

Exhibit B

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EXHIBIT B
DRAFT RESOLUTION

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

MOUNTFORD PAUL (PLN160392)

RESOLUTION NO.

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project Categorically Exempt per CEQA Section 15301(e)(1); and
- 2) Approving the Combined Development Permit consisting of:
 - a) A Coastal Administrative Permit and Design Approval to allow the demolition of a 272 square foot deck and 190 linear feet of retaining walls, remodel of 1,933 square feet, addition of 1,426 square feet, and new roofing; and associated grading; and
 - b) A Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource.

[PLN160392, MOUNTFORD PAUL, 151 Highlands Drive, Carmel, Carmel Area Land Use Plan (APN: 241-181-010-000)]

The Mountford application (PLN160392) came on for public hearing before the Monterey County Zoning Administrator on 6 December 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the *1982 Monterey County General Plan*;
 - Carmel Area Land Use Plan (LUP);
 - Coastal Implementation Plan (CIP), Part 4
 - Monterey County Zoning Ordinance (Title 20);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) The property is located at 151 Highlands Drive, Carmel (Assessor's Parcel Number 241-181-010-000), Carmel Area Land Use Plan. The parcel is zoned LDR/1-D(CZ) (Low Density Residential) and is

- developed with an existing single family dwelling, detached garage, and driveway.
- c) The proposed project would not present significant public policy issues, unmitigable significant adverse environmental impacts, significant changes in the nature of a community or area, nor establishment of precedents or standards by which other projects will be measured. Therefore, the Zoning Administrator is the appropriate hearing body for consideration of this permit (Monterey County Code Title 20, Section 20.04.F).
 - d) Pursuant to Carmel Area LUP Policy 2.8.3.2, an archaeological survey was prepared due to the subject parcel within a high status area for archaeological sensitivity. The report, prepared by archaeologist Gary Breschini, concludes that the Phase 1 general surface reconnaissance shows no evidence of cultural significance (File No. LIB170327).
 - e) The existing dwelling was first built circa 1920. Therefore, a Phase 1 Historical Report was requested by the County and prepared by Garrett Root 20 February 2017. Results of Root's Phase 1 report (Form DPR 523) show the property as an eligible historic resource under the National Register of Historic Places (NRHP) Criterion C, California Register of Historical Resources (CRHR) Criterion 3, and Monterey County Historic Preservation Ordinance Criterion B.3 as an important example of a type and method of construction. As an eligible historic resource, the County requested a Phase 2 Historical report, also from Garrett Root 28 August 2017 (File No. LIB170326), which includes the Phase 1 Historical report.
 - f) Pursuant to Chapter 2.56 of the Monterey County Code, the Historic Resources Review Board (HRRB) reviewed the subject application for a remodel of the existing single family dwelling using criteria for historic review under the NRHP, CRHR, and County Ordinance for the Preservation of Historic Resources (Chapter 18.25). The HRRB reviewed the initial project proposal on 2 November 2017 and continued by the HRRB to a date uncertain. A revised project proposal was reviewed by HRRB on 12 July 2018. The project was recommended for approval in a 6-0 vote. See Finding 4 below.
 - g) No trees are proposed for removal. However, implementation of the project includes construction near an existing landmark Oak tree. This tree is a landmark tree because it is twenty-four (24) inches or more in diameter when measured two feet above the ground pursuant to Monterey County Code Chapter 16.60 Preservation of Oak and Other Protected Trees. The new kitchen wall is proposed to come within 18 inches of the 29-inch trunk on the southeast side of the house. Therefore, Condition No. 16 requires the Owner/Applicant consult a County-approved arborist or forester for recommendations of Tree and Root Protection for trees located near grading or construction activity.
 - h) Staff conducted a site inspection on 1 June 2018 and confirmed the staking and flagging are consistent with the proposed project plans.
 - i) The project was referred to the Carmel Highlands Land Use Advisory Committee (LUAC) for review on 18 June 2018. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because

the application includes request for a design approval that requires a public hearing. LUAC recommendation was for approval of the project with no changes in a 4-0 decision.

- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160392.

2. FINDING: **SITE SUITABILITY** – The Project, as conditioned, is compatible with the integrity and nature of the area and complies with all applicable federal, state, and local regulations.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Carmel Highlands Fire Protection Department (FPD), RMA-Public Works, RMA- Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site would harm public health, safety, or welfare. Conditions recommended have been incorporated.
 - b) RMA-ES reviewed the project and concluded that a geotechnical report would not be required. The application was deemed complete by RMA- ES 22 August 2018.
 - c) The parcel is High status for erosion hazard. In accordance with Policy 2.4.4.C.1 of Carmel Area LUP, grading shall be restricted to the dry season of the year. Therefore, Condition No. 6 requires no land clearing or grading on the subject parcel October 15 through April 15 unless authorized by the RMA Chief of Planning.
 - d) Pursuant to Policy 2.4.4.C.3 of the Carmel Area LUP, sediment basins shall be installed in conjunction with the initial grading operations and maintained through the development process to remove sediment and run-off waters. Therefore, Condition No. 8 requires an Erosion Control Plan that conforms to the provisions of Monterey County Code Chapter 16.12 and includes standard inspection notes from RMA-Environmental Services.
 - e) Staff conducted a site inspection on 1 June 2018 to verify that the site is suitable for implementation of the proposed project.
 - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA - Planning for the proposed development found in Project File PLN160392.

3. FINDING: **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA- Planning, Carmel Highlands FPD, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the

- project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) The subject parcel is a State Responsibility Area ranked Very High risk for fire hazard. During review of the project, Carmel Highlands FPD gave no indication the site would be unsuitable for implementation of the project. However, Carmel Area Coastal Implementation Plan (CIP) requires a deed restriction be recorded that states fire hazards exist on the parcel and development may be subject to certain restrictions, and processed in accordance with Section 20.64.280.B of Title 20. Therefore, Condition no.15 requires a deed restriction be recorded that states the following: "The parcel is located in a high fire hazard area and development may be subject to certain restrictions as per section(s) of the Coastal Implementation Plan and per the standards for development of residential property."
 - c) Staff conducted a site inspection on 1 June 2018 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA - Planning for the proposed development found in Project File PLN160392.

4. FINDING: **CONSISTENCY (HISTORIC RESOURCE)** – The project is consistent with Section 18.25.070 of the Monterey County Code and will neither adversely affect the significant architectural features of the eligible historic resource nor adversely affect the character, historical, architectural, or aesthetic interest or value of the eligible historic resource and its site. Proposed improvements upon the eligible historic resource will neither adversely affect nor be incompatible with the use and exterior of the existing eligible historic resource, improvement, buildings, and natural features of the site.

EVIDENCE:

- a) The proposed project was analyzed in the Addendum to Phase 2 Historic Report prepared 14 April 2018 by Meg Clovis (File No. LIB180244). Ten Standards for Rehabilitation of Historic Resources were used in the Addendum for review of the project for consistency as prescribed by the Secretary of the Interior.
- b) The highest level of historic integrity is found on the northeast and northwest elevations of the original house. Although minor changes have been made to these elevations, the view from the road of these two elevations is still much the same as depicted in the 1922 *Art and Architecture* article that featured the original house. Other elevations of the house have changed considerably and have lost integrity.
- c) The proposed alterations do not affect the historic significance of the property based on the criteria set by the Ten Standards. Roofing materials will be Class A fire-retardant concrete tile shake that closely resembles the original wood shakes, the house configuration will remain integrated within its hillside terrace setting, stucco walls and wood frame windows will be retained, no surface cleaning is proposed, there is no evidence of archaeological resources on the site, and no additions will affect the remaining original fabric of the historic features of the property.

- 5. FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on 1 June 2018 and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN160392.
- 6. FINDING:** **CEQA (Exempt)**: - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301(e)(1) categorically exempts additions to existing structures such that the addition is not 2,500 square feet or more and is not more than 50 percent of the existing floor area.
 - b) The proposed project would add 1,271 square feet of floor area to an existing 3,757 square feet, or 33.83%. This is under the 50 percent threshold of the existing floor area. Therefore, the project is categorically exempt.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project is not located in a sensitive environment; would not cause cumulative impacts or significant impact on the environment; would not damage scenic or historical resources; and is not registered on the Cortese List as a Superfund cleanup site.
 - d) No adverse environmental effects were identified during staff review of the development application or during a site visit on 1 June 2018.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN160392.
- 7. FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and not to the California Coastal Commission.
- EVIDENCE:**
- a) Section 20.8.030.A of the Monterey County Zoning Ordinance states that the decision by the Zoning Administrator is appealable to the Board of Supervisors.
 - b) In accordance with Section 20.86.080.A of Title 20, the project is a principal use allowed not appealable to the California Coastal Commission (CCC) because the subject parcel is not between the sea and the first through public road paralleling the sea or within 300 feet of the inland extent of any beach or of the mean high tide line of the sea where there is no beach; nor within 100 feet of any wetland, estuary, stream or within 300 feet of the top of the seaward face of any coastal bluff; nor constitutes a major public works project or major energy facility. Therefore, this project is not appealable to the CCC.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project Categorically Exempt per Section 15301(e)(1) of CEQA Guidelines;
2. Approve the Combined Development Permit consisting of:
 - a) a Coastal Administrative Permit and Design Approval to allow the demolition of a 272 square foot deck and 136 linear feet of retaining walls, remodel of 1,933 square feet, addition of 1,426 square feet, and new roofing; and associated grading; and
 - b) a Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource;

subject to the attached plans and conditions, all being attached hereto and incorporated herein by reference,

PASSED AND ADOPTED this 6th day of December 2018 by:

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN160392

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN160392) allows the remodel and addition to an existing 4,323 square foot Single Family Dwelling including the following: demolition of 272 square foot deck and 136 linear feet of retaining walls, remodel 1,933 sq. ft. and addition of 1,426 sq. ft.; new roof; and grading approximately 240 cu. yds. of cut and 50 cu. yds of fill within 750 feet of a known archaeological resource. The property is located at 151 Highlands Drive, Carmel (Assessor's Parcel Number 241-181-010-000), Carmel Area Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Combined Development Permit (Resolution Number ***) was approved by the Zoning Administrator for Assessor's Parcel Number 241-181-010-000 on 6 December 2018. The permit was granted subject to 17 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring
Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring
Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

6. PD007- GRADING WINTER RESTRICTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Chief of Planning. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: The Owner/Applicant, on an on-going basis, shall obtain authorization from the Chief of Planning to conduct land clearing or grading between October 15 and April 15.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. The plan shall also include RMA-Environmental Services standard inspection notes 1, 2, & 3. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an erosion control plan to RMA-Environmental Services for review and approval. Standard inspection notes are available on the RMA-Environmental Services website.

9. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a grading plan incorporating the project geotechnical recommendations prepared by LandSet Engineers, Inc. The grading plan shall include contour lines and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The grading plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

10. GEOTECHNICAL PLAN REVIEW

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from the licensed practitioner that their geotechnical recommendations have been incorporated into the grading plan. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permit, the applicant shall provide certification from the licensed practitioner(s).

11. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to the Resource Management Agency (RMA) for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information:
Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

12. WR001 - DRAINAGE PLAN

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts from impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

13. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;
2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;
3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.

All Air District standards shall be enforced by the Air District.

(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition inspection activities as required by the Air District.

14. GEOTECHNICAL CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the project geotechnical recommendations. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

15. PD021 - DEED RESTRICTION-FIRE HAZARD

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to the issuance of any construction permit the applicant shall record a deed restriction which states: "The parcel is located in a high fire hazard area and development may be subject to certain restrictions as per section 20.146.080 of the Monterey County Coastal Implementation Plan Part 4: Regulations for Development in the Carmel Area Land Use Plan and per the standards for development of residential property."
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit a signed and notarized document to the RMA Chief of Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the RMA Chief of Planning.

16. PD049 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Applicant/Owner shall consult a County-approved arborist or forester for tree protection measures. Prior to grading or construction, trees which are located close to grading or construction shall be protected from inadvertent damage from equipment or grading and construction activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Owner/Applicant shall implement recommendations made by a County-approved tree consultant, in addition to the standard condition. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to grading or construction, the Owner/Applicant/Forester/Arborist shall submit evidence of tree protection to RMA-Planning for review and approval.

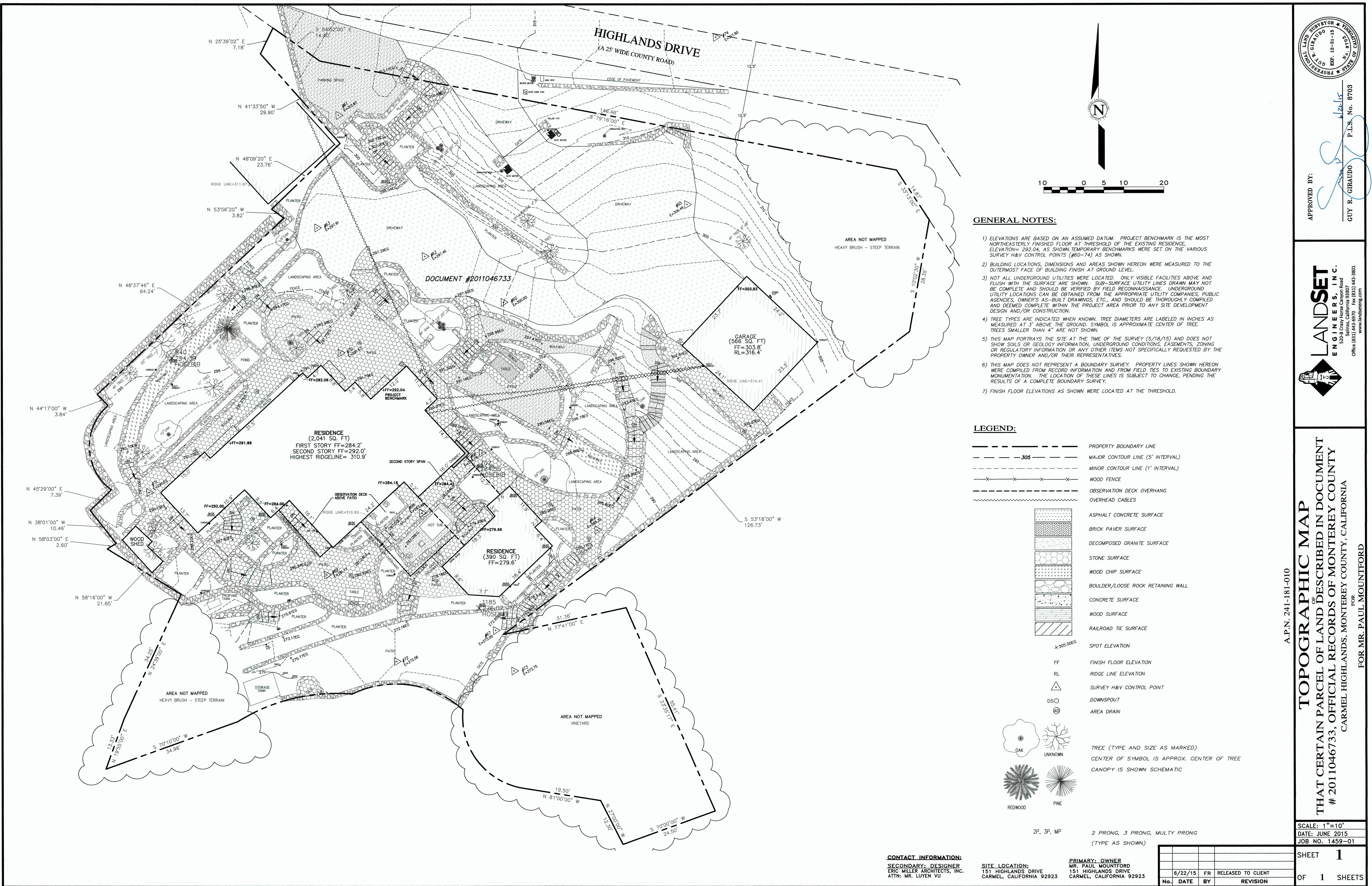
After grading or construction has been completed, the Owner/Applicant/Forester/Arborist shall submit to RMA-Planning photos of the trees to document that the tree protection has been successful and submit a letter with recommendations, if necessary, for follow-up remediation measures or if additional permits are required.

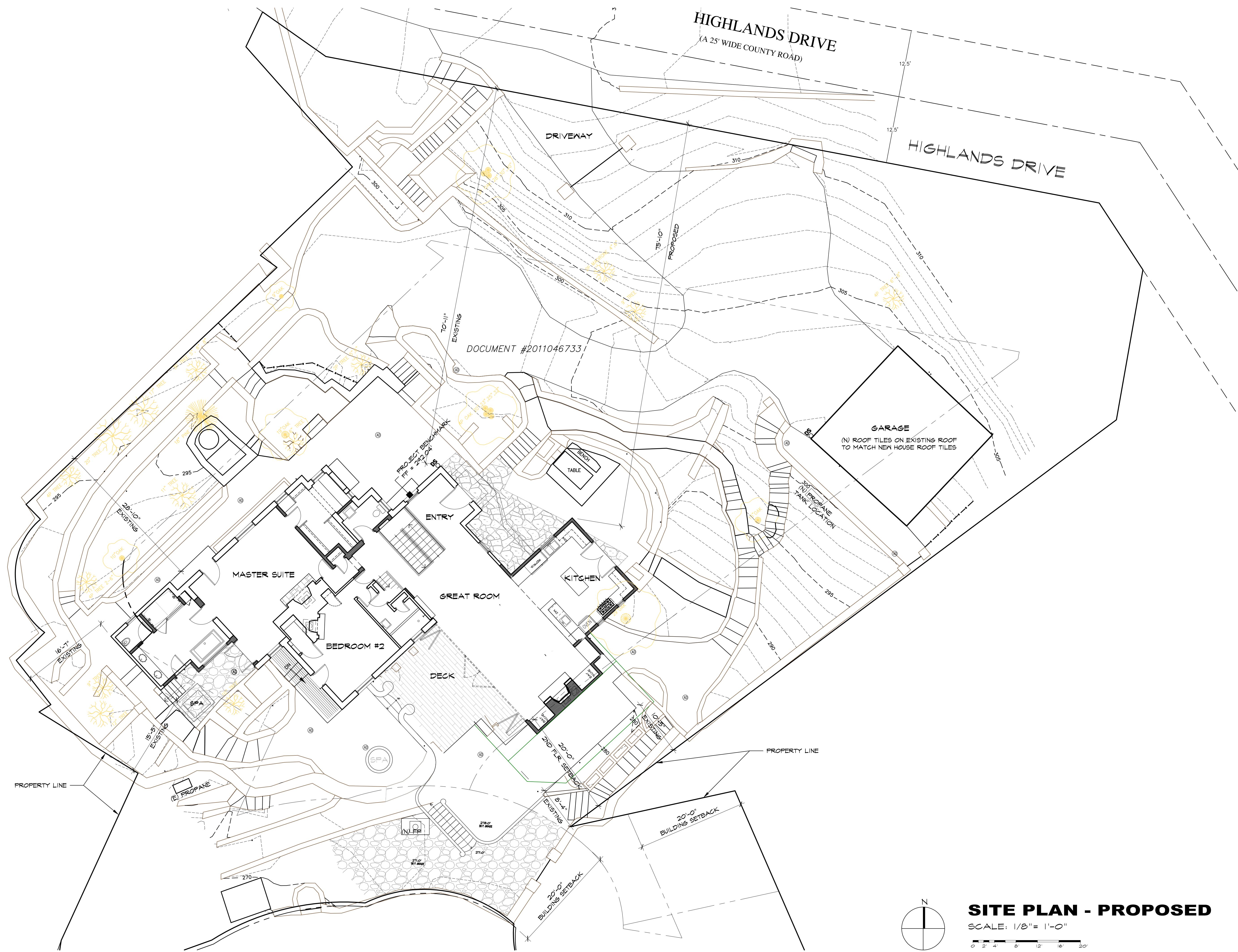
REVISION NO VARIANCE REV. 10/12/18	No. △

MOUNTFORD RESIDENCE

151 Highlands Drive
CARMEL, CA

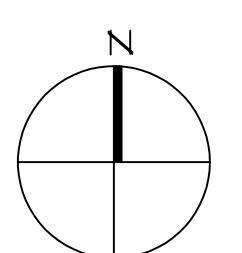
	PROJECT DATA	PROJECT INFORMATION	SHEET INDEX																																																																																																																																																																																
	<p>LOT DATA:</p> <p>LOT SIZE: 23,846.18 SQ. FT. ZONING: LDR/I-D (CZ) A.P.N.: 008-241-151-010</p> <p>BUILDING SITE COVERAGE: 15.0%</p> <p>MAXIMUM AREA ALLOWED: 3,576.19 S.F.</p> <p>NO VARIANCE REQUESTED: △</p> <p>EXISTING FLOOR AREA:</p> <table border="1"> <tr><td>FIRST FLOOR:</td><td>1,170 S.F.</td></tr> <tr><td>SECOND FLOOR:</td><td>2,222 S.F.</td></tr> <tr><td>ATTIC:</td><td>358 S.F.</td></tr> <tr><td>GARAGE:</td><td>566 S.F.</td></tr> <tr><td>TOTAL EXISTING AREA:</td><td>4,323 S.F.</td></tr> <tr><td>EXISTING FLOOR AREA RATIO:</td><td>18.1%</td></tr> </table> <p>PROPOSED DEMOLITION:</p> <table border="1"> <tr><td>SECOND FLOOR INTERIOR:</td><td>155 S.F.</td></tr> <tr><td>SECOND FLOOR DECK:</td><td>272 S.F.</td></tr> <tr><td>TOTAL PROPOSED AREA:</td><td>427 S.F.</td></tr> </table> <p>PROPOSED ADDITIONS:</p> <table border="1"> <tr><td>FIRST FLOOR:</td><td>844 S.F.</td></tr> <tr><td>SECOND FLOOR:</td><td>451 S.F.</td></tr> <tr><td>ATTIC BATH:</td><td>75 S.F.</td></tr> <tr><td>TOTAL PROPOSED ADDITIONS:</td><td>1,420 S.F.</td></tr> </table> <p>PROPOSED FLOOR AREA:</p> <table border="1"> <tr><td>FIRST FLOOR:</td><td>2,064 S.F.</td></tr> <tr><td>SECOND FLOOR:</td><td>2,531 S.F.</td></tr> <tr><td>ATTIC BATH:</td><td>433 S.F.</td></tr> <tr><td>GARAGE:</td><td>566 S.F.</td></tr> <tr><td>TOTAL PROPOSED AREA:</td><td>5,544 S.F.</td></tr> <tr><td>PROPOSED FLOOR AREA RATIO:</td><td>23.5 %</td></tr> </table> <p>EXISTING BUILDING SITE COVERAGE:</p> <table border="1"> <tr><td>1ST FLOOR BUILDING CONDITIONED:</td><td>240 S.F.</td></tr> <tr><td>2ND FLOOR BUILDING CONDITIONED:</td><td>2,125 S.F.</td></tr> <tr><td>GARAGE:</td><td>566 S.F.</td></tr> <tr><td>DECKS/COVERED PATIOS:</td><td>272 S.F.</td></tr> <tr><td>STRUCTURES OVER 24":</td><td>4 S.F.</td></tr> <tr><td>TOTAL EXISTING AREA:</td><td>3,207 S.F.</td></tr> <tr><td>EXISTING SITE COVERAGE:</td><td>13.4%</td></tr> </table> <p>PROPOSED BUILDING SITE COVERAGE:</p> <table border="1"> <tr><td>MAIN BUILDING CONDITIONED:</td><td>2,865 S.F.</td></tr> <tr><td>GARAGE:</td><td>566 S.F.</td></tr> <tr><td>DECKS/BALCONIES:</td><td>141 S.F.</td></tr> <tr><td>STRUCTURES OVER 24":</td><td>4 S.F.</td></tr> <tr><td>TOTAL PROPOSED AREA:</td><td>3,576 S.F.</td></tr> <tr><td>PROPOSED SITE COVERAGE:</td><td>15.0%</td></tr> </table> <p>TREE REMOVAL</p> <ol style="list-style-type: none"> 1. NO TREES TO BE REMOVED 2. BUSHES IN CONSTRUCTION AREAS TO BE REMOVED <p>LANDSCAPING</p> <p>EXISTING LANDSCAPING TO REMAIN U.O.N. NEW PAVING AS INDICATED ON PROPOSED SITE PLAN SHEET A-I.</p>	FIRST FLOOR:	1,170 S.F.	SECOND FLOOR:	2,222 S.F.	ATTIC:	358 S.F.	GARAGE:	566 S.F.	TOTAL EXISTING AREA:	4,323 S.F.	EXISTING FLOOR AREA RATIO:	18.1%	SECOND FLOOR INTERIOR:	155 S.F.	SECOND FLOOR DECK:	272 S.F.	TOTAL PROPOSED AREA:	427 S.F.	FIRST FLOOR:	844 S.F.	SECOND FLOOR:	451 S.F.	ATTIC BATH:	75 S.F.	TOTAL PROPOSED ADDITIONS:	1,420 S.F.	FIRST FLOOR:	2,064 S.F.	SECOND FLOOR:	2,531 S.F.	ATTIC BATH:	433 S.F.	GARAGE:	566 S.F.	TOTAL PROPOSED AREA:	5,544 S.F.	PROPOSED FLOOR AREA RATIO:	23.5 %	1ST FLOOR BUILDING CONDITIONED:	240 S.F.	2ND FLOOR BUILDING CONDITIONED:	2,125 S.F.	GARAGE:	566 S.F.	DECKS/COVERED PATIOS:	272 S.F.	STRUCTURES OVER 24":	4 S.F.	TOTAL EXISTING AREA:	3,207 S.F.	EXISTING SITE COVERAGE:	13.4%	MAIN BUILDING CONDITIONED:	2,865 S.F.	GARAGE:	566 S.F.	DECKS/BALCONIES:	141 S.F.	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EXISTING SITE AREA:	23,846.18 S.F.	<p>OWNER: PAUL MOUNTFORD 151 HIGHLAND DRIVE CARMEL, CA 93923</p> <p>ADDRESS: 151 HIGHLAND DRIVE CARMEL, CA 93923</p> <p>ARCHITECT: ERIC MILLER, ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PH: 831-372-0410</p> <p>CIVIL: LANDSET ENGINEERS, INC. 520-B CRAZY HORSE CANYON RD. SALINAS, CA 93907 PH: 831-443-6970</p> <p>HISTORIAN: MEG CLOVIS SALINAS, CA</p> <p>PROJECT DESCRIPTION:</p> <p>ADDITION AND RENOVATION TO 4323 S.F. SINGLE FAMILY RESIDENCE WITH DETACHED 2-CAR GARAGE. RENOVATION FROM 6 BEDROOM, 6 BATHS TO 5 BEDROOM, 5 BATHS, 2 HALF BATHS. REMOVAL AND ADDITION OF 136 LINEAR FEET OF RETAINING WALLS. ADDITION AND REPLACEMENT OF EXTERIOR PAVING. RELOCATION OF PROPANE TANK.</p> <p>PROJECT AREA INCLUDES:</p> <p>ADDITION OF: (1,420 SF TO THE MAIN HOUSE RENOVATION OF: (1,420 SF TO THE MAIN HOUSE DECKS: DEMOLITION OF 272 S.F., ADDITION OF 266 S.F.) RETAINING WALLS: 136 LINEAR FEET CUT/FILL: 240 CYARDS CUT 50 CYARDS FILL 140 CYARDS EXPORT ESTIMATED VALUE: \$300,000.00</p> <p>LOCATION MAP</p> <p>VICINITY MAP</p> <img alt="Vicinity map showing the project site's location relative to Carmel, Monterey, Salinas, and San Luis Obispo, with major highways 1, 17, 25, 28, 68, 99, 101, 154, 156, 158, 160, 161, 162, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 889, 890, 891, 892, 893, 894, 89
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EXISTING:	626.6 LINEAL FEET																																																																																																																																																																																		
DEMO:	134.25 LINEAL FEET																																																																																																																																																																																		
PROPOSED ADDITION:	140.75 LINEAL FEET																																																																																																																																																																																		
PROPOSED TOTAL:	683.10 LINEAL FEET																																																																																																																																																																																		
PERCENTAGE OF REVISIONS:	51.2%																																																																																																																																																																																		
EXISTING BUILDING FOOTPRINTS:	3,035 S.F.																																																																																																																																																																																		
DECKS:	272 S.F.																																																																																																																																																																																		
STRUCTURES OVER 24":	4 S.F.																																																																																																																																																																																		
DRIVEWAY PAVING:	3,061 S.F.																																																																																																																																																																																		
PAVING-ASPHALT:	44 S.F.																																																																																																																																																																																		
PAVING-STONE PATIOS, STAIRS, PATHS	3,116 S.F.																																																																																																																																																																																		
RETAINING WALLS UP TO 6 FT.	2,115 S.F.																																																																																																																																																																																		
TOTAL EXISTING COVERAGE:	11,707.0 S.F.																																																																																																																																																																																		
PERVIOUS PAVING	740.0 S.F.																																																																																																																																																																																		
PERVIOUS SITE	11,349.18 S.F.																																																																																																																																																																																		
EXISTING SITE AREA:	23,846.18 S.F.																																																																																																																																																																																		
DECKS:	272 S.F.																																																																																																																																																																																		
PAVING - STONE PATIOS & PATHWAYS	536 S.F.																																																																																																																																																																																		
RETAINING WALLS UP TO 6 FT.	335 S.F.																																																																																																																																																																																		
TOTAL IMPERV. COVERAGE REMOVED:	1,143 S.F.																																																																																																																																																																																		
ADDED BUILDING FOOTPRINT:	346 S.F.																																																																																																																																																																																		
DECK:	141 S.F.																																																																																																																																																																																		
PAVING-STONE PATIOS, STAIRS, PATHS	522 S.F.																																																																																																																																																																																		
RETAINING WALLS UP TO 6 FT.	136 S.F.																																																																																																																																																																																		
TOTAL IMPERV. COVERAGE ADDED:	1,145 S.F.																																																																																																																																																																																		
NEW BUILDING FOOTPRINTS:	3,431 S.F.																																																																																																																																																																																		
DECK/COVERED PATIO:	141 S.F.																																																																																																																																																																																		
STRUCTURES OVER 24":	4 S.F.																																																																																																																																																																																		
DRIVEWAY PAVING:	3,061 S.F.																																																																																																																																																																																		
PAVING - ASPHALT:	44 S.F.																																																																																																																																																																																		
PAVING-STONE PATIOS, STAIRS, & PATHS	3,207 S.F.																																																																																																																																																																																		
RETAINING WALLS UP TO 6 FT.	1,916 S.F.																																																																																																																																																																																		
TOTAL PROPOSED IMPERV. COV.:	11,804.0 S.F.																																																																																																																																																																																		
PERVIOUS PAVING	740 S.F.																																																																																																																																																																																		
PERVIOUS SITE	11,302.18 S.F.																																																																																																																																																																																		
EXISTING SITE AREA:	23,846.18 S.F.																																																																																																																																																																																		



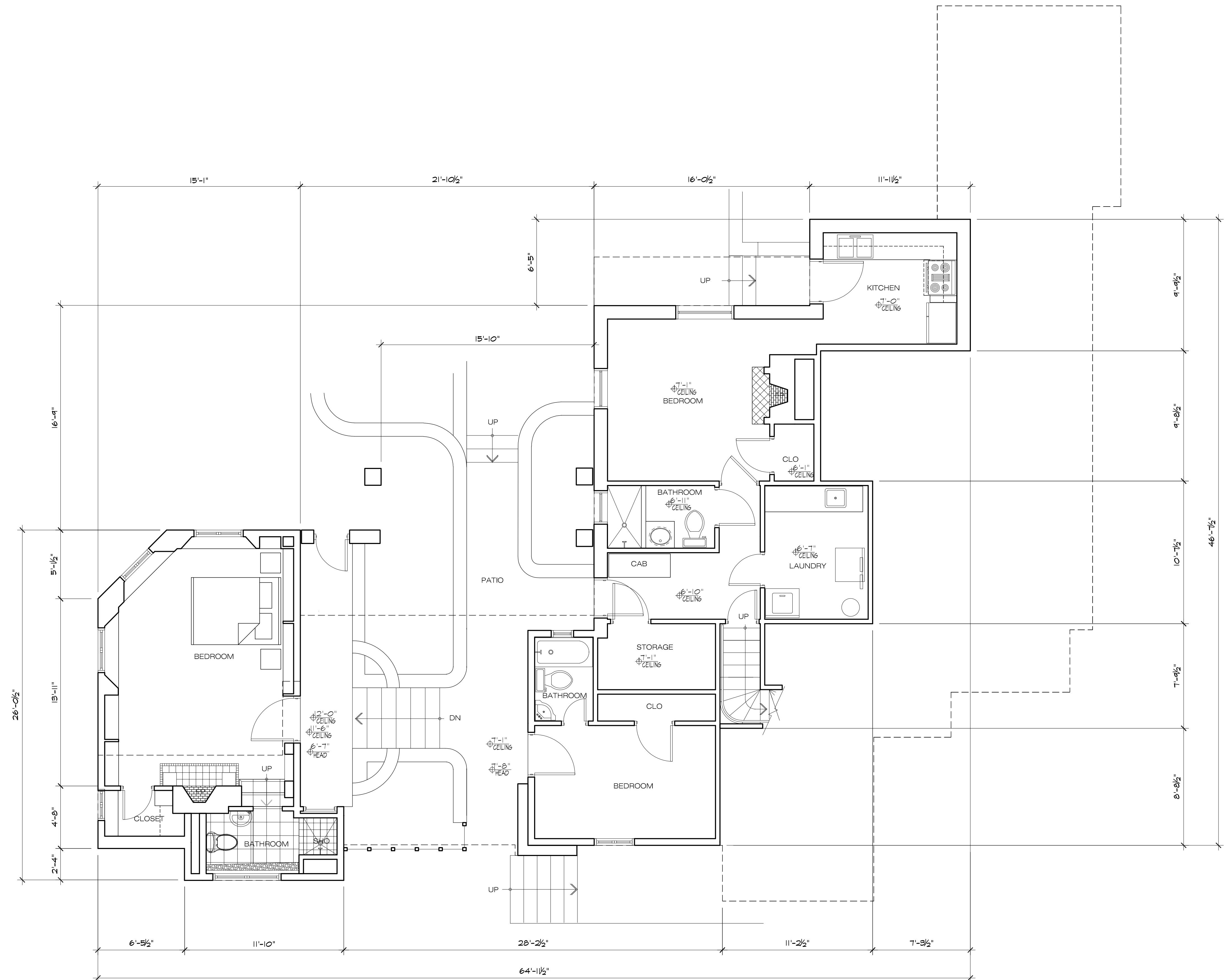
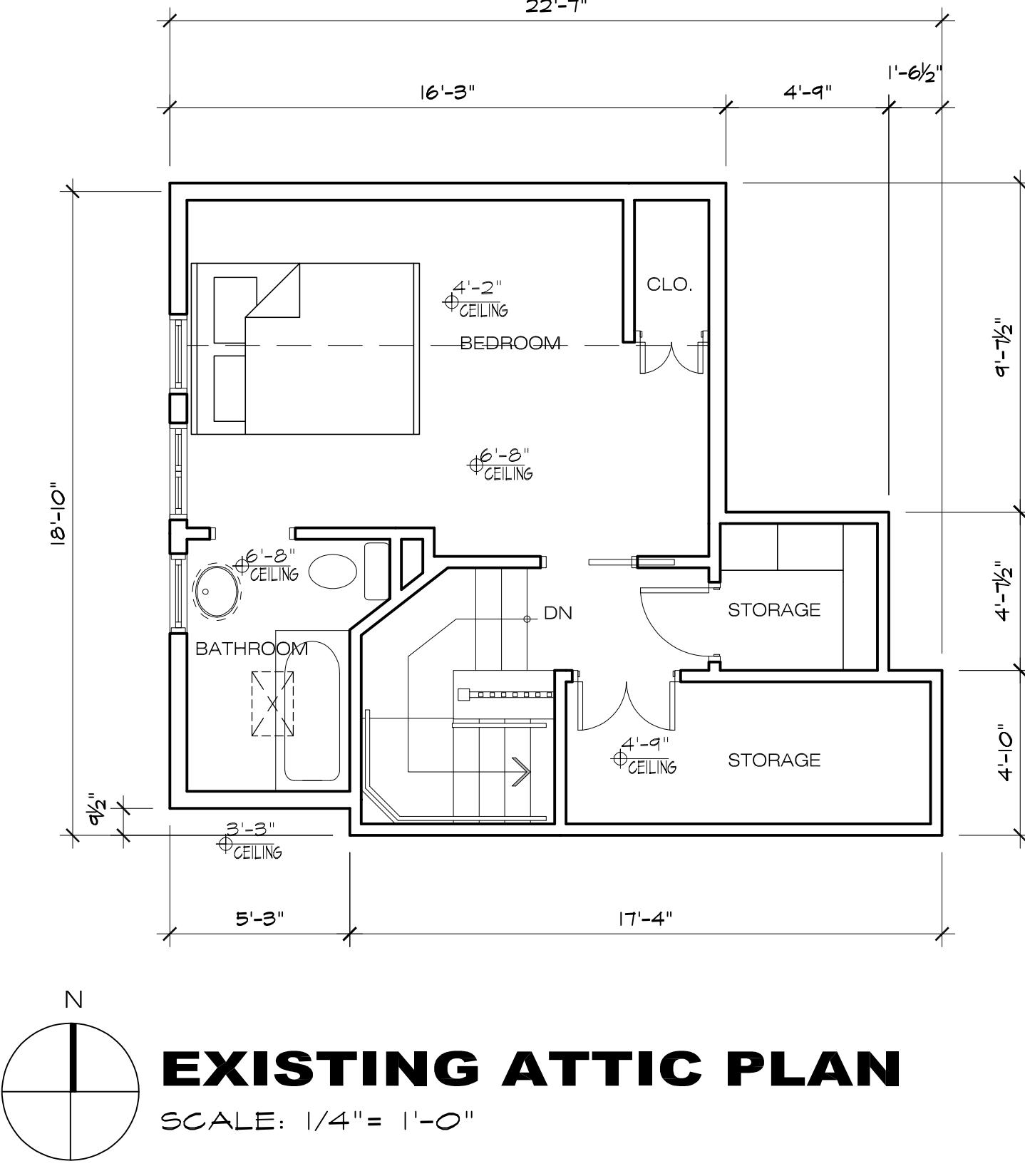


SITE PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



SITE PLAN - PROPOSED		ARCHITECT ERIC MILLER ARCHITECTS, INC.	CONSULTANT: ██████████ ███████████
JOB NAME: Mountford Residence 151 Highlands Drive Carmel Highlands, CA A.P.N. 241-181-010-000		REVISION No. 	DATE: 10/12/18
SCALE: 1/8" = 1'-0"			
DRAWN: CTH			
JOB NUMBER: 15.08			
A-1.1			
SHEET OF			

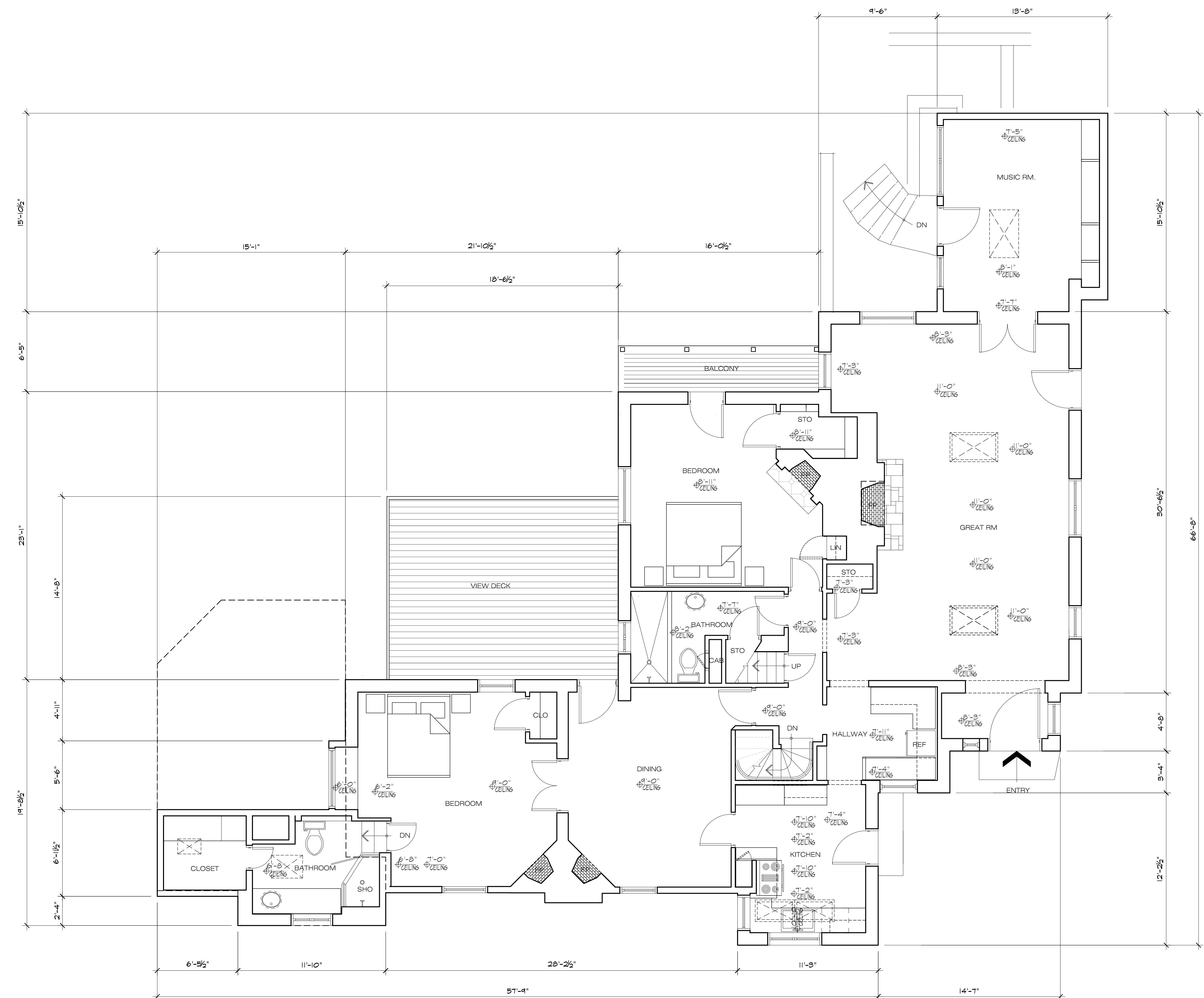


DATE:	10/12/18
SCALE:	1/4" = 1'-0"
DRAWN:	SH
JOB NUMBER:	15.08

A2.0
SHEET OF

REVISION	No.
NO VARIANCE REV. 10/12/18	
ERIC MILLER ARCHITECTS, INC.	
CONSULTANT:	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
ARCHITECT	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
ERIC MILLER ARCHITECTS, INC.	
211 HOFFMAN AVENUE MONTEREY, CA 93940	
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.emillerarchitects.com	

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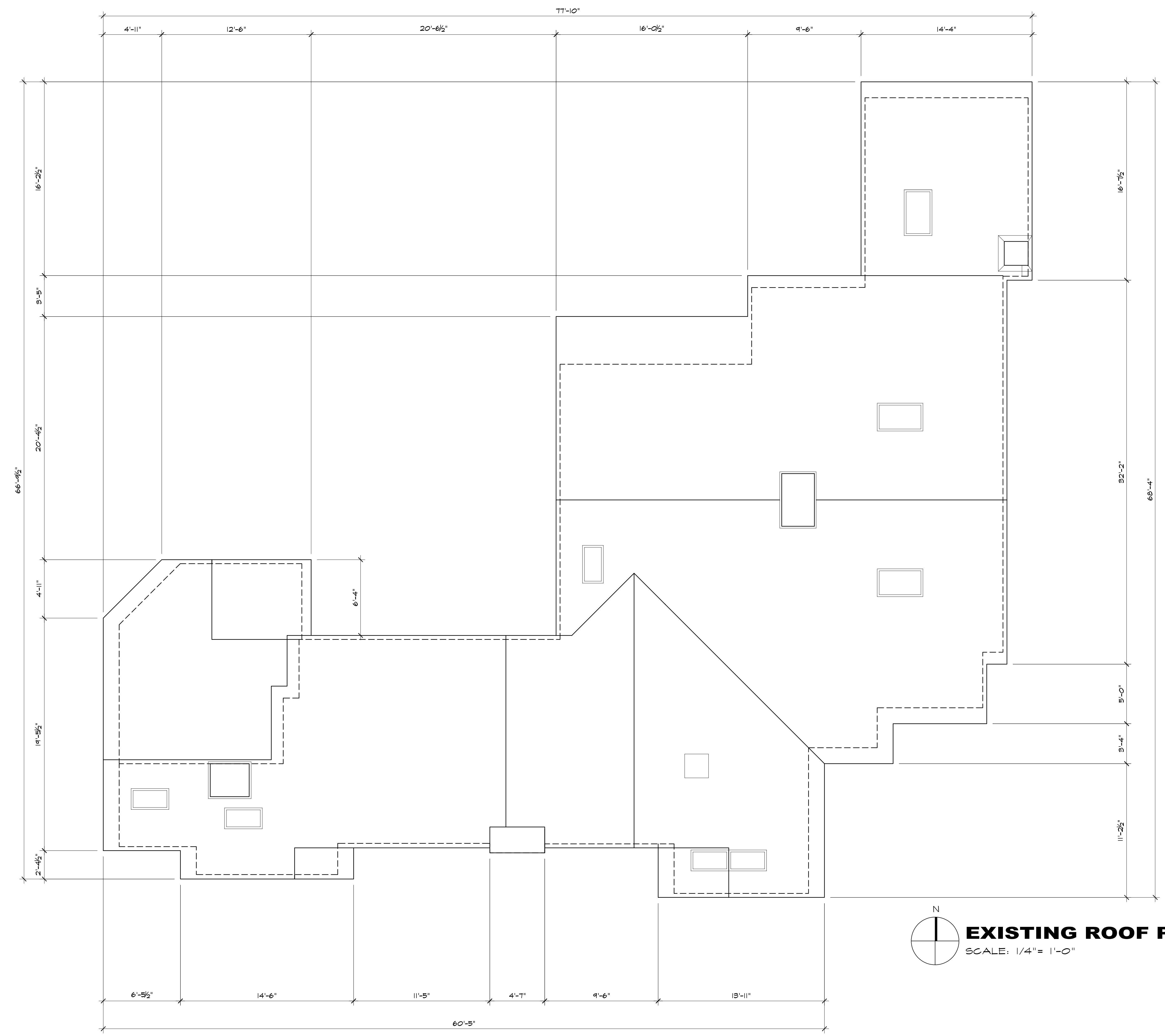




EXISTING SECOND FLOOR PLAN

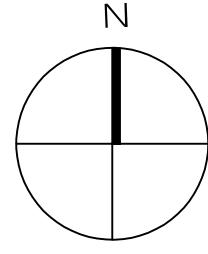
SCALE: 1/4" = 1'-0"

REVISION NO VARIANCE REV. 10/12/18	No.
CONSULTANT:	
ARCHITECT	
ERIC MILLER ARCHITECTS, INC.  <hr/> 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
EXISTING 2ND FLOOR PLAN	
JOB NAME: Mountford Residence 15 Highlands Drive Carmel Highlands, CA A.P.N. 24-181-010-000	
DATE: 10/12/18	
SCALE: 1/4"=1'-0"	
DRAWN: SH	
JOB NUMBER: 15.08	
A2.1	
SHEET	OF



EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISION NO VARIANCE REV. 10/12/18	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.

ARCHITECT

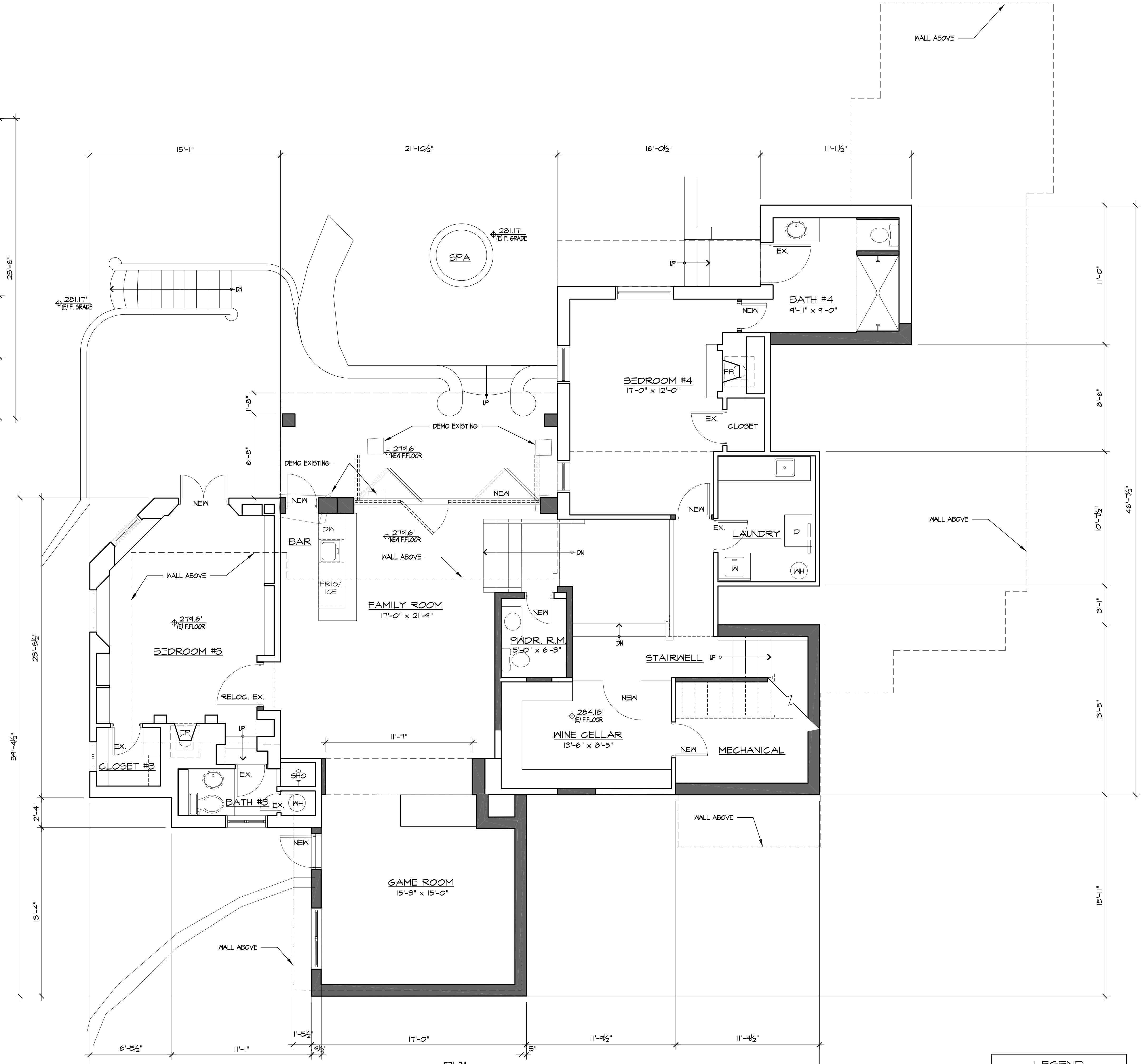
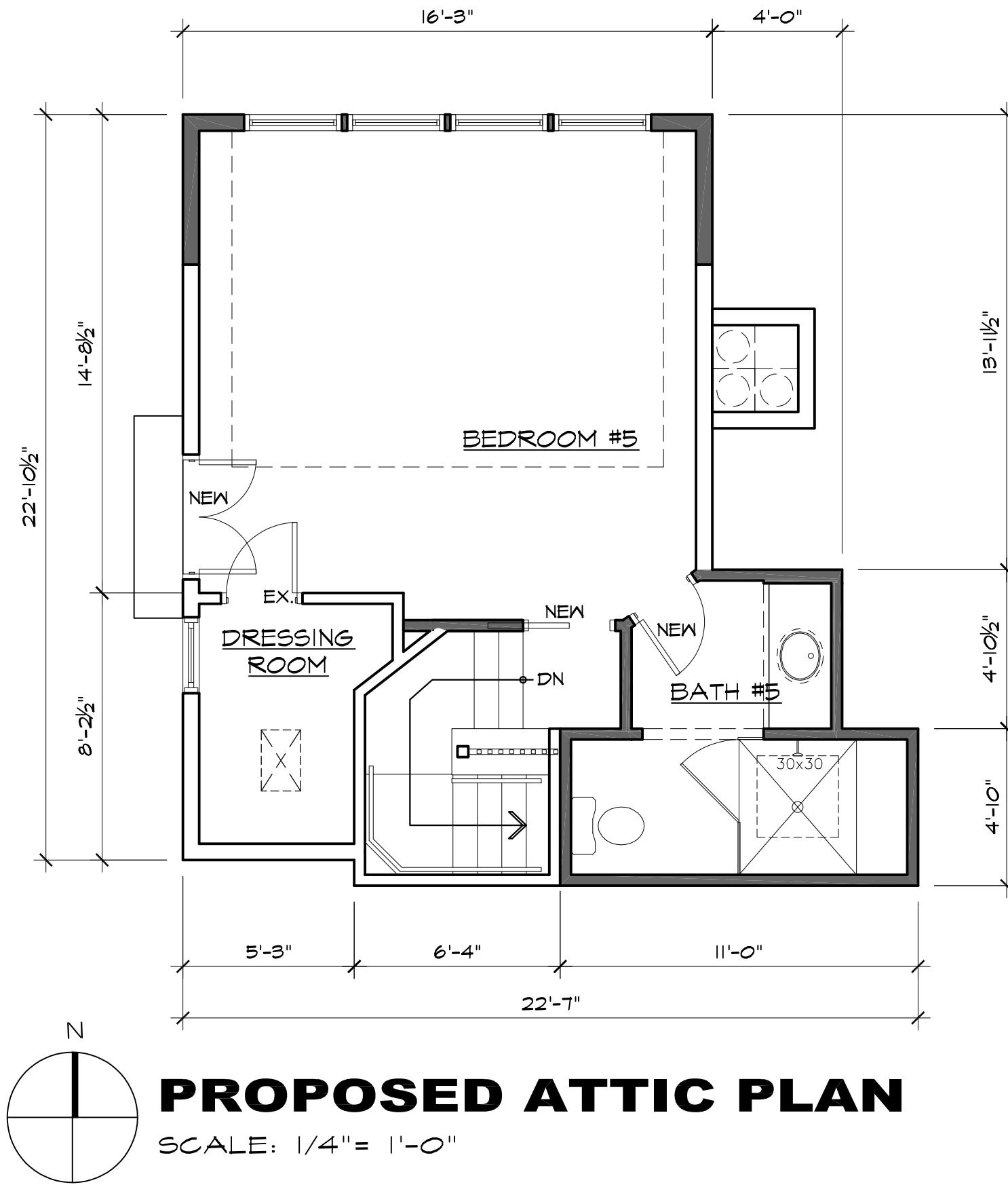
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7340 • WEB: www.emillerarchitects.com

EXISTING ROOF PLAN

JOB NAME: Mountford Residence	DATE: 10/12/18
51 Highlands Drive Carmel Highlands, CA	SCALE: 1/4" = 1'-0"
A.P.N. 241-181-010-000	DRAWN: C.J.H
	JOB NUMBER: 15.08

A-2.2

SHEET OF



LEGEND	
	EXISTING WALL
	NEW WALL

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.

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PROPOSED FLOOR PLANS

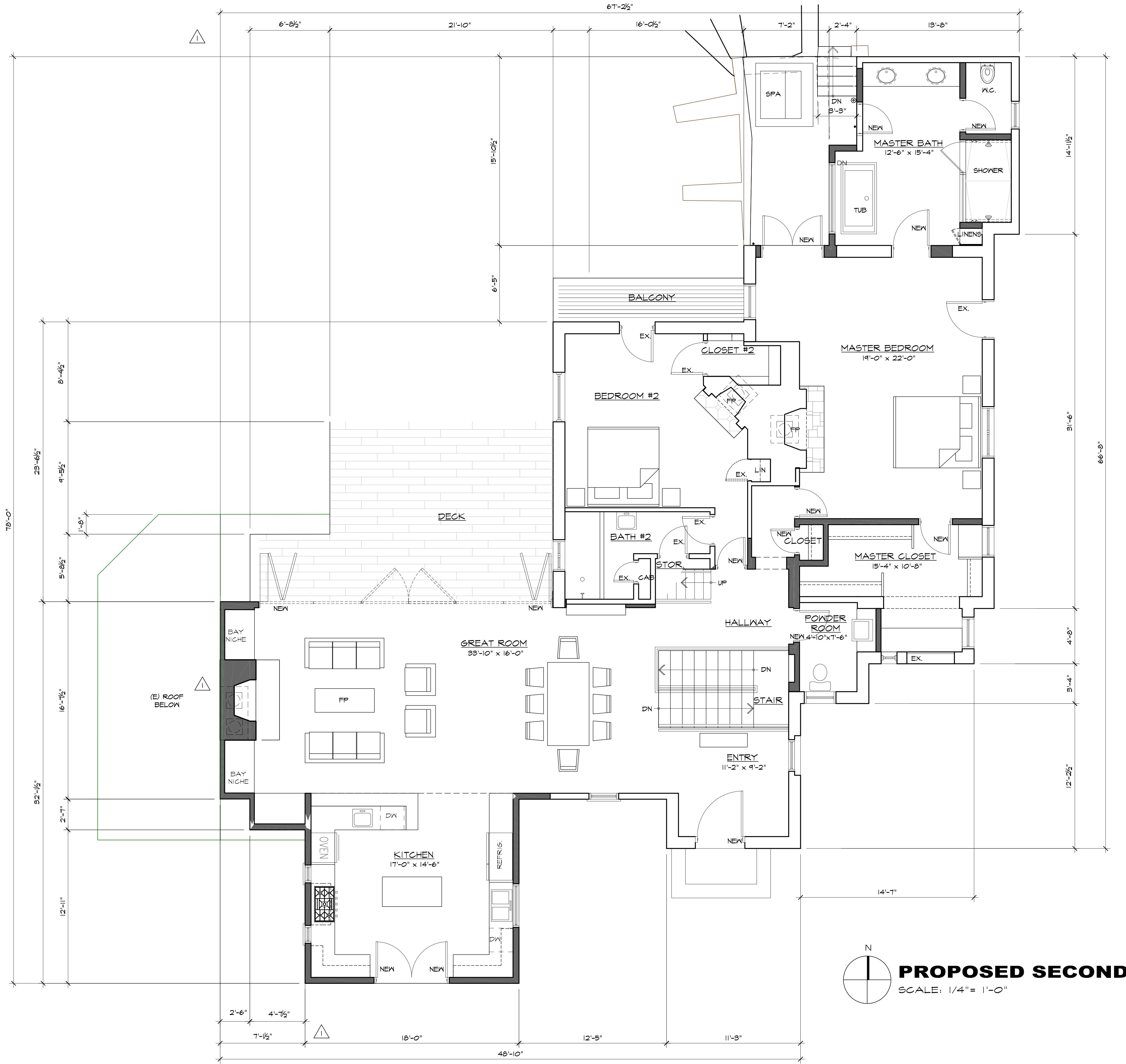
JOB NAME: Mountford Residence
151 Highlands Drive
Carmel Highlands, CA
A.P.N. 241-121-010-000

DATE: 10/12/18
SCALE: 1/4" = 1'-0"
DRAWN: CJH
JOB NUMBER: 15.08

A-2.3

SHEET OF

REVISION	No.
NO VARIANCE	
REV. 10/12/18	



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

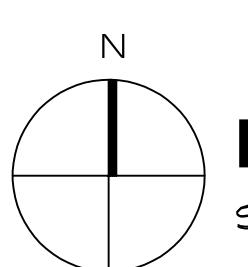
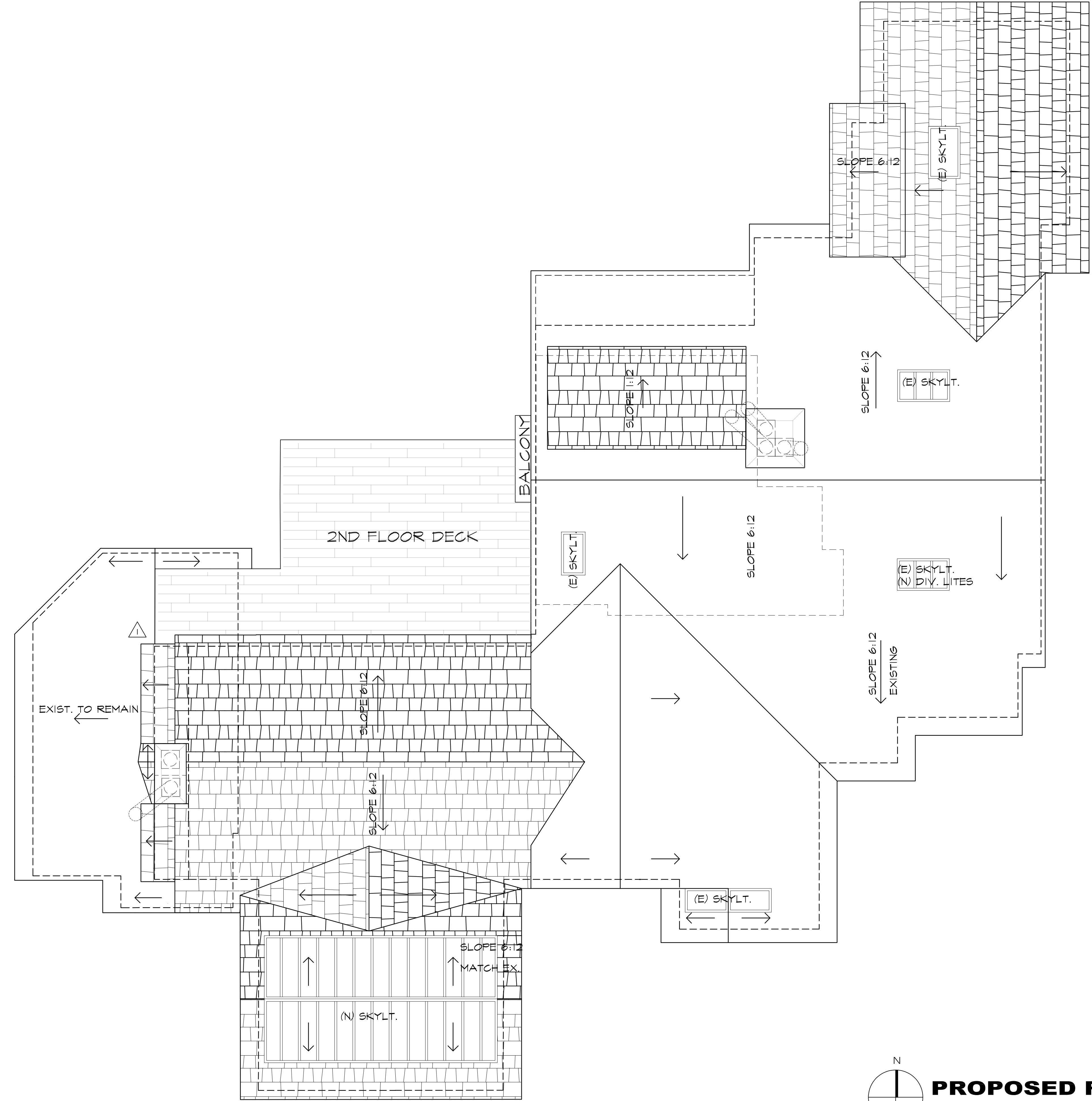
LEGEND	
	EXISTING WALL
	NEW WALL

PROPOSED SECOND FLOOR PLAN

PROPOSED SECOND FLOOR PLAN

DATE:	10/12/18
SCALE:	1/4"=1'-0"
DRAWN:	CJH
JOB NUMBER:	15.08

A-2.4



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.

ARCHITECT

PROPOSED ROOF PLAN

DATE:

10/12/18

SCALE:

1/4" = 1'-0"

DRAWN:

CJH

JOB NUMBER:

15.08

A-2.5

SHEET

OF

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NO VARIANCE	
REV. 10/12/18	

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This architectural elevation drawing shows a two-story house with a complex roofline featuring multiple gables and a central chimney. The exterior is a combination of light-colored stucco and dark-colored horizontal siding. The house features several windows with different frame styles and a central entrance with a glass door. A stone wall and some landscaping are shown at the base of the house. The drawing includes the following dimension labels:

- 314.5' MAXIMUM RIDGE HEIGHT ALLOWABLE
- 310.8' (E)RIDGE
- 307.5' ATTIC CEILING
- 302.0' ATTIC FLR. LN.
- 301'-0" Overall height dimension
- 292.0' SECOND FLR. LN.
- 290.0' EXISTING HIGH GRADE
- 284.5' EXISTING AVERAGE GRADE
- 284.2' FIRST FLR. LN.
- 279.6' FIRST FLR. LOW
- 279.0' EXISTING LOW GRADE

SOUTHEAST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

A horizontal scale with major tick marks labeled 0, 2', 4', 8', 12', 16', and 18'. The segment from 0 to 16' is shaded black, representing the range of the first two octaves. The segments from 16' to 18' and beyond are white.

This architectural elevation drawing illustrates a two-story residence with a complex roofline featuring multiple gables and hips. The building's facade includes a mix of light-colored stucco and dark stone or brickwork, particularly around the arched windows and doors. A prominent feature is a central entrance with a balcony above it, supported by columns. The roof is covered in shingles and includes several chimneys and small decorative structures. The drawing also depicts a lower extension or garage area on the right side.

The vertical axis on the left indicates the following elevations from bottom to top:

- 279.6' FIRST FLR. LOW
- 279.0' EXISTING LOW GRADE
- 284.2' FIRST FLR. LN.
- 284.5' EXISTING AVERAGE GRADE
- 290.0' EXISTING HIGH GRADE
- 292.0' SECOND FLR. LN.
- 302.0' ATTIC FLR. LN.
- 310.8' (E) RIDGE
- 314.5' MAXIMUM RIDGE HEIGHT ALLOWABLE

The horizontal axis at the bottom shows the following grade elevations from left to right:

- 279.0' EXISTING LOW GRADE
- 284.5' EXISTING AVERAGE GRADE
- 284.2' FIRST FLR. LN.
- 290.0' EXISTING HIGH GRADE
- 292.0' SECOND FLR. LN.
- 302.0' ATTIC FLR. LN.
- 310.8' (E) RIDGE
- 314.5' MAXIMUM RIDGE HEIGHT ALLOWABLE

SOUTHWEST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

A horizontal scale diagram showing pitch intervals from 0' to 16' on a logarithmic-like scale. The scale is marked at 0', 2', 4', 8', 12', and 16'. Intervals between 0' and 2', 2' and 4', 4' and 8', 8' and 12', and 12' and 16' are represented by black segments. Intervals between 0' and 4', 4' and 12', and 12' and 16' are represented by white segments.

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CONSULTANT:		
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ARCHITECT		
<p>EXISTING ELEVATIONS</p> <p>JOB NAME: Mountford Residence 151 Highlands Drive Carmel Highlands, CA</p> <p>A.P.N. 241-181-000-000</p>		
DATE:	10/12/18	
SCALE:	1/4"=1'-0"	
DRAWN:	CCR	
JOB NUMBER:	15.08	
A-3.1		SHEET OF

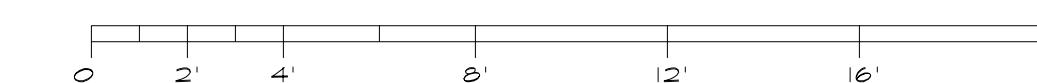
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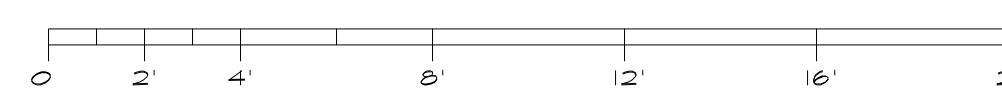
NORTHEAST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"



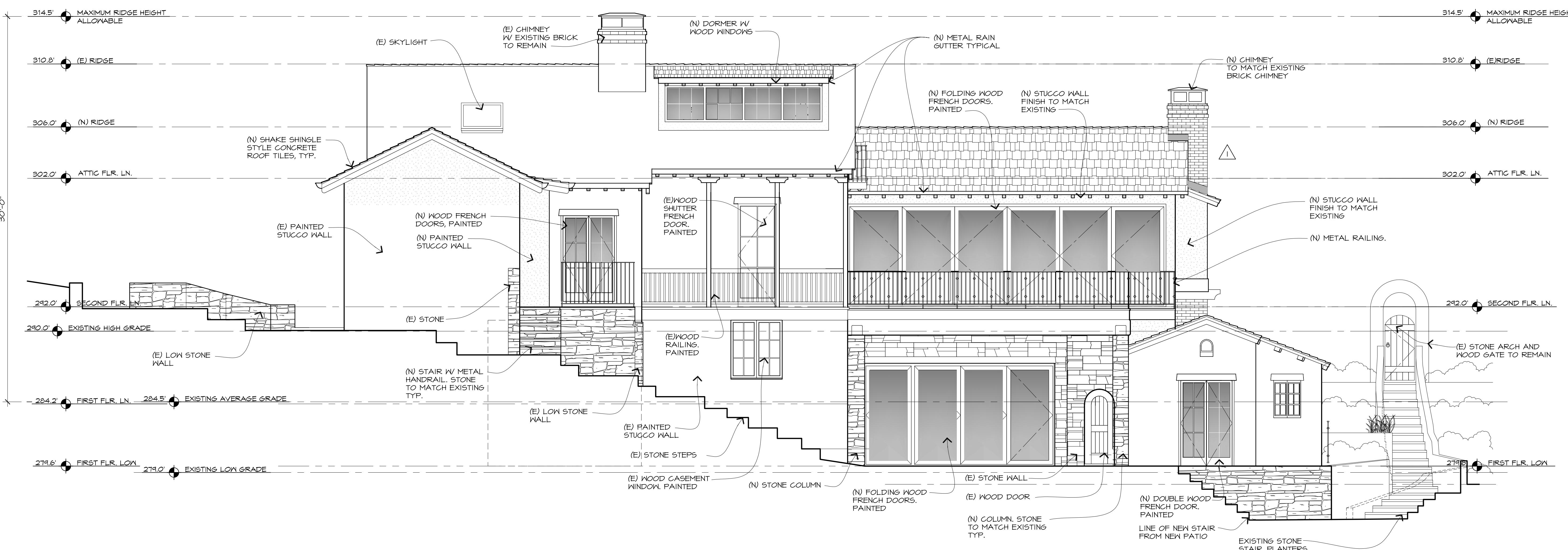
NORTHWEST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"



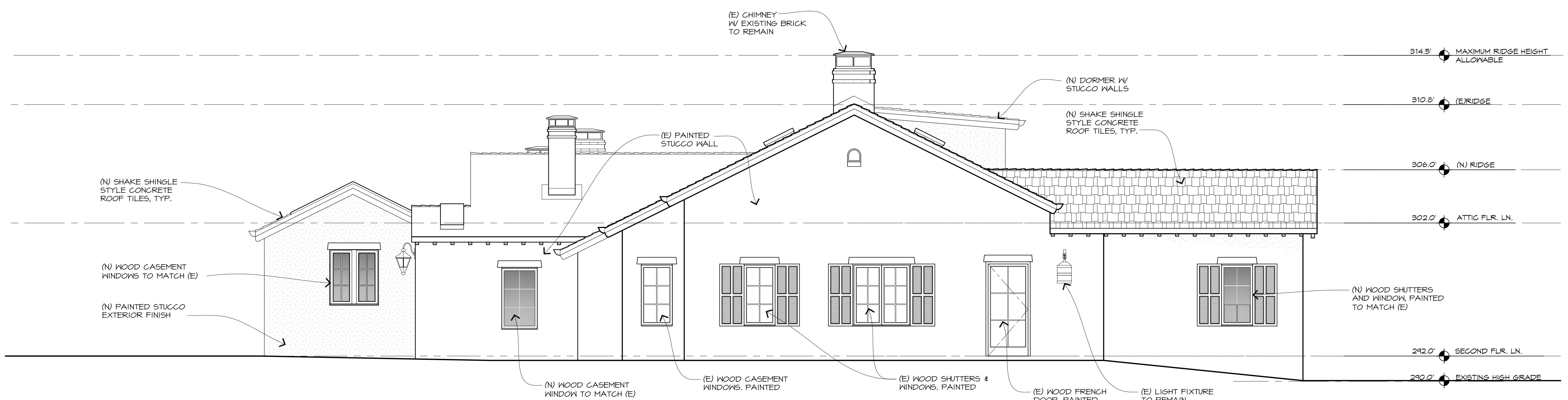
DATE:	10/12/18
SCALE:	1/4" = 1'-0"
DRAWN:	CCR
JOB NUMBER:	15.08
EXISTING ELEVATIONS	
<p>ERIC MILLER ARCHITECTS, INC.</p> <p>211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>	
<p>A-3.2</p> <p>SHEET OF</p>	

A-3.2



SOUTHWEST ELEVATION - PROPOSED BACK

SCALE: 1/4" = 1'-0"



NORTHWEST ELEVATION - PROPOSED SIDE

SCALE: 1/4" = 1'-0"



CONSULTANT:

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ARCHITECT

EXTERIOR ELEVATION

JOB NAME: Mountford Residence
15 Highlands Drive
Carmel Highlands, CA
A.P.N. 241-010-000

DATE:

10/12/18

SCALE:

1/4" = 1'-0"

DRAWN:

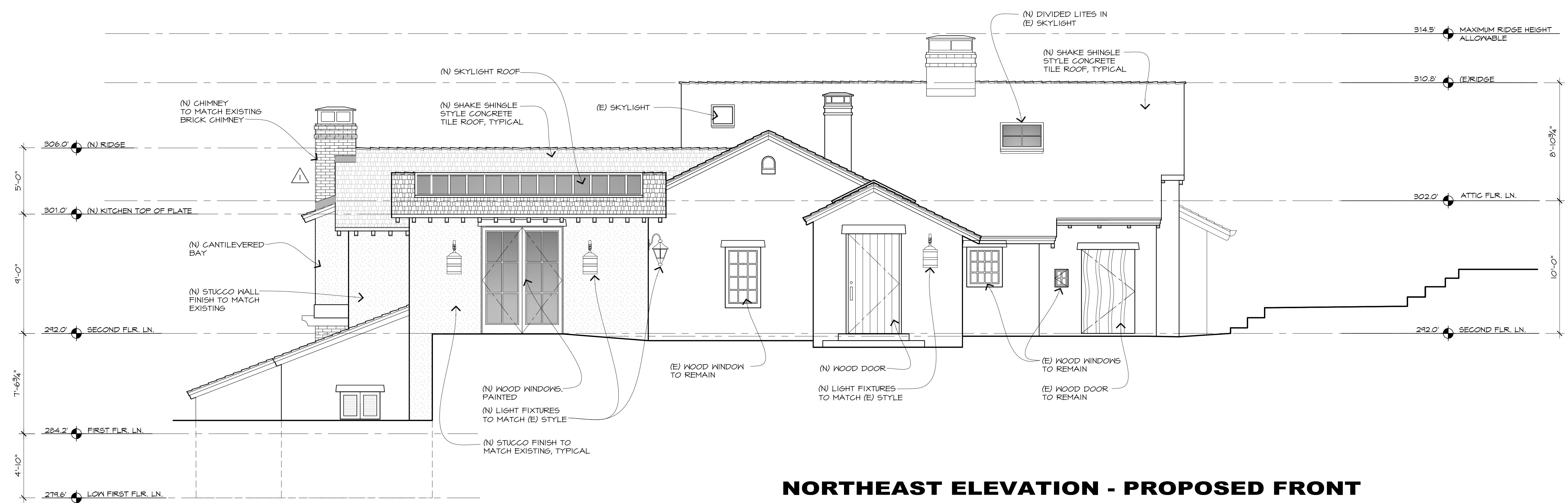
CJH

JOB NUMBER:

15.08

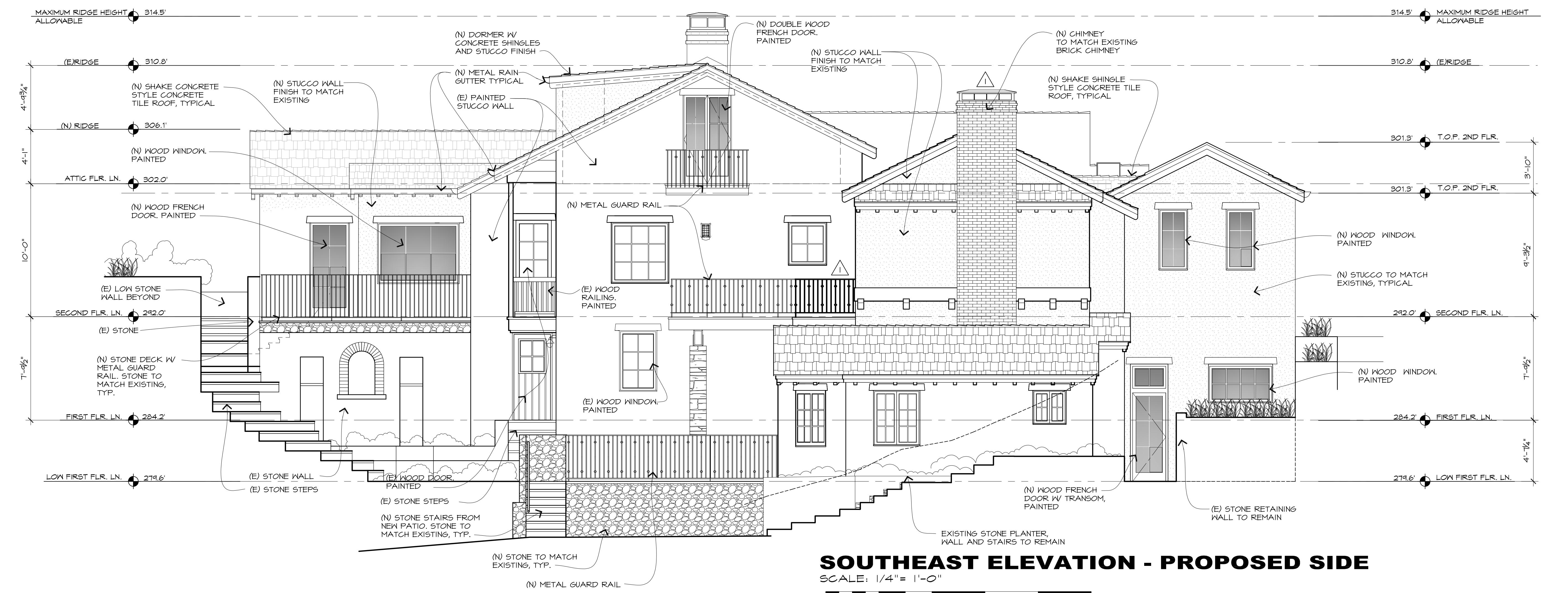
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NORTHEAST ELEVATION - PROPOSED FRONT

SCALE: 1/4" = 1'-0"



SOUTHEAST ELEVATION - PROPOSED SIDE

SCALE: 1/4" = 1'-0"

CONSULTANT:

ERIC MILLER ARCHITECTS, INC. MONTEREY CA 93940
211 HOFFMANN AVENUE

D
L

2 NAME _____

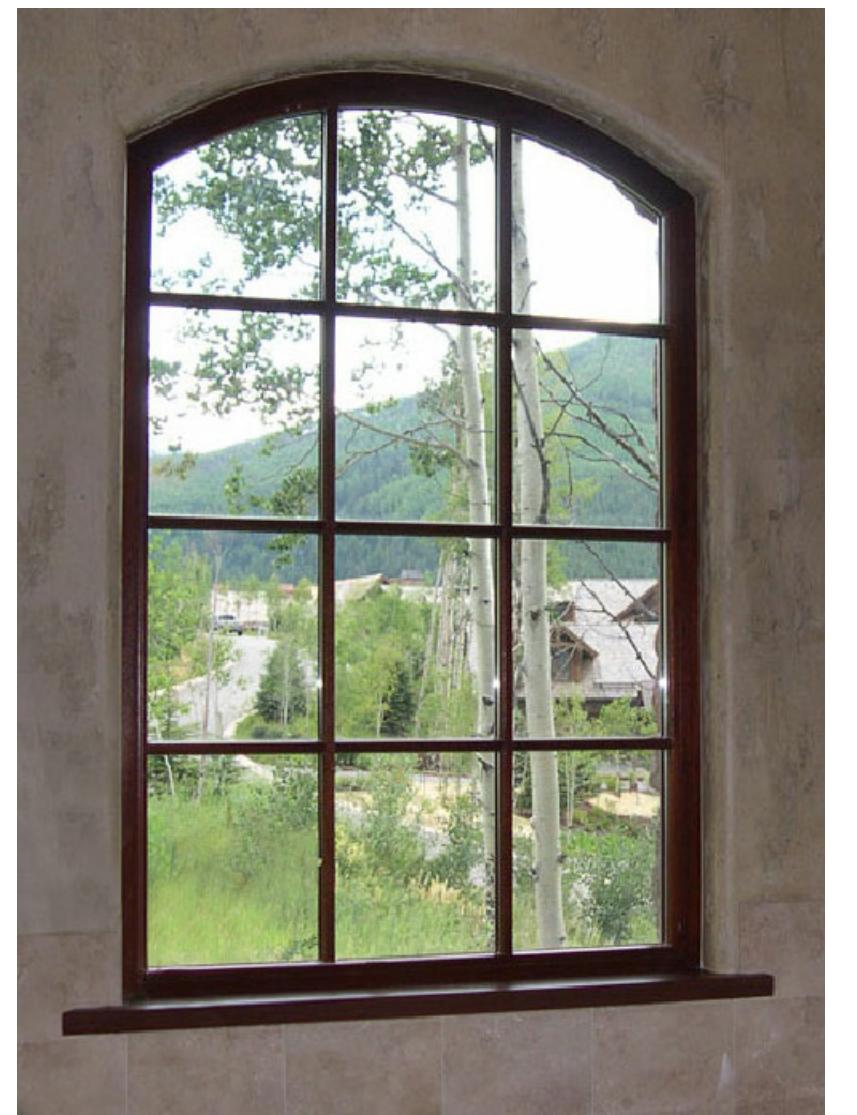
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A-

N ANCE 2/18	No. 

2/18

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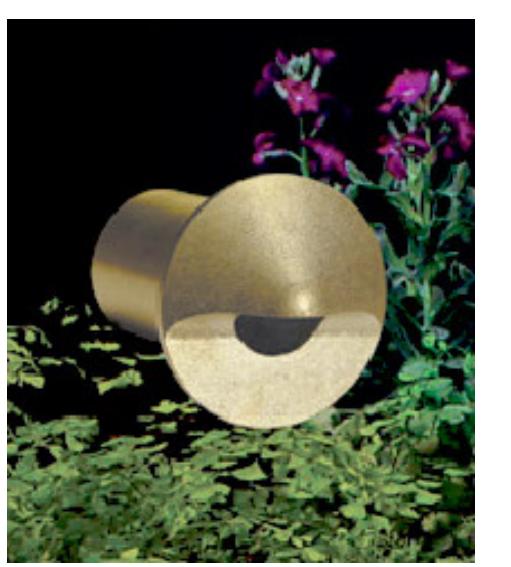


PAINTED TO MATCH EXISTING

4 WINDOWS



PATH LIGHT - 25W
COPPER FINISH



SIDE WALL LIGHT - 25W
COPPER FINISH

LANDSCAPE LIGHTING



CONCRETE PONDEROSA TILE

ROOF TILE



COPPER GUTTER & DOWNSPOUT



STONE & STUCCO TO MATCH EXISTING

EXTERIOR COLORS



FOR REFERENCE ONLY

GUEST HOUSE FLOOR AREA:

ATTIC PLAN - EXISTING

SCALE: 1/8" = 1'-0"

FIRST FLOOR AREA:

ORIGINAL	-	788 S
EXISTING	-	788 S

FIRST FLOOR PLAN - EXISTING

SCALE: 1/8" = 1'-0"

ATTIC FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"

This architectural floor plan diagram illustrates the layout of the guest house and first floor areas. The diagram is divided into two main sections: the GUEST HOUSE FLOOR AREA (bottom) and the FIRST FLOOR AREA (top).

GUEST HOUSE FLOOR AREA:

- BATH #3:** Contains a toilet, a bidet, a sink, and a shower.
- CLOSET #6:** Located near the entrance.
- GAME ROOM:** A large room with a yellow floor.
- BEDROOM #3:** A room with a bed and a closet.
- FRIG/ICE:** Located in the Family Room area.
- WINE CELLAR:** A room with a yellow floor.

FIRST FLOOR AREA:

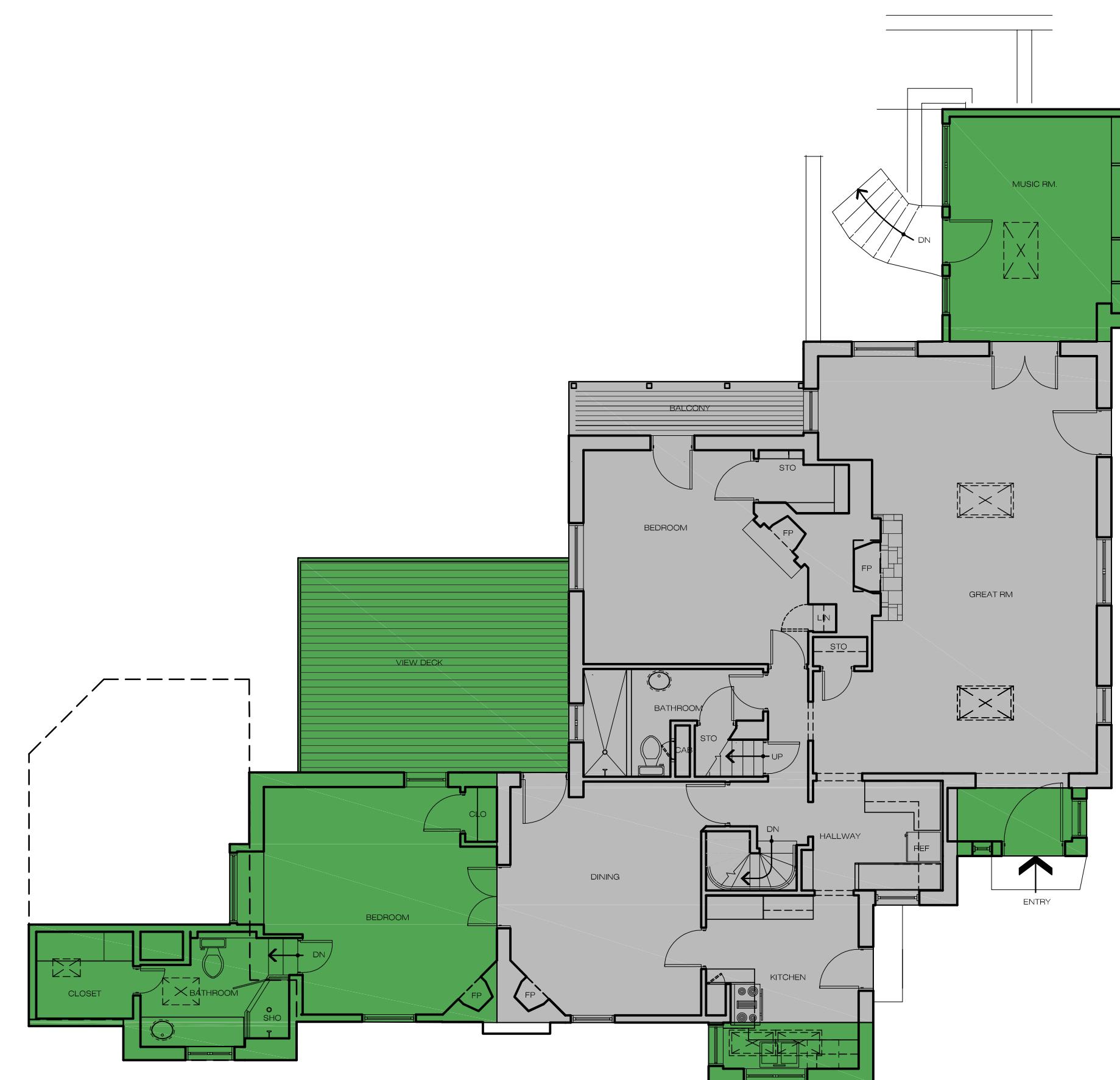
- STAIRWELL:** An area leading up to the second floor.
- Mechanical:** A room with a yellow floor.
- WINE CELLAR:** A room with a yellow floor.
- PADR. R.M.:** A room with a bed.
- FAMILY ROOM:** A room with a yellow floor.
- CLOSET:** Located near the stairs.
- LAUNDRY:** A room with a washing machine and a dryer.
- BEDROOM #4:** A room with a bed and a closet.
- BATH #4:** Contains a toilet, a bidet, a sink, and a shower.
- SHOWER:** Located in the Bath #4 area.
- WATER HEATER:** Located in the Mechanical room.

The diagram also includes various pipes, valves, and symbols representing structural elements and fixtures throughout the layout.

FIRST FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"

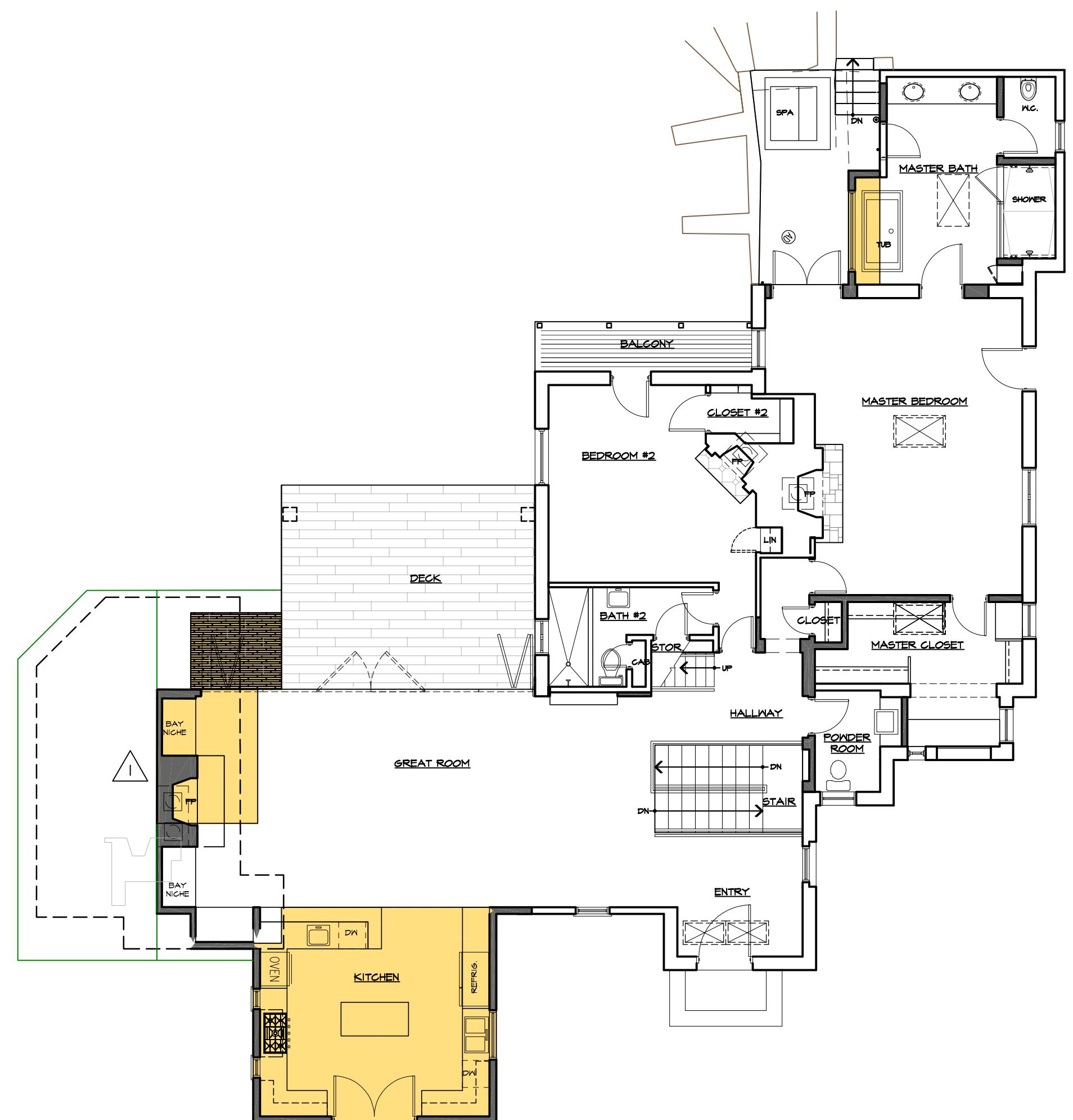
DATE:	10/12/18
SCALE:	1/8" = 1'-0"
DRAWN:	CJH
JOB NUMBER:	15.08
JOB NAME: Mountford Residence 51 Highlands Drive Carmel Highlands, CA	
1ST FLOOR COMPARISON	
ARCHITECT	ERIC MILLER ARCHITECTS, INC.
CONSULTANT:	
REVISION NO VARIANCE REV. 10/12/18	No. 
T-1	
SHEET	OF



SECOND FLOOR PLAN - EXISTING

SCALE: 1/8" = 1'-0"

SECOND FLOOR AREA:
 ■ ORIGINAL - 1,420 S.F.
 ■ EXISTING - 2,124 S.F. (701 S.F. ADDITIONS)
 ■ DECK - 272 S.F. (ADDITION)



SECOND FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"

SECOND FLOOR AREA:
 ■ PROPOSED - 2,331 S.F. (457 S.F. ADDITIONS)
 ■ DECK - 48 S.F. (ADDITION TO EXISTING)

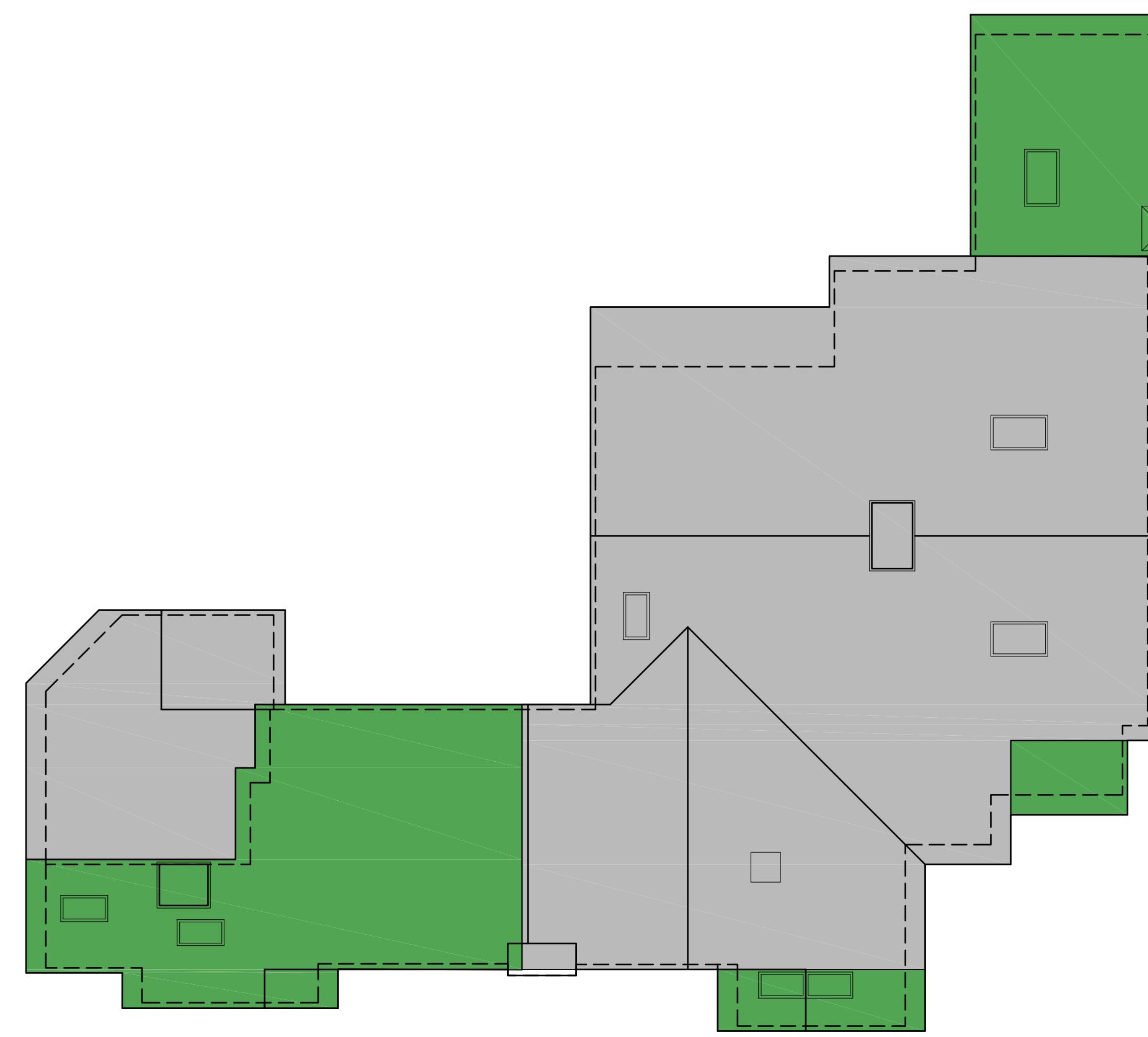
2ND FLOOR COMPARISON
 JOB NAME: **Mountford Residence**
 151 Highlands Drive
 Carmel Highlands, CA
 A.P.N. 241-131-010-000

DATE: 10/12/10
 SCALE: 1/8" = 1'-0"
 DRAWN: CJH
 JOB NUMBER: 15.08

H-2
 SHEET OF

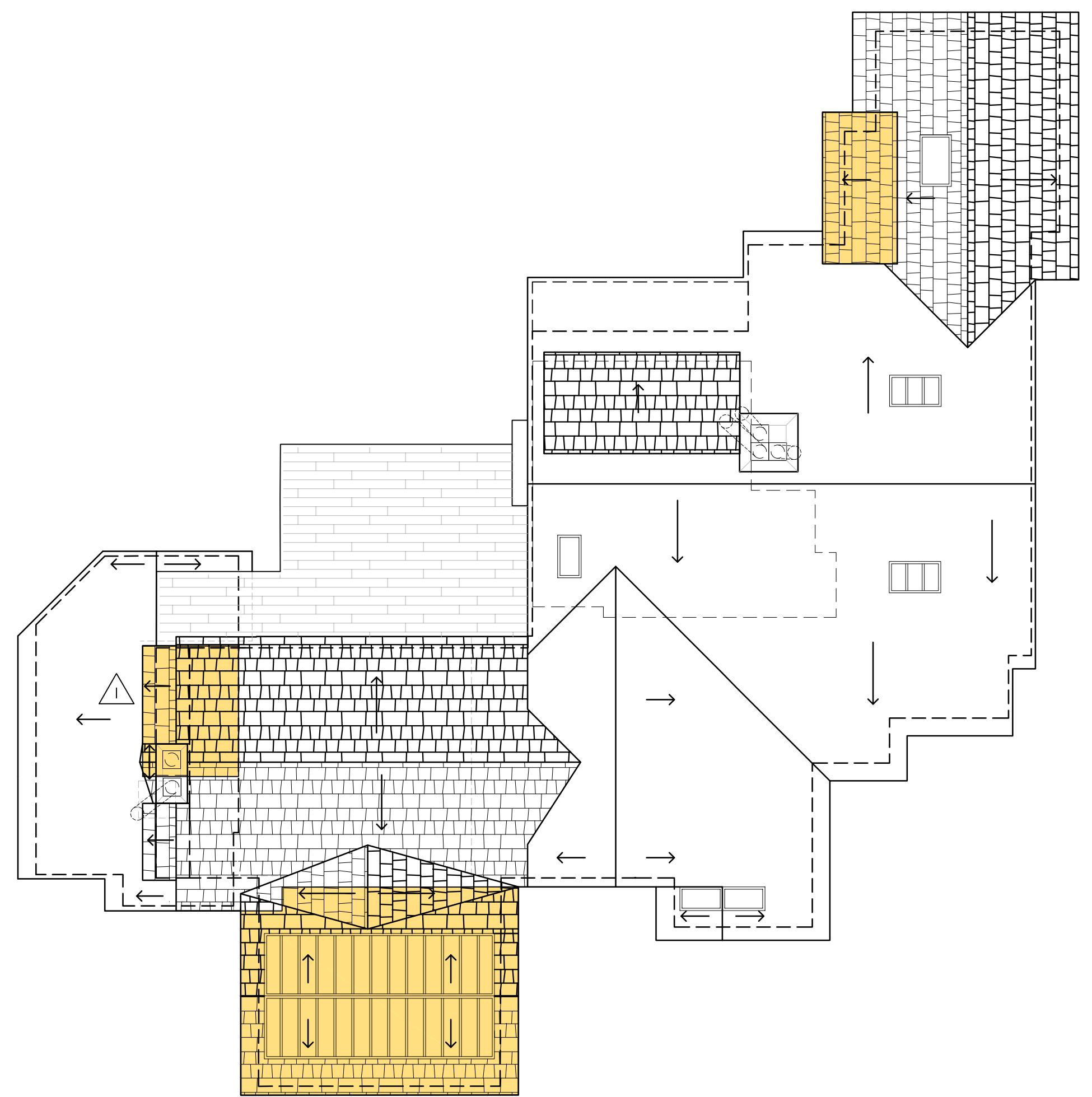
REVISION	No.
NO VARIANCE	
REV. 10/12/10	△
CONSULTANT:	ERIC MILLER ARCHITECTS, INC.
ARCHITECT	ERIC MILLER
MONTEREY, CA 93940	211 HOFFMAN AVENUE
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.emillerarchitects.com	

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ROOF PLAN - EXISTING

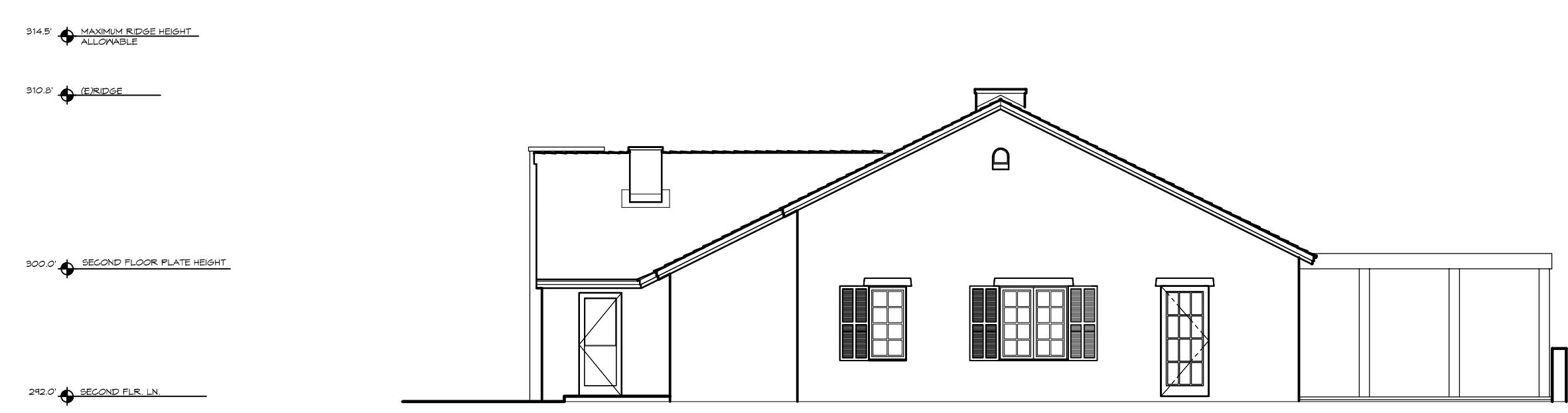
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ROOF PLAN - PROPOSED

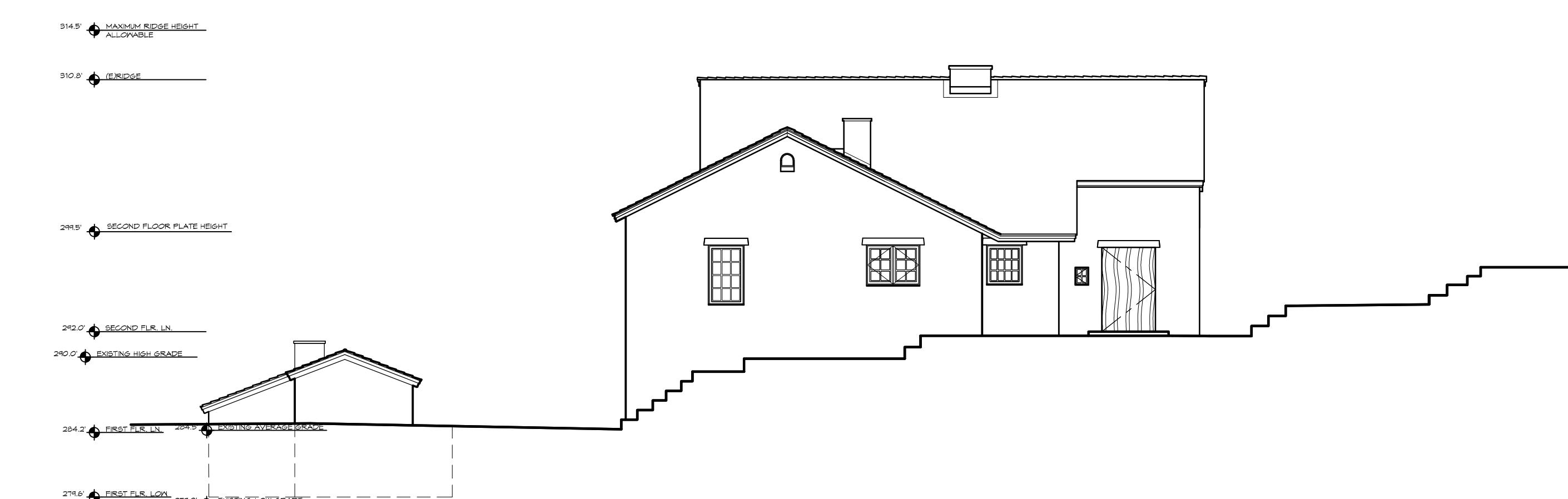
SCALE: 1/8" = 1'-0"

REVISION		No.
NO VARIANCE REV. 10/12/18		
CONSULTANT:		
ERIC MILLER ARCHITECTS, INC.  211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ARCHITECT		
ROOF PLAN COMPARISON JOB NAME: Mountford Residence 151 Highlands Drive Carmel Highlands, CA A.P.N. 241-181-010-000		
DATE:	10/12/18	
SCALE:	1/8" = 1'-0"	
DRAWN:	CJH	
JOB NUMBER:	15.08	
T-3		SHEET OF



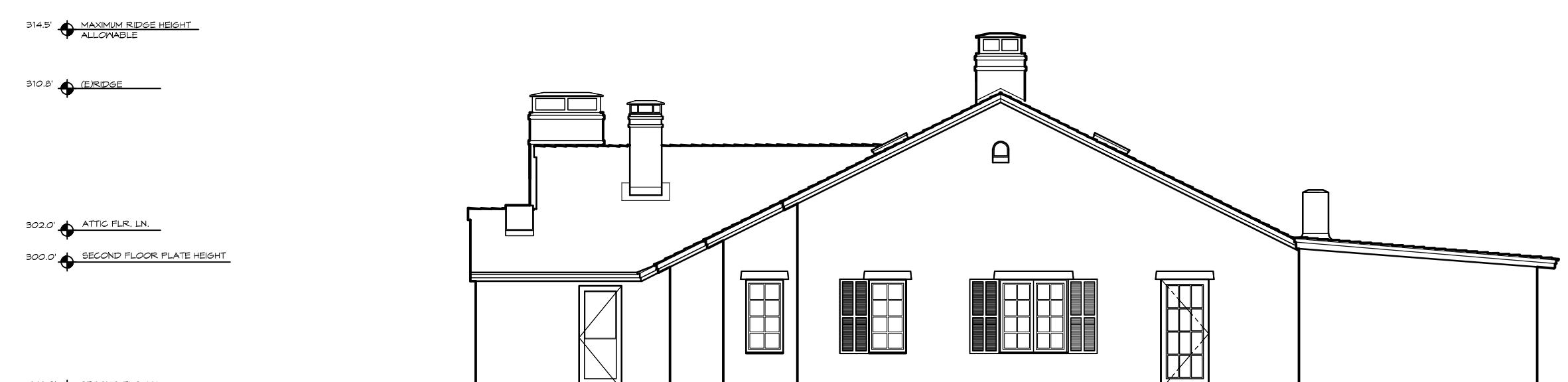
NORTHWEST ELEVATION - ORIGINAL

SCALE: 1/8" = 1'-0"



NORTHEAST ELEVATION - ORIGINAL

SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



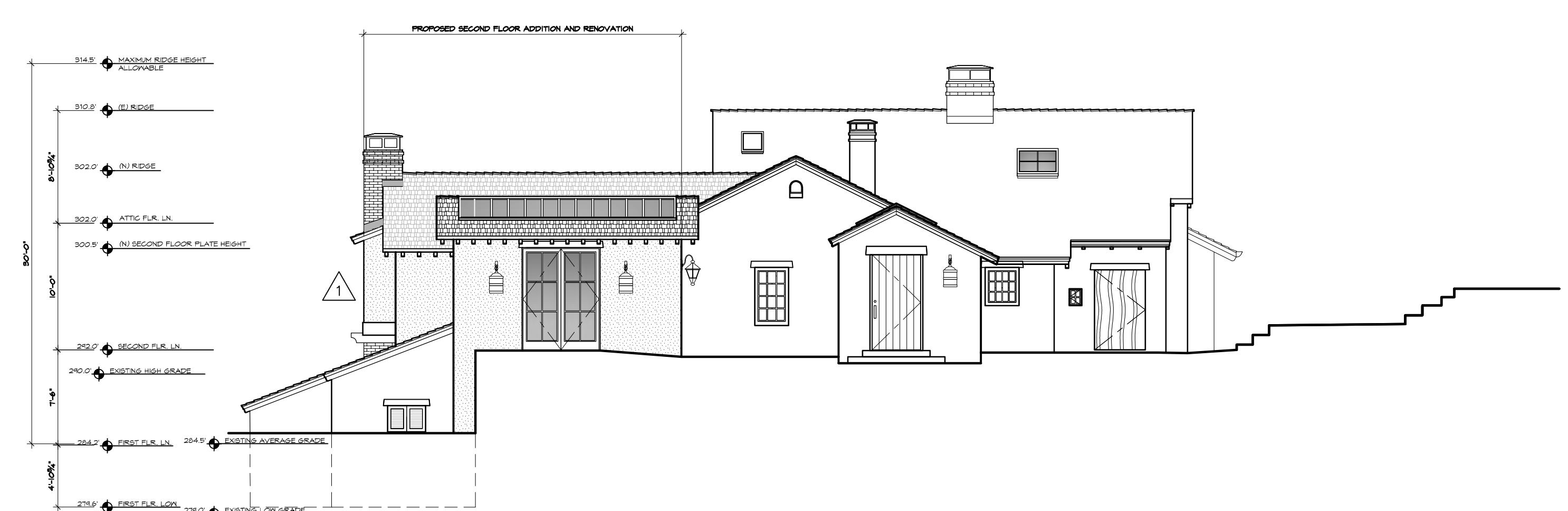
NORTHEAST ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



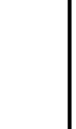
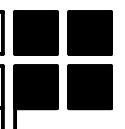
NORTHEAST ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"

REVISION	No.
NO VARIANCE	
REV. 10/12/18	1

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.



MONTEREY, CA 93940

PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.emillerarchitects.com

ARCHITECT

Mountford Residence

151 Highlands Drive
Carmel Highlands, CA

A.P.N. 241-131-010-000

ELEVATION COMPARISON

JOB NAME: Mountford Residence

DATE: 10/12/18

SCALE: 1/8" = 1'-0"

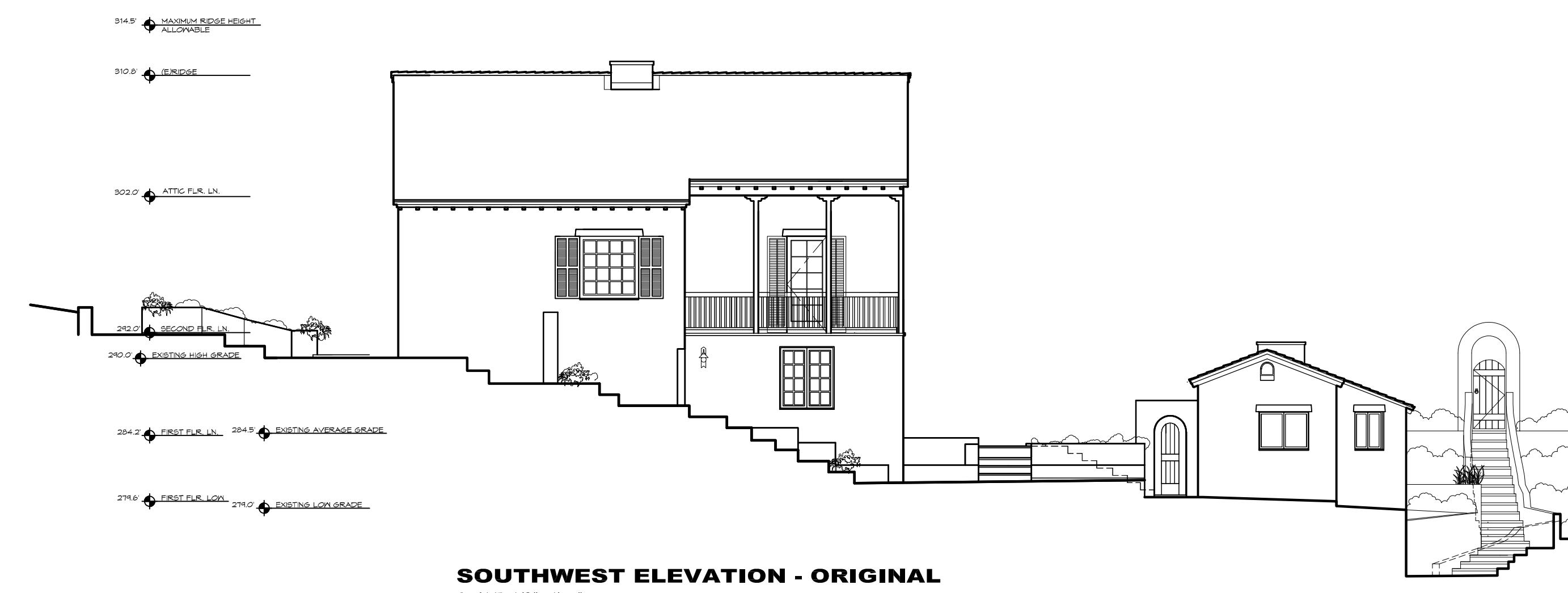
DRAWN: CJH

JOB NUMBER: 15.08

H-4

SHEET OF

THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY MEANS, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED - TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE PRIMA FASCIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



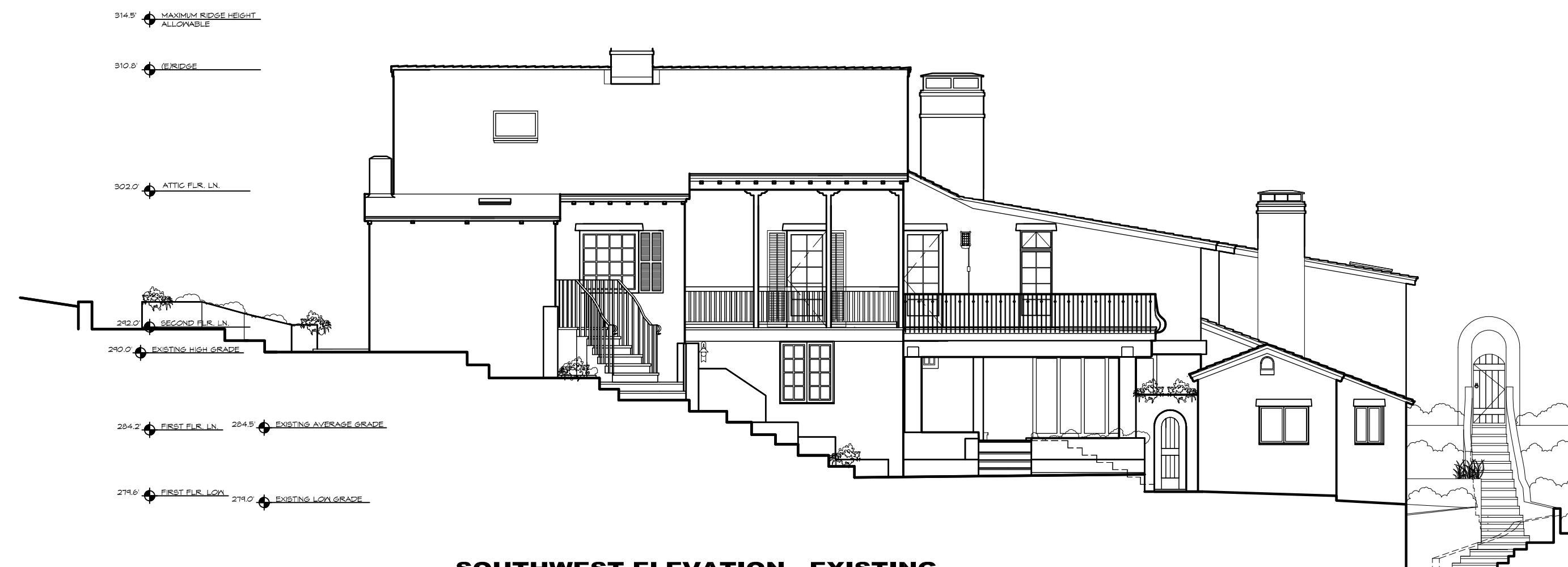
SOUTHWEST ELEVATION - ORIGINAL
SCALE: 1/8" = 1'-0"

SCALE: 1/8



SOUTHEAST ELEVATION - ORIGINAL

SCALE: 1/8" = 1'-0"



SOUTHWEST ELEVATION - EXISTING

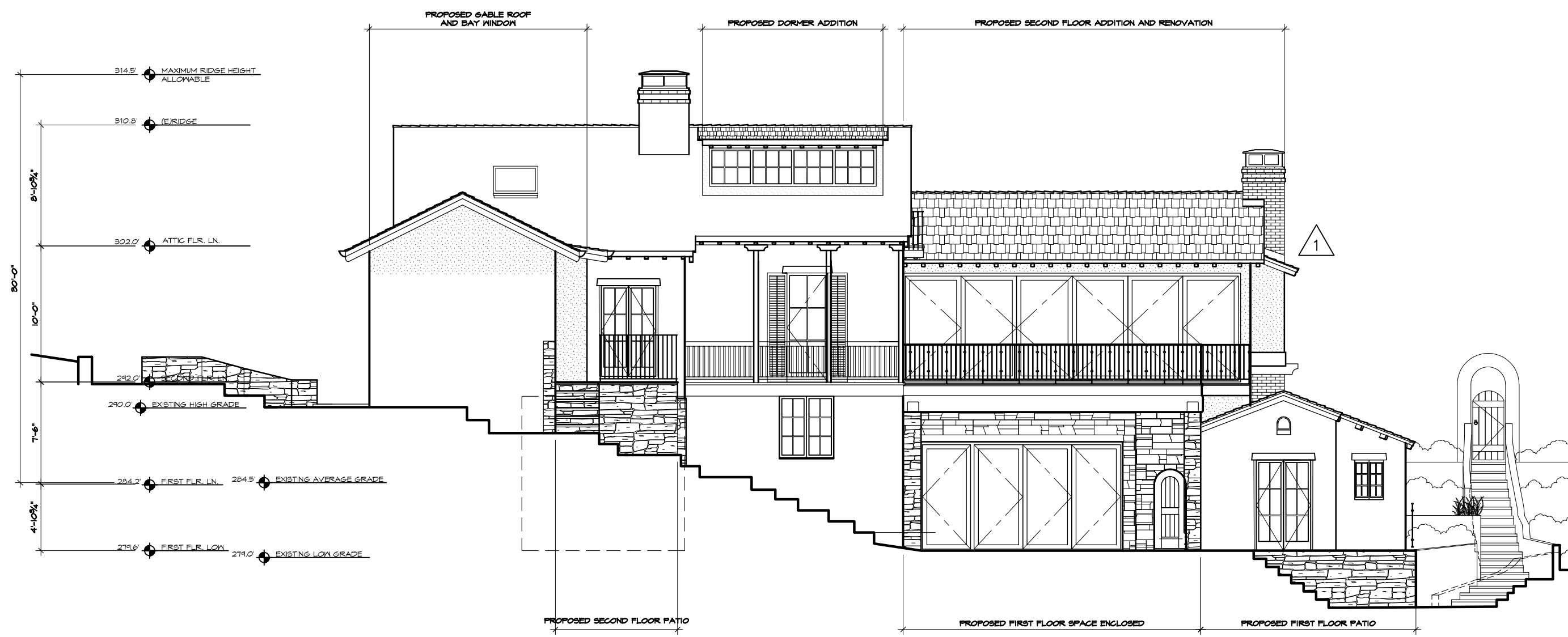
SCALE: 1/8



SOUTHEAST ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



SOUTHWEST ELEVATION - PROPOSED

SCALE: 1/8" =



SOUTHEAST ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"

ELEVATION COMPARISON		JOB NAME: Mountford Residence 151 Highlands Drive Carmel Highlands, CA A.P.N. 241-181-010-000
DATE:	10/12/18	
SCALE:	1/8" = 1'-0"	
DRAWN:	CJH	
JOB NUMBER:	15.08	
ERIC MILLER ARCHITECTS, INC.		211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com
CONSULTANT:		
ARCHITECT		
REVISION NO VARIANCE REV. 10/12/18	No. 1	
T-5		
SHEET		OF

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SHEET OF

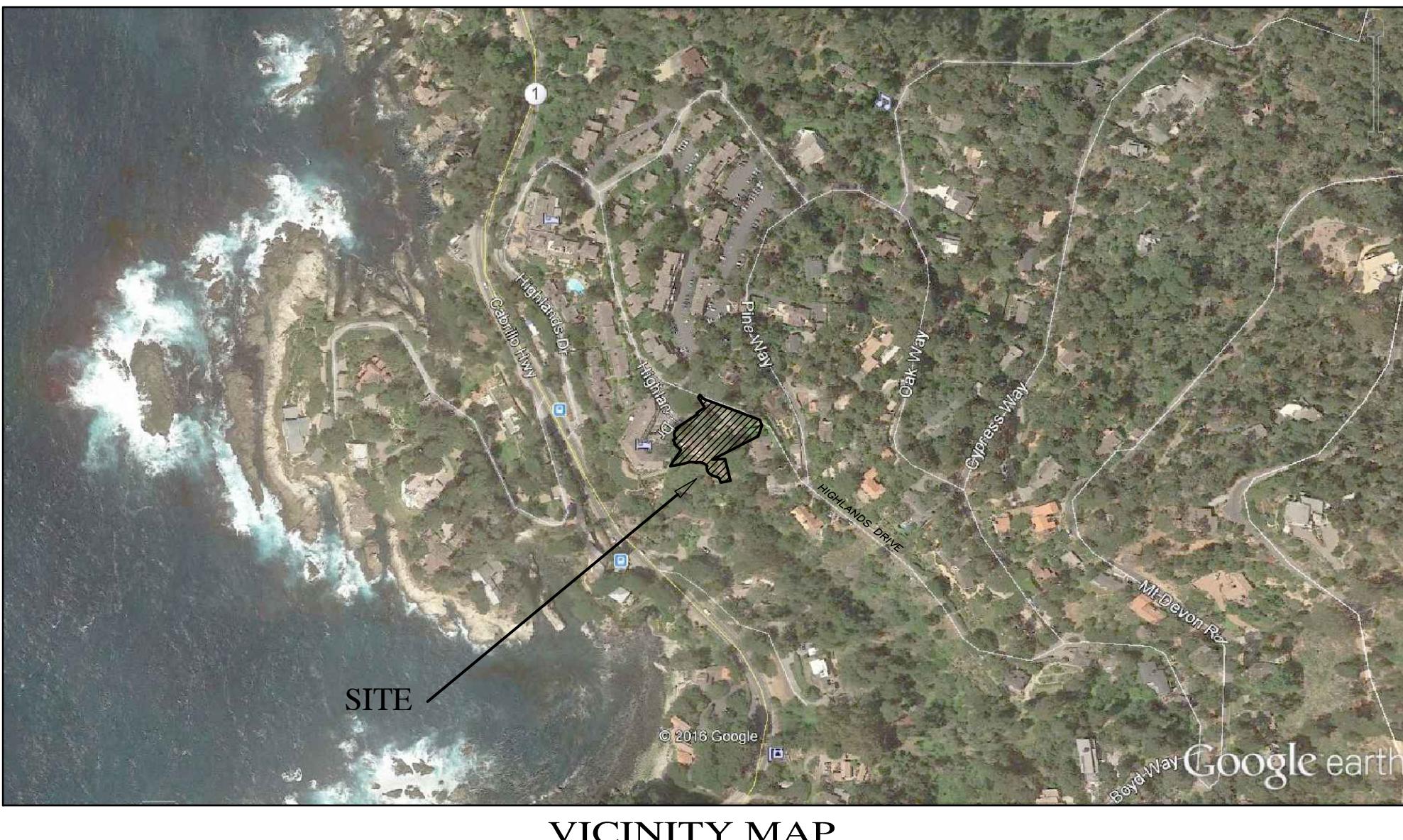
GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

MOUNTFORD RESIDENCE

APN: 241-181-010

CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA



GENERAL NOTES:

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE MOUNTFORD RESIDENCE, SHEET A1.1 PREPARED BY ERIC MILLER ARCHITECTS, INC., DATED 06/08/16, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY LANDSET ENGINEERS, INC., DATED 06/22/15.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED, ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) THIS MAP PORTREYS THE SITE AT THE TIME OF THE SURVEY 06/22/15, AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

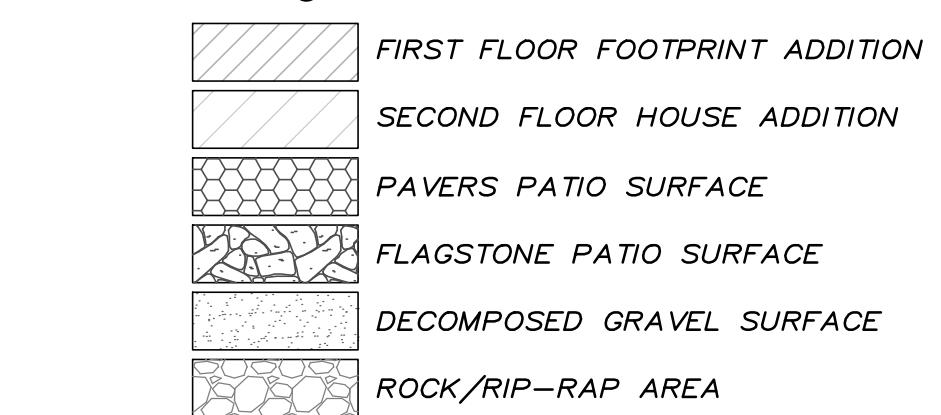
GRADING & DRAINAGE NOTES:

- 1) ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- 2) SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- 3) NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 4) THERE ARE APPROXIMATELY 240 C.Y. OF CUT AND 50 C.Y. OF FILL WITH A SURPLUS OF 190 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL QUANTITIES GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC., NOT INCLUDED IN THE ABOVE LISTED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- 5) EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTION TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- 7) PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- 8) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST AND FOR GRADING OPERATIONS.
- 9) A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) EXISTING STORM DRAINAGE SYSTEM TYPES & SIZES SHOWN HAD BEEN COMPILED FROM SITE MAPPING OF FACILITIES AND SUPPLEMENTAL FIELD INVESTIGATION MAY NOT BE COMPLETE IN ITS ENTIRELY OR AS DELINEATED ON THE PLAN.
- 11) CONTRACTOR SHALL FIELD VERIFY THE RELEVANT STORM DRAIN LINES AND VERIFY THAT THE MAIN CONNECTIONS FLOWLINES AND DIRECTIONS OF FLOW AS SHOWN WILL ADEQUATELY CONVEY THE STORM RUNOFF. ANY RE-DESIGN OF THE STORM DRAIN LINES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION AND ADEQUATE DESIGN PERFORMED SHALL BE APPROVED.
- 12) ALL EXISTING STORM DRAIN LINES TO INCLUDE RAIN WATER LEADERS SHALL BE THOROUGHLY CLEANED AND FLUSHED PRIOR TO ANY NEW CONNECTIONS.
- 13) THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- 14) ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS AND CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO EXISTING CATCH BASINS AND EXISTING STORM DRAIN SYSTEM. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL:VERTICAL) LINE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- 15) STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY AREA DRAINS AND PIPED INTO EXISTING STORM DRAIN SYSTEM AS SHOWN ON THE SITE DRAINAGE PLAN.



LEGEND:
NEW

MINOR CONTOUR LINE (1' INTERVAL)
DRAINAGE SWALE FLOW LINE
STORM DRAIN LINE
RETAINING WALL SUBDRAIN
SPOT ELEVATION
279.40
○ ROOF DOWNSPOUT
FIRST FLOOR FOOTPRINT ADDITION
SECOND FLOOR HOUSE ADDITION
PAVERS PATIO SURFACE
FLAGSTONE PATIO SURFACE
DECOMPOSED GRAVEL SURFACE
ROCK/RIP-RAP AREA



NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, Inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, Inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, Inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, Inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, Inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, Inc.	During backfill operations		
Baserock subgrade compaction	LandSet Engineers, Inc.	Prior to pavement installation		

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	SITE OVERVIEW
SHEET C4	GRADING, DRAINAGE AND UTILITY PLAN - FIRST FLOOR
SHEET C5	GRADING, DRAINAGE AND UTILITY PLAN - SECOND FLOOR
SHEET C6	GRADING SECTIONS
SHEET C7	EROSION CONTROL PLAN
SHEET C8	STANDARD PLANS & CONSTRUCTION DETAILS

"COVER SHEET"

GRADING, DRAINAGE & EROSION CONTROL PLAN
MOUNTFORD RESIDENCE
A.P.N.: 241-181-010
CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA
FOR MR. PAUL MOUNTFORD

"COVER SHEET"



PROFESSIONAL ENGINEER
LANDSET ENGINEERS, INC.
524-B CRAY HORSE CANYON ROAD
SAUSALITO, CALIFORNIA 94965
PHONE: (831) 443-5870 FAX: (831) 443-5881
EMAIL: info@landseteng.com

GRADING, DRAINAGE & EROSION CONTROL PLAN
MOUNTFORD RESIDENCE
A.P.N.: 241-181-010
CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA
FOR MR. PAUL MOUNTFORD

SCALE: AS SHOWN
DATE: JANUARY 2017
JOB NO. 1459-02

SHEET C1
OF 8 SHEETS

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAILED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNSHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEADED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEADED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCLUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNNAR'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

10/15/18	AMS	NEW ARCH'S 2nd FLOOR PLAN
05/04/18	AMS	NEW ARCH'S SITE PLAN
01/24/17	AMS	RELEASED TO CLIENT
No.	DATE	BY

SHEET C1
OF 8 SHEETS



"TOPOGRAPHIC MAP/EXITING CONDITIONS"

GRADING, DRAINAGE & EROSION CONTROL PLAN OF

MOUNTFORD RESIDENCE
A.P.N.: 241-181-010
CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. PAUL MOUNTFORD



LANDSET ENGINEERS INC.

GUY R. GIRAUDO

Crazy Horse Canyon Road
Innis, California 93907
443-6970 Fax (831) 443-3801
www.landsetfeng.com

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CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. PAUL MOUNTFORD

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' 2017

C2
SHEETS

STREETS

PROFESSIONAL ENGINEER & GRAVING
CIVIL STATE OF CALIFORNIA
EXP. NO. 06-30-17
REGISTRATION NO. 56598

APPROVED BY:
GUY R. GIRAUDET

LANDSET
ENGINEERS, INC.
524-B Crazy Horse Canyon Road
Salins, California 93901
Office: (831) 443-5970 Fax: (831) 443-3801
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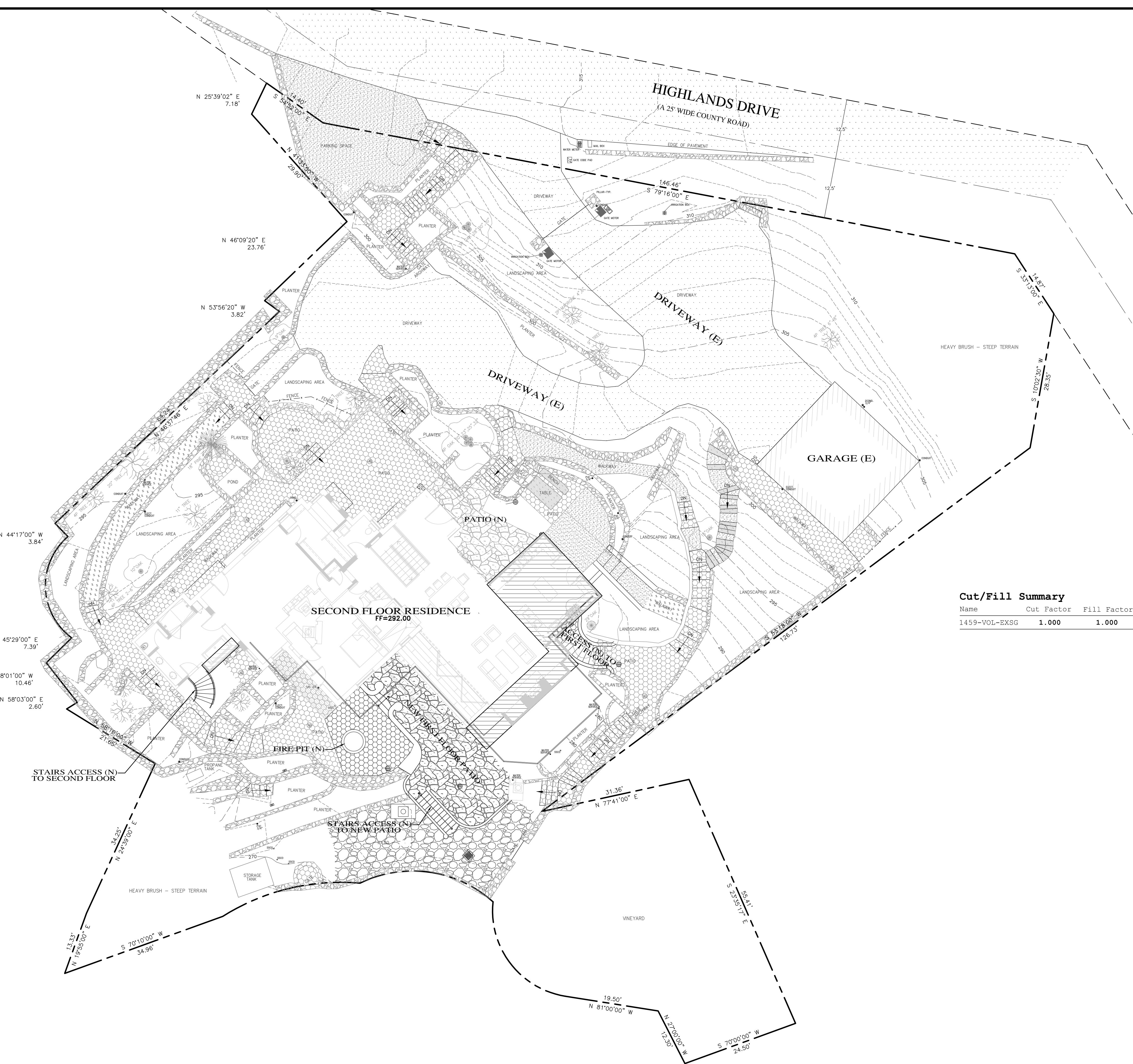
GRADING, DRAINAGE & EROSION CONTROL PLAN

"SITE OVERVIEW"

OF
MOUNTFORD RESIDENCE
A.P.N.: 241-181-010
CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. PAUL MOUNTFORD

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
1459-VOL-EXSG	1.000	1.000	1445 Sq.Ft.	240 Cu.Yd.	50 Cu.Yd.	190 Cu.Yd.<Cut>



SCALE: 1"=10'
DATE: JANUARY 2017
JOB NO. 1459-02

SHEET C3
OF 8 SHEETS

10/15/18	AMS	NEW ARCH'S 2nd FLOOR PLAN
05/04/18	AMS	NEW ARCH'S SITE PLAN
01/24/17	AMS	RELEASED TO CLIENT

No. DATE BY REVISION

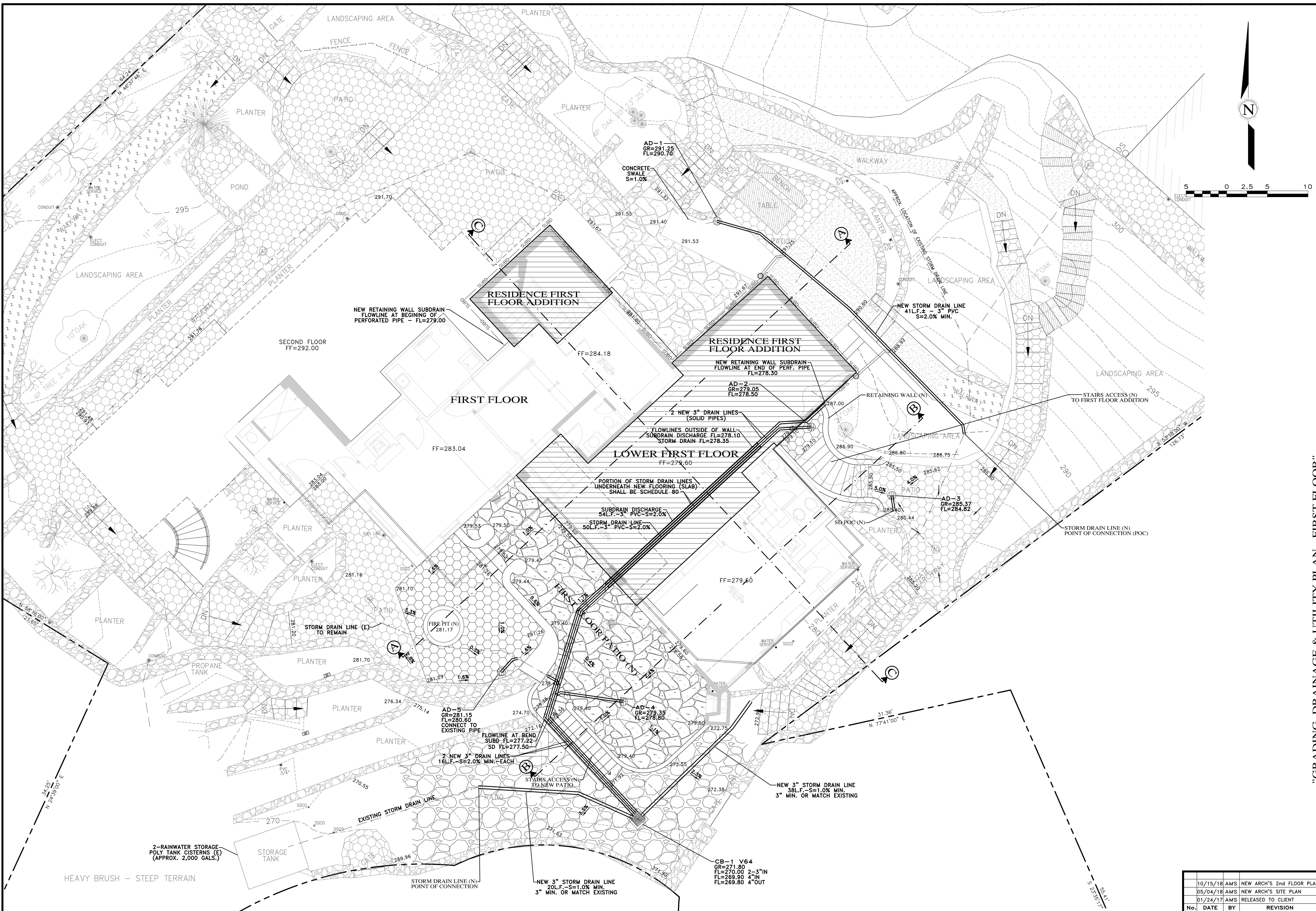
PROFESSIONAL ENGINEER
S.R. Giraudo
No. 56598
EXP. 06-30-17
CIVIL
RECEIVED
GUY R. GIRAUDET

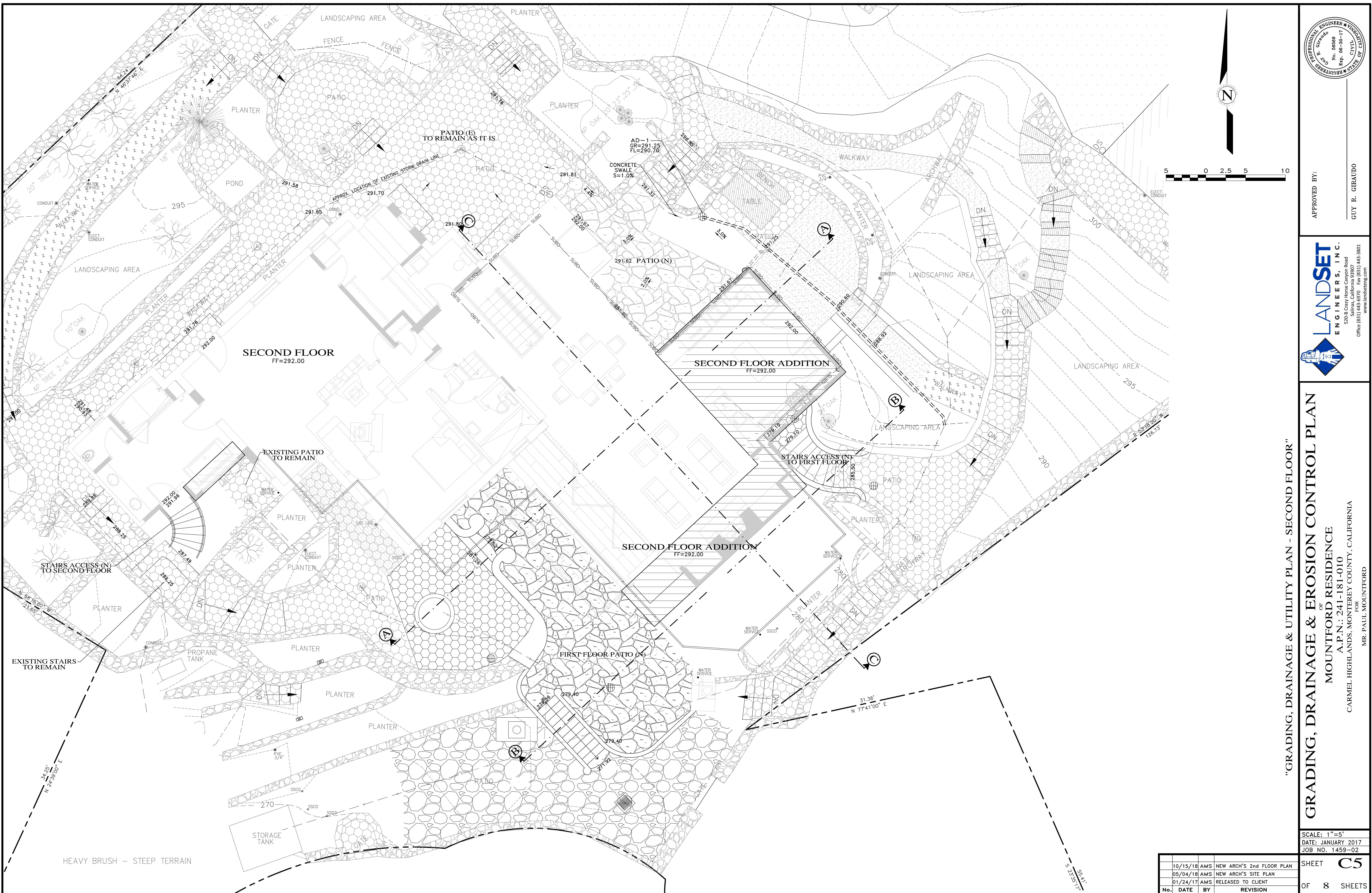
APPROVED BY:
GUY R. GIRAUDET
GUY R. GIRAUDET
GUY R. GIRAUDET
www.landseteng.com

GRADING, DRAINAGE & EROSION CONTROL PLAN - FIRST FLOOR

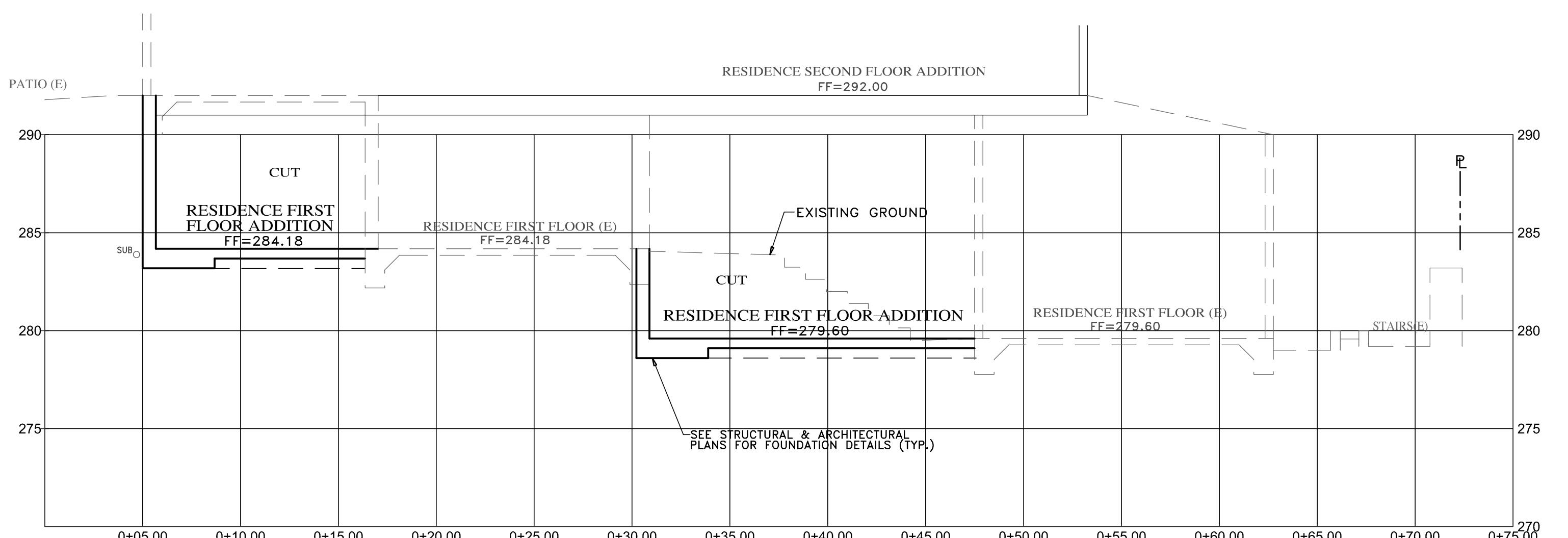
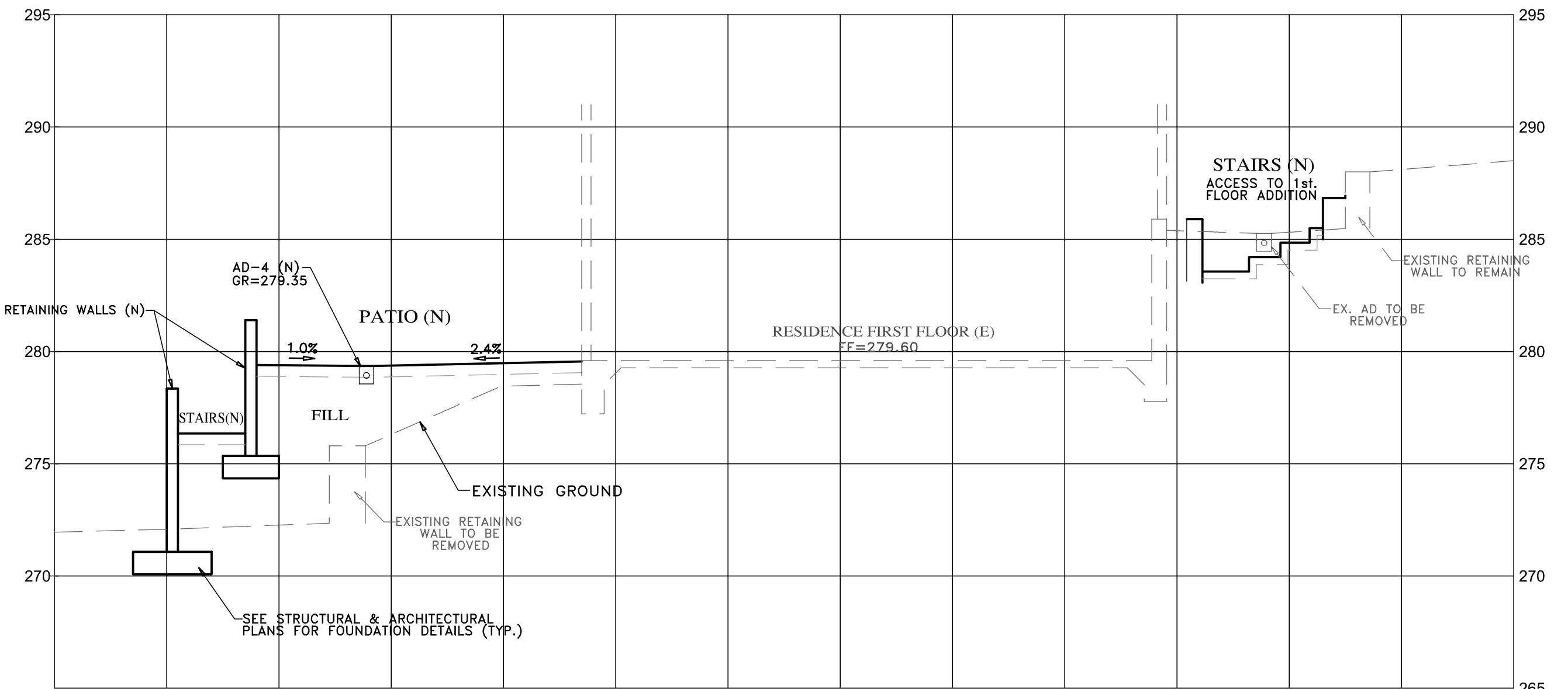
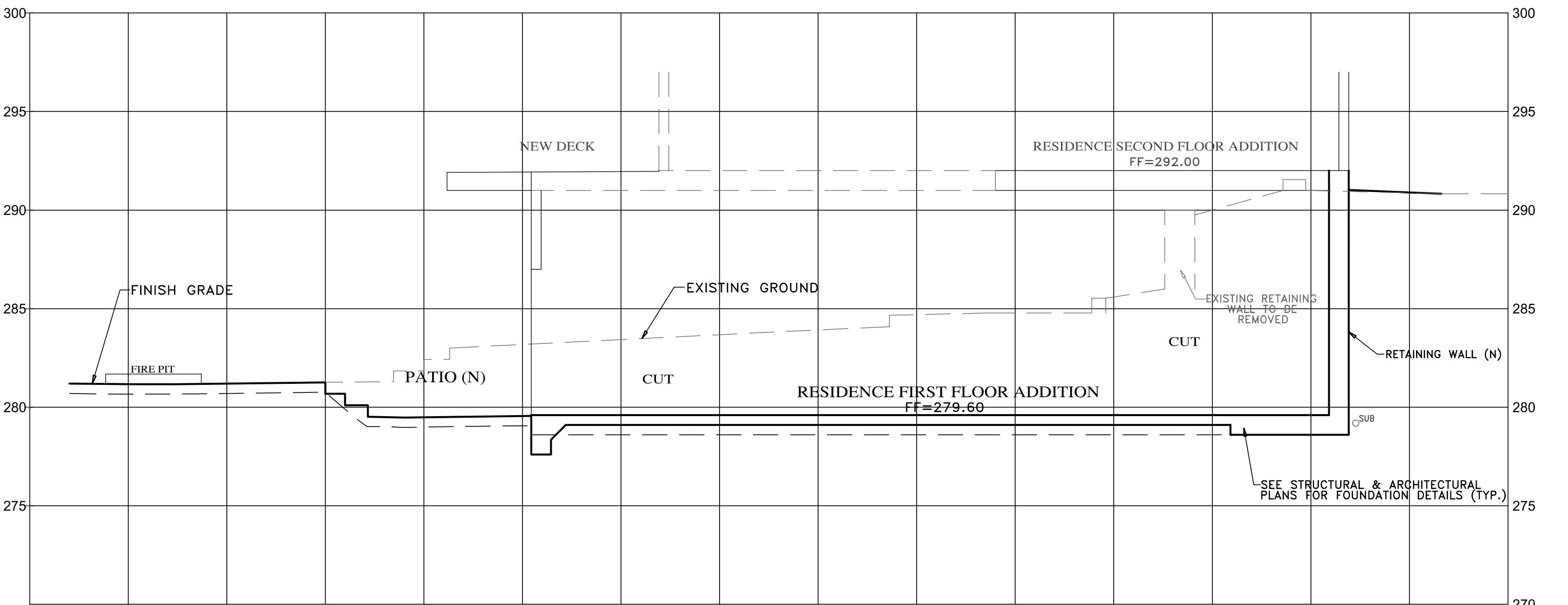
OF
MOUNTFORD RESIDENCE
A.P.N.: 241-181-010
CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. PAUL MOUNTFORD

SCALE: 1"=5'
DATE: JANUARY 2017
JOB NO. 1459-02
SHEET C4
OF 8 SHEETS





PROFESSIONAL ENGINEER
Sgt. & Giraldo
No. 56598
Exp. 06-30-17
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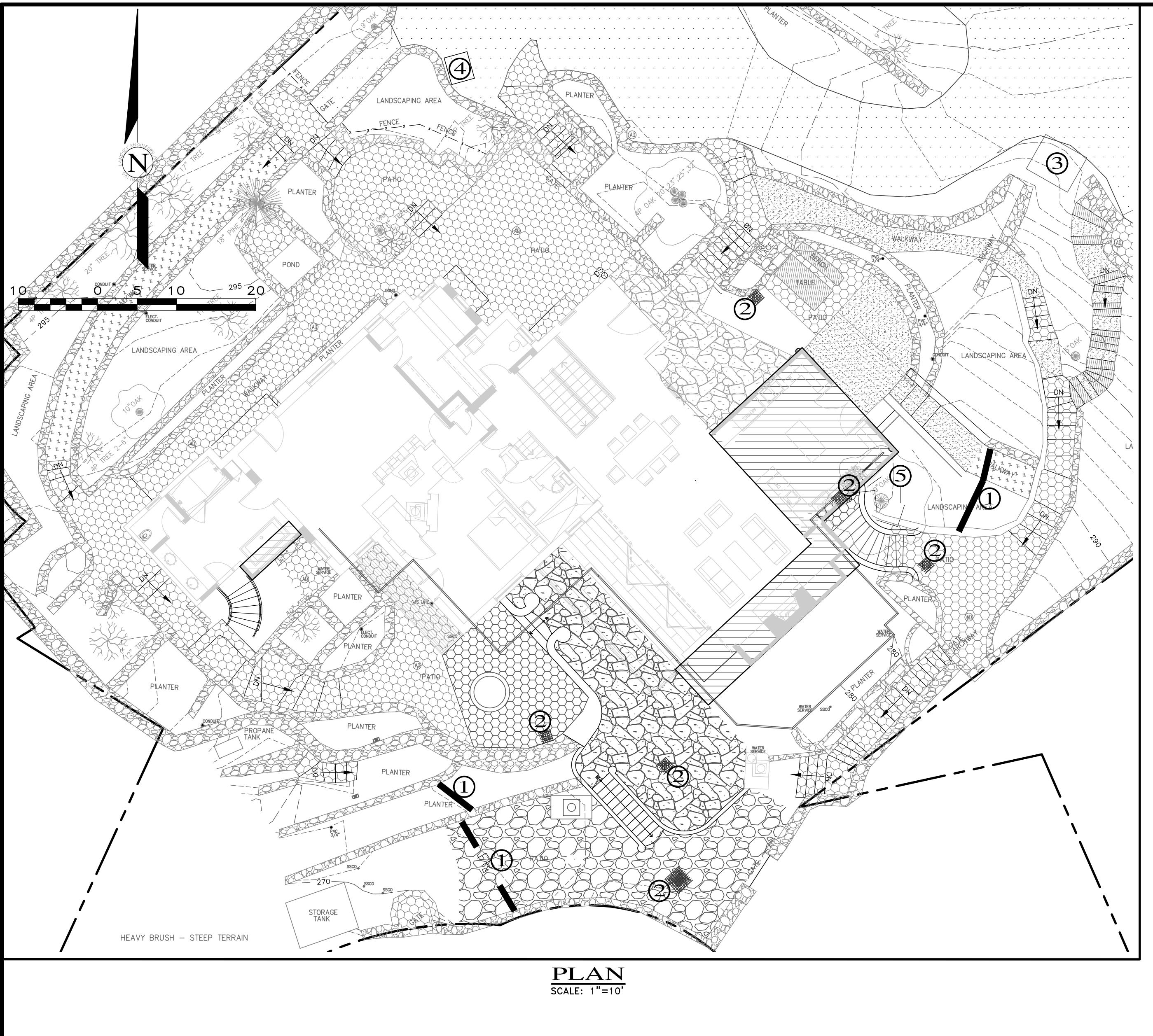
"GRADING SECTIONS"

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
MOUNTFORD RESIDENCE
A.P.N.: 241-181-010
CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. PAUL MOUNTFORD

SCALE: 1"=5'
DATE: JANUARY 2017
JOB NO. 1459-02

10/15/18	AMS	NEW ARCH'S 2nd FLOOR PLAN	
05/04/18	AMS	NEW ARCH'S SITE PLAN	
01/24/17	AMS	RELEASED TO CLIENT	
No.	DATE	BY	REVISION

SHEET **C6**
OF 8 SHEETS



CONSTRUCTION MANAGEMENT NOTES:

PAINTING:
1. MINIMIZE USE OF OIL-BASED PAINTS.
2. STORE SOLVENTS IN APPROVED ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER.
3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE.
4. NEVER DISPOSE OF EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.
5. CASQA BMP HANDBOOK - HAZARDOUS WASTE MANAGEMENT WM-6

PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:
1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.
2. CONSERVE MATERIALS. DO NOT MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE IN THE SUN AS MUCH AS POSSIBLE. REFUSE TO TAKE IT BACK TO THE READY-MIX BACH PLANT FOR TREATMENT/RECYCLING.
4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.
5. CASQA BMP HANDBOOK - CONCRETE WASTE MANAGEMENT WM-8

READY-MIXED CONCRETE:
1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK.
2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION.
3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION.
4. ALL TRUCK AND CHUTE RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BACH PLANT FOR TREATMENT/RECYCLING.
5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.
6. CASQA BMP HANDBOOK - CONCRETE WASTE MANAGEMENT WM-8

EARTH MOVING/GRADING:
1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
2. PLANT NEW VEGETATION WHEN SLOPES HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING.
3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
4. USE DUST DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.
7. CASQA BMP HANDBOOK - EROSION CONTROL

PORTABLE SANITATION FACILITY:
1. LOCATE AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION.
2. MUST BE EQUIPPED WITH CONTAINMENT TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM DRAINAGE SYSTEM.
3. NO OPEN SIGHTS TO DISCHARGE OR BURIED WITHIN THE PROJECT SITE.
4. TEMPORARY SANITARY FACILITIES CONNECTED TO DISCHARGE TO THE SANITARY SEWER SYSTEM SHOULD BE PROPERLY CONNECTED TO AVOID ILLICIT DISCHARGES.
5. SANITARY & SEPTIC FACILITIES SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY A LICENSED SERVICE.
6. ONLY REPUTABLE, LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED.
7. CASQA BMP HANDBOOK - SANITARY/SEPTIC WASTE MANAGEMENT WM-9

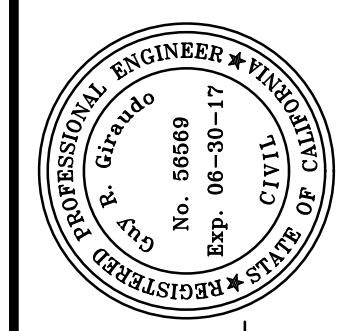
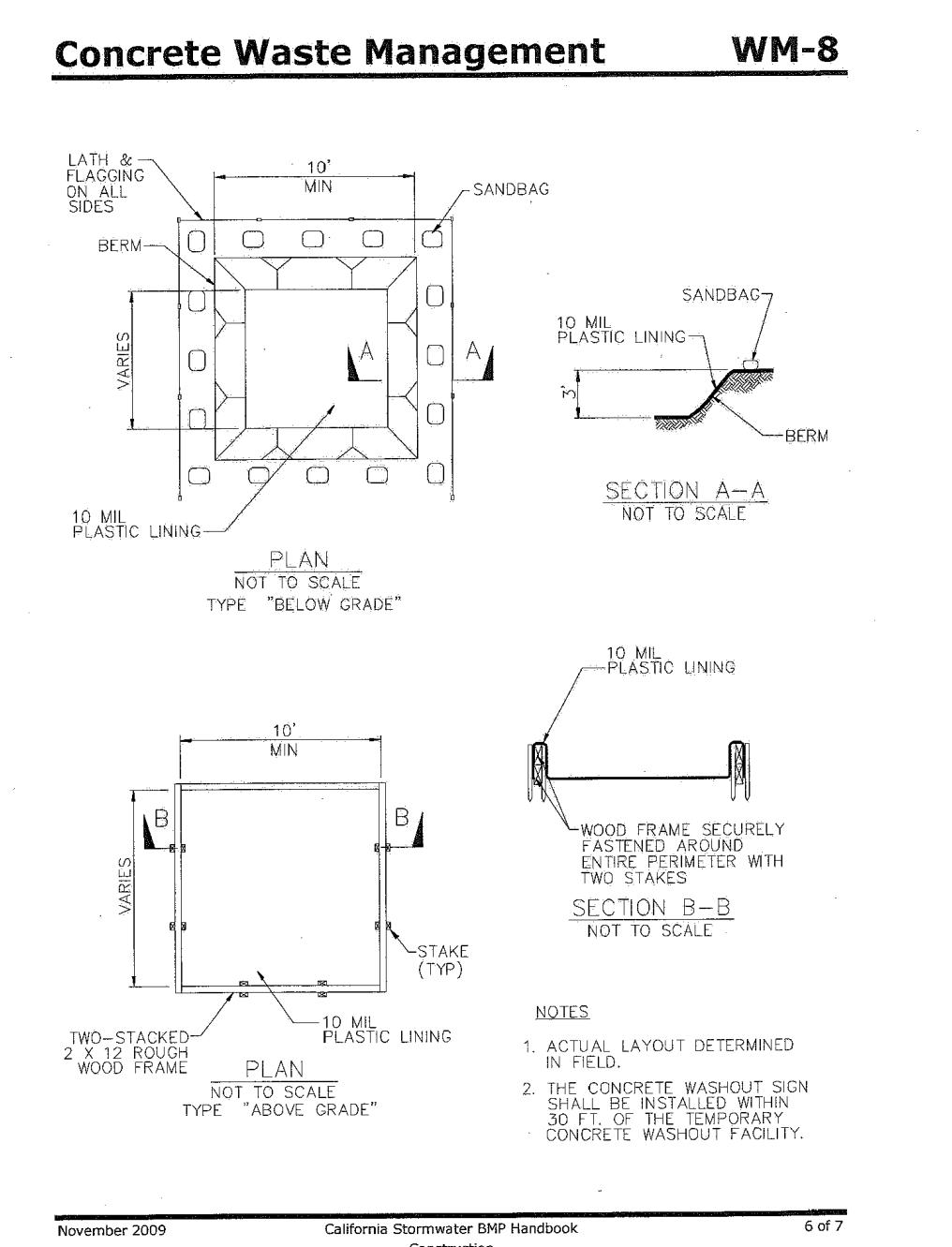
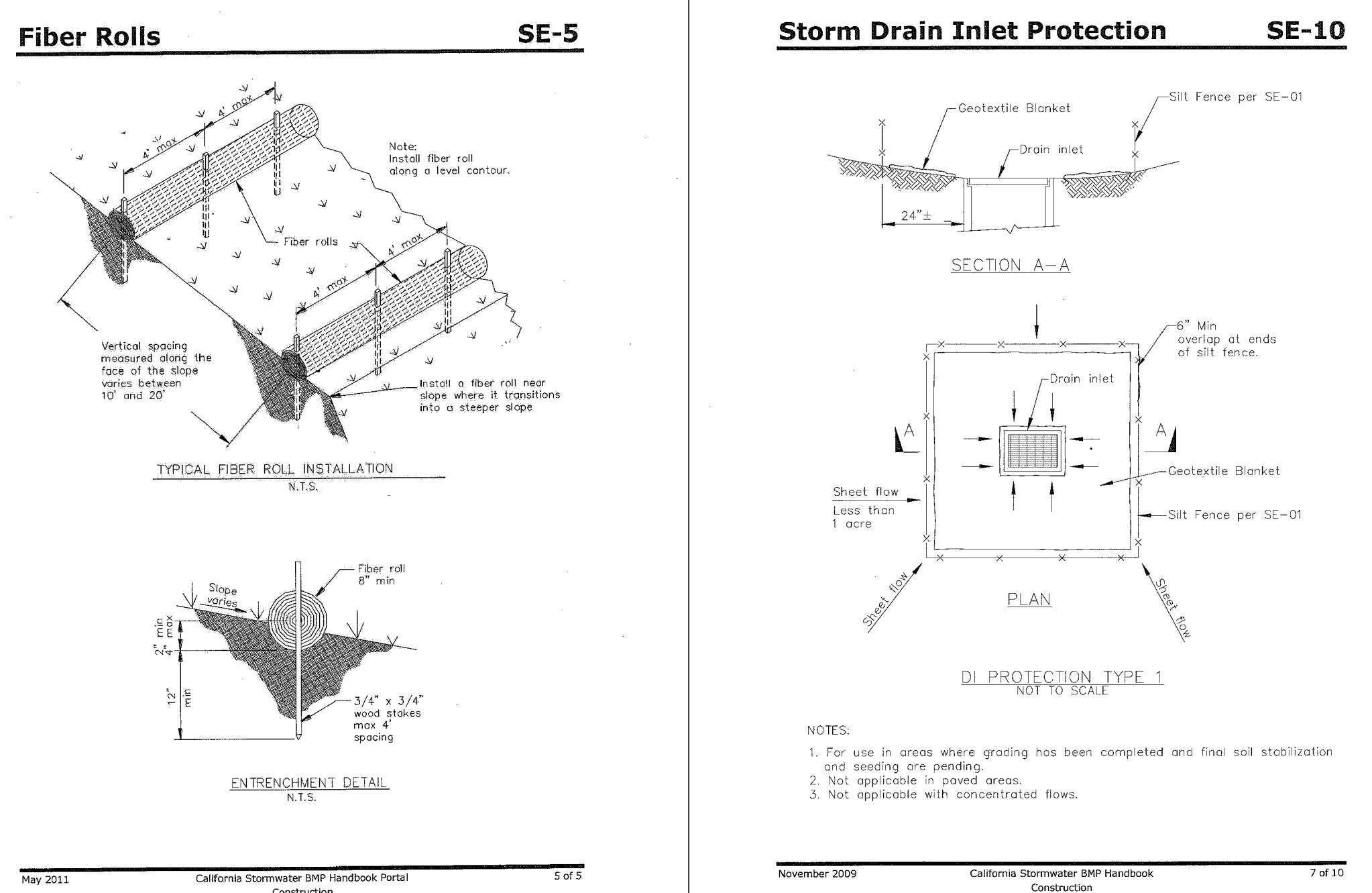
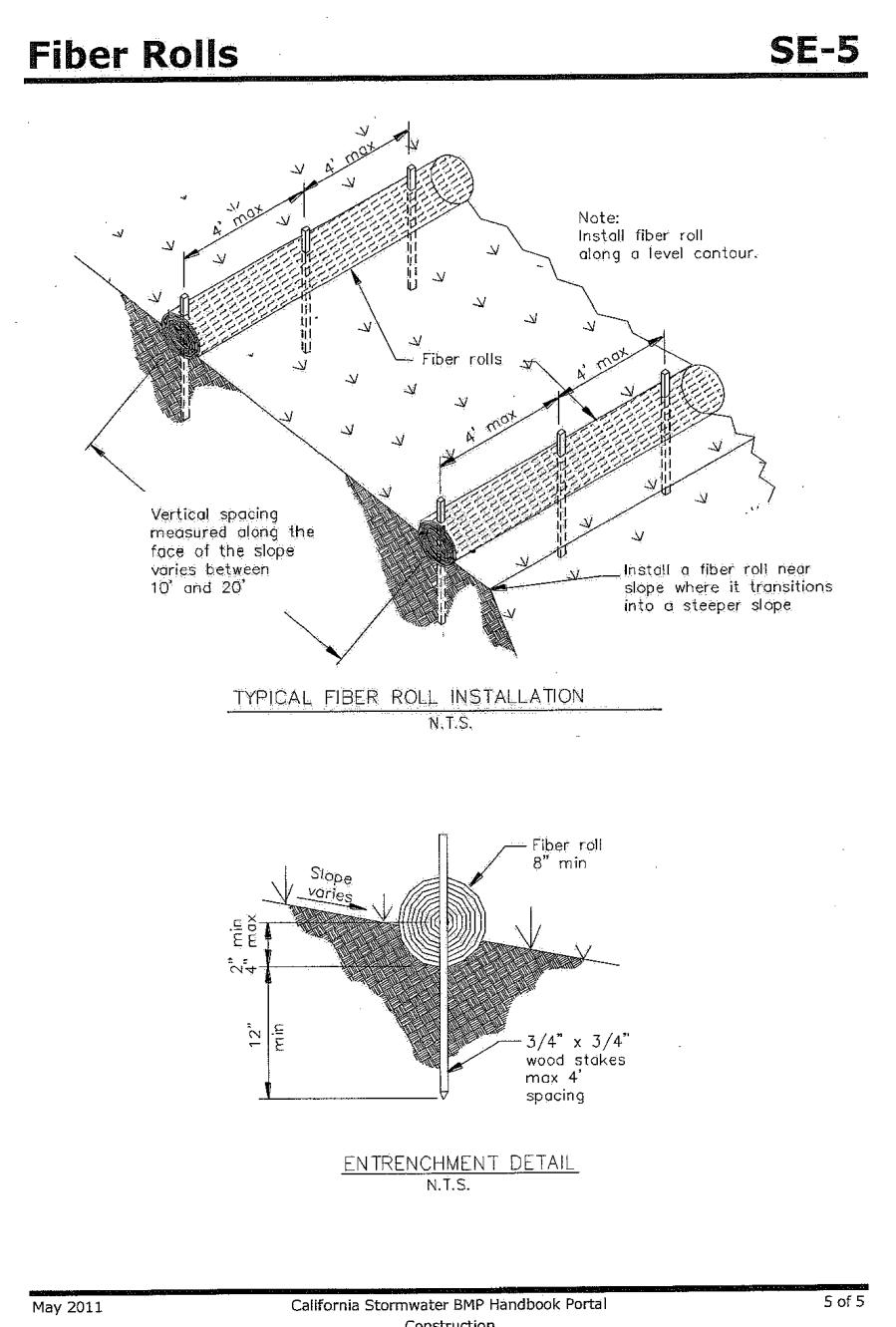
NOTES:
1. CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES:
- EROSION CONTROL, CONSTRUCTION PRactices, VEHICLE AND EQUIPMENT CLEANING VEHICLE EQUIPMENT MAINTENANCE, MATERIAL DELIVER & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION AND CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY/WASTE MANAGEMENT.
2. REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

LEGEND:

- ① SILT FENCE/FIBER ROLL PER CASQA DETAILS SE-1 & SE-5
- ② STORM DRAIN INLET PROTECTION
- ③ CONCRETE WASHOUT FACILITY PER CASQA DETAIL WM-8
- ④ PORTABLE SANITATION FACILITY
- ⑤ TREE PROTECTION

NOTES

- A- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B- DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTED SEDIMENT CONTROL DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- D- DUE TO GRADING ACTIVITIES, DUST MAY BE GENERATED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON SITE GRADING ACTIVITIES TO PREVENT DUST PROBLEMS.
- E- IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
- F- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15.
- G- THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
- H- THE CONTRACTOR OF RECORD IS RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE.

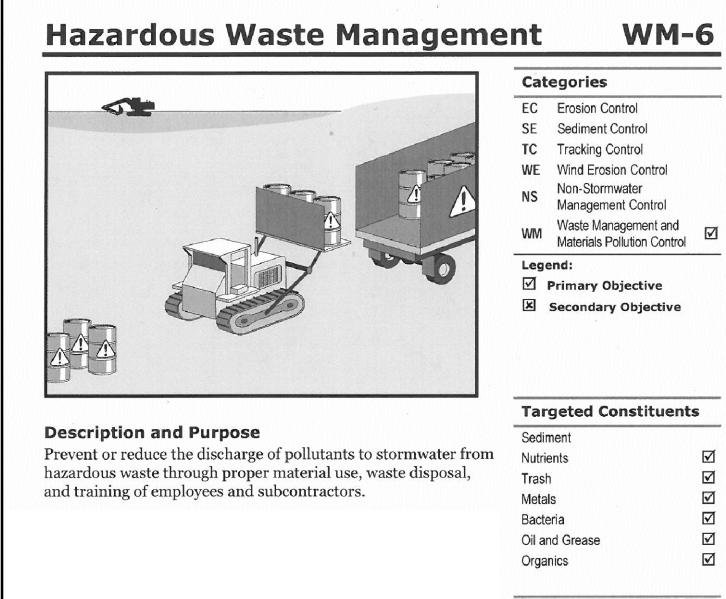
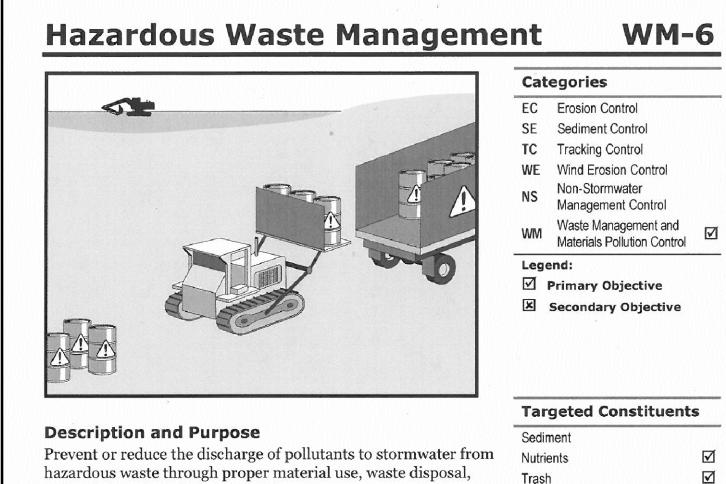
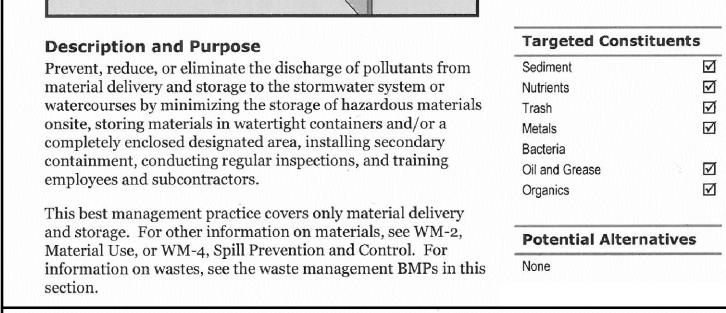
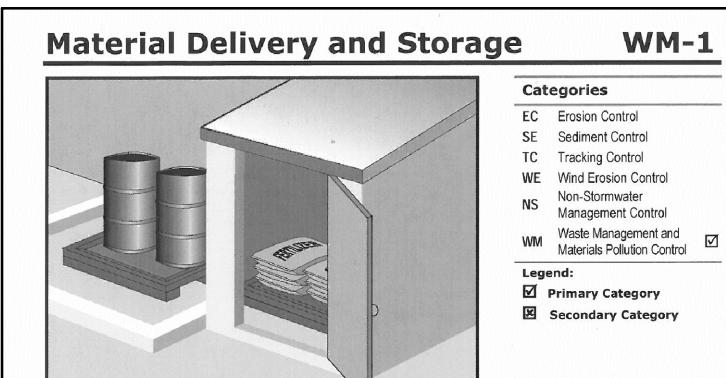


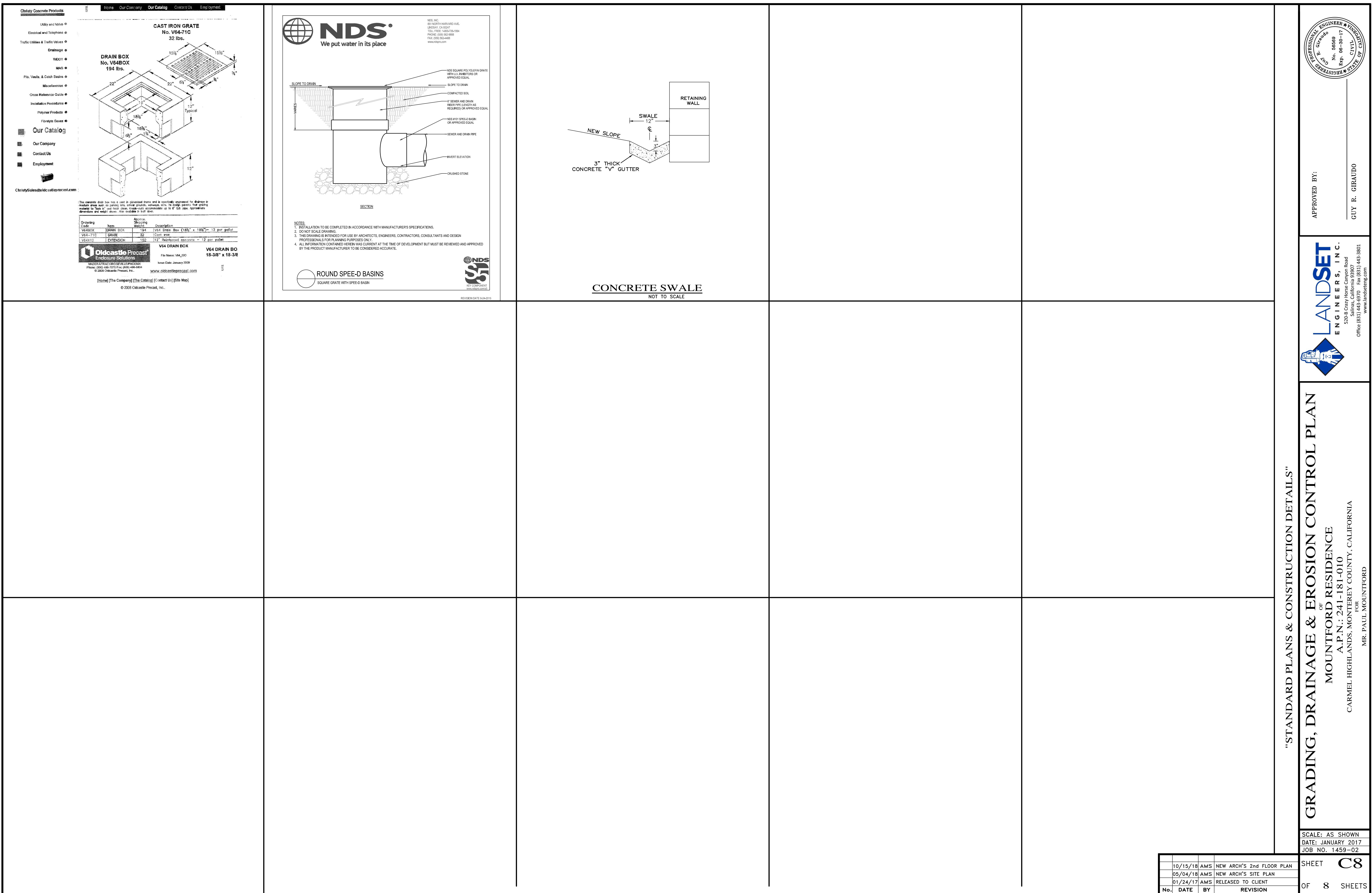
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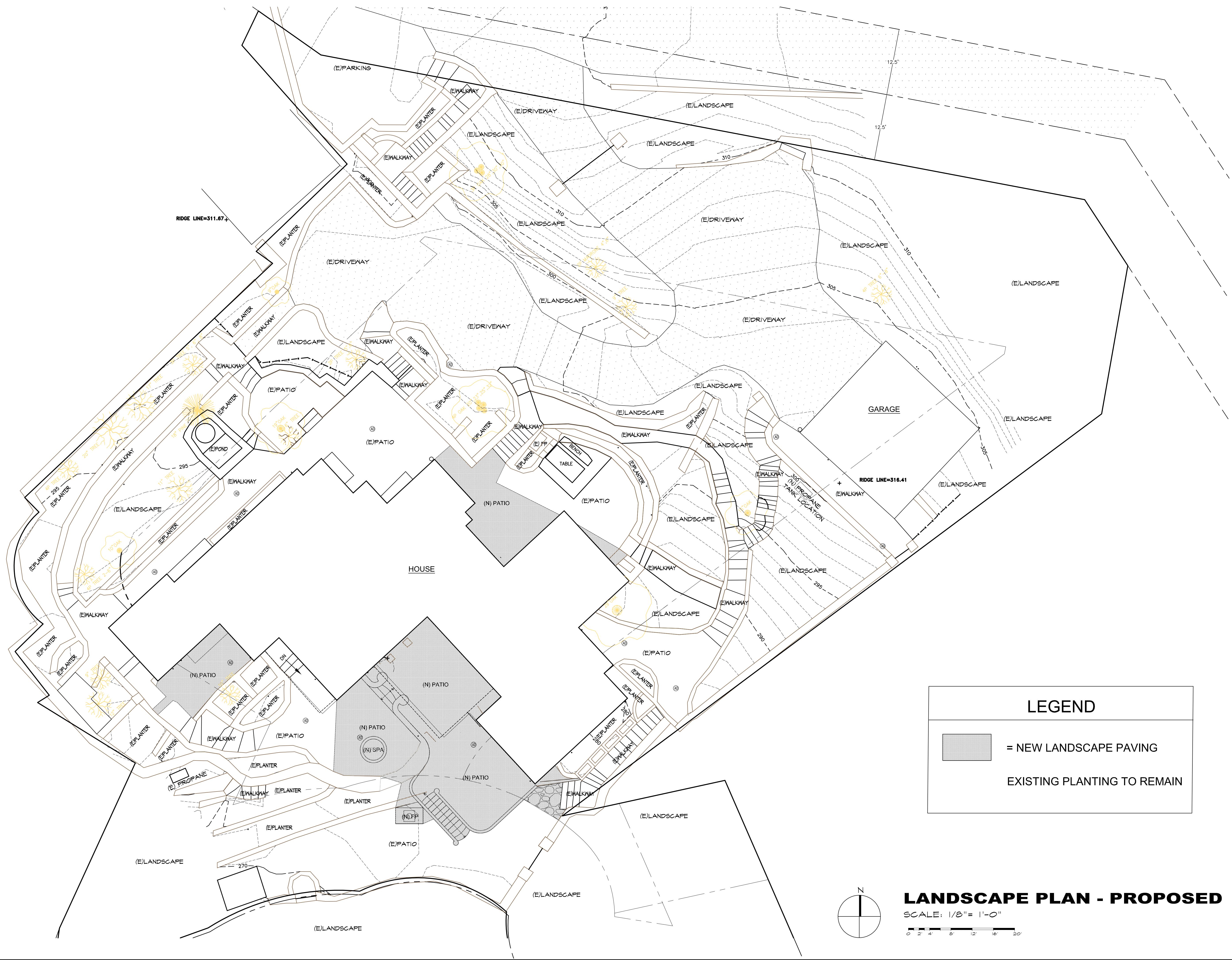
"EROSION CONTROL PLAN"
MOUNTFORD RESIDENCE
A.P.N.: 241-1181-010
CARMEL HIGHLANDS, MONTEREY COUNTY, CALIFORNIA
FOR MR. PAUL MOUNTFORD

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	—	X
2. Verify excavations are extended to proper depth and have reached proper material.	—	X
3. Perform classification and testing of compacted fill materials.	—	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	—
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	—	X



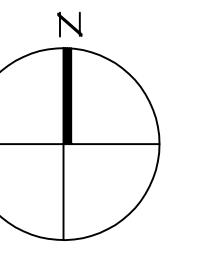


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LANDSCAPE PLAN - PROPOSED

CALE: 1/8" = 1'-0"



NEW LANDSCAPE PAVING

XISTING PLANTING TO REMAIN

REVISION		No.
NO VARIANCE REV. 10/12/18		
CONSULTANT:		
<p>ERIC MILLER ARCHITECTS, INC.</p> 		
<p>ARCHITECT</p> <p>ERIC MILLER</p> <p>MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>		
LANDSCAPE - PROPOSED		
JOB NAME: Mountford Residence		
51 Highlands Drive Carmel Highlands, CA		
A.P.N. 241-81-000-000		
DATE: 10/12/18		
SCALE: 1/8" = 1'-0"		
DRAWN: SSH		
JOB NUMBER: 15.08		
<p>S.1</p> <p>SHEET OF</p>		