

Exhibit B

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EXHIBIT B
DRAFT RESOLUTION

Before the Zoning Administrator
in and for the County of Monterey, State of California

In the matter of the application of:

MULLIN (PLN170915)

RESOLUTION NO. 18 -

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 3
Categorical Exemption pursuant to Section 15303
of the CEQA Guidelines, and there are no
exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit
consisting of:
 - a. Coastal Administrative Permit and
Design Approval to allow the
installation of a hill-side funicular of
approximately 214 lineal feet, a
soldier pile retaining wall of
approximately 40 lineal feet with a
maximum height of approximately
eight (8) feet, and an ornamental pond
and associated hydrological garden;
 - b. Coastal Development Permit to allow
development on slopes in excess of 30
percent; and
 - c. Coastal Development Permit to allow
the removal of one (1) 6-inch
Monterey Pine tree.

53810 Highway 1, Big Sur, Big Sur Coast Land Use
Plan, Coastal Zone (APNs: 420-231-004-000 and
420-231-006-000)

The Mullin application (PLN170915) came on for a public hearing before the Monterey County Zoning Administrator on August 30, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 1982 General Plan, Big Sur Coast Land Use Plan, Big Sur Coast Implementation Plan – Part 3, Monterey County Zoning Ordinance - Coastal (Title 20), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed.
EVIDENCE: a) The proposed project involves the removal of a 6” diameter Monterey pine, installation of an electric funicular, an upper and lower terminal,

a back-up generator, an as-built aquaponic pond and garden, and a retaining wall to support an existing paved driveway accessing the site.

- b) The property is located at 53810 Highway 1, Big Sur (Assessor's Parcel Numbers 420-231-004-000 & 420-231-005-000, 420-231-006-000), Big Sur Land Use Plan (LUP), Coastal Zone. The parcels are zoned Watershed and Scenic Conservation, 40 acres per unit, with a Design Control zoning overlay (Coastal Zone) [WSC/40-D (CZ)]. Development of single-family dwellings, habitable accessory dwelling units, and non-habitable accessory structures are identified as allowed uses pursuant to MCC Sections 20.17.040.E, subject to the granting of the applicable coastal development permit. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below). See also Finding Nos. 3 and 5.
- c) The 19-acre (827,640 square feet) site is identified as Parcel 1 and Parcel 2-A, on Assessor's Map Book 420, Page 10, in 1975 (Volume 8), and as Parcel I on Assessor's Map Book 420, Page 110, 1974 (Volume 3). Thus, the property is composed of three legal lots of record.
- d) The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 1982 Monterey County General Plan;
 - Big Sur Coast Land Use Plan;
 - Big Sur Coastal Implementation Plan (Part 3); and
 - Monterey County Zoning Ordinance - Coastal (Title 20)
- e) No conflicts were found to exist with the above standards and policies. However, the County received written and telephonic communications from an interested member of the public and the California Coastal Commission at the conclusion of project review concerning possible precedence-setting development techniques related to access for undeveloped, constrained parcels. Regardless, the County finds that the project is consistent with the text, policies, and regulations in the applicable documents.
- f) Design. See Finding No. 5
- g) Public Access. See Finding No. 7.

- 2. FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:** a) Necessary water and sanitary facilities are available for the property. The property is and will be served by a private water system and an existing private septic system. The Environmental Health Bureau did not impose any conditions for project approval.

3. **FINDING:** h) **NO VIOLATIONS** – The subject property is in not compliance with all rules and regulations pertaining to applicable provisions of the County’s zoning ordinance. Violations exist on the property. The approval of this permit will correct the violations and bring the property into compliance.
- EVIDENCE:** a) Staff conducted a site inspection on April 10, 2018 and researched County records to assess if any violation exists on the subject property.
- b) The site includes an as-built aquaponic feature consisting of a pond and hydroponic gardens. The pond required approximately 200 cubic yards of grading to create the shallow basin. All cut materials were removed from the site. This aquaponic feature requires a Coastal Administrative Permit and a Building permit relating to grading quantities.
- c) The proposed project includes corrections an existing violation regarding this aquaponic feature. When implemented, the project will bring the subject property into compliance with all rules and regulations pertaining to the property and will remove the existing violations.
- d) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170915.
4. **FINDING:** a) **SITE SUITABILITY** - The project has been reviewed for site suitability by RMA-Planning, RMA-Public Works, RMA-Environmental Services, Cal Fire District (Fire Protection District), and Water Resources Agency. County staff reviewed the application materials and plans, as well as the County’s GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) The following technical reports have been prepared:
- Tree Resource Assessment (LIB180104) prepared by Maureen Hamb, Urban Forester and WCISA Certified Arborist, Santa Cruz, California, January 26, 2018.
 - Preliminary Archaeological Assessment (LIB180102) prepared by Gary S. Breschini, PhD., RPA, Salinas, California, November 29, 2017.
 - Geotechnical Investigation (LIB180103) prepared by Haro, Kasunich and Associates, Inc., Watsonville, California, December 20, 2017.
 - Geotechnical Investigation (LIB180218) prepared by Haro, Kasunich and Associates, Inc., Watsonville, California, April 2, 2018
- County staff has independently reviewed these reports and concurs with their conclusions.
- c) The project planner conducted a site inspection on April 10, 2018, to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC.

- d) Cultural Resources. The project site is in an area identified in County records as having a high archaeological sensitivity, and is within 750 feet of known archaeological resources. An archaeological survey (LIB180102) prepared for the project site concluded that there is no surface evidence of potentially significant archaeological resources. In addition, although located in an area of high sensitivity and known resources, the area of proposed development has been disturbed by previous structural and hardscape development, as well as landscaping. Therefore, there is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 4) which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- e) The project was referred to the Big Sur Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project involves a Design Approval subject to review by the Zoning Administrator. The LUAC reviewed the project at a duly-noticed public meeting on April 10, 2018, at which all persons had the opportunity to be heard, and voted 4-0 to support the project as proposed. The LUAC noted no comments were made by any neighbor or the public. The Committee commented that the proposed Seaweed Green is bright and not in harmony with the green foliage located in the vicinity of the funicular and recommended that the color be replaced with a green that better approximates the foliage found in the vicinity.
- f) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN170915.

5. FINDING:

DESIGN – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

EVIDENCE:

- a) The proposed project would install a funicular (tram) on the ground within an existing 18.97-acre site (3 parcels) developed with a single-family dwelling, an accessory dwelling unit, guest house, and attached and detached non-habitable accessory structures.
- b) Pursuant to Section 20.44, Title 20 (Coastal Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
- c) Material and Color Finishes. The proposed colors and materials are consistent with the rural coastal residential setting in the immediate vicinity and are considered “neutral” in hue. Colors and materials are “matted”, non-reflective and do not produce glare. The primary colors and materials include medium-green steel elements (rails and

the two tower elements) and a concrete footing for the top landing structure, a medium-light blue for the wood elements (railing and top landing structural elements), opaque acrylic railing in-fill panels, medium grey shake roof, dark grey “Trex” composite decking connecting the terminal with the automotive parking area. The bottom landing feature is uncovered but includes a flagstone platform on grade and stairs with safety lighting on select risers connecting to the footpath. The bottom landing includes safety railing in light-medium blue with acrylic panels to match the architectural style of the upper terminal. The retaining wall features visible structural elements painted or stained a medium, muted or mat green. The blue and grey color ranges associated with the funicular complement existing residential development found on site; the green colors found on steel structural components are intended to blend into the native and non-native forestation found on site. The proposed colors and finishes would blend with the surrounding environment, are consistent with the existing residential character on site, and are consistent with other dwellings and appurtenant structures along the Big Sur coast.

- d) Visual Resources. The subject property is located in an area where the Local Coastal Program requires visual public access (Section 3.2, Scenic Resources, Big Sur Coast Land Use Plan). Based on review of the project location – down slope from and on the seaward side of Highway 1, the development proposal will not interfere with visual access along Highway 1. The property is screened from Highway 1 by a wood fence approximately 4 feet high, existing tree screening; topography that slopes downward from the roadway contributes to the development being removed from the field of vision. The proposed development is consistent with Big Sur Coast Land Use Plan Policies 3.2.1, 3.2.3.A.2, and 5.4.2.13, and will not block or interfere with public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity. The design and siting of the proposed funicular nominally increases structural development of the approximately 19-acre site. However, the proposed funicular is a low structure with the upper terminal including a covered loading area with a maximum height of approximately 14 feet. This structure cannot be seen from Highway 1 or other critical view points along the highway; the funicular rails, tower elements, or carriage cannot be seen from Highway 1 or other critical viewing points. The retaining wall to support the existing paved driveway is along the outward bound, or seaward side, of the driveway and cannot be seen from Highway 1 or any public viewing points. This portion of the driveway, while being higher on the project site, cannot be seen from Highway 1 because there is a security fence approximately four (4) feet in height and additional screening is provided by trees and other vegetation located along the property boundary along Highway 1. Furthermore, relocating this portion of the driveway closer to Highway 1 would require a cut into slope and undetermined quantities of grading. This option was not developed as it is considered to be more impactful to the environment. The installation of a funicular and construction of a

retaining wall would not be an increase in visual impacts over the existing baseline on the site or the vicinity. The aquaponic pond is located on grade while the hydroponic gardens are terraced and follow the topographic contour of the ground around the pond. This landscape feature is not visible from Highway 1. No trees were removed to create the pond and hydroponic gardens; kikuyu grass was removed while approximately 200 cubic yards of soil was removed to create the pond. Staff supports the creation of the pond and hydroponic feature as they are compatible with the existing development of the site, are often found in estate-type development, and is not visible from Highway 1 or other public viewing areas. Removing this aquaponic feature would require importation of approximately 200 cubic yards of soil, engineering the soil and revegetation the baron ground to resist erosion. The removal and restoration efforts would also increase the traffic load on Highway 1 with trucks delivering soil, resulting in short-term negative impacts on air quality. The net increase in environmental quality is negligible and do not justify the removal of this feature. As proposed, the project would not result in any visual impacts, and the project is consistent with the applicable visual resource and public access policies of the Big Sur Coast Land Use Plan.

- e) Review of Development Standards. The development standards for the WSC zoning district are identified in MCC Section 20.17.060. Required setbacks in the WSC district for detached non-habitable accessory structures are 50 feet (front), 1 foot (rear), and 6 feet on front one-half of property (sides). As proposed, the funicular exceeds all required setbacks. The retaining wall is approximately 40 feet seaward from the edge of pavement of Highway 1 and will buttress an existing driveway, along the outboard – seaward – edge of the driveway and will not be visible from Highway 1 or any public viewing areas. Furthermore, the top of the retaining wall will not protrude above the decorative three (3) foot high rock wall defining the edges of the driveway. The pond and garden are located approximately in the center of the property and are not in proximity to any property line or conservation or scenic easement.

Corresponding maximum structure height is 15 feet. The proposed maximum height for the covered upper terminal gazebo is 14 feet. The maximum height for the retaining wall is eight (8) feet as measured from the base of the wall.

The allowed site coverage maximum in the WSC/40-D zoning district is 10 percent. The property consists of three parcels totaling approximately 19 acres or 827,640 square feet which would allow site coverage of 82,764 square feet; the funicular traverses two (2) parcels. As proposed, the project would result in site coverage of 10,412 square feet or 1.26 percent.

Therefore, as proposed, the project meets all required development standards.

- f) The project planner conducted a site inspection on April 10, 2018, to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the rural coastal character or scenic/visual resources.
- g) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding rural coastal character (i.e., structural design features, colors, and material finishes). In addition, the proposed development would not have an impact on a public viewshed. As proposed, the project assures protection of the public viewshed, is consistent with the rural coastal character, and assures visual integrity with existing site development and coastal character.

6. FINDING:

CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(e), Class 3, categorically exempts construction and location of new, small facilities or accessory structures.
- b) The proposed project involves the installation of a funicular and construction of a retaining wall, and permitting an existing pond after-the-fact. As proposed, the funicular would be located in such a way that utilizes portions of an existing, paved, serendipitous driveway for the lower terminal point of the device as well as accommodating two (2) interim supporting towers. The upper terminus is located on a level portion of the site and is in close proximity to a portion of the paved driveway. The proposed design does not intensify the use of the site and does utilize existing site development to the maximum extent feasible. The Applicant also proposes to construct a retaining wall to stabilize a failing slope supporting an existing paved driveway serving the site. Therefore, the project is consistent with the parameters of the Class 2 categorical exemption.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, or a hazardous waste site. The project site is located adjacent to a designated scenic highway. However, the installation of the funicular is not within view from Highway 1 or other scenic viewing points in the vicinity of the project site. The proposed retaining wall is not visible from Highway 1 or any public viewing locations in the vicinity of the project site. The pond and garden are not visible from Highway 1 or any public viewing point along Highway 1. Moreover, the proposed funicular, retaining wall and pond feature are located outside the scenic easements located on the subject parcels. Therefore, there is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in cumulative significant impacts.

- d) No adverse environmental effects were identified during staff review of the development application, nor during a site inspection on April 10, 2018.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170915.

7. FINDING:

PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

EVIDENCE:

- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 6.1.1 of the Monterey County Coastal Implementation Plan can be demonstrated.
- b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 2, Local Coastal Program Shoreline Access Plan Central Section, in the Big Sur Coast Land Use Plan).
- d) The subject property is identified as an area where the Local Coastal Program requires visual public access (Figure 2, Local Coastal Program Shoreline Access Plan Central Section, in the Big Sur Coast Land Use Plan). See Evidence e below.
- e) Based on review of the project site characteristics, topography sloping seaward from Highway 1, a privacy fence, and tree screening, the site is obscured from public view. The specific project locations are not visible from any public view point and will not block or interfere with any public views. The proposed development is consistent with Big Sur Coast Land Use Plan Policies 3.2.3 and 3.2.4, and will not block public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity. The funicular is located outside the recorded view easements located on the subject parcels. The retaining wall is located outside the recorded view easements on the subject parcel. Furthermore, the top of the retaining wall is located at or below the top of a decorative rock wall located along the edge of the driveway and would not interfere with any views to the ocean. The design and siting of the proposed funicular and retaining wall would not increase the bulk and mass of the existing site development in an appreciable way, and would not increase the visual impacts over the existing baseline. The as-built aquaponic feature is not visible from Highway 1 or any public viewing points. As proposed, the project is consistent with applicable visual resource and public access policies in the Big Sur Coast Land Use Plan.
- f) The project planner completed a site inspection on April 10, 2018, to verify that the proposed project would not impact public access. The project planner also reviewed plans and visual simulations of the

proposed development to verify that the structures will not impact visual resources/access. See also Finding No. 2.

- g) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170915.

8. FINDING:

DEVELOPMENT ON SLOPE – There is no feasible alternative which better meets the objectives of the applicable land use plan, and would allow development to occur on slopes of less than 30 percent.

EVIDENCE:

- a) Pursuant to MCC Chapter 20, 20.64.230.E, development on slopes better achieves the goals, policies and objectives of the Monterey County General Plan and applicable land use plan than other development alternatives.
- b) In accordance with applicable policies of the Big Sur Coast Land Use Plan and the Monterey County Zoning Ordinance (Title 20, Parts 1 and 3), a coastal development permit is required and the authority to grant said permit has been met.
- c) The project includes application for portions of a funicular to be placed on slopes exceeding 30 percent to provide access to the main residence and the caretaker's unit located on the lower portions of the property. The existing main residence and caretaker's unit is located at the lower portions of the property; a portion of the driveway connecting these residential dwellings to Highway 1 was subject to a landslide associated with strong winter storms in 2016-2017 causing coastal bluff retreat. The resulting gap presents a difficult and precarious engineering feat that would require potentially extensive site disturbance, including a long span connecting the two segments of the driveway and large retaining walls and large quantities of fill material. Rerouting the driveway would also require substantial grading and large retaining walls, resulting in extensive site disturbance. The least impactful alternative to reestablish access to the residential dwellings is the funicular. There is no alternative access method on the subject property that better meets the goals, policies and objectives of the Monterey County General Plan and Big Sur Coast Land Use Plan. The proposed funicular would utilize portions of the existing driveway at the interim tower elements and lower landing, minimizing site disturbance and grading. The upper terminus is located on a level portion of the site and requires minimal disturbance to locate the structure. The backup power generator is located adjacent to the existing detached garage and does not require any grading to accommodate this apparatus. The pond is located on level ground while the garden features are located adjacent to the pond and are terraced in a negative way in response to the gradual slope below the pond.
- d) The project planner conducted a site inspection on April 10, 2018, to verify the subject project minimizes development on slopes exceeding 30 percent in accordance with the applicable goals and policies of the applicable land use plan and zoning codes.
- e) The topography of the parcel significantly limits available development area without encroaching into slope exceeding 30 percent. The County has reviewed the project plans and visited the

site to analyze possible development alternatives. Based on site topography and existing development, the proposed project better meets the goals and objectives of the Big Sur Coast Land Use Plan. As proposed, the project adheres to required development standards.

- f) The Zoning Administrator shall require such conditions of approval and changes in the development as it may deem necessary to assure compliance with MCC Section 21.64.230.E.2 and to assure stability of the development; therefore, the following conditions have been applied: Condition Nos. 7, 8, 9, 12, 13, 14, and 10 –Erosion Control Plan, Grading Plan, Winter Grading Restriction, Inspections, and Geotechnical Certification.
- g) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170915.

9. FINDING: **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors: Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission: Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (State Route 1), and development that is permitted in the underlying zone as a conditional use (i.e.; development within an area of known archaeological resources).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(e) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approve a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow the installation of a hill-side funicular of approximately 214 lineal feet, a soldier pile retaining wall of approximately 40 lineal feet with a maximum height of approximately eight (8) feet, and an ornamental pond and associated hydrological garden;
 - b. Coastal Development Permit to allow development on slopes in excess of 30 percent; and
 - c. Coastal Development Permit to allow the removal of one (1) 6-inch Monterey Pine tree.

In general conformance with the attached plans and subject to 16 conditions, both being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 28th day of June 2018.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170915

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Coastal Development Permit permit (PLN170915) allows installation of a funicular, backup generator, retaining wall, development on slopes > 30 %, and one tree removal. The property is located at 53810 Highway 1 (Assessor's Parcel Number 420-231-004-000, 420-231-005-000, 420-231-006-000), Big Sur Coast Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

3. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Development Permit (Resolution Number ***) was approved by the Monterey County Zoning Administrator for Assessor's Parcel Numbers 420-231-004-000, 420-231-005-000, 420-231-006-000 on June 28, 2018. The permit was granted subject to 15 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

4. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (RMA - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to RMA-Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

7. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

8. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Grading Plan incorporating the recommendations from the project Geotechnical Evaluation prepared by Haro, Kasunich, and Associates, Inc. The Grading Plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The Grading Plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the Grading Plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a Grading Plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the Grading Plan for conformance with the geotechnical recommendations.

9. PD007- GRADING WINTER RESTRICTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: The Owner/Applicant, on an on-going basis, shall obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.

10. GEOTECHNICAL CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geotechnical Report. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

10. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to RMA - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to RMA-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

11. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

12. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

13. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

14. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

15. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

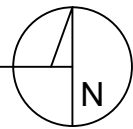
Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.



SITE LOCATION MAP

NO SCALE



NOTES:

THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.

THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.

DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF. WHERE DATA DIFFERS, PARENTHESES DENOTE RECORD DATA.

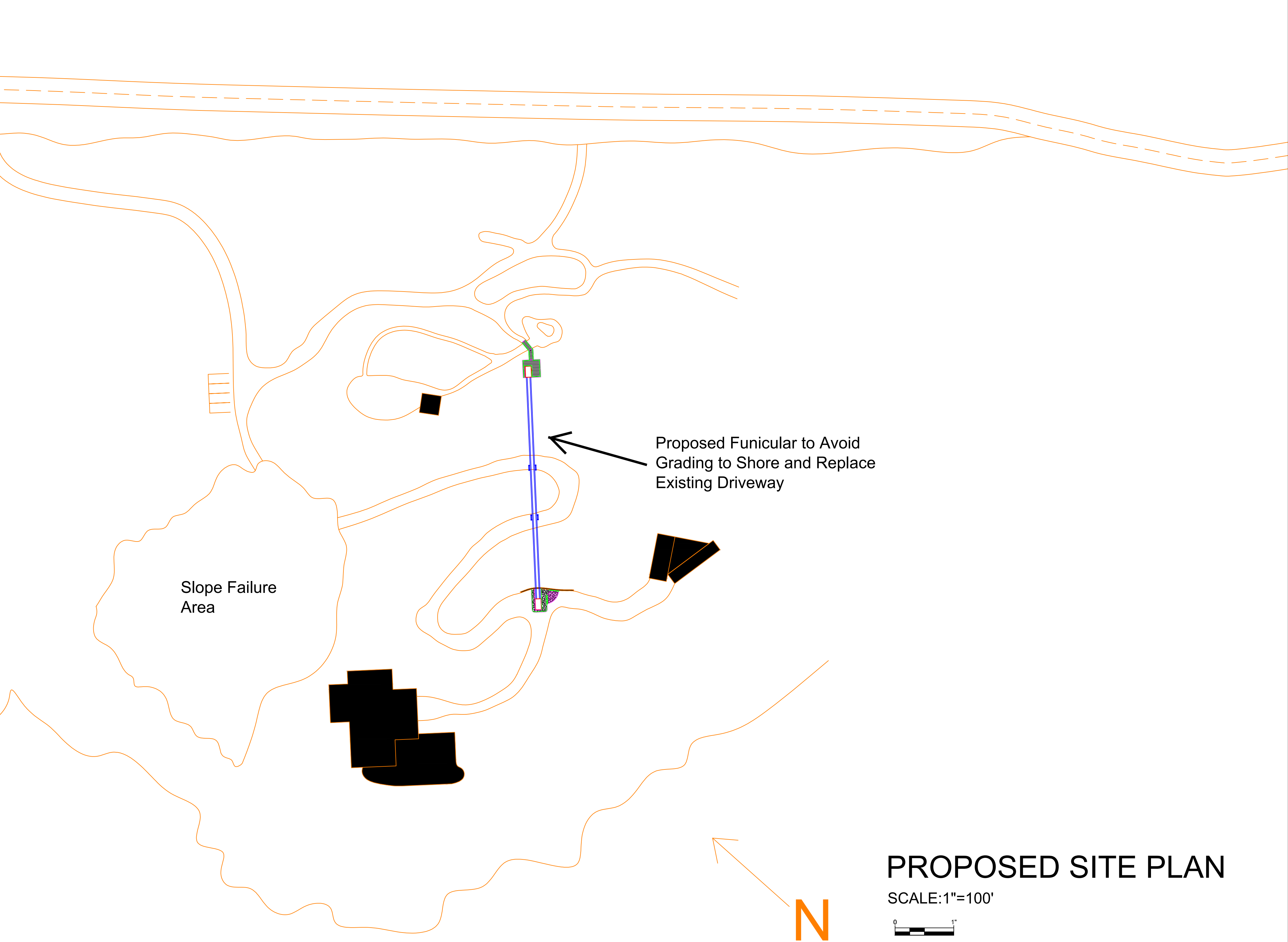
SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY SHOW EXISTING FEATURES. A COMPLETE BOUNDARY SURVEY WAS NOT DONE AT THIS TIME.

2009077254*: MONTEREY COUNTY DOCUMENT DESCRIBING EASEMENT FOR SECOND ACCESS ROAD FROM HIGHWAY 1

2009077255*: MONTEREY COUNTY DOCUMENT DESCRIBING EASEMENT FOR BUILDING ENCROACHMENT

THIS MAP IS A COMPOSITE OF SEVERAL MAPS PROVIDED BY CLIENT. FEATURES TAKEN FROM THOSE MAPS WERE NOT FIELD CHECKED FOR THIS SURVEY.

POLE POLE LINE EASEMENT (BK. 1454 PG. 163) NOT PLOTTABLE.



PROPOSED SITE PLAN

SCALE:1"=100'



SHEET INDEX

- A000 - COVER PAGE
- A101 - PROPOSED SITE PLAN
- A401 - UPPER LANDING
- A402 - LOWER LANDING
- A601 - MATERIALS
- C-01 - COVER SHEET
- C-02 - EXISTING SITE PLAN
- C-03 - PROPOSED SITE PLAN
- C-04 - GRADING AND DRAINAGE PLAN
- C-05 - PROFILE
- C-06 - EROSION CONTROL PLAN
- C-07 - FUEL MANAGEMENT PLAN
- C-08 - EMERGENCY ACCESS PLAN
- C-09 - CONSTRUCTION MANAGEMENT PLAN

PROJECT DATA

- Parcel Size: 10 Acres (-004) and 6.5 acres (-006)
- General Plan Land Use Designation: Watershed and Scenic Conservation
- Zoning Designation:WSC/40-D(C2) or Watershed and Scenic Conservation, 40 acre minimum with a Design Control Overlay in the Coastal Zone
- Lot Coverage: Allowed: 10%; Existing: 1322 sqft (-004); 4825 sqft (-006)
- Proposed: 1579 sqft (-004); 5050 sqft (-006)
- Tree Removal: ONE 6" Pine
- Parking counts: Required:3; Proposed:3.

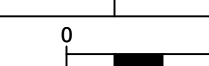


MARK	DATE	ISSUE
-	2-22-2018	FIRST ISSUE
	3-5-2018	SECOND ISSUE





PROJECT
BIEN SUR FUNICULAR
53810 CA 1
BIG SUR, CA 93920

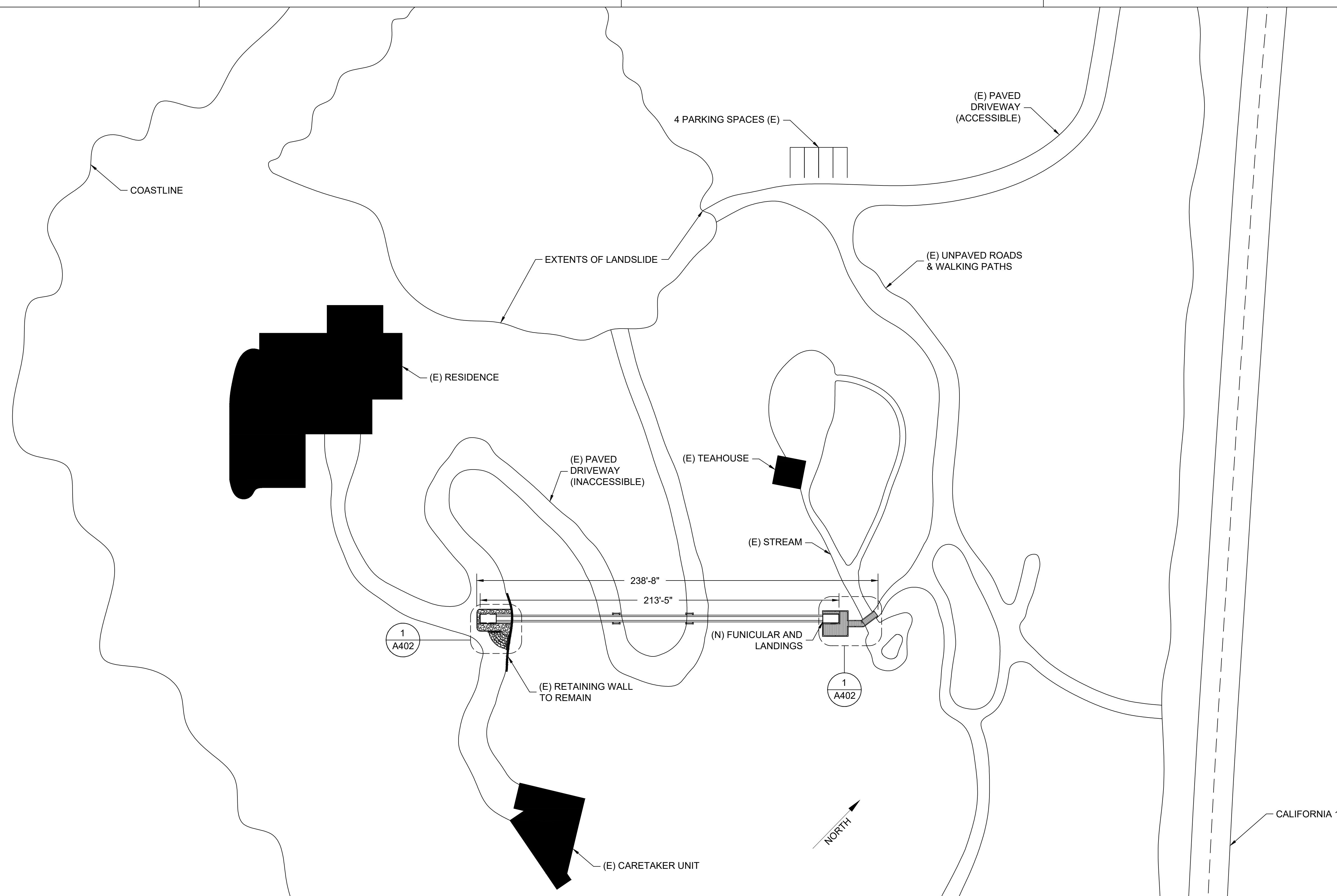
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SHEET TITLE

SITE PLAN

SHEET NUMBER

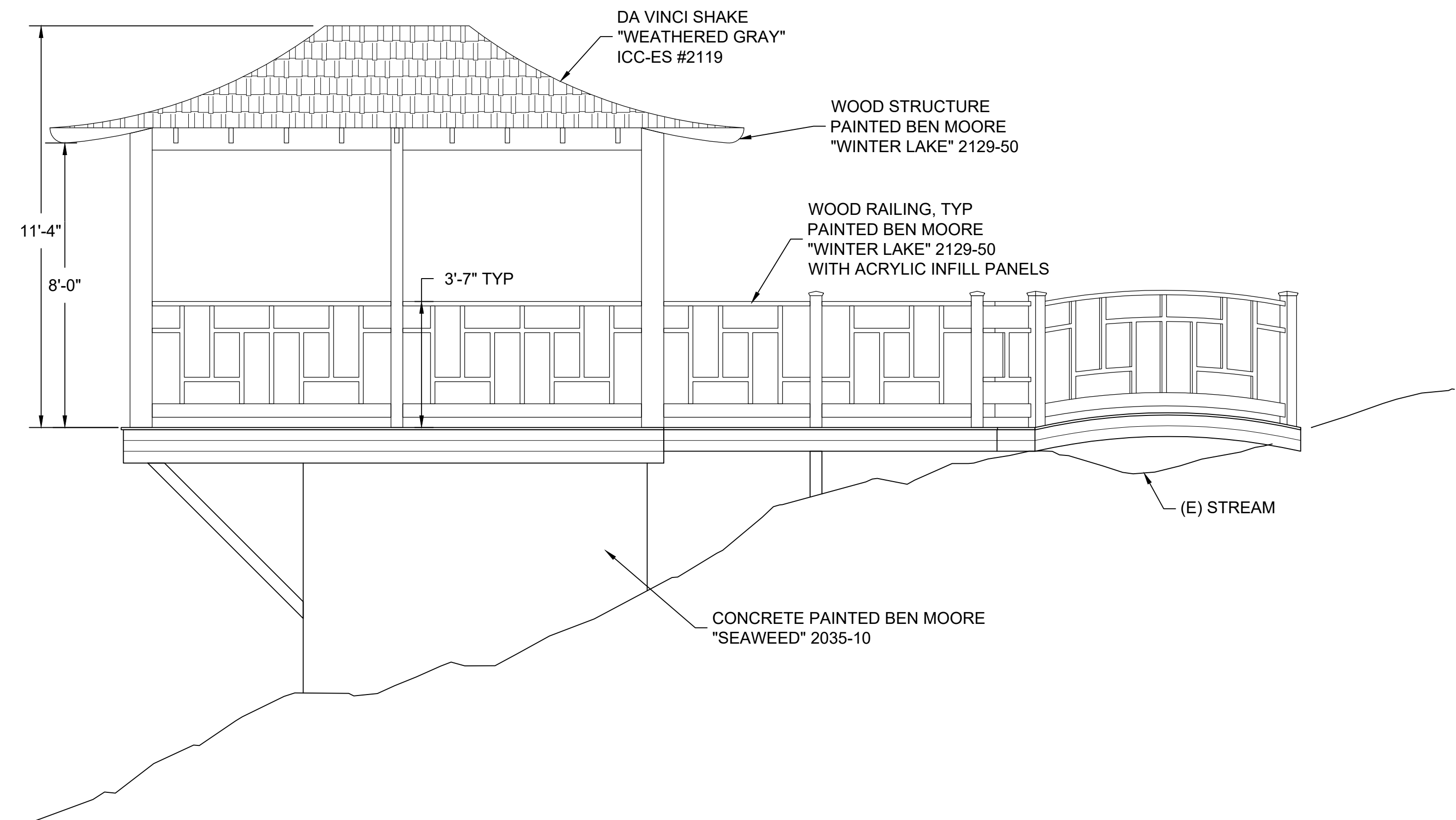
A101



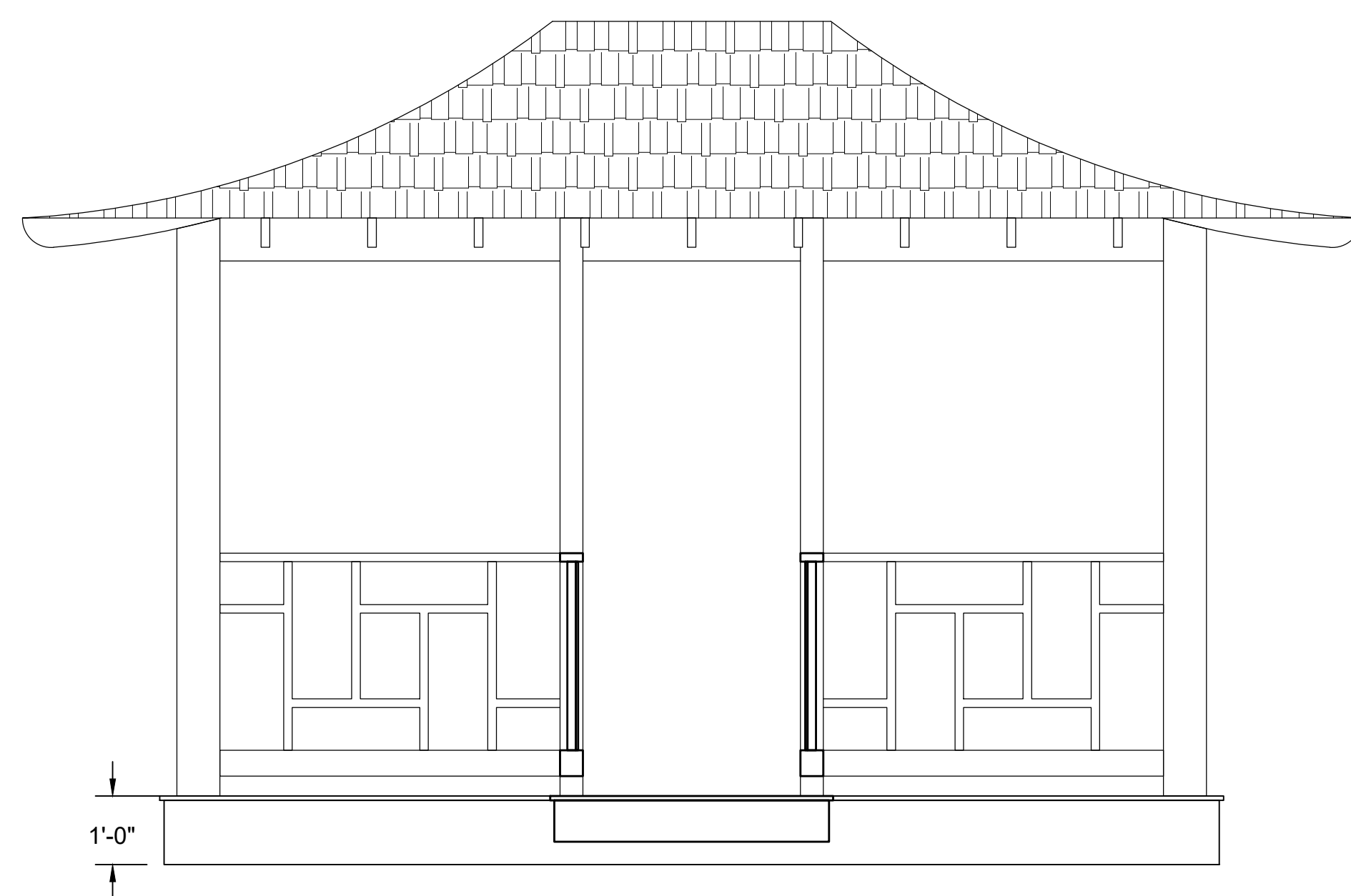
1

SITE PLAN

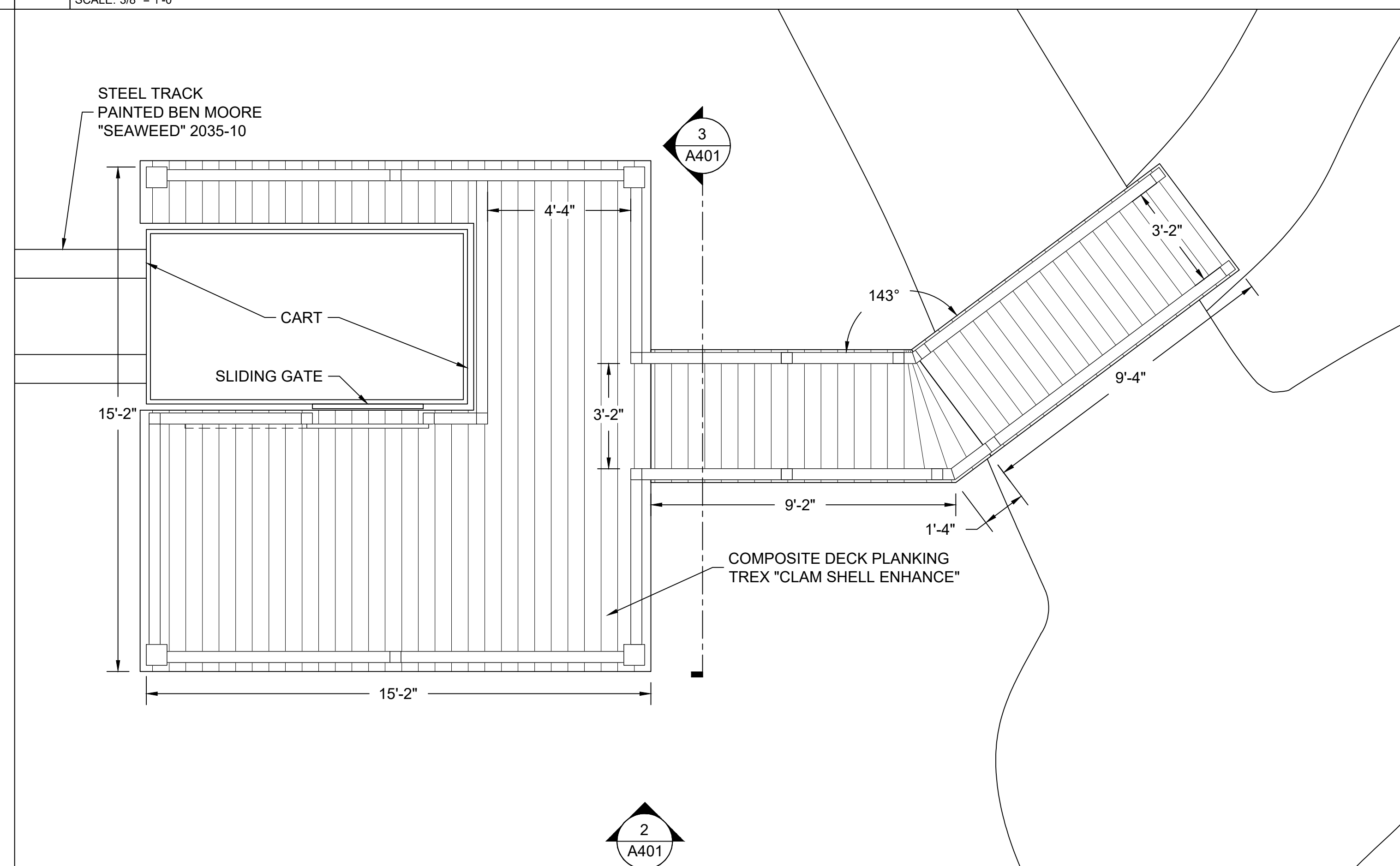
SCALE: 1/16" = 1'-0"



2	TOP LANDING ELEVATION SCALE: 3/8" = 1'-0"
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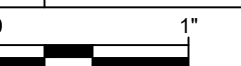


3 TOP LANDING ELEVATION



1	TOP LANDING ENLARGED PLAN SCALE: 3/8" = 1'-0"
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PROJECT
BIEN SUR FUNICULAR
53810 CA 1
BIG SUR, CA 93920

[illegible]

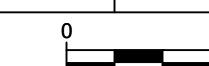
SHEET TITLE
ENLARGED TOP
LANDING

SHEET NUMBER

A401



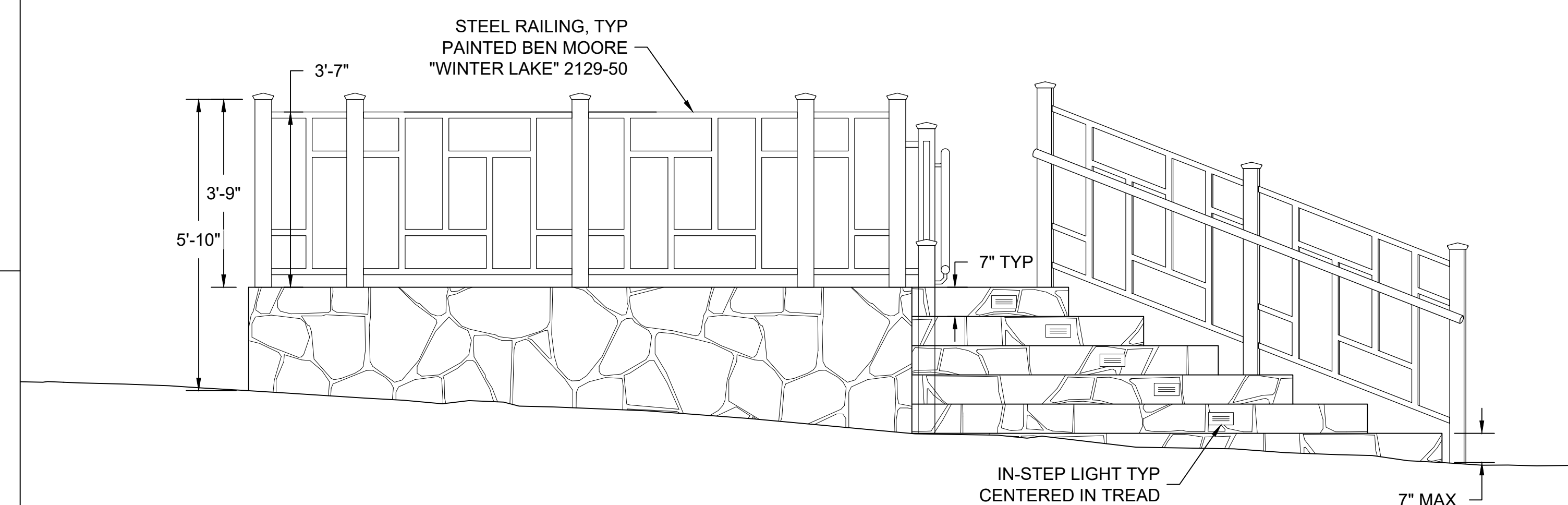
PROJECT
BIEN SUR FUNICULAR
53810 CA 1
BIG SUR, CA 93920

[illegible]

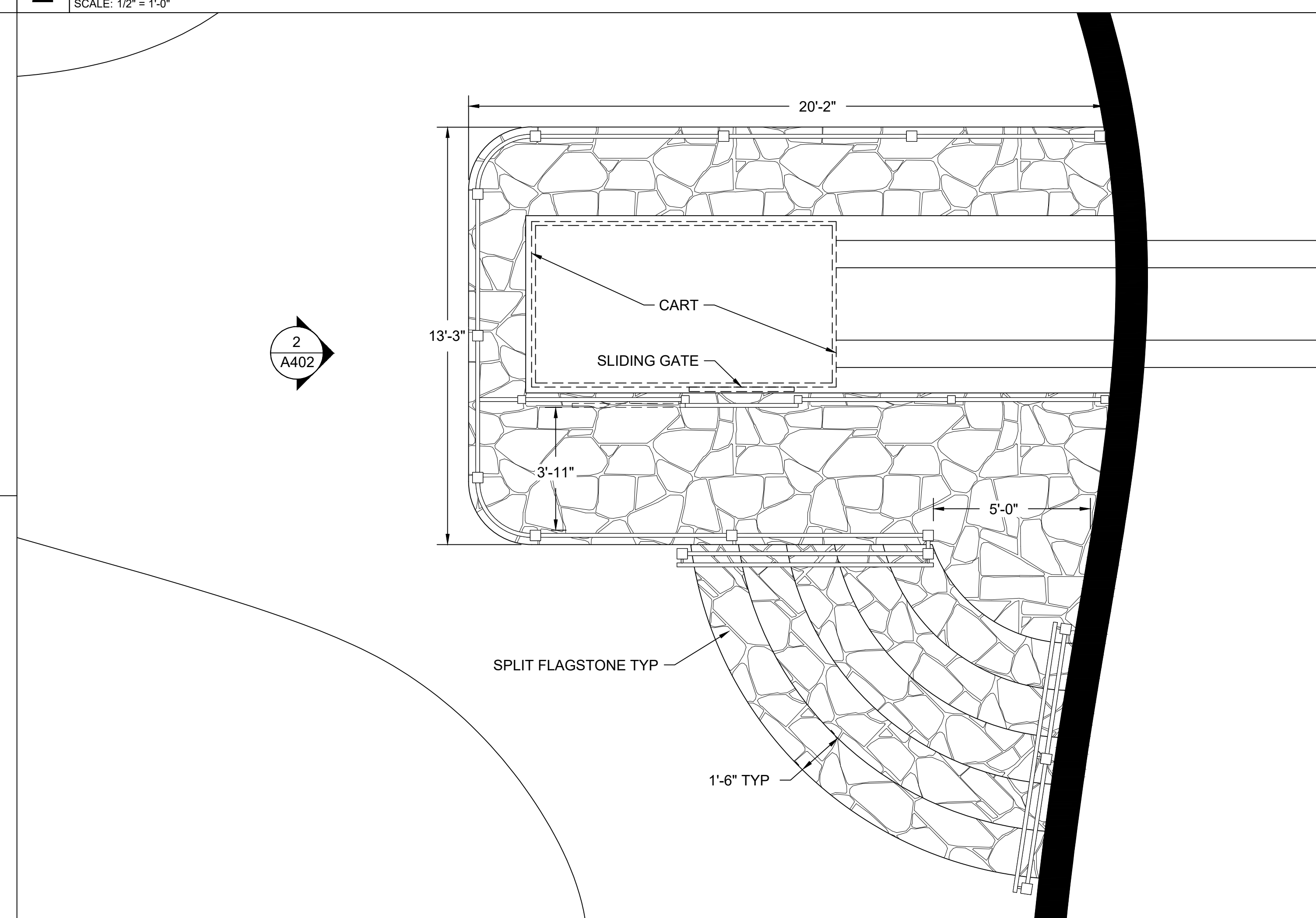
SHEET TITLE
ENLARGED
BOTTOM LANDING

SHEET NUMBER

A402



2	BOTTOM LANDING ELEVATION SCALE: 1/2" = 1'-0"
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1	BOTTOM LANDING ENLARGED PLAN SCALE: 3/8" = 1'-0"
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DESIGN



THE SCENIC ROUTE

3516 DESMOND STREET
PACOIMA, CA 91331
T. 818.896.6006



4

SPLIT FLAGSTONE

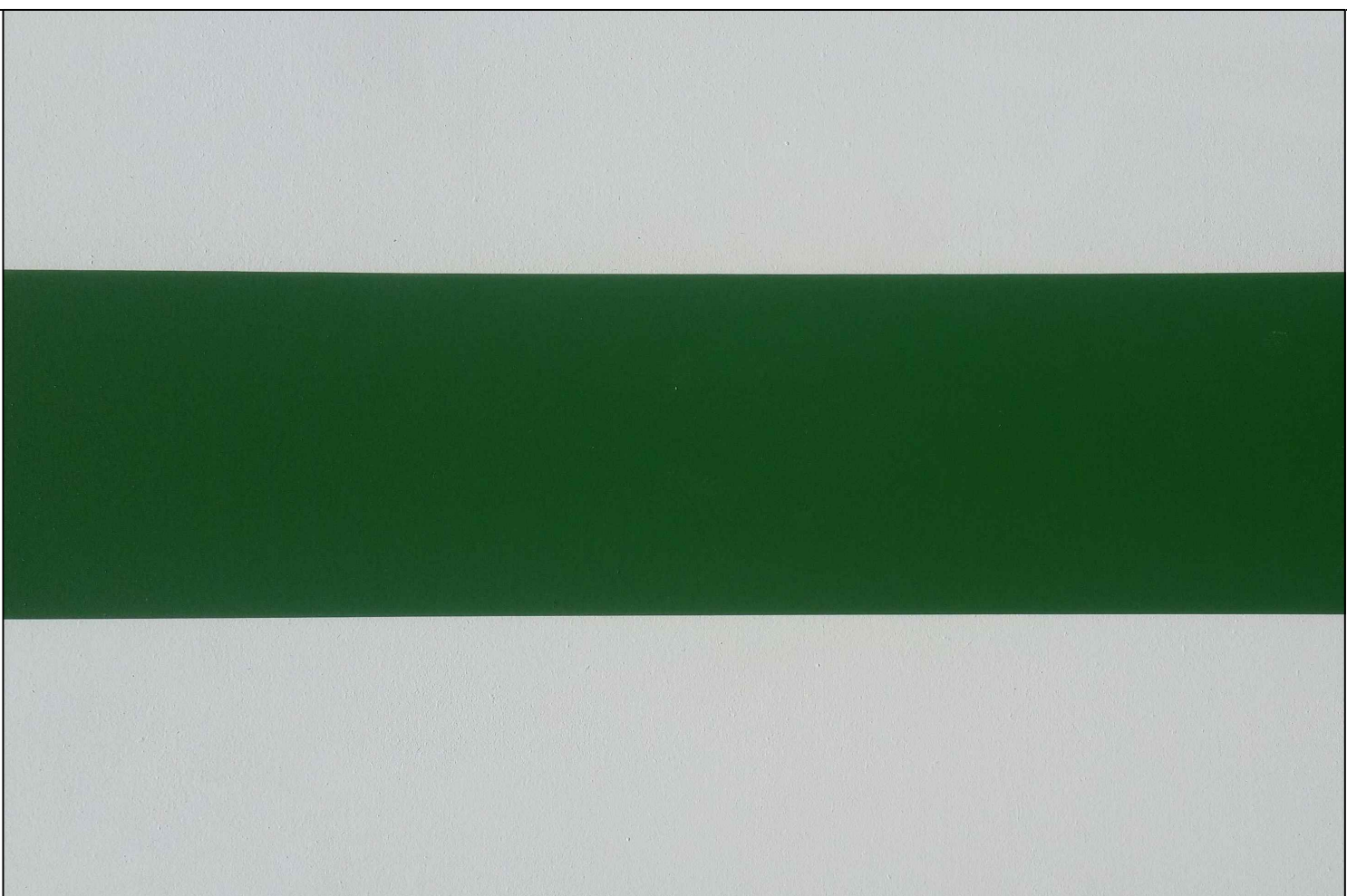
SCALE: NTS



3

CLEAR ACRYLIC

SCALE: NTS



6

"SEAWEED" PAINT COLOR

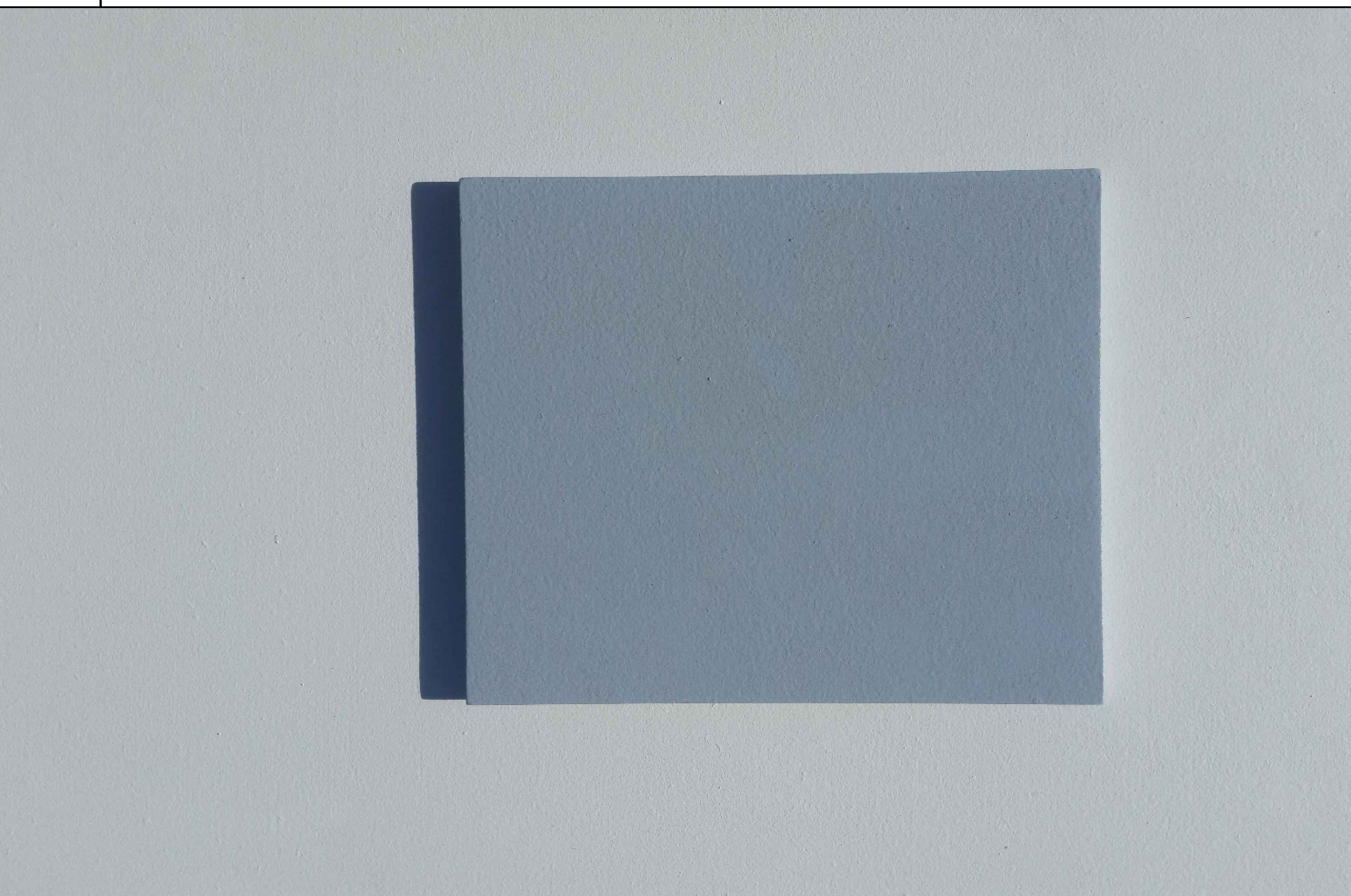
SCALE: NTS



2

DA VINCI SHAKE

SCALE: NTS



5

"WINTER LAKE" PAINT COLOR

SCALE: NTS



1

TREX COMPOSITE DECKING

SCALE: NTS

PROJECT

BIEN SUR FUNICULAR

53810 CA 1

BIG SUR, CA 93920

[illegible]

SHEET TITLE

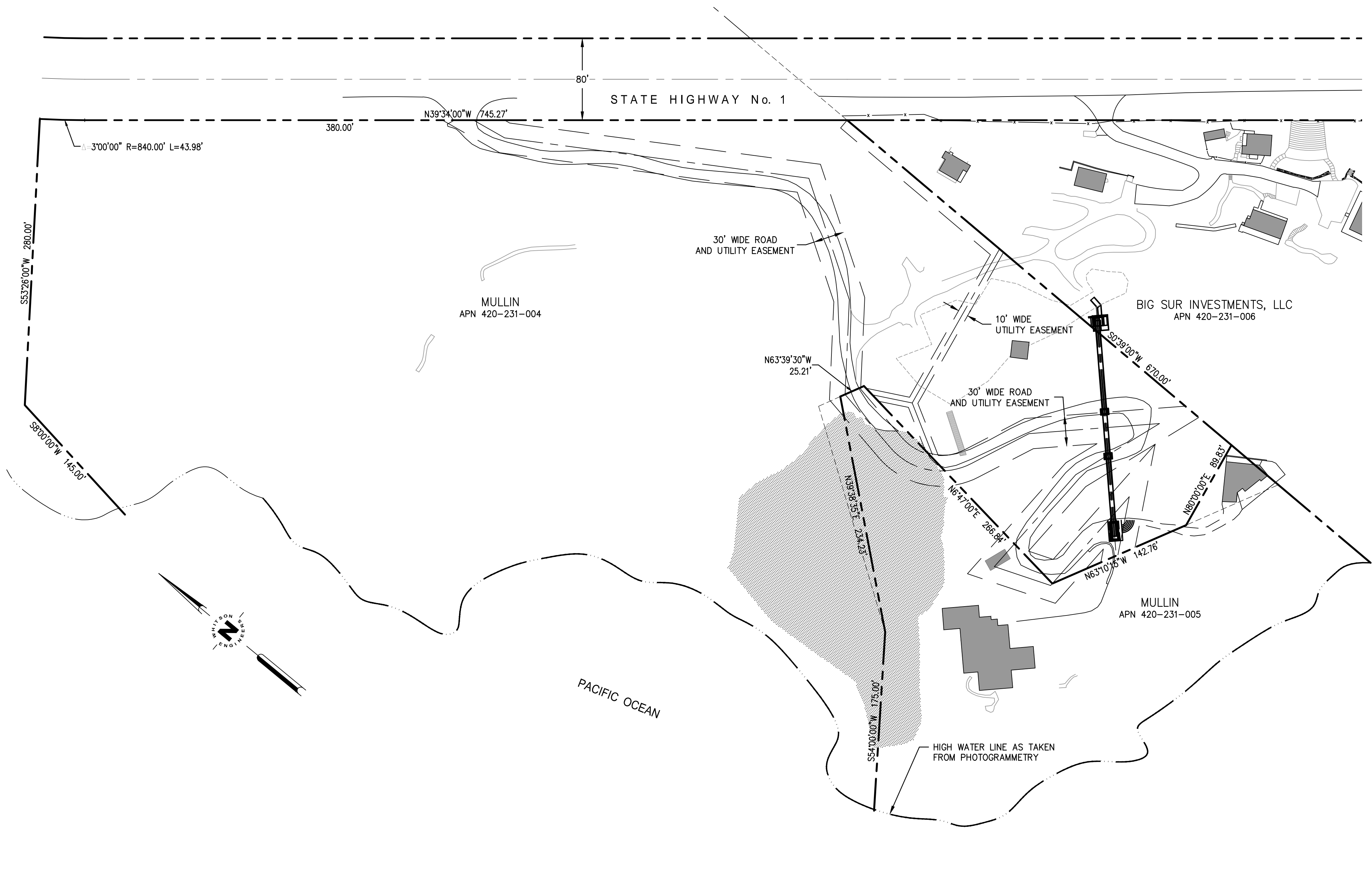
FINISH SCHEDULE

SHEET NUMBER

A601

HILL HIKER - BIG SUR

53810 HIGHWAY ONE, BIG SUR, CA 93920



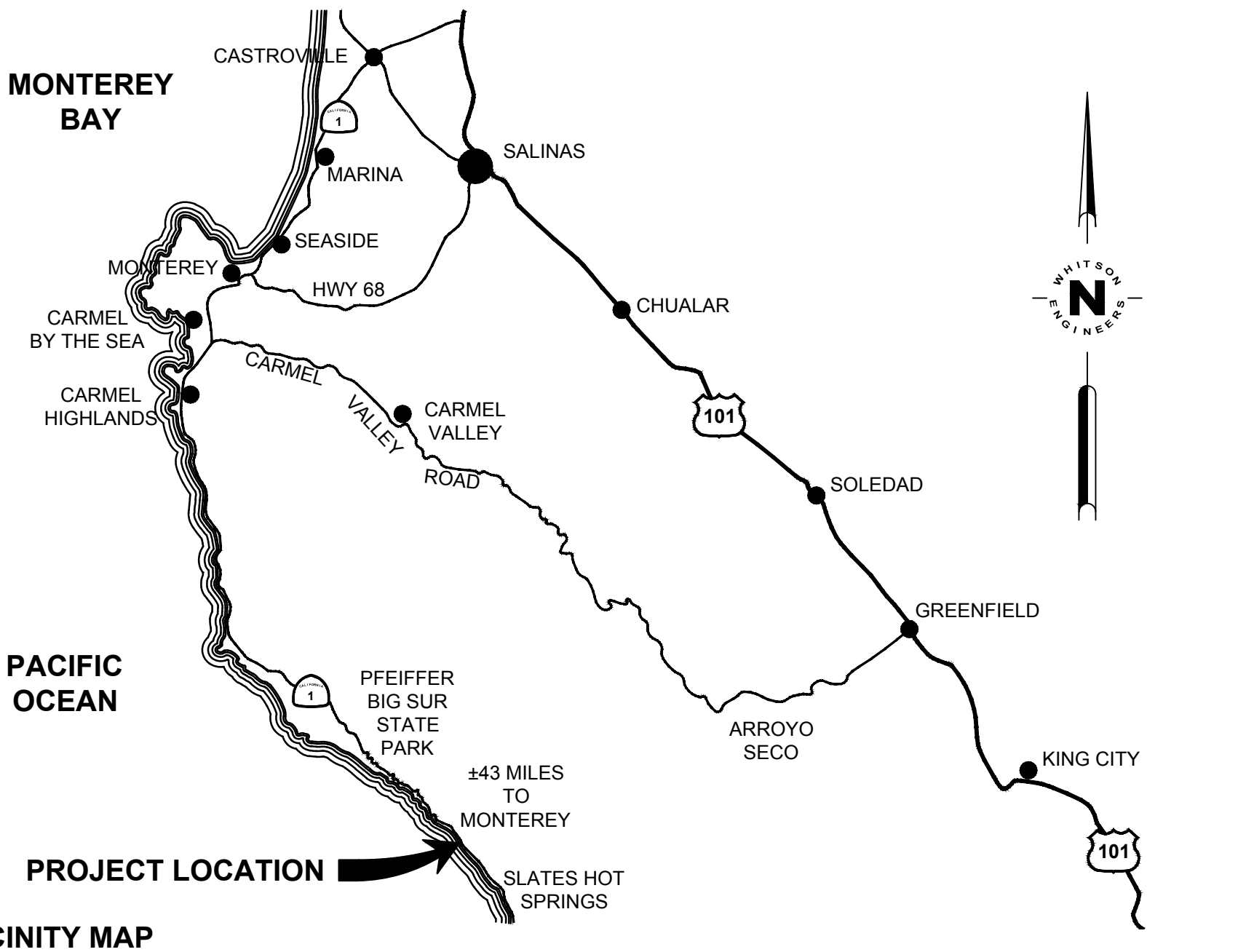
OVERALL SITE MAP
SCALE: 1" = 60'

LEGEND

ELEV	ELEVATION
GR	GRATE
H.D.	HOSEBIB
INV	INVERT
SD	STORM DRAIN
S.S.D.	SEE STRUCTURAL DRAWINGS
TF	TOP OF FOOTING
TP	TOP OF PLATFORM
TW	TOP OF WALL
(TYP)	TYPICAL
Δ200	CONTROL POINT
x123.45	SPOT ELEVATION
W	EP
	RETAINING WALL
	STORM DRAIN
	EARTHEN BERM

SHEET INDEX

C-01	COVER SHEET
C-02	EXISTING SITE PLAN
C-03	PROPOSED SITE PLAN
C-04	GRADING & DRAINAGE PLAN
C-05	PROFILE
C-06	EROSION CONTROL PLAN
C-07	CONSTRUCTION MANAGEMENT PLAN
C-08	EMERGENCY ACCESS PLAN



VICINITY MAP
SCALE: 1" = 40,000'

PROJECT DATA

APN: 420-231-004, 005, 006
53810 HWY 1
BIG SUR, CA 93920

ZONING: WSC/40-D(CZ)

CIVIL ENGINEER/SURVEYOR

WHITSON ENGINEERS
6 HARRIS COURT
MONTEREY, CA 93940

CONTACT: RICH WEBER
TEL. (831) 649-5225

APPLICANT/OWNERS REP.

PETER MULLIN
53810 HIGHWAY ONE
BIG SUR, CA 93920

CONTACT: PETER MULLIN
TEL: (831) 667-2858

GEOTECHNICAL ENGINEER

HARO KASUNICH
116 EAST LAKE AVENUE
WATSONVILLE, CA 95076

CONTACT: JOHN KASUNICH
TEL: (831) 247-5466

GRADING AND DRAINAGE NOTES

- SITE GRADING AND EARTHWORK SHALL BE PERFORMED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT ENTITLED:
GEOTECHNICAL EVALUATION OF 2017 WINTER STORM DAMAGE
ANALYSIS OF NEW ALTERNATIVE ACCESS TO RESIDENCE
BY: HARO KASUNICH AND ASSOCIATES, INC., DATED: 20 DECEMBER 2017, PROJECT NO.: M6365.
- ONSITE GRADING AND EARTHWORK, SITE PREPARATION, EXCAVATION, TRENCHING AND COMPACTION SHALL BE OBSERVED AND TESTED BY THE GEOTECHNICAL ENGINEER DESIGNATED BY THE OWNER. ALL GRADING AND EARTHWORK SHALL BE DONE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST FOUR (4) WORKING DAYS PRIOR TO ANY GRADING OR FOUNDATION EXCAVATION.
- ALL SOILS UTILIZED FOR FILL PURPOSES SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. IMPORTED SOILS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
- ESTIMATED EARTHWORK VOLUMES: CUT = 172 CY, FILL = 0 CY, EXPORT = 172 CY. THE QUANTITIES PRESENTED ABOVE ARE ESTIMATES ONLY AND ARE NOT ADJUSTED FOR CHANGES IN VOLUME DUE TO CHANGES IN SOIL DENSITY AND OVER-EXCAVATION IS NOT INCLUDED IN THE ABOVE ESTIMATES. DEMOLITION OF AC AND PCC PAVEMENTS ARE NOT INCLUDED IN THE ABOVE ESTIMATES. SITE SPOILS SUCH AS FROM UTILITY TRENCHING, FOUNDATIONS, ETC. ARE ALSO NOT INCLUDED IN ABOVE ESTIMATES. EARTHWORK VALUES SHOULD BE REEVALUATED DURING THE EARLY STAGES OF SITE GRADING. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING FINAL EARTHWORK QUANTITIES TO HIS/HER SATISFACTION PRIOR TO START OF GRADING OPERATIONS.
- RELATIVE COMPACTION SHALL BE EXPRESSED AS A PERCENTAGE OF THE MAXIMUM DRY DENSITY OF THE MATERIAL AS DETERMINED BY ASTM TEST D-1557. IN-PLACE DENSITY TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM TESTS D-1556 AND D-2922.
- ENGINEERED FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION.
- CUT/FILL SLOPES SHALL BE NO STEEPER THAN ONE HORIZONTAL TO ONE VERTICAL (1H:1V) UNLESS OTHERWISE APPROVED AT THE TIME OF GRADING BY THE GEOTECHNICAL ENGINEER.
- THE BOTTOMS OF KEYWAYS, BENCHES, AND SURFACES TO RECEIVE FILLS SHALL BE SCARIFIED AS DIRECTED BY THE GEOTECHNICAL ENGINEER, MOISTURE CONDITIONED, AND RECOMPACTED TO AT LEAST 90% OF MAXIMUM DRY DENSITY. THE GEOTECHNICAL ENGINEER SHALL INSPECT ALL SURFACES TO RECEIVE FILL PRIOR TO THE PLACEMENT OF ANY FILL.
- SURPLUS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER.
- IN THE EVENT THAT ANY UNUSUAL CONDITIONS ARE ENCOUNTERED DURING GRADING OPERATIONS WHICH ARE NOT COVERED BY THE SOIL INVESTIGATION OR SPECIFICATIONS, THE SOILS ENGINEER SHALL BE IMMEDIATELY NOTIFIED SUCH THAT ADDITIONAL RECOMMENDATIONS MAY BE MADE.

SPECIAL TESTS AND INSPECTION SCHEDULE

THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2016 CBC 1704.7. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.

ITEM	REQ.	REMARKS	INSPECTOR NAME	START DATE	END DATE
FOUNDATION EXCAVATIONS	YES	BY SOIL ENGINEER / PERIODIC			
SUBGRADE / FINISH GRADE PREPARATION	YES	BY SOIL ENGINEER / PERIODIC			
CLASSIFICATION/TESTING FILL MATERIAL	YES	BY SOIL ENGINEER / PERIODIC			
OBSERVATION OF FILL MATERIAL/COMPACTION	YES	BY SOIL ENGINEER / CONTINUOUS			
FOUNDATION	YES	BY SOIL ENGINEER / PERIODIC VERIFICATION: MATERIALS BELOW FOOTING/ACHIEVE BEARING CAPACITY			
MASONRY & CONCRETE CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC			
REINFORCING STEEL CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC			

SOILS ENGINEER TO PROVIDE OBSERVATION DURING GRADING AND FOUNDATION PHASE OF CONSTRUCTION.

GENERAL NOTES

- CONSTRUCTION CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL(S) HARMLESS FROM ANY AND ALL LIABILITY, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL(S).
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH:
 - THE PROJECT PLANS AND SPECIFICATIONS
 - THE 2016 CALIFORNIA BUILDING STANDARDS CODE (CCR TITLE 24), WITH COUNTY OF MONTEREY ADOPTED AMENDMENTS
 - THE MAY, 2010 EDITION OF "STANDARD SPECIFICATIONS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)
 - THE MAY, 2010 EDITION OF "STANDARD PLANS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)
 - CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT STANDARDS (CAL-OSHA)
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL CURRENTLY APPLICABLE SAFETY LAWS OF ALL APPLICABLE JURISDICTIONAL BODIES. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CALIFORNIA AT PHONE (831) 443-3050.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA.
- INTENTION OF GRADING: CONSTRUCTION OF HILL HIKER HILLSIDE ELEVATOR LIFT SYSTEM FOR PROPERTY ACCESSIBILITY.

- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS IN A GENERAL WAY ONLY. THE UTILITIES SHOWN ON THIS PLAN ARE A COMPILATION OF A FIELD SURVEYING INFORMATION AND RECORD DRAWING SEARCH. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK ON SUBSEQUENTLY EFFECTED FACILITIES. IT IS THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- TOPOGRAPHY WAS PREPARED BY WHITSON ENGINEERS
- LOCAL BENCHMARK: ALUMINIUM PIPE WITH CAP, POINT# 210 AS SHOWN ON SHEET C-02
ASSUMED ELEVATION: 175.59'
- PROJECT IS NOT SUBJECT TO INUNDATION OR 100 YEAR FLOOD LEVELS.
- IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY (RMA - PLANNING).
- ESTIMATED START: TBD , ESTIMATED COMPLETION: TBD.
- AREA OF DISTURBANCE: 2,074 SQ.FT. (0.047 AC)

REVISIONS:

NO	BY	DATE	DESCRIPTION

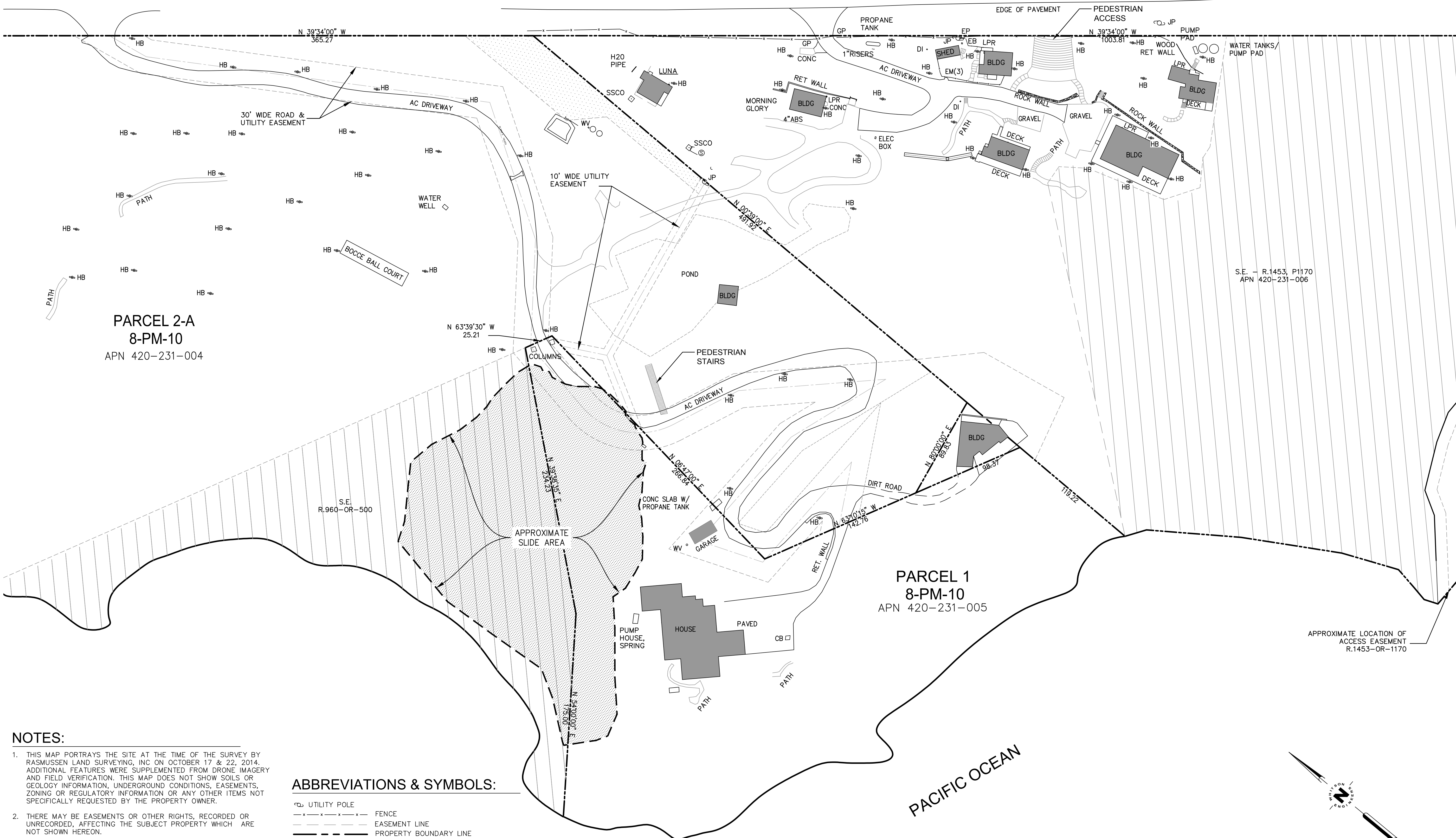
DATE: 3/05/18
SCALE: AS SHOWN
ENGR.
JOB NO: 3736

WHITSON ENGINEERS
6 Harris Court • Monterey, CA 93940
831 649-5225 • Fax 831 373-5065
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

CALIFORNIA
HILL HIKER - BIG SUR
MONTEREY COUNTY
SHEET **C-01**
OF 8

IMPROVEMENT PLANS
COVER SHEET
53810 HIGHWAY ON, BIG SUR, CA

CALIFORNIA STATE HIGHWAY NO. 1



- NOTES:**
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY BY RASMUSSEN LAND SURVEYING, INC ON OCTOBER 17 & 22, 2014. ADDITIONAL FEATURES WERE SUPPLEMENTED FROM DRONE IMAGERY AND FIELD VERIFICATION. THIS MAP DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
 - THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.
 - UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.
 - DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - WHERE DATA DIFFERS, PARENTHESES DENOTE RECORD DATA.
 - SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY SHOW EXISTING FEATURES; A COMPLETE BOUNDARY SURVEY WAS NOT DONE AT THIS TIME.

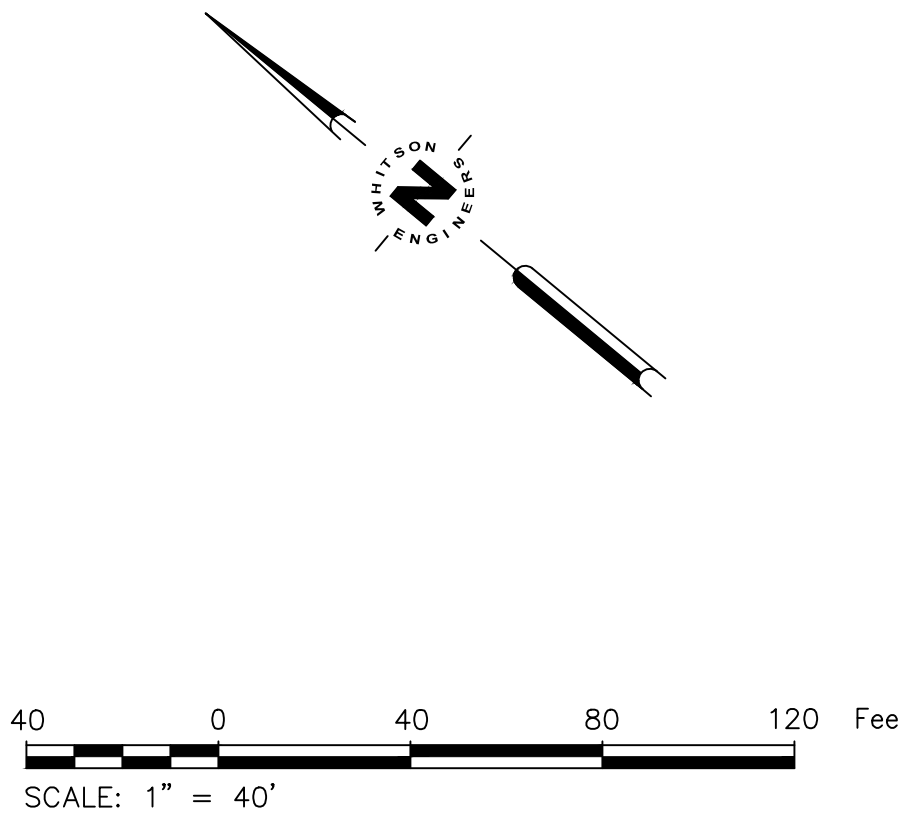
- ABBREVIATIONS & SYMBOLS:**
- UTILITY POLE
 - FENCE
 - EASEMENT LINE
 - PROPERTY BOUNDARY LINE
 - BP = BOOSTER PUMP
 - CB = CATCH BASIN
 - CMP = CORRUGATED METAL PIPE
 - DI = DRAIN INLET
 - EB = ELECTRIC BOX
 - EM = ELECTRIC METER
 - EP = ELECTRIC PANEL
 - GP = GATE POST
 - H.B. = HOSEBIB
 - LPR = 1" LP RISER
 - WPT = WATER PRESSURE TANK
 - WV = WATER VALVE

EXISTING SITE PLAN

SCALE: 1"=40'

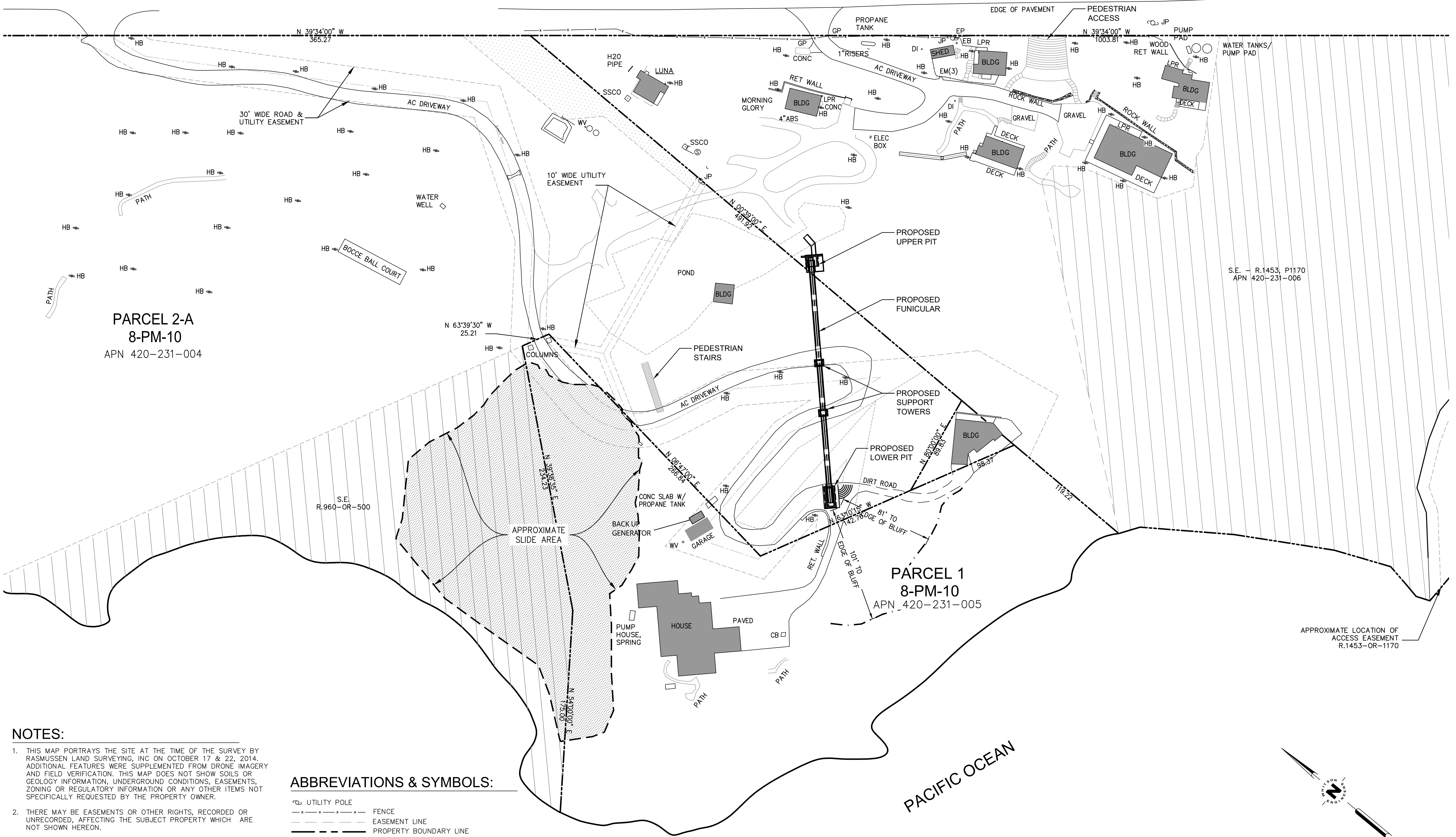
STRUCTURE COVERAGE

APN 420-231-004	1,322 S.F.
APN 420-231-005	4,265 S.F.
APN 420-231-006	4,825 S.F.



REVISIONS: NO. BY: DATE: DESCRIPTION:	
DATE: 3/05/18 SCALE: AS SHOWN ENGR: RPW JOINT: 3736	
WHITSON ENGINEERS 6 Harris Court - Monterey, CA 93940 831 649-5225 • Fax 831 373-5065 CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT	
CALIFORNIA MONTEREY COUNTY	HILL HIKER - BIG SUR EXISTING SITE PLAN 53810 HIGHWAY ONE, BIG SUR, CA
IMPROVEMENT PLANS SHEET C-02 OF 8 INCHES 3	

CALIFORNIA STATE HIGHWAY NO. 1



- NOTES:**
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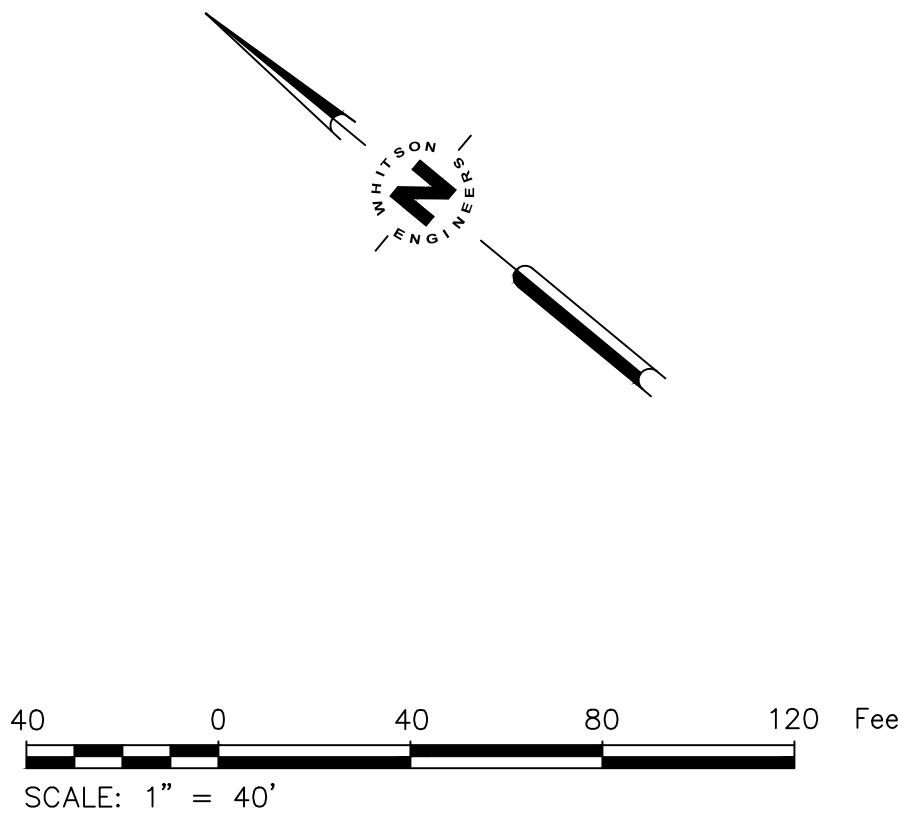
ABBREVIATIONS & SYMBOLS:

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LPR = 1" LP RISER
WPT = WATER PRESSURE TANK
WV = WATER VALVE

PROPOSED SITE PLAN
SCALE: 1"=40'

STRUCTURE COVERAGE

	EXISTING	PROPOSED	TOTAL
APN 420-231-004	1,322 S.F.	257 S.F.	1,579 S.F.
APN 420-231-005	4,265 S.F.		4,265 S.F.
APN 420-231-006	4,825 S.F.	225 S.F.	5,050 S.F.



REVISIONS:
NO. BY: DATE: DESCRIPTION:

DATE: 3/05/18
SCALE: AS SHOWN
ENGR. RPW
JOB NO: 3736

REGISTERED PROFESSIONAL ENGINEER
RICHARD P. WEBER
No. 5529
CIVIL
STATE OF CALIFORNIA

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6 Harris Court • Monterey, CA 93940
831 649-5225 • Fax 831 373-5065
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

CALIFORNIA

HILL HIKER - BIG SUR

MONTEREY COUNTY

PROPOSED SITE PLAN

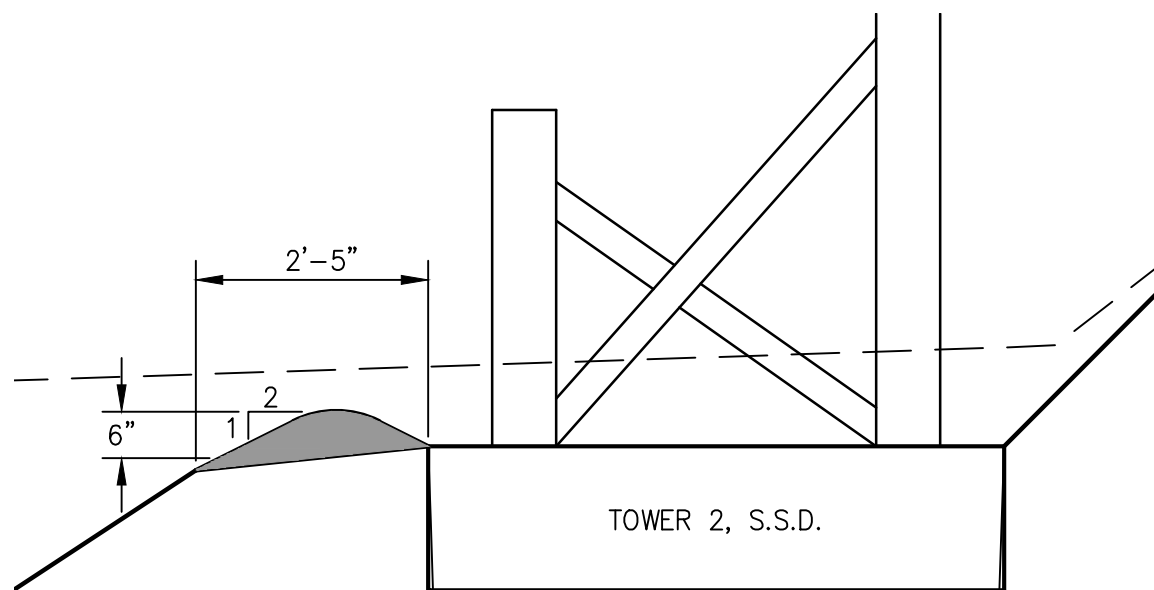
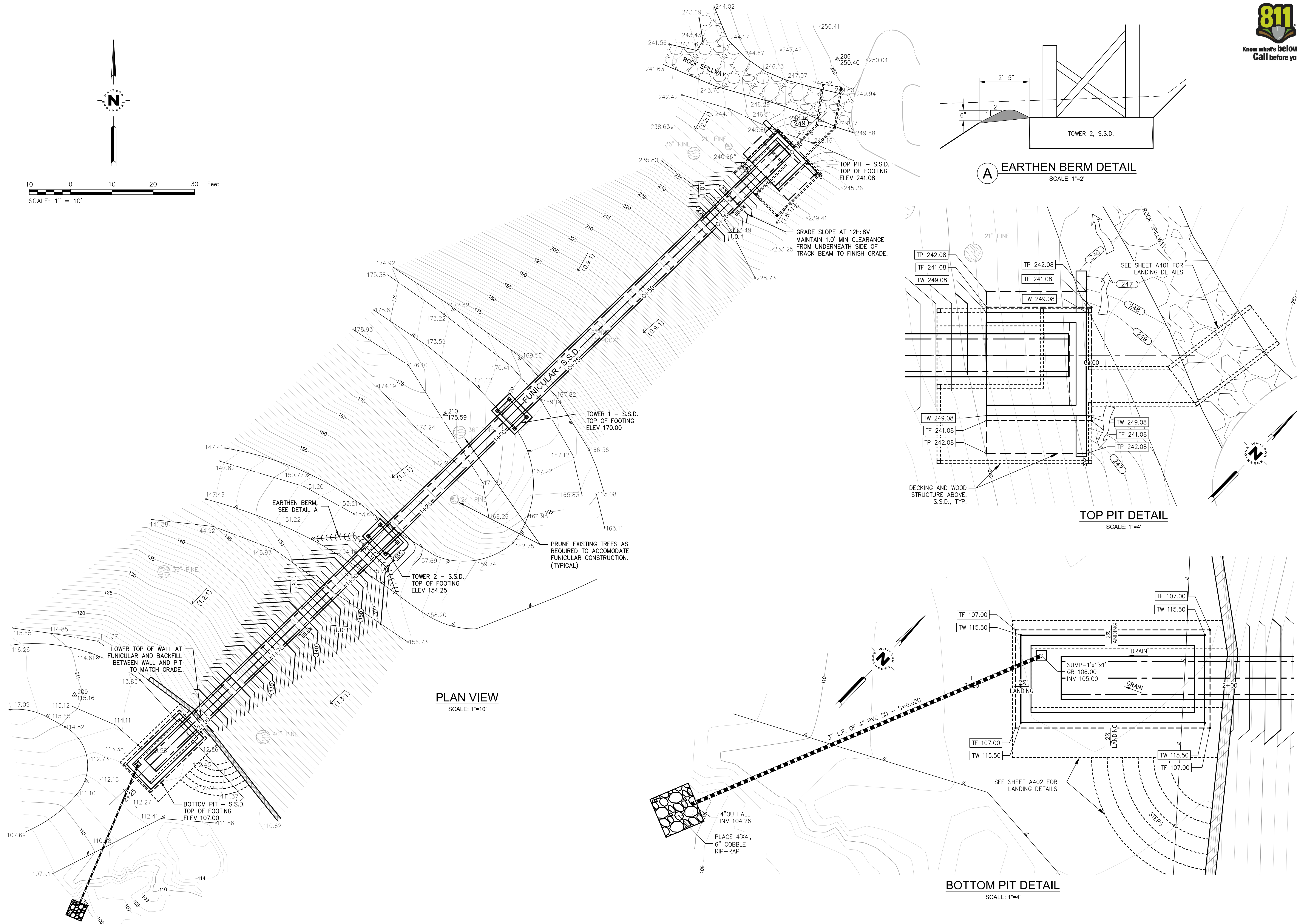
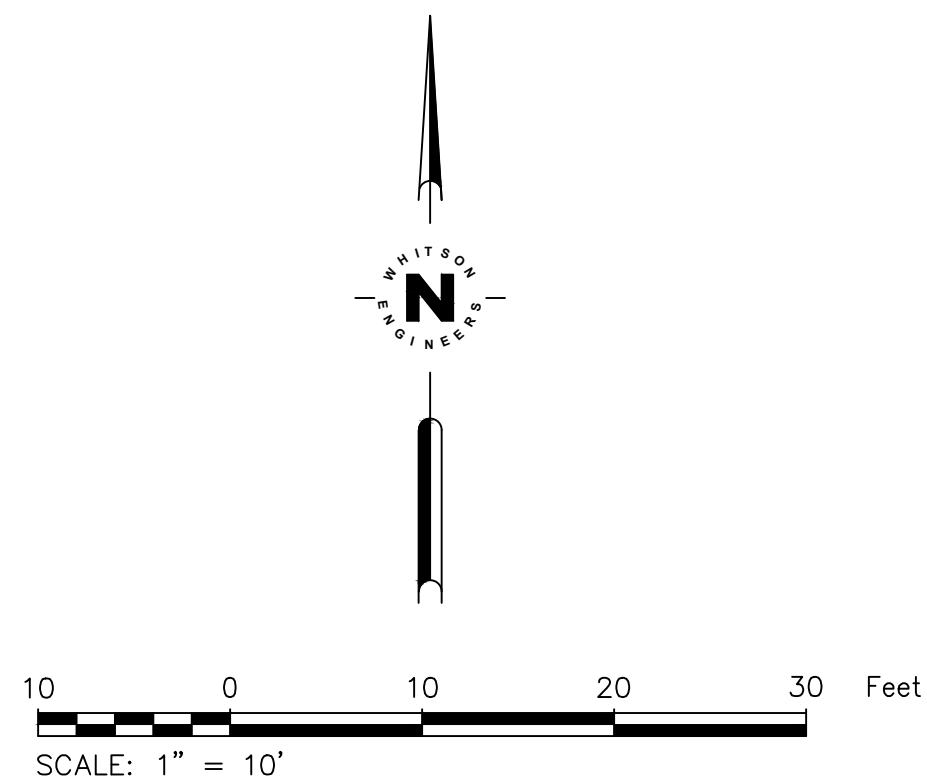
53810 HIGHWAY ONE, BIG SUR, CA

SHEET

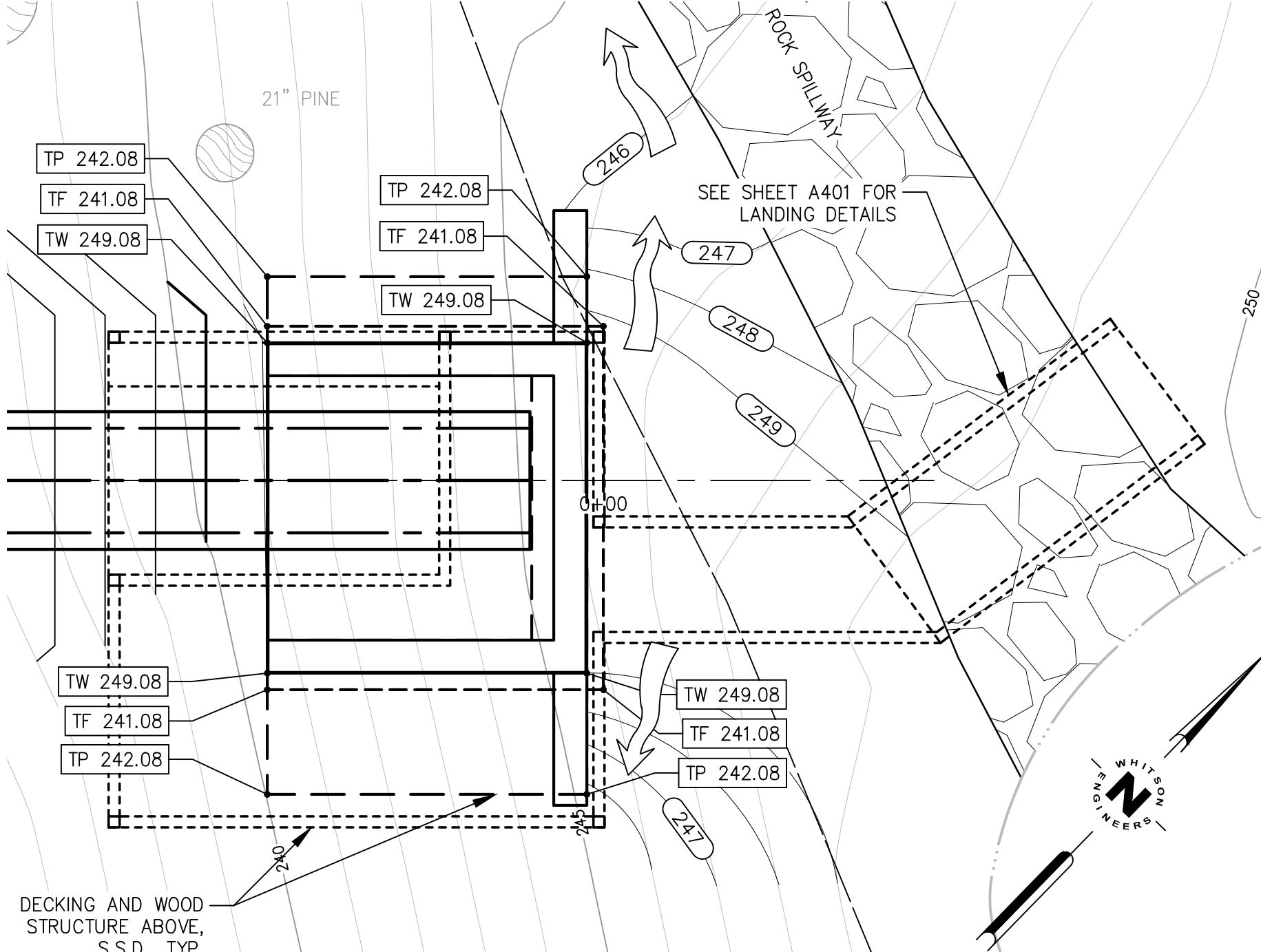
C-03

OF 8

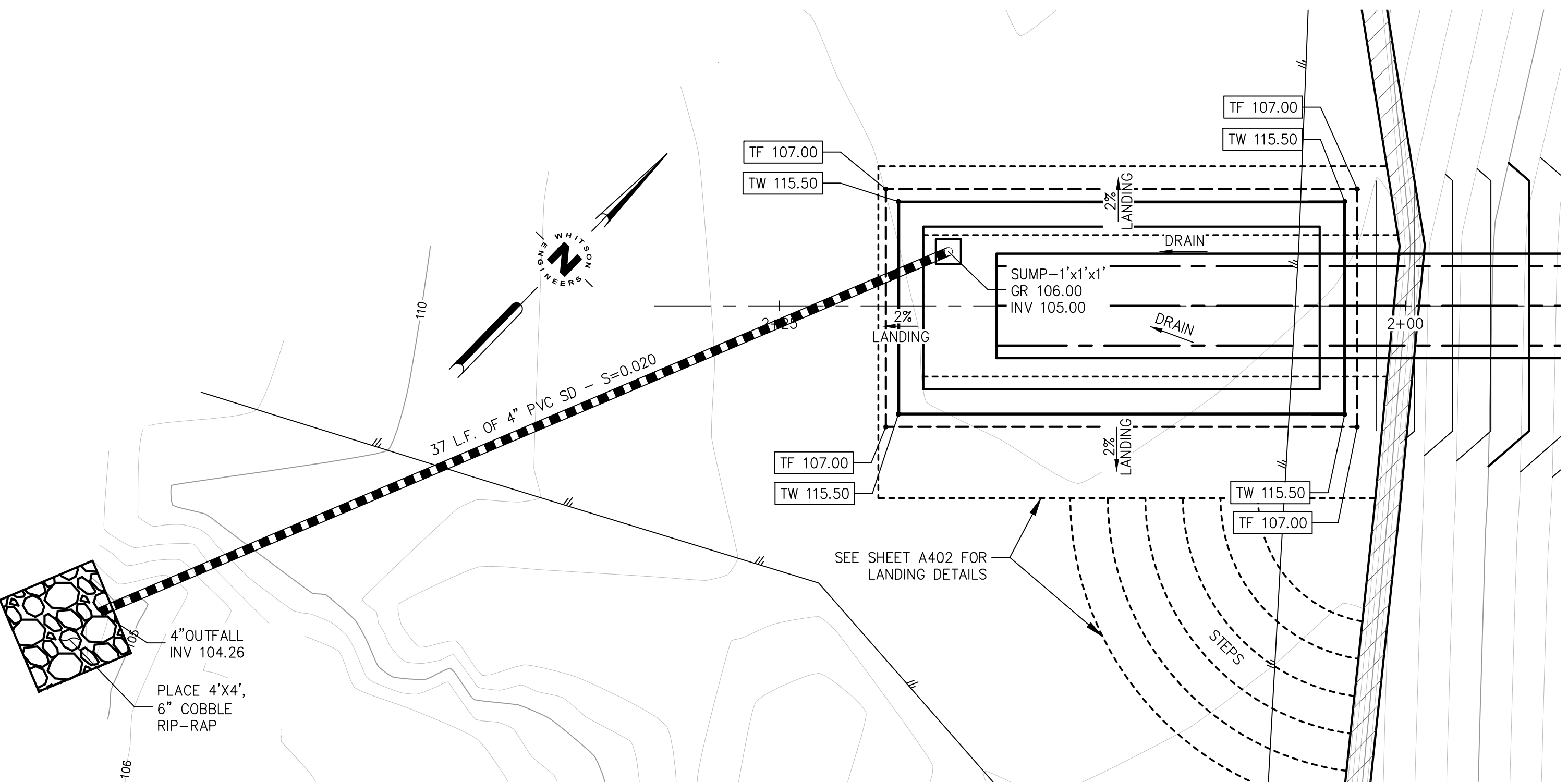
INCHES 3



A EARTHEN BERM DETAIL
SCALE: 1"=2'



TOP PIT DETAIL
SCALE: 1"=4'

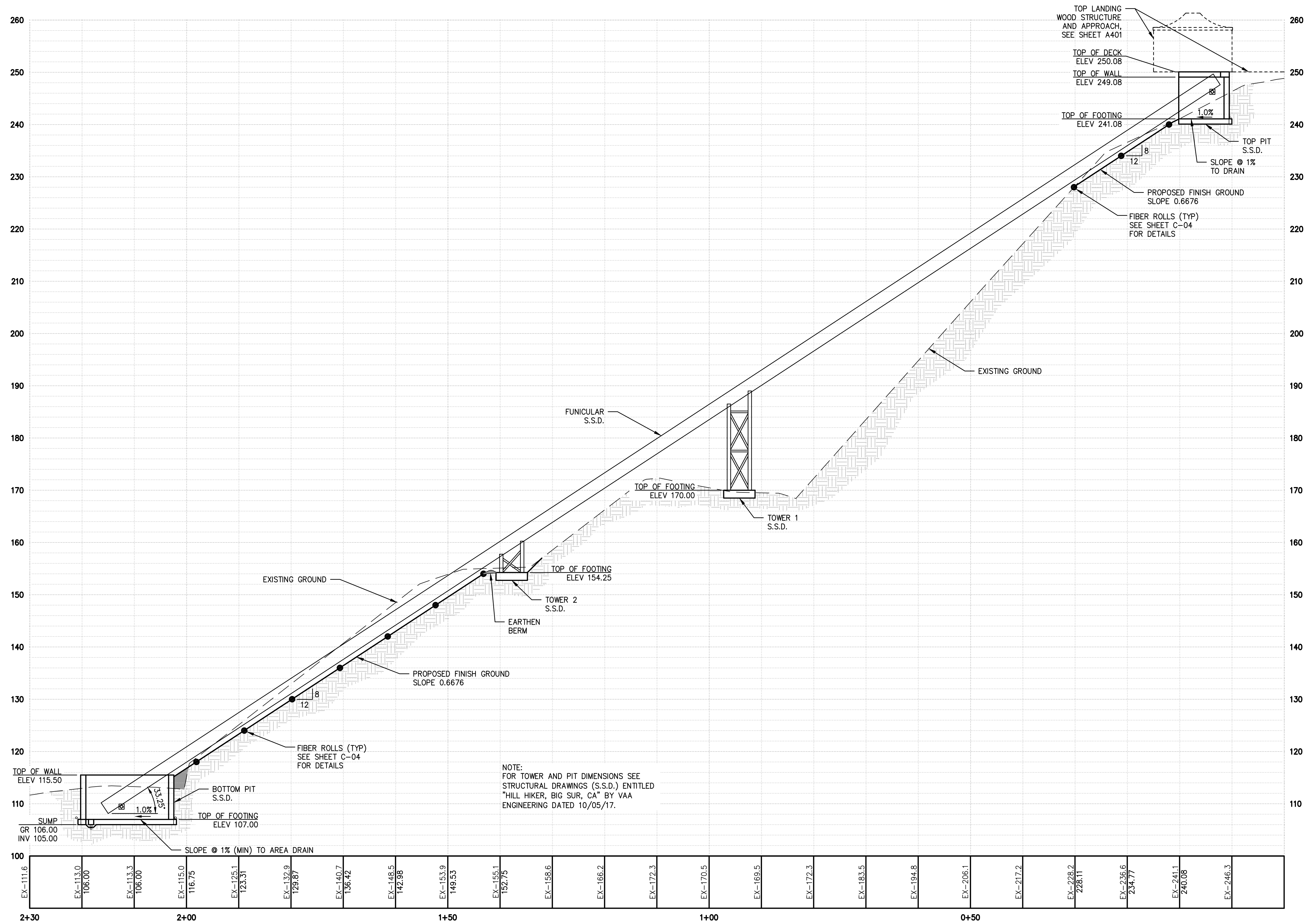


BOTTOM PIT DETAIL
SCALE: 1"=4'

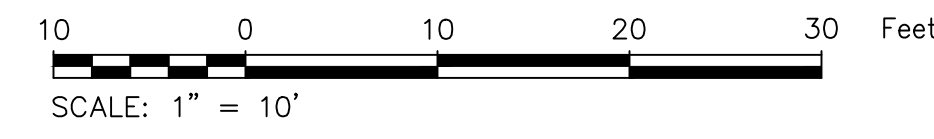
REVISIONS:		DATE: 3/05/18		SCALE: 1" = 10'		ENGR: RW		JOB NO: 3738	
NO.	BY:	DATE:	DESCRIPTION:						
1									

WHITSON ENGINEERS
6 Harris Court - Monterey, CA 93940
831 649-5225 - Fax 831 373-5065
CIVIL ENGINEERING - LAND SURVEYING - PROJECT MANAGEMENT

HILL HIKER - BIG SUR		CALIFORNIA
MONTEREY COUNTY	IMPROVEMENT PLANS	
GRADING & DRAINAGE PLAN		
53810 HIGHWAY ONE, BIG SUR, CA		
SHEET C-04		OF 8



PROFILE VIEW
HORIZ: 1"=10' / VERT: 1"=10'



REVISIONS:

NO.	BY:	DATE:	DESCRIPTION:
1			

DATE: 3/05/18

SCALE: 1"=10'

ENGR: RW

JOB NO: 3738

REGISTERED PROFESSIONAL ENGINEER

P. WEBER

No. 55219

CIVIL

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WHITSON ENGINEERS

6 Harris Court - Monterey, CA 93940

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CIVIL ENGINEERING - LAND SURVEYING - PROJECT MANAGEMENT

HILL HIKER - BIG SUR

MONTEREY COUNTY

53810 HIGHWAY ONE, BIG SUR, CA

CALIFORNIA

IMPROVEMENT PLANS

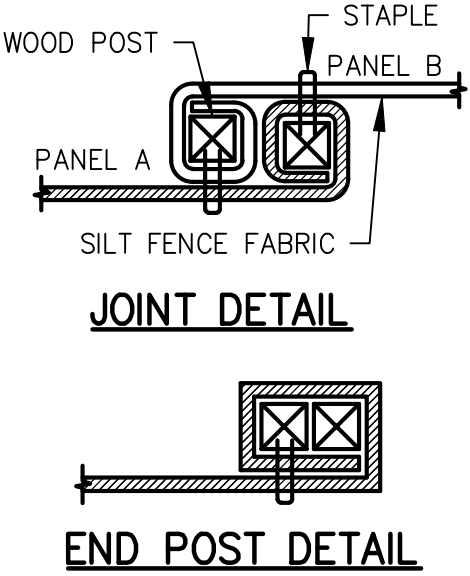
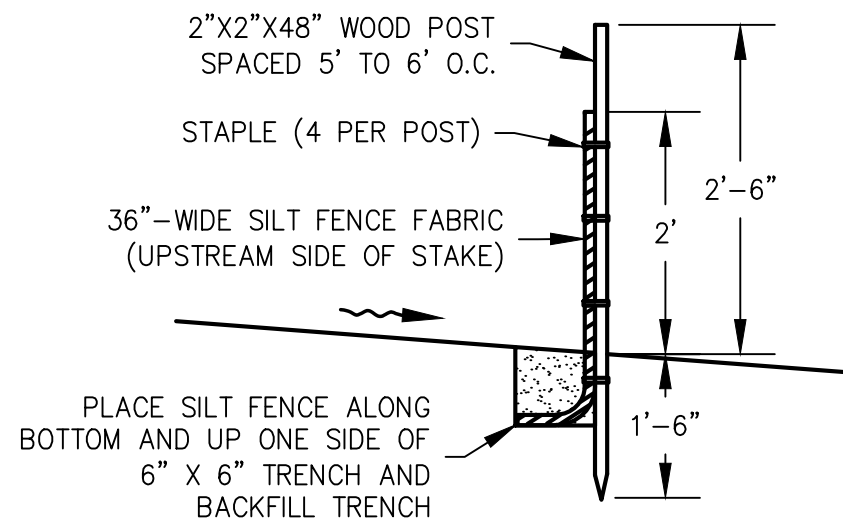
PROFILE

SHEET

C-05

OF 8

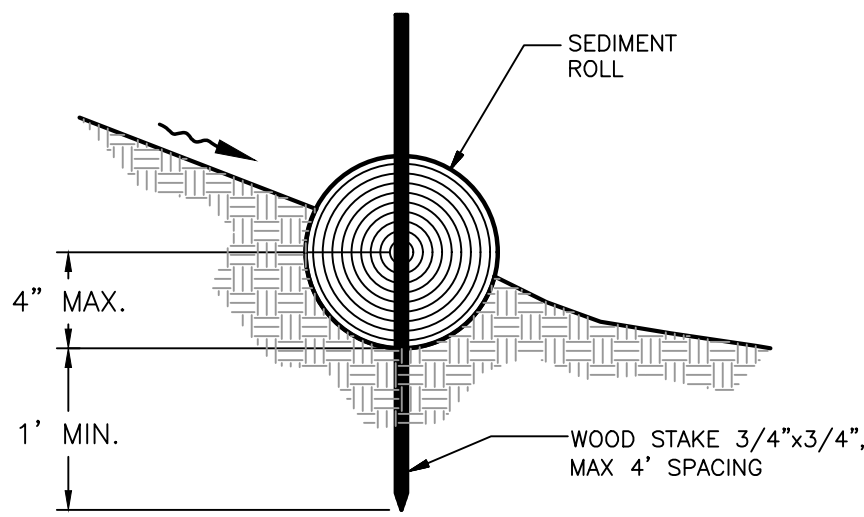
I:\Monterey Projects\3738 - Big Sur Funicular\3738-PLAN\3738-C-05.dwg - Mar 05, 2018 - 3:25pm



- NOTES:
1. THE DOWNSTREAM END OF THE SILT FENCE SHALL HAVE THE LAST 8' ANGLED UP SLOPE TO PREVENT WATER FROM RUNNING AROUND THE END OF THE SILT FENCE
 2. JOINT SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS

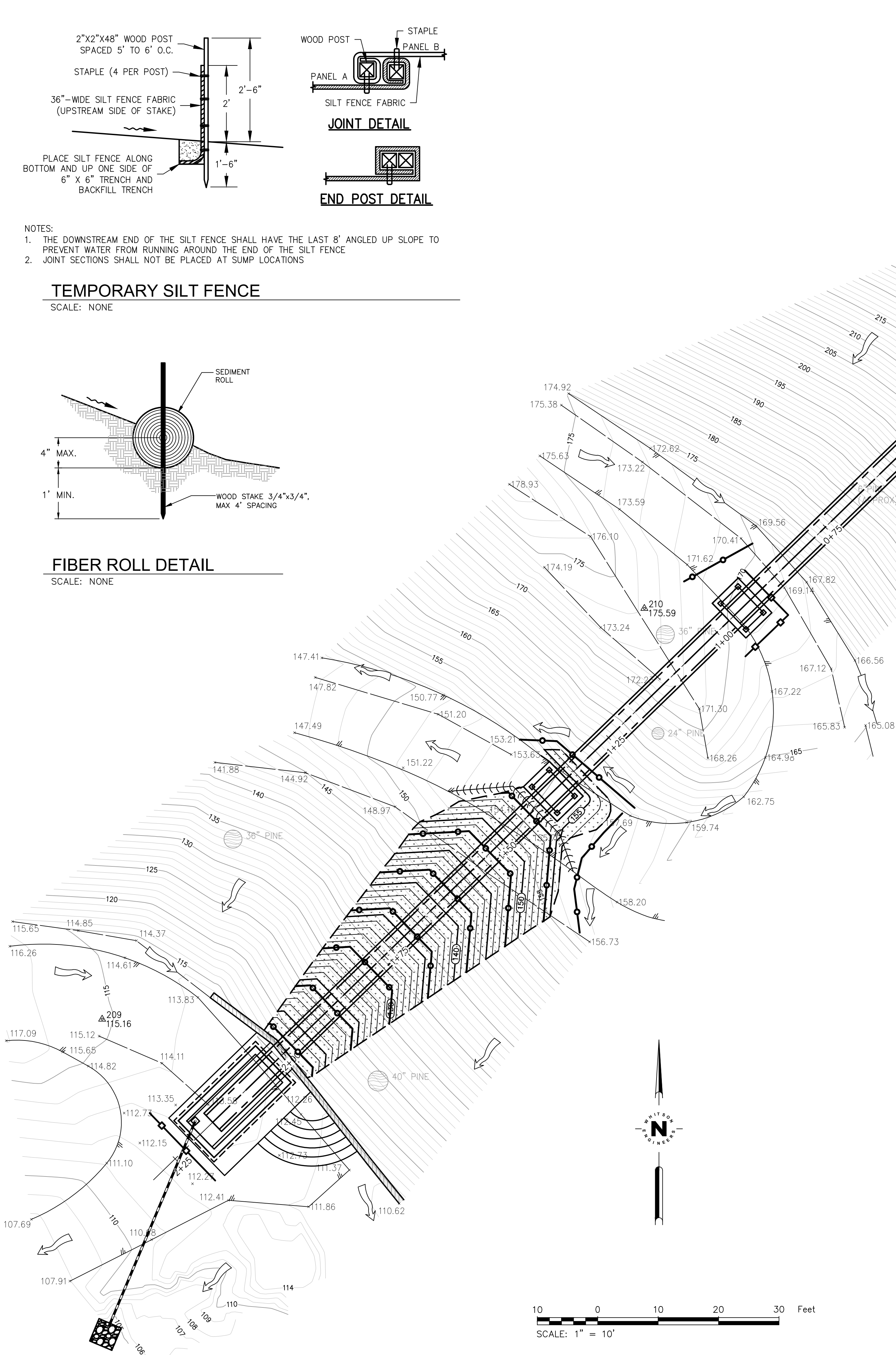
TEMPORARY SILT FENCE

SCALE: NONE



FIBER ROLL DETAIL

SCALE: NONE



WATER POLLUTION CONTROL NOTES

1. ESTIMATED TOTAL DISTURBED AREA: 2,074 SQ.FT. (0.047 AC.) NO SWPPP IS REQUIRED.
2. BEST MANAGEMENT PRACTICES (BMPs) (MATERIALS AND THEIR INSTALLATION) SHALL CONFORM TO ONE OF THE FOLLOWING:
 - 2.1. THE 2011 EDITION OF THE CALTRANS STORM WATER QUALITY HANDBOOK / CONSTRUCTION SITE BMP MANUAL. THE HANDBOOK MAY BE DOWNLOADED FOR FREE AT http://www.dot.ca.gov/hq/construct/stormwater/documents/SWPPP_Prep_ManualJune2011.pdf
 - 2.2. THE 2011 EDITION OF THE CALIFORNIA STORMWATER BMP HANDBOOK PROMULGATED BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA). THE HANDBOOK MAY BE DOWNLOADED FOR A FEE FROM THE CASQA WEBSITE AT <http://www.csbmhandbooks.com/>
3. THE BMPs SHOWN ON THIS WATER POLLUTION CONTROL PLAN SHALL BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AND/OR AS DIRECTED BY THE ENGINEER OR JURISDICTION HAVING AUTHORITY.
4. THIS PLAN IS INTENDED TO BE USED FOR INTERIM WATER POLLUTION CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING BMPs PRIOR TO, DURING, AND AFTER STORM EVENTS, AND SHALL PROMPTLY CORRECT ANY DEFICIENCIES NOTED.
6. ALL PAVED AREAS SHALL BE KEPT CLEAN OF SOIL AND DEBRIS. REGULAR STREET SWEEPING IS REQUIRED. ADDITIONAL STREET SWEEPING MAY BE REQUIRED BY THE ARCHITECT/ENGINEER OR JURISDICTION HAVING AUTHORITY.
7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. ANY MATERIAL THAT IS TO BE HAULED OFF-SITE SHALL BE COVERED. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
8. KEEP ADDITIONAL EROSION AND SEDIMENT CONTROL SUPPLIES ON SITE IN CASE IMMEDIATE REPAIRS OR MODIFICATIONS ARE REQUIRED. THESE SUPPLIES MAY INCLUDE ADDITIONAL SLIT FENCING, FILTER FABRIC, HAY BALES, JUTE NETTING, BAGS AND TARPS.
9. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
10. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
11. PROVIDE TEMPORARY "EFFECTIVE SOIL COVER" ON ALL INACTIVE DISTURBED AREAS (AREAS WHICH HAVE NOT BEEN DISTURBED FOR AT LEAST 14 DAYS) PRIOR TO INSTALLATION OF FINAL LANDSCAPING, IF REQUIRED DUE TO PROJECT SCHEDULING.
12. PROVIDE WIND EROSION CONTROL AT ALL TIMES IN ACCORDANCE WITH BEST MANAGEMENT PRACTICE WE-1.
13. LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION AND WHICH MAY BE RE-USED.
14. ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
 - PROVIDE SILT FENCE AT CONSTRUCTION SITE PERIMETER WHERE RUNOFF LEAVES THE CONSTRUCTION SITE.
 - PROVIDE INLET PROTECTION AT ALL DRAIN INLETS.
15. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, AND CALIFORNIA BUILDING CODE.
16. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
17. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
18. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
19. ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).
20. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)

GENERAL REQUIREMENTS

- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
21. THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 1 AND APRIL 30.
 - A. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
 - B. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - C. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - D. THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 - E. CUT AND FILL SLOPES SHALL BE PLANTED PER DETAIL 1 ON SHEET C1.1.
 22. ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
 23. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.

OBSERVATION AND MAINTENANCE

1. VISUALLY OBSERVE AND MAINTAIN BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:
 - A. WEEKLY, AND
 - B. WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
 - C. WITHIN 48 HOURS AFTER EACH STORM EVENT.
 - D. DAILY DURING STORM EVENTS
2. REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
3. SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
4. TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
5. REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
6. REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

NON-STORM WATER DISCHARGES

1. NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
2. MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
3. HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
 - FIRE HYDRANT FLUSHING,
 - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
 - PIPE FLUSHING AND TESTING,
 - WATER TO CONTROL DUST,
 - UNCONTAMINATED GROUND WATER FROM DEWATERING,
 - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
4. THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
 - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
 - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
 - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
 - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
 - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
 - THE DISCHARGE IS MONITORED
5. IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

EMPLOYEE TRAINING

1. STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - SPILL PREVENTION AND RESPONSE;
 - LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
 - GOOD HOUSEKEEPING;
 - FINES AND PENALTIES;
 - MATERIAL MANAGEMENT PRACTICES.

NOTES

1. CONCRETE WASTE MANAGEMENT AREA (BMP WM-8) IS NOT PROPOSED; ALL CONCRETE WASTE SHALL BE OFF-HAULED.
2. STABILIZED CONSTRUCTION ENTRANCE AND STREET SWEEPING ARE NOT PROPOSED AS EQUIPMENT TRACKING IS NOT ANTICIPATED.
3. CONTRACTOR SHALL DETERMINE LOCATIONS FOR IDENTIFIED BMPs WM-1 (MATERIAL STORAGE AND WASTE MANAGEMENT), WM-3 (TEMPORARY STOCKPILE) AND WM-9 (SANITARY FACILITIES) IN THE FIELD.

LEGEND

SYMBOL	CALTRANS BMP #	CALTRANS STD. T56, T60, T66	DESCRIPTION
	SC-1, SC-5, SC-6	T51, T56, T60, T66	LINEAR SEDIMENT BARRIER: FIBER ROLLS, SILT FENCE, OR COMPOST SOCK (CONTRACTOR'S OPTION)
	SC-1	T51, T60	SILT FENCE
		-	SOIL STABILIZATION: SEED MIX SHALL BE A FAST GERMINATING SEED MIX APPROPRIATE FOR THE BIG SUR COAST. MIX SHALL BE APPROVED BY THE ENGINEER.
		-	DIRECTION OF DRAINAGE



REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	1/05/18	P. WEBER	1"=10'

DATE: 1/05/18

SCALE: 1"=10'

ENGR: P. WEBER

JOB NO.: 3738

REGISTERED PROFESSIONAL ENGINEER

P. WEBER

No. 55219

CIVIL

STATE OF CALIFORNIA

WHITSON ENGINEERS

6 Harris Court - Monterey, CA 93940

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CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT

HILL HIKER - BIG SUR

MONTEREY COUNTY

53810 HIGHWAY ONE, BIG SUR, CA

IMPROVEMENT PLANS

EROSION CONTROL PLAN

SHEET

C-06

OF 8

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1

2

3

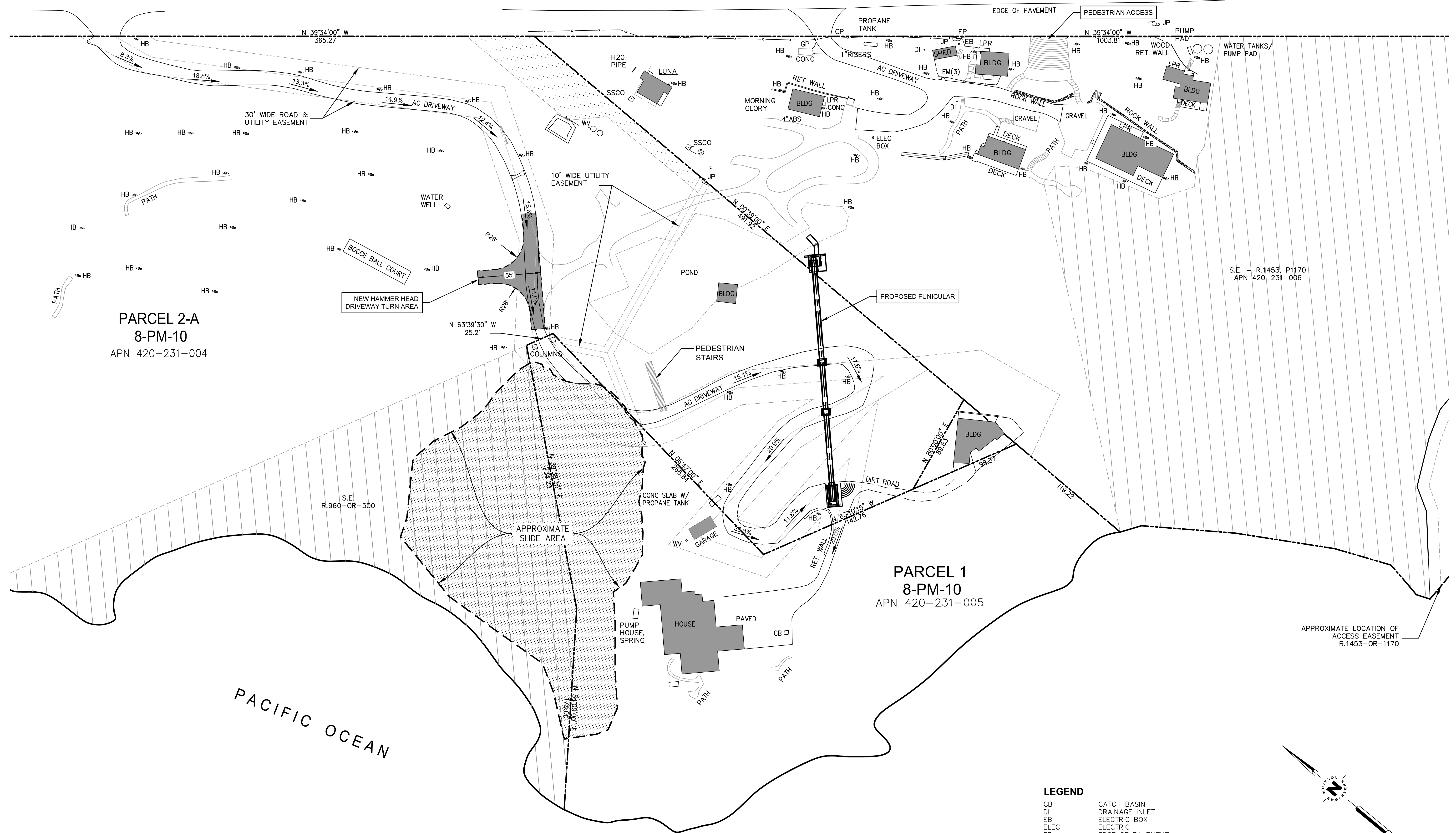
INCHES

SCALE: 1"=40'

1. Goal of the Fuel Management Plan is to create defensible space around the funicular structure through the removal and thinning of vegetation on the parcel and developing new planting concepts using fire-wise landscaping and habitat restoration.
2. Fuel modification is to be accomplished through the removal of highly flammable and dead vegetation around the proposed structure, thinning of additional vegetation and fire-wise landscaping with low-fuel native plant materials.
3. The Fuel Management Zones are specific to the areas where vegetation has been removed or modified in a manner that increases the likelihood that structures will survive wild fires, improve the defensible space around the structure needed for firefighting activities, and prevents direct flame contact with structures. Fuel Management Zones are created to protect structures from wildfire by reducing the amount of fuel available for a wildfire. The reduction in available fuel affects the flame lengths and amount of heat produced by the fire, as well as eliminating those areas in landscape where embers can ignite vegetation.
4. Vegetation in the mixed understory landscape at the 53810 Highway One parcel in Big Sur should be maintained by the reduction of fuel ladders, the use of new fire-wise landscaping, and removal of dead limbs and other ground-laying flammable debris. To retain soil structure and reduce erosion potential, complete vegetation clearance and removal should be avoided. The retention of root structures and groundcover or mulching is critical to soil stabilization. Efforts should be made to maintain as much of the existing native understory herbaceous vegetation as possible. Native plants are better adapted to the site and provide important wildlife habitat and protection from erosion.
5. The restoration zone surrounding the proposed funicular is located within the SETBACK ZONE (the area within 30' of a structure). This zone surrounding the proposed structure should remain free of high-fuel plant materials. Any future plantings in this zone should be high in fuel moisture and low in available fuel; these plant types will be more resistant to fire than those that contain dead material, volatile oils or resins, and low fuel moisture.
6. Any future restoration landscape plantings should be installed by carefully spacing shrubs and trees, utilizing low groundcovers or mulch, and reducing mass plantings. Plants must be spaced so that fire cannot spread horizontally or vertically (by way of a fuel ladder) from plant to plant. Future treatments around structures should offer protection from intense flames through the use of properly maintained irrigated plants with high moisture content, through walkways, gravel/stone, or paved surfaces. Vines or other climbing plants attached to structures should not be allowed as vines can provide a receptive fuel directly on to the structure.
7. Trees within the SETBACK ZONE and THINNING ZONE (the area from 30' to 100' of a structure) should be treated by removing dead ground material and deadwood tree limbs to reduce fuel loads. Live tree limbs should be pruned up to at least 6-feet above the bare soils and a minimum 3X the height of underlying plants.
8. Existing shrubs within the SETBACK ZONE and THINNING ZONE should be thinned to avoid mass groupings. Thinning is encouraged along the lower portions of the plant so the plant has open space above the ground and the shrub canopy. Large shrubs and groups of shrubs should have at least 10 to 15-feet of open space between the edges of adjoining canopies if the shrubs are aligned horizontally within the pine understory.
9. Low-fuel groundcover herbaceous native plant materials within the THINNING ZONE should be encouraged by removing dead tree limb debris on the ground, thinning any large shrubs, and systematic removal of any invasive exotic species that may encroach the site.
10. The Fuel Modification Plan does not extend to areas outside the subject parcel, however the owner is encouraged to collaborate with adjacent private landowners and agencies to extend fuel modifications in ways that benefit everyone in the community.
11. Fuel Management Plans are not static as the landscape and natural vegetation will continue to change over time. Long-term maintenance is required to ensure that defensible space is maintained and should include vegetation and structural management. In addition to the prescriptions described above, the roof gutters should be maintained to be free of leaves, pine needles, cypress duff and other vegetative debris, deadwood pruning should continue yearly especially with any tree adjacent to the residence that overhangs the roof, maintain any chimney or stove pipe flue-screening for optimum performance and trim all tree limbs with 10-foot of the outlet, and ensure house numbers are posted per Fire Department requirements.

SHEET C-07 OF 7	HILL HIKER - BIG SUR		CALIFORNIA		REVISIONS: NO. BY: DATE: DESCRIPTION: NO. BY: DATE: DESCRIPTION: NO. BY: DATE: DESCRIPTION:
	MONTEREY COUNTY				
FUEL MANAGEMENT PLAN		 WHITSON ENGINEERS 6 Harris Court • Monterey, CA 93940 831 649-5225 • Fax 831 373-5065		DATE: 2/28/18 SCALE: AS SHOWN ENGR: RPW JOB NO.: 3738	
53810 HIGHWAY ONE, BIG SUR, CA		CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT			
IMPROVEMENT PLANS					

CALIFORNIA STATE HIGHWAY NO. 1



EMERGENCY ACCESS PLAN

SCALE: 1"=40'

LEGEND

CB	CATCH BASIN
DI	DRAINAGE INLET
EB	ELECTRIC BOX
ELEC	ELECTRIC
EP	EDGE OF PAVEMENT
GP	GATE POST
H.B.	HOSEBIB
JP	JOINT POLE
LPR	LP RISER
RET	RETAINING
WV	WATER VALVE

12.4%

SLOPE

NO.	BY:	DATE:	DESCRIPTION:

3/05/18
SCALE:
AS SHOWN



WE **WHITSON ENGINEERS**
 611 Lewis Court, Monterey, CA 93940
 (408) 241-5795

CALIFORNIA

HILL HIKER - BIG SUR

MONTEREY COUNTY

SHEET

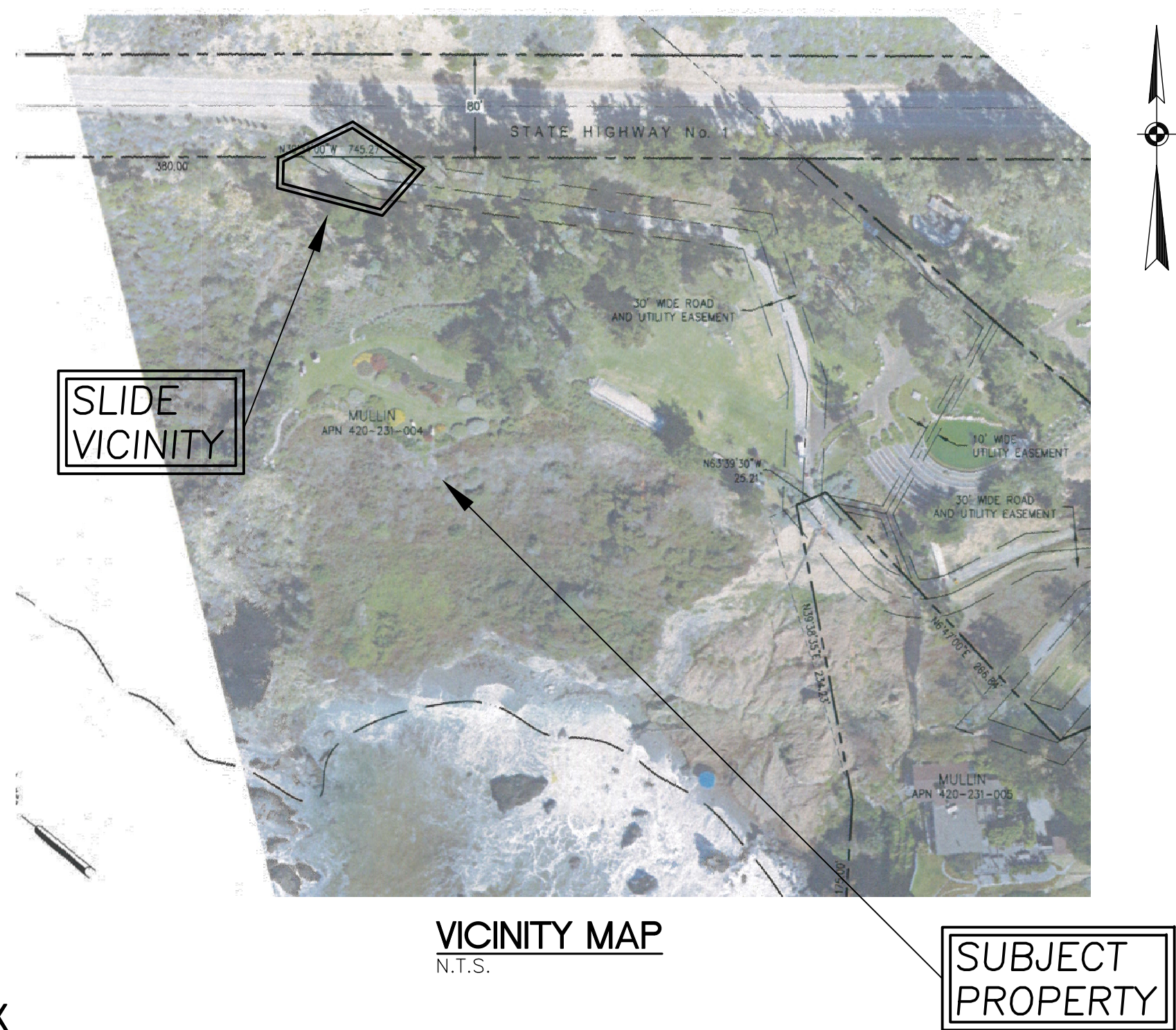
C-08

OF 8

2 INCHES

HIGHWAY ONE ACCESS AND DRIVEWAY REPAIR

53810 HIGHWAY ONE
BIG SUR, CALIFORNIA 93920
APN 420-231-004



VICINITY MAP
N.T.S.

SUBJECT
PROPERTY

SHEET INDEX

- C1 TITLE SHEET
- C2 RETAINING WALL SITE PLAN
- C3 RETAINING WALL ELEVATION
- C3 SOLDIER PILE DETAIL
- C4 SOLDIER PILE SECTIONS
- C5 NOTES

GENERAL NOTES

- ELEVATION DATUM: ASSUMED DATUM
- BASIS OF BEARINGS: GOOGLE EARTH
- CONTOUR INTERVAL IS FIVE FOOT. ELEVATIONS AND DISTANCES SHOWN ARE IN DECIMAL FEET.
- GEOTECHNICAL REPORT AND CIVIL PLANS/DESIGNS PREPARED BY:
HARO, KASUNICH AND ASSOCIATES, INC.
116 EAST LAKE AVE.
WATSONVILLE, CA 95076
PROJECT NO.: SC9296
- OWNER:
PETER MULLIN
53810 HIGHWAY ONE
BIG SUR, CALIFORNIA 93920
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE 2015 EDITION OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS PLANS, ISSUED BY THE DEPARTMENT OF TRANSPORTATION.

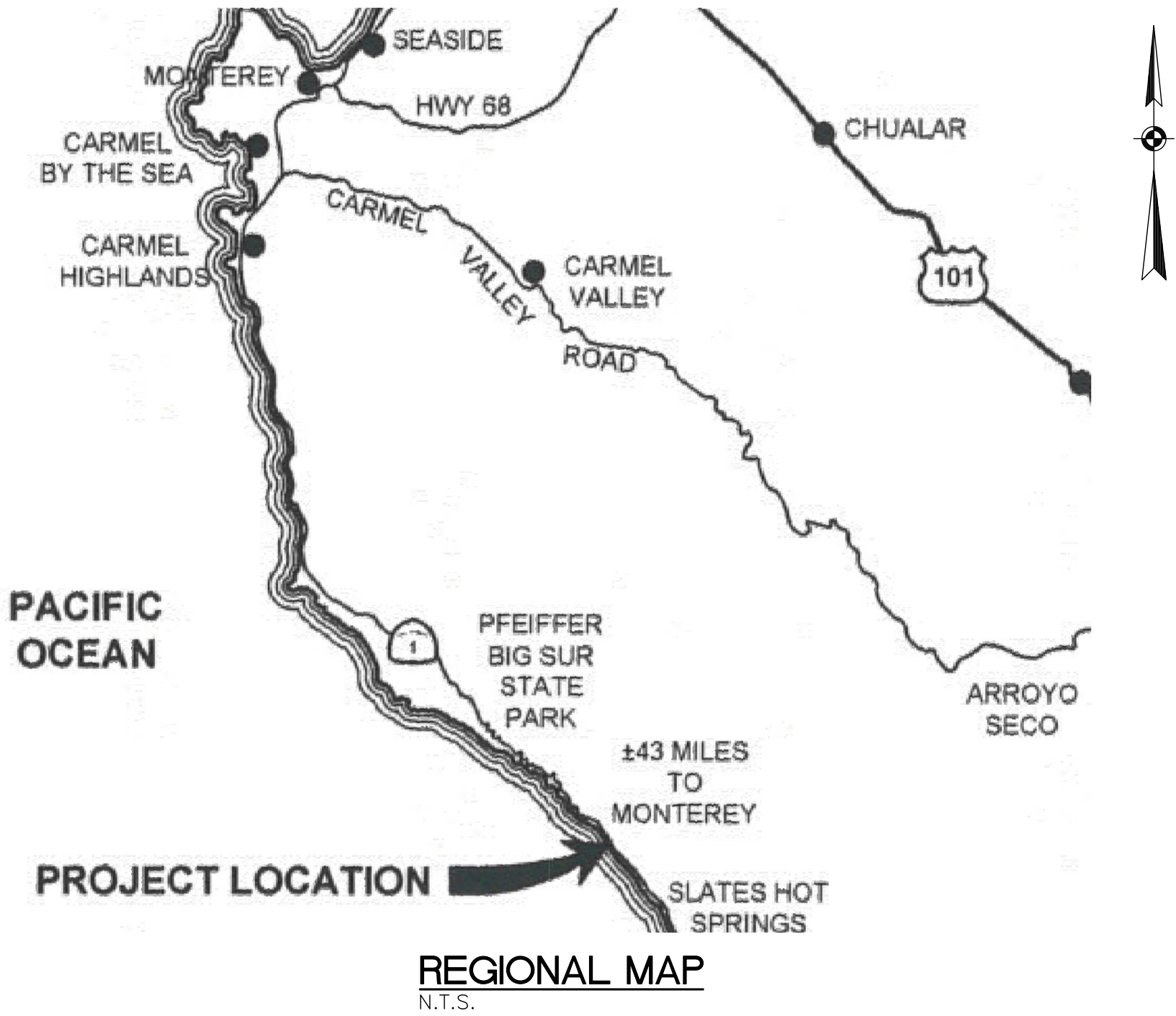
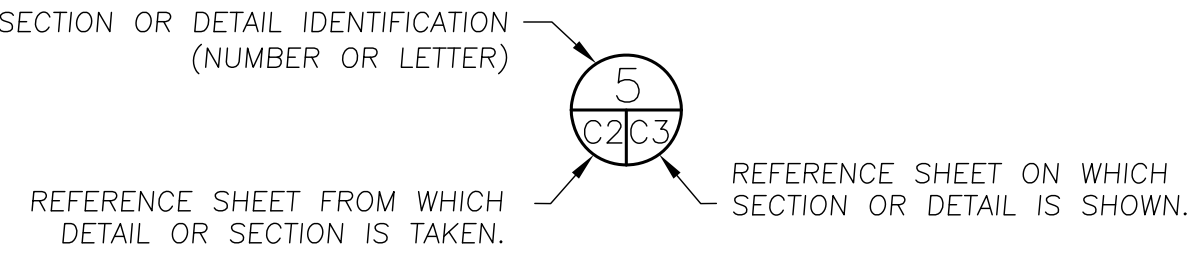
ABBREVIATIONS

AVG.	AVERAGE
CC	CONCRETE
CY	CUBIC YARDS
DIA.	DIAMETER
E	EXISTING
EG	EXISTING GROUND
ELEV.	ELEVATION
FG	FINISHED GRADE
FT	FEET
INV	INVERT
IN	INCH
MIN.	MINIMUM
N	NEW
NTS	NOT TO SCALE
O.C.	ON CENTER
SF	SQUARE FOOT
T	TREE
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL

PROJECT DESCRIPTION

THESE DRAWINGS PROVIDE DETAILS FOR THE IMMEDIATE CONSTRUCTION OF A SOLDIER PILE RETAINING WALL TO MAINTAIN ACCESS TO THE PROPERTY. PORTIONS OF THE SLOPE SUPPORTING THE ROADWAY LEADING TO THE RESIDENCE SLID DURING THE WINTER STORMS OF 2016-2017. THE NEW APPROXIMATELY 36 TO 40 - FOOT LONG RETAINING WALL WILL CONSIST OF WIDE FLANGE BEAMS ENCASED IN CONCRETE PIERS, CAST-IN-PLACE CONCRETE LAGGING, AND DRAINAGE MATERIAL.

SECTION AND DETAIL CONVENTION



REGIONAL MAP
N.T.S.



BY	REVISION	DATE

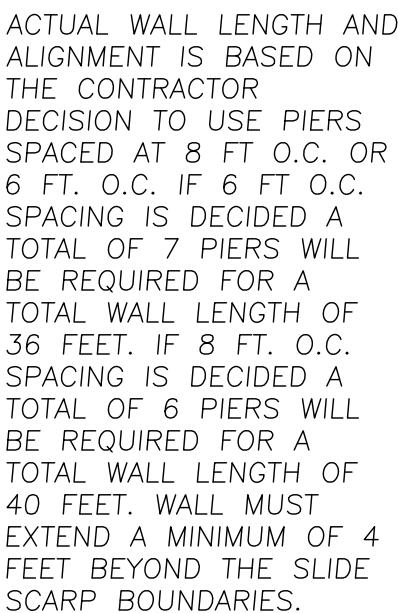
HARO, KASUNICH & ASSOCIATES
GEOTECHNICAL AND COASTAL ENGINEERS
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076
(831) 722 4175 PHONE AND (831) 722-3202 FAX

TITLE SHEET
PETER MULLIN
53810 HIGHWAY ONE
BIG SUR, CA 93920

PROJECT:	SC6365
DATE:	5/8/18
DESIGN:	AK
DRAWN:	AJB
SCALE:	AS SHOWN



C1



ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY HARO, KASUNICH AND ASSOCIATES, INC. (HKA) PROJECT NO. SC6365 AND THE REQUIREMENTS OF THE COUNTY OF MONTEREY.

2. THE NEW RETAINING WALLS SHOULD BE SUPPORTED BY SOLIDER PILES EMBEDDED INTO THE NATIVE SOIL WITH 18" - 24" DIAMETER CONCRETE FILLED SHAFTS.
3. DETERMINING THE EXISTENCE, LOCATION, AND DEPTH OF UNDERGROUND UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. THIS SHOULD BE DONE PRIOR TO COMMENCEMENT OF WORK. THE ENGINEER SHOULD BE NOTIFIED IF ANY DISCREPANCIES OR CONFLICTS ARE ENCOUNTERED.
4. ALL WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREIN OR CONTAINED IN THE GEOTECHNICAL REPORT.
5. SHAFTS SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT OF SOLIDER PILES.
6. HKA SHALL BE NOTIFIED AT LEAST (4) WORKING DAYS BEFORE BEGINNING WORK AT TELEPHONE NUMBER (831)722-4175, EXT. 104. HKA SHALL NOT BE RESPONSIBLE FOR WORK THAT HAS NOT BEEN OBSERVED AND DOCUMENTED BY HKA.
7. THE CONTRACTOR SHALL OBTAIN INSPECTION OF ALL WORK BY THE CONTROLLING AGENCY.
8. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGIST RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES), WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY - PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY (PLANNING).
9. IF DISCREPANCIES ARE DISCOVERED BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
10. PROTECT TREES ADJACENT TO PROJECT FROM POTENTIAL DAMAGE.
11. NO MATERIAL WILL BE HAULED OFFSITE. ALL MATERIAL ONSITE WILL BE RE-PURPOSED AS ENGINEERED FILL. NO HAUL ROUTE IS SHOWN.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BE FULLY INFORMED OF AND TO COMPLY WITH ALL LAWS, ORDINANCES, CODES, REQUIREMENTS AND STANDARDS WHICH IN ANY MANNER AFFECT THE COURSE OF CONSTRUCTION OF THIS PROJECT, THOSE ENGAGED OR EMPLOYED IN THE CONSTRUCTION AND THE MATERIALS USED IN THE CONSTRUCTION.
13. ANY TESTS, INSPECTIONS, SPECIAL OR OTHERWISE, THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR THESE PLANS, SHALL BE DONE BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN OFFICIAL INSPECTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE REQUIRED TESTS AND INSPECTIONS ARE PERFORMED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, PERMITTING, INSTALLATION, AND MAINTENANCE OF ANY AND ALL TRAFFIC CONTROL MEASURES DEEMED NECESSARY.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL SAFETY DURING CONSTRUCTION. ALL WORK SHALL CONFORM TO PERTINENT SAFETY REGULATIONS AND CODES. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR FURNISHING, INSTALLING, AND MAINTAINING ALL WARNING SIGNS AND DEVICES NECESSARY TO SAFEGUARD THE GENERAL PUBLIC AND THE WORK, AND PROVIDE FOR THE PROPER AND SAFE ROUTING OF VEHICULAR AND PEDESTRIAN TRAFFIC DURING THE PERFORMANCE OF THE WORK.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND LAYOUT, UNLESS OTHERWISE SPECIFIED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL SURVEY MONUMENTS OR PROPERTY CORNERS. DISTURBED MONUMENTS SHALL BE RESTORED BACK TO THEIR ORIGINAL LOCATION AND SHALL BE CERTIFIED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR AT THE SOLE EXPENSE OF THE CONTRACTOR.
18. EXISTING UNDERGROUND UTILITY LOCATIONS:
 - A. CALL UNDERGROUND SERVICE ALERT (811) TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO COMMENCING CONSTRUCTION.
 - B. PRIOR TO BEGINNING WORK, CONTACT ALL UTILITIES COMPANIES WITH REGARD TO WORKING OVER, UNDER, OR AROUND EXISTING FACILITIES AND TO OBTAIN INFORMATION REGARDING RESTRICTIONS THAT ARE REQUIRED TO PREVENT DAMAGE TO THE FACILITIES.
 - C. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE LOCATION AND/OR PROTECTION OF ALL EXISTING AND PROPOSED PIPING, UTILITIES, TRAFFIC SIGNAL EQUIPMENT (BOTH ABOVE GROUND AND BELOW GROUND), STRUCTURES, AND ALL OTHER EXISTING IMPROVEMENTS THROUGHOUT CONSTRUCTION.
 - D. PRIOR TO COMMENCING FABRICATION OR CONSTRUCTION, DISCOVER OR VERIFY THE ACTUAL DIMENSIONS, SIZES, MATERIALS, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES AND POTHOLE THOSE AREAS WHERE POTENTIAL CONFLICTS ARE LIKELY OR DATA IS OTHERWISE INCOMPLETE.
 - E. TAKE APPROPRIATE MEASURES TO PROTECT EXISTING UTILITIES DURING CONSTRUCTION OPERATIONS. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COST OF REPAIR/REPLACEMENT OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
 - F. UPON LEARNING OF THE EXISTENCE AND/OR LOCATIONS OF ANY UNDERGROUND FACILITIES NOT SHOWN OR SHOWN INACCUATELY ON THE PLANS OR NOT PROPERLY MARKED BY THE UTILITY OWNER, IMMEDIATELY NOTIFY THE UTILITY OWNER AND THE CITY BY TELEPHONE AND IN WRITING.
 - G. UTILITY RELOCATIONS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT FACILITIES WILL BE PERFORMED BY THE UTILITY COMPANY, UNLESS OTHERWISE NOTED.

DIMENSIONS

30. DIMENSIONS UNLESS OTHERWISE SHOWN ARE TO THE CENTER OF COLUMNS AND BEAMS.
31. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. PLEASE NOTIFY HKA OF ANY DIMENSION VARIATIONS PRIOR TO THE START OF CONSTRUCTION.

CONCRETE

32. CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-11 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
33. ALL CONCRETE SHALL BE REGULAR WEIGHT HARD ROCK AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI. USE TYPE II CEMENT ASTM C150 MAX. AGGREGATE SIZE 3".
34. DO NOT BACKFILL WALL UNTIL CONCRETE HAS REACHED IT'S STRENGTH, OTHERWISE USE FAST SETTING CONCRETE WITH ENGINEER'S APPROVAL.

LUMBER

35. USE PRESSURE TREATED DOUGLAS FIR #2 TIMBER LAGGING (AWPA USE CATEGORY UC4B GROUND CONTACT HEAVY DUTY). SEE RETAINING WALL SCHEDULE FOR SIZE. PRESSURE TREATMENT TO CONFORM WITH CALTRANS SECTION 58-1.02 (AWPA STANDARD C14).
36. SPACE LAGGING BOARDS VERTICALLY BY L 1/4" TO ALLOW FOR DRAINAGE.

STEEL

37. USE A50 (Fy=50KSI) STEEL.

DATE	REVISION	BY

HARO, KASUNICH & ASSOCIATES
GEOTECHNICAL AND COASTAL ENGINEERS
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95070
(831) 722 4175 PHONE AND (831) 722-3202 FAX

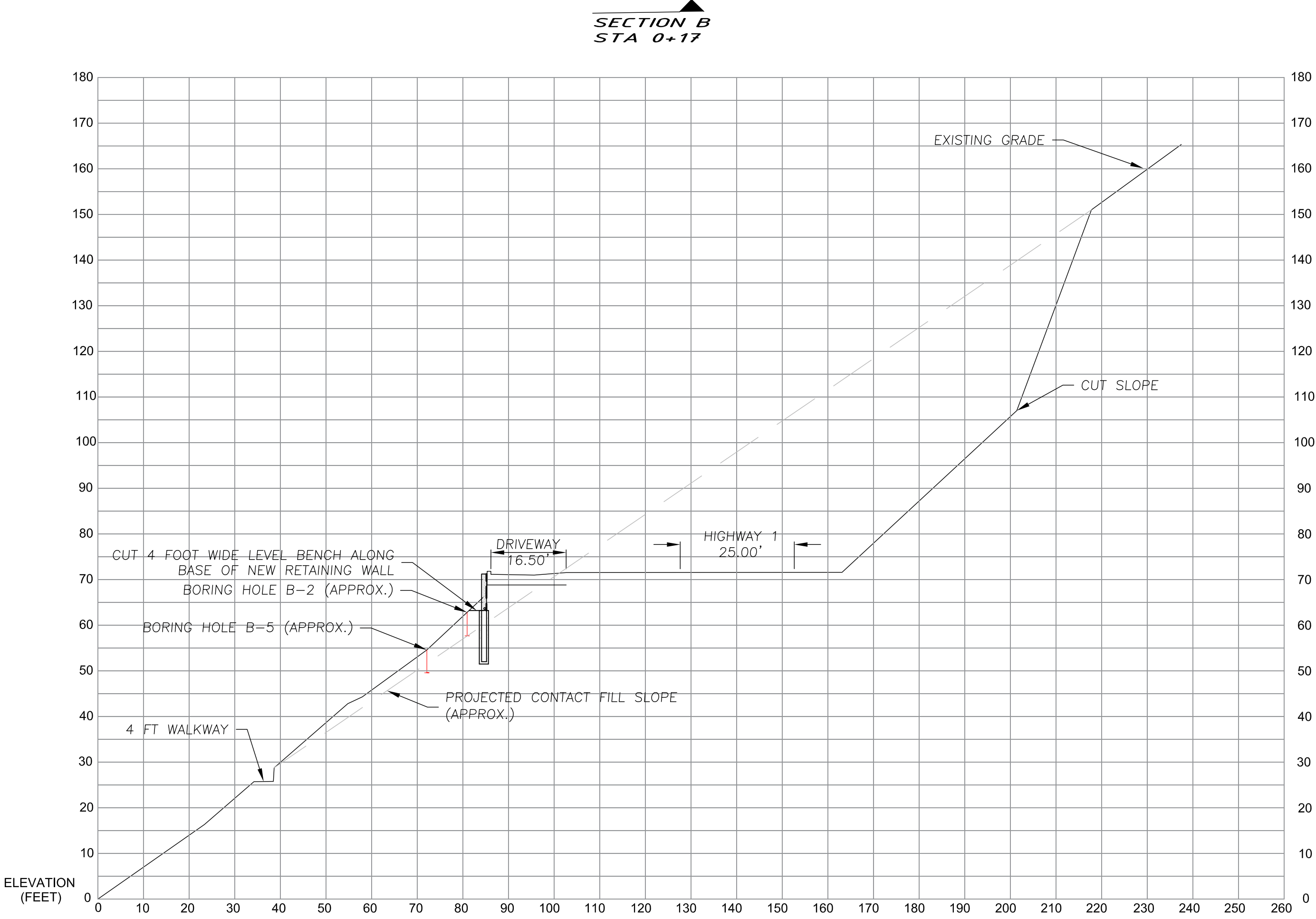
RETAINING WALL SITE PLAN

PETER MULLIN
53810 HIGHWAY ONE
BIG SUR, CA 93920

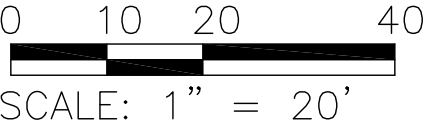
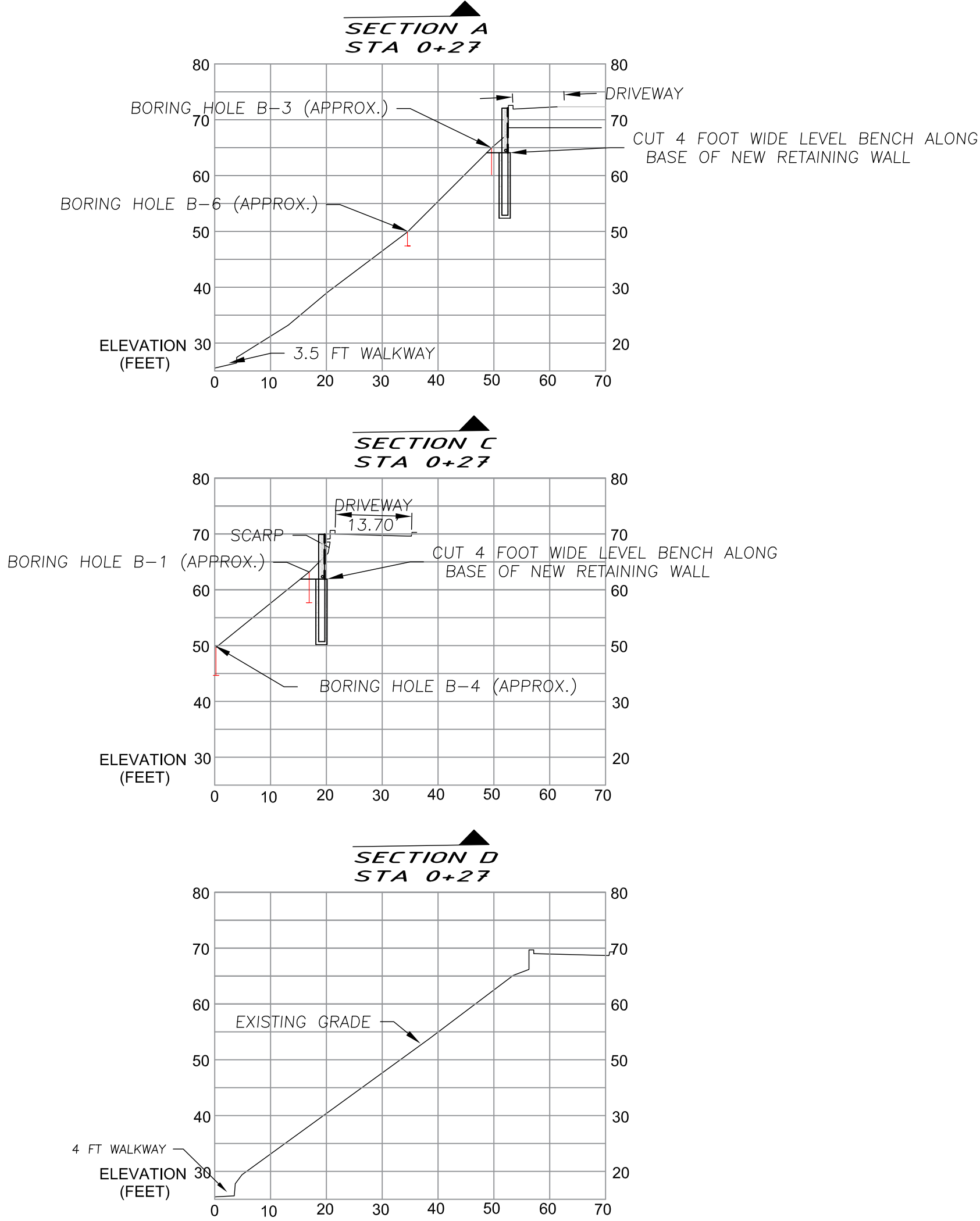
PROJECT:	SC6365
DATE:	5/8/18
DESIGN:	AK
DRAWN:	AJB
SCALE:	1" = 5'

C2





CROSS SECTIONS
SCALE: 1" = 20'



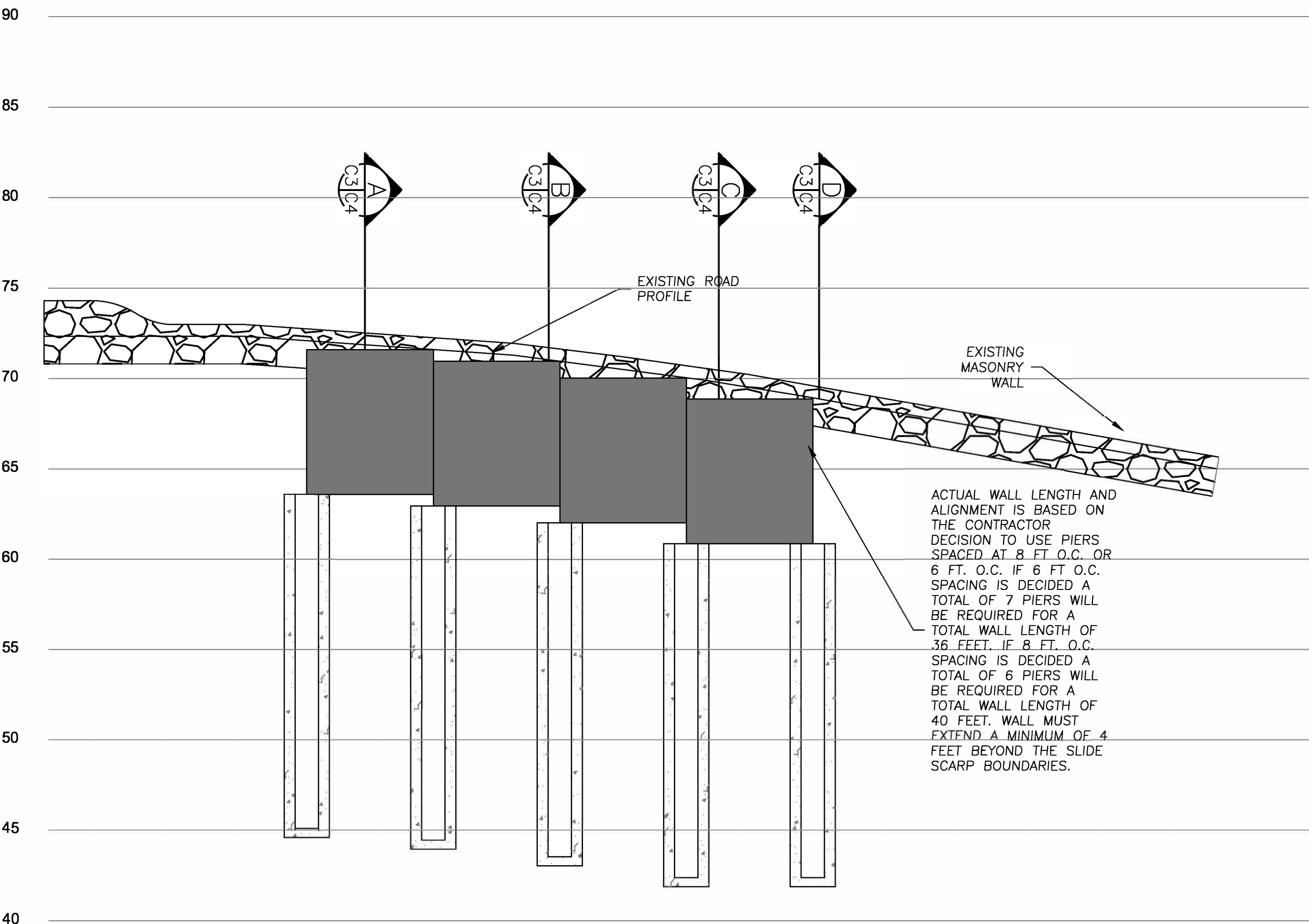
DATE	REVISION	BY

HARO, KASUNICH & ASSOCIATES
GEOTECHNICAL AND COASTAL ENGINEERS
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076
(831) 722 4175 PHONE AND (831) 722-3202 FAX

EXISTING WALL SECTIONS
PETER MULLIN
58810 HIGHWAY ONE
BIG SUR, CA 93920

PROJECT:	SC6365
DATE:	5/8/18
DESIGN:	AK
DRAWN:	AJB
SCALE:	1" = 20'

C4

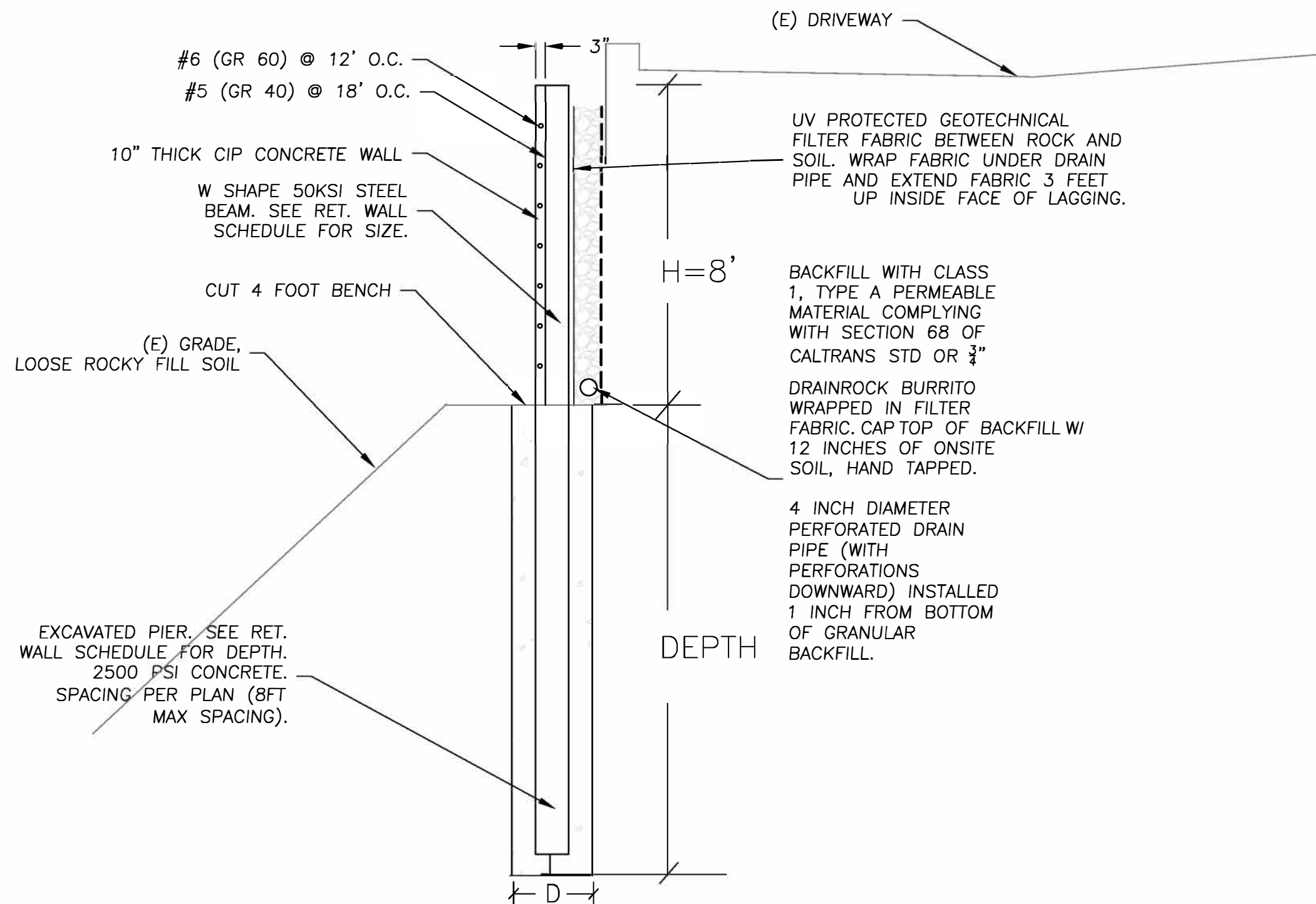


0 5 10
SCALE: 1" = 5'

RETAINING WALL ELEVATION
SCALE: 1" = 5'

TYPICAL RETAINING WALL SCHEDULE

HEIGHT = 8 FT	SPACING	DEPTH (FT)	STEEL BEAM SHAPE (Fy = 50 ksi)
18" DIAMETER PIER	8 FT O.C.	19	W10X49
	6 FT O.C.	17	W10X39
24" DIAMETER PIER	8 FT O.C.	17	W16X31
	6 FT O.C.	16	W14X26



SOLDIER PILE DETAIL
SCALE: 1" = 6'

0 3 6
SCALE: 1" = 6'



DATE	REVISION	BY

HARO, KASUNICH & ASSOCIATES
GEOTECHNICAL AND COASTAL ENGINEERS
116 EAST LAKE AVENUE, WATSONVILLE, CALIFORNIA 95076
(831) 722 4175 PHONE AND (831) 722-3202 FAX

**RETAINING WALL ELEVATION
SOLDIER PILE DETAIL**
PETER MULLIN
58810 HIGHWAY ONE
BIG SUR, CA 93920

PROJECT:	SC6365
DATE:	5/8/18
DESIGN:	AK
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SCALE:	AS SHOWN

C3

SPECIAL TESTS AND INSPECTION SCHEDULE		
THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2016 CBC 1704.7. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.		
ITEM	REQ.	REMARKS
PIER EXCAVATIONS	YES	BY SOIL ENGINEER / PERIODIC
SUBGRADE /FINISH GRADE PREPARATION	YES	BY SOIL ENGINEER / PERIODIC
CLASSIFICATION OF FILL MATERIAL	YES	BY SOIL ENGINEER / PERIODIC
OBSERVATION OF FILL MATERIAL/MECHANICAL TAMPING	YES	BY SOIL ENGINEER / PERIODIC

SOILS ENGINEER TO PROVIDE OBSERVATION DURING GRADING AND FOUNDATION PHASE OF CONSTRUCTION
HARO KASUNICH AND ASSOCIATES 831-722-4175, EXT. 7

EARTHWORK NOTES:

- A REPRESENTATIVE OF HARO, KASUNICH & ASSOCIATES SHOULD OBSERVE SHAFT DRILLING OPERATIONS, EMBEDMENT DEPTH OF THE STEEL BEAMS, INSTALLATION OF LAGGING, AND PLACEMENT OF DRAINAGE MATERIALS BEHIND THE RETAINING WALL.
- ALL GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION AND WITH THE APPLICABLE REQUIREMENTS OF THE MONTEREY COUNTY GRADING ORDINANCE.
PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL BE FAMILIAR WITH THE GEOTECHNICAL INVESTIGATION. IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND MAKE HIS OWN INTERPRETATIONS WITH REGARD TO MATERIALS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT.
- FINE GRADING ELEVATIONS AND SLOPES NOT SHOWN SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD TO OBTAIN DRAINAGE IN THE DIRECTION INDICATED. ALL FINAL GRADING SHALL BE SUBJECT TO APPROVAL OF THE ENGINEER.
- BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED IN THIN LIFTS IN GOOD WORKMANSHIP MANNER ON HORIZONTAL BENCHES ON FIRM NATIVE GROUND. ORGANIC MATERIAL MUST FIRST BE REMOVED PRIOR TO PLACING FILL.
- THE OWNER/CLIENT AND THE CONTRACTOR SHOULD MAKE THEMSELVES AWARE OF, AND BECOME FAMILIAR WITH, APPLICABLE LOCAL, STATE AND FEDERAL SAFETY REGULATIONS, EXCAVATION AND TRENCH SAFETY STANDARDS. CONSTRUCTION SITE SAFETY AND TEMPORARY SHORING GENERALLY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL ALSO BE SOLELY RESPONSIBLE FOR THE MEANS AND METHODS, AND SEQUENCING OF CONSTRUCTION OPERATIONS. UNDER NO CIRCUMSTANCES SHOULD THE INFORMATION PROVIDED BELOW BE INTERPRETED TO MEAN THAT HKA IS ASSUMING RESPONSIBILITY FOR CONSTRUCTION SITE SAFETY FOR THE CONTRACTORS' ACTIVITIES; SUCH RESPONSIBILITY IS NOT IMPLIED AND SHOULD NOT BE INFERRED.
- EXCAVATIONS MAY BE SUSCEPTIBLE TO SPALLING AND SLOUGHING. PROTECTION AND SAFETY OF WORKERS WILL BE A KEY ELEMENT THROUGHOUT CONSTRUCTION. EXCAVATION SHOULD NOT BE PERFORMED IN INCLEMENT WEATHER. EXCAVATIONS SHOULD NOT REMAIN OPEN FOR LENGTHY PERIODS OF TIME OR EXPOSED TO RUNOFF.
- EXCAVATIONS MAY BE SLOPED OR STEPPED BACK AT A 1:1 (H:V) GRADIENT FOR HEIGHTS UP TO 10 FEET, IN THE DRY CONDITION. VERTICAL CUTS AND BENCHES SHOULD BE NO MORE THAN 8 FEET IN DIMENSION IN THE DRY CONDITION. THESE GRADIENTS AND DIMENSIONS MUST BE CONFIRMED IN THE FIELD DURING INITIAL GRADING PRIOR TO CUTTING.
- SLOPE FINAL GRADE TO PROPER DRAINAGE. DO NOT ALLOW RUNOFF OVER SLOPE.

DUST CONTROL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS DUST CONTROL, THROUGHOUT THE CONSTRUCTION, IN ACCORDANCE WITH THE PERMIT CONDITIONS OF APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REGULAR CLEANING OF ALL MUD, DIRT, DEBRIS, ETC., FROM ANY AND ALL ADJACENT ROADS AND SIDEWALKS, AT LEAST ONCE EVERY 24 HOURS WHEN OPERATIONS ARE OCCURRING.
- ALL DISTURBED AREAS, INCLUDING UNPAVED ACCESS ROADS OR STORAGE PILES, NOT BEING ACTIVELY UTILIZED FOR CONSTRUCTION PURPOSES, SHALL BE EFFECTIVELY STABILIZED OF DUST EMISSIONS USING WATER, CHEMICAL STABILIZER/SUPPRESSANT, OR VEGETATIVE GROUND COVER.
- ALL GROUND-DISTURBING ACTIVITIES (E.G., CLEARING, GRUBBING, SCRAPING, AND EXCAVATION) SHALL BE EFFECTIVELY CONTROLLED OF FUGITIVE DUST EMISSIONS UTILIZING APPLICATION OF WATER OR BY PRE-SOAKING.
- ALL MATERIALS TRANSPORTED OFFSITE SHALL BE COVERED OR EFFECTIVELY WETTED TO LIMIT DUST EMISSIONS.
- FOLLOWING THE ADDITION OF MATERIALS TO, OR THE REMOVAL OF MATERIALS FROM, THE SURFACES OF OUTDOOR STORAGE PILES, SAID PILES SHALL BE EFFECTIVELY STABILIZED OF FUGITIVE DUST EMISSIONS UTILIZING SUFFICIENT WATER OR CHEMICAL STABILIZER/SUPPRESANT.
- ONSITE VEHICLE SPEED ON UNPAVED SURFACES SHALL BE LIMITED TO 10 MPH.
- DISTURBED AREAS SHALL BE SEEDED PRIOR TO OCTOBER 15TH OR EARLIER AS REQUIRED BY THE APPLICABLE PERMIT CONDITIONS.

EROSION CONTROL NOTES

- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION, SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 15 THROUGH APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES.
- THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRAINAGE PROCEDURES DURING THE CONSTRUCTION PROCESS TO ELIMINATE EXCESSIVE PONDING AND EROSION.
- CONSTRUCT AND MAINTAIN EROSION CONTROL MEASURES TO PREVENT THE DISCHARGE OF EARTHEN MATERIALS TO WATERCOURSES FROM DISTURBED AREAS UNDER CONSTRUCTION AND FROM COMPLETED CONSTRUCTION AREAS.
- INSTALL ALL PROTECTIVE DEVICES AT THE END OF EACH WORK DAY WHEN THE FIVE-DAY RAIN PROBABILITY EQUALS OR EXCEEDS 50 PERCENT AS DETERMINED FROM THE NATIONAL WEATHER SERVICE FORECAST OFFICE: WWW.SRH.NOAA.GOV.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM INLETS, CATCH BASINS, SILT FENCES, FIBER ROLLS, ETC. AND INSPECTED FOR ANY DAMAGE. REPAIR ANY BMP THAT IS DAMAGED OR NOT FUNCTIONING.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP IN FORCE ALL EROSION CONTROL DEVICES AND TO MODIFY THOSE DEVICES AS SITE PROGRESS DICTATES.
- THE CONTRACTOR SHALL MONITOR THE EROSION CONTROL DEVICES DURING STORMS AND MODIFY THEM IN ORDER TO PREVENT PROGRESS OF ANY ONGOING EROSION.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ANY EROSION OR DEBRIS SPILLING ONTO A PUBLIC STREET.
- CONTRACTOR SHALL BE FAMILIAR WITH THE CONDITIONS OF APPROVAL OF ALL REQUIRED PROJECT PERMITS AND SHALL IMPLEMENT ALL REQUIRED BMP'S PRIOR TO COMMENCING GRADING OPERATIONS.
- PROTECT AND PRESERVE TOPSOIL TO MINIMIZE EROSION AND RETAIN INFILTRATION CAPACITY.
- MINIMIZE LAND DISTURBANCE SUCH AS CUTS AND FILLS. STABILIZE SLOPES AND ALL DISTURBED AREAS AS SOON AS GRADING IS FINISHED OR CUT-AND-FILLS ARE MADE.
- COVER BARE SOILS AND SLOPES AS SOON AS POSSIBLE. USE ONE OR MORE OF THE FOLLOWING TO REDUCE THE EROSION POTENTIAL FROM BARE, EXPOSED, OR DISTURBED SOIL: ROLLED EROSION CONTROL PRODUCTS (E.G. FILTER FABRIC, EROSION CONTROL BLANKETS, GEOTEXTILES), HYDRAULIC MULCH OR HYDROSEEDING, STRAW OR WOOD MULCH, SEEDING, VEGETATION PLANTING, OR OTHER APPROPRIATE COVER MATERIAL.
- ESTABLISH A UNIFORM VEGETATIVE COVER WITH A MINIMUM OF 70 PERCENT COVERAGE.
- PROPERLY INSTALL AND MAINTAIN ALL ON-SITE EROSION CONTROL MEASURES AND STRUCTURAL DEVICES, BOTH TEMPORARY AND PERMANENT. PROMPTLY REPAIR OR REINSTALL ANY EROSION CONTROL MEASURES AND STRUCTURAL DEVICES THAT WERE DAMAGED DURING CONSTRUCTION AND MAINTAIN THEM SO THAT THEY DO NOT BECOME NUISANCES WITH STAGNANT WATER, ODORS, INSECT BREEDING, HEAVY ALGAE GROWTH, DEBRIS, AND/OR SAFETY HAZARDS.

SEDIMENT CONTROL NOTES:

- USE FIBER ROLLS DOWNSLOPE AS PERIMETER CONTROL TO PREVENT SEDIMENT FROM LEAVING THE SITE DURING THE WINTER SEASON. FIBER ROLLS ARE APPROPRIATE IN COMBINATION WITH EROSION CONTROL COVER ON SLOPES TO SHORTEN SLOPE LENGTH AND SPREAD RUNOFF AS SHEET FLOW.
- SILT FENCES ARE NOT APPROPRIATE IN CONCENTRATED RUNOFF FLOW AREAS (STREAMS, SWALES, GULLIES, ETC.), IN AREAS WHERE FLOODING IS A CONCERN, OR ALONG SLOPES.
- LONG-TERM SEDIMENT CONTROL MEASURES ARE REQUIRED TO ENSURE THAT EROSION AND SEDIMENTATION DO NOT BECOME AN ISSUE ONCE THE PROJECT IS COMPLETED. THE FOLLOWING MEASURES CAN BE EFFECTIVE FOR LONG TERM SEDIMENT CONTROL ONCE THE PLANTINGS AND ROOTS HAVE GROWN TO SUFFICIENT SIZE:
 - SEEDING SLOPES BY HYDRO-SEEDING OR WITH SEEDED BLANKETS; PREFERABLY USING NATIVE SEEDS WITH WINTER BARLEY OR OATS.
 - LANDSCAPING WITH PLANT SPECIES THAT GROW RAPIDLY AND HAVE ROOT SYSTEMS THAT ARE EFFECTIVE AT "HOLDING" SOIL

SITE HOUSEKEEPING NOTES

- EQUIPMENT AND VEHICLE MAINTENANCE AND CLEANING
- INSPECT EQUIPMENT AND VEHICLES FREQUENTLY AND REPAIR ANY LEAKS AS SOON AS POSSIBLE. CONTAIN AND CLEAN UP LEAKS, SPILLS, AND DRIPS OF HAZARDOUS MATERIALS AND CHEMICALS AS QUICKLY AS POSSIBLE TO MINIMIZE RUN-OFF OR SOAK IN. THIS INCLUDES FUEL AND MOTOR OIL, HYDRAULIC FLUID, AND GLYCOL BASED ANTI-FREEZE FROM VEHICLES. USE DRY CLEANUP METHODS IF POSSIBLE. PERFORM MAJOR MAINTENANCE AND REPAIRS OFF-SITE.
 - IF REPAIR OR REFUELING OF VEHICLES AND EQUIPMENT MUST BE DONE ON-SITE, USE A DESIGNATED LOCATION AWAY FROM STORM DRAIN INLETS, WATER BODIES, AND OTHER SENSITIVE AREAS.
 - IF EQUIPMENT IS WASHED ON-SITE, WASH WATER MAY NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. IF POSSIBLE, WASH VEHICLES AT AN APPROPRIATE OFF-SITE FACILITY.
 - RECYCLE USED MOTOR OIL, OTHER VEHICLE FLUIDS, AND VEHICLE PARTS WHENEVER POSSIBLE.
- MATERIAL STORAGE AND SOIL STOCKPILES
- LOCATE MATERIAL AND SOIL STOCKPILES AWAY FROM GUTTERS, STORM DRAIN INLETS, AND WATER BODIES. IN ADDITION, KEEP STOCKPILES AWAY FROM STEEP SLOPES AND UNSTABLE SOIL IN ORDER TO MINIMIZE THE CHANCE OF AN ACCIDENTAL RELEASE TO THE ENVIRONMENT.
 - ALL LOOSE STOCKPILED MATERIAL THAT ARE NOT BEING ACTIVELY USED, SHALL BE UNDER COVER AND/OR BERMED AND PROTECTED FROM WIND, RAIN, AND RUNOFF.
 - STORE OPEN BAGS OF PARTICULATE, GRANULAR, OR POWDER MATERIALS (SUCH AS PLASTER OR CONCRETE) INDOORS IF POSSIBLE. IF STORED OUTSIDE, THEY MUST BE COVERED OR CLOSED, AND DURING THE RAINY SEASON THEY MUST BE KEPT WITHIN SECONDARY CONTAINMENT.
 - STORE PAINTS, CHEMICALS, SOLVENTS, AND OTHER HAZARDOUS MATERIALS INSIDE OR WITHIN A SHED WITH DOUBLE CONTAINMENT.
 - KEEP DUMPSTER LIDS CLOSED AND SECURED. FOR DUMPSTERS OR BINS THAT DON'T HAVE A LID, COVER THEM WITH PLASTIC SHEETING OR A TARP DURING RAINY OR WINDY WEATHER.
- WASTE MANAGEMENT: BUILDING MATERIALS, DEMOLITION WASTE, AND VEGETATION
- ONSITE STORAGE OF CONSTRUCTION MATERIALS. STORE WASTES IN CONTAINERS OR A DUMPSTER WHENEVER POSSIBLE. COVER PILES OF UNCONTAINED WASTES AND WASTES STORED IN OPEN CONTAINERS DURING WINDY CONDITIONS AND PRIOR TO SIGNIFICANT FORECASTED RAIN (0.25 INCHES IN A 24-HOUR PERIOD). DO NOT HOSE DUMPSTERS OUT ON THE CONSTRUCTION SITE.
 - USE CONSTRUCTION PRODUCTS MADE FROM OR PACKAGED IN POLYSTYRENE/PLASTIC FOAM IN A MANNER PREVENTING THE POLYSTYRENE/PLASTIC FOAM FROM BEING RELEASED INTO THE ENVIRONMENT.
 - NEVER LEAVE OR ABANDON MATERIALS OR EXCAVATION SPOILS AT A PROJECT SITE. AT THE END OF A CONSTRUCTION PROJECT, COLLECT ALL UNUSED OR WASTE MATERIALS AND DISPOSE OF PROPERLY. DO NOT LEAVE DISCARDED BUILDING MATERIALS, DEMOLITION WASTES, WASTE VEGETATION, SOIL, MULCH, VEGETATION, AND OTHER LANDSCAPE PRODUCTS IN A STREET, GULLY, OR WATERWAY.
- PORTABLE TOILET FACILITIES
- ALL SANITARY WASTES SHALL BE COLLECTED AND MANAGED THROUGH THE USE OF PORTABLE TOILET FACILITIES. ENSURE THAT THE LEASING COMPANY PROPERLY MAINTAINS THE TOILETS AND PROMPTLY MAKES REPAIRS AS NEEDED. CONDUCT VISUAL INSPECTIONS FOR LEAKS.
 - PLACE PORTABLE TOILETS ON A LEVEL SURFACE AND AT A SAFE DISTANCE AWAY FROM PAVED AREAS AND, TO THE EXTENT PRACTICAL, STORM DRAIN INLETS. SECURE THEM TO PREVENT BLOWING OVER.
 - PROVIDE SECONDARY CONTAINMENT FOR PORTABLE TOILETS LOCATED WITHIN 20 FEET OF A STREAM, STORM DRAIN, OR STREET.
 - DURING PUMP-OUT, TAKE APPROPRIATE MEASURES TO AVOID SPILLAGE. IF SPILLAGE OCCURS IT SHALL BE CLEANED UP IMMEDIATELY.
- SITE CLEANUP
- WHEN CLEANING UP, SWEEP WHENEVER POSSIBLE. LITTER AND DEBRIS MUST BE PICKED UP AND DISPOSED OF PROPERLY.
 - IN THE ROADWAY AND/OR ON THE SIDEWALK, MATERIAL STOCKPILES MUST BE REMOVED AND CLEANED UP BY THE END OF EACH DAY.
 - SWEEP AND REMOVE ANY SOLID WASTE THAT ACCUMULATES AT EROSION AND SEDIMENT CONTROL DEVICES AS SOON AS POSSIBLE.
 - DO NOT CLEAN THE STREET, SIDEWALK, OR OTHER PAVED AREAS BY WASHING OR BY DIRECTING SEDIMENT, CONCRETE, ASPHALT, OR OTHER PARTICLES INTO THE STORM DRAIN SYSTEM. IF USING WATER, DIRECT IT TO A LANDSCAPED OR GRASSY AREA LARGE ENOUGH TO ABSORB ALL THE WATER.
- MASONRY AND CONCRETE WORK
- CONCRETE, CEMENT, AND MASONRY PRODUCTS MAY NEVER BE DISCHARGED INTO THE STORM DRAIN SYSTEM. CONCRETE, CEMENT, AND MASONRY MIXING CONTAINERS MAY NOT BE WASHED OR RINSED INTO THE STREET OR STORM DRAIN SYSTEM. IF A CONCRETE TRANSIT MIXER IS USED, A SUITABLE WASHOUT BOX, EXCAVATION OR SELF-WASHING MIXER ABLE TO CONTAIN THE WASTE MATERIAL SHALL BE PROVIDED ON-SITE.
 - DO NOT MIX FRESH CONCRETE OR CEMENT MORTAR IN A GUTTER, OVER A STORM DRAIN INLET, OR IMMEDIATELY ADJACENT TO A WATER BODY.
 - STORE MATERIALS UNDER COVER AND PROTECTED FROM WIND, RAIN, AND RUNOFF.
 - SMALL AMOUNTS OF EXCESS CONCRETE, GROUT, AND MORTAR MAY BE DISPOSED OF IN THE TRASH.
 - WASH OUT FROM CONCRETE MIXERS MAY NEVER BE DISPOSED OF IN THE STREET OR STORM DRAIN SYSTEM. IF POSSIBLE, PUMP THE WASHOUT BACK INTO THE MIXER FOR REUSE.
- SIDEWALK AND ROADWORK
- IF IT RAINS UNEXPECTEDLY, TAKE APPROPRIATE ACTION TO PREVENT POLLUTION OF STORM WATER RUNOFF (E.G., DIVERT RUNOFF AROUND WORK AREAS, COVER MATERIALS).
 - THE DISCHARGE OF SLURRY TO THE STORM DRAIN SYSTEM IS PROHIBITED. TAKE MEASURES TO CONTAIN THE SLURRY AND, IF NECESSARY, PROTECT NEARBY CATCH BASINS OR GUTTERS. IF SLURRY ENTERS THE STORM DRAIN SYSTEM, REMOVE MATERIAL IMMEDIATELY.
 - PARK PAVING MACHINES OVER DRIP PANS OR ABSORBENT MATERIALS IF THEY HAVE A DRIP OR LEAK.
 - NEVER WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO A STREET OR A STORM DRAIN INLET. COLLECT AND RETURN TO AGGREGATE BASE STOCKPILE OR DISPOSE OF IN THE TRASH.
 - REMOVE AND CLEAN UP MATERIAL STOCKPILES (E.G., STEEL I-BEAMS, LAGGING, SAND) BY THE END OF EACH WEEK OR, IF DURING THE RAINY SEASON, THE END OF THE DAY. STOCKPILES MUST BE REMOVED BY THE END OF EACH DAY IF THEY ARE LOCATED IN A PUBLIC RIGHT-OF-WAY.



BY				
REVISION				
DATE				

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SCALE:	NTS

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