

Exhibit C

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MINUTES
Toro Land Use Advisory Committee
MONDAY, AUGUST 27, 2018



1. **Site visit at 3:10 PM at 13755 Vista Dorada St. , (Toro Area, Corral de Tierra)**

ATTENDEES: On site: Steffanie Smith (neighbor), Margot Nunes (neighbor), Nancy & Gary Olimpia, (owners);
LUAC members: Mike Weaver, Lauren Keenan, Ron Vandergrift, Bob Rieger, Mike Mueller

Present at the meeting: Nancy & Gary Olimpia, (owners); LUAC members: Mike Weaver, Lauren Keenan, Ron Vandergrift, Bob Rieger, Mike Mueller

2. **Meeting called to order by Mike Weaver at 4:05 pm**

3. **Roll Call**

Members Present: Mike Weaver, Lauren Keenan, Ron Vandergrift, Bob Rieger, Mike Mueller (5)

Members Absent: Beverly Bean, Ron Gobets, Bill Pyburn (3) All excused absences: traveling, doctor's appointment/visits

4. **Approval of Minutes:**

A. June 25, 2018 minutes

Motion: Ron Vandergrift (LUAC Member's Name)

Second: Mike Mueller (LUAC Member's Name)

Ayes: Vandergrift, Mueller, Rieger, Keenan, Weaver (5)

Noes: 0

Absent: Beverly Bean, Ron Gobets, Bill Pyburn (3)

Abstain: 0

5. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

6. **Scheduled Item(s)**

7. **Other Items:**

- A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects (Refer to pages below) None
B) Announcements:

Mike Weaver shared information regarding a draft proposal by Monterey County Environmental Health Department allowing POU (Point of Use) & POE (Point of Entry) water treatment, for small water systems in Monterey County

8. **Meeting Adjourned: 4:45pm**

Minutes taken by: Lauren Keenan

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025



Advisory Committee: **Toro**

Please submit your recommendations for this application by: August 31, 2018

1. Project Name: OLIMPIA GARY L TR

File Number: PLN170908

Assessor's Parcel Number: 161-411-022-000

Project Location: 13755 Vista Dorada, Salinas

Project Planner: Joe Sidor, Associate Planner

Area Plan: Corral de Tierra area, Toro Area Plan

Project Description: Use Permit and Design Approval to allow construction of safety netting (approximately 80 feet high by 200 linear feet), and associated tree removal

Recommendation To: Zoning Administrator

Was a County Staff/Representative present at meeting? Yes, RMA Senior Planner Cheryl Ku

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
View shed concerns were expressed by neighbor Steffanie Smith.	x		

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)



View-shed a concern regarding 80-ft tall steel poles and black netting		neighbor suggest possible relocation of 1 of the 80 ft. poles holding the netting by 5-10 ft towards the golf course, which would put it behind some trees.
Size of steel poles, which begin at 24" diameter at the base & taper to 16" at the top of the 80-ft poles.		
How big will the concrete footings have to be for the steel poles? According to the applicant the poles will be amidst existing trees on his property.		

ADDITIONAL LUAC COMMENTS

There was no staking or flagging on-site. Homes in area are maximum 20-ft. in height. This proposal is 4-times taller than the tallest house. Cannot ascertain visual impact and neighborhood character from nearby CdeT Road, nearby Country Club, or residential roads and homes without staking and flagging.

The project description provided to the LUAC is inaccurate according to the property owner regarding the length of the proposed netting wall. (Project Description: 200-ft long vs. Owner Verbal Description: 153-ft long)

DD&A Consultant report shows steel poles and netting on Club property. Owner insists that is incorrect and plans show it on owner's property amidst and behind some trees.

Consultant arborist report says 33 trees will need to be removed. Owner states they have already been removed.

Consultant arborist concerns about pruning an existing oak and existing Sycamore tree to accommodate poles and netting. Owner says it won't be necessary.

RECOMMENDATION: Reschedule meeting to date certain once staking and flagging is up

Motion by: Ron Vandergrift (LUAC Member's Name)

Second by: Mike Weaver (LUAC Member's Name)

☐ Support Project as proposed

☐ Support Project with changes

☒ Continue the Item

Reason for Continuance: Staking and Flagging, Accurate project description

Continued to what date: Sept. 10, 2018

AYES: Vandergrift, Weaver, Rieger, Keenan (4)

NOES: 0

ABSENT: Beverly Bean, Ron Gobets, Bill Pyburn (3)

ABSTAIN: Mueller, because he is a nearby neighbor to project site

MINUTES
Toro Land Use Advisory Committee
MONDAY, SEPTEMBER 10, 2018

1. **Site visit at 2:45 PM at 213755 Vista Dorada, Salinas**

SITE VISIT ATTENDEES: Margot Nunes, neighbor; LUAC members: Mike Weaver, Roy Gobets, Lauren Keenan, Bob Rieger

Gary & Nancy Olimpia attended the Toro LUAC meeting at the fire station.

Site visit at 3:20 PM at 209 Pine Canyon Road, Salinas

ATTENDEES: Nick Shaman, owner; Paul Moncrief, attorney representing Mr. Shaman; LUAC members: Mike Weaver, Roy Gobets, Lauren Keenan, Bob Rieger

Mr. Shaman, owner; Shaun McCabe, neighbor; Jim Vocelka, architect for Mr. Shaman; and Paul Moncrief, attorney for Mr. Shaman; all attended the Toro LUAC meeting at the fire station

2. **Meeting called to order by** Mike Weaver, Chair **at** 4:05
pm

3. **Roll Call**

Members Present: Mike Weaver, Ron Vandergrift, Roy Gobets, Lauren Keenan, Bob Rieger (5)

Members Absent: Beverly Bean, Mike Mueller, Bill Pyburn (3) Note: All excused absences

4. **Approval of Minutes:**

A. August 27, 2018 minutes

Motion: Ron Vandergrift (LUAC Member's Name)

Second: Lauren Keenan (LUAC Member's Name)

Ayes: 4 Vandergrift, Keenan, Rieger, Weaver

Noes: 0

Absent: 3 Bean, Mueller, Pyburn

Abstain: 1 Gobets, as he was not at the August 27, 2018 meeting

5. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

Question regarding how ridge line construction at East Garrison was allowed. It is HIGHLY offensive and definitely should NOT have been allowed in such a prominent view shed. Which LUAC should have had jurisdiction? Who approved such an egregious affront to the General Plan understanding of what is considered permissible?

6. **Scheduled Item(s)**
See notes below.

7. **Other Items:**

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects (Refer to pages below)

None

B) Announcements

None

8. **Meeting Adjourned:** 5:30 pm

Minutes taken by: Lauren Keenan

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: **Toro**

Please submit your recommendations for this application by: August 31, 2018

1. **Project Name:** OLIMPIA GARY L TR (continued from TORO LUAC on 8-27-18)

File Number: PLN170908

Assessor's Parcel Number: 161-411-022-000

Project Location: 13755 Vista Dorada, Salinas

Project Planner: Joe Sidor, Associate Planner

Area Plan: Corral de Tierra area, Toro Area Plan

Project Description: Use Permit and Design Approval to allow construction of safety netting (approximately 80 feet high by 200 linear feet), and associated tree removal.

Recommendation To: Zoning Administrator

Was a County Staff/Representative present at meeting? Yes, Monterey County Planner for PLN170908, Joe Sidor

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
Steffani Smith sent email letter to M. Weaver since she & her husband are out of the country.	x		Placement of 80'tall poles as currently proposed is in the middle of Smith's view looking towards Corral Country Club. Requests movement of poles if possible.

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
Major visual impact of 80' tall poles for neighbors. Proposed project has not been staked and flagged.	"D" (Design District) requires staking and flagging so Planners and Public can see what is being proposed.	Mr. Olimpia is willing to move poles, as is structurally feasible, to accommodate the Smiths (neighbors).

Thoughts of the Country Club members (and guests) regarding the massive size of poles/nets? Further, the 9-10-18 Toro LUAC Field Trip showed that the large County Club Banquet Room view window would look out upon the proposed 80' tall steel poles and 160-feet of netting.	Letter to the County RMA from the Corral de Tierra Country Club was referenced by the Applicant, but not part of the package sent to the LUAC for 8-27-18, or this LUAC 9-10-18. Likewise, a letter signed by immediate neighbors was referenced by the Applicant but was not part of the LUAC package.	
Dimensions of poles holding the netting: 24" at base is enormous.	24" at base has been modified to be 16" at base, due to reduction in original height proposed (120' vs 80' now); thus pole diameter at top is likely 10"?	According to the Applicant, the base diameter of the steel poles is 16" and tapering to about a 10" diameter at 80-feet tall top.
LUAC package of documents was returned to RMA/Planner following the Toro LUAC 8-27-18 meeting. This item was continued for staking and flagging. Unfortunately, LUAC Package was not returned in the Mail in time for the September 10, 2018 Toro LUAC meeting. Project has not been staked and flagged.	RMA Planner Joe Sidor attended the Sept. 10, 2018 Toro LUAC meeting, and was there to answer questions and had some documents/plans.	
Do 80-foot tall poles and netting fit with the neighborhood character?	Homes in the area were built in the mid to late 1960's, 1970's, early 1980's and were limited to 20-foot maximum height. Joe Sidor explained the poles and netting are considered an accessory structure. Accessory structures are limited to a maximum of 15-feet tall which is why this application is a request for a Use Permit, because of its size, 80-feet tall by 160-feet wide.	
Immediately adjacent CdeT Country Club is zoned O/B-8-D (Open Space) Applicable; 21.38.010-.020-.030-.040 Monterey County Regulations for "O" Districts call for promoting a rural atmosphere. The "O" District shall not be applied as a combining District. Is this why VS is not attached to "O"?	Joe Sidor talked some about Open Space Districts and Example of accessory structure, Example: Windmills	



2010 Monterey County General Plan, Toro Area Policies 3.0-Conservation/Open Space; Policies T-3.1, T-3.2, T-3.3 Proposed Olimpia Project is not compatible with these Policies.	Planner Joe Sidor had a manufacturer's sales brochure that showed a small photograph of the proposed netting to be a partially see-through webbed netting. Although the structure, poles and netting will be visible, it won't completely block views. Mr. Sidor explained it has been used on other golf courses, but none yet in Monterey County.	
The name "Vista Dorada" (street) translates to "Golden View", or "Golden Site". The views looking generally east from County Scenic Corral de Tierra Rd. out over the driving range and golf course are "Golden", however, now somewhat hampered by relatively recent plantings of non-native trees believed to be CERCIDIUM, much of which is diseased, dying, and growing into the PG&E power lines overhead.	Will PG&E contractors be trimming, thinning, cutting, removing much of this relatively new CERCIDIUM growth? (Approximately 180 linear feet of non-native plants, believed to be on County Right-of-Way).	
The Project application description includes "associated tree removal".	Per the owner, Mr. Olimpia, these trees have already been removed. Mr. Olimpia says he has 10 Redwood trees he'd like to plant along his frontage to help screen netting.	

ADDITIONAL LUAC COMMENTS

M. Weaver restated this is "D" design area with need for staking/flagging. J. Sidor noted the \$8,000-\$10,000 cost, plus the 3 week wait period, seemed excessive for the applicant.

Seems major issue is the viewshed; many area homes will be looking down upon a very large structure: Four 80'-feet tall poles with 156' of netting strung between them. Houses in the area are all 20' high, or less. Weaver passed around the following exhibits labeled 1 to 18 with brief notes of explanation attached to them.

Exhibit #1 Google Earth satellite view; 13755 Vista Dorada is lowest elevation. Location amid surrounding residential communities, many on hillsides above it. Note; neighboring Paseo Terrano Rd. in CdeT Oaks subdivision has 70+ homes on a public street maintained by the County of Monterey.

Exhibit #2 Google Earth satellite view of the CdeT Country Club Driving Range tee area. Driving Range golf balls are hit south.

Exhibit #3 A ground-view photograph of the house at 13755 Vista Dorada. Assuming the house is built 20-feet high the visual simulation depicts 80-feet high pole netting. The proposed 160-foot netting exceeds the width of the page.

Note: Gary Olimpia said at the LUAC meeting he thought the property at the proposed base of the poles was approximately 15-feet below the foundation of his house, thus the overall height of the poles and netting on this sketch would be lower, possibly appearing 60-feet in elevation in regard to his house.

Exhibit #4 Visual simulation comparison; one of the tallest buildings in the City of Salinas and one everybody is familiar with, is the Salinas Valley Memorial Hospital building. The Salinas Valley Memorial Hospital building is 63-feet tall. The Olimpia proposed pole/net structure is 80-feet tall.

- Exhibit #5** Photo is of some of the frontage along Corral de Tierra Rd adjacent to the driving range and Olimpia house, showing overhead PG& E power lines, some native California Live Oaks, and then a long length of non-native foliage believed to be CERCIDIUM. (Unknown who planted this. Historically was not there)
- Exhibit #6** Plant sample (a small sample branch with leaves). These are growing adjacent to Corral de Tierra Rd. (adjacent to the driving range and Olimpia house) currently, partially blocking the views from Corral de Tierra Rd. These brushy growth trees are not native to the area and have been identified as possibly CERCIDIUM "Desert Museum". They have been planted under and are growing up toward the PG&E power lines. Many of these are dead and dying
- Exhibit #7** Photo: Dead and dying trees, non-native, below PG& E power lines and adjacent to Corral de Tierra Rd., the Country Club Driving Range, and the Olympia house. Trees believed to be spreading CERCIDIUM.
- Exhibit #8** Photo view from Corral de Tierra Rd, with drawn approximation marker lines of proposed pole and net structure
- Exhibit #9** Monterey County Assessor's Map of the Vista Dorada Subdivision. Olimpia's .863-acre property highlighted in yellow. Dedicated Monterey County Scenic Easement, highlighted in pink, adjacent to Corral de Tierra Rd. on either side of the subdivision access road called Vista Dorada Drive.
- Exhibit #10** Monterey County Assessors web page of APN: 161-411-022-000, showing situs 13755 Vista Dorada (highlighted in pink), house built in 1975, .75 acre lot, and proximity to Corral de Tierra Rd, a County Scenic Rd. (highlighted in yellow). Approximate proposed location of proposed poles and netting highlighted in black
- Exhibit #11** Google Earth satellite view of the 13755 Vista Dorada house built in 1975 and the surrounding trees and landscaping from year 2009.
- Exhibit #12** Google Earth satellite view of 13755 Vista Dorada house and the surrounding trees and landscaping in year 2018.
- Exhibit #13** Monterey County Toro Land Use Plan. The Corral de Tierra Country Club is designated Public/Quasi-Public. The P/QP area is highlighted by a yellow circle surrounding the Country Club property highlighted in pink.
- Exhibit #14** Monterey County Scenic Highway Corridors & Visual Sensitivity Map. Sensitive areas highlighted in yellow, include view shed areas looking east over the CdeT Country Club from Corral de Tierra Road.
- Exhibit #15** Answers the question; What is the zoning of the adjacent Corral de Tierra Country Club, 81 CdeT Rd.? The zoning is O/B-8-D.
- Exhibit #16** Monterey County Regulations for Open Space Zoning. The Country Club property is adjacent to proposed steel poles and netting accessory structure. Zoning calls for...promote rural atmosphere.....hold for future generations open space.....
- Exhibit #17** Pertinent Monterey County Toro Area Plan Policies T-3.1, T-3.2, T-3.3. The proposed Olimpia project is incompatible with these Policies.
- Exhibit #18** Email letter sent on August 31, 2018 to Mike Weaver regarding this proposed accessory structure and its impacts. Sent from Vista Dorada neighbor Steffanie Smith and submitted into the Toro LUAC record. The September 10, 2018 LUAC field trip revealed the Smith's front patio entertainment area and adjoining rec. room bar have views that would be the southern portion of the 80-foot tall pole and netting accessory structure that the Gary Olimpia project proposes.

RECOMMENDATION: Move for approval of proposal

Motion by: Ron Vandergrift (LUAC Member's Name)

Second by: Bob Rieger (LUAC Member's Name)

 Support Project as proposed

 x Support Project with changes-move 2 poles so that the visual impact is less for neighbors

 Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: ~~Vandergrift, Reger, Keenan (3)~~

NOES: Weaver, Gobets (2)

ABSENT: Mueller, Bean, Pyburn (3)

ABSTAIN: 0

2.

13755 Vista Dorada PLN170908

Write a description for your map.

EXHIBIT #1
13755 IS LOWEST
ELEVATION
LOCATION AND
SURROUNDING
RESIDENTIAL
COMMUNITIES ON
HILLSIDES AROUND IT.

NOTE: PASEO
TERRANO IN
CORRAL DE TIERRA
DAILY SUBDIVISION
HAS 4-70 HOUSES
PUBLIC STREETS
MAINTAINED BY
MONTEREY COUNTY

Google Earth

© 2018 Google

2000 ft



13755 Vista Dorada PLN170908

Write a description for your map.

Le

EXHIBIT #2
CUT C.O.
DRIVING RANGE
TEE AREA
GOLF BANS ARE
HIT SOUTH

Club

Corral De Tierra Rd

13755 Vista Dorada

o Terrano

Google Earth

© 2018 Google

Vista Dorada



500 ft

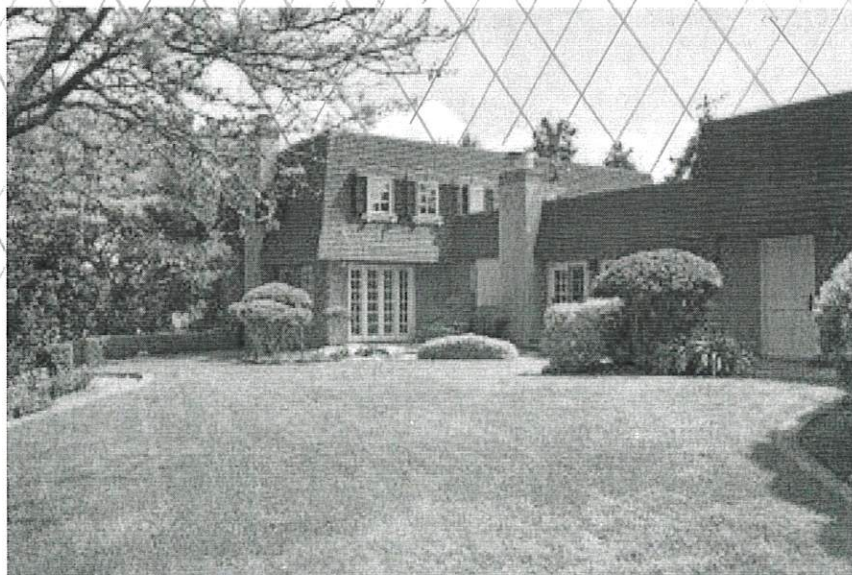
13755 VISTA DEADA
P2W 170 908

EXHIBIT #3
VISUAL SIMULATION
80' HIGH NETTING
BEHIND HOUSE

NETTING HEIGHT

5 INCHES
(4 TIMES
HIGHER)
POLES &
NET
ELEVATION
80'
X 160'
WIDE

HOUSE
ELEVATION 20'
1 1/4 INCHES



REGARDING POLES & NETTING STRUCTURE PROPOSAL
 13755 VISTA DORADA
 PLN 170903

EXHIBIT #4
 SALINAS VALLEY
 MEMORIAL HOSPITAL
 IS 63 FT TALL
 13755 VISTA DORADA
 PROPOSED NETTING
 STRUCTURE HEIGHT
 IS 80 FT TALL

→ NET STRUCTURE HEIGHT 80 FEET



PHOTO 17 SALINAS VALLEY MEMORIAL HOSPITAL

Tallest buildings in Salinas

#	Building	Height
2	CHISPA Building	≈88 ft
3	Salinas Valley Memorial Hospital	≈63 ft
4	Monterey Street Parking Garage	
5	Courtyard Salinas Monterey	≈38 ft

16 more rows

Tallest buildings in Salinas - Emporis

<https://www.emporis.com/statistics/tallest-buildings/city/102193/salinas-ca-usa>

PLN 170903

EXHIBIT #5
GROWTH BELOW
P&H POWER LINES
ADJACENT TO
C&T RD. &
C&T COUNTRY CLUB
SOME DEAD Dying
NON-NATIVE TREES

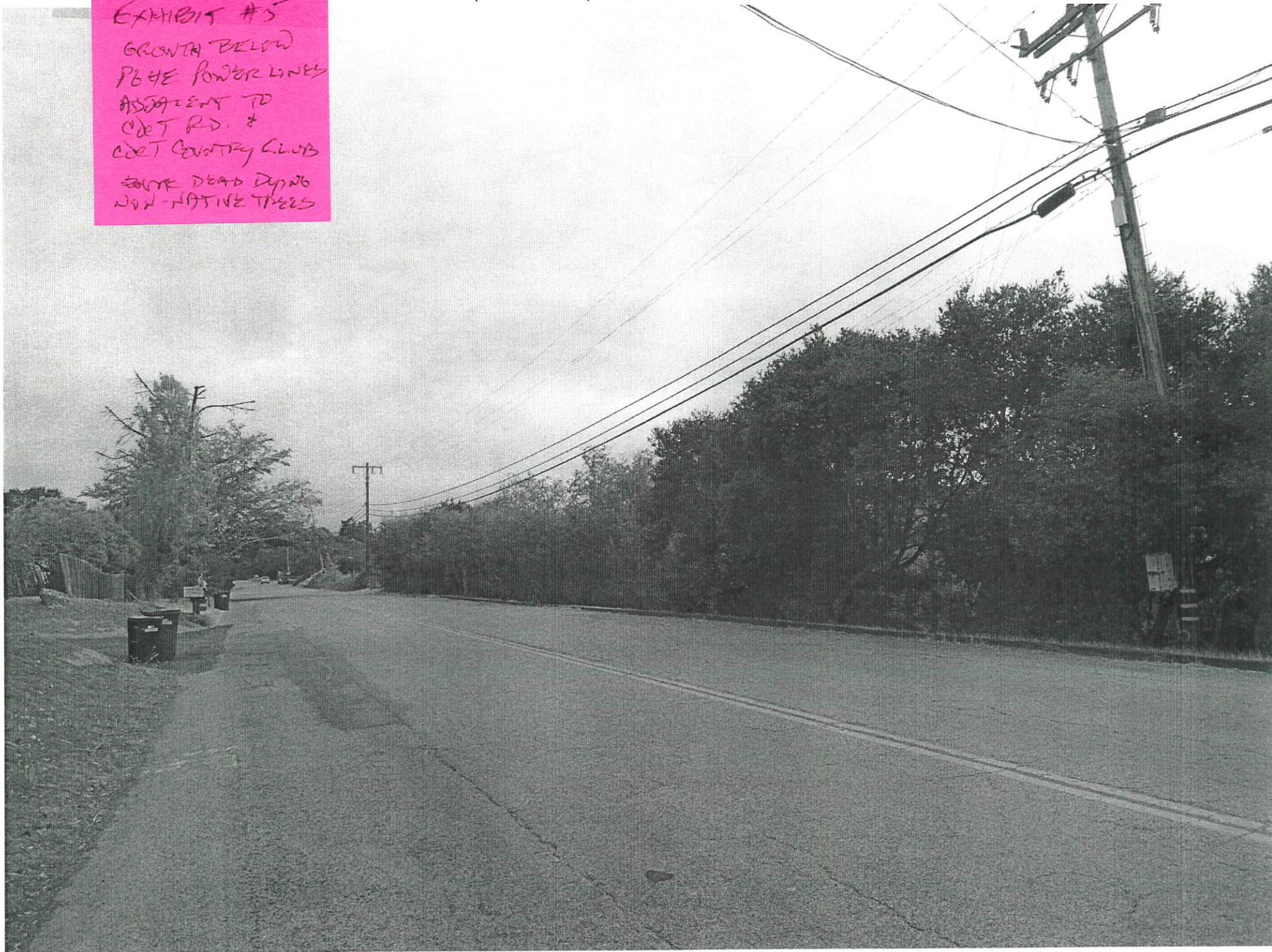




EXHIBIT #6 PL170903
ADJACENT TO CORRAL DE
TIERRA RD.
(SCREENS OCEANFRONT)
NOT NATIVE TO AREA -
POSSIBLY CERCIIDUM
"DESERT MANISUM"

PLANTED UNDER AND GROWING UP
TOWARD PG&E POWER LINES
MAY BE DEAD OR DYING —

PLN 170903

EXHIBIT 7

DEAD & DYING
TREES - NON NATIVE
BELOW POLE
POWER LINES
ADJACENT TO
CDET ROADWAY
COUNTRY CLUB



PLN 170908

EXHIBIT #8

VIEW FROM
CORRAL DE TIERRA
RD.

VISTA DONADA
"GOLDEN VIEW"

PROPOSED
PINE & SET
STRUCTURE

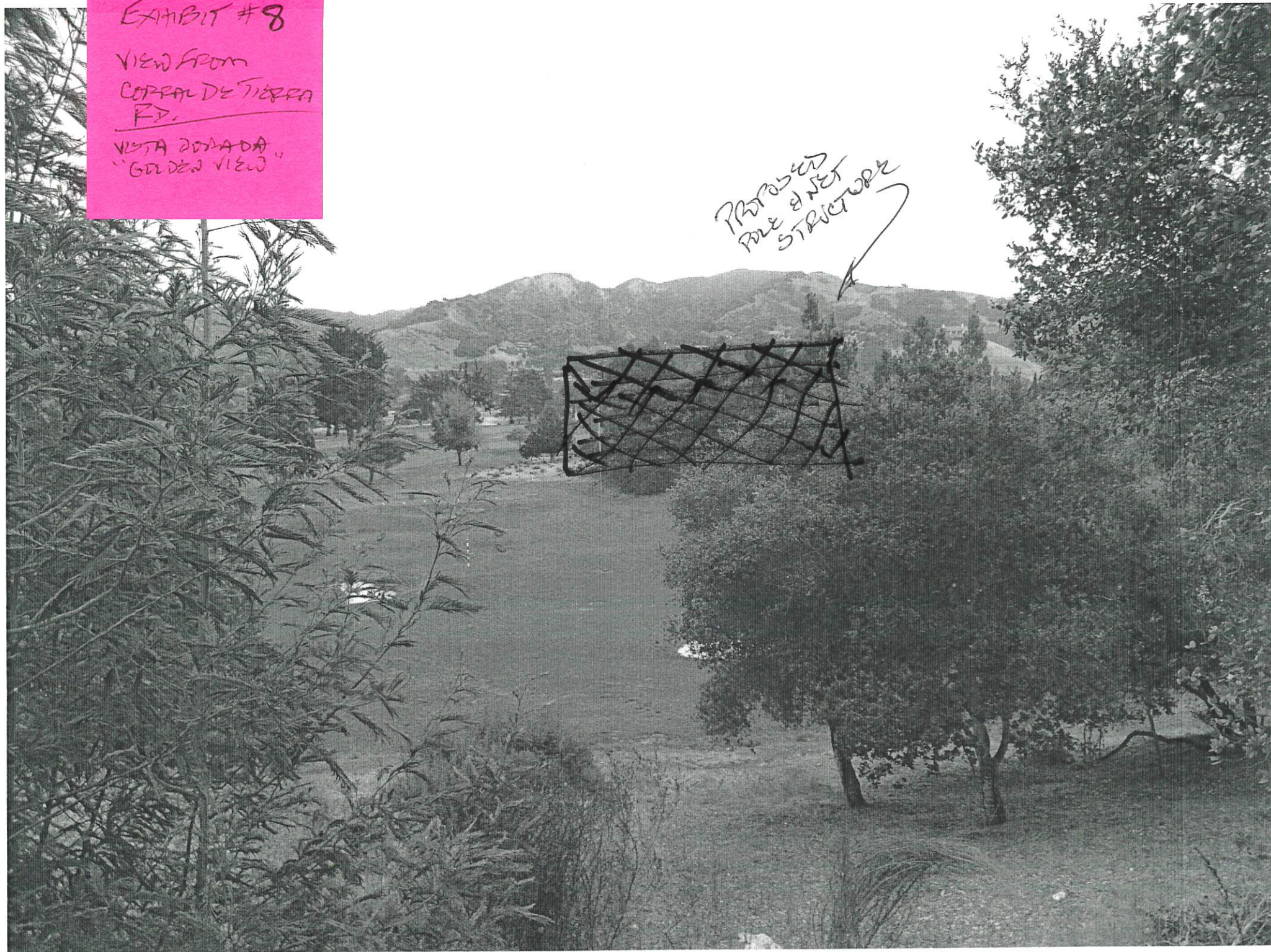


EXHIBIT #9
(YELLOW)
OLIMPIA SITE

VISTA DORADA

SCENIC EASEMENT
NEXT TO CART
ROAD

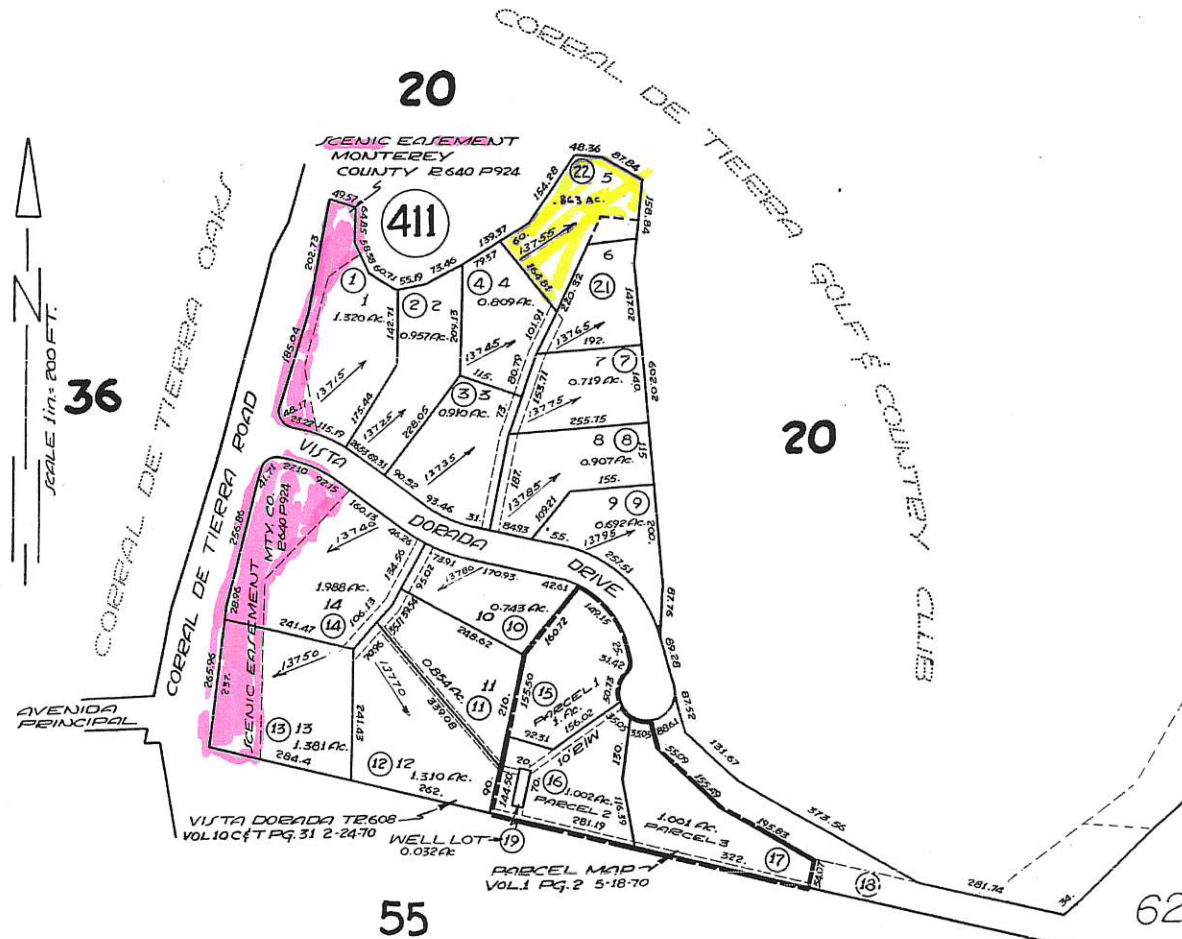
PLN 170 903

OLYMPIA PROPERTY

COUNTY SCENIC
EASEMENT

TAX CODE AREA

COUNTY OF MONTEREY
ASSESSOR'S MAP
BOOK 161 PAGE 41



VISTA DORADA SUBD. TR. 608.
PARCEL MAP VOL. 1 PG. 2.
ASSR'S MAP-EL TORO RO.

EXHIBIT #10
SITE OF DUMPING
PROPERTY

PLAN TO 903
OLYMPIA PROPERTY (PINK)
PROPOSED 80' TAN 160' LONG
STRUCTURE (BLACK)

County Assessor

on

[Open Map](#)

PRADA
08-9318

WN PL

SAN JOSE CA 95126

Legal Description:

Use Type:

RESID. SINGLE FAMILY

Tax Rate Area:

139-008

Assessment

Year Assd:

2018

Land:

\$524,353

Structure(s):

\$910,721

Other:

Total Land and Improv:

\$1,435,074

HO Exempt?:

N

Exemption Amt:

Property Characteristics

Bedrooms:

4

Baths (Full):

2

Baths (Half):

1

Bldg/Liv Area:

4,454

Year Built:

1975

Lot Acres:

0.750

Lot SqFt:

32,670

Recent Sale History

Recording Date:

10/31/2011

Document #:

2011062116

Transfer Amount:

\$1,300,000

[View More History](#)



Natural Hazard Package

Full Property Detail

[Property Reports](#)



[Add to Cart](#)

\$ 19.95

[View Sample](#)



[Add to Cart](#)

\$ 4.95

[View Sample](#)

**The information provided here is deemed reliable, but is not guaranteed.

PL 17090 B

9/29/2009

Write a description for your map.

EXHIBIT 11
13755 VISTA DORADA
BUILT 1975
2004 TREES
LANDSCAPE

Legend

13755 Vista Dorada



Google Earth

200 ft



2018

Write a description for your map.

EXHIBIT 12
CURRENT
TAXED LANDSCAPE

Legend

13755 Vista Dorada

13755 Vista Dorada

Google Earth

200 ft



PLV17090B

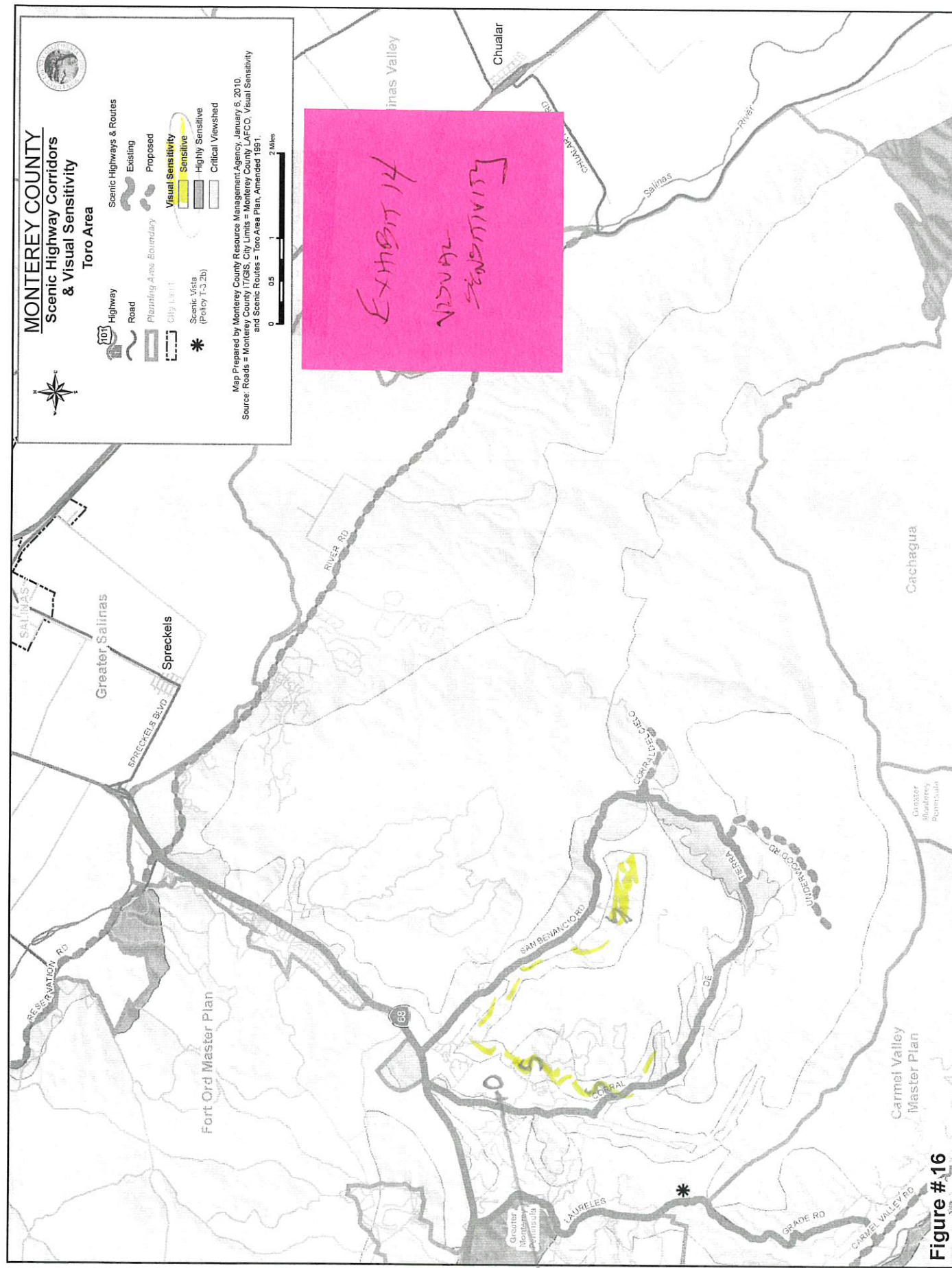


Figure # 16

6/2/20

QUESTION: WHAT IS THE ZONING OF THE ADJACENT
COUNTRY CLUB?

Home Create Search Schedule

Announcements

Quick Search: Search for permit information in the box to the right.
Citizen Access account is not required for this search.

81 Corral de Tierra Rd

Case No. 14CE00238:

Case

Case Status: Closed

PLN 170908

Record Info

Location

81 CORRAL DE TIERRA
SALINAS 93908

COUNTRY CLUB

EXHIBIT 15
RE NEIGHBORING
CORRAL
COUNTRY CLUB

Record Details

More Details

Parcel Information

Parcel Number:

161-201-005-000

Planning Area:

Toro

Zoning Notes:

100 front yard setback along Corral De Tierra Rd. where
applicable (40.2.4(T))

Fire District:

Monterey County Regional FPD

Zoning:

O/B-8-D(see note)

QUESTION WHAT IS THE ZONING OF THE ADJACENT COUNTRY CLUB?

MONTEREY COUNTY INLAND
Chapter 21.38

O/B-B-D

722170903

REGULATIONS FOR OPEN SPACE ZONING

DISTRICTS OR "O" DISTRICTS (OPEN SPACE)

Sections:

21.38.010

Purpose. 21.38.020

Applicability. 21.38.030

Uses Allowed. 21.38.040

Uses Allowed, Administrative Permit Required in Each Case. 21.38.050

Uses Allowed, Use Permit Required in Each Case. 21.38.060

Site Development Standards. 21.38.070

Special Regulations. 21.38.010

PURPOSE.

The purpose of this Chapter is to promote a rural atmosphere in an otherwise urban or semi-urban development and to hold for future generations open space in which trees and plants can grow. The "O" district shall not be applied as a combining district. 21.38.020

THIS IS NOT ATTACHED TO "O"

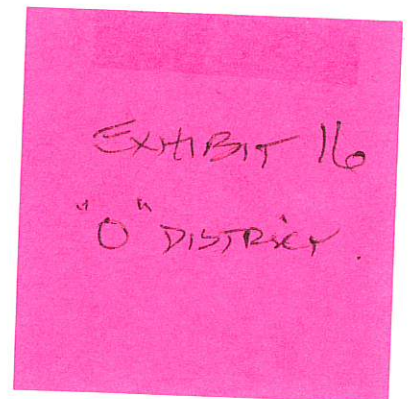


EXHIBIT 17
TORO AREA
PLAN POLICIES

- T-2.5 Fair-share financial contributions from each r
Planning Area shall be required to expedite
Highway 68 improvements.
- T-2.6 Improvements to Corral de Tierra, River, and
designed to accommodate bicycles, horses, and p
- T-2.7 To minimize traffic safety hazards, creation of new direct access points should
be prohibited from single-family residences onto Highway 68 and discouraged
onto Laureles Grade, River Road, Corral de Tierra Road, and San Benancio
Road.
- T-2.8 To enhance and promote sensitive visual resources, the County shall pursue
measures to obtain official County Scenic Route designation from the state for
Corral de Tierra, San Benancio, Corral de Cielo, River, and Underwood Roads
(see *Policy T-3.1*).
- T-2.9 If new sites for office, employment, services, and local conveniences are found
to be appropriate, such sites should incorporate designs to allow use of alternate
modes of transportation.
- T-2.10 Increasing the accessibility of Toro residents to mass transit, either through
maintenance of existing park and ride lots or new bus service, particularly in the
Corral de Tierra, San Benancio, and River Road areas, should be studied and
implemented.

3.0 - Conservation/Open Space

- RURAL
T-3.1 Within areas designated as “visually sensitive” on the Toro Scenic Highway
Corridors and Visual Sensitivity Map (*Figure 16*), landscaping or new
development may be permitted if the development is located and designed
(building design, exterior lighting, and siting) in such a manner that will enhance
the scenic value of the area. Architectural design consistent with the rural nature
of the Plan area shall be encouraged.
- T-3.2 Land use, architectural, and landscaping controls shall be applied, and sensitive
site design encouraged, to preserve Toro's visually sensitive areas and scenic
entrances:
a. River Road/Highway 68 intersection; and
b. Laureles Grade scenic vista overlooking the Planning Area (*Figure 16*).
- T-3.3 Portions of County and State designated scenic routes shall be designated as
critical viewshed as shown on the Toro Scenic Highway Corridors and Visual
Sensitivity Map. Except for driveways, pedestrian walkways, and paths, a 100-
foot building setback shall be required on all lots adjacent to these routes to
provide open space and landscape buffers. This setback may be reduced for

PLN17D988

From: **Steffanie Smith** steffanie@andrewsmithco.com
Subject: Vista Dorada site visit
Date: August 31, 2018 at 7:17 PM
To: michaelrweaver@mac.com

SS

Mike:

I wanted to thank you for bringing the LUAC out to Vista Dorada to visit the Olimpia site. Mike Mueller passed along your email address so that I could write you a note. Mike mentioned that Gary Olimpia was going to try to get his details pulled together to present to LUAC again on Monday September 10th.

I will be out of the country and unable to attend.

You are all welcome to walk around our yard if it is helpful in gaining perspective and view of the proposed nets.

We want to be good neighbors and want to allow Gary to protect his property, but we are concerned about the location of the poles and hope that the trees will hide them. If we can prevent the pole nearest to us from being in the middle of our view shed that would be great. Keeping the pole a bit obscured or near the tree line that would be appreciated. I think our eyes will get used to looking through nets, would prefer not to have a giant pole in the middle of our view shed.

I know you have many interests to take into consideration, but I wanted to just send you my thoughts.

Certainly, appreciate your commitment to supporting the community.

All the best, Steffanie

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EXHIBIT 18