREA ALLOWED :	1,994.8 SQ. FT.

EXISTING FLOOR AREA: NONE

PROPOSED FLOOR AREA:

FIRST FLOOR:	420 S.F.
GARAGE:	248 S.F.
SECOND FLOOR	1,386 S.F.

PROPOSED FLOOR AREA RATIO : 22.8% PROPOSED 2,604 S.F. (609.2 S.F.) +5.3% VARIANCE

PROPOSED SITE COVERAGE:

BUILDING SITE COVERAGE	2,156 S.F.
DRIVEWAY	1,224 S.F.
SUNKEN FIRE PIT & BBQ (LESS THAN 6 FT.)	147 S.F.
STAIR/LIGHT WELLS	267 S.F.
SITE WALLS UNDER 6 FT.	345 S.F.
PAVING - PATHS, PATIOS	2,779 S.F.

TOTAL PROPOSED SITE COVERAGE : 1,002 S.F.
MAXIMUM ALLOWABLE SITE COVERAGE : 9,000 S.F.

ZONING	LDR/1.5-D (CZ)
BUILDING SITE COVERAGE:	15%
MAXIMUM AREA ALLOWED :	1,709.8 SQ. FT.

BUILDING SITE COVERAGE:

FIRST FLOOR:	
INTERIOR - 1ST FLOOR	420 S.F.
GARAGE	248 S.F.
EXTERIOR COVERED PATIOS	430 S.F.

TOTAL PROPOSED BUILDING SITE COVERAGE: 18.4% PROPOSED 2,156 S.F. (446.2 S.F.) +3.4% VARIANCE

TOTAL BUILDING AREA:

FIRST FLOOR:	
INTERIOR - 1ST FLOOR	420 S.F.
GARAGE	248 S.F.
EXTERIOR COVERED PATIOS	430 S.F.
TOTAL FIRST FLOOR:	2,156 S.F.

SECOND FLOOR:	
INTERIOR - 2ND FLOOR	1,386 S.F.
EXTERIOR COVERED PATIO	306 S.F.
TOTAL 2ND FLOOR	1,642 S.F.

BASEMENT FLOOR:

INTERIOR HABITABLE - BASEMENT	1,640 S.F.
INTERIOR UTILITY - BASEMENT	65 S.F.

TOTAL BASEMENT FLOOR 1,755 S.F.

TOTAL PROPOSED BUILDING AREA: 5,603 S.F.

UTILITIES:

1. WATER : CALIFORNIA AMERICAN WATER CO.
2. ELECTRICAL AND GAS : PACIFIC GAS & ELECTRIC
3. SANITARY SEWER SYSTEM :
PEBBLE BEACH COMMUNITY SERVICES DISTRICT

GRADING QUANTITIES:

CUT/FILL :
CUT: 1360.42 C.Y./ FILL: 43.14 C.Y. = NET: 1,267.28 C.Y.

TREE REMOVAL:

1. NO TREES TO BE REMOVED.

PROJECT INFORMATION

OWNER: SCOTT AND CHARLYSE RAVEN
5700 EAST CLARKSON AVENUE
SELMA, CA 93662-4644

ADDRESS: 3213 WHITMAN LANE
PEBBLE BEACH, CA 93953

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PH: 831-372-0410

LAND SURVEYOR: BASELINE CONSULTING
18720 MONTE BELLO
CASTROVILLE, CALIFORNIA 95012
PH: 831-632-0456

LANDSCAPE DESIGNER: MICHELLE COMEAU
COMEAU LANDSCAPE DESIGN
CARMEL-BY-THE-SEA, CALIFORNIA
PH: 831-620-0111

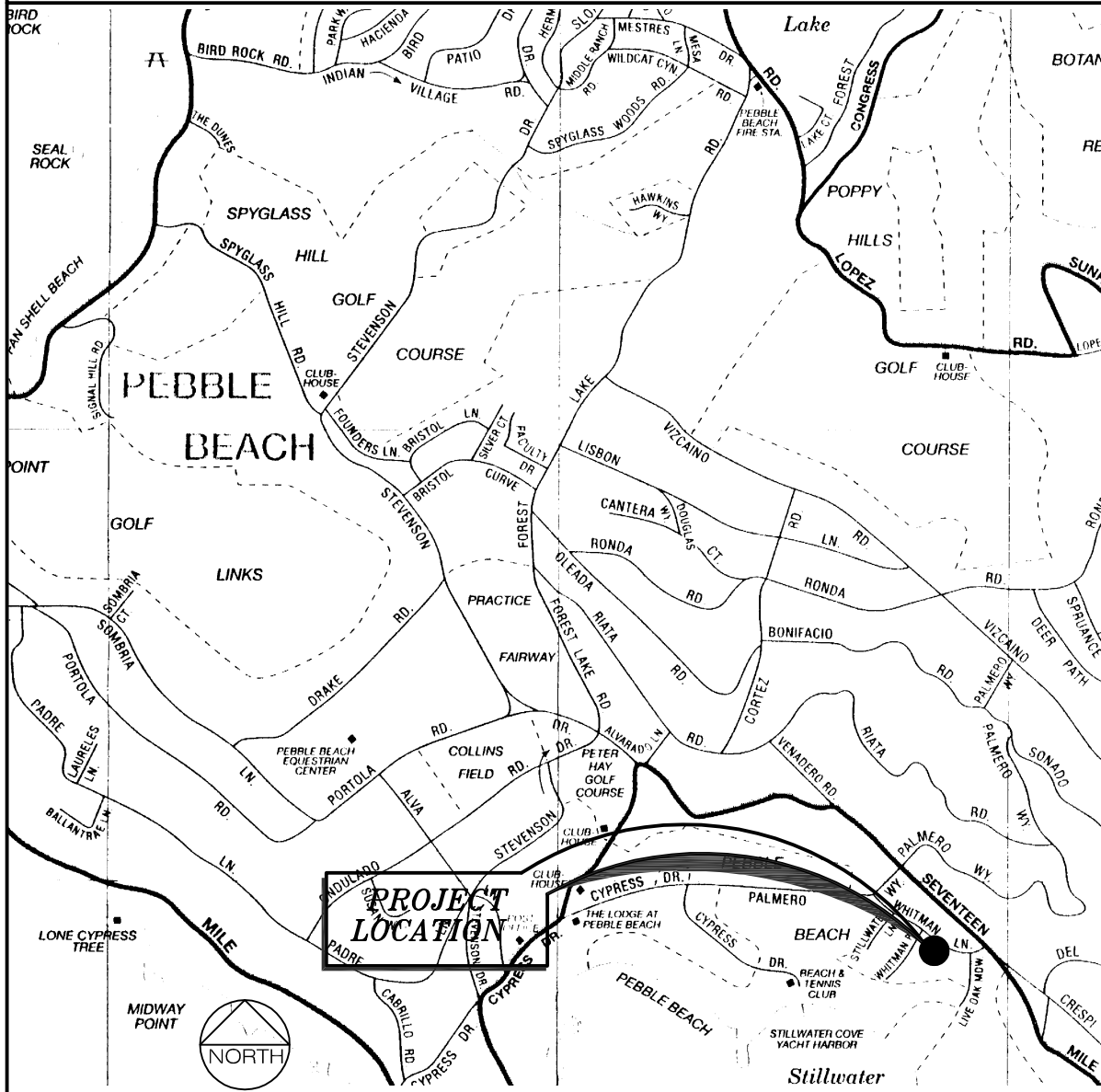
CIVIL ENGINEER: LANDSET ENGINEERS, INC
520-B CRAZY HORSE CANYON ROAD
SALINAS, CA 93907
PH: 831-443-6410

BIOLOGIST: JEFFREY B. FROKE
3158 BIRD ROCK ROAD
PEBBLE BEACH, CA 93953
PH: 831-224-8545

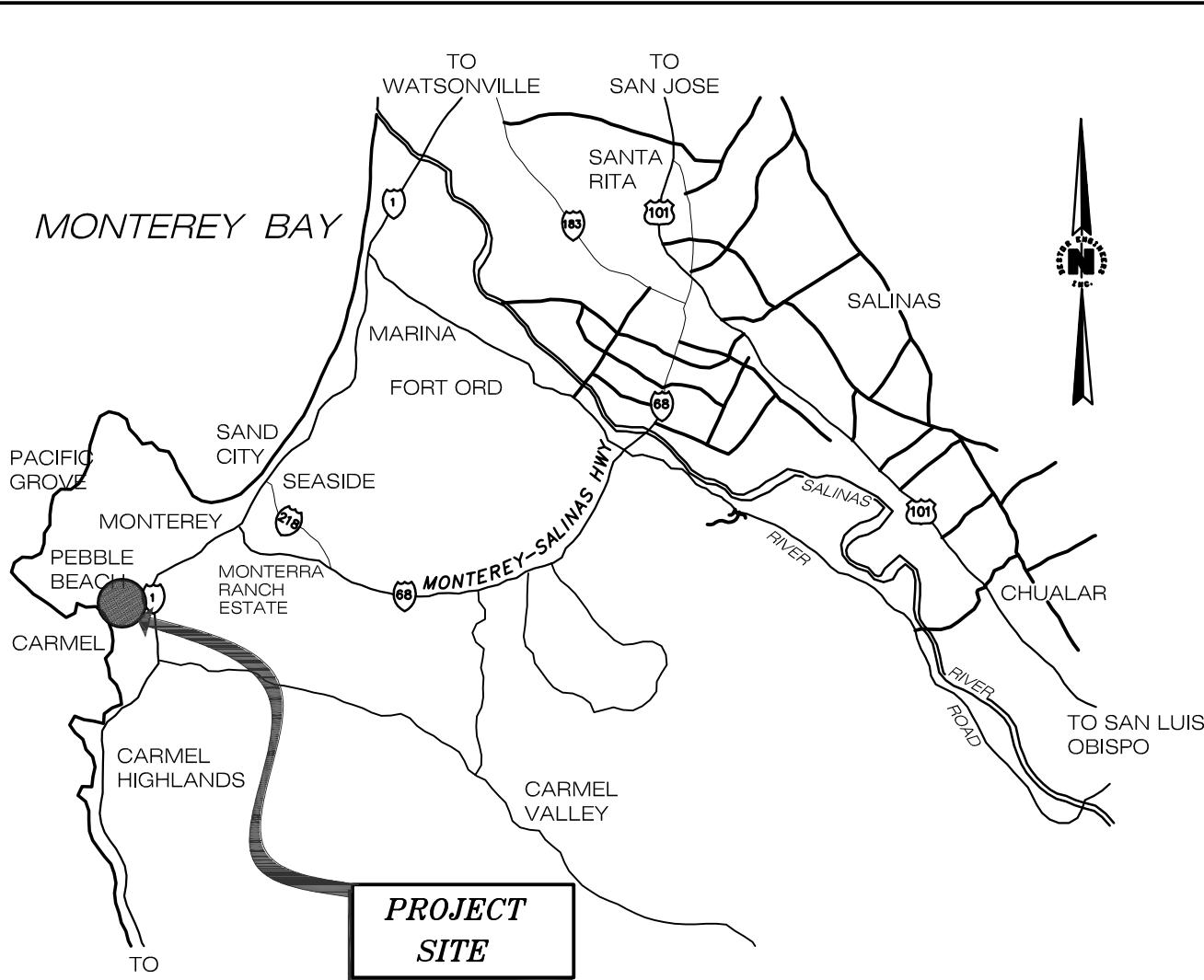
PROJECT DESCRIPTION:

NEW SINGLE FAMILY DWELLING PROPOSED HAVING 4 BEDROOMS, 3 BATHS, AND 2 HALF BATHS. A 1-CAR ATTACHED GARAGE WITH CAR LIFT, FULL BASEMENT, COVERED PATIOS, ENCLOSED COURTYARDS, SUNKEN FIREPIT, AND 265 L.F. OF RETAINING WALLS LESS THAN 6 FEET IN HEIGHT.

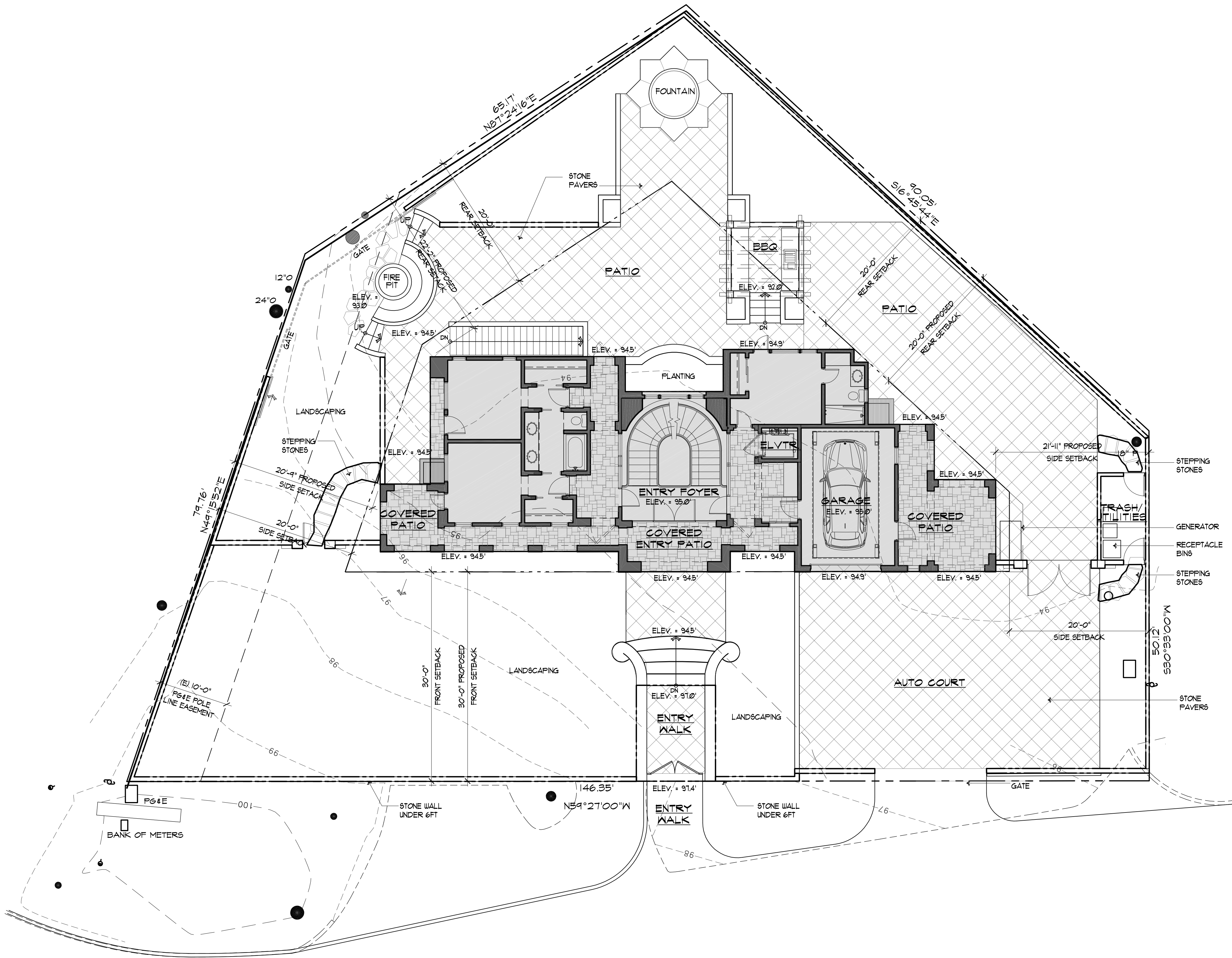
LOCATION MAP



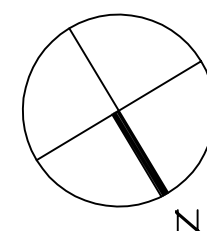
VICINITY MAP



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WHITMAN LANE

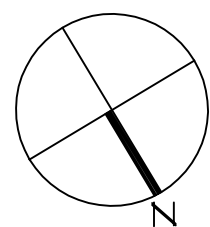
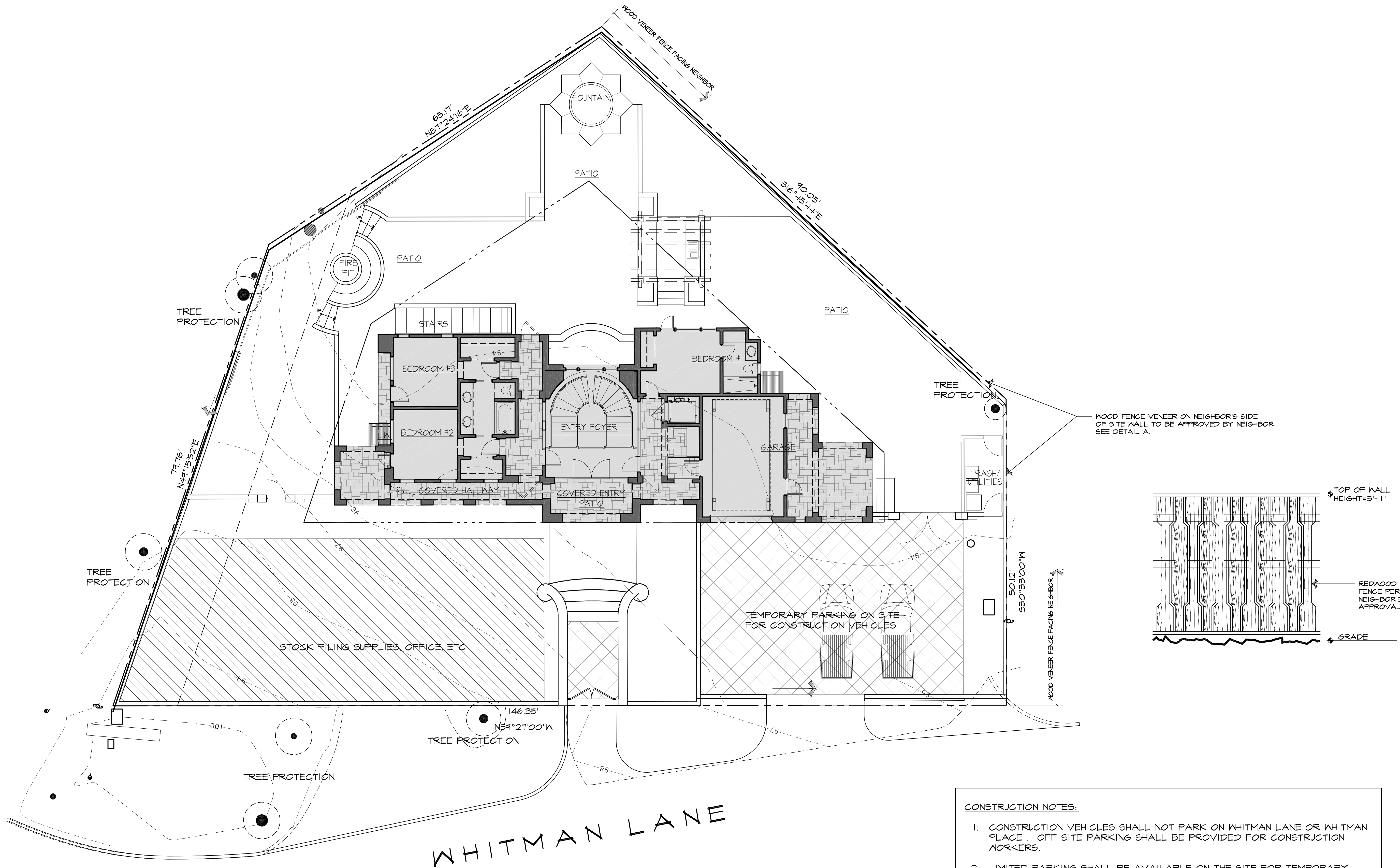


PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC. 		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com		
PROPOSED SITE PLAN		
JOB NAME: Raven Residence		
3213 Whitman Lane		
Pebble Beach, CA		
A.P.N. 009-401-010		
DATE: 6/6/17		
SCALE: 1/8" = 1'-0"		
DRAWN: C.J.H.		
JOB NUMBER: 15.17		
A-1.1		
SHEET OF		

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CONSTRUCTION MANAGEMENT PLAN

SCALE: 1/8" = 1'-0"

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

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CONSTR. MGMT. PLAN

JOB NAME: **Raven Residence**
3213 Whitman Lane
Pebble Beach, CA
A.P.N. 009-401-010

DATE:	6/6/17
SCALE:	1/8" = 1'-0"
DRAWN:	BRW
JOB NUMBER:	15.17

A-1.2

SHEET OF

This architectural floor plan depicts a single-story residence with a gambrel roof. The layout is symmetrical around a central vertical axis. At the front (bottom) of the house is a covered entry (13'-6" x 4'-5") leading into a central entry foyer (15'-0" x 5'-0") containing a large arched stairwell (13'-6" diameter). To the left of the foyer are three bedrooms (Bedroom #2: 10'-6" x 10'-9", Bedroom #3: 10'-6" x 10'-10", and Bedroom #4: 10'-4" x 10'-3") and two bathrooms (Bath #2: 8'-11" x 8'-1" and Bath #4: 5'-8" x 8'-5"). To the right of the foyer are a mud room (5'-2" x 4'-11"), a garage (12'-6" x 19'-8") with a car, and another bathroom. The plan also features a bar, a BBQ area, a fire pit, a fountain, and several covered patios. Numerous dimensions, elevations, and room labels are provided throughout the drawing.

Room Schedule:

- BEDROOM #2: 10'-6" x 10'-9"
- BEDROOM #3: 10'-6" x 10'-10"
- BEDROOM #4: 10'-4" x 10'-3"
- BATH #2: 8'-11" x 8'-1"
- BATH #4: 5'-8" x 8'-5"
- CLOSET #2: 8'-11" x 3'-4"
- CLOSET #3: 6'-11" x 3'-4"
- CLOSET #4: 2'-2" x 8'-0"
- ENTRY FOYER: 15'-0" x 5'-0"
- MUD ROOM: 5'-2" x 4'-11"
- GARAGE: 12'-6" x 19'-8"
- COVERED ENTRY: 13'-6" x 4'-5"
- COVERED PATIO: 11'-5" x 11'-10"
- COVERED PATIO: 13'-9" x 11'-3"
- BREEZENAY: 4'-0" x 23'-0"
- BREEZENAY: 4'-0" x 12'-8"
- STAIRWELL: 13'-6" DIAMETER
- BAR
- BBQ
- FIRE PIT
- FOUNTAIN
- PLANTING

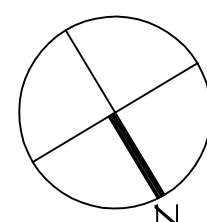
Dimensions and Elevations:

- Overall Dimensions:** 31'-0 1/2" (left), 38'-1" (bottom), 28'-9 1/2" (bottom right), 13'-2" (bottom right), 7'-11 1/2" (right), 8'-11" (right), 1'-0" (right).
- Room Dimensions:** As listed in the Room Schedule.
- Elevations:** 93.0, 94.5, 94.9, 95.0.

REVISION		No.
CONSULTANT:		
<p>ARCHITECT</p> <p>ERIC MILLER ARCHITECTS, INC.</p> <p>211 HOFFMAN AVENUE MONTEREY, CA 93940</p> <p>PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>		<p>□ □ □ □</p> <p>■ ■ ■ ■</p>
<p>FIRST FLOOR VARIANCE</p> <p>JOB NAME: Raven Residence 3213 Whitman Lane Pebble Beach, CA A.P.N. 008-401-010</p>		
DATE:		6/6/17
SCALE:		1/4"=1'-0"
DRAWN:		BRW
JOB NUMBER:		CJH
<p>A-2.1</p> <p>SHEET OF</p>		

This architectural floor plan shows a house with the following layout and dimensions:

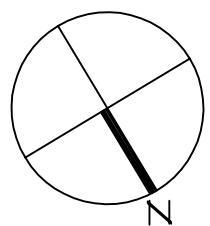
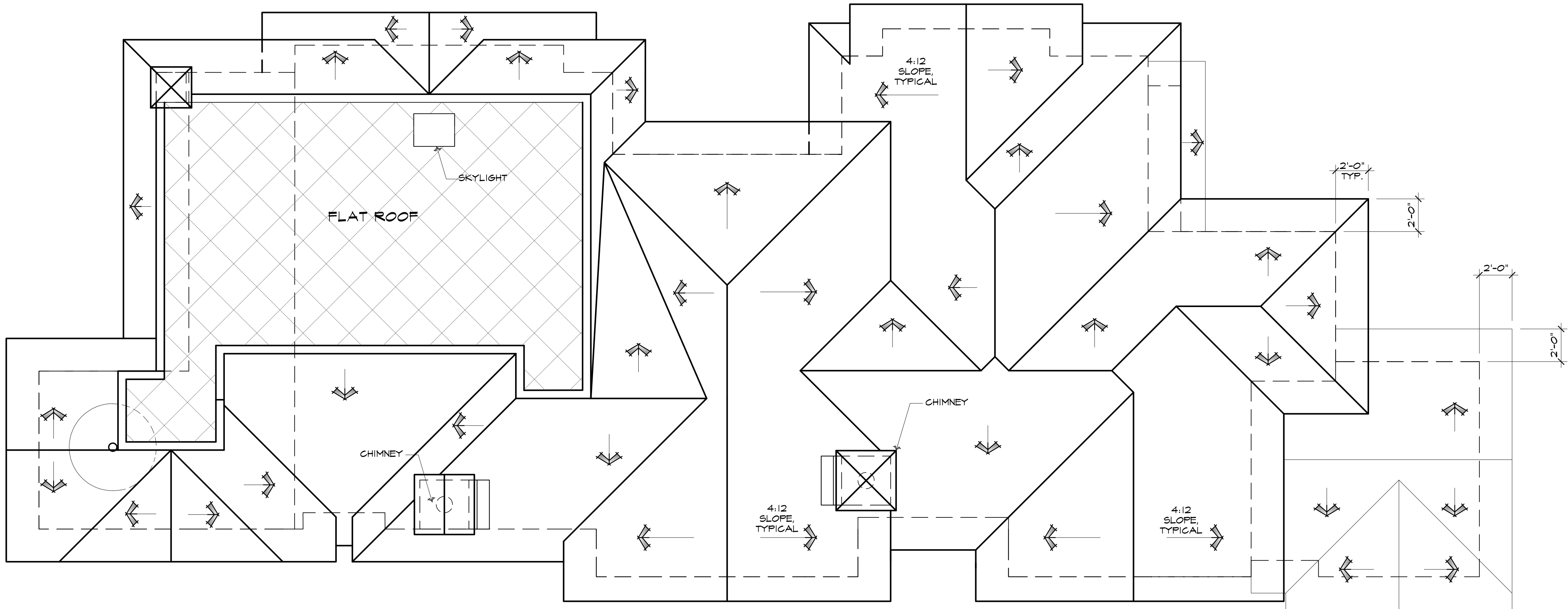
- Overall Dimensions:**
 - Top: 7'-2", 8'-6", 16'-5", 3'-0", 14'-0", 2'-6", 10'-2 1/2", 6'-0", 11'-5 1/2", 8'-9 1/2"
 - Bottom: 16'-2", 5'-0", 12'-11", 16'-0", 9'-2 1/2", 14'-10", 4'-1 1/2", 9'-10"
 - Left: 33'-6 1/2", 18'-3 1/2", 4'-8", 2'-11"
 - Right: 1'-8", 10'-4", 7'-11 1/2", 13'-2", 13'-6 1/2"
- Rooms and Features:**
 - KITCHEN:** 11'-10" x 9'-0". Includes BBQ, OVEN, REF., PANTRY, and DW.
 - LIVING ROOM:** 18'-2" x 16'-3". Includes a sofa, armchair, and 58" TV.
 - DINING ROOM:** 15'-0" x 10'-1". Includes a dining table and chairs.
 - MASTER BEDROOM:** 13'-4" x 12'-2". Includes a bed and dresser.
 - MASTER BATH:** 18'-6" x 7'-5". Includes a bathtub, toilet, and shower.
 - MASTER CLOSET:** 13'-3" x 11'-5". Includes a window seat.
 - PWDR:** 7'-4" x 5'-6". Includes a toilet and vanity.
 - STAIRWELL:** 13'-6" DIAMETER. Includes O.T.B. and stairs labeled DN and UP.
 - COVERED DECK:** 8'-4" x 21'-9". Includes a circular stair labeled UP and 5'-4" DIA.
 - ATTIC:** (under 7'-0" ceiling).
- Other Labels:** W.C. (3'-6" x 5'-8"), SHW. (4'-6" x 3'-8"), and various door and window symbols.



SCALE: 1/4" = 1'-0"

REVISION		No.
CONSULTANT:		
<p>ARCHITECT</p> <p>ERIC MILLER ARCHITECTS, INC.</p> <p>211 HOFFMAN AVENUE MONTEREY, CA 93940</p> <p>PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>		<p>□ □ □ □</p> <p>■ ■ ■ ■</p>
<p>SECOND FLOOR PLAN</p> <p>JOB NAME: Raven Residence 3213 Whitman Lane Pebble Beach, CA A.P.N. 008-401-010</p>		
DATE: 6/6/17		
SCALE: 1/4"=1'-0"		
DRAWN: BWA		
JOB NUMBER: 1517		
<p>A-2.2</p> <p>SHEET OF</p>		

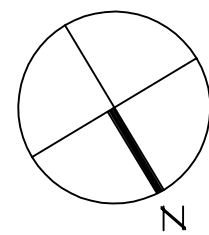
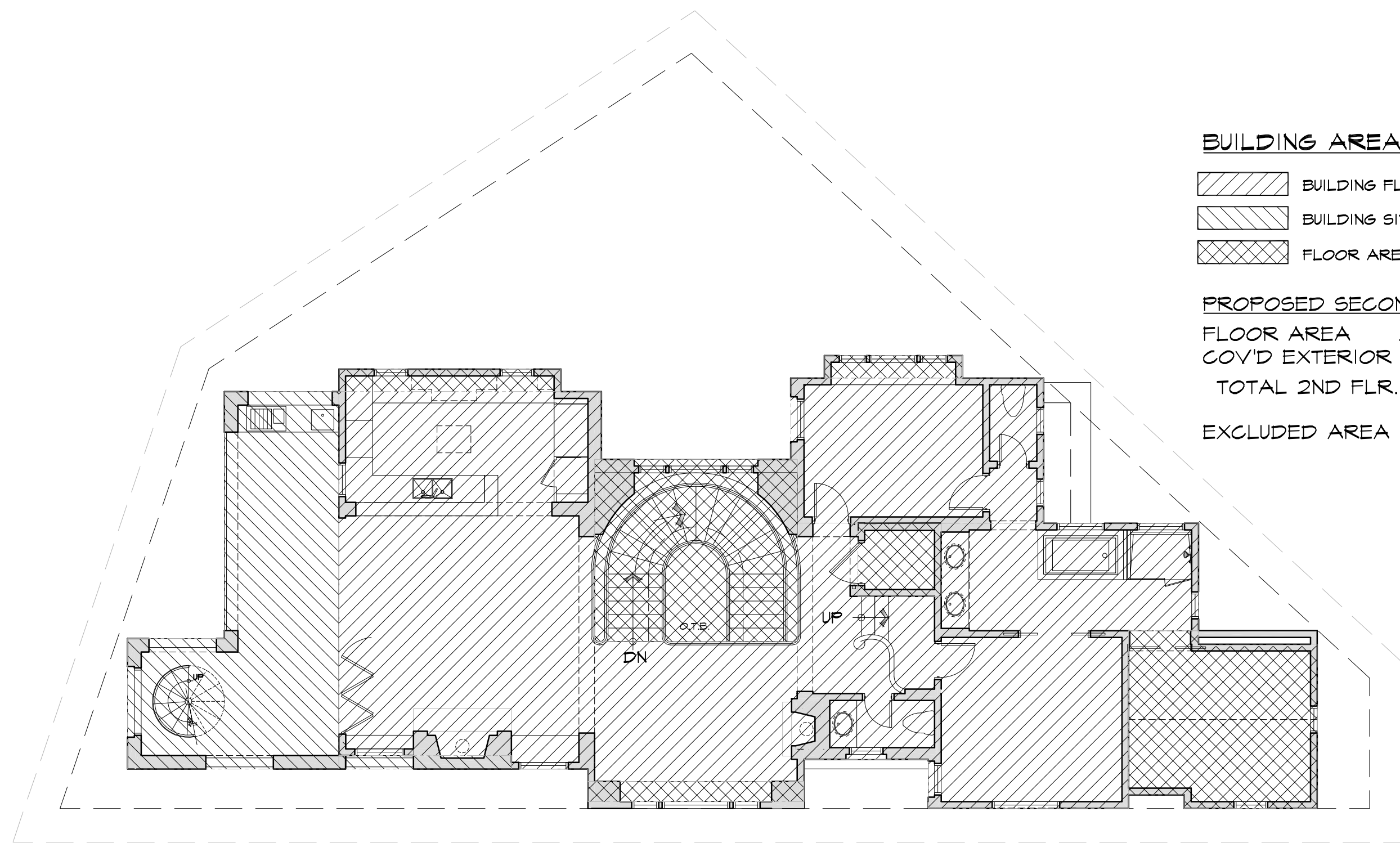
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ROOF PLAN
SCALE: 1/4" = 1'-0"

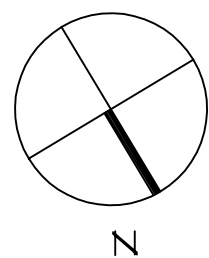
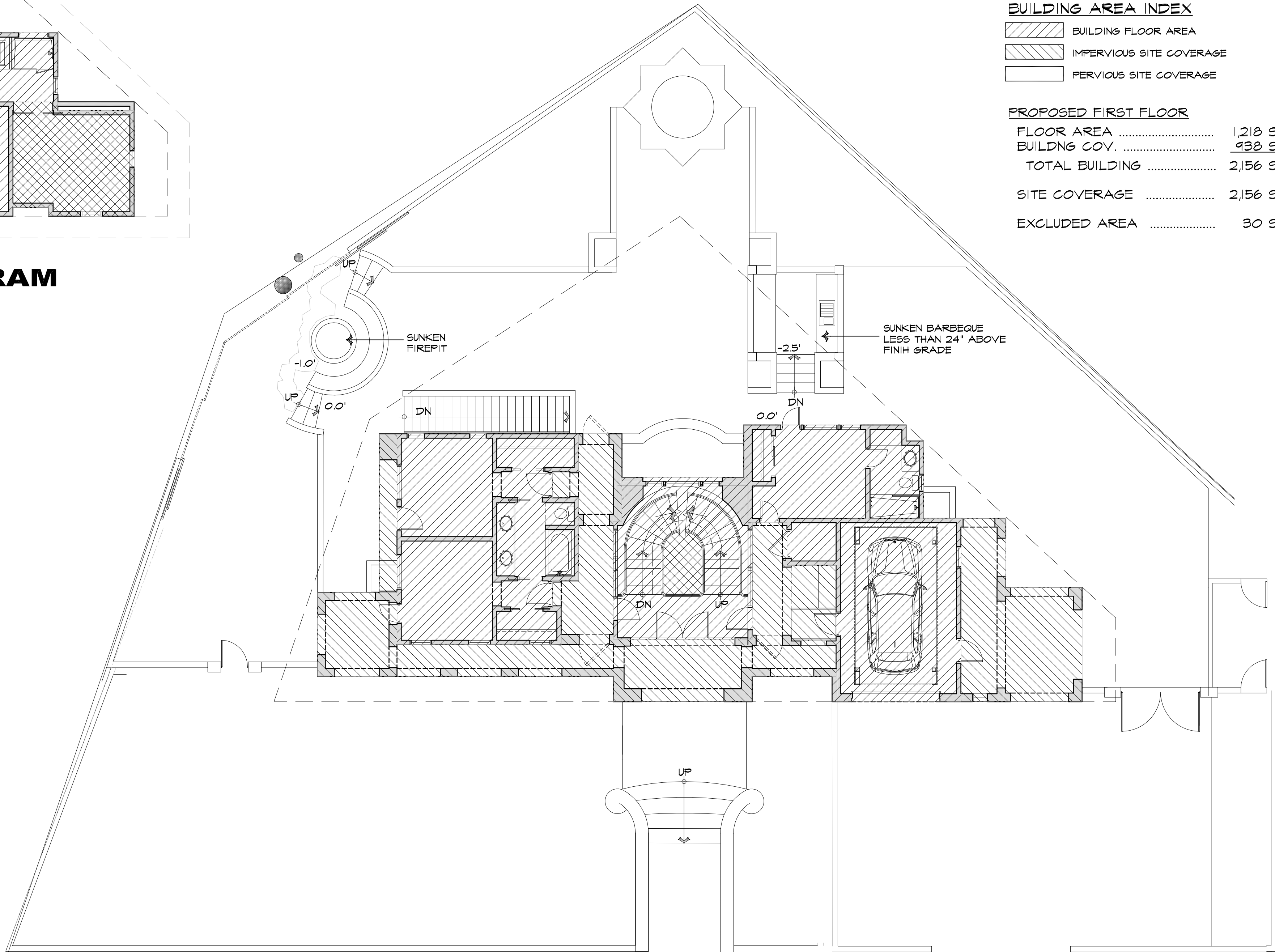
REVISION		No.
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ROOF PLAN		JOB NAME: Raven Residence
		3213 Whitman Lane
		Pebble Beach, CA
		A.P.N. 009-401-010
DATE:		6/6/17
SCALE:		1/4"=1'-0"
DRAWN:		BRW
JOB NUMBER:		15.17
A-2.3		SHEET OF

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SECOND FLOOR AREA DIAGRAM

SCALE: 1/8" = 1'-0"



FIRST FLOOR AREA DIAGRAM

SCALE: 1/8" = 1'-0"

REVISION		No.
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FLOOR AREA DIAGRAM		
JOB NAME:	Raven Residence 3213 Whitman Lane Pebble Beach, CA A.P.N. 009-401-010	
DATE:	6/6/17	
SCALE:	1/8" = 1'-0"	
DRAWN:	BRW	
JOB NUMBER:	15.17	
A-2.4		
SHEET OF		

[illegible]

Architectural elevation drawing of a two-story house. The drawing includes detailed annotations for materials, roof types, and heights.

Annotations:

- TWO PIECE CLAY TILE ROOF
- CHIMNEY w/ CLAY TILE CAP & INLAY
- 42" HIGH GLASS GUARDRAIL
- STUCCO WALLS w/ CHAMFERED CORNERS
- METAL FRAME DOORS & WINDOWS
- STONE VENEER WALL & BASE
- EXISTING GRADE
- FINISH GRADE
- BASEMENT FLOOR WALLS BELOW GRADE
- HIGH NAT'L GRADE = 96'-33"
- AVE. NAT'L GRADE = 95'-165"
- LOW NAT'L GRADE = 94'-0"
- MAX. ROOF HEIGHT = 124'-1"
- MAX. ALLOWED HT. = 125'-165"
- ROOF DECK F.F. = 121'-0"
- SECOND FLOOR T.O.P. = 120'-0"
- SECOND FLOOR - F.F.E. = 101'-0"
- FIRST FLOOR T.O.P. = 105'-75"
- FIRST FLOOR - F.F.E. = 99'-0"
- BASEMENT - T.O.P. = 43'-15"
- BASEMENT - F.F.E. = 83'-0"

Dimensions:

- Vertical (Left):** 6'-5", 10'-0", 6'-6", 11'-3", 13'-6", 12'-5", 1'-3", 12'-0", 10'-4"
- Vertical (Right):** 9'-11", 1'-0", 13'-0", 10'-4", 12'-0", 10'-4", 12'-0"
- Horizontal (Top):** 124'-1", 123'-0", 124'-1", 125'-165"
- Horizontal (Bottom):** 108'-5", 107'-25", 99'-0", 43'-15", 101'-0", 101'-75", 43'-15", 83'-0"

The image displays two architectural elevation drawings of a proposed building, showing both the exterior facade and a cross-section. The drawings include extensive annotations for materials, dimensions, and structural details.

Left Elevation (Exterior View):

- Roof:** Two piece clay tile roof. Annotations include "TOP OF ROOF & RAIL = 124'5\"", "ROOF DECK F.F. = 121'0\"", and "SECOND FLOOR T.O.P. = 120'0\"".
- Walls:** Stucco walls w/ tile inlay. Annotations include "STUCCO WALLS w/ CHAMFERED CORNERS" and "42\" HIGH STONE GUARD RAIL".
- Windows:** Metal frame doors & windows. Annotations include "42\" HIGH GLASS GUARDRAIL" and "OPEN".
- Floors:** Second floor - F.F.E. = 101'0", First floor T.O.P. = 106'15", First floor - F.F.E. = 95'0", Basement - T.O.P. = 93'15", and Basement - F.F.E. = 83'0".
- Other:** Stained wood rafters, beams, & outriggers. Annotations include "TOP OF TRELLIS = 100'4\"", "SUNKEN FIREPIT", and "BASEMENT FLOOR WALLS BELOW GRADE".

Right Elevation (Exterior View):

- Roof:** Two piece clay tile roof. Annotations include "ENTRY RIDGE HT. = 124'4\"", "MAX. ALLOWED HT. = 125'16'5\"", "TOP OF RIDGE = 124'4\"", "ROOF DECK F.F. = 121'0\"", and "SECOND FLOOR T.O.P. = 120'0\"".
- Walls:** Stucco walls w/ chamfered corners. Annotations include "STUCCO CHIMNEY w/ CLAY TILE INLAY, & COPPER LATTICE SCREEN" and "STAINED WOOD TRELLIS".
- Windows:** Metal windows & wood shutters. Annotations include "TOP OF TRELLIS = 100'4\"", "HIGH NATL. GRADE = 96'33\"", "AVE. NATL. GRADE = 95'16'5\"", and "LOW NATL. GRADE = 94'0\"".
- Floors:** Second floor - F.F.E. = 101'0", First floor T.O.P. = 101'25", First floor - F.F.E. = 95'0", and Basement - T.O.P. = 93'15".
- Other:** Stained wood beams. Annotations include "SMOOTH NATURAL STONE", "SPLIT FACE NATURAL STONE VENEER BASE", and "FINISH GRADE".

Dimensions and Notes:

- Vertical Dimensions:** 1'-0" (3'-5"), 13'-0", 12'-0", 10'-4", 5'-11 1/2", 12'-0", 10'-4".
- Horizontal Dimensions:** 30'-0" MAX. BUILDING HEIGHT, 24'-4" PROPOSED BUILDING HEIGHT.
- Grades:** HIGH NATL. GRADE = 96'33", AVE. NATL. GRADE = 95'16'5", LOW NATL. GRADE = 94'0".

4 WEST ELEVATION

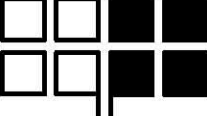
SCALE: 1/8" = 1'-0"

A-3.1
SHEET OF

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FRONT ELEVATION VIEW FROM WHITMAN LANE

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RENDERING		
JOB NAME: Raven Residence 3213 Whitman Lane Pebble Beach, CA A.P.N. 009-401-010		
DATE:		6/06/17
SCALE:		N.T.S.
DRAWN:		C.H.
JOB NUMBER:		15.17
A-7.1		
SHEET		OF

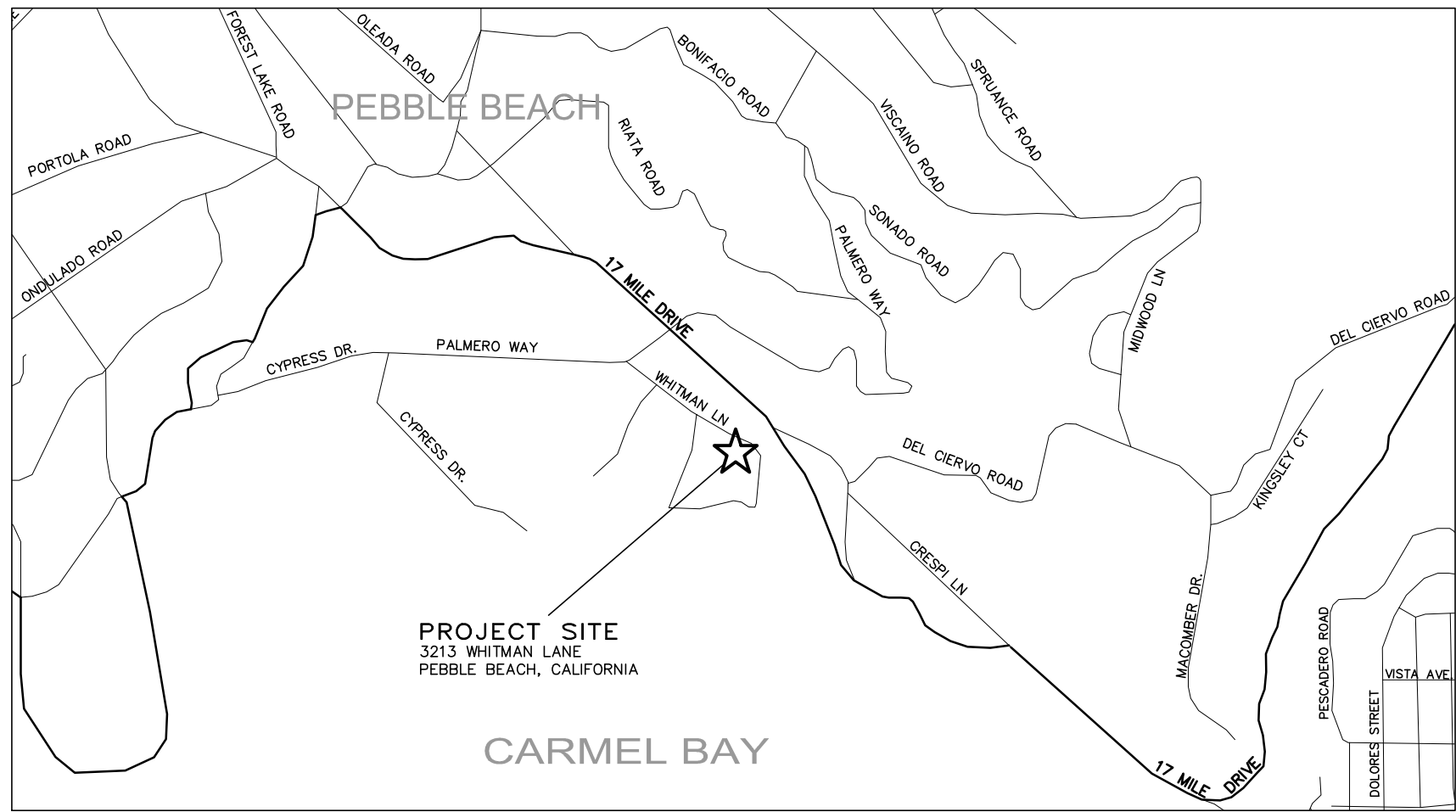
GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS

OF

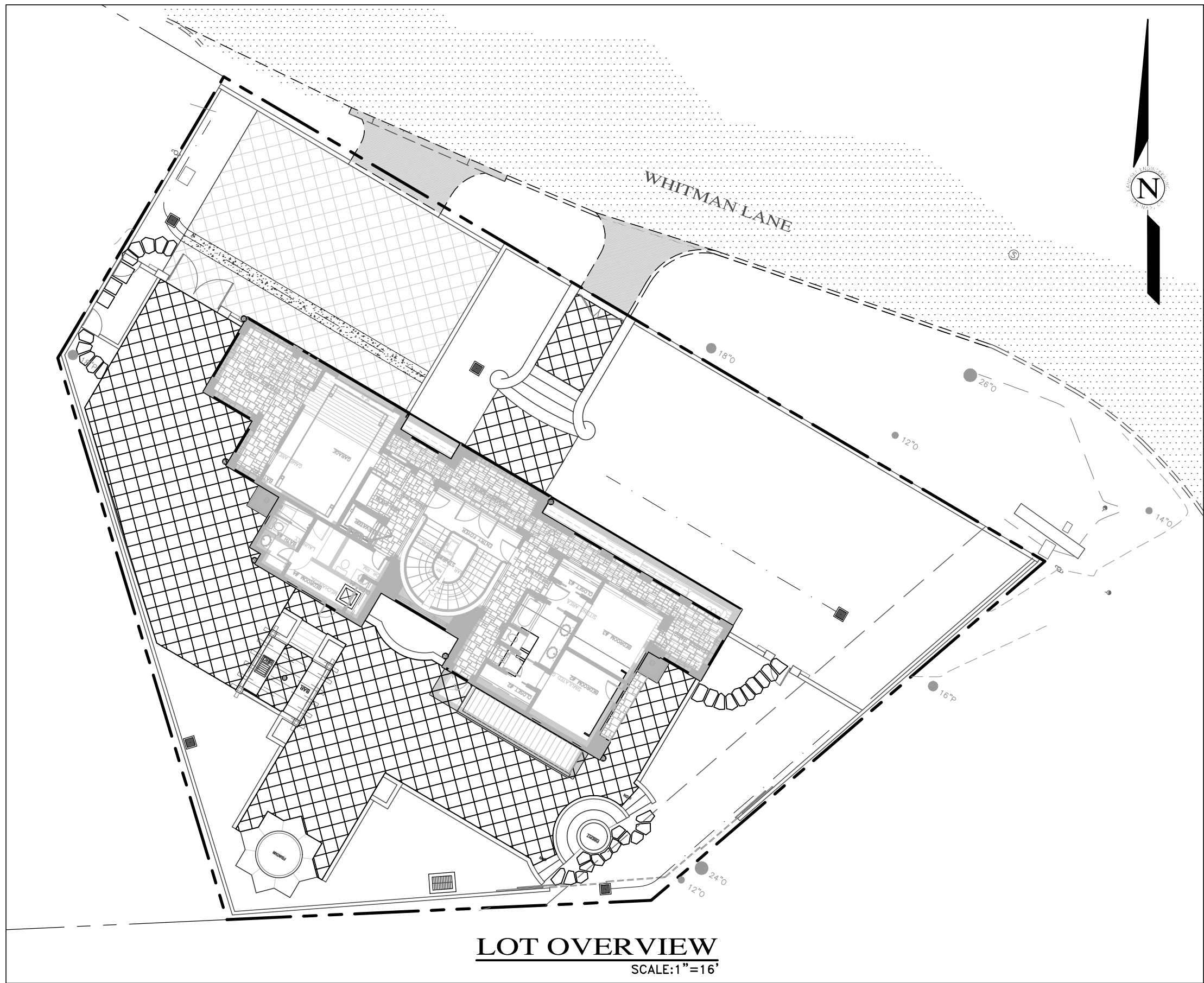
RAVEN RESIDENCE

APN:008-401-010

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LEGEND:

EXISTING:	
	PROPERTY LINE
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	SPOT ELEVATION
	ASPHALT CONCRETE SURFACE
	UTILITY POLE, GUY WIRE
NEW:	
	MAJOR CONTOUR LINE (5' INTERVAL)
	MINOR CONTOUR LINE (1' INTERVAL)
	DRAINAGE SWALE FLOWLINE
	STORM DRAIN PIPE
	RAIN-WATER LEADER
	SUBDRAIN PIPE
	UNDER-SLAB DRAIN
	SPOT ELEVATION
	ROOF DOWNSPOUT
	ASPHALT CEMENT PAVEMENT
	PORTLAND CEMENT CONCRETE
	STONE PAVER SURFACE

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, inc.	During backfill operations		
Base rock subgrade compaction	LandSet Engineers, inc.	Prior to pavement installation		

GENERAL NOTES:

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE RAVEN RESIDENCE, SHEET A1.0 PREPARED BY ERIC MILLER ARCHITECTS, DATED 05/16/17, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- 1) ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION PREPARED BY LANDSET ENGINEERS, INC. PROJECT No. 1520-02, DATED JAN. 11, 2016, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- 2) SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- 3) NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 4) THERE ARE APPROXIMATELY 1,360 C.Y. OF CUT AND 95 C.Y. OF FILL WITH A SURPLUS OF 1,265 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- 5) EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASE ROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- 7) PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- 8) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- 9) A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- 11) ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS AND CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASINS AND DISCHARGED TO AN UNDERGROUND DETENTION PIPE SYSTEM. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE. HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- 12) STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAINS AND DRAINAGE SWALES OUTLETTING ONTO AN UNDERGROUND DETENTION PIPE SYSTEM.
- 13) SUBSURFACE DRAINAGE FOR FOUNDATIONS & UNDERSLAB IS REQUIRED AND WILL BE COLLECTED AND PIPED TO A SUMP (CHRISTY BOX U23) LOCATED IN THE MECHANICAL ROOM AND PUMPED UP TO EXISTING GROUND LEVEL (WHITMAN LN.) AND SHALL REMAIN INDEPENDENT OF THE SURFACE RUNOFF.
- 14) THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASINS SHALL BE CHRISY PRODUCTS V12 WITH CAST IRON GRATE OR APPROVED EQUAL. THE LOWER SUMP PUMP SHALL BE U22 AND THE STORM DRAIN LIFT STA. SHALL BE U32. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.

- 15) ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- 16) UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. REL. COMPACTION.
- 17) ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- 18) NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- 19) SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- 20) THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- 21) IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
- 22) TO MITIGATE ANY POTENTIAL ADVERSE IMPACTS TO NEIGHBORING PROPERTIES LOCATED DOWNSTREAM OF THE DEVELOPMENT, ALL DRAINAGE UP TO THE 100-YR STORM EVENT SHALL BE ROUTED TO AN ON-SITE SUBSURFACE PIPE DETENTION FACILITY. THE STORMWATER WILL BE PUMPED TO STREET LEVEL (WHITMAN LN.) AT THE 10-YR PRE-DEVELOPED RATE AND CONNECTED INTO THE ROADWAY CATCH BASIN LOCATED TO THE SOUTHEAST OF THE PROPERTY WHICH OUTLETS INTO THE NATURAL DRAINAGE RAVINE.

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP / EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	LOWER FLOOR PLAN - UNDERSLAB DRAIN
SHEET C5	GRADING SECTIONS
SHEET C6-SW	STORM WATER CONTROL PLAN
SHEET C7-EC	EROSION CONTROL PLAN
SHEET C8	STANDARD PLANS & CONSTRUCTION DETAILS

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDD WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. SCOTT AND CHARLYSE RAVEN
5700 EAST CLARKSON AVENUE
SELMA, CA 93662

SECONDARY: ARCHITECT
ERIC MILLER ARCHITECTS, INC.
ATTN: MS. CARLA HASHIMOTO
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH (831)372-0410 (7840)

SITE LOCATION:
3213 WHITMAN LANE
PEBBLE BEACH, CA 93950

	06/02/17	AMS	ARCH'S NEW SITE PLAN
	06/30/16	AMS	ARCH'S NEW SITE PLAN
	05/25/16	AMS	RELEASED TO CLIENT
	05/10/16	AMS	CONCEPTUAL G.D. & S.W.C. PLAN
No.	DATE	BY	REVISION

GRADING, DRAINAGE, EROSION CONTROL
& STORM WATER CONTROL PLANS

RAVEN RESIDENCE
A.P.N.: 008-401-010
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

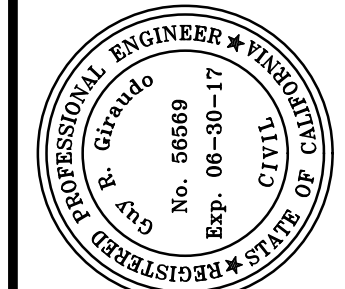
FOR MR. & MRS. SCOTT AND CHARLYSE RAVEN

"PRELIMINARY"

"COVER SHEET"

SCALE: AS SHOWN
DATE: APRIL 2016
JOB NO. 1520-01

SHEET
C1
OF 8 SHEETS



APPROVED BY:

GUY R. GIRAUDO





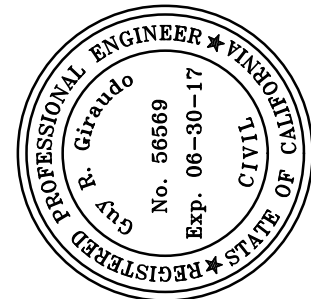
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GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS

FOR
MR. & MRS. SCOTT AND CHARLYSE RAVEN

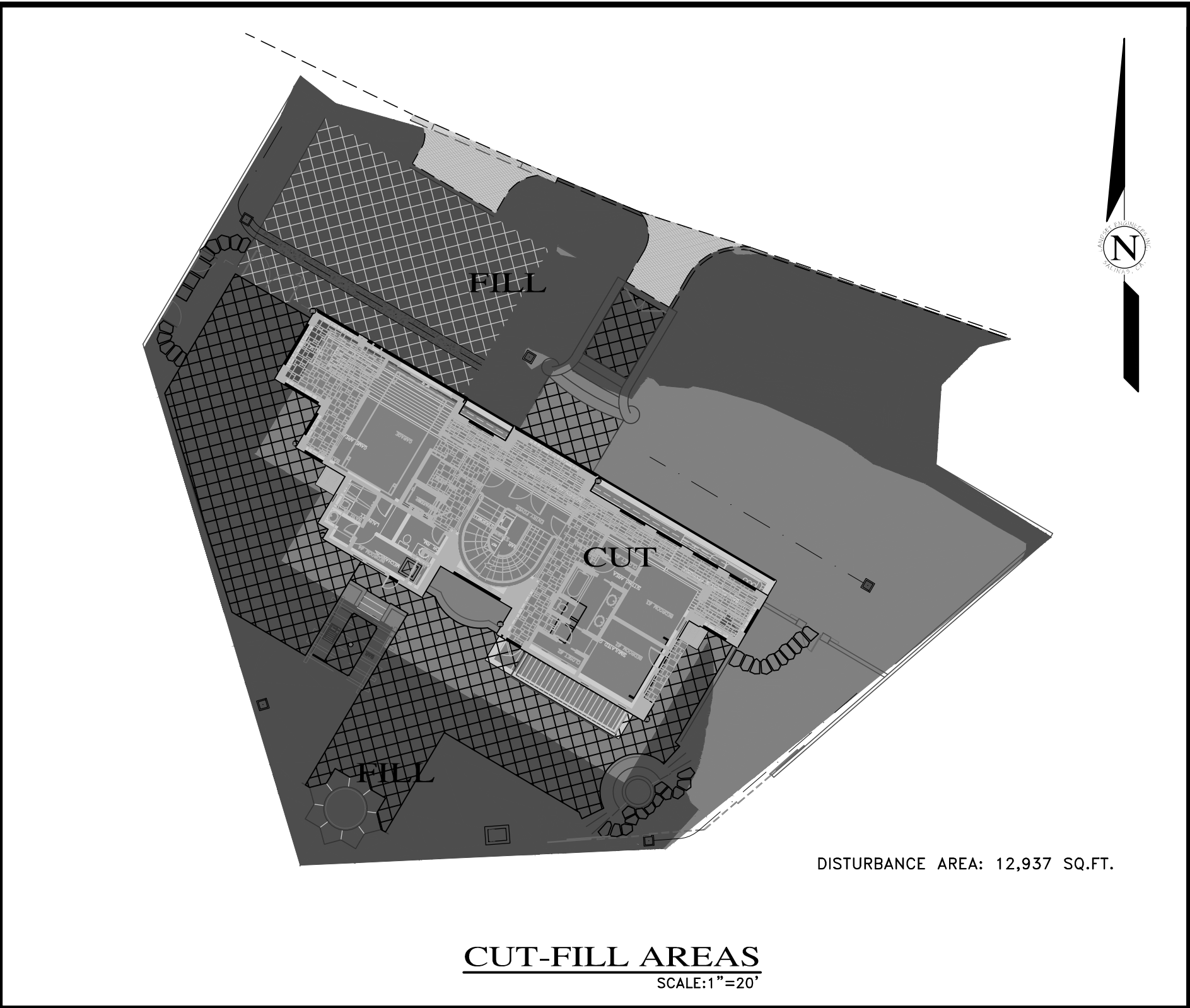
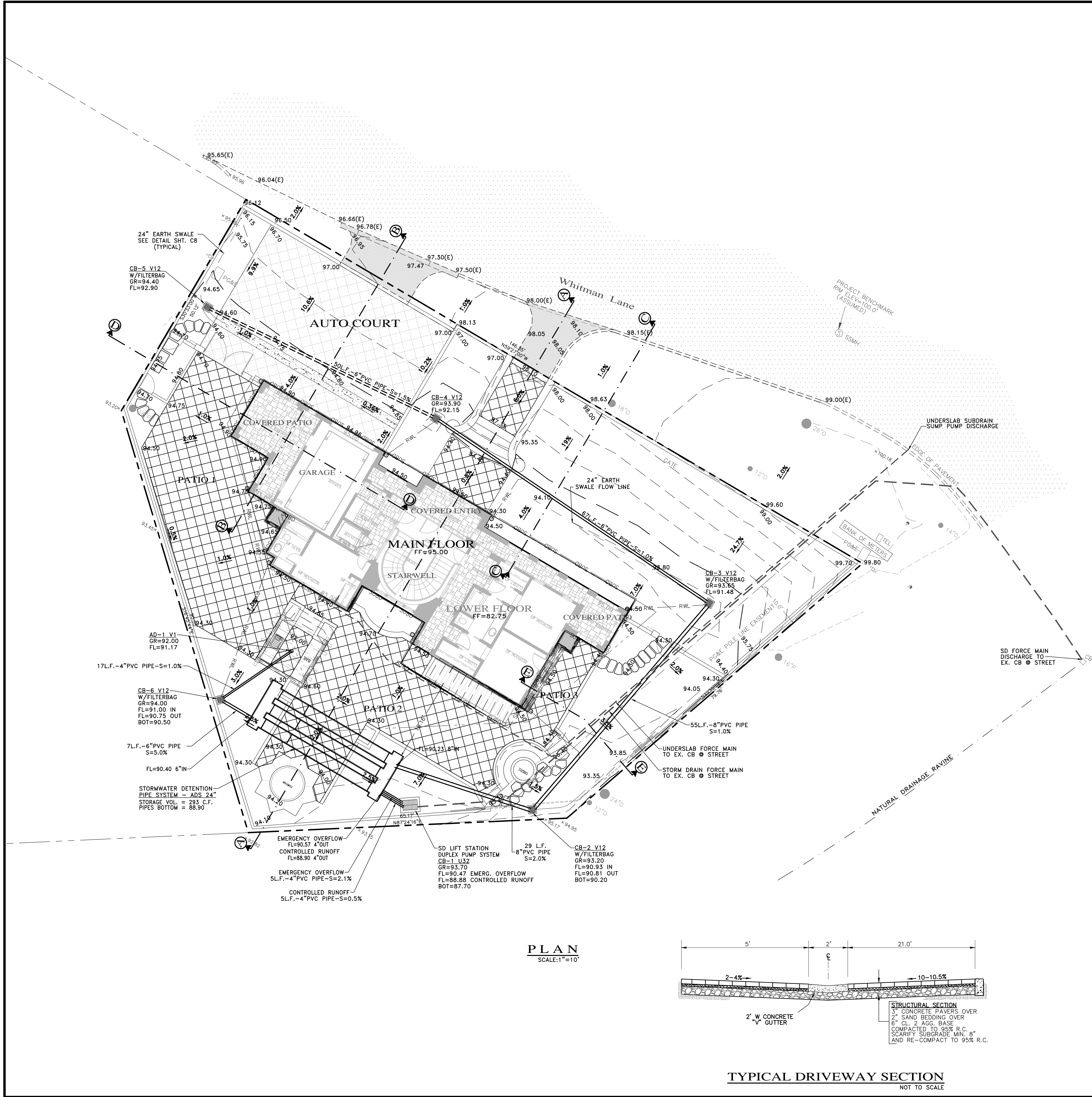


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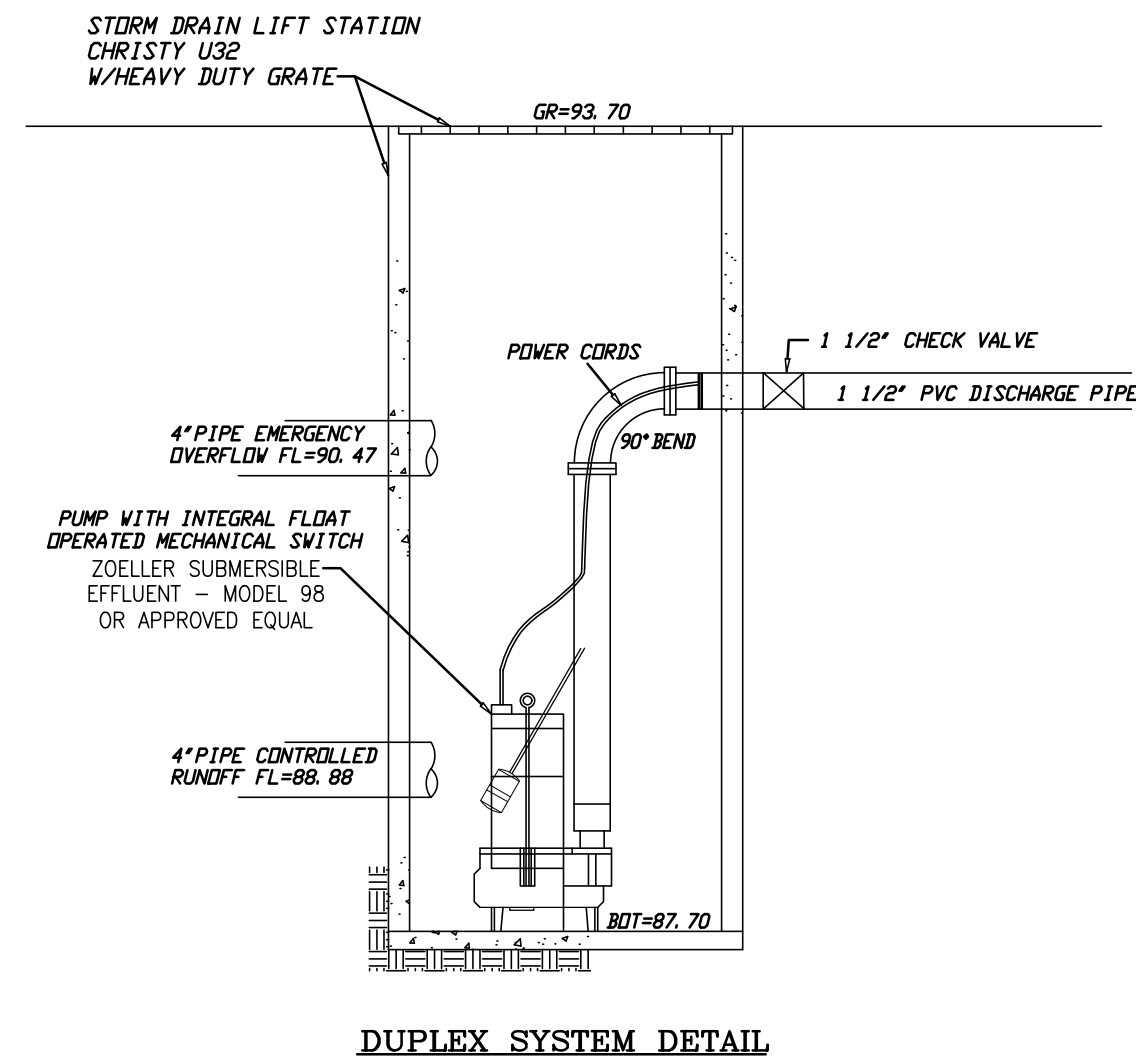


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No.	DATE	BY	REVISION

SHEET **C2**
OF 8 SHEETS



Cut/Fill Summary						
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
1520-VOL EXSG	1.000	1.000	12937.22 Sq. Ft.	1360.42 Cu. Yd.	93.14 Cu. Yd.	1267.28 Cu. Yd.<Cut>
Totals			12937.22 Sq. Ft.	1360.42 Cu. Yd.	93.14 Cu. Yd.	1267.28 Cu. Yd.<Cut>



DESIGN CRITERIA:	
PUMP ELEVATION	= 87.70±
STREET ELEVATION	= 99.30
LENGTH OF DISCHARGE	= 178 L.F.
Q10 YR FLOW	= 60 GPM

STORM DRAIN LIFT STATION

"GRADING, DRAINAGE & UTILITY PLAN"

GRADING, DRAINAGE, EROSION CONTROL
& STORM WATER CONTROL PLANS

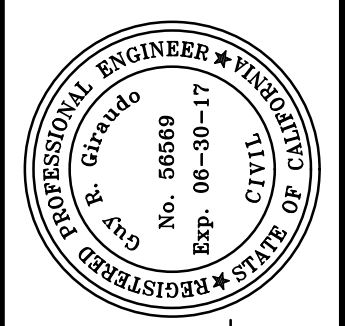
RAVEN RESIDENCE
A.P.N.: 008-401-010
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. SCOTT AND CHARLYSE RAVEN

SCALE: AS SHOWN
DATE: APRIL 2016
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SHEET
OF 8 SHEETS

C3

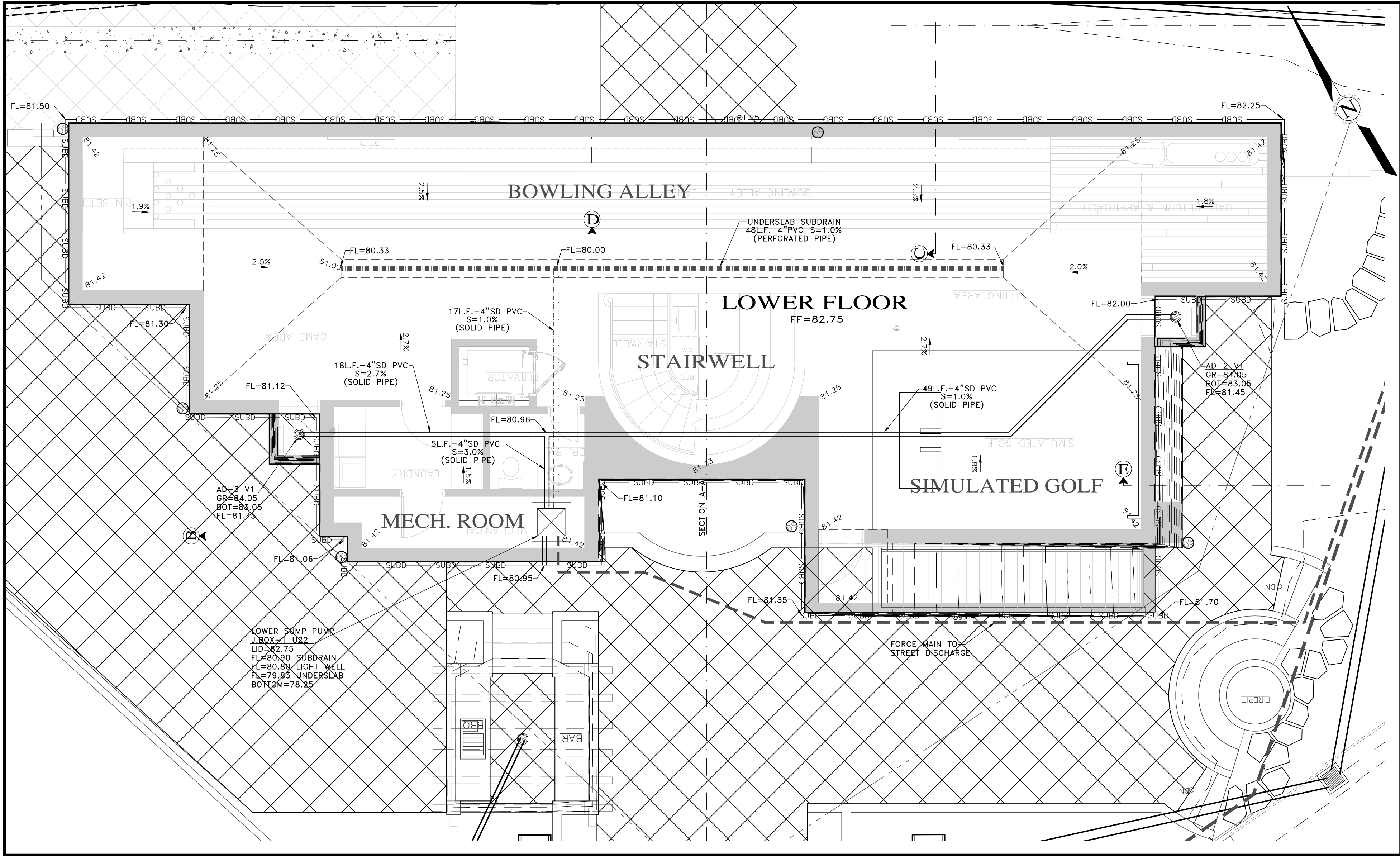


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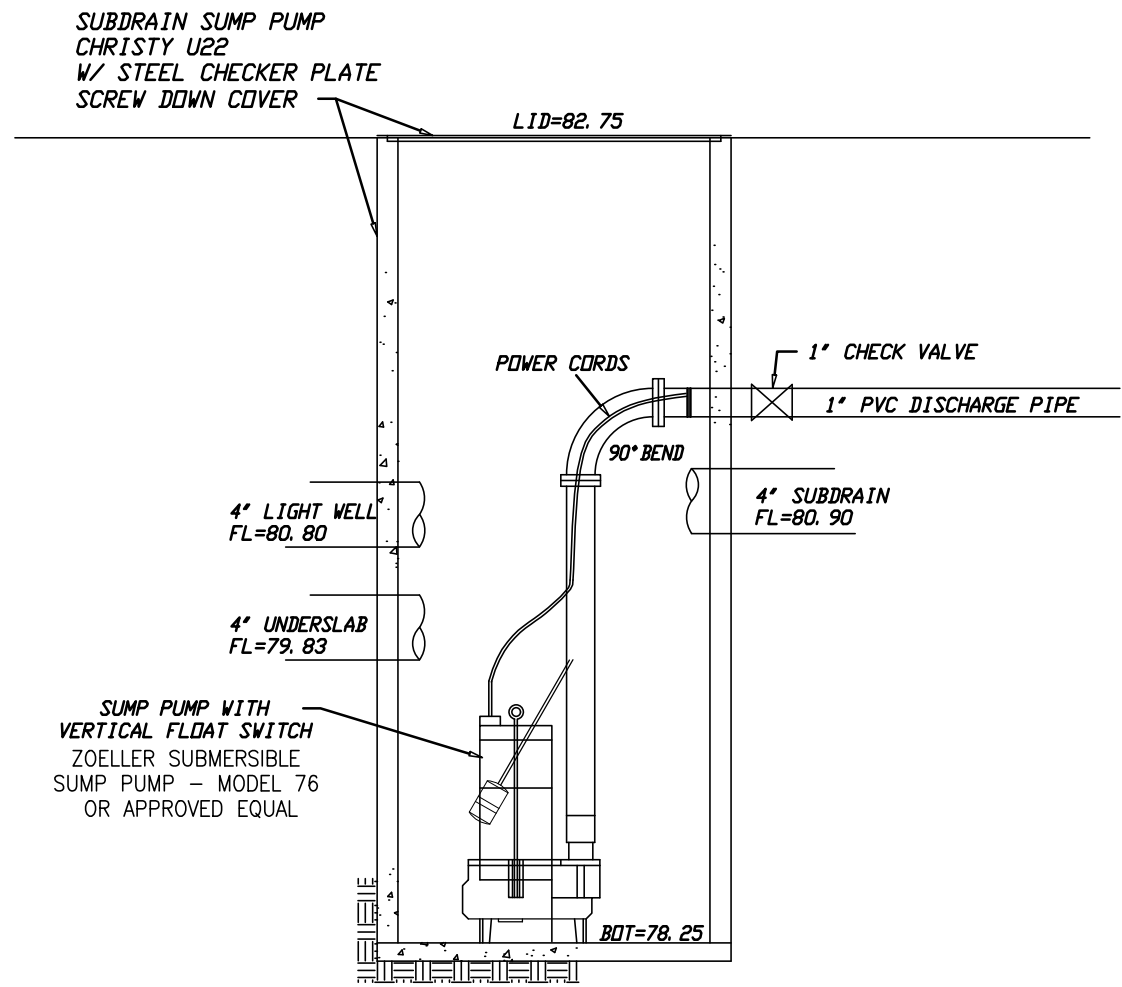
GUY R. GIRAUDO

LANDSET
ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 95077
Office (831) 443-6970 Fax (831) 443-9801
www.landseteng.com





LOWER FLOOR UNDERSLAB DRAIN
SCALE: 1"=5'

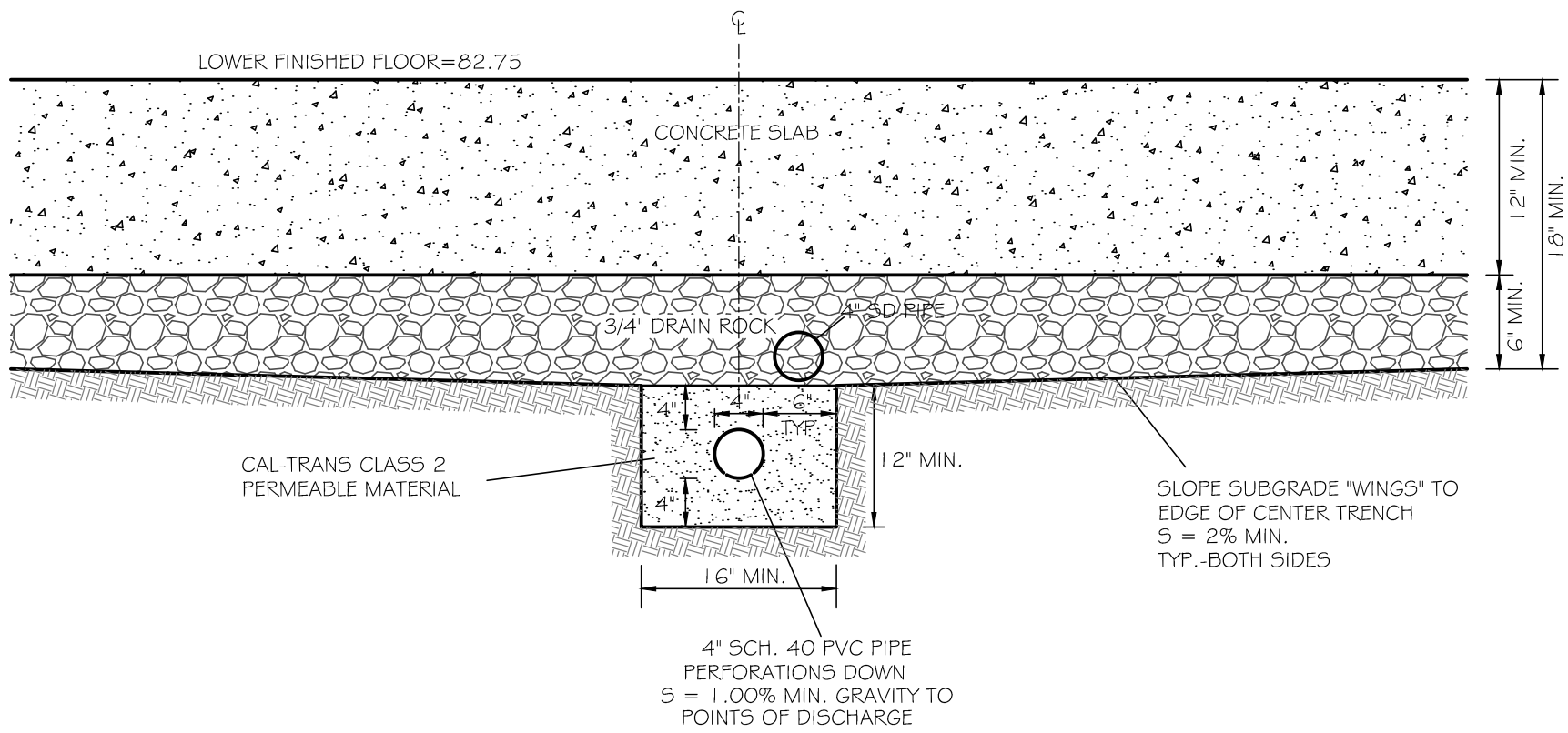


SIMPLEX SYSTEM DETAIL

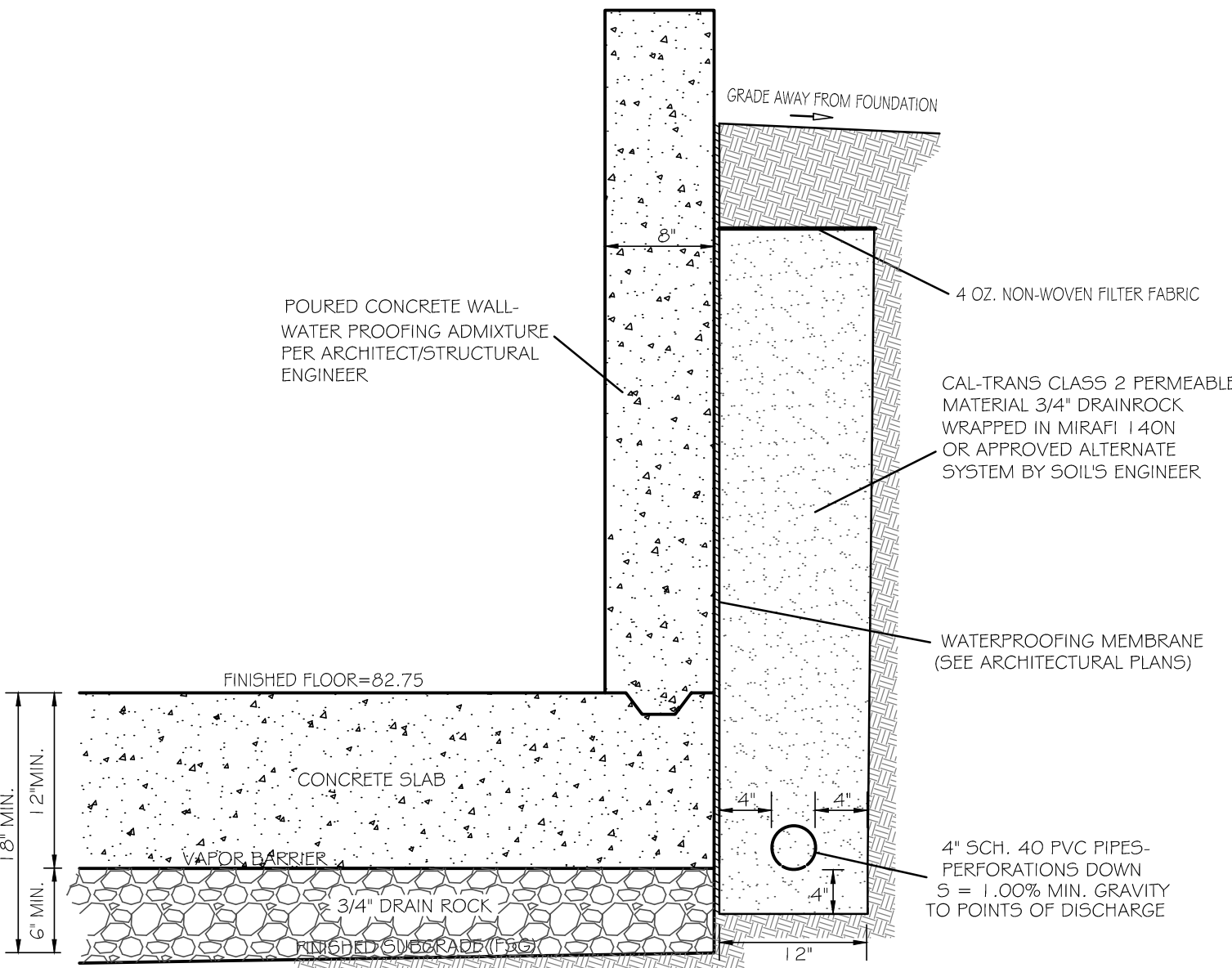
DESIGN CRITERIA:

PUMP ELEVATION = 78.25±
STREET ELEVATION = 99.20
LENGTH OF DISCHARGE = 154 L.F.
Q_{flow} = 5 G.P.M.

LOWER SUMP PUMP
NOT TO SCALE



LOWER FLOOR UNDERSLAB SUBDRAIN DETAILS
NOT TO SCALE



"PRELIMINARY"

"LOWER FLOOR PLAN - UNDERSLAB DRAIN"

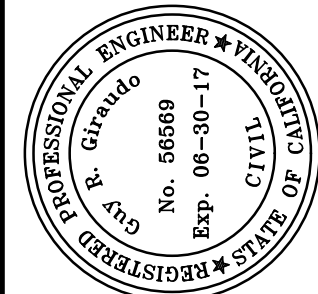
GRADING, DRAINAGE, EROSION CONTROL
& STORM WATER CONTROL PLANS

OR
RAVEN RESIDENCE
A.P.N.: 008-401-010
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. SCOTT AND CHARLYSE RAVEN

SCALE: AS SHOWN
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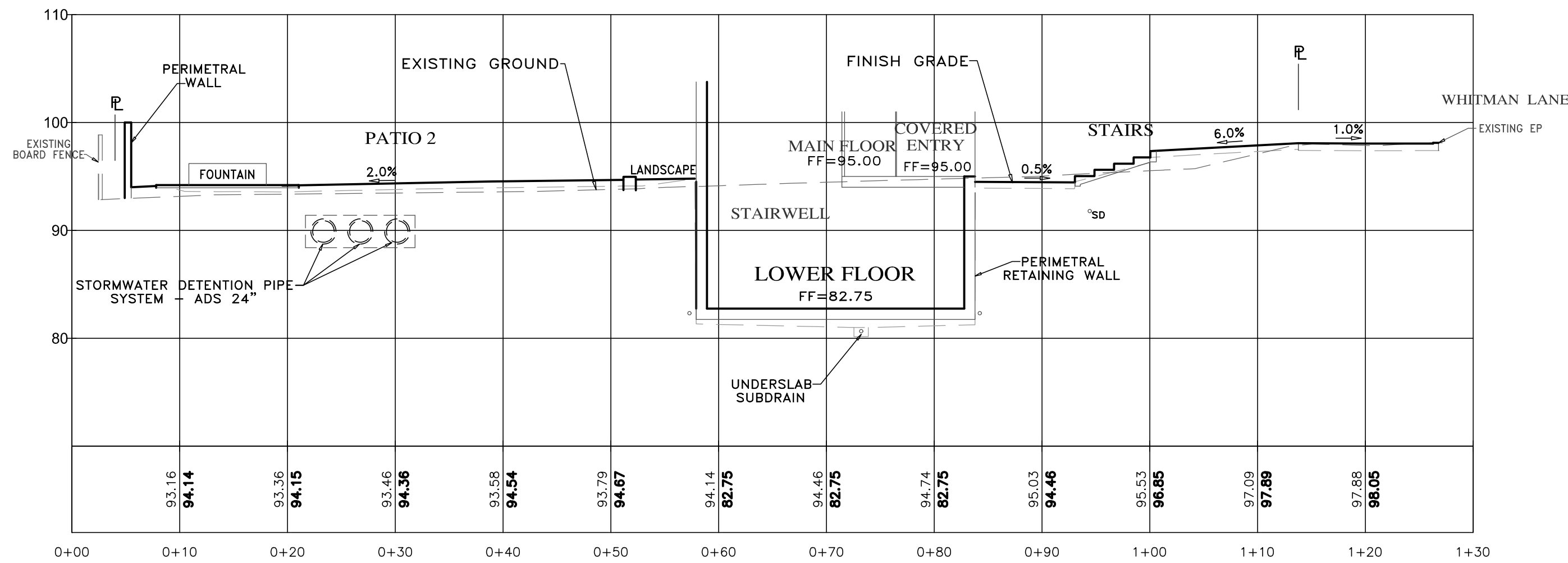
SHEET
OF 8 SHEETS



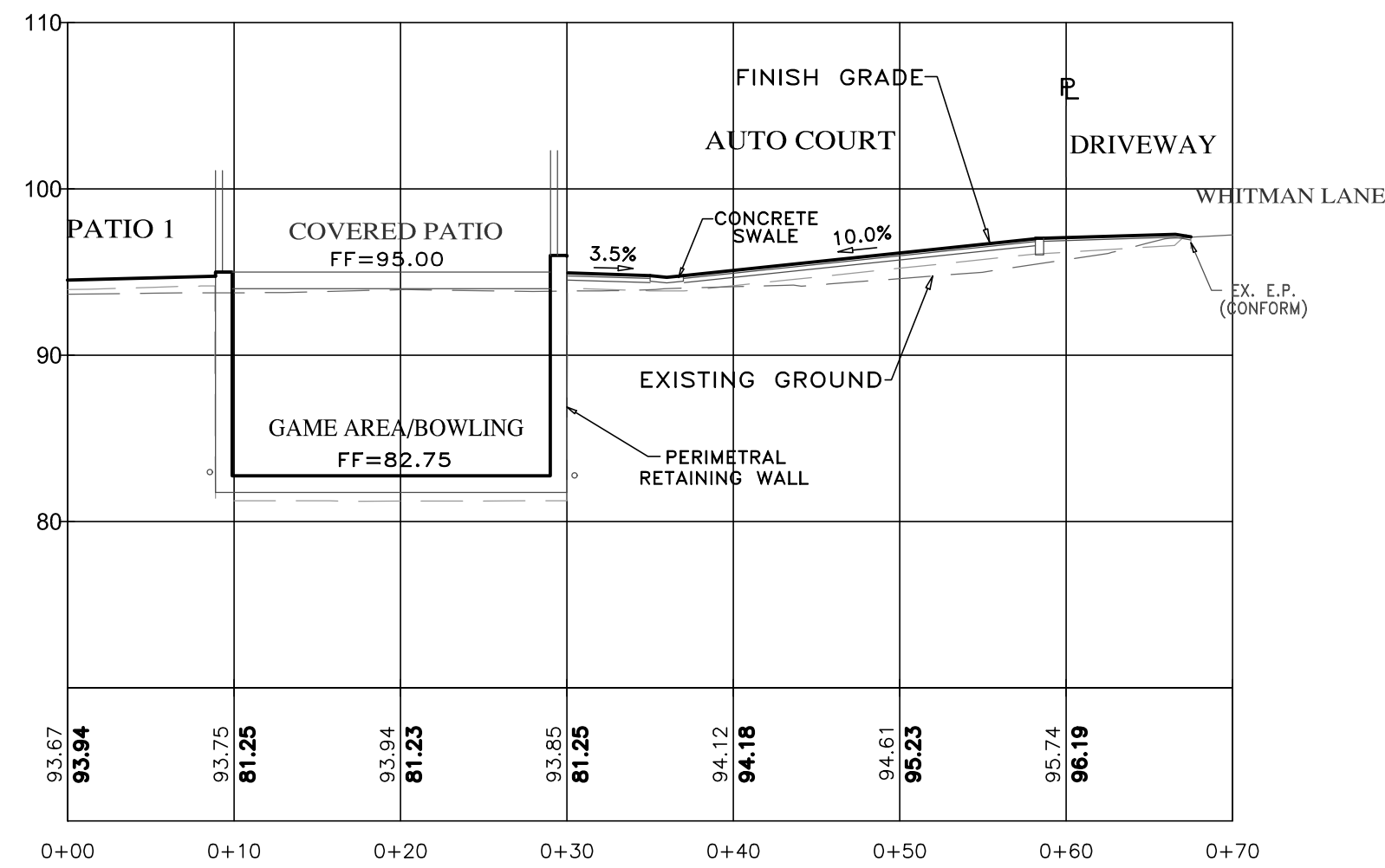
APPROVED BY:

GUY R. GIRAUDO

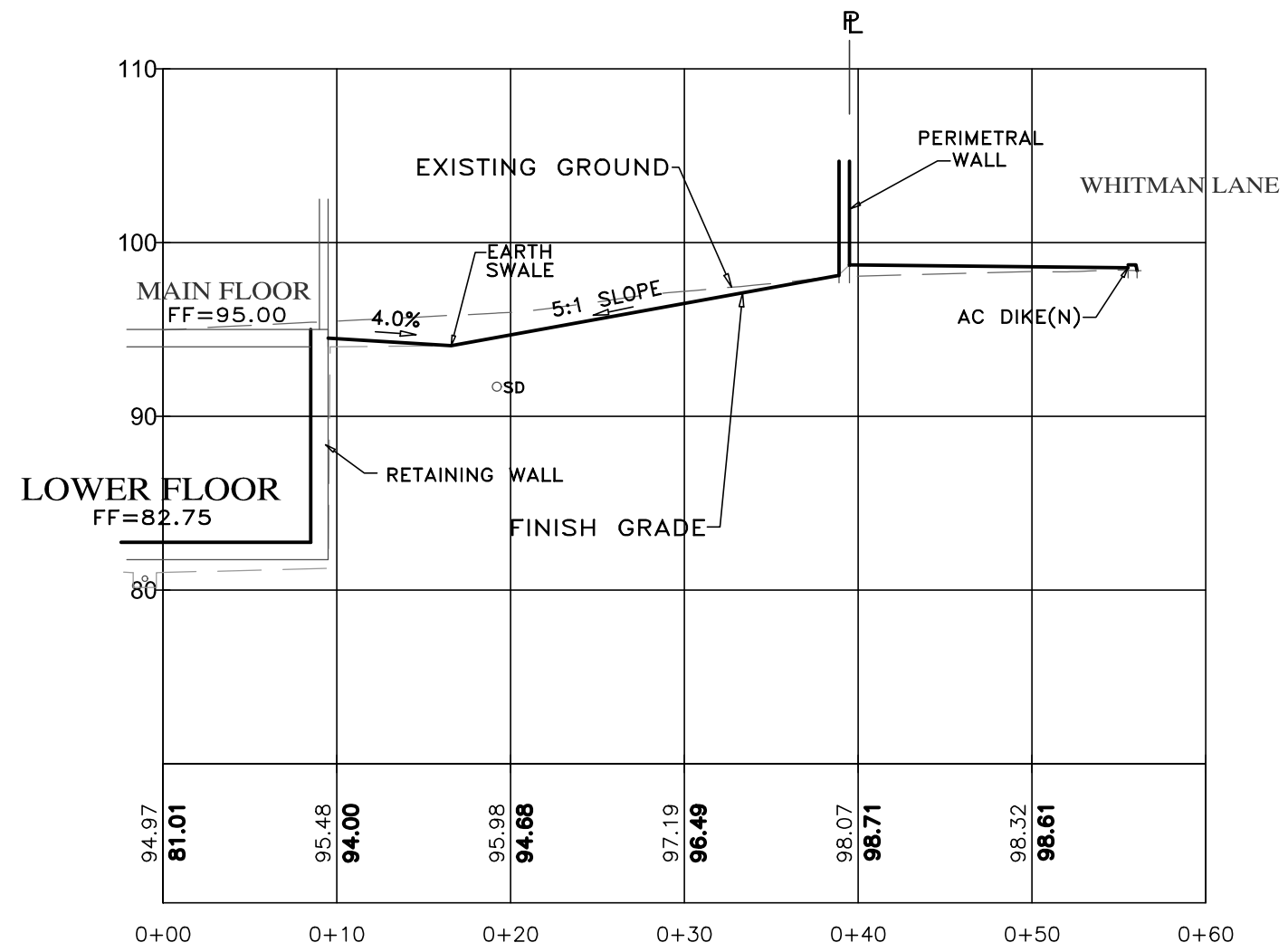




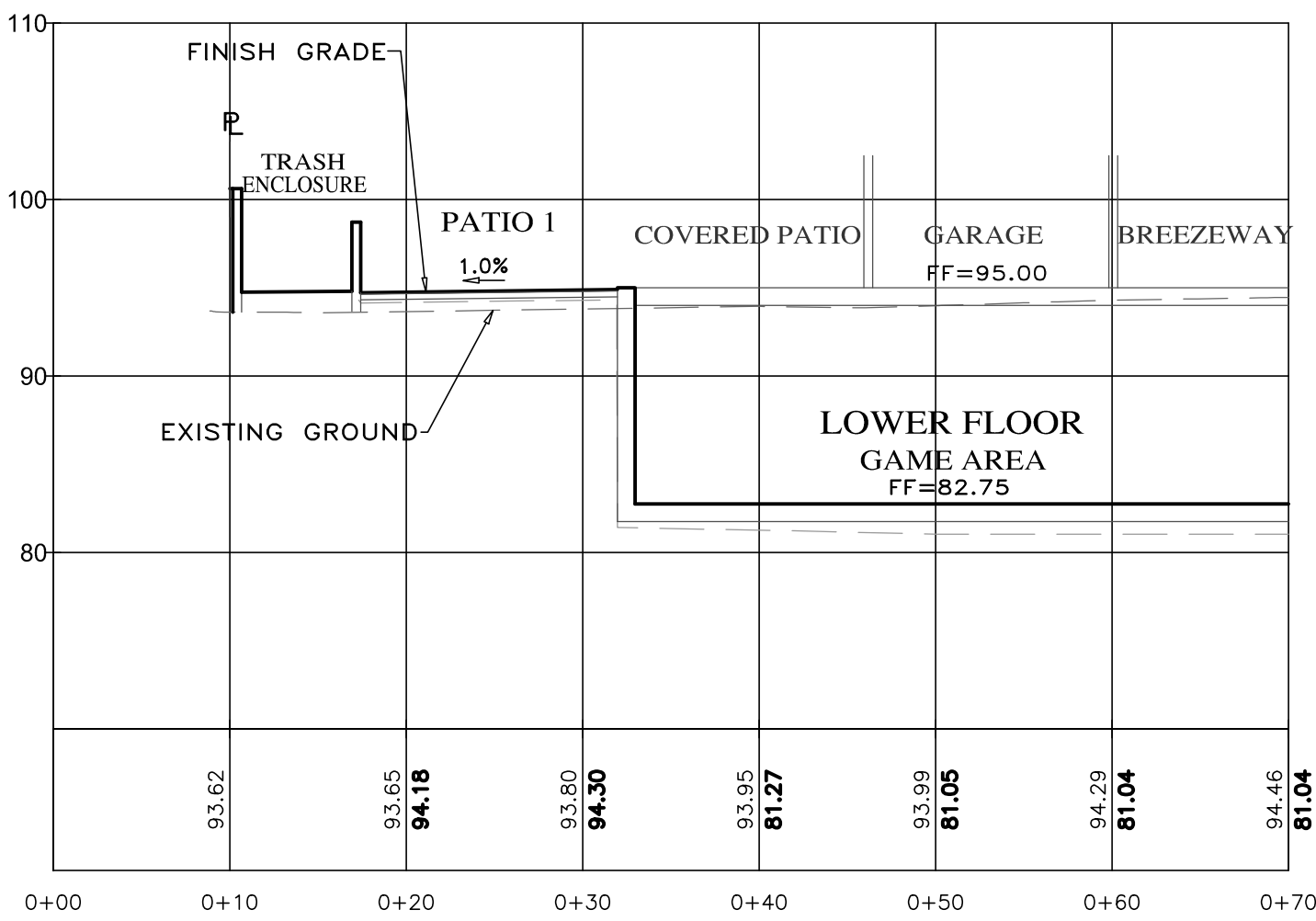
SECTION A-A
SCALE: 1"=10' H&V



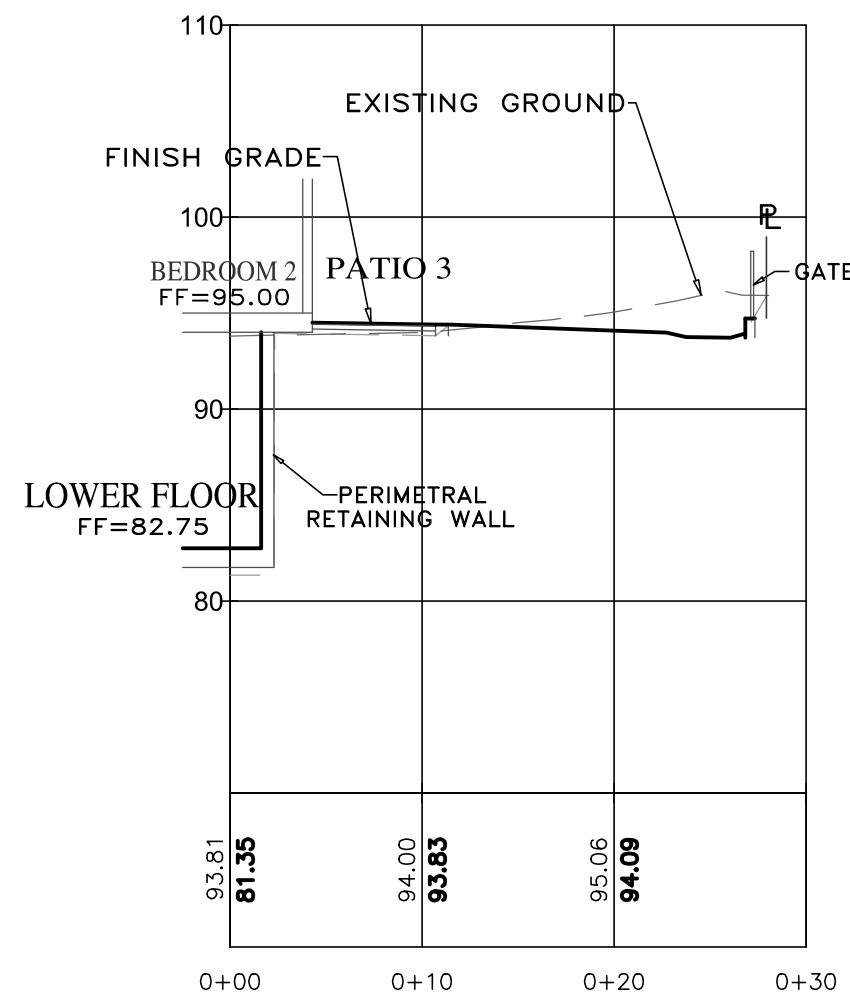
SECTION B-B
SCALE: 1"=10' H&V



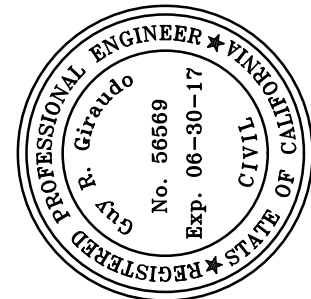
SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V



SECTION E-E
SCALE: 1"=10' H&V



APPROVED BY:

GUY R. GIRAUDO



GRADING, DRAINAGE, EROSION CONTROL
& STORM WATER CONTROL PLANS

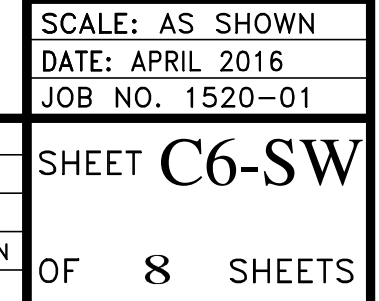
OR
RAVEN RESIDENCE
A.P.N.: 008-401-010
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. SCOTT AND CHARLYSE RAVEN

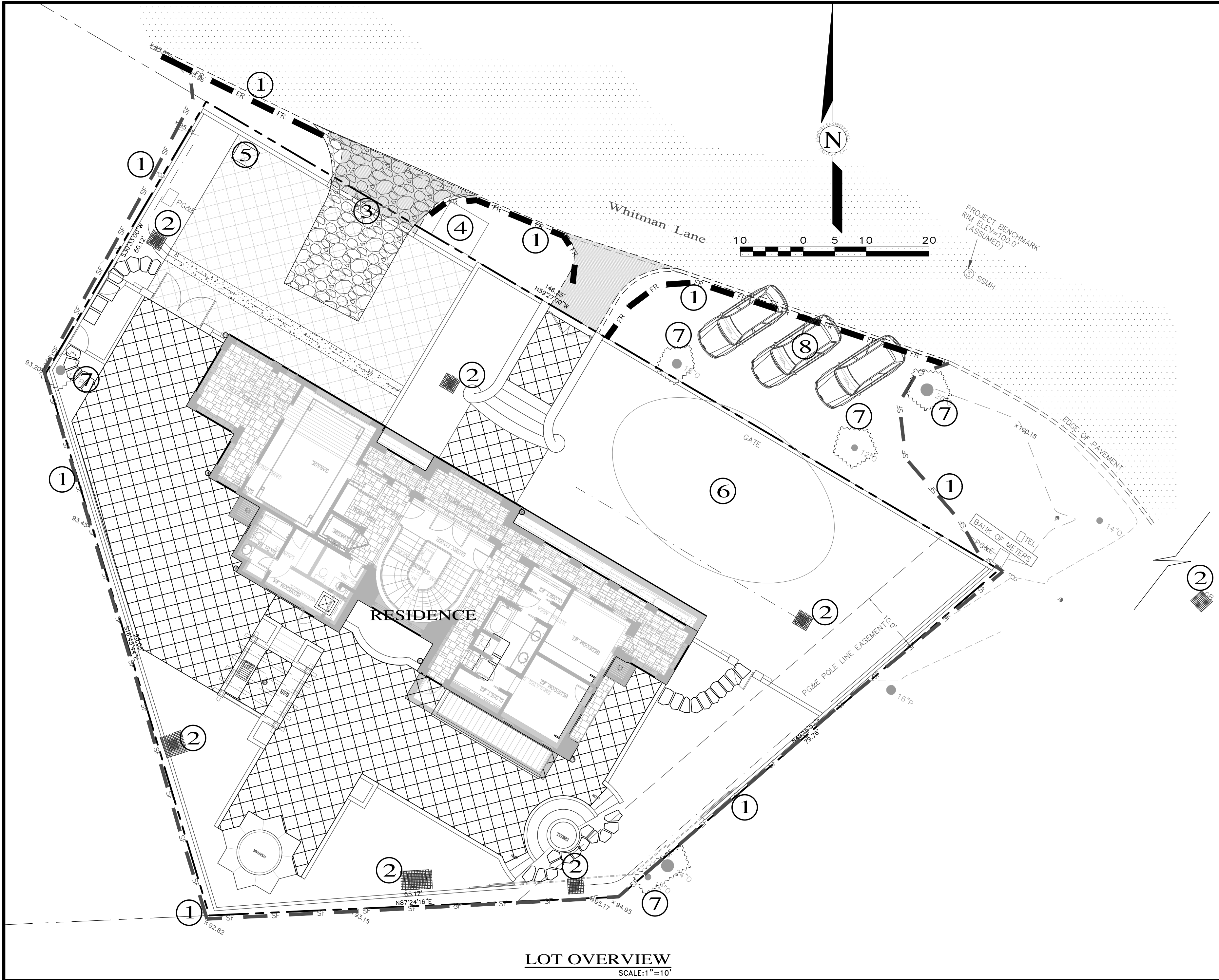
"PRELIMINARY"

"GRADING SECTIONS"

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SCALE: 1"=10' H&V
DATE: APRIL 2016
JOB NO. 1520-01





CONSTRUCTION MANAGEMENT NOTES:

- PAINTING:**
1. MINIMIZE USE OF OIL-BASED PAINTS.
 2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER.
 3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE.
 4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.
 5. CASQA BMP HANDBOOK - HAZARDOUS WASTE MANAGEMENT WM-6
- PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:**
1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.
 2. CONSERVE MATERIALS. DO NOT MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
 3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.
 4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.
 5. CASQA BMP HANDBOOK - CONCRETE WASTE MANAGEMENT WM-8
- READY-MIXED CONCRETE:**
1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK.
 2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION.
 3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION.
 4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BATCH PLANT FOR TREATMENT/RECYCLING.
 5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.
 6. CASQA BMP HANDBOOK - CONCRETE WASTE MANAGEMENT WM-8
- EARTH MOVING/GRADING:**
1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
 2. PLANT TEMPORARY VEGETATION WHEN SOLE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN.
 3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
 4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
 5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
 6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.
 7. CASQA BMP HANDBOOK - EROSION CONTROL
- PORTABLE SANITATION FACILITY:**
1. LOCATE AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION.
 2. MUST BE EQUIPPED WITH CONTAINMENT TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM DRAINAGE SYSTEM.
 3. WASTEWATER SHOULD NOT BE DISCHARGED OR BURIED WITHIN THE PROJECT SITE.
 4. TEMPORARY SANITARY FACILITIES THAT DISCHARGE TO THE SANITARY SEWER SYSTEM SHOULD BE PROPERLY CONNECTED TO AVOID ILLICIT DISCHARGES.
 5. SANITARY & SEPTIC FACILITIES SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY A LICENSED SERVICE.
 6. ONLY REPUTABLE, LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED.
 7. CASQA BMP HANDBOOK - SANITARY/SEPTIC WASTE MANAGEMENT WM-9

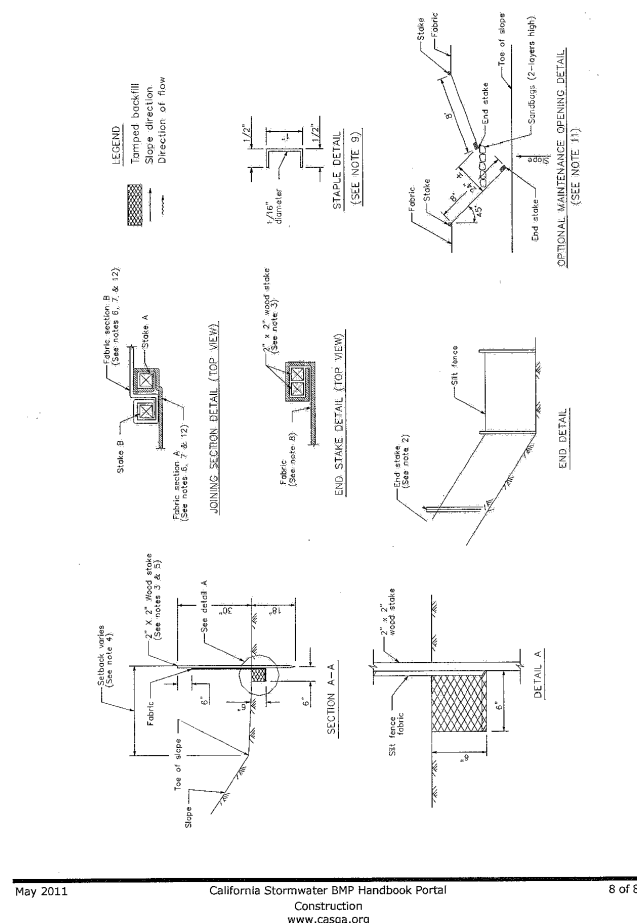
NOTES

- A- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION. COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- D- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.
- E- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
- F- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15.
- G- THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.

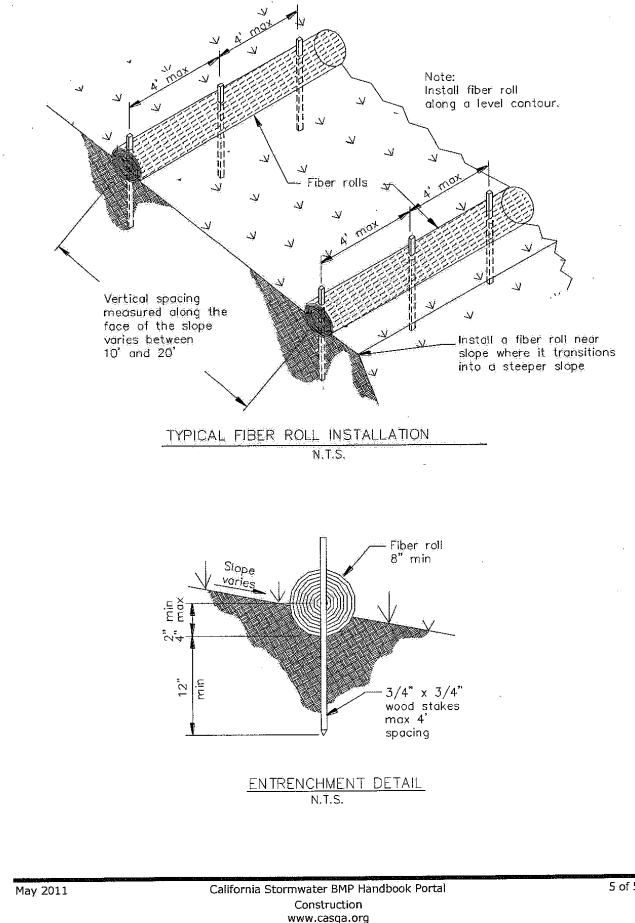
LEGEND: (SEE B.M.P. DETAILS PER C.O.S. STD. PLANS 59A & 59B)

- 1 FIBER ROLL AND/OR SILT FENCE. INSTALL FIBER ROLL AT BACK OF AC DIKE ALONG PROPERTY FRONTAGE.
- 2 INLET PROTECTION. USE GRAVEL/SAND BAGS.
- 3 STABILIZED CONSTRUCTION ENTRANCE.
- 4 CONCRETE WASHOUT FACILITY.
- 5 PORTABLE SANITATION FACILITY
- 6 TEMPORARY STOCKPILE AREA
- 7 TREE PROTECTION
- 8 EMPLOYEE PARKING AREA

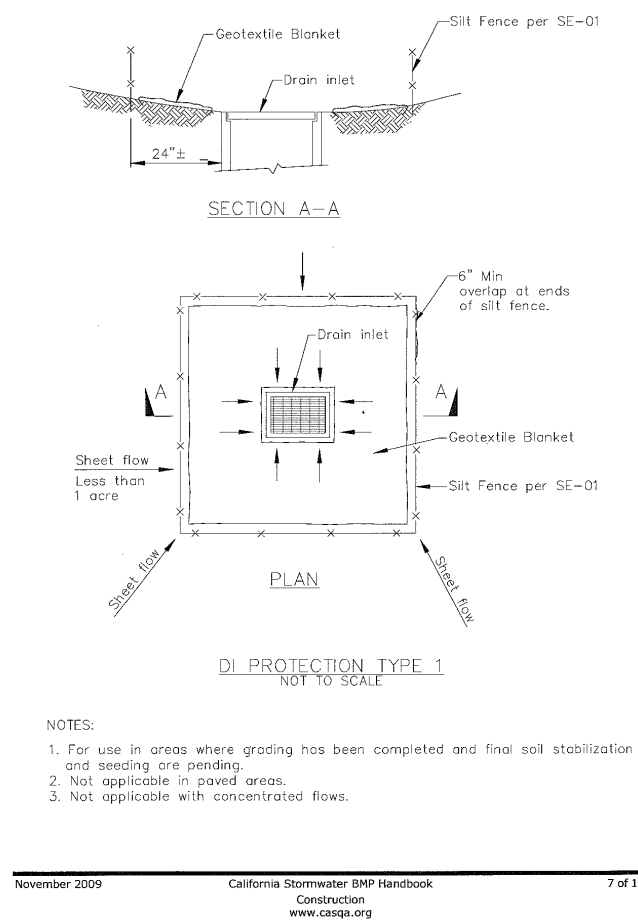
Silt Fence SE-1



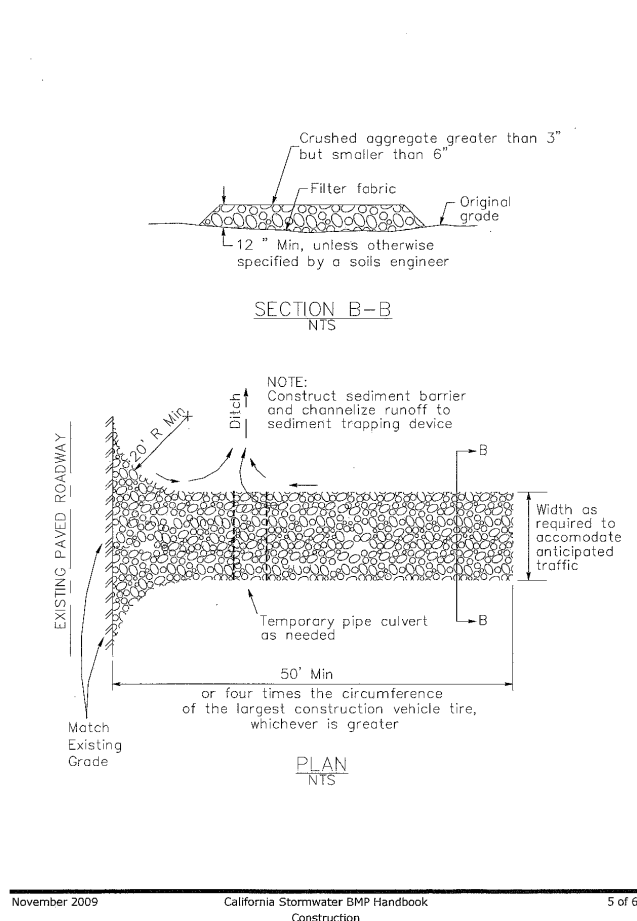
Fiber Rolls SE-5



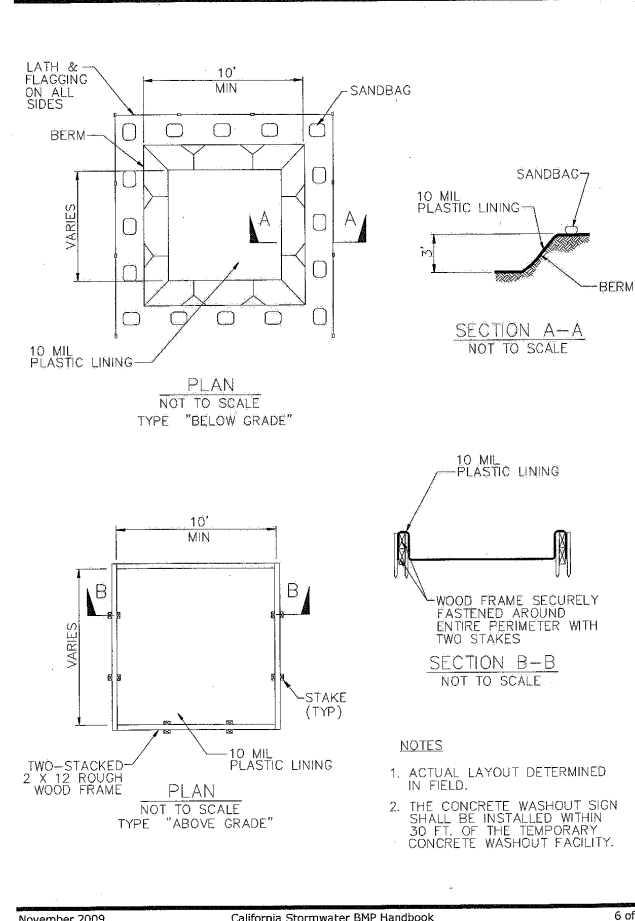
Storm Drain Inlet Protection SE-10



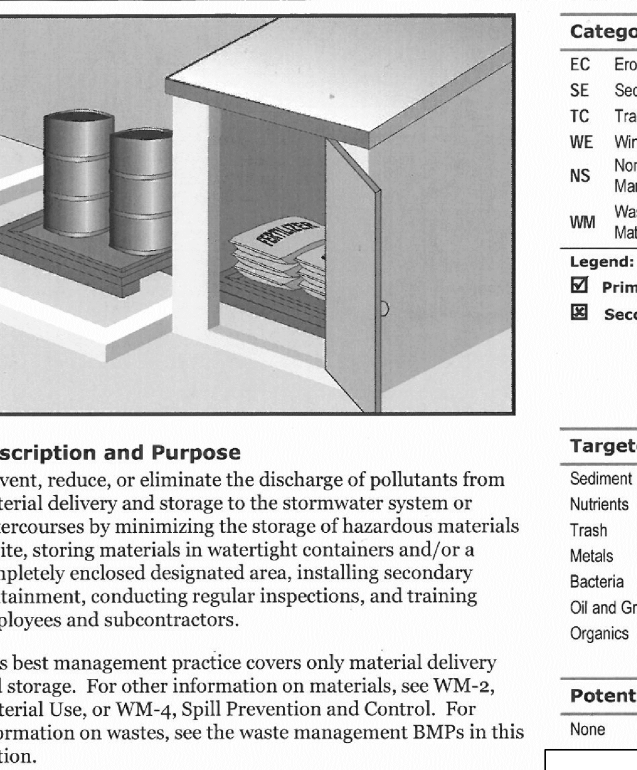
Stabilized Construction Entrance/Exit TC-1



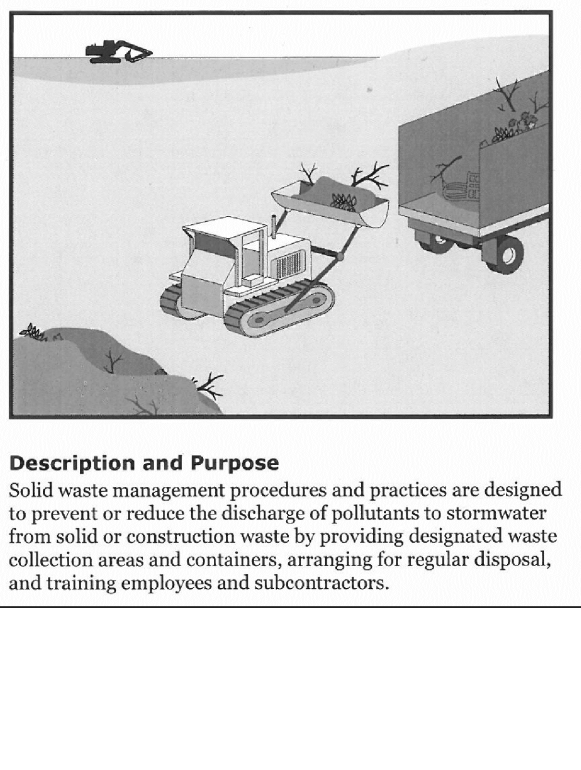
Concrete Waste Management WM-8



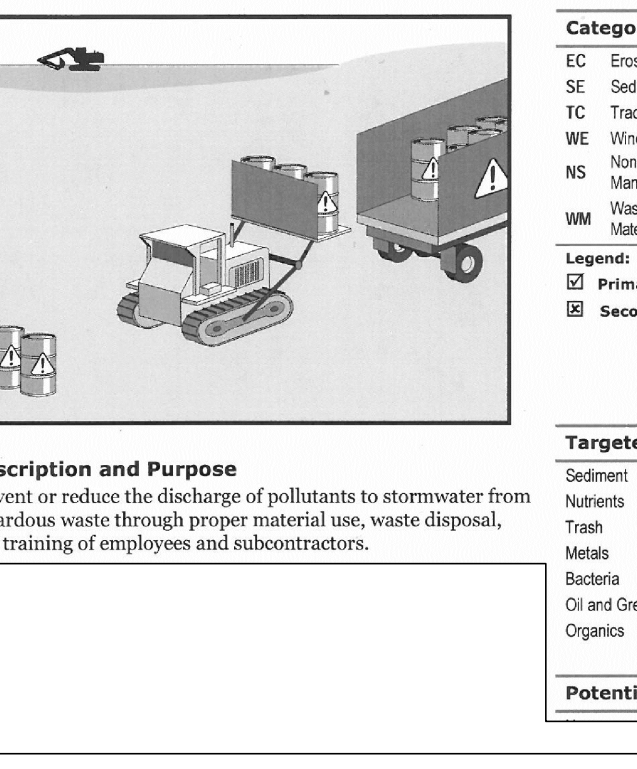
Material Delivery and Storage WM-1



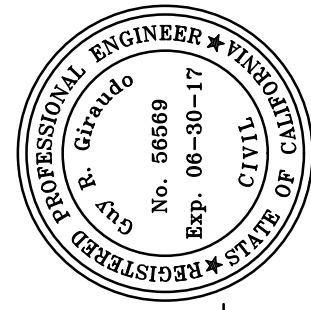
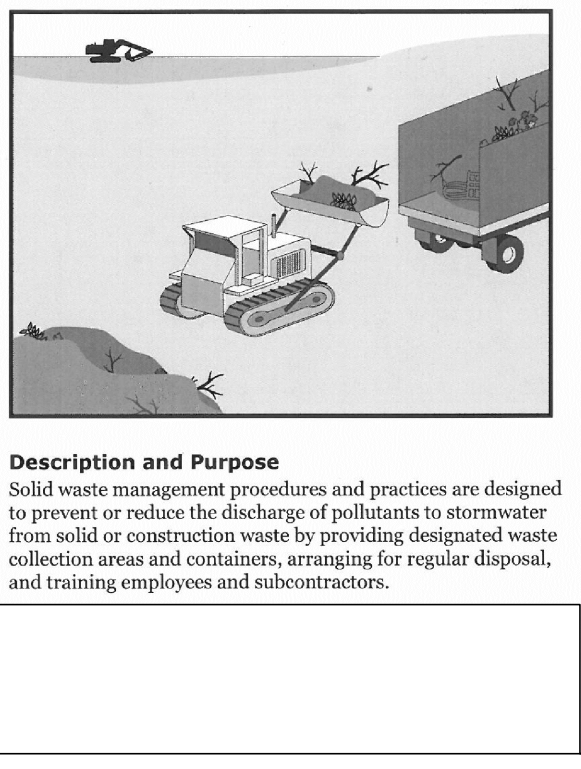
Solid Waste Management WM-5



Hazardous Waste Management WM-6



Solid Waste Management WM-5



APPROVED BY:

GUY R. GIRAUDO



"PRELIMINARY" "EROSION CONTROL PLAN"

GRADING, DRAINAGE, EROSION CONTROL
& STORM WATER CONTROL PLANS
FOR
RAVEN RESIDENCE
A.P.N.: 008-401-010
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
MR. & MRS. SCOTT AND CHARLYSE RAVEN

SCALE: AS SHOWN
DATE: APRIL 2016
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No.	DATE	BY	REVISION

SHEET C7-EC
OF 8 SHEETS

• Etched polypropylene face

• Face anchored in concrete

• Ultra-violet inhibitor

• Exceeds ASTM-D1683 Standards for Environmental Stress Cracking Resistance

DRAIN BOX
No. V01BOX
34 lbs.

REINFORCED CONCRETE LID
No. F08R
8 lbs.

F08C

V01-71C

A reinforced concrete dual purpose box designed for either light purpose drainage installations or enclosing sewer conduits in foot traffic areas. Topset shoulders prevent settling. Nesh accommodates up to approximately 4" O.D. pipe or drain tile. Approximate dimensions and weight shown.

Ordering Code	Item	Approx. Shipping Weight	Description
F08BOX	BOX	34	V01 Drain Box (6" I.D. x 12")= 48 per pallet
F08R	LID	8	Reinforced concrete lid with plastic ring
F08C	LID	8	Cast iron
V01-71C	GRATE	12	Cast iron

Oldcastle Precast®

Enclosure Solutions

MAISON/PROCELU/FRANCY

Phone: (800) 448-7070 Fax: (800) 448-6804

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V01 BOX (STANDARD)

FILE NAME: V01_350

ISSUE DATE: January, 2009

www.oldcastleprecast.com

V01 DRAIN BOX
8" I.D. x 12"

WELDED GRATE
No. V12-71W
34 lbs

DRAIN BOX
No. V12BOX
177 lbs.

Oldcastle Precast®

Enclosure Solutions

MAISON/PROCELU/FRANCY

Phone: (800) 448-7070 Fax: (800) 448-6804

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V12 DRAIN BOX

FILE NAME: V12_350

ISSUE DATE: January, 2009

www.oldcastleprecast.com

V12 DRAIN BOX
12" x 12"

CATCH BASIN
U21 BOX

Note A: height is per job specification.

- Knock-Outs available in grade rings and catch basins.
- Opening, locations, and sizes to job specifications.
- With or without bottom.
- Progressive webbed knock-outs provide maximum flexibility, permitting pipe of any size to be neatly and quickly grouted in at jobsite.
- Standard grade rings available in 6" increments up to 4' high.
- All reinforcing steel meets ASTM specifications as required.

Oldcastle Precast®

Enclosure Solutions

MAISON/PROCELU/FRANCY

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U21 CATCH BASIN

FILE NAME: U21_350

ISSUE DATE: January, 2009

www.oldcastleprecast.com

U21 CATCH BASIN
2' x 2' W/ 4" WALLS

CATCH BASIN
U32 BOX

Note A: height is per job specification.

- Knock-Outs available in grade rings and catch basins.
- Opening, locations, and sizes to job specifications.
- With or without bottom.
- Progressive webbed knock-outs provide maximum flexibility, permitting pipe of any size to be neatly and quickly grouted in at jobsite.
- Standard grade rings available in 6" increments up to 4' high.
- All reinforcing steel meets ASTM specifications as required.

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Phone: (800) 448-7070 Fax: (800) 448-6804

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U32 CATCH BASIN

FILE NAME: U32_350

ISSUE DATE: January, 2009

www.oldcastleprecast.com

U32 CATCH BASIN
2' x 3' W/ 6" WALLS

NOTES:

1) MINIMUM LONGITUDINAL SLOPE SHALL BE NOT LESS THAN 1.0%

2) THE SWALE SHALL BE REVEGETATED WITH A HYDROMULCH SLURRY OR HAND SEDED WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.

3) IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH FROM EXCESSIVE GROWTH AND/OR SILTATION.

EARTH SWALE

NOT TO SCALE

PLAN VIEW

FRONT VIEW

UNDERGROUND DETENTION SYSTEM DETAILS

NOT TO SCALE

24" CONCRETE SWALE

NOT TO SCALE

SECTION A-A

SECTION B-B

12" CONCRETE SWALE

NOT TO SCALE

RETAINING WALL

GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS

NOT TO SCALE

RETAINING WALL

GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS

NOT TO SCALE

RETAINING WALL

GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS

NOT TO SCALE

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APPROVED BY:

GUY R. GIRAUDO

LANDSET ENGINEERS, INC.

520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
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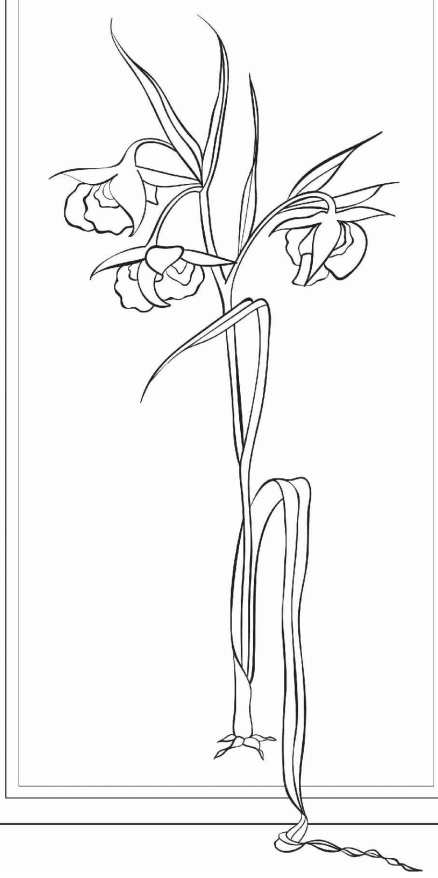
GRADING, DRAINAGE, EROSION CONTROL & STORM WATER CONTROL PLANS

RAVEN RESIDENCE
A.P.N.: 008-401-010
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR MR. & MRS. SCOTT AND CHARLYSE RAVEN

SCALE: AS SHOWN
DATE: APRIL 2016
JOB NO. 1520-01

SHEET C8

OF 8 SHEETS



Michelle Comeau
Landscape Design
&
Installation

P.O. Box 6327
Carmel, Ca. 93921
P: 831-620-0111
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Raven Residence
3213 Whitman Lane
Pebble Beach, Ca.

Landscape Plan Prepared For:

Sheet Title:
Planting Plan

Date: 5.8.17

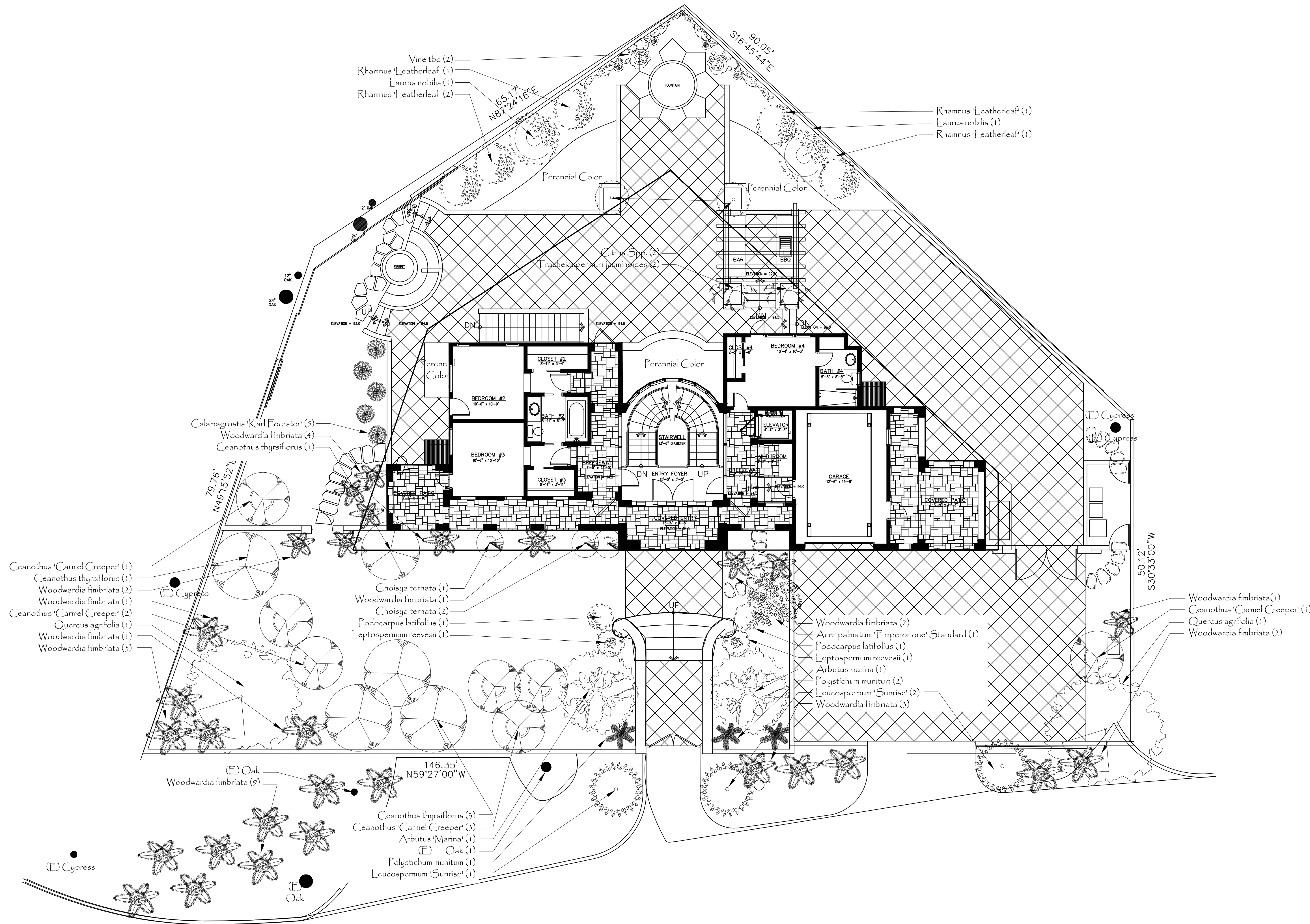
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Drawn By: GM

Revised:

Sheet: L-1

of: 3



I, Michelle Comeau, certify that this landscape and irrigation plan complies with all County Landscape Requirements including the use of native, drought tolerant, non-invasive species, limited turf and the use of low flow water conserving irrigation fixtures.
Michelle Comeau
Michelle Comeau



Raven Residence
3213 Whitman Lane
Pebble Beach, Ca.

Sheet Title:
Lighting &
Irrigation

Date: 5.8.17

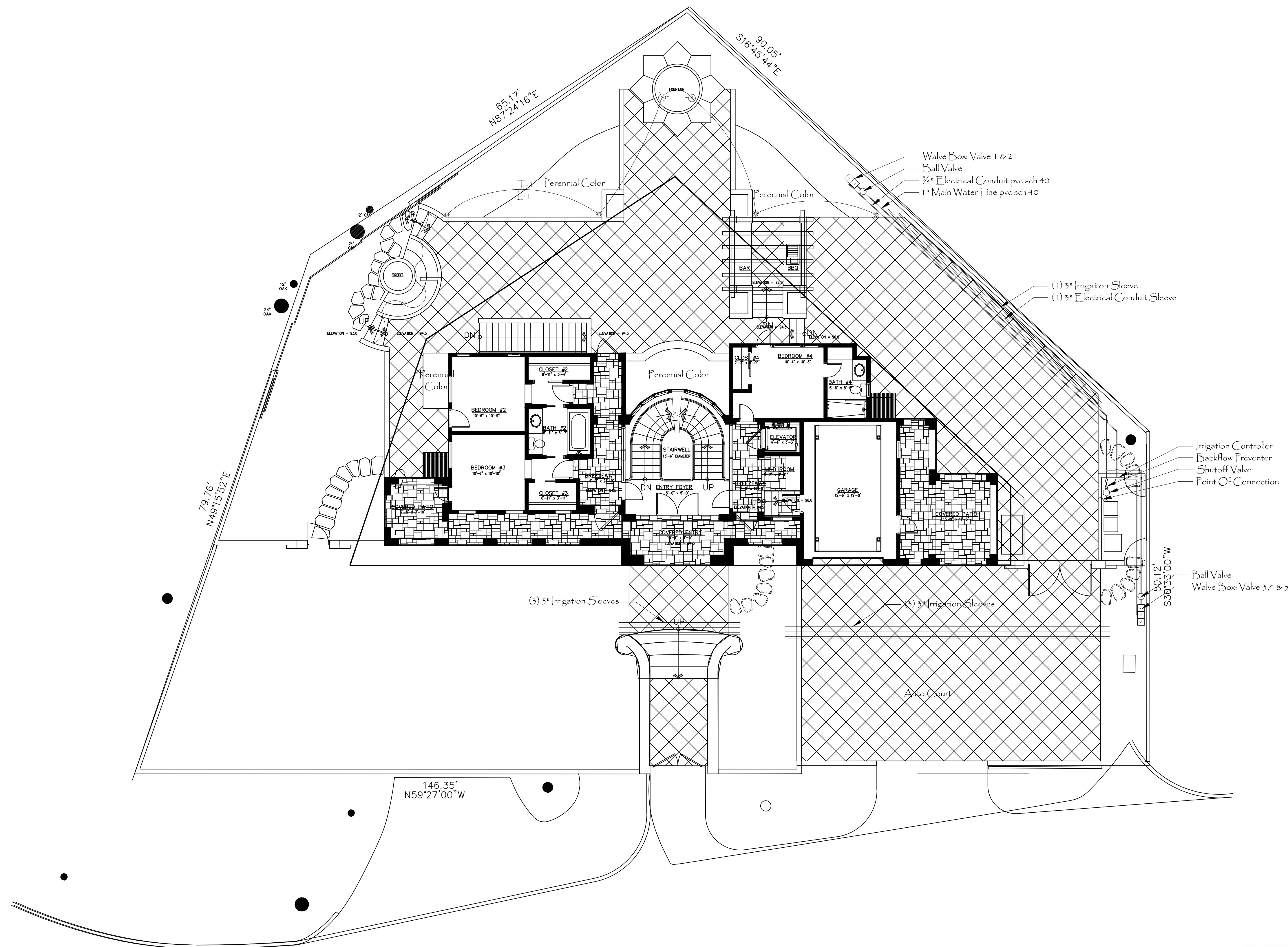
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Drawn By: GM


revised:

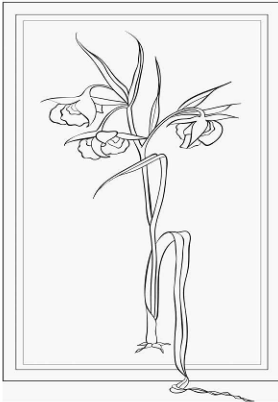
Sheet: L-2

f: 3



I, Michelle Comeau, certify that this landscape and irrigation plan complies with all County Landscape Requirements including the use of native, drought tolerant, non-invasive species, limited turf and the use of low flow water conserving irrigation fixtures.


Michelle Comeau



MICHELLE COMEAU
LANDSCAPE DESIGN & INSTALLATION

P.O. BOX 6327 ■ CARMEL, CA 93921
831.620.0111 ■ FAX 831.620.0105
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LICENSE NO. 582326

Raven Plant List

QTY	Size	Botanical Name	Common Name
Flats	152 sqft	Fragaria spp.	Strawberry
1	24"	Acer 'Emperor'	Japanese Maple
2	24"	Arbutus Marina	Marina Strawberry Tree
5	5g	Calamagrostis 'Karl Foerster'	Feather Reed Grass
7	5g	Ceanothus 'Carmel Creeper'	California Lilac
5	5g	Ceanothus 'Thyrsoflorus'	Low Blue Blossom
3	5g	Choisya temata	Mexican Mock Orange
2	15g	Citrus Spp.	Citrus Tree tbd
2	15g	Laurus nobilis	Sweet Bay
2	5g	Leptospermum reevesii	Dwarf Tea Tree
3	5g	Leucospermum 'Sunrise'	Pincushion
2	15g	Podocarpus latifolius	Broad-leaved Yellowwood
3	5g	Polystichum unitum	Western Sword Fern
2	24"	Quercus agrifolia	Coast Live Oak
5	15g	Rhamnus 'Leatherleaf'	Leatherleaf Coffee Berry
2	5g	Trachelospermum jasminoides	Star Jasmine
2	5g	Vines tbd	Tbd
29	5g	Woodwardia fimbriata	Giant Chain Fern



Michelle Comeau

Landscape Design

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Raven Residence
3213 Whitman Lane
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Landscape Plan Prepared For:

Sheet Title:

Notes

Date: 5.8.17

Scale: Notes

Drawn By: GM

Revised:

Sheet: L-3

of: 3

Introduction

This plan is a preliminary design for the proposed landscape and irrigation system for the Raven Residence. It is based on the information provided by the client and the site visit. The plan is subject to change based on the final design and construction requirements.

The plan shows the location of the existing and proposed plants, the location of the irrigation system, and the location of the water source.

The plan also shows the location of the existing and proposed structures, the location of the existing and proposed parking areas, and the location of the existing and proposed walkways.

The plan is based on the following assumptions:

The existing and proposed plants are listed in the plant list.

The existing and proposed structures are listed in the structure list.

The existing and proposed parking areas are listed in the parking area list.

The existing and proposed walkways are listed in the walkway list.

The plan is based on the following assumptions:

The existing and proposed plants are listed in the plant list.

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The existing and proposed walkways are listed in the walkway list.

MAWA Calculations

ET_o - Annual Net Reference evaporation (inches)
0.6 - ET Adjustment Factor
LA - Landscape Area (sq.ft.)
0.62 - Conversion Factor (to Gallons per square foot)
SLA - Portion of the Landscape Area Identified as Special Land Area (sq.ft.)
0.4 - The Additional ET Adjustment Factor for the SLA (1.0 - 0.6 = 0.4)
325,851 - Gallons-per-Acre-Foot
748 - Hundred-Cubic-Feet/Year

ET_o Monterey: 56 in.
LA - 1,568 sq.ft.
SLA - 0

$$\frac{(ET_o \times .62) [(7 \times LA) + (3 \times SLA)]}{748} = \text{Gallons/Year}$$

$$\frac{(56 \times .62) [(7 \times 1,568) + (3 \times 0)]}{748} = 21,373.65 \text{ Gallons/Year}$$

$$\frac{(56 \times .62) [(7 \times 1,568) + (3 \times 0)]}{748} = 28.57 \text{ Hundred-Cubic-Feet/Year}$$

$$\frac{(56 \times .62) [(7 \times 1,568) + (3 \times 0)]}{525,851} = .07 \text{ Acre-Ft.}$$

$$\frac{(56 \times .62) [(7 \times 1,568) + (3 \times 0)]}{525,851} = 0.07 \text{ gallons per acre ft.}$$

ETWU Calculations

ET_o - Annual Net Reference evaporation (56 in.)
PF - Plant Factor
HA - Hydrozone Area (sq.ft.)
0.62 - Conversion Factor (to Gallons per square foot)
SLA - Portion of the Landscape Area Identified as Special Land Area (sq.ft.)
IE - Irrigation Efficiency (71)

$$\frac{(ET_o)(.62)(PF \times HA + SLA)}{IE} = ETWU$$

PF = .2 (All plants to be watered by drip)
HA = 1,568 sq.ft.
SLA = 0
IE = .71

$$\frac{(56 \times .62) [(2 \times 1,568) + (0)]}{.71} = \frac{(22.32)(2,73.6)}{.71} = 8,601.10 \text{ gallons/year}$$

Model 975XL

Reduced Pressure Principle Assembly

SPECIFICATION SUBMITTAL SHEET



FEATURES
Sizes: 3/4" 1" 1 1/2" 2"
Maximum working water pressure 175 PSI
Maximum working water temperature 180°F
Hydrostatic test pressure 360 PSI
End connections Threaded ANSI B1.20.1

OPTIONS
(Suffixes can be combined)

- Q - with full port QT ball valves (standard)
- L - less ball valves
- U - with union ball valves
- MS - with integral relief valve monitor switch
- P - for reclaimed water systems
- S - with bronze "Y" type strainer
- BMS - with battery operated monitor switch
- FDC - with fire hydrant connection; 2" only
- TCU - with test cocks up
- V - with union swivel elbows
- SE - with street elbows
- FT - with integral male 45° flare SAE test fitting

ACCESSORIES

- Q - Airgap (Model AG)
- Q - Repair kit (rubber only)
- Q - Thermal expansion tank (Model WXTP)
- Q - Soft seated check valve (Model 40)
- Q - Shock arrester (Model 1250)
- Q - QT-SET Quick Test Fitting Set
- Q - Ball valve handle locks

DIMENSIONS & WEIGHTS (do not include pkg.)

MODEL SIZE	DIMENSIONS (inches)												WEIGHT	
	A	B	C	D	E	F	G	H	I	J	K	L	LESS BALL VALVES	WITH BALL VALVES
3/4"	10	10	10	10	10	10	10	10	10	10	10	10	10	10
1"	10	10	10	10	10	10	10	10	10	10	10	10	10	10
1 1/2"	10	10	10	10	10	10	10	10	10	10	10	10	10	10
2"	10	10	10	10	10	10	10	10	10	10	10	10	10	10

Page 1 of 2

IRRIGATION LEGEND

CONTROLLER
Weathermatic SL 1600 with Smart link Air Card, Flow Sensor and Master Valve
DRIP VALVE
1" 7911 Remote Control Valve, Nelson Plastic Valve Box
1" Brass Ball Valve Matco
1" # 975XL Wilkins Reduced Pressure w/ Y Strainer
1" Main Line, SCH. 40, 1/8" Deep
3/4" B-401 Champion Bent Nose Garden Valve

VALVE DETAIL

STATION #	TYPE	LOCATION
1	DRIP	Rear Side of House
2	DRIP	Perennial Beds
3	DRIP	Front Side of House
4	DRIP	Front Side of House
5	Extra	Front Side of House

IRRIGATION TIME TABLE

SPRING (AS NECESSARY ACCORDING TO WEATHER)
VALVES 1, 2, 3, 4, 5, 6 T, F 30 MIN

SUMMER
VALVES 1, 2, 3, 4, 5 T, F 30 MIN

FALL
VALVES 1, 2, 3, 4, 5 T, F 30 MIN

WINTER (AS NECESSARY ACCORDING TO WEATHER)
VALVES 1, 2, 3, 4, 5 T, F 30 MIN

Lighting Legend

SYMBOL QTY MANF. MODEL DESCRIPTION ACCESSORIES

- 1 FX Luminaire FX Transformer 300W (See Transformer Schedule)
- 4 FX Luminaire JS-1 LED- 10 Watts- Pathway Lights
- 7 FX Luminaire MORD-1 LED- 10 Watts- Wall Lights
- 2 FX Luminaire LL- 1 LED- 10 Watts- Underwater Lights

TRANSFORMER SCHEDULE

SYMBOL MODEL WATTAGE CAPACITY WATTAGE
USED PRIMARY AREA ILLUMINATED SWITCH CODE

T1 FX-Transformer 300w 130w used Rear Side SW1

TRANSFORMER DETAIL

TRANS	Line	QTY	Fixture
T1	Line 1	4	FX-JS
T1	Line 1	7	FX-MORD
T1	Line 1	2	FX-LL

NOTE: Transformer shall have photocell and motion control options

Lighting Fixtures



FX-JS



FX-LL



FX-MORD



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