

**Before the Planning Commission  
in and for the County of Monterey, State of California**

In the matter of the application of:

**DEL MESA CARMEL COMMUNITY ASSOCIATION (PLN180449)**

**RESOLUTION NO. 18-040**

Resolution by the Monterey County Planning  
Commission:

- 1) Finding that the project involves the construction of a new accessory structure, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 (e) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow the construction of an approximately 960 square foot grounds maintenance storage building.

[PLN180449, Del Mesa Carmel Community Association, 500 Del Mesa Drive, Carmel, Carmel Valley Master Plan, (Assessor's Parcel Number 015-441-002-000)]

**The DEL MESA CARMEL COMMUNITY ASSOCIATION application (PLN180449) came on for a public hearing before the Monterey County Planning Commission on October 31, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 2010 Monterey County General Plan (General Plan);
    - Carmel Valley Master Plan (Master Plan);
    - Monterey County Zoning Ordinance (Title 21);
  - b) Allowed Use. The site is located at 500 Del Mesa Drive, Carmel and is zoned Low Density Residential, maximum of 2.5 acres per unit, with Design Control and Site Plan Overlay in the Residential Allocation Zoning district. (LDR/2.5-D-S-RAZ). The proposed development is an accessory use allowed with discretionary approval under a previous Use Permit, Resolution No. 5756 on December 18, 1964 by the Planning Commission.
  - c) Design. Zoning designates the property as a Design Control District “D” which makes development subject to Chapter 21.44 of Title 21

which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The site has three (3) existing grounds maintenance storage buildings that consist of a soft brown siding, dark green trim and gray roofing. The proposed storage building will match the existing color scheme. The materials, location, and nature of the project are consistent with neighborhood character, and will not detract from the visual integrity of the site or the area.

- d) Review of Development Standards. The development approved by the Use Permit in 1964 is development that would now be considered and approved as a 'Planned Unit Development' (PUD) (defined in Section 21.06.875 of Title 21). Site development standards for approved PUDs state that dwelling units and accessory structures located on a lot within the development are not subject to setbacks from lot lines. Therefore, the approved development is not subject to any specific setbacks pursuant to PUD site development standards. The subject property is composed of four parcels as recorded on the final subdivision map on October 18, 1967, Volume 9, Cities and Town, Page 36. The development is on Parcel A which consists of 71.68 acres. Maximum building coverage for Parcel A is 17.92 acres (25%) per Section 21.14.060 of Title 21. The current coverage is approximately 16.66% and the proposed coverage with the maintenance storage building is 16.69%.
- e) Cultural Resources. The project site is in an area identified in County records as having a high archaeological sensitivity. A previous Phase One Archaeology Survey (LIB100495) was completed and identified no evidence of cultural resources on the subject parcel. The potential for inadvertent impacts to cultural resources is limited.
- f) The project was not referred to the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review. Based on the LUAC procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC. In lieu of the guidelines, staff also considered referring to LUAC based on the fact the it was elevated to the Planning Commission. However, based on the limited scope and scale of the project, a staff referral was not warranted in this specific case.
- h) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN180449.

2. **FINDING:** **SITE SUITABILITY** - The site is physically suitable for the proposed use.

**EVIDENCE:** a) The project includes a minor construction of an accessory structure associated with an established residential use within an established community

- b) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN180449.
3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) Necessary public facilities are existing on the subject property. California American Water Company is the domestic water purveyor and the Carmel Area Wastewater District provides wastewater services. The project would not require intensification of services provided.
  - b) The project includes minor improvements associated with an established residential use in a residential neighborhood.
  - c) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN180449.
4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property. There are no known violations on the subject parcel.
  - b) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN180449.
5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 (e) categorically exempts construction of new accessory structures.
  - b) The proposed project is to allow the construction of 960 square foot grounds maintenance storage building. Therefore, the project qualifies for a Class 3 categorical exemption pursuant to Section 15303 (e) of the CEQA guidelines.
  - c) No adverse environmental effects were identified during staff review of the development application.

- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN180449.

6.           **FINDING:**           **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

**EVIDENCE:**           Board of Supervisors. Pursuant to MCC Section 21.44.070, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project involves the construction of a new accessory structure, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 (e) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Design Approval to allow the construction of an approximately 960 square foot grounds maintenance storage building, all in general conformance with the attached sketch.

**PASSED AND ADOPTED** this 31<sup>st</sup> day of October, 2018, upon motion of Commissioner Diehl, seconded by Commissioner Getzelman, by the following vote:

AYES:           Coffelt, Duflock, Diehl, Getzelman, Gonzalez, Mendoza, Roberts, Vandever, Wizard

NOES:           None

ABSENT:        Ambriz

ABSTAIN:       None

  
Jacqueline R. Onciano, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON NOV 06 2018



THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **NOV 16 2018**

THIS PROJECT IS NOT LOCATED IN THE COASTAL ZONE AND IS NOT APPEALABLE TO THE COASTAL COMMISSION.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.



# LOCATION SITE MAP

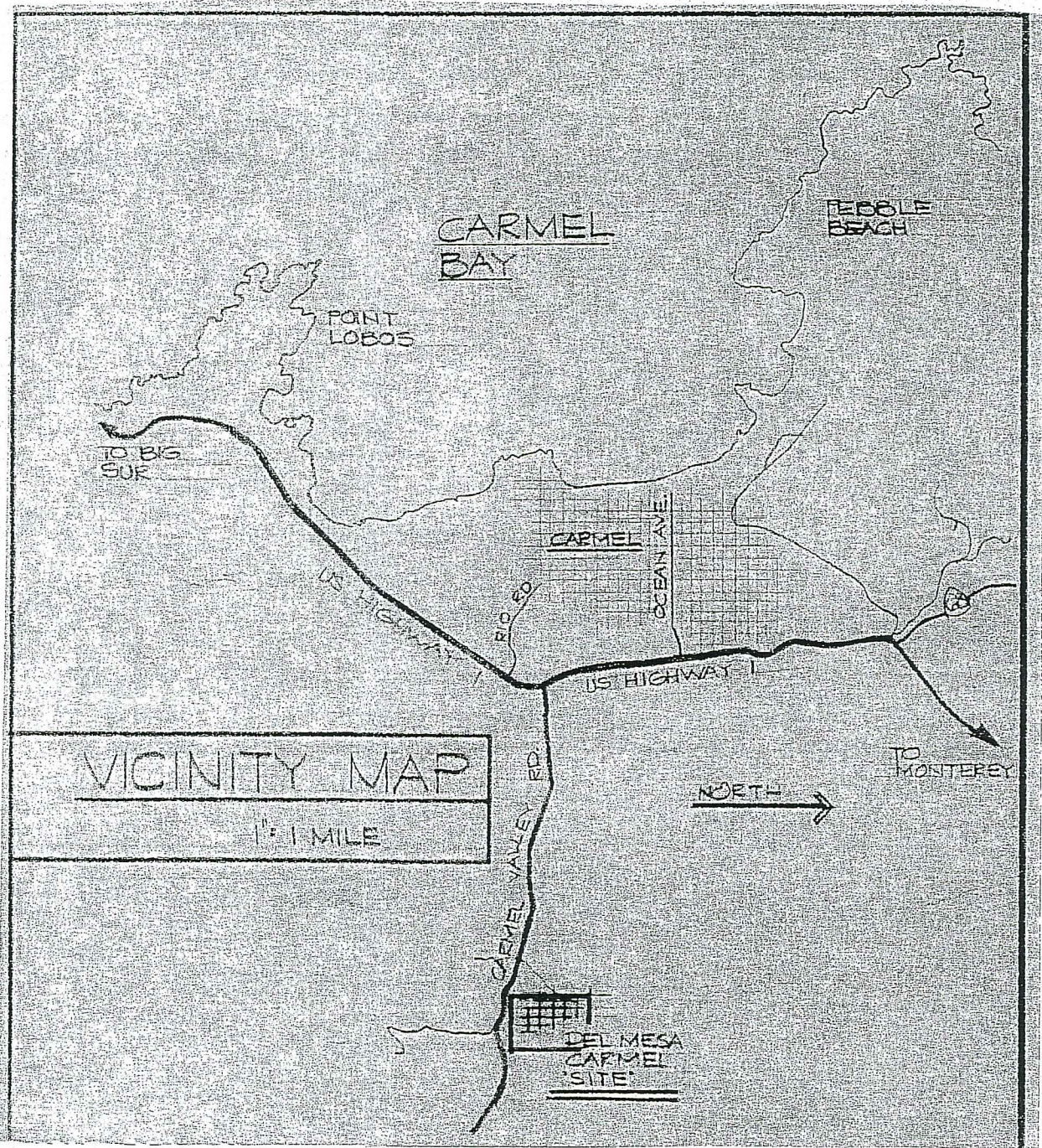
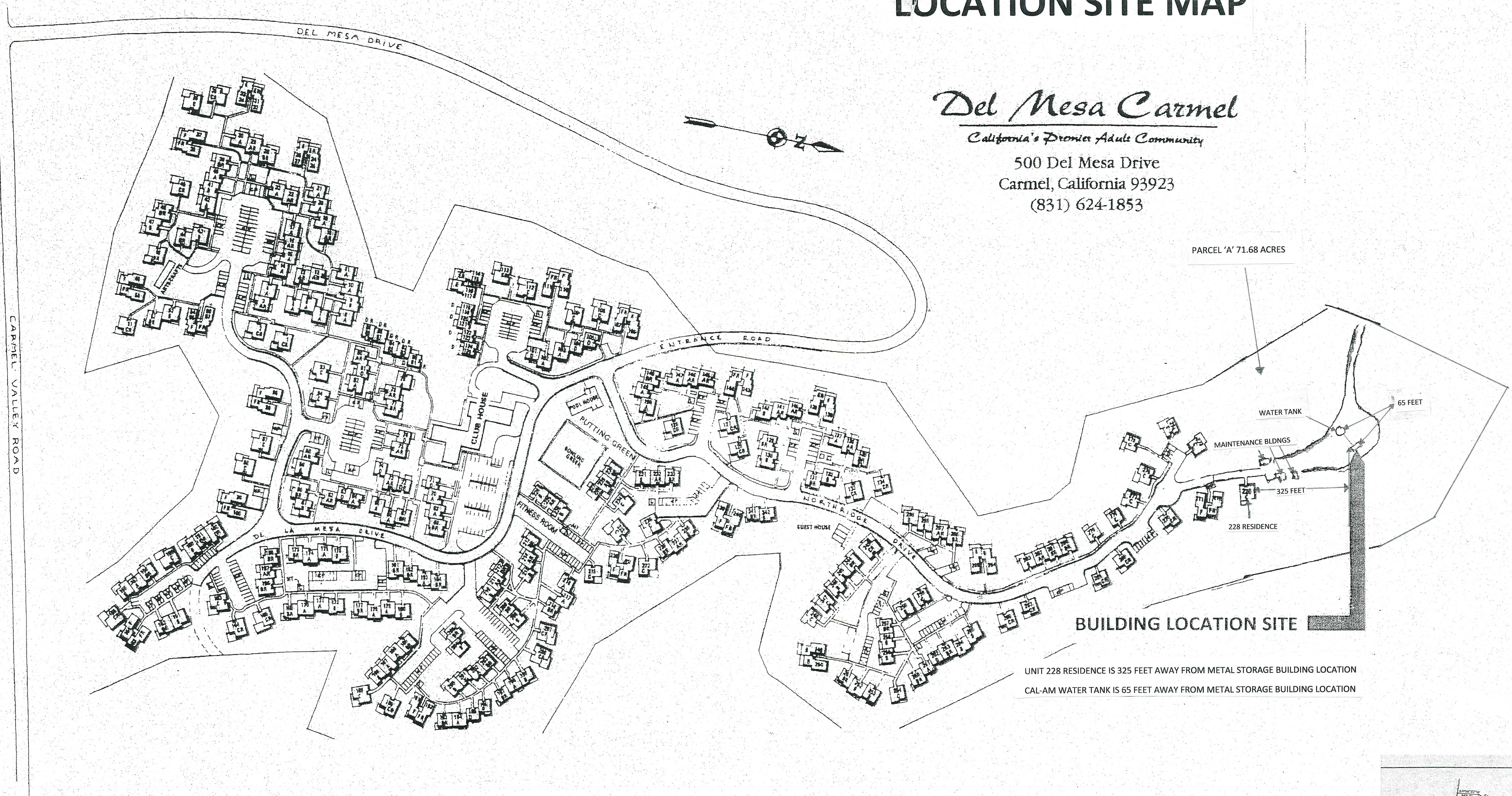
*Del Mesa Carmel*

*California's Premier Adult Community*

500 Del Mesa Drive

Carmel, California 93923

(831) 624-1853



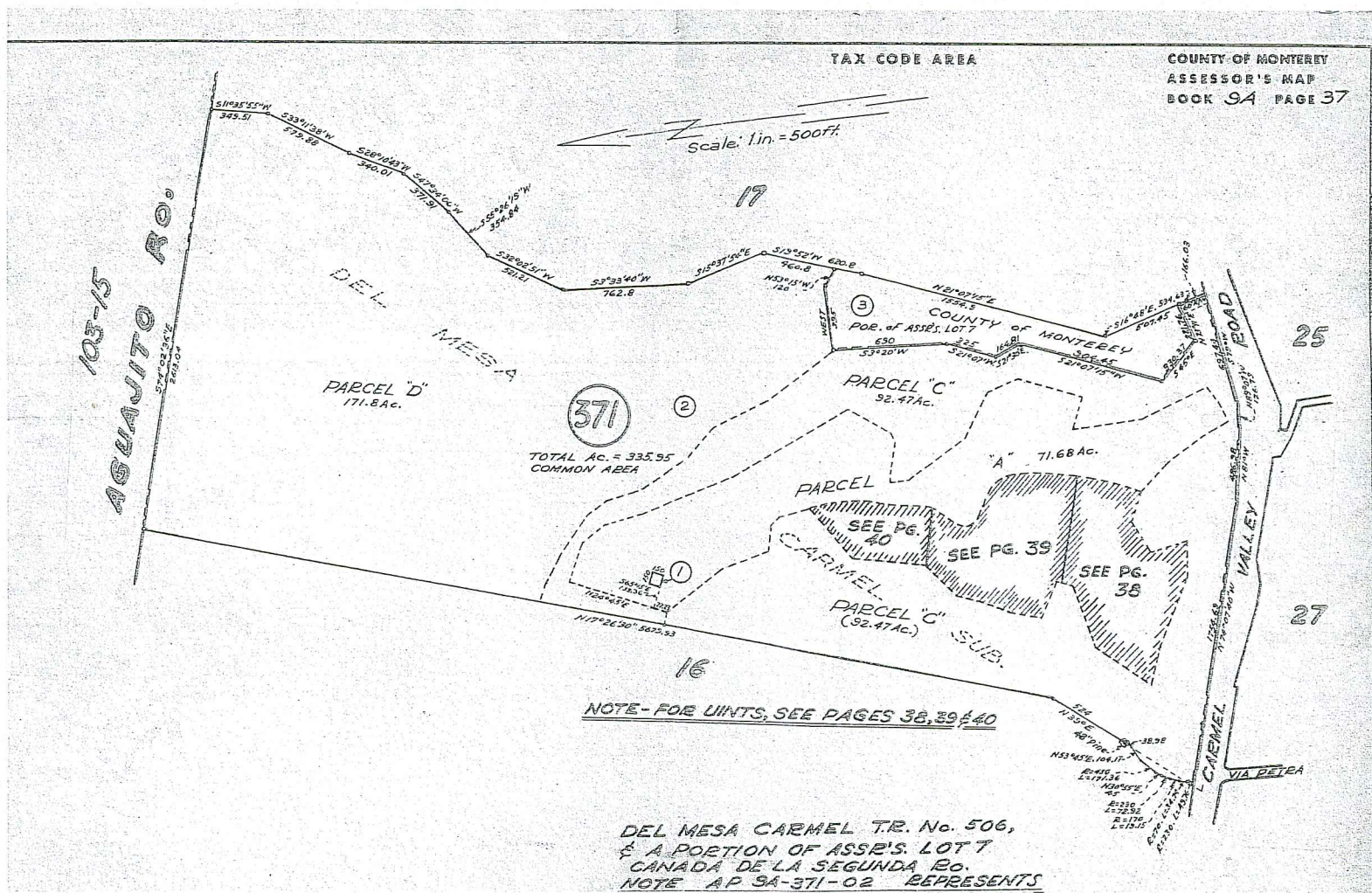
ASSESSOR'S PARCEL NUMBER: 015-441-002-000

**DEL MESA CARMEL COMMUNITY  
ASSOCIATION**

**REAL PROPERTY - 335.895 ACRES  
(72 DEVELOPED ACRES)**

## PROJECT DESCRIPTION:

Construction of 960 Sq. Ft.  
Grounds Maintenance  
Storage Metal Building







Protective Weather Structures Inc.

## Beautiful Steel Buildings

5290 Orcutt Road San Luis Obispo, CA 93401

Phone (805) 547-8797 Fax (805) 549-8469

Toll Free (888) 547-8797

PWSsteelbuildings.com

License B-850705

### CONCRETE

- CODE:** ALL CONCRETE WORK SHALL CONFORM WITH THE 2014 "AMERICAN CONCRETE INSTITUTE (ACI) 318" & THE LATEST EDITIONS OF THE "ACI MANUALS OF CONCRETE PRACTICE," UNO.
- CONCRETE:**
  - MINIMUM COMPRESSIVE STRENGTH: 2,500 P.S.I. WITHIN 28 DAYS
  - MINIMUM CEMENT CONTENT: 50 SACKS (94 lbs) PER YARD
  - WATER/CEMENT RATIO: 0.60 MAX. INCLUDING WATER ADDED AT THE SITE
  - MAXIMUM WATER CONTENT: 34 GALLONS PER YARD
  - MAXIMUM SLUMP: 4" ±½"
  - MAXIMUM AGGREGATE SIZE: 1"
  - FINES (SAND) NOT TO EXCEED 45% OF THE TOTAL AGGREGATE. A 50/50 MIX MAY BE USED WITH 25% OF THE TOTAL AGGREGATE BEING #2-GRANUL WITH FINES NOT TO EXCEED 40% OF THE TOTAL AGGREGATE.
  - AD MIXTURES: AS DESIRED BY THE CONTRACTOR WITH THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER
  - SPECIAL INSPECTION IS NOT REQUIRED.
- REINFORCING:**
  - #3 & SMALLER: ASTM A615 GRD 40 OR GRD 60
  - #4 & LARGER: ASTM A615 GRD 60
- REINFORCING LAP SPICES (644 UNO.):**
  - #3 BARS: 24"
  - #4 BARS: 32"
  - #5 BARS: 40"
  - STAGGER ALL ADJACENT LAP SPICES 5'-0" MINIMUM.
- COLD FORM ALL REBAR BENDS.** WELDING OF REINFORCING STEEL IS NOT ALLOWED.
- CONCRETE COVER TO REINFORCING (UNO.):**
  - CONCRETE PLACED AGAINST GROUND: 3"
  - CONCRETE PLACED AGAINST FORMS, BUT IN CONTACT WITH GROUND AFTER FORM REMOVAL: 2"
  - ALL OTHERS: 1½"
- OPENINGS, POCKETS, ETC. SHALL NOT BE PLACED IN FOUNDATIONS, SLABS, WALLS, ETC. UNLESS SPECIFICALLY DETAILED ON THESE DRAWINGS.** P.W.S. SHALL NOTIFY AEL IN WRITING IMMEDIATELY IF SUCH FEATURES ARE REQUIRED TO ACCOMMODATE ACTUAL SITE CONDITIONS OR WORK SHOWN ON DRAWINGS BY OTHERS. HOLES 4" & MAXIMUM, ROUND OR SQUARE, SPACED 24" MINIMUM IN FOUNDATION, SLABS & WALLS ARE EXEMPT FROM THIS REQUIREMENT.
- WET SETTING ANCHOR BOLTS IS NOT ALLOWED.** ALL EMBEDDED ITEMS, INCLUDING HOLD-DOWN ANCHOR BOLTS & "BASE RAIL" ANCHOR BOLTS, MUST BE SECURELY TIED INTO PLACE BEFORE FOUNDATION "INSPECTION" BY THE "BUILDING OFFICIAL" OR "STRUCTURAL OBSERVATION VISIT" AEL.
- PLACE & FINISH:**
  - CONCRETE FOUNDATIONS ARE ONE MONOLITHIC POUR, NO CONSTRUCTION JOINTS.
  - DO NOT PLACE CONCRETE BELOW 50° F OR IF AMBIENT TEMPERATURE IS NEAR 50° F & FALLING.
  - MECHANICALLY VIBRATE ALL FOOTINGS
  - FINISH THE TOPS OF ALL SLABS, CURBS, WALLS, ETC. TO BE SMOOTH & FLAT FOR UNIFORM BEARING OF FRAMING.
  - FINISH ALL SLABS AS IS APPROPRIATE TO RECEIVE FINISH & TO BE NON-SLIP AS DIRECTED BY THE OWNER.
  - FOR EXPOSED CONCRETE, VERIFY WITH THE OWNER THE LOCATION & EXTENT OF SCORE LINES, FELT JOINTS, STAMPING, COLOR, SURFACE FINISH, ETC.

### STEEL

- CODE:** ALL WORK SHALL CONFORM TO THE 1<sup>ST</sup> EDITION OF THE "AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION" & APPLICABLE PROVISIONS OF THE AMERICAN WELDING SOCIETY (AWS), UNO.
- MATERIALS:**
  - STANDARD "STRUCTURAL" TUBING ¾" & THICKER (HSS): ASTM A500 B/C - DUAL SPEC - Fy = 50 KSI.
  - LIGHT GAGE "MECHANICAL" TUBING 0.120" & THINNER (HSS): ASTM A500 A - Fy = 50 KSI.
  - PLATE STEEL (P): ASTM A36 / ASTM A572 - DUAL SPEC - Fy = 50 KSI.
  - 1½" WAT PURLINS/GRIDS: MIN 16ga ASTM A583 CS - Fy = 50 KSI.
  - 1½" x 36" R-PANEL SHEETING: MIN 26 ga - ASTM A792 A250 - Fy = KSI.
  - ALL OTHER MISCELLANEOUS METALS: ASTM A36, Fy = 36 KSI, UNO.
- WELDINGS:**
  - LIGHT GAGE STEEL (0.120" & THINNER): LINCOLN ER70S-6 OR EQUIV
  - STRUCTURAL STEEL (RED IRON): E70 LOW HYDROGEN ELECTRODES, CYN. TOUGHNESS OF 20 ft-lbs AT 0°F
  - ALL FILLER MATERIAL SHALL CONFORM TO APPLICABLE AWS SPECIFICATIONS
  - UNO, SHOP WELD ALL JOINTS ALL SIDES USING A MINIMUM ¼" FILLET OR FLARE-BEVEL WELD FOR THE FULL LENGTH OF EACH CONTACT.
- BOLTING:**
  - ASTM A307 GRD A (NO GRADE B) OR ASTM A36
  - DRILL OR PUNCH ALL BOLT HOLES AT ¼" OVER, CUTTING OF HOLES IS NOT ALLOWED.
- STEEL FINISH:**
  - ALL LIGHT GAGE STEEL FRAMING SHALL BE GALVANIZED. TOUCH-UP DAMAGED AREAS & WELDS. GALVANIZING SHALL COMPLY WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS.
  - THOROUGHLY CLEAN ALL STEEL ELEMENTS THAT ARE NEITHER EMBEDDED IN CONCRETE NOR GALVANIZED & APPLY ONE COAT OF RUST INHIBITING SHOP PRIMER. TOUCH-UP DAMAGED AREAS. PRIMER SHALL COMPLY WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS.
- ALL FRAMING SHALL BE LEVEL, PLUMB, TRUE TO LINE, ACCURATE, SQUARE, ETC.**
- SPECIAL INSPECTION:**
  - ALL SHOP & FIELD WELDING SHALL BE DONE BY PROPERLY LICENSED WELDERS & UNDER THE APPROPRIATE SUPERVISION OF A PROPERLY CERTIFIED SPECIAL INSPECTOR.
  - ALL FIELD WELDING REQUIRES SPECIAL INSPECTION.

### DESIGN LOADS

BUILDING CODE:	2016 CALIFORNIA BUILDING CODE RISK CATEGORY II	WIND LOADS:	100 MPH (L.R.F.D.) - 78 MPH (A.S.D.) EXPOSURE B - HILL TOP PARTIALLY ENCLOSED BUILDING
PROJECT LOCATION:	LATITUDE: +36.550° NORTH LONGITUDE: -121.872° WEST	SEISMIC LOADS:	S <sub>DS</sub> = 1.007 I = 1.0 R = 4.0 (LIGHT GAGE STEEL) p = 1.0
SOIL BRNG:	D: 1,000 P.S.F. D + L: 1,500 P.S.F. D + E/W: 2,000 P.S.F.	SEISMIC DESIGN CATEGORY = D SOIL SITE CLASS = D	
ROOF LOADS:	LIVE: 20.0 P.S.F. DEAD: 3.0 P.S.F. COLLATERAL: 20 P.S.F. (500 lb MAX)	OTHER LOADS:	SNOW: NA RAIN: NA FLOOD: NA

### FOUNDATIONS & SOILS

- SOILS REPORT:** NO SOILS REPORT HAS BEEN PROVIDED. FOUNDATION DESIGN PARAMETERS ARE BASED UPON UNIFORM SOIL CONDITIONS WHICH CAN SUPPORT THE INTENDED LOADS. DELETERIOUS SOIL CONDITIONS AS MAY BE DISCOVERED (SOFT SPOTS, PUMPING, SURFACE WATER, MODERATE/HIG EXPANSION INDEX, ETC) SHALL BE REPORTED TO AEL IMMEDIATELY. WORK IN THE AFFECTED AREA SHALL CEASE UNTIL SUCH CONFLICT IS RESOLVED. ASSUMED SOIL CONDITIONS:
  - FIRM, WELL CONSOLIDATED NATIVE SOILS
  - EXPANSION INDEX < 120
  - NO SIGNIFICANT ORGANIC MATERIAL
  - DRY, NO STANDING WATER
  - IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS REPORT MAY BE REQUIRED.
- MINIMUM EARTHWORK REQUIREMENTS:**
  - CUT/FILL SLOPES SHALL NOT EXCEED 3H:1V w/o APPROVAL OF A SOILS ENGINEER. SLOPE ALL SOIL TO DRAIN AWAY FROM THE BUILDING, MIN 5% FOR FIRST 10' UNO. ON THE SITE PLAN.
  - CLEAR & GRUB ALL ORGANIC MATERIAL, WEEDS, ROOTS, STUMPS, ETC. FROM THE BUILDING PAD & UNDER ALL AREAS TO RECEIVE FILL SOIL FROM GENERAL GRADING OPERATIONS. STOCKPILE SUCH SOILS ON SITE TO BE USED FOR LANDSCAPING.
  - SURFACE SOILS TO RECEIVE STRUCTURAL FILL: SCARIFY MIN 12" DEEP, MOISTURE CONDITION & RE-COMPACT NATIVE SOILS (MIN 90%), BENCH AREA TO RECEIVE FILL SOIL SUCH THAT THE EXPOSED SURFACE IS ROUGHLY FLAT (OR HAS A MINOR COUNTER-SLOPE INTO THE HILL) & BENCHMARK AS NECESSARY. BENCHMARKS SHALL NOT EXCEED 12" IN HEIGHT.
  - SOILS FROM CUT AREAS (& FOOTING SPOILS) SHALL BE MOVED TO THE FILL AREAS, PROPERLY MOISTURE CONDITIONED & THOROUGHLY COMPACTED (MIN 90%) VIA HEAVY EQUIPMENT. BUILD UP FILL SOILS IN LIFTS NOT TO EXCEED 6".
  - AS A MINIMUM, WHERE NO FILL SOIL EXISTS, EXTENSIVELY WHEEL ROLL ALL SOILS UNDERLYING INTERIOR & EXTERIOR SLABS.
  - IMPORTED SAND/BASE UNDER SLABS SHALL BE PROPERLY MOISTENED & THOROUGHLY COMPACTED (MIN 95%) VIA MECHANICAL MEANS (VIBRO-PLATE, WACKER).
  - ALL EROSION & DUST CONTROL SHALL BE ADDRESSED BY THE CONTRACTOR.
  - UNLESS A SOILS REPORT HAS BEEN PREPARED, PAD CERTIFICATION FROM A SOILS ENGINEER IS NOT REQUIRED.
- EXCAVATIONS:**
  - DE-WATER FOOTINGS & BUILDING EXCAVATIONS AS REQUIRED TO MAINTAIN DRY WORKING CONDITIONS.
  - ALL FOOTINGS SHALL BE CLEAN & FREE OF DEBRIS & LOOSE MATERIAL BEFORE PLACING CONCRETE. ANY LOOSE SOIL IN FOOTINGS SHALL BE REMOVED.
  - EXCAVATIONS SHALL BE ROUGHLY SQUARE. THE SIDES OF THE EXCAVATIONS SHALL BE SUPPORTED DURING WORK & CONCRETE PLACEMENT SUCH THAT SOIL WILL NOT SLOUGH OFF INTO THE FOOTING EXCAVATIONS.
- MINIMUM FOOTING REQUIREMENTS:**
  - DEPTH SHALL EXCEED 1'-6" INTO NATIVE UNDISTURBED SOIL (BELOW ANY FILL SOILS) AS MEASURED FROM LOWEST ADJACENT/EXT. GRADE.
  - ALL FOOTINGS SHALL BEAR ON A UNIFORM TYPE OF SOIL OF A UNIFORM COMPOSITION. IF ANY NEW FOOTINGS BEAR ON DISCOMPOSING GRANITE OR OTHER SIMILAR, HARDER MATERIAL, THEN ALL FOOTING EXCAVATIONS SHALL BE DEEPENED TO BEAR ON SIMILAR MATERIAL.
  - EXCESSIVELY DEEP FOUNDATIONS MAY BE BUILT UP USING MIN (3) SACK SAND SLURRY.
  - WIDTH IS 12"
- ALL BACKFILL SOIL AROUND FOOTINGS & UTILITY TRENCHES SHALL BE MOISTENED & COMPACTED BY MECHANICAL MEANS.**

### WEDGE ANCHORS

- WEDGE ANCHORS:**
  - HILTI HIT-CE PER ICC ESR-1917
  - SIMPSON ~~STRONG-BOLT~~ PER ICC ESR 3037
- INSTALLATION:**
  - INSTALL ALL WEDGE ANCHORS PER THE MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - BEFORE DRILLING ANY HOLES, CONTRACTOR SHALL VERIFY THE LOCATION OF ALL REBAR, PRE/POST STRESSED TENDONS, OTHER EMBEDDED ITEMS, ETC. ALL NEW WEDGE ANCHORS SHALL CLEAR ALL SUCH REBAR, PRE/POST STRESSED TENDONS, OTHER EMBEDDED ITEMS, ETC. BY MINIMUM 1".
- QUALITY CONTROL:**
  - SPECIAL INSPECTION IS REQUIRED
  - TESTING IS NOT REQUIRED

### EPOXY ANCHORS

- EPOXY:**
  - HILTI HIT-CE 200 PER ICC ESR 3187
  - SIMPSON ~~STRONG-BOLT~~ PER ICC ESR 1772
  - NOZZLE MIXING ONLY
- REBAR:**
  - ANCHORS SIZE, HOLES SIZE & HOLES DEPTH AS NOTED ON THE DRAWINGS
  - REBAR: STANDARD DEFORMED BAR, GRADE PER "CONCRETE NOTES"
- THREADED ROD:**
  - ANCHORS SIZE, HOLES SIZE & HOLES DEPTH AS NOTED ON THE DRAWINGS
  - ROD: ASTM F1554 GRD 36 (MILD STEEL)
- INSTALLATION:**
  - EPOXY INSTALLATION SHALL BE THE MANUFACTURER'S WRITTEN INSTRUCTIONS. AS A MINIMUM, ALL HOLES SHALL BE DRY & WELL CLEANED WITH A BOTTLE BRUSH & COMPRESSED AIR.
  - DO NOT PLACE EPOXY IN HOLE UNTIL IMMEDIATELY READY TO INSTALL ANCHORS. DO NOT ALLOW EPOXY TO PARTIALLY CURE BEFORE INSTALLING ANCHORS. DO NOT DISTURB ANCHORS UNTIL EPOXY HAS FULLY CURED.
- QUALITY CONTROL:**
  - SPECIAL INSPECTION IS REQUIRED
  - TESTING IS NOT REQUIRED

### SPECIAL INSPECTION

- SPECIAL INSPECTION SHALL BE PROVIDED BY AN APPROPRIATELY CERTIFIED SPECIAL INSPECTOR (EARTH SYSTEMS PACIFIC, UNO).** SPECIAL INSPECTOR SHALL BE DIRECTLY PAID BY THE OWNER OR PAID BY P.W.S. & BACK CHARGED TO THE OWNER.
- THE SPECIAL INSPECTION PER THE 2016 C.B.C. (CHAPTER 17) IS REQUIRED FOR THE FOLLOWING CONSTRUCTION OPERATIONS:**

ITEM	TERM	NOTES
POST INSTALLED ANCHORS		
1. WEDGE / MECHANICAL ANCHORS	CONTINUOUS	AS MAY BE REQD
2. EPOXY / ADHESIVE ANCHORS	CONTINUOUS	AS MAY BE REQD
STRUCTURAL STEEL		
1. STEEL MATERIAL	PERIODIC	SEE A.I.S.C. 360
2. WELD MATERIAL	PERIODIC	SEE A.I.S.C. 360
3. WELDING INSPECTION	PERIODIC/CONT	SEE A.I.S.C. 360
4. JOINT DETAILS	PERIODIC	SEE A.I.S.C. 360
5. ALL FIELD WELDING	CONTINUOUS	NOT ANTICIPATED
- "STRUCTURAL OBSERVATION VISITS" BY AEL IN NO WAY CONSTITUTE "INSPECTION," TO BE PERFORMED BY THE "BUILDING OFFICIAL," OR "SPECIAL INSPECTION" TO BE PERFORMED BY THE "SPECIAL INSPECTOR."**
- A FINAL/COMPLETE "SPECIAL INSPECTION REPORT" SHALL BE PREPARED BY THE "SPECIAL INSPECTOR" & DELIVERED TO THE "BUILDING OFFICIAL." SUCH REPORT SHALL NOTE ALL WORK NOT PERFORMED IN ACCORDANCE W/ THE APPROVED DRAWINGS.**

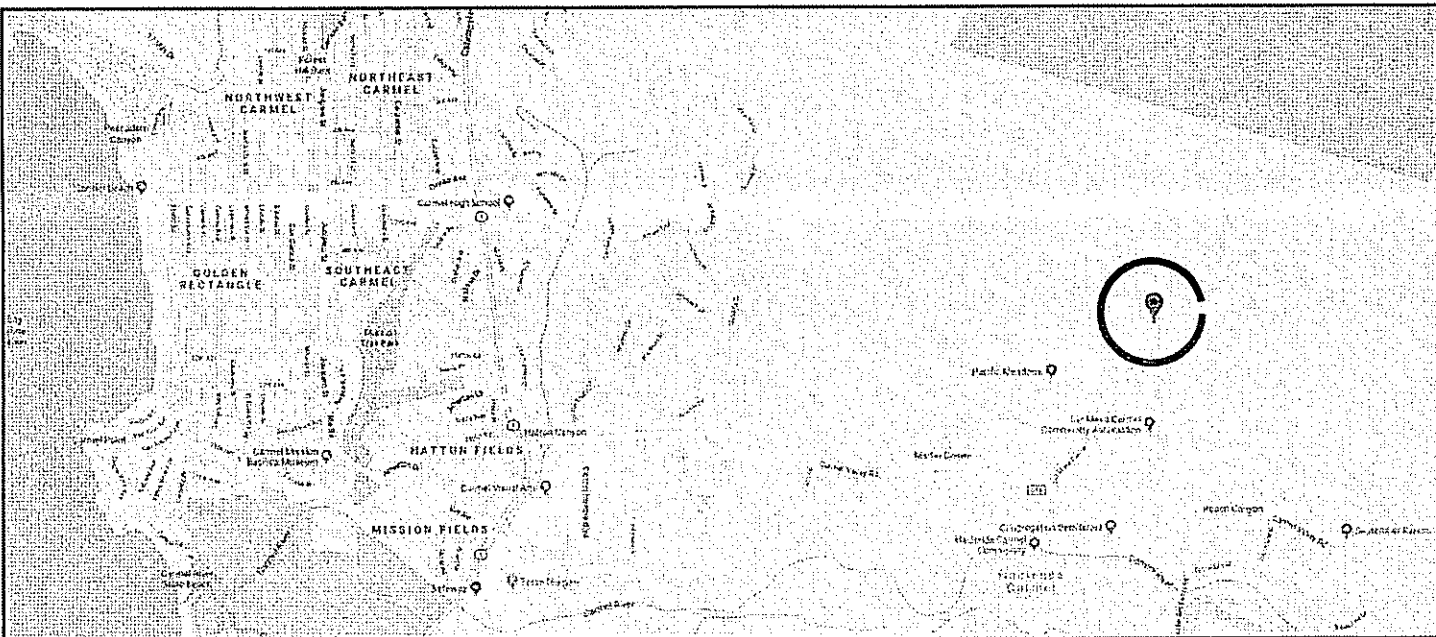
### GENERAL NOTES

- BUILDING CODE:**
  - P.W.S. SHALL KEEP ON THE JOB SITE A COPY OF THE 2016 CALIFORNIA BUILDING CODE (C.B.C.), AS AMENDED BY LOCAL BUILDING OFFICIAL & OTHER APPLICABLE CODES AS MAY BE PERTINENT.
  - CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE C.B.C., TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS, TO LOCAL ORDINANCES & TO THE CONSTRUCTION DOCUMENTS.
  - WHEREVER THERE IS A CONFLICT BETWEEN REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
- P.W.S. SHALL:**
  - VERIFY ALL EXISTING CONDITIONS PERTAINING TO THE SITE &/OR BUILDING BEFORE STARTING WORK. DISCREPANCIES SHALL BE REPORTED BY P.W.S. IN WRITING TO AEL IMMEDIATELY. WORK IN THE AFFECTED AREA SHALL CEASE UNTIL SUCH CONFLICT IS RESOLVED.
  - NOT STACK &/OR STORE MATERIALS IN THE PUBLIC RIGHT-OF-WAY. P.W.S. SHALL PROVIDE DUST & EROSION CONTROL DURING ALL PHASES OF THE PROJECT, NOT LIMITED TO WORKING HOURS.
  - COMPLETE ALL WORK IN A COMPETENT & QUALITY MANNER. THE OWNER & AEL (& ANY OTHER MEMBER OF THE DESIGN TEAM, AS MAY EXIST) SHALL BE THE JUDGES OF ACCEPTABLE WORKMANSHIP.
- IT IS SOLELY THE RESPONSIBILITY OF P.W.S. TO SCHEDULE & COORDINATE:**
  - ALL WORK, INCLUDING THAT OF SUBCONTRACTORS & TRADESMEN
  - "INSPECTIONS" BY THE "BUILDING OFFICIAL"
  - "SPECIAL INSPECTIONS" BY THE "SPECIAL INSPECTOR"
- MEANS & METHODS:**
  - THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. UNLESS NOTED OTHERWISE, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.
  - P.W.S. SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS, OTHER PERSONS, OTHER IMPROVEMENTS (ON THIS PROPERTY, IN THE CITY RIGHT-OF-WAY & ON NEIGHBORING PROPERTY) DURING CONSTRUCTION. SUCH MEASURES SHALL BE SOLELY THE RESPONSIBILITY OF P.W.S. THROUGHOUT THE DURATION OF THE PROJECT & SUCH RESPONSIBILITY SHALL NOT BE LIMITED TO WORKING HOURS. SUCH MEASURES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, TEMPORARY BRACING, FORMS, SCAFFOLDING, SUPPORT OF EXCAVATIONS, ETC.
  - TEMPORARY BRACING OF SUFFICIENT STRENGTH & STIFFNESS TO RESIST ALL IMPOSED LOADS, INCLUDING WIND & SEISMIC LOADS, SHALL BE PROVIDED BY P.W.S. FOR ALL BUILDING COMPONENTS.
  - P.W.S. SHALL ENGAGE & PAY FOR PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE & HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED & TO INSPECT SAID ITEMS IN THE FIELD. AEL IS NOT RESPONSIBLE FOR ANY JOB SITE SAFETY, PRECAUTIONARY MEASURES, TEMPORARY SUPPORTS, ETC.
  - CONSTRUCTION MATERIALS & EQUIPMENT SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOFS. LOADS CAUSED BY SUCH MATERIALS & EQUIPMENT SHALL NOT EXCEED THE DESIGN LIVE LOAD FOR EACH PARTICULAR LEVEL.
  - STRUCTURAL/SITE OBSERVATION VISITS TO THE SITE BY AEL & OTHER MEMBERS OF THE DESIGN TEAM DO NOT INCLUDE INSPECTION/APPROVAL OF ANY OF THE ABOVE LISTED ITEMS.
- DRAWINGS:**
  - INCLUDING ALL NOTES, APPLY ONLY TO THE STRUCTURAL PERFORMANCE OF THE BUILDING. ISSUES SUCH AS WATER PROOFING, VENTING, SITE DRAINAGE, VENEER ATTACHMENTS, QUALITY OF FINISHES, MATCHING SPECIFIED FINISHES, ETC. SHALL BE ADDRESSED BY P.W.S.
  - SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSTRUCTION DOCUMENTS, INCLUDING ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, FIRE SAFETY, LANDSCAPE DRAWINGS & WRITTEN SPECIFICATIONS AS MAY EXIST.
  - DETAILS SHOWN ON DRAWINGS ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS. SPECIFIC NOTES & DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES & DETAILS.
  - CONDITIONS REQUIRING CONSTRUCTION DIFFERING FROM THAT SHOWN SHALL BE REPORTED BY P.W.S. IN WRITING TO AEL IMMEDIATELY. WORK IN THE AFFECTED AREA SHALL CEASE UNTIL SUCH CONFLICT IS RESOLVED.
  - DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER SCALE ON PLANS, SECTIONS & DETAILS. DISCREPANCIES SHALL BE REPORTED BY P.W.S. IN WRITING TO AEL IMMEDIATELY. WORK IN THE AFFECTED AREA SHALL CEASE UNTIL SUCH CONFLICT IS RESOLVED.
  - ALL ITEMS SHALL BE CONSIDERED NEW UNLESS EXPRESSLY NOTED AS EXISTING.
- OWNERSHIP CONSTRUCTION DOCUMENTS:**
  - ALL DRAWINGS, CALCULATIONS, REPORTS, ETC. & THE IDEAS & DESIGNS EXPRESSED THEREIN ARE SOLELY THE PROPERTY OF AEL. ANY REUSE OF SUCH MATERIALS, IN WHOLE OR IN PART, IS UNLAWFUL, UNLESS THE PARTY HAS RECEIVED EXPRESSED WRITTEN PERMISSION FROM AEL.
  - USE ALL DRAWINGS, CALCULATIONS, REPORTS, ETC. IS LIMITED TO THE PROJECT & SITE NOTED. SUCH MATERIALS ARE NOT ACCEPTABLE, MODIFIED OR IN WHOLE FOR ANY OTHER PROJECT OR SITE.
  - VISUAL CONTACT WITH THESE DRAWINGS CONSTITUTES PRIMA FACIE EVIDENCE OF, & ACCEPTANCE OF, THESE TERMS.

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  - SET BACKS FROM PROPERTY LINES, HEIGHT LIMITS, ETC.
  - FIRE RATINGS, FIRE PROOFING, FIRE SPRINKLERS, ETC.
  - AMERICANS w/ DISABILITIES ACT, ACCESS, EGRESS, ETC.
  - WATER PROOFING, WEATHERIZATION, VENTING, ETC.
  - BUILDING/SITE SECURITY, SERVICEABILITY, FIT/FINISH, ETC.
  - GRADING, DRAINAGE, GUTTERS/DOWNSPOUTS, ETC.
- PRESNCE/LOCATION OF ANY/ALL UTILITIES HAVE NOT BEEN INDICATED BY P.W.S. OR THE OWNER. NO UTILITIES HAVE BEEN FIELD LOCATED, SURVEYED, ETC. PRESNCE/LOCATION OF ANY/ALL UNDERGROUND FEATURES SHALL BE VERIFIED IN THE FIELD BY P.W.S.**
- VISUAL CONTACT WITH THE DRAWINGS CONSTITUTES PRIMA FACIE EVIDENCE OF, & ACCEPTANCE OF, THESE TERMS.**

### VICINITY MAP



### SHEET INDEX

1.1 COVER SHEET, GENERAL NOTES	2.5 WALL FRAMING ELEVATIONS
2.1 FLOOR PLAN	3.1 TYPICAL CONSTRUCTION DETAILS
2.2 EXTERIOR ELEVATIONS	3.2 METAL BUILDING DETAILS
2.3 FOUNDATION PLAN & BUILDING SECTION	4.1 BASE RAIL CUT LENGTHS & RAFTER LENGTHS
2.4 ROOF FRAMING PLAN	

### PROJECT STATISTICS

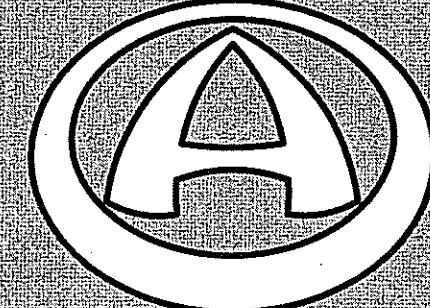
SITE ADDRESS:	500 MESA DRIVE CARMEL, CA	EXTG. BUILDINGS: FOOTPRINT: OCCUPANCY:
ASSESSOR'S PARCEL NUMBER:		NEW STRUCTURE: FOOTPRINT: CONSTRUCTION TYPE: OCCUPANCY:
SITE AREA:	± S.F.	960 S.F. V-B (NOT RATED) U

### APPLICABLE BUILDING CODES

- ALL WORK SHALL CONFORM TO THE FOLLOWING CODES AS ADOPTED BY THE BUILDING OFFICIAL. WHERE CONFLICTS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
- 2016 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2
  - 2016 CALIFORNIA ELECTRIC CODE
  - 2016 CALIFORNIA FIRE CODE
  - 2016 CALIFORNIA GREEN BUILDING CODE
  - 2016 CALIFORNIA MECHANICAL CODE
  - 2016 CALIFORNIA REFERENCE STANDARDS CODE
  - 2016 CALIFORNIA PLUMBING CODE
  - 2016 CALIFORNIA RESIDENTIAL CODE
  - 2016 CALIFORNIA ENERGY CODE
  - TITLE 16: CALIFORNIA FIRE CODE ORDINANCE
  - TITLE 24: CALIFORNIA STATE ENERGY & ACCESSIBILITY STANDARDS

### ABBREVIATIONS

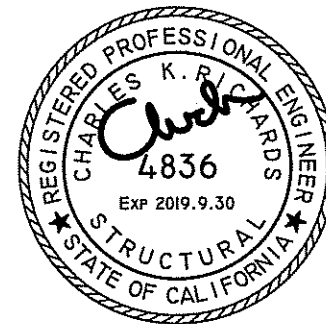
AB ABV ADNL ALT	ANCHOR BOLT ABOVE ADDITIONAL ALTERNATE	FAB(ED) FDN FRMG FTG	FABRICATED) FOUNDATION FRAMING FOOTING	PERP P.J.P.	PERPENDICULAR PARTIAL JT PENETRATION
B.O. BLW BM BOT BTWN	BOTTOM OF BELOW BEAM BOTTOM BETWEEN	GRD HDR HORIZ HVL	GRADE HEADER HORIZONTAL HEIGHT HEX WASHER HEAD	REIN REQD	REINFORCING REQUIRED
CLR COL CONC CONST CONT CONTR COORD	CLEAR COLUMN CONCRETE CONSTRUCTION CONTINUOUS CONTRACTOR COORDINATE	INFO LLH LLV	INFORMATION LONG LEG HORIZONTAL LONG LEG VERTICAL	STOR STR STRL	SQUARE SQUARED STAGER STEEL STRUCTURAL
DGL DGL DRWS	DOUBLE DIAGONAL DRAWINGS	MANUF MAX MIN	MANUFACTURER MAXIMUM MACHINE BOLT MINIMUM	UNO.	UNLESS NOTED OTHERWISE
EA ELEV ENOR EXTR	EACH ELEVATION ENGINEER EXTERIOR	OPNG	OPPOSITE HAND OPENING	VERT	VERTICAL
				w/ w/o	WITH/ WITHOUT/



**ARTISAN  
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### PROJECT

**DEL MESA**

500 MESA DRIVE  
CARMEL, CA

### APN

### OWNER

DIRK YOUNG  
500 MESA DRIVE  
CARMEL, CA

### CONTRACTOR

P.W.S. INC. B-850705  
5290 ORCUTT ROAD  
SAN LUIS OBISPO, CA 93401

PHONE: 805.547.8797

WWW.PWSSTEELBUILDINGS.COM

### DRAWING TITLE

**COVER SHEET**

### REVISIONS

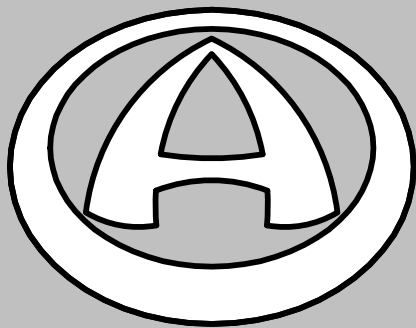
△	PWS REVIEW	2018.6.29
△	SUBMITTAL For P.C.	2018.7.10

SUBMITTAL FOR  
PLAN CHECK

DRAWN BY	CR
PRINT DATE	2018.7.10
PERMIT NO	
AEI NO	18.055

**1.1**





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DRAWING TITLE

FLOOR PLAN

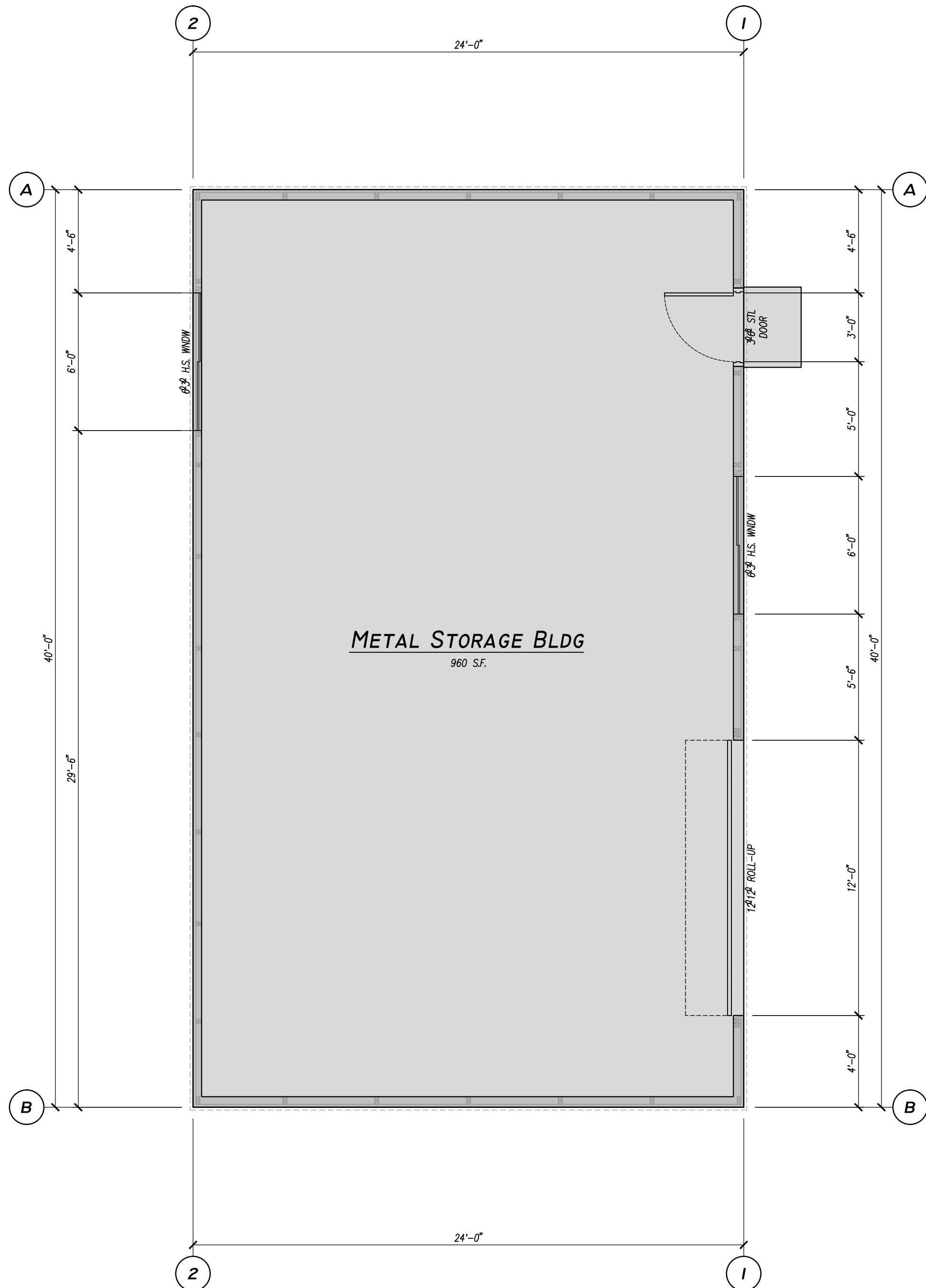
REVISIONS

△	PWS REVIEW	2018.6.29
△	SUBMITTAL FOR P.C.	2018.7.10
△	UPDATE SITE PLAN	2018.9.17

SUBMITTAL FOR  
PLAN CHECK

DRAWN BY	CR
PRINT DATE	2018.9.17
PERMIT NO	
AE/ NO	18.055

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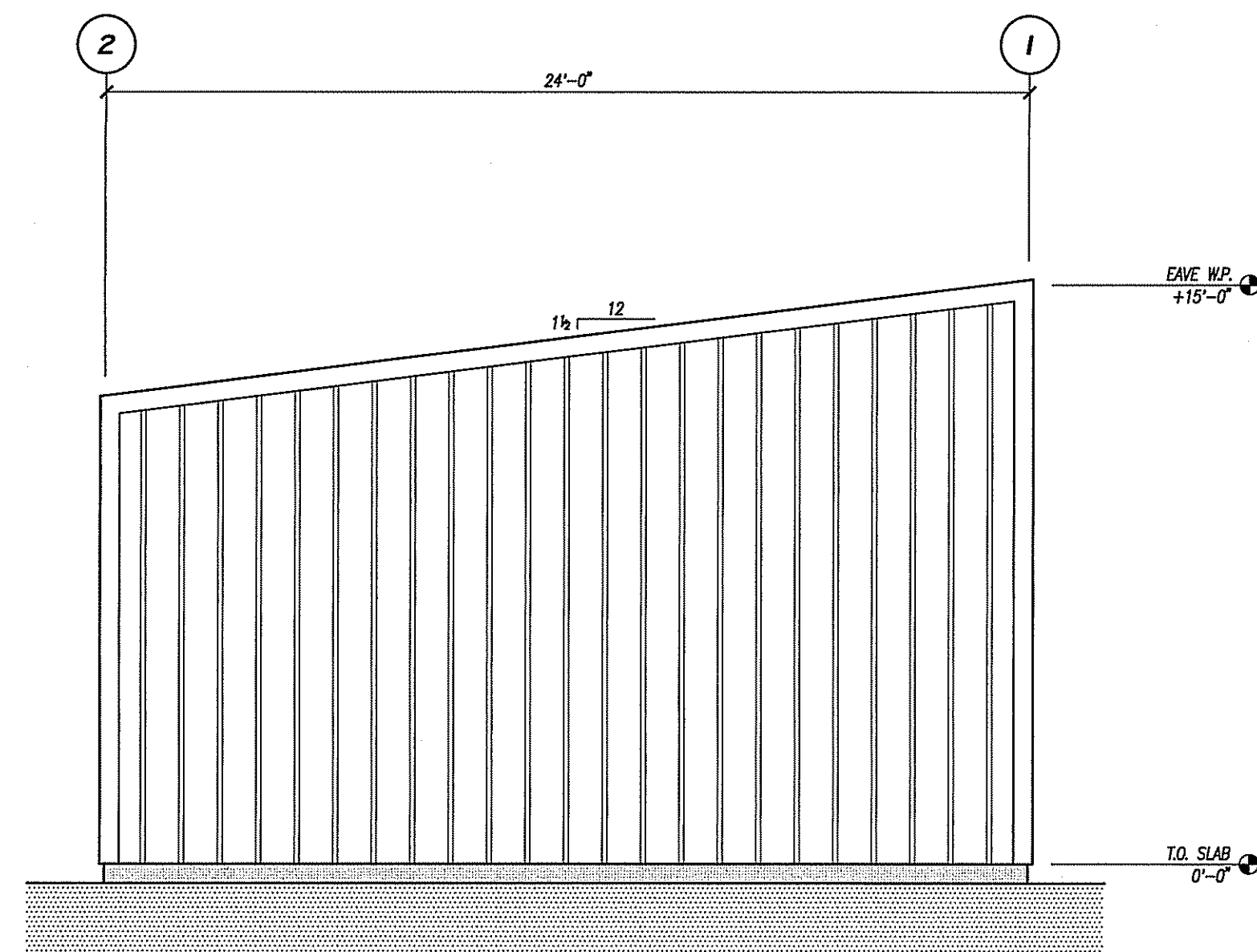


FLOOR PLAN

1/4" = 1'-0"

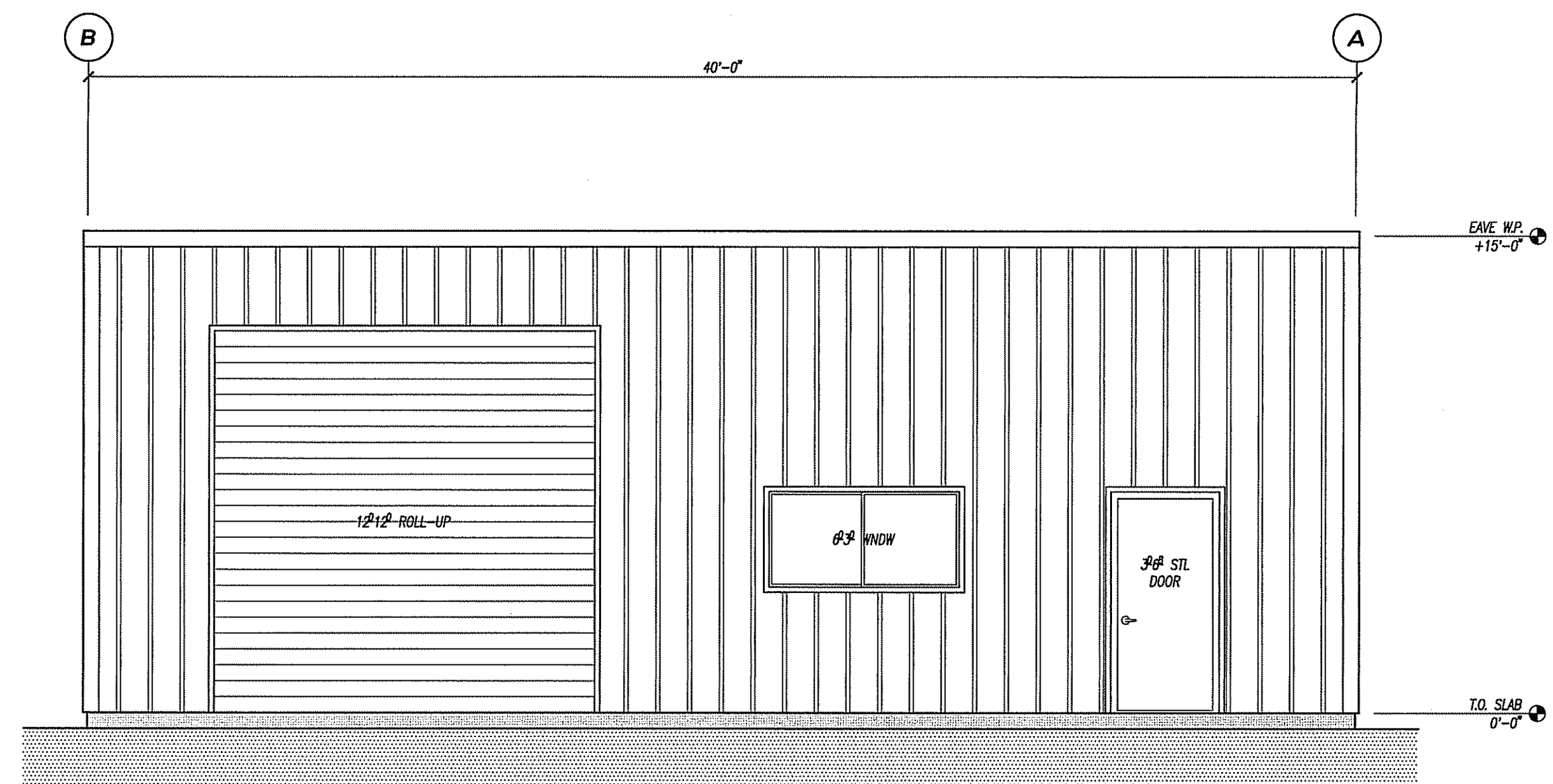
FLOOR PLAN NOTES

- FRAMING:**
  - ALL LIGHT GAGE STEEL SHALL BE MILL GALVANIZED, TOUCH UP ANY AREAS AFFECTED BY WELDING OR THAT ARE OTHERWISE DAMAGED.
  - ALL HEAVY STEEL SHALL BE COATED WITH A ZINC BASED SHOP PRIMER.
- INSULATION BLANKET:**
  - FOIL FACED INSULATION BLANKET TO BE INSTALLED @ ENTIRE ROOF
  - FOIL FACED INSULATION BLANKET TO BE INSTALLED @ ALL WALLS
- SHEETING:**
  - MIN 26ga R-PANEL & TRIMS
  - COLOR OF ALL COMPONENTS AS SPECIFIED BY THE OWNER
  - INSTALL FOAM CLOSURES @ ALL LOCATIONS (BLOCK BURNING EMBERS)
  - WATER PROOFING & WEATHERIZATION IS SOLELY THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR
- SKYLIGHTS:**
  - NONE ARE PART OF THIS PROJECT
- RIDGE VENTILATORS:**
  - NONE ARE PART OF THIS PROJECT
- MAIN DOORS:**
  - LIGHT GAGE STEEL FRAME & DOOR, NON-COMBUSTIBLE
  - PAIN T AS SPECIFIED BY THE OWNER
  - ALL GLAZING IN DOORS SHALL BE TEMPERED
  - LOCK SETS AS SPECIFIED BY THE OWNER, KEYING AS SPECIFIED BY THE OWNER
- SECTIONAL DOORS:**
  - COMMERCIAL GRADE STEEL, NON-COMBUSTIBLE
  - PAIN T OR FACTORY COLOR AS SPECIFIED BY THE OWNER
  - INSTALL AUTOMATIC OPENERS &/OR LOCKS AS SPECIFIED BY THE OWNER
- WINDOWS:**
  - ALUMINUM FRAME
  - ALL EXTERIOR PANES SHALL BE TEMPERED
  - ALL INTERIOR PANES SHALL ALSO BE TEMPERED WHEN THE WINDOW IS LOCATED w/IN 24" OR A DOOR OR 18" OF THE FLOOR
- LANDINGS:**
  - CONC. LANDING REQUIRED @ ALL DOORS, SEE "SITE PLAN" BY OTHERS
  - MATCH WIDTH OF DOOR x MIN 3" OUT FROM BLDG x MIN 4" THICK
  - MAX 4"-7" BLW TO CONC. BLDG SLAB FOR IN-SWING DOORS. FLUSH TO 1/2" DOWN FOR OUT-SWING DOORS. SLOPE TO DRAIN.
- GUTTERS:**
  - AS A MINIMUM, INSTALL GUTTERS ON BOTH EAVES. WHERE GUTTERS ARE INSTALLED, ADD SCREENS TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS.
  - DOWN SPOUTS SHALL BE TERMINATED ON SPLASH BLOCKS OR PIPED AWAY FROM THE FOUNDATION. ALL DRAINAGE SHALL BE DIRECTED AWAY FROM THE FOUNDATION IN A MANNER TO PREVENT EROSION.



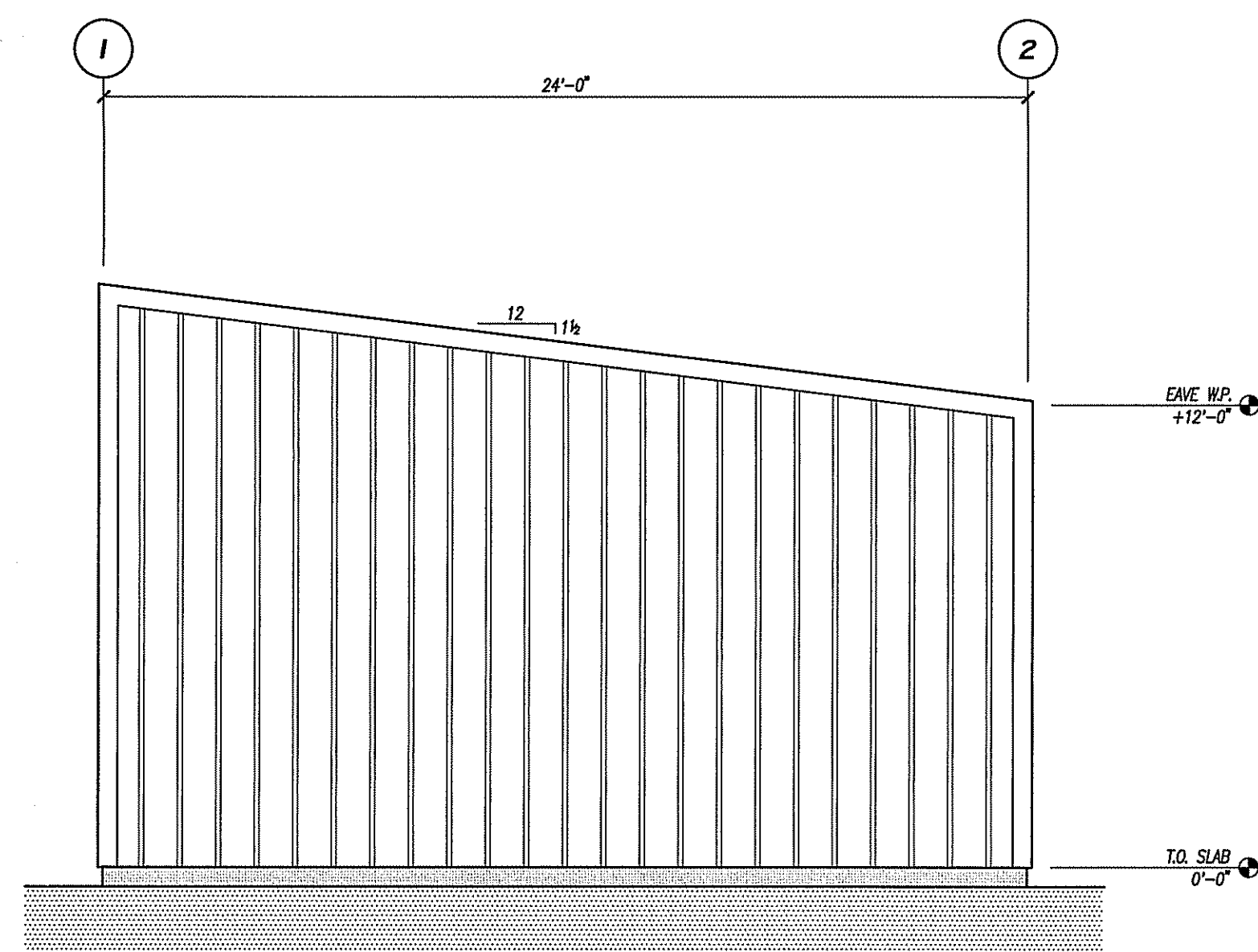
LEFT EXTERIOR ELEVATION

1/4" = 1'-0"



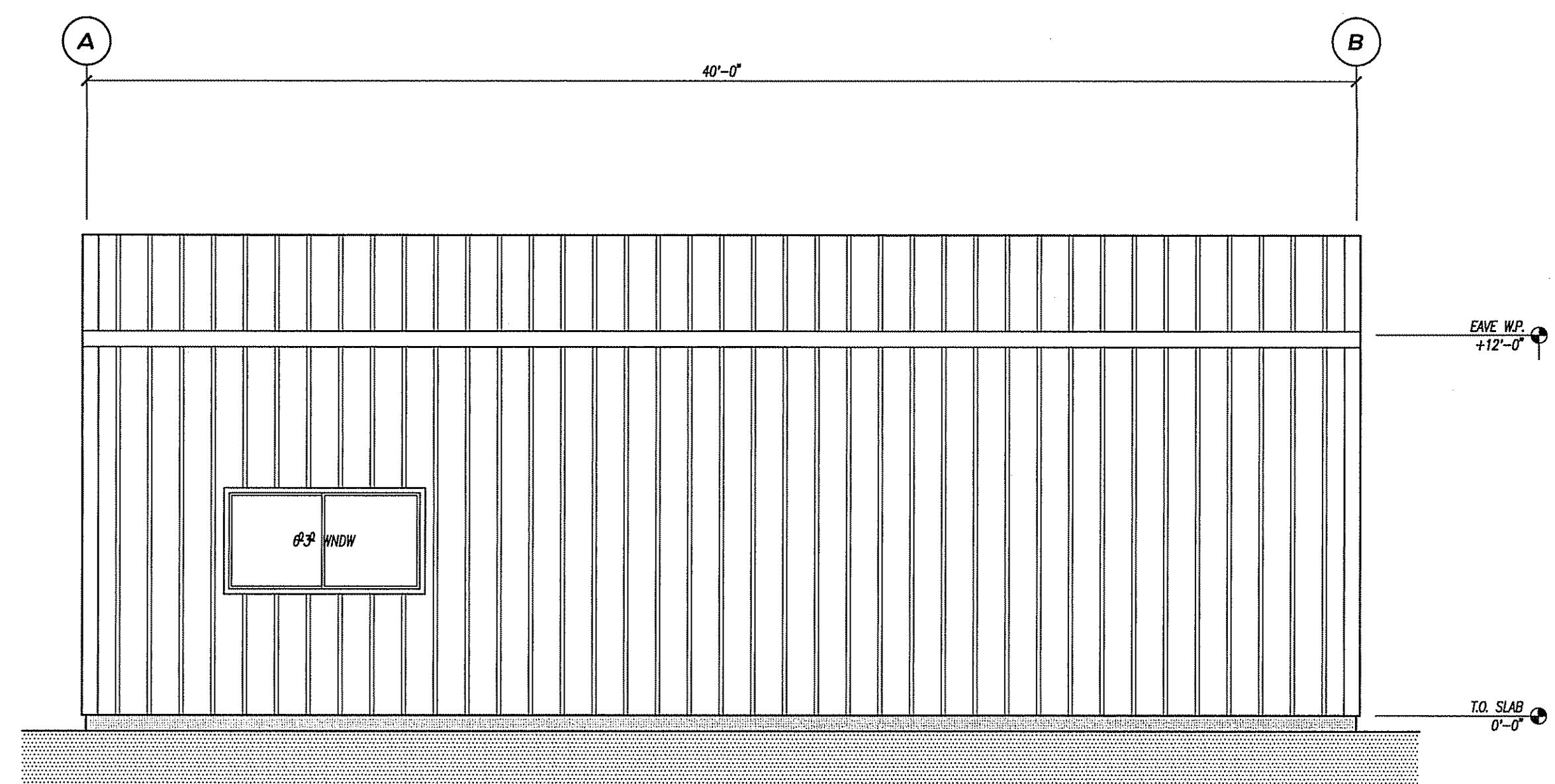
FRONT EXTERIOR ELEVATION

1/4" = 1'-0"



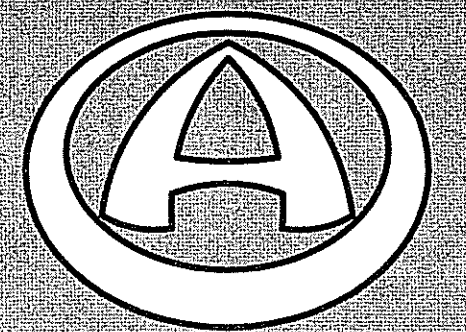
RIGHT EXTERIOR ELEVATION

1/4" = 1'-0"



REAR EXTERIOR ELEVATION

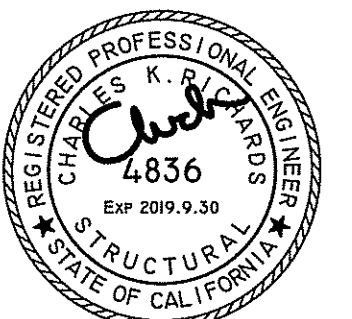
1/4" = 1'-0"



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PROJECT

**DEL MESA**

500 MESA DRIVE  
CARMEL, CA

APN:

OWNER

DIRK YOUNG  
500 MESA DRIVE  
CARMEL, CA

CONTRACTOR

P.W.S. INC. B-850705  
5290 ORCUTT ROAD  
SAN LUIS OBISPO, CA 93401

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DRAWING TITLE

EXTERIOR ELEVATIONS

REVISIONS

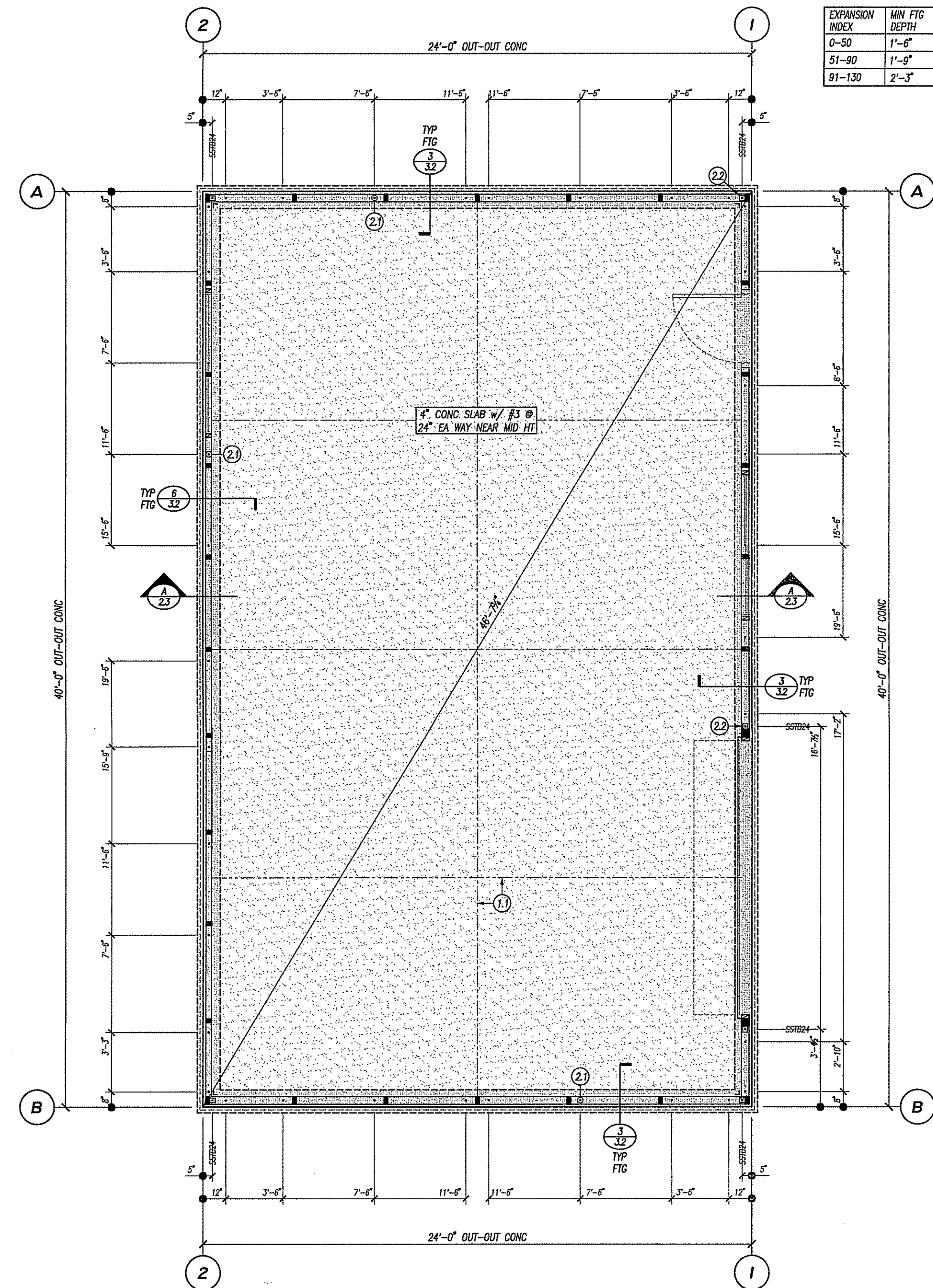
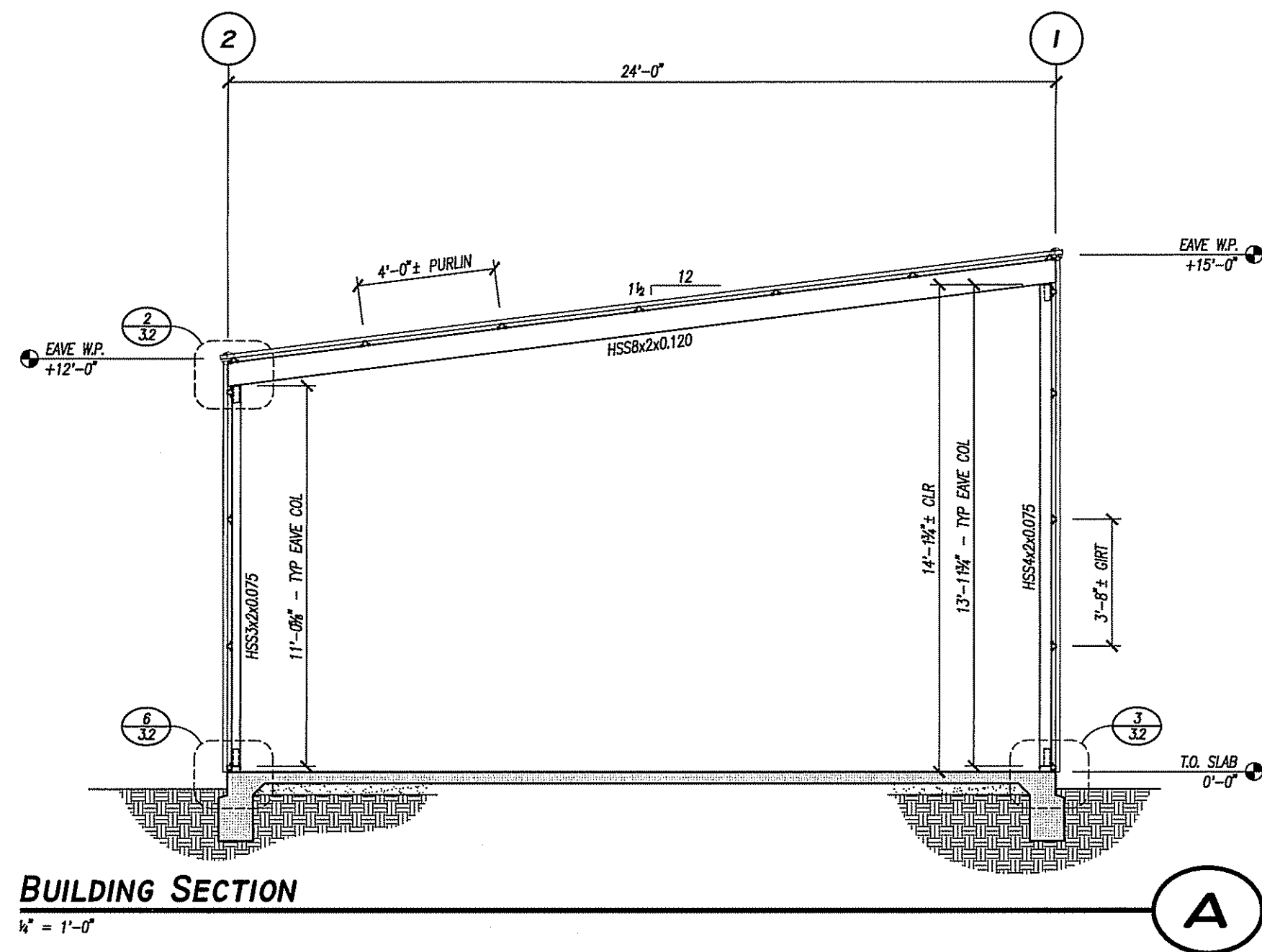
△ PWS REVIEW	2018.6.29
△ SUBMITTAL FOR P.C.	2018.7.10

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PLAN CHECK

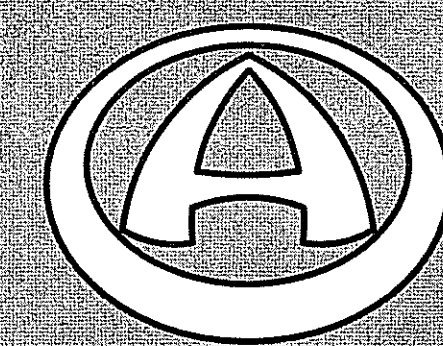
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AEI No	18.055

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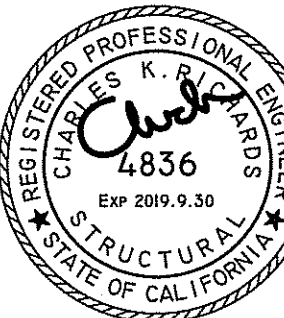
EXPANSION INDEX	MIN FTG DEPTH
0-50	1'-6"
51-90	1'-8"
91-130	2'-3"



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PHONE: 805.547.8797

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DRAWING TITLE

FOUNDATION PLAN  
BUILDING SECTION

REVISIONS

△ PWS Review 2018.6.29  
△ SUBMITTAL FOR P.C. 2018.7.10

SUBMITTAL FOR  
PLAN CHECK

DRAWN BY CR

PRINT DATE 2018.7.10

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**2.3**

## FOUNDATION PLAN NOTES

1. REFERENCE: SHEETS 1.1 & 3.1 - 3.2 FOR GENERAL NOTES & TYPICAL DETAILS.

### 2. EARTHWORK:

- SEE "FOUNDATIONS & SOILS" NOTES ON SHEET 1.1
- PROPERLY MOISTEN THE EXPOSED SOILS & WHEEL ROLL THE PAD w/ HEAVY EQUIPMENT
- PROPERLY MOISTEN & COMPACT ALL POORLY CONSOLIDATED SOIL @ THE BOTTOM OF THE FOOTINGS VIA MECHANICAL MEANS
- PROPERLY MOISTEN & COMPACT ALL SAND/BASE UNDER THE SLAB VIA MECHANICAL MEANS
- PAD CERTIFICATION IS NOT REQUIRED UNLESS A SOILS REPORT HAS BEEN PREPARED FOR THE PROJECT

### 3. FOOTINGS:

- MIN DEPTH IS 1'-6" BLW LOWEST ADJACENT GRID (MIN 1'-6" INTO NATIVE SOIL, BLW ANY FILL SOIL), MIN 2'-0" FROM TOP OF SLAB. VERIFY FTG DEPTH w/ EXPANSION INDEX PER THE SOILS INVESTIGATION. SHALLOWER FTGS MAY BE USED IF JUSTIFIED w/ AN EXPANSION INDEX. SEE 1/3.1 & 3/3.2
- MIN WIDTH IS 12"
- REINFORCE w/ MINIMUM #5 CONT TOP & BOT, MIN 3" CLR TO SOIL DOWEL TO ALL SLABS w/ #3 @ 24".
- MIN 2,500 P.S.I. CONCRETE. SPECIAL INSPECTION IS NOT REQUIRED

### 4. SLABS:

- MIN 4" NET THICKNESS w/ #3 @ 24" EA WAY NEAR MID HT. CURING SAND IS OPTIONAL. SEE 4/3.1
- MIN 60/10" POLYETHYLENE SHEET w/ ALL EDGES & PENETRATIONS SEALED FOR MOISTURE SENSITIVE CONDITIONS (VERIFY w/ THE OWNER) UPGRADE TO 60/15" SIZED CLASS 1" VAPOR RETARDER w/ ALL EDGES & PENETRATIONS SEALED PER MANUFACTURER'S SPECIFICATIONS.
- MIN 2,500 P.S.I. CONCRETE. SPECIAL INSPECTION IS NOT REQUIRED

### 5. EMBEDDED ITEMS:

- COORDINATE THE LOCATION OF ALL EMBEDDED ITEMS WITH THE FRAMING PLANS & APPROPRIATE DETAILS TO ALLOW FOR PROPER INSTALLATION.
- ALL EMBEDDED ITEMS MUST BE SECURELY TIED INTO PLACE BEFORE FOUNDATION "INSPECTION" BY THE "BUILDING OFFICIAL".
- ALL ANCHOR BOLTS IN NEW CONCRETE ARE CAST-IN-PLACE UNO.

### 6. P.W.S. SHALL:

- VERIFY ALL DIMENSIONS & EXISTING CONDITIONS. REPORT ANY DISCREPANCIES IN WRITING TO AEI
- COORDINATE THE WORK CONTAINED HEREIN WITH ALL OTHER WORK FOR THE PROJECT INCLUDING ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL & LANDSCAPE
- DETERMINE THE NEED FOR & NATURE OF ALL TEMPORARY SUPPORTS, INCLUDING DESIGN & INSTALLATION OF SUCH SUPPORTS.
- ENSURE BUILDING WATER PROOFING
- ENSURE PROPER SITE DRAINAGE IN ADDITION TO EROSION & DUST CONTROL MEASURES
- VERIFY VENTING REQUIREMENTS, PASSIVE &/OR ACTIVE
- PROVIDE FOR NON-SLIP SURFACES AS MAY BE REQUIRED
- VERIFY w/ THE OWNER ALL FINISHES, COLORS, TEXTURES
- VERIFY ALL OTHER NON-STRUCTURAL ISSUES

## FOUNDATION PLAN

1/4" = 1'-0"

## FOUNDATION PLAN KEY NOTES

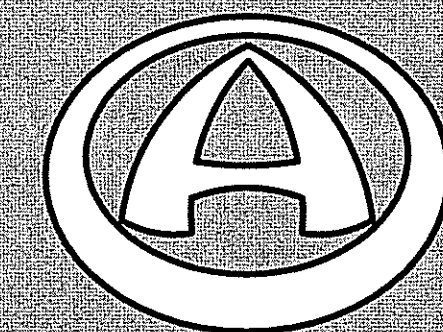
### ① FOUNDATION:

- SLAB JOINT, CONTRACTOR TO VERIFY LAYOUT, SEE 4/3.1

### ② EMBEDS:

- 3/8" x 12" J-BOLT w/ 8 WASHER, TYP PER 6/3.1 & 9/3.1 & 3/3.2
- SIMPSON ~~STR22~~ ANCHOR BOLT FOR ~~STR22~~ HOLD DOWN, TYP OF (6) PER 12/3.1





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**DRAWING TITLE**

**ROOF FRAMING PLAN**

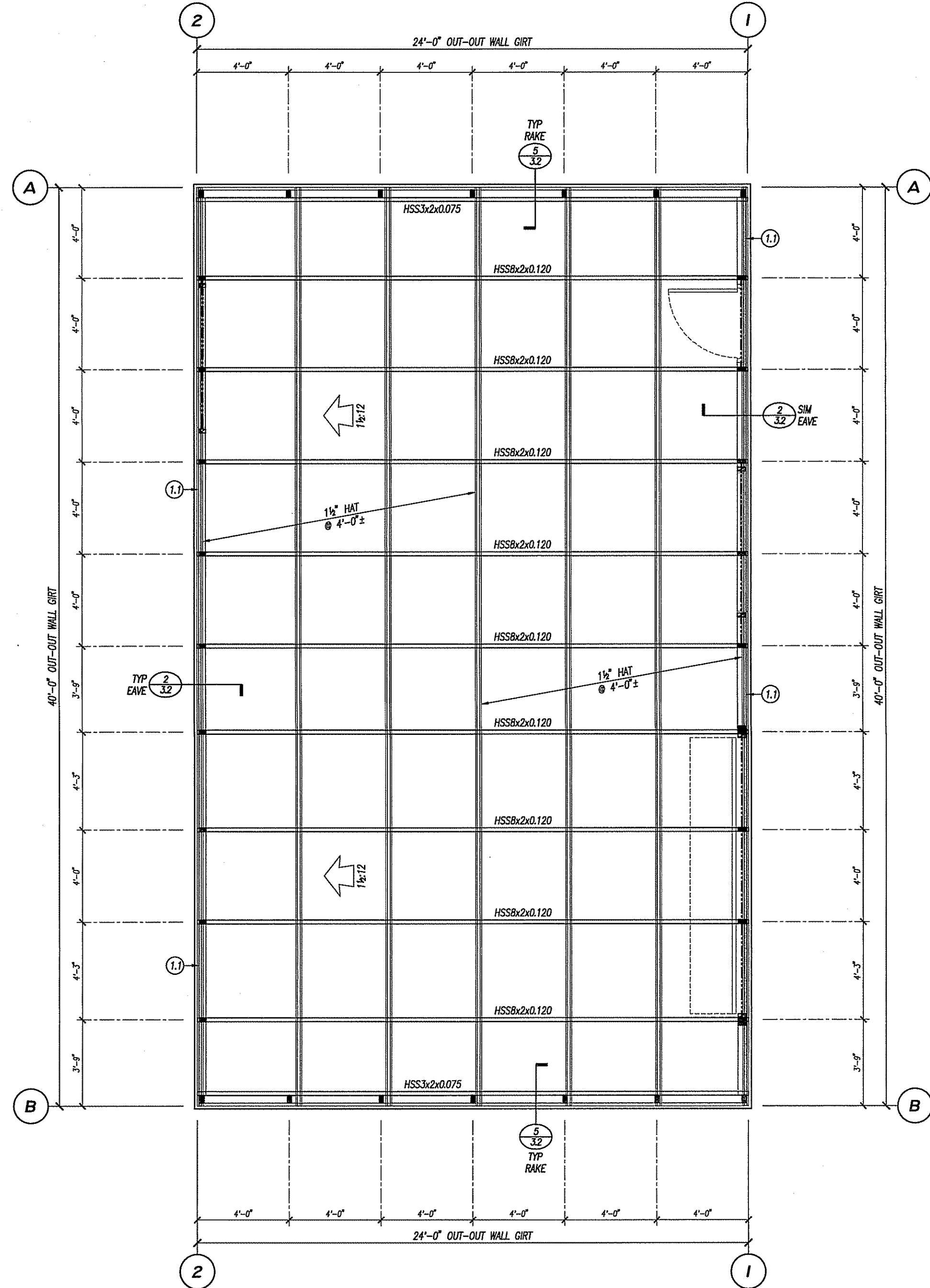
**REVISIONS**

△ PWS REVIEW	2018.6.29
△ SUBMITTAL FOR P.C.	2018.7.10

**SUBMITTAL FOR  
PLAN CHECK**

DRAWN BY	CR
PRINT DATE	2018.7.10
PERMIT NO	
AEI No	18.055

**2.4**



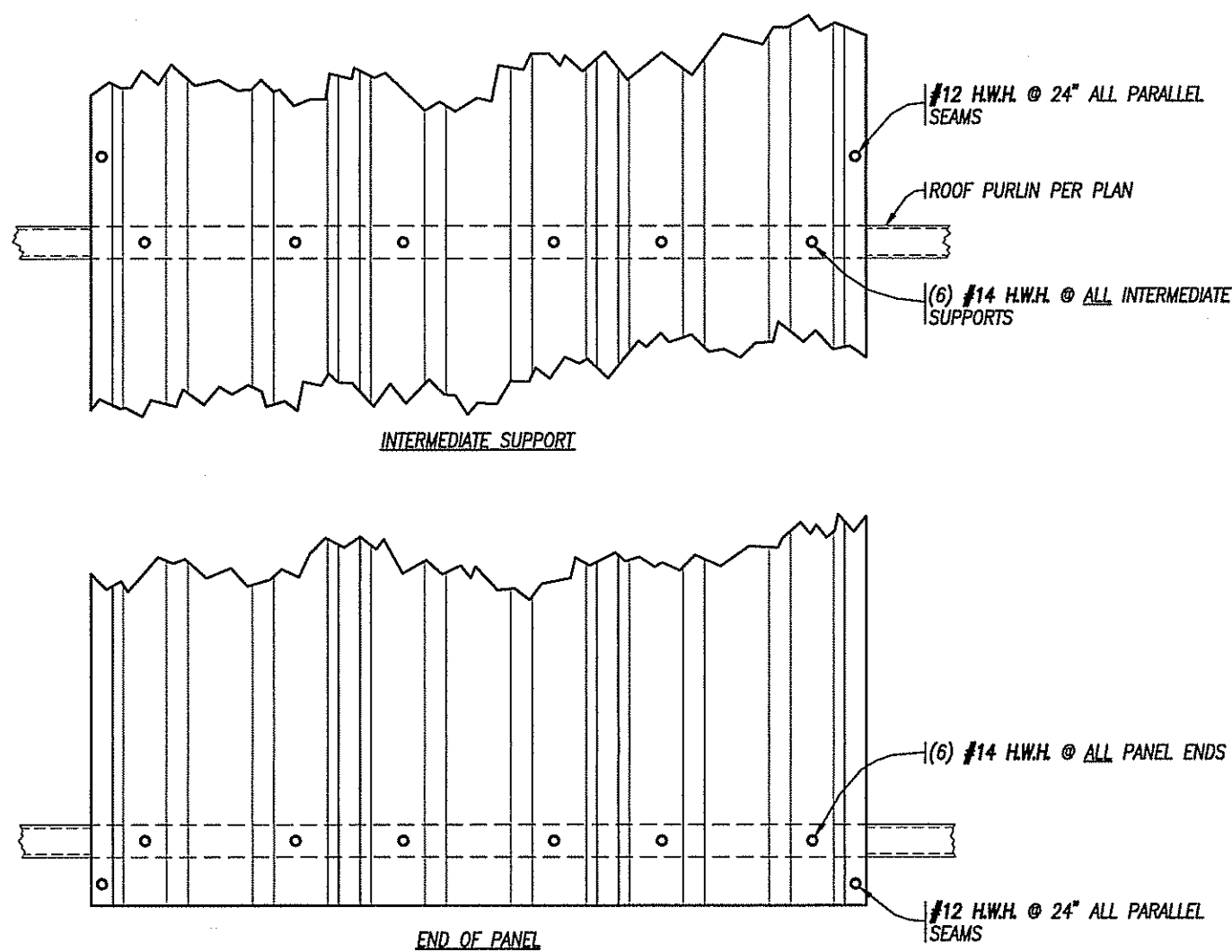
**ROOF FRAMING NOTES**

1. REFER TO SHEETS 1.1 & 3.1 - 3.2 FOR GENERAL NOTES & TYPICAL DETAILS.

2. ROOF FRAMING:  
• COMMON RAFTER: (1) PER 1/32  
• RAKE RAFTER: (2) PER 4/32

3. ROOF SHEETING: IS STRUCTURAL & REQUIRED TO RESIST WIND/SEISMIC LOADS. FASTENERS ARE REQUIRED AT EACH PURLIN/GIRT, AT THE PERIMETER & AT SIDE SEAMS. SEE PLANS FOR SPECIFIC SCREW SIZE & SPACING.  
• R-PANEL MIN 26ga x 1 1/4" x 36" COVERAGE - INSTALLED OVER RS THERMAL BLANKET  
• FASTEN TO SUPPORTS w/ #14 HHW PER A/24 "STANDARD R-PANEL FASTENER LAYOUT"  
• STITCH ALL PARALLEL SEAMS w/ #14 HHW @ 24" FOR ALL CONDITIONS

4. WALL SHEETING: IS STRUCTURAL & REQUIRED TO RESIST WIND/SEISMIC LOADS. FASTENERS ARE REQUIRED AT EACH PURLIN/GIRT, AT THE PERIMETER & AT SIDE SEAMS. SEE PLANS FOR SPECIFIC SCREW SIZE & SPACING.  
• R-PANEL MIN 26ga x 1 1/4" x 36" COVERAGE - INSTALLED OVER RS THERMAL BLANKET  
• FASTEN TO SUPPORTS w/ #14 HHW PER A/24 "STANDARD R-PANEL FASTENER LAYOUT"  
• STITCH ALL PARALLEL SEAMS w/ #14 HHW @ 24" FOR ALL CONDITIONS



**STANDARD R-PANEL FASTENER LAYOUT**

1/2" = 1'-0"

**A**

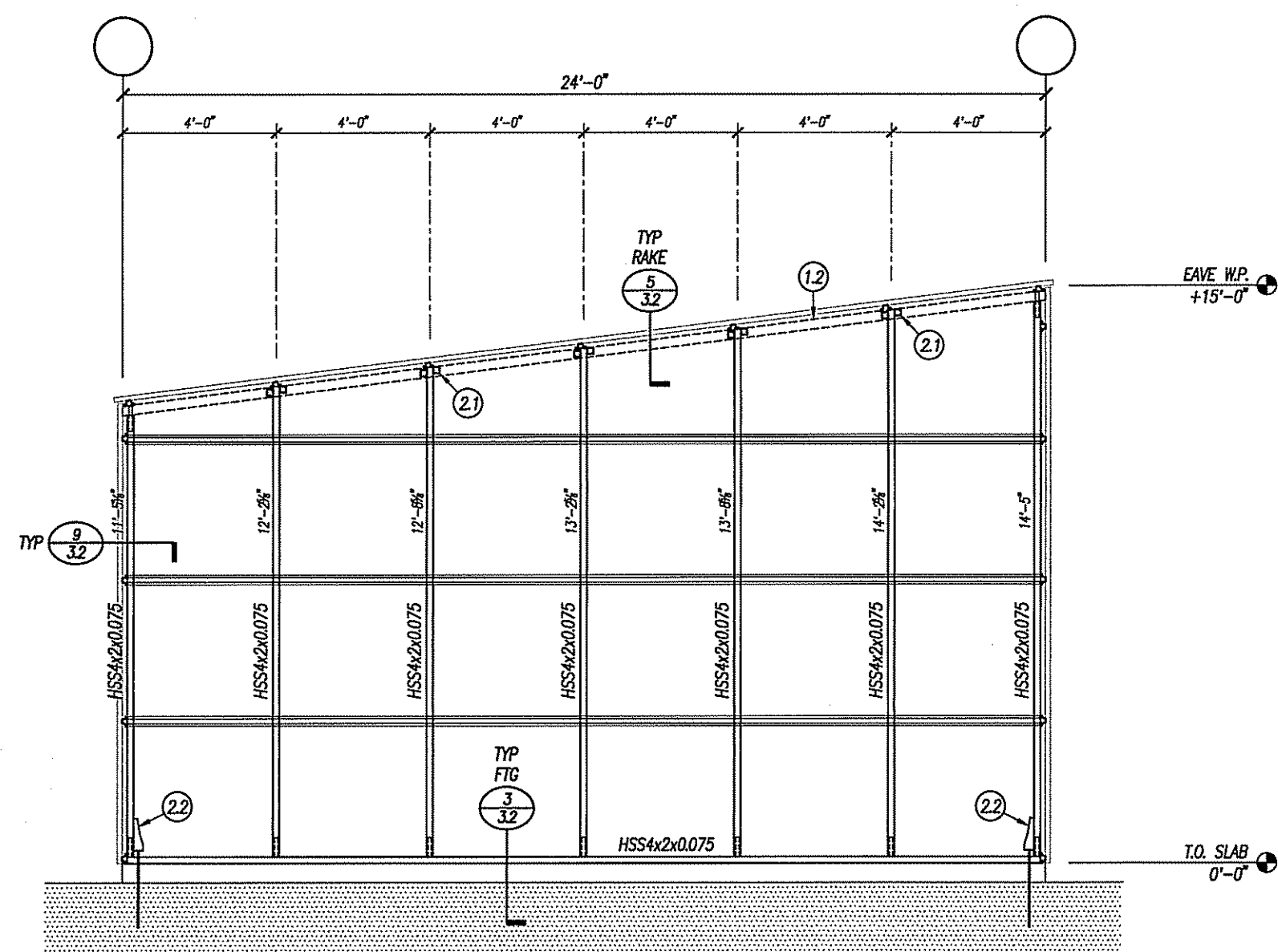
**ROOF FRAMING PLAN**

1/2" = 1'-0"

**ROOF FRAMING PLAN KEY NOTES**

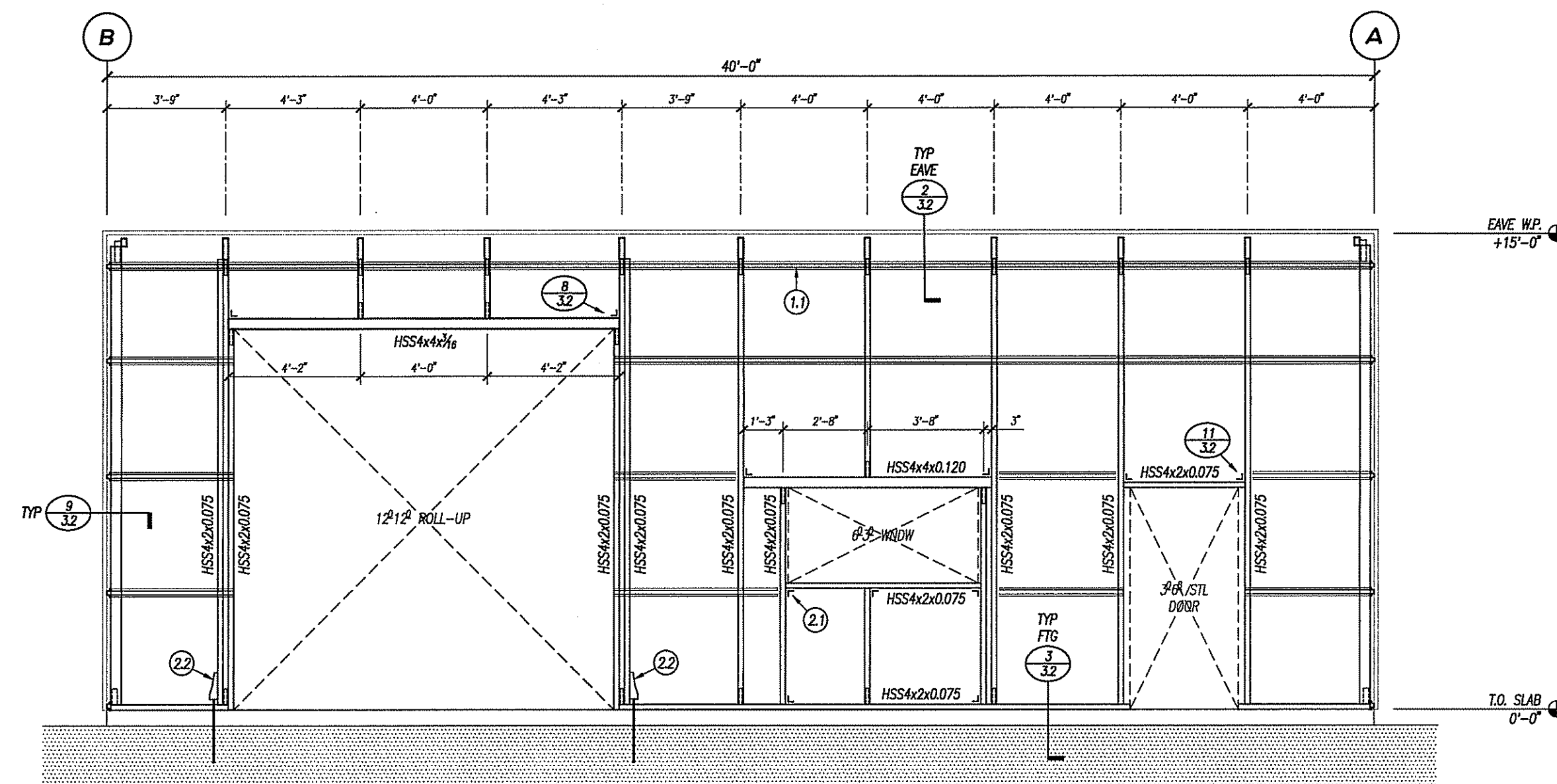
① 1/2" HAT:  
1. "TENSION" SPLICE w/ (6) #10 S.M.S. EA SIDE JOINT PER 11/31





WALL FRAMING ELEVATION - LINES A & B

1/4" = 1'-0"

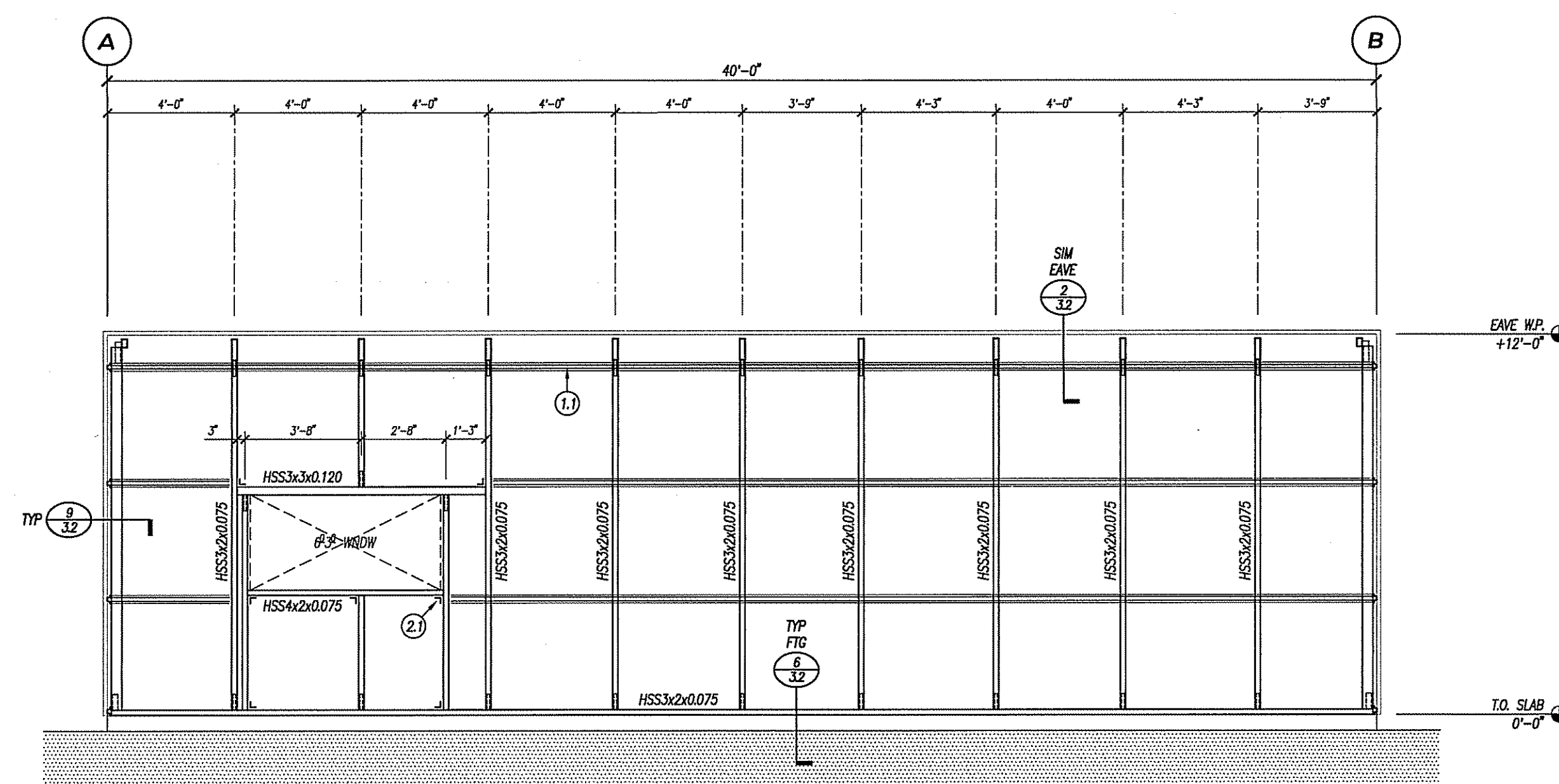


WALL FRAMING ELEVATION - LINE I

1/4" = 1'-0"

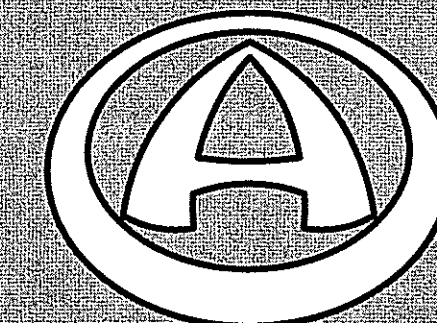
### WALL FRAMING ELEVATION KEY NOTES

- ① **1 1/2" JAB:**
  1. CONT w/ "TENSION" SPLICE ALL JOINTS w/ (6) #10 SMS PER 11/31 & #14 HNH PER 4/24 FROM R-PANEL
  2. ADNL SLOPED UP RAKE @ TOP OF FRMG, INSTALL (2) #10 SMS EA CONTACT
- ② **HARDWARE:**
  1. TYP AS SHOWN L2x2 "ANGLE BRACKET" w/ (3) #10 SMS EA LEG, SEE 7/31
  2. SIMPSON **SS1824** ANCHOR BOLT FOR **SZ70016** HOLD DOWN, TYP OF (6) PER 12/31



WALL FRAMING ELEVATION - LINE 2

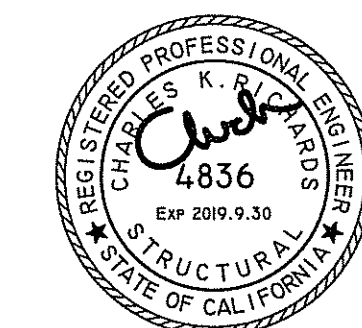
1/4" = 1'-0"



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#### PROJECT

**DEL MESA**

500 MESA DRIVE  
CARMEL, CA

#### APN

#### OWNER

DIRK YOUNG  
500 MESA DRIVE  
CARMEL, CA

#### CONTRACTOR

P.W.S. INC. B-850705  
5290 ORCUTT ROAD  
SAN LUIS OBISPO, CA 93401

PHONE: 805.547.8797

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#### DRAWING TITLE

WALL FRAMING  
ELEVATIONS

#### REVISIONS

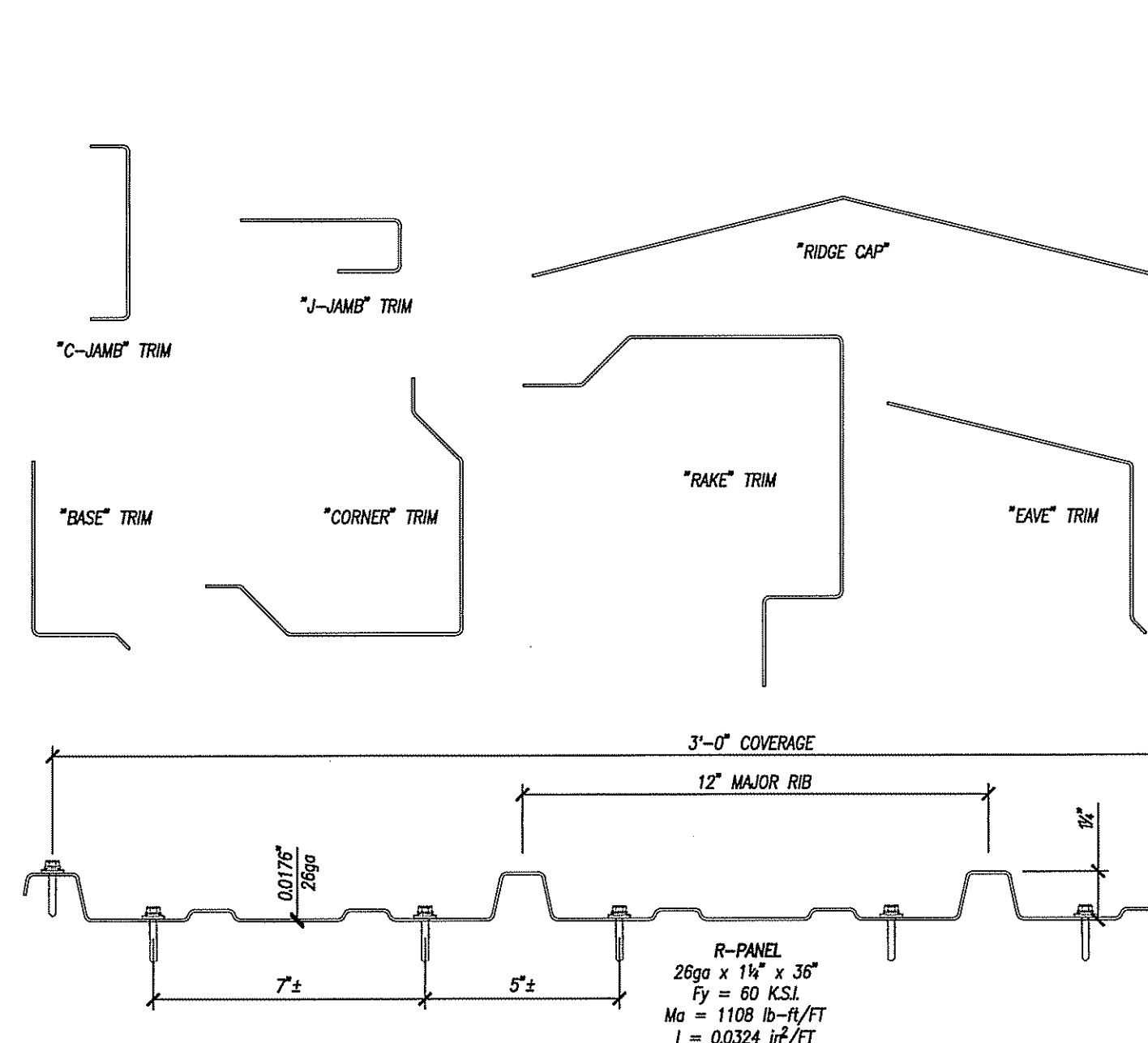
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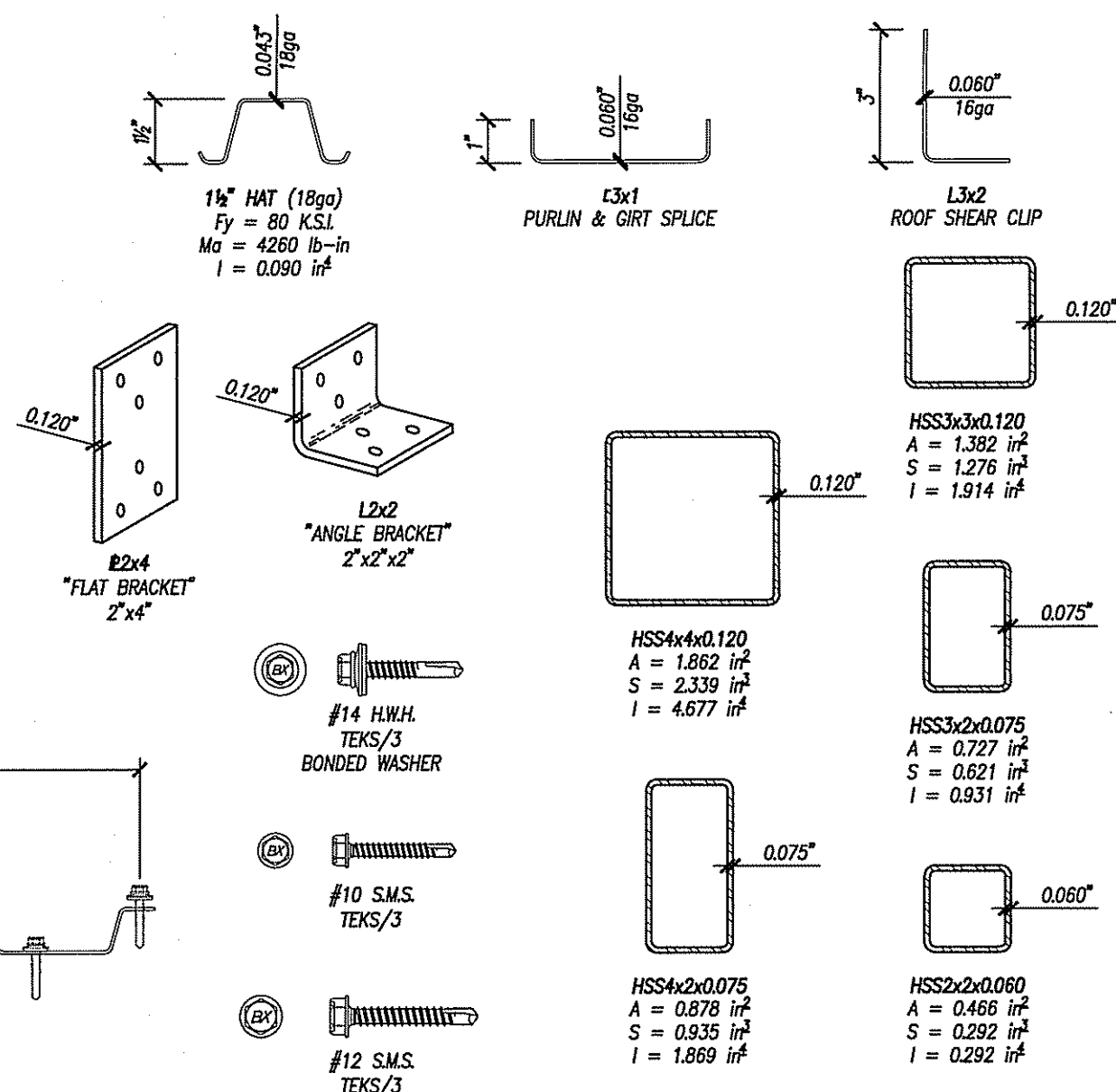
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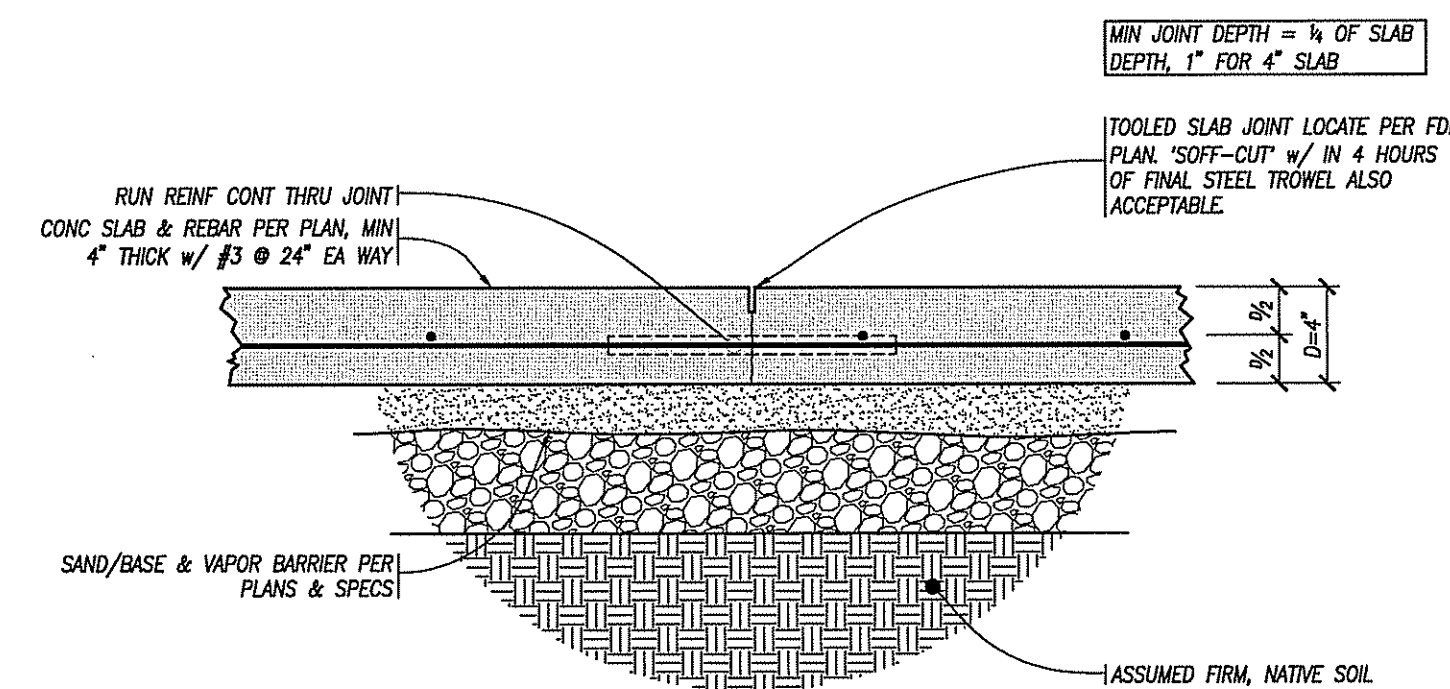
TYPICAL MEMBERS

3" = 1'-0"



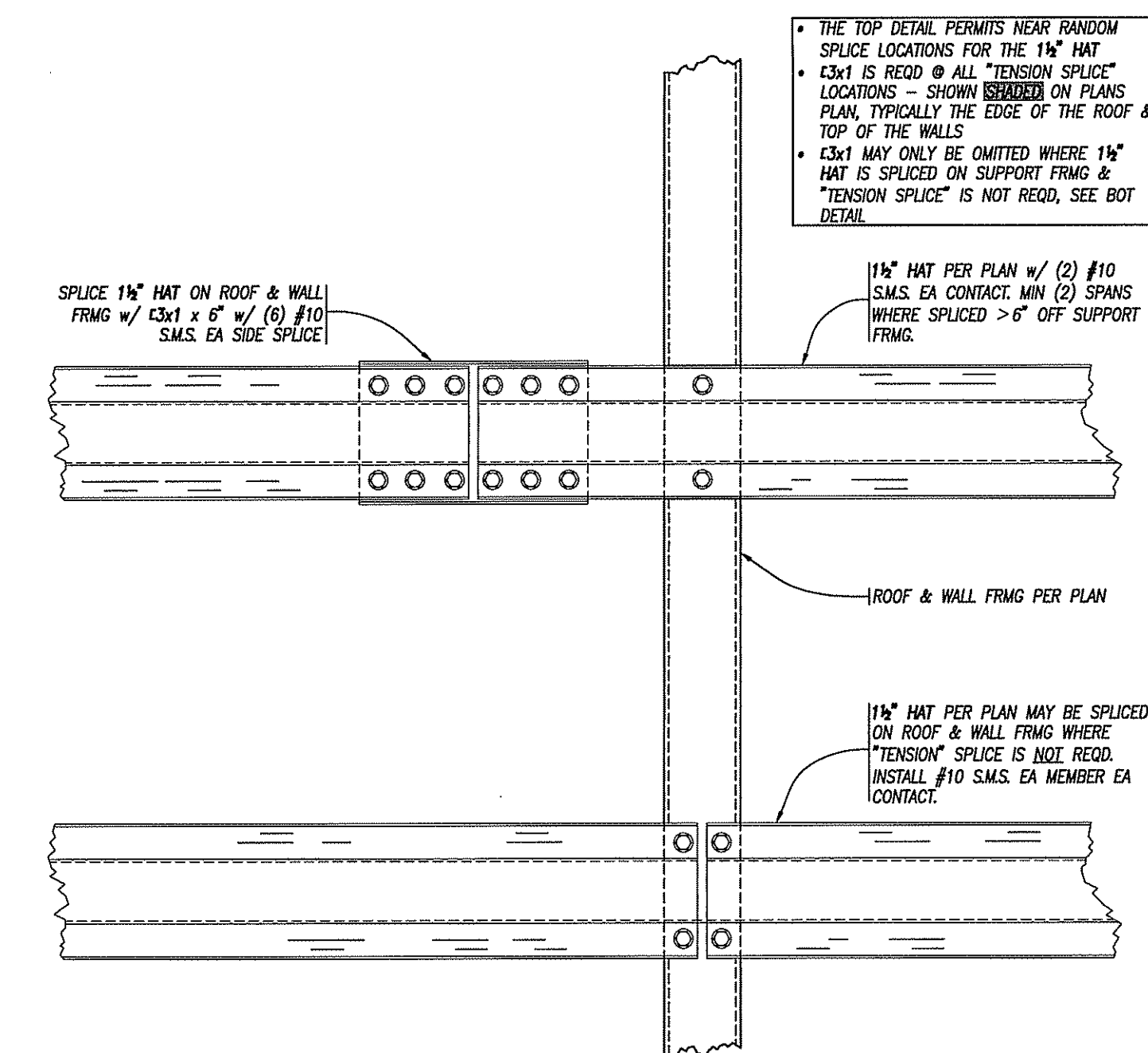
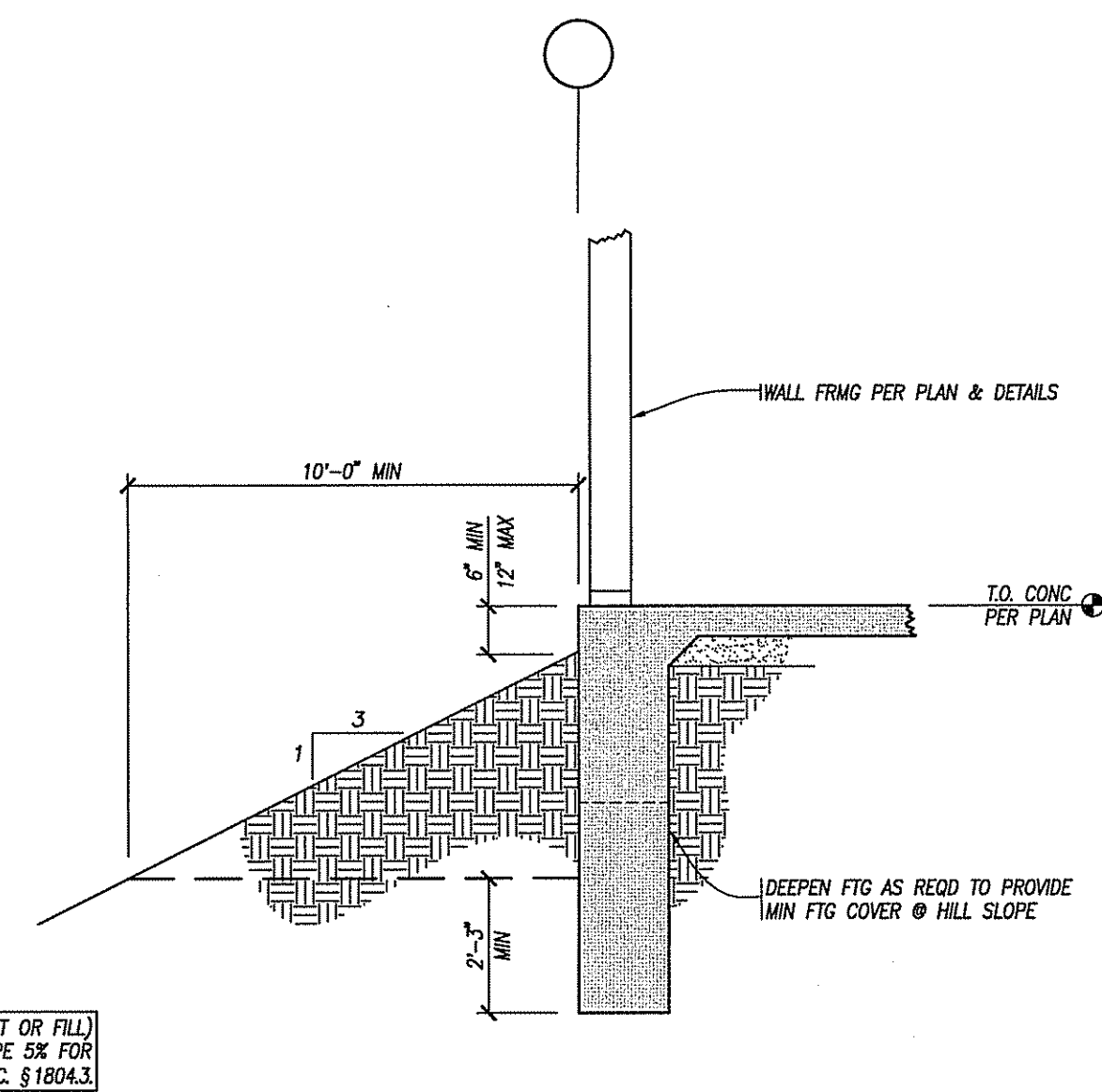
TYPICAL SLAB SECTION & SLAB JOINT

1/2" = 1'-0"



MINIMUM FOOTING PENETRATION

1/2" = 1'-0"

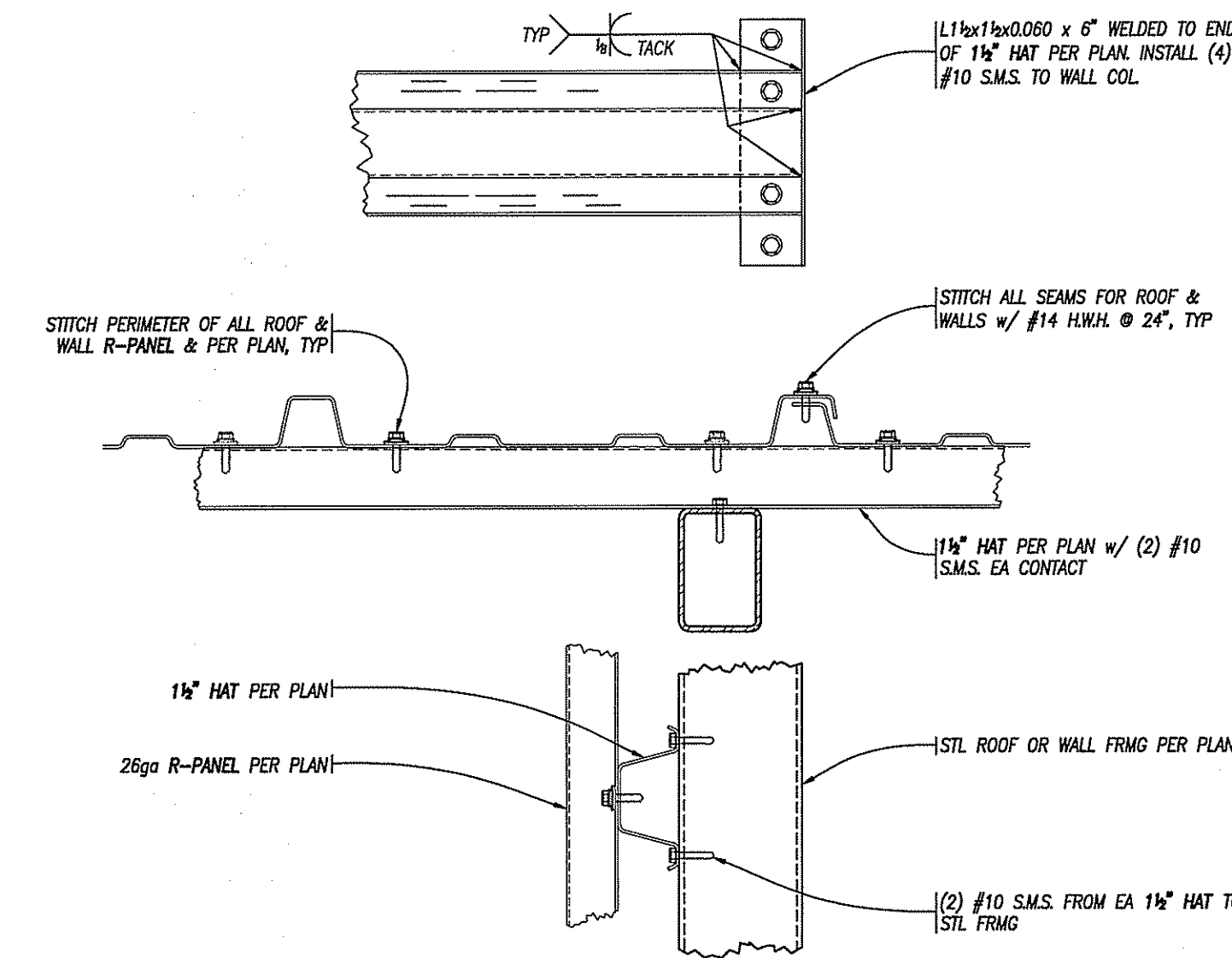


TYPICAL PURLIN & GIRT SPlice

3" = 1'-0"

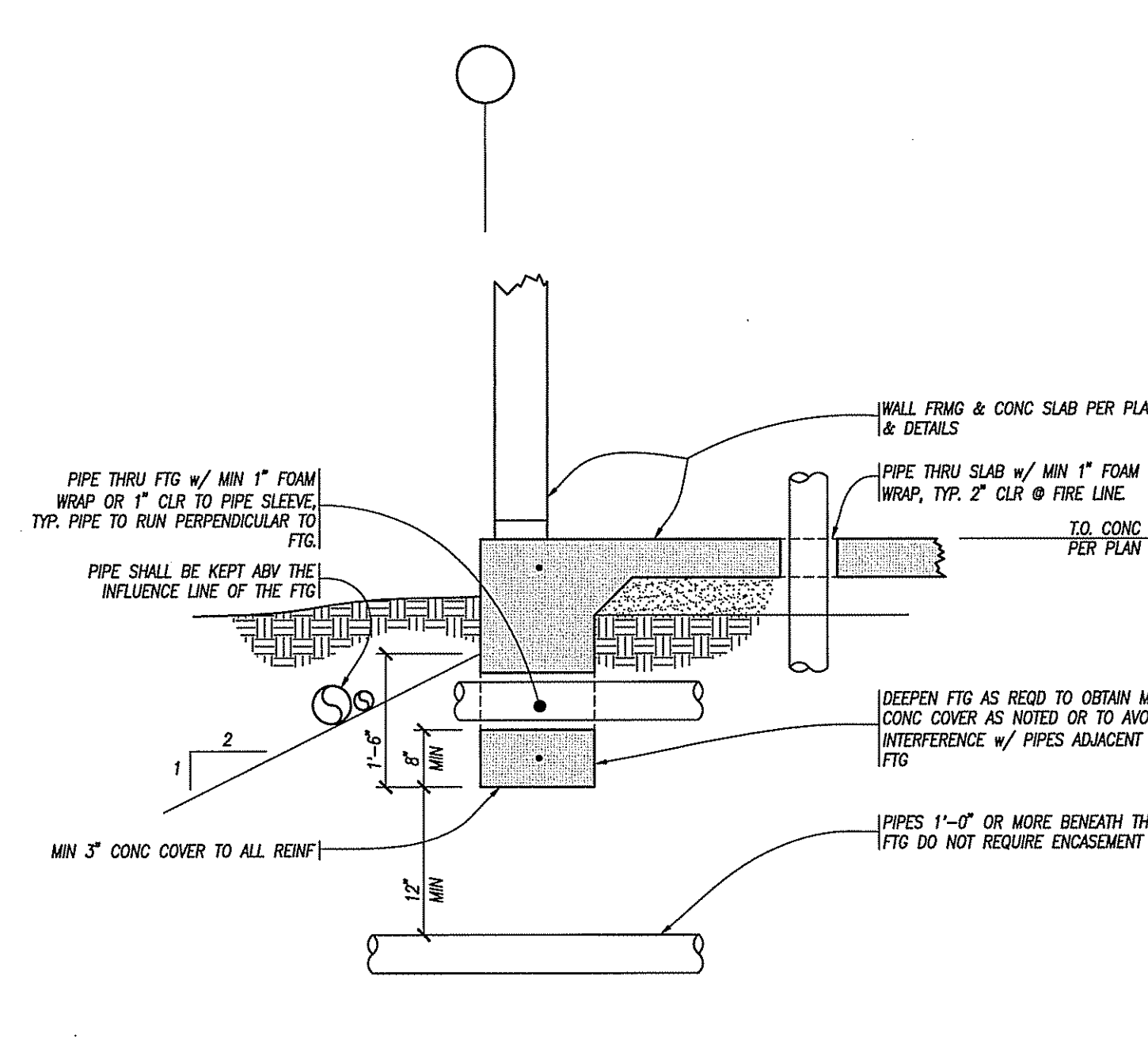
TYPICAL PURLIN & GIRT FRAMING

3" = 1'-0"



PIPES NEAR FOOTINGS

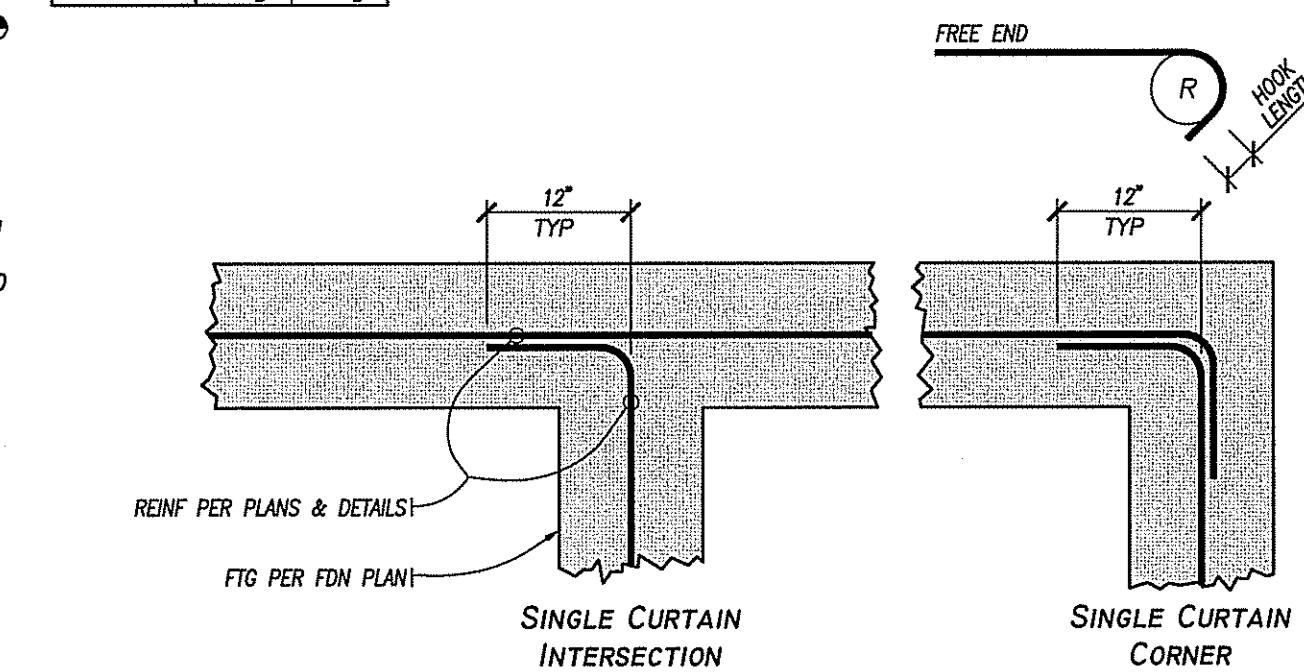
1/2" = 1'-0"



TYPICAL FOOTING REINFORCING

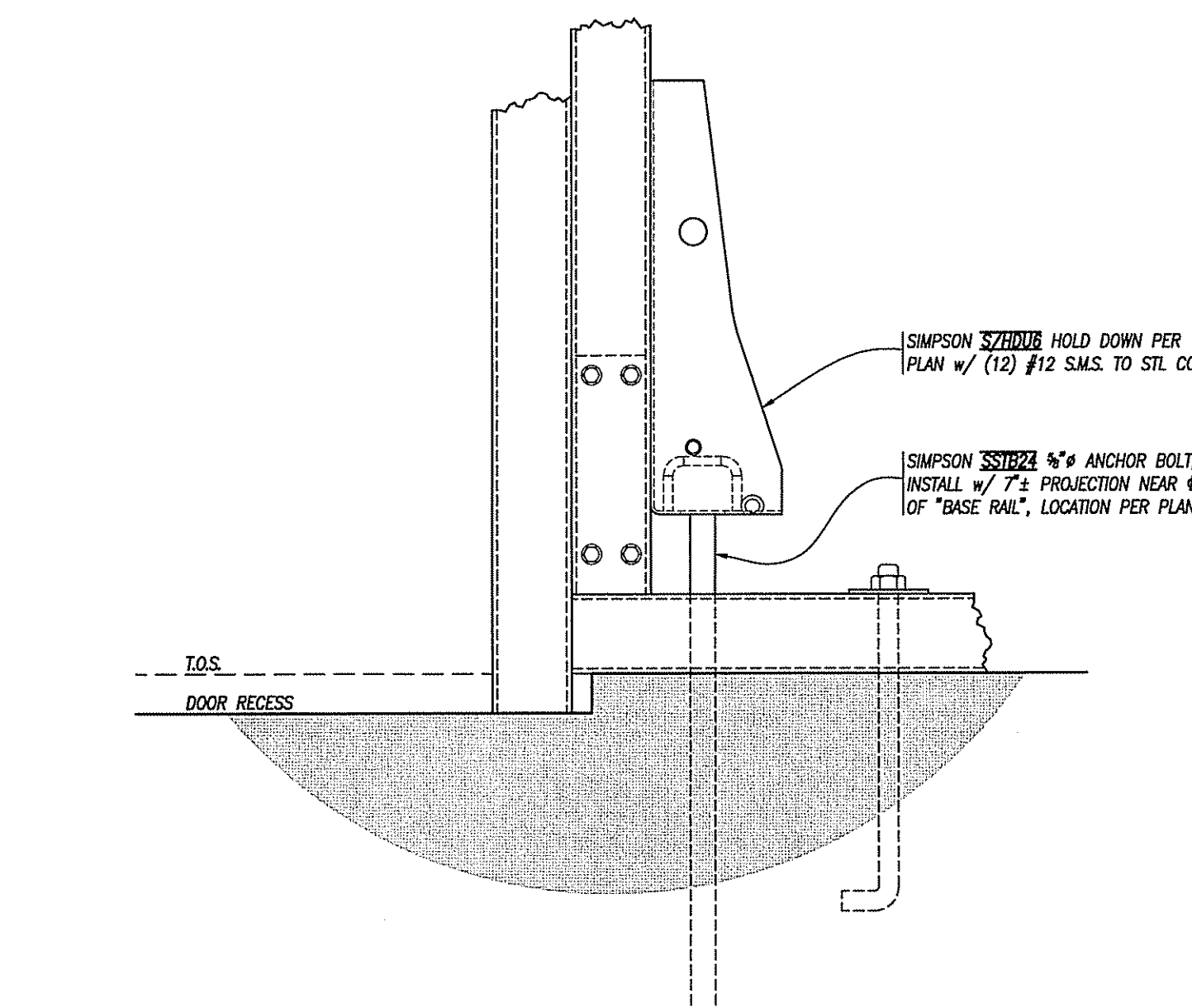
1/2" = 1'-0"

CONFIGURATION	RADIUS	HOOK
45°	6d <sub>b</sub>	N/A
90°	6d <sub>b</sub>	12d <sub>b</sub>
135°	6d <sub>b</sub>	6d <sub>b</sub>
180°	6d <sub>b</sub>	4d <sub>b</sub>



TYPICAL STEPPED FOOTING

1/2" = 1'-0"

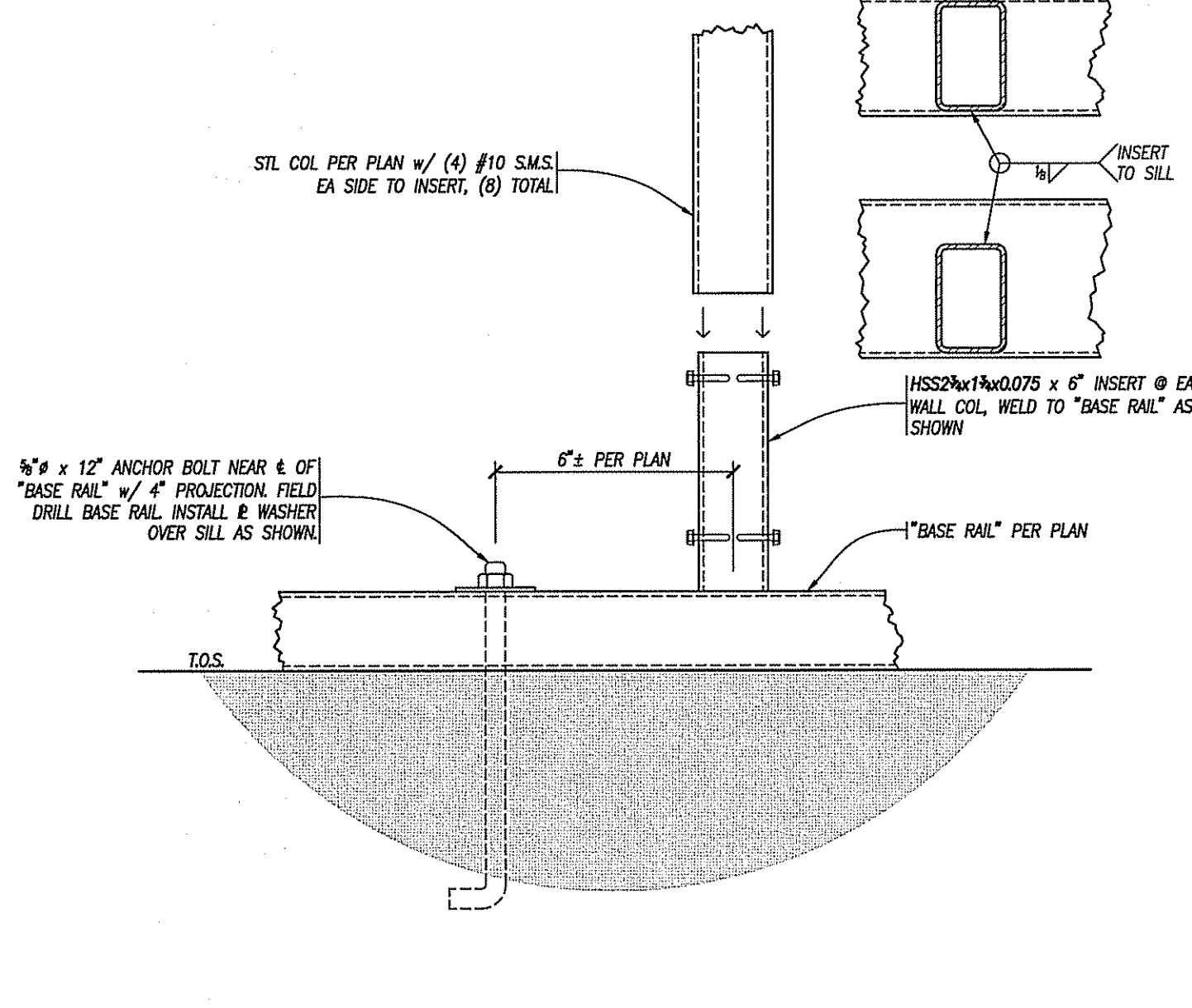


TYPICAL HOLD DOWN

3" = 1'-0"

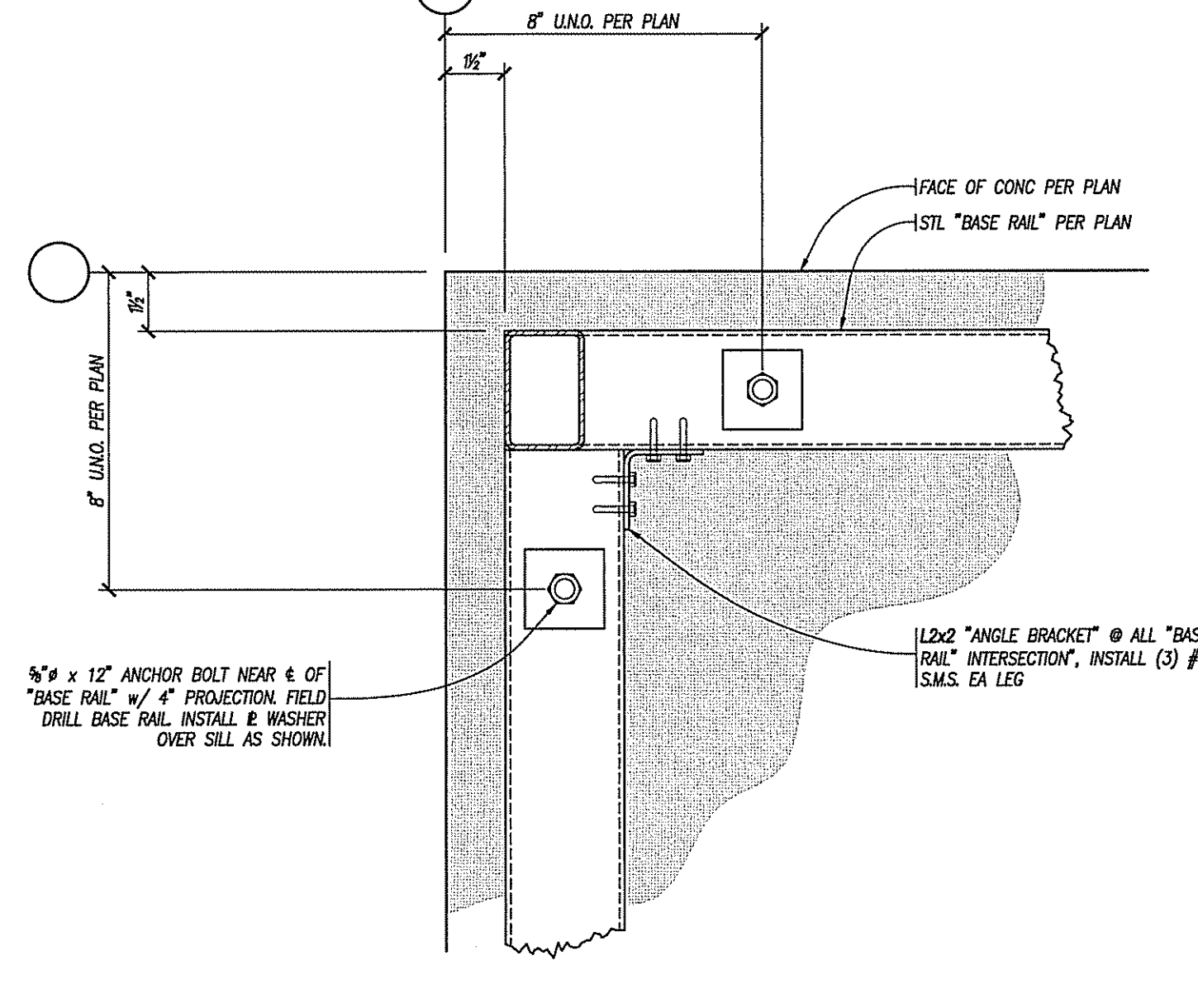
TYPICAL "BASE RAIL" WITH INSERT

3" = 1'-0"



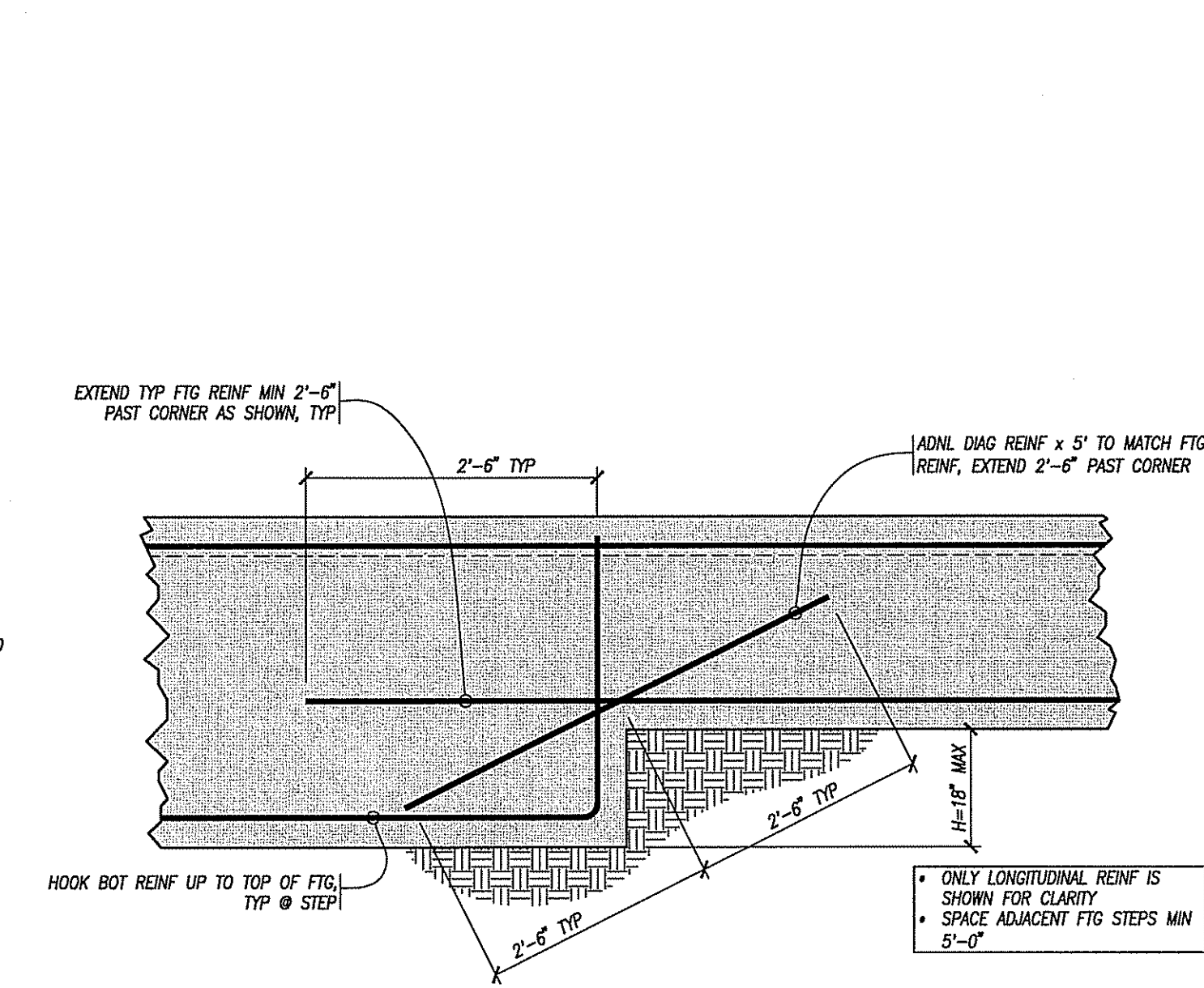
TYPICAL "BASE RAIL" LAYOUT NEAR CORNER - PLAN VIEW

3" = 1'-0"



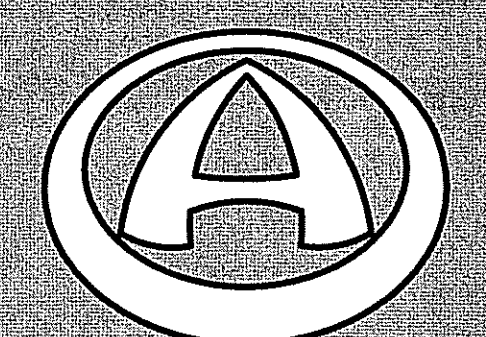
TYPICAL SINGLE CURTAIN INTERSECTION

1/2" = 1'-0"



TYPICAL SINGLE CURTAIN CORNER

1/2" = 1'-0"



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PROJECT

DEL MESA

500 MESA DRIVE  
CARMEL, CA

APN

OWNER

DIRK YOUNG  
500 MESA DRIVE  
CARMEL, CA

CONTRACTOR

P.W.S. INC. B-850705  
5290 ORCUTT ROAD  
SAN LUIS OBISPO, CA 93401

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DRAWING TITLE

TYPICAL CONSTRUCTION  
DETAILS

REVISIONS

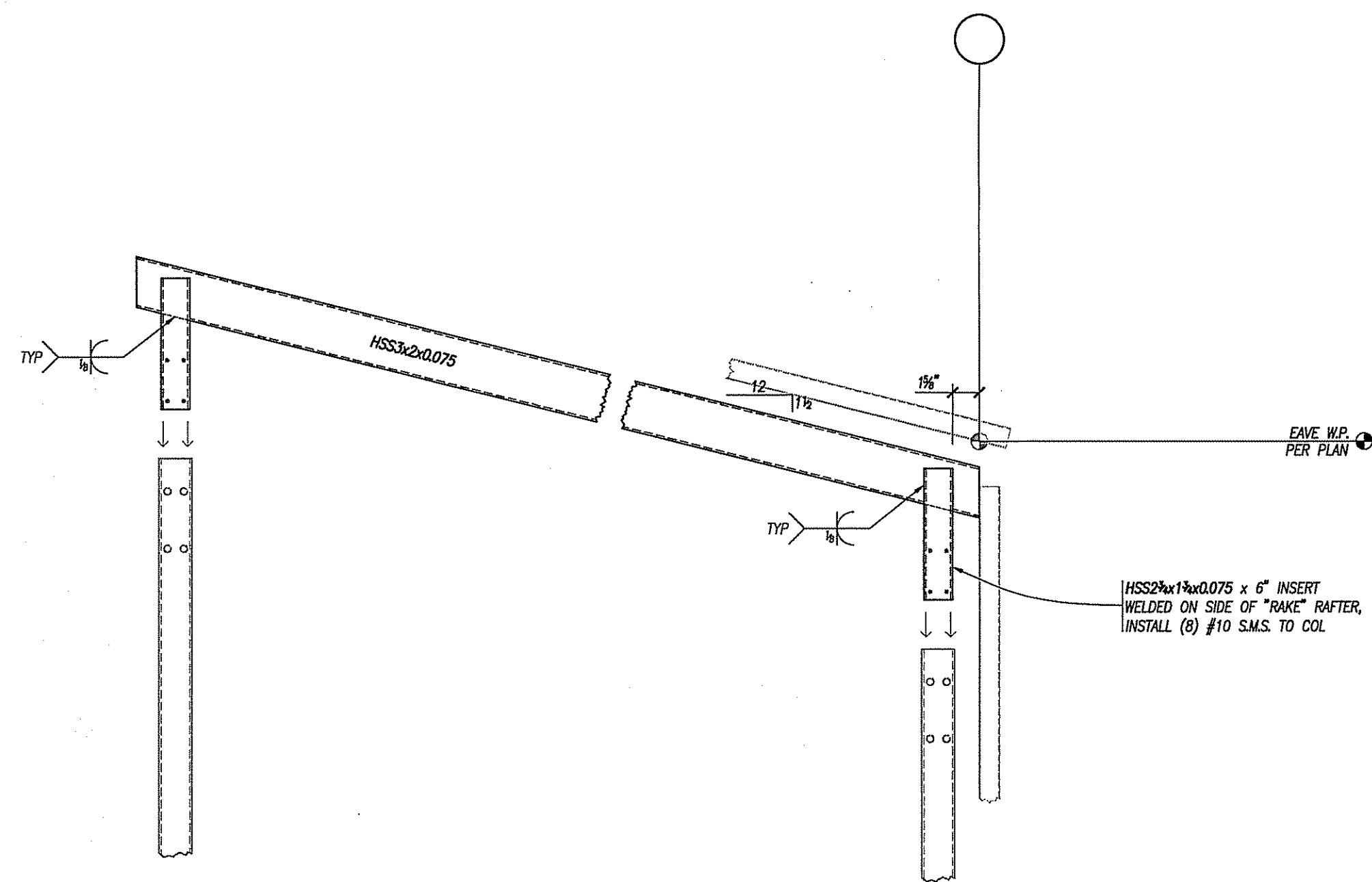
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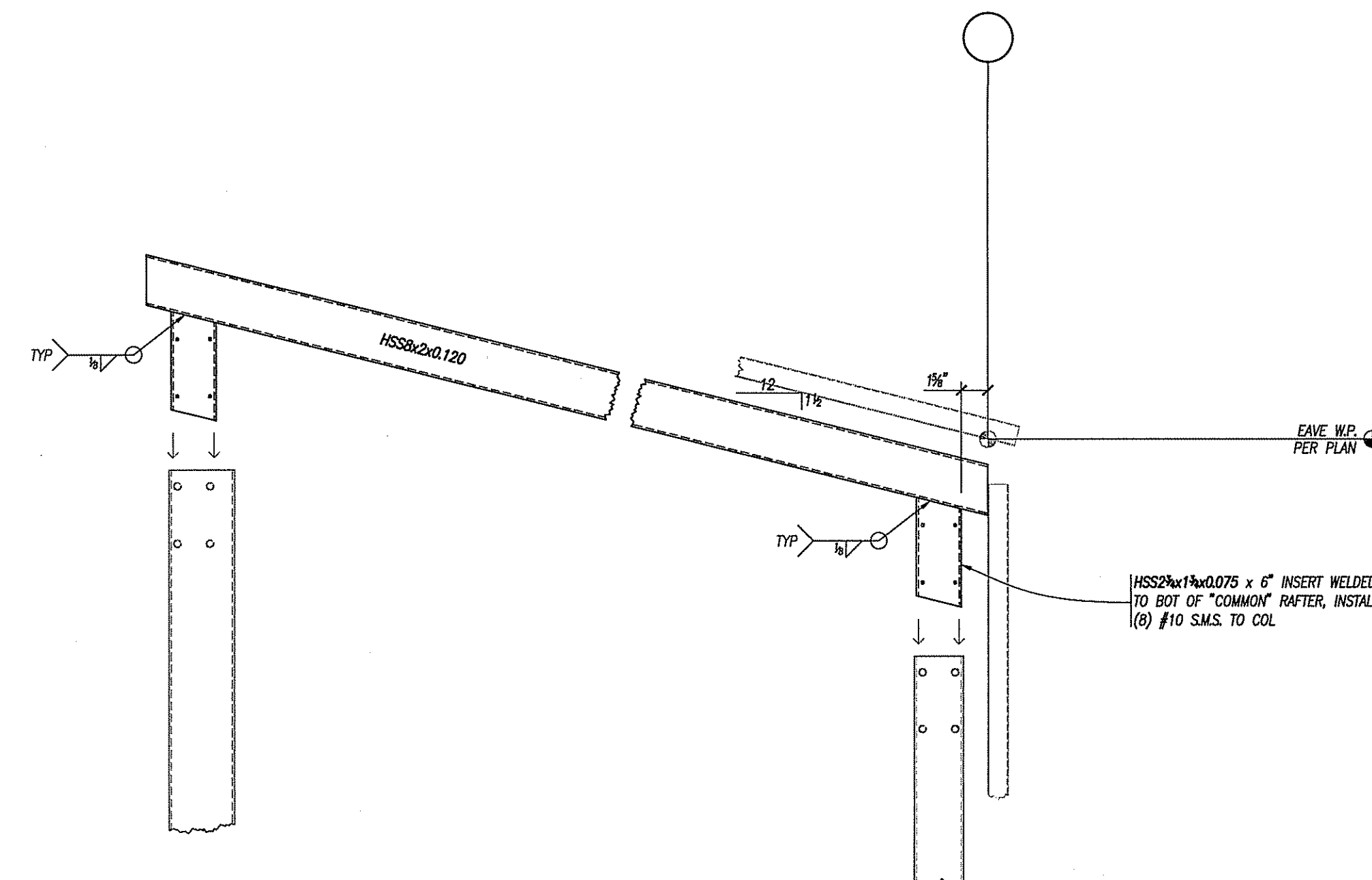
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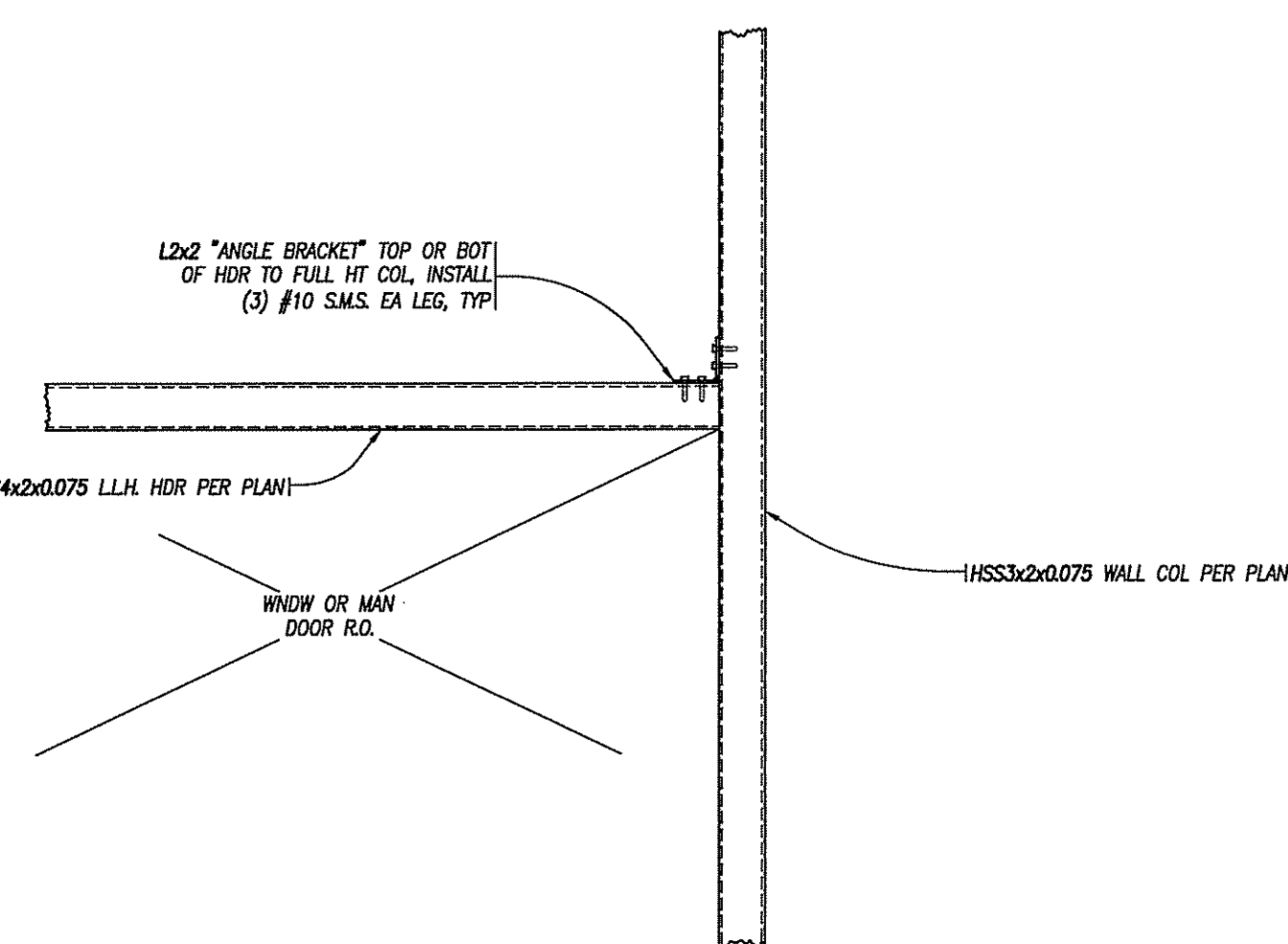




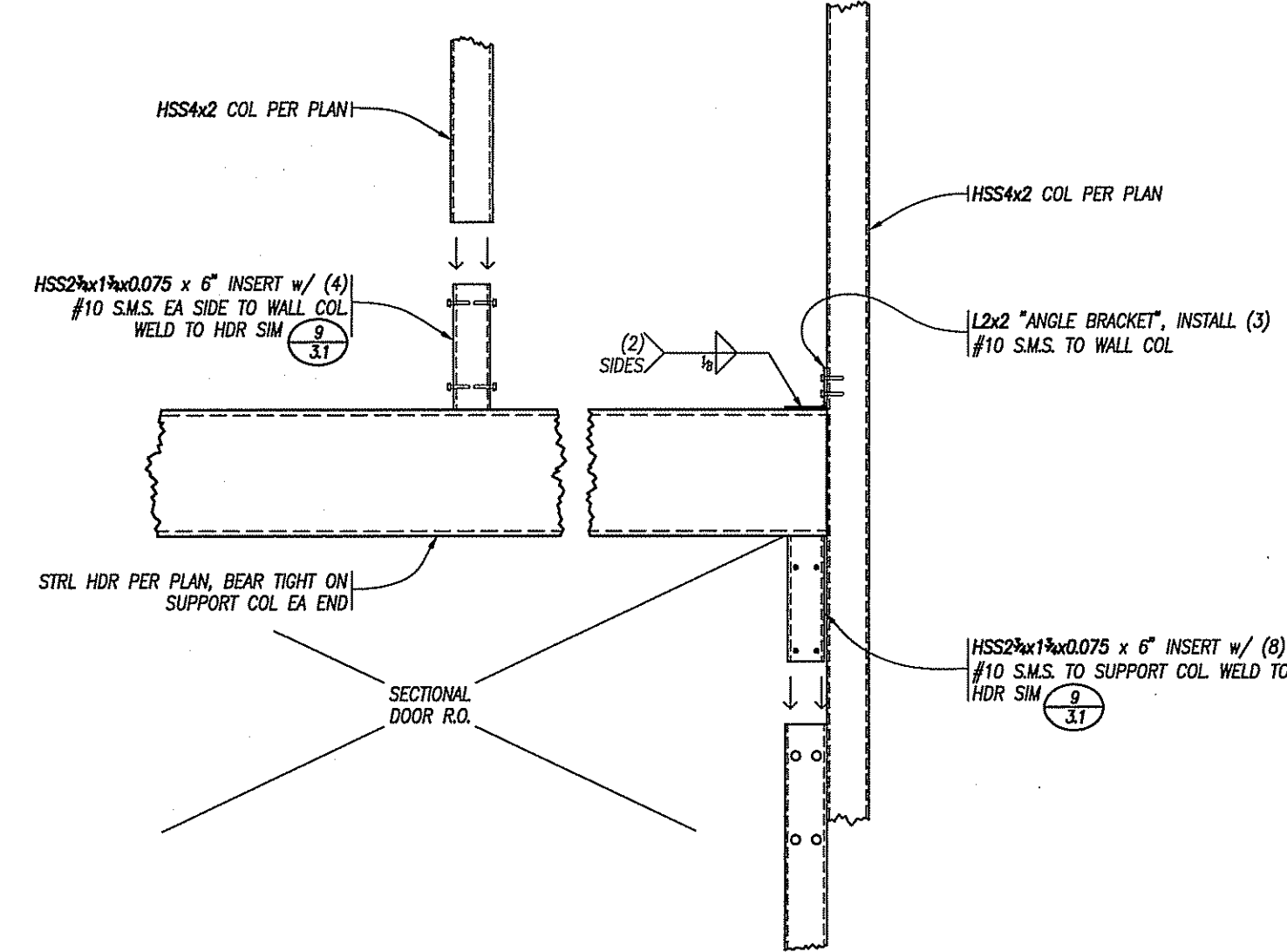
**TYPICAL "RAKE" RAFTER**  
1/4" = 1'-0"



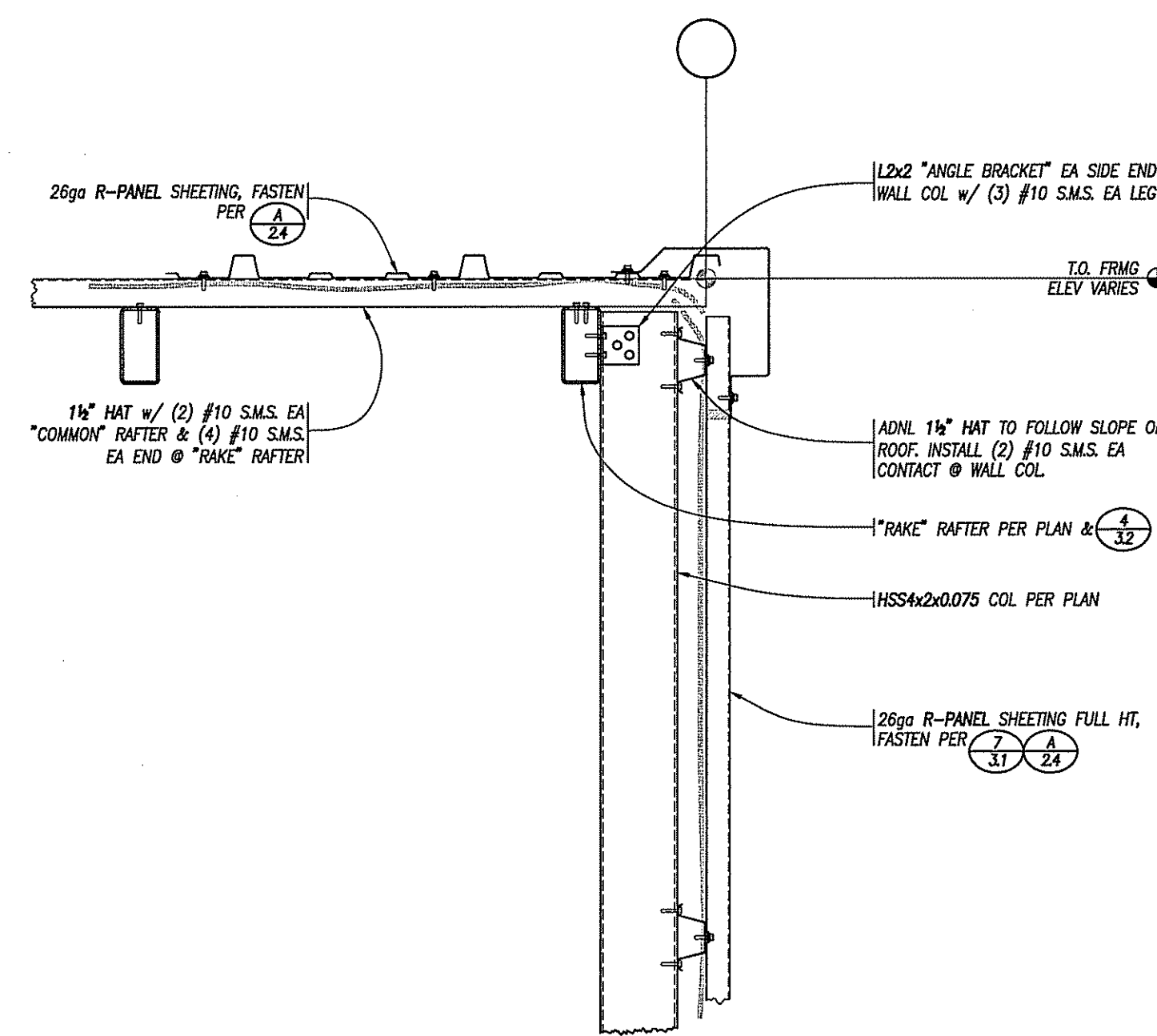
**TYPICAL "COMMON" RAFTER**  
1/4" = 1'-0"



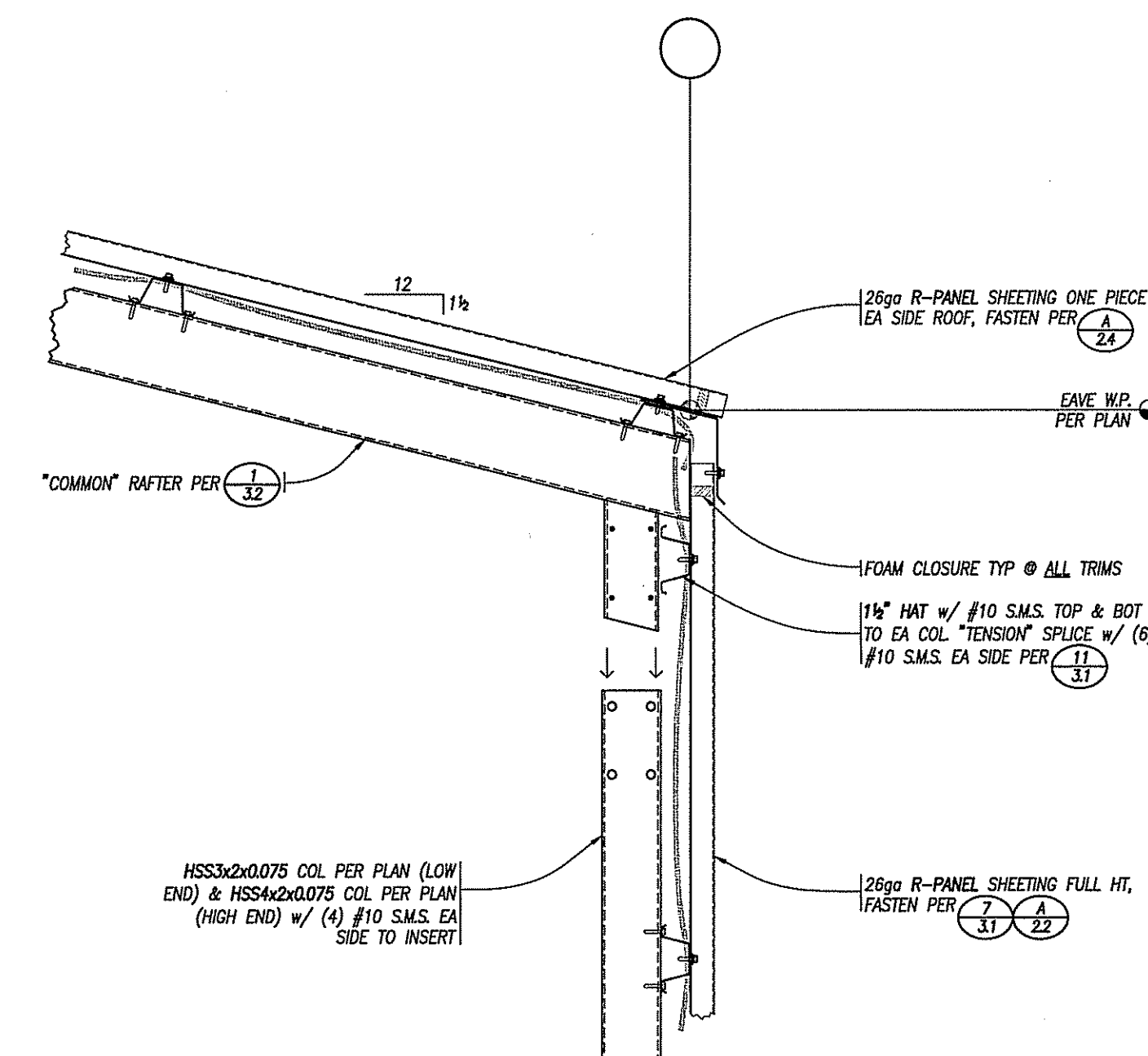
**TYPICAL Non-LOAD BEARING HEADER & SILL**  
1/4" = 1'-0"



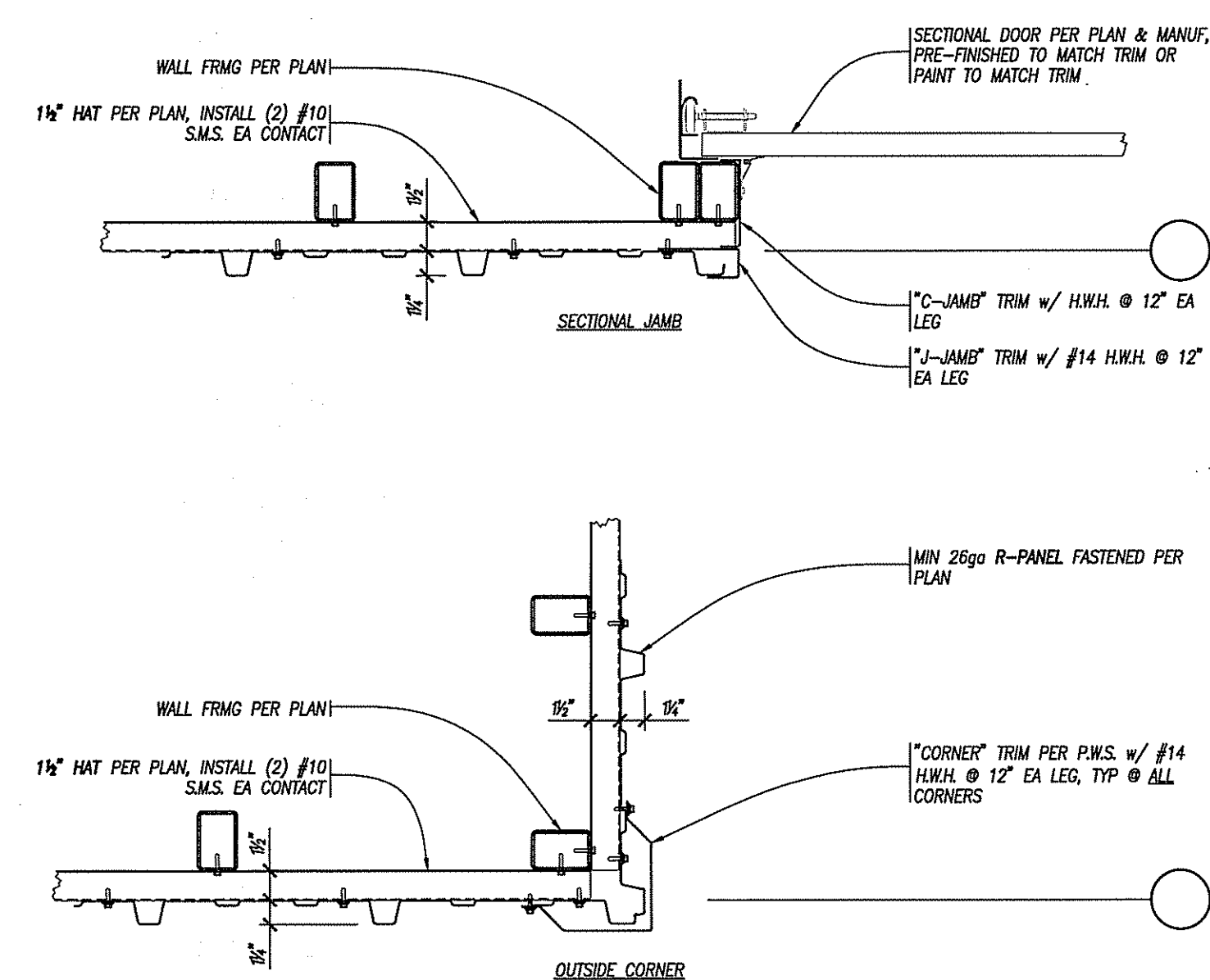
**TYPICAL LOAD BEARING HEADER**  
1/4" = 1'-0"



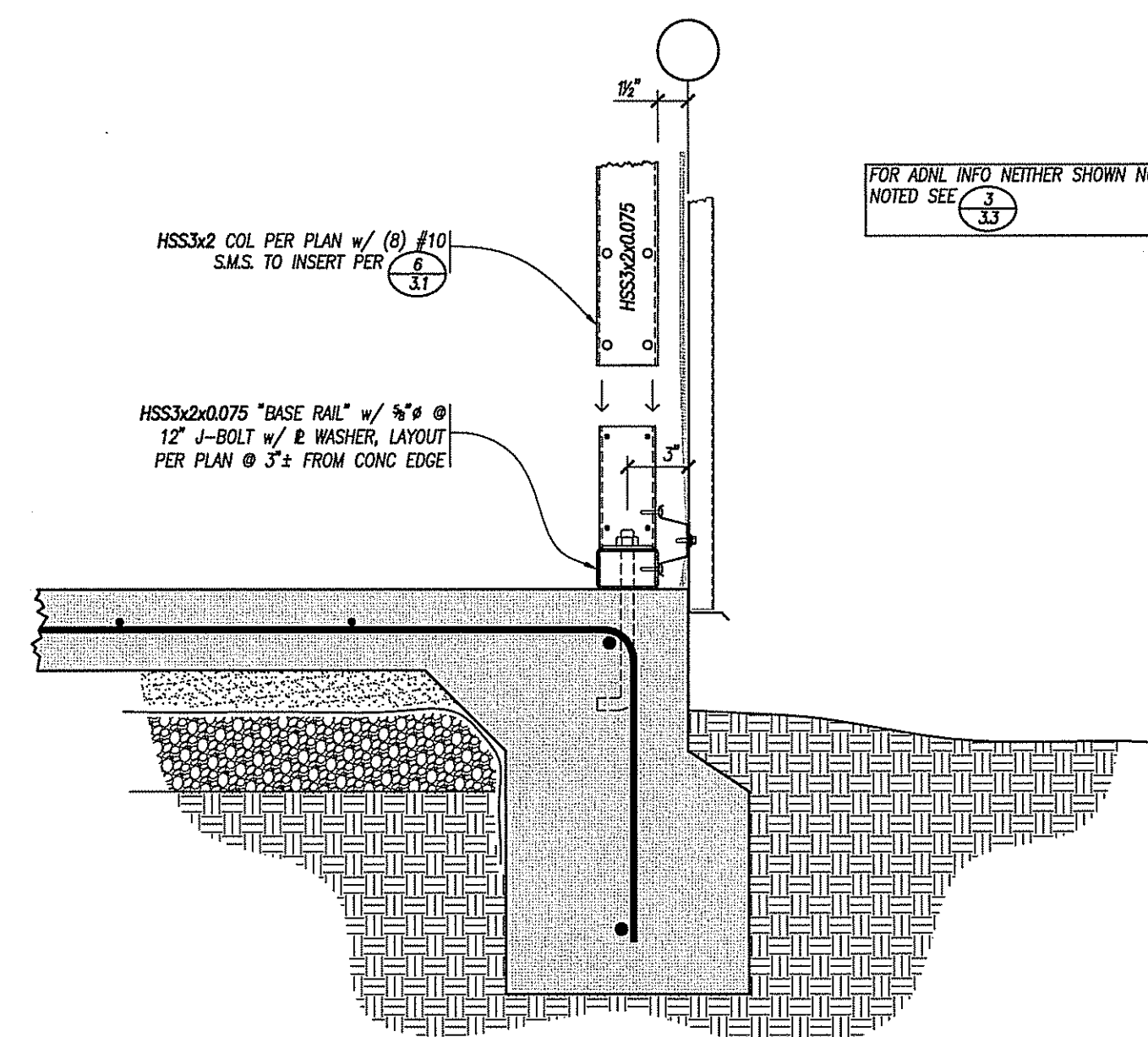
**TYPICAL "RAKE" FRAMING**  
1/4" = 1'-0"



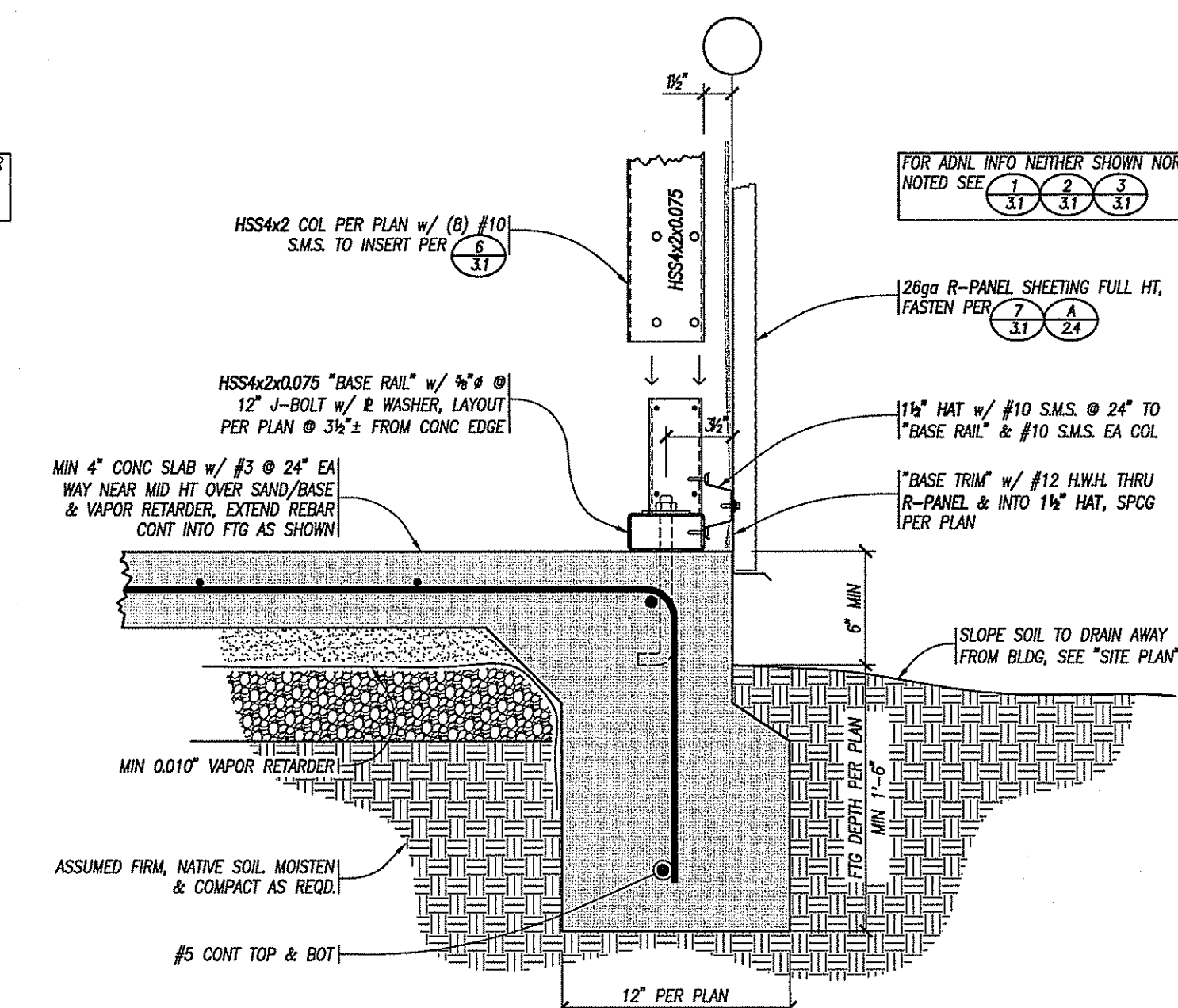
**TYPICAL "EAVE" FRAMING**  
1/4" = 1'-0"



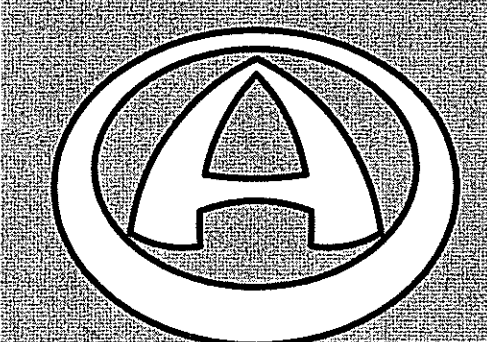
**TRIM INSTALLATION - PLAN**  
1/4" = 1'-0"



**TYPICAL PERIMETER FOOTING**  
1/4" = 1'-0"



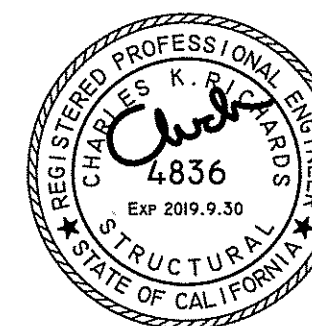
**TYPICAL PERIMETER FOOTING**  
1/4" = 1'-0"



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PROJECT

**DEL MESA**

500 MESA DRIVE  
CARMEL, CA

APN:

OWNER

DIRK YOUNG  
500 MESA DRIVE  
CARMEL, CA

CONTRACTOR

P.W.S. INC. B-850705  
5290 ORCUTT ROAD  
SAN LUIS OBISPO, CA 93401

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**METAL BUILDING DETAILS**

REVISIONS

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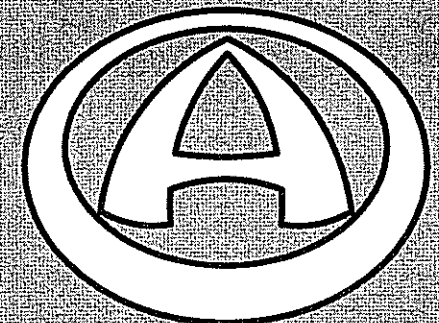
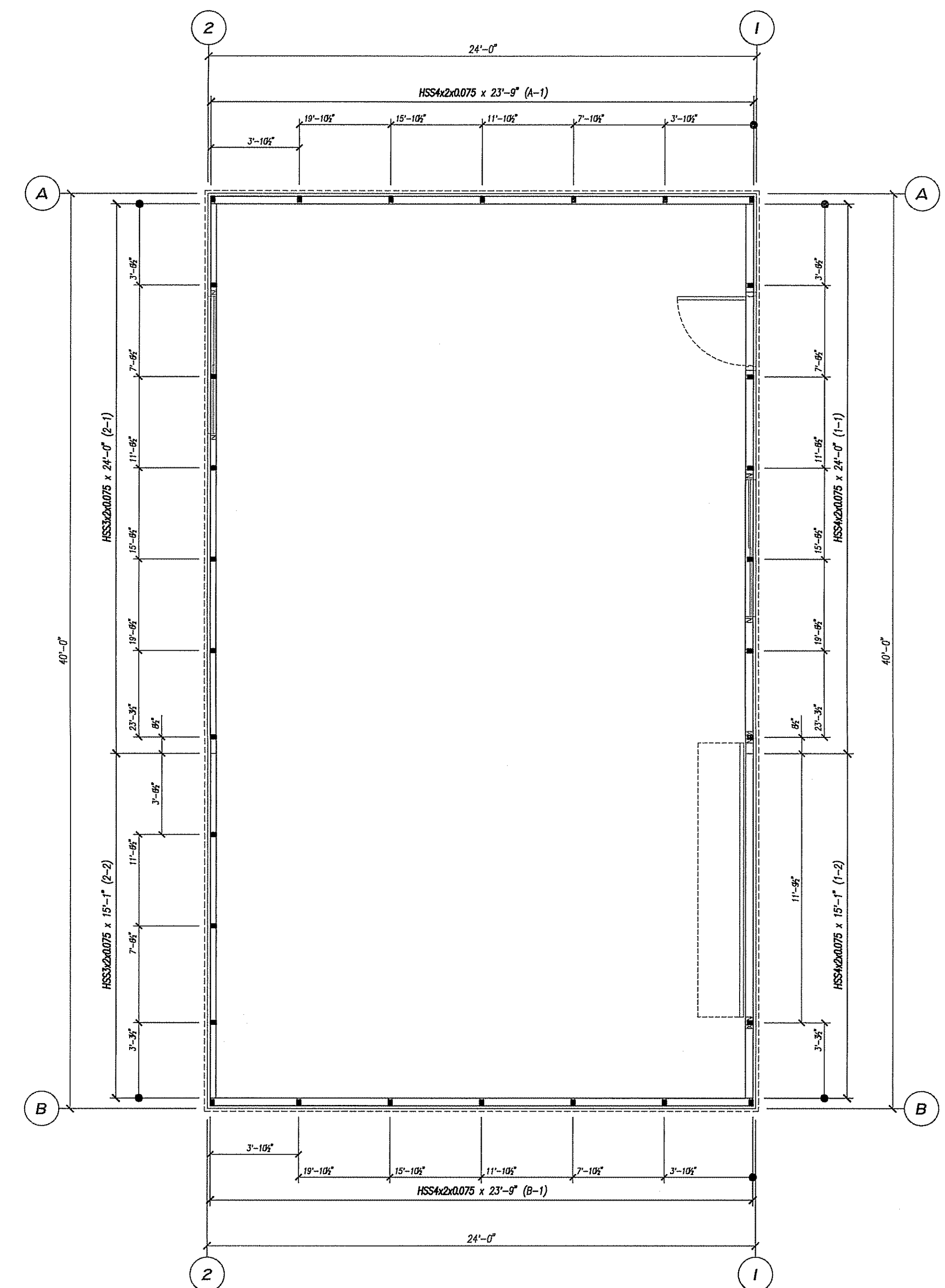
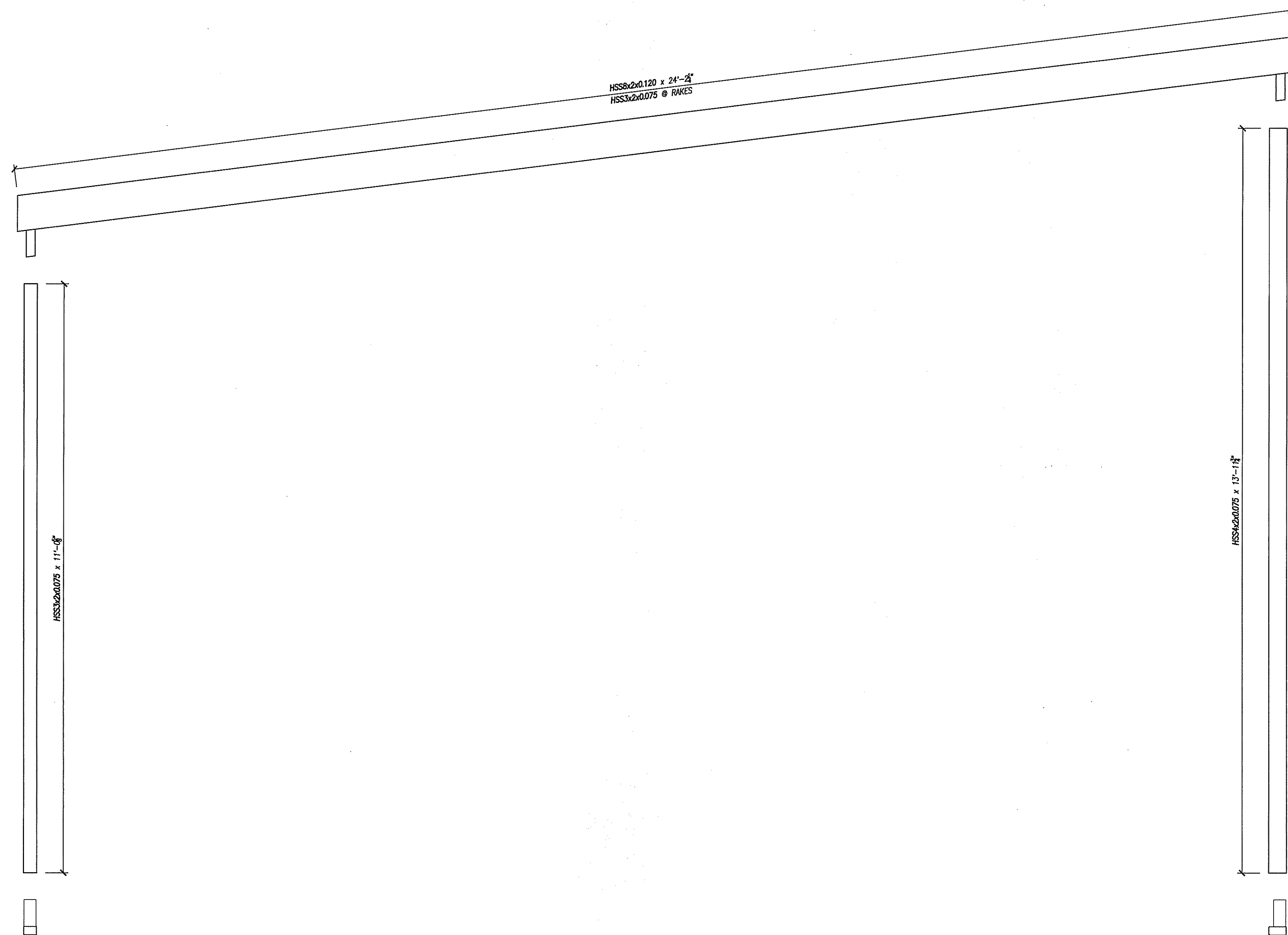
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**DEL MESA**

500 MESA DRIVE  
 CARMEL, CA

APN:

OWNER:

DIRK YOUNG  
 500 MESA DRIVE  
 CARMEL, CA

CONTRACTOR:

P.W.S. INC. B-850705  
 5290 ORCUTT ROAD  
 SAN LUIS OBISPO, CA 93401

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DRAWING TITLE:

BASE RAIL CUT LENGTHS  
 TRUSS CUT LENGTHS

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