

Exhibit B

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Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN180448

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Design Approval permit (PLN180448) allows the demolition of existing 3,253 square foot two-story single family dwelling and construction of a two-story single family dwelling with a conditioned basement (approximately 8115 square feet), an approximately 285 square foot rear covered porch and 810 square foot front covered porch. The property is located 1420 Deer Flat Road, Monterey (Assessor's Parcel Number 101-111-002-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 101-111-002-000 on February 28, 2019. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Chief of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

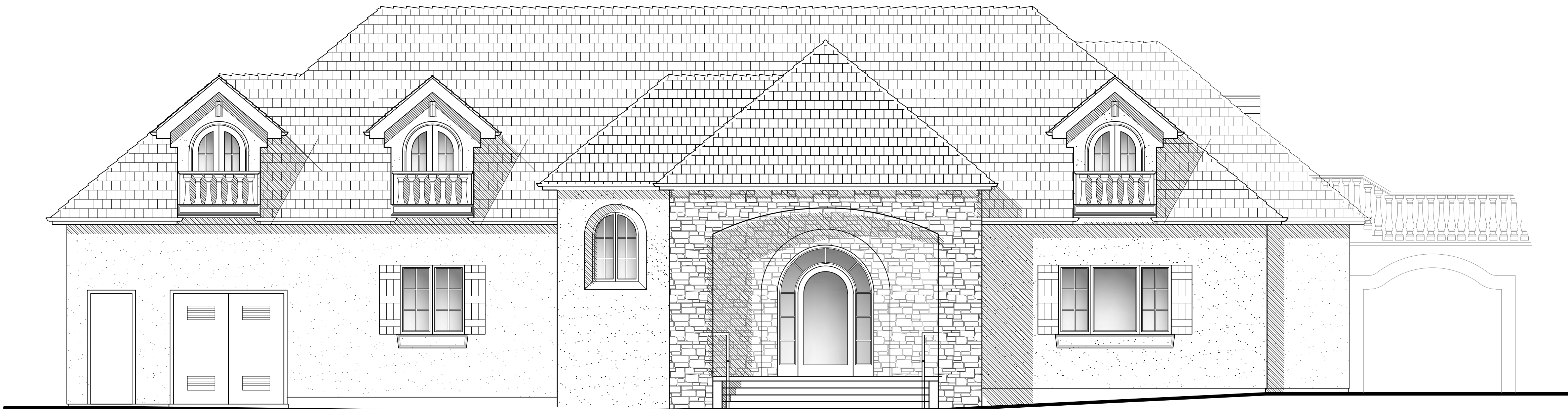
5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

MONTEREY, CA



FIRE DEPARTMENT NOTES

FIRE007 - DRIVEWAYS - Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. Responsible Land Use Department: Fire District

FIRE008 - GATES - All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. Responsible Land Use Department:

FIRE11 - ADDRESSES FOR BUILDINGS- All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible and legible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance.

FIRE16 - SETBACKS- All parcels 1 acre and larger shall provide a minimum 30-foot setback for new buildings and accessory buildings from all property lines and/or the center line of the road. For parcels less than 1 acre, alternate fuel modification standards or other requirements may be imposed by the local fire jurisdiction to provide the same practical effect.

FIRE17 - DISPOSAL OF VEGETATION AND FUELS - Disposal, including chipping, burying, or removal to a landfill site approved by the local jurisdiction, of vegetation and debris caused by site development and construction, road and driveway construction, and fuel modification shall be completed prior to final clearance of the related permit.

FIRE19 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD) - Manage combustible vegetation from within a minimum of 100 feet of structures, or to the property line, whichever is closer. Trim tree limbs to a minimum height of 6 feet from the ground. Remove tree limbs from within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection.

FIRE21 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) - The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection.

FIRE24 - FIRE ALARM SYSTEM - (SINGLE FAMILY DWELLING) - The residence shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72. Plans and specifications for the household fire warning system shall be submitted by a California licensed C-10 contractor and approved prior to installation. Household fire warning systems installed in lieu of single-station smoke alarms required by the Uniform Building Code shall be required to be placarded as permanent building equipment.

FIRE25 - SMOKE ALARMS - (SINGLE FAMILY DWELLING) - Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the California Building Code or California Residential Code, the alarm panel shall be required to be placarded as permanent building equipment.

FIRE26 - ROOF CONSTRUCTION (STANDARD) - All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICCB Class B roof construction.

ABBREVIATIONS AND SYMBOLS

APPROX.	APPROXIMATE	O.C.	ON CENTER
BLK.	BLACK	O.D.	OUTSIDE DIAMETER
CLD.	CLOSEST	P.W.D.	PEWDEE
CONC.	CONCRETE	REF	REFRIGERATOR
CONT.	CONTINUOUS	R.O.	ROUGH OPENING
DS	DOWNSPOUT	SHWR	SHOWER
DW	DESHWASHER	SM	SMELAR
(E)	EXISTING	SL	SUNLIGHT
F.O.C.	FACE OF CONCRETE	T&G	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	T.O.P.	TOP OF PLATE
GALV.	GALVANIZED	TYP.	TYPICAL
GTP.	GUTTER	U.O.U.	UNLESS OTHERWISE
C.W.B.	CUTSOM WALLBOARD	NOTED	
FLR	FLOOR	WP	WATERPROOF
HWD	HARDWOOD	W	WIRE
N.C.	NOT IN CONTRACT	WTRBT	WATERBUT
N.T.S.	NOT TO SCALE	W.L.C.	WALK IN CLOSET

SECTION

SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN

ELEVATION

ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN

REVISIONS-NUMBERS

CLOUD AROUND REVISION OPTIONAL

Ceiling Height

+8'-0"

GENERAL CONDITIONS

1. Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. It shall be such time ascertainment and check locations of the existing structures and equipment which may affect his work.

2. Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.

3. Contractor shall be responsible to obtain and all necessary permits inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.

4. Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barriers, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barriers with owner prior to commencement of work and ensure.

5. Materials that are specified by their brand names establish standards of quality and performance, any request for substitution shall be submitted to Moore Design LLC and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall install a list of products and manufacturers being used for review by the designer prior to purchase or installation.

6. All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code /California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.

7. All dimensions on construction drawings are face of stud (f.s.s.), face of curb, unless otherwise noted to be the center line of masonry, partition, or column, etc.

8. All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.

9. All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.

10. All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.

11. The use of the word "provide" in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.

12. The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.

13. The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.

14. The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.

15. All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety codes of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.

17. Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plan, shall be performed by contractor and included in his bid.

18. All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.

19. Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.

20. Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mgmt. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.

VICINITY MAP

JOB NUMBER: 1805

225 CANNERY ROW, SUITE I
MONTEREY CA. 93940
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john@mooredesign.org

PRINT DATE: 9/12/2018

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B | D
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Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

A0.1

SITE NOTES

- No person may tap into any fire hydrant other than fire suppression or emergency aid, without first obtaining written approval from the water purveyor supplying water to the hydrant and from the monterey county health department.
- All hoses used in connection with any construction activities shall be equipped with a nozzle shut-off. when an automatic shut-off nozzle can be purchased or otherwise obtained for the size or type of hose in use, the nozzle shall be an automatic shut-off nozzle.
- No potable water may be used for compaction or dust control purposes in construction activities where there is a reasonably available source of reclaimed or other sub-potable water approved by the monterey county health department and appropriate for such use.
- The use of solders containing more than 2/10ths of 1% lead in making joints on private or public water supply systems is prohibited (SB 164).
- Provide non-removable backflow devices at all hosebills.
- Slope all grades away from the structure for a min 5% for 10'-0".
- Contractor is to verify the location and height of the nearest upstream manhole cover. If the flood level rims are less than 2' above this elevation, the sewer system shall be protected with an approved sewer relief valve.

PROJECT NAME:

BRUNO
RESIDENCE

1420 DEER FLATS ROAD
MONTEREY, CA.
93940

APN: 101-111-002
JOB NUMBER: 1805

mm
MOORE DESIGN

RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	9/12/2018

PRINT DATE: 9/12/2018

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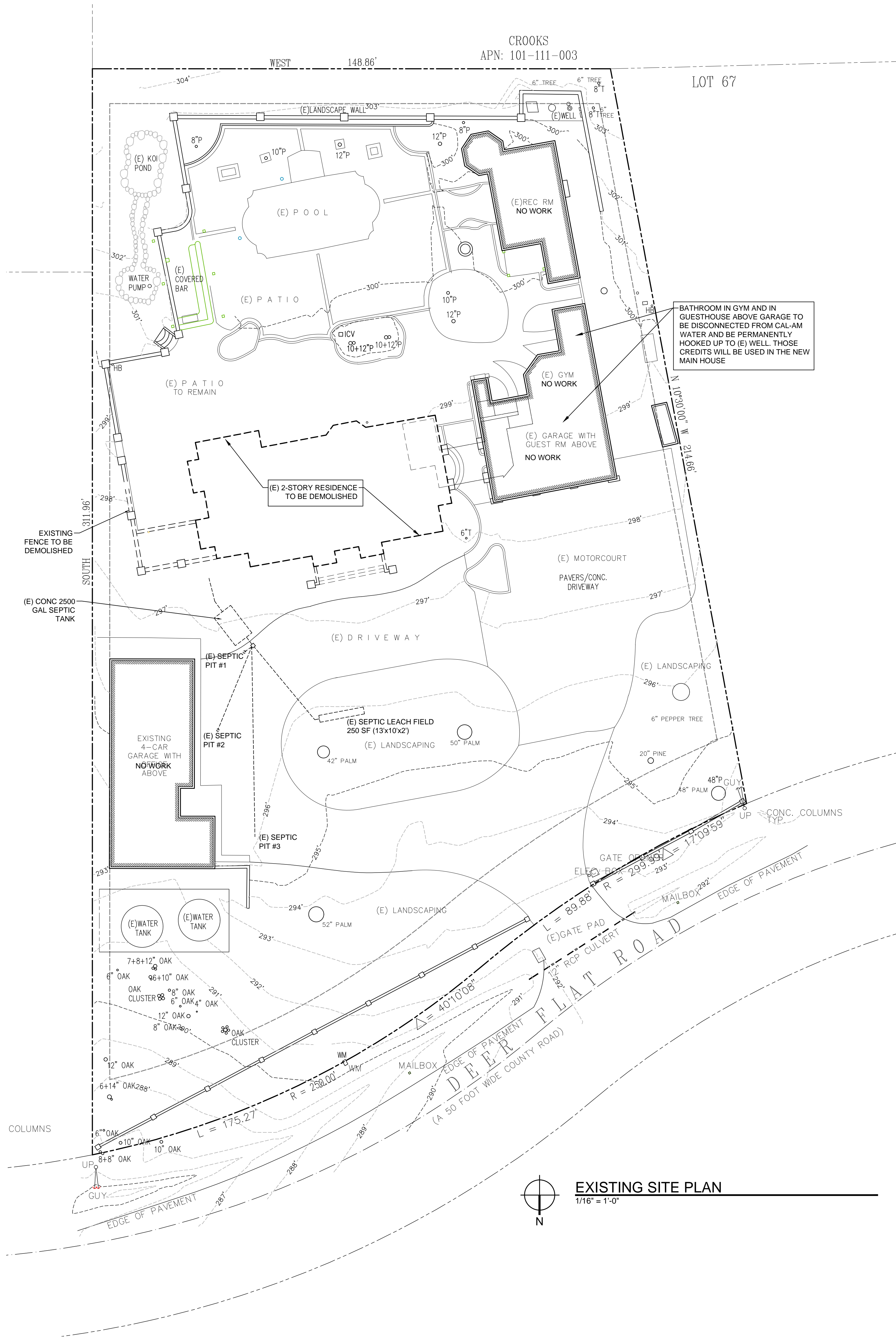
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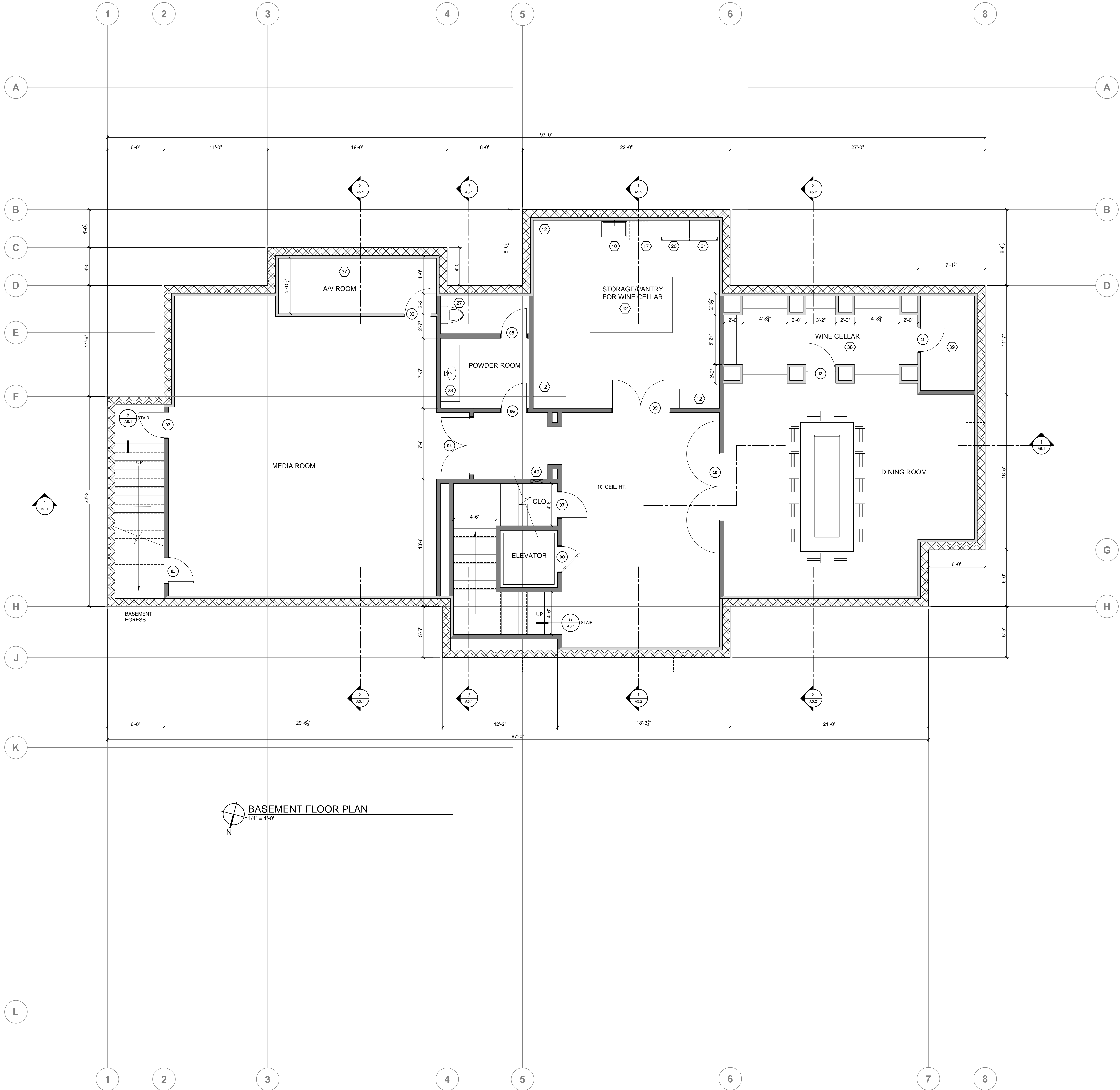
SHEET TITLE:

SITE PLANS

SHEET NUMBER:

A1.1





BASEMENT FLOOR PLAN
1/4" = 1'-0"

- ### SHEET NOTES
- Floor elevations at the required Egress Door (1 required) (CRC (311.3.1) landings or floors at the required egress door shall not be more than 1'-1/2" lower than the top of the threshold for outgoing doors and 7'-3/4" for incoming or sliding doors. Non-egress doors (CRC (311.3.2) landings or floors shall be not more than 7'-3/4" lower than the top of the threshold for incoming, outgoing, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.
 - Landing at doors (CRC (311.3) min. depth 36", min. width shall be not less than the width of the door served, landing may have a slope not to exceed 2% (1/4" vertical in 12" horizontal).
 - Terraces and patios slope at min. 1/4" per ft. away from structure and toward drainage system - see civil drawings
 - Hose bib provide shut off valve for all hose bibs located near the garage or water main. all hose bibs shall have a non-removable back flow device per cdc 603.3.7.
 - Fire separation wall (CRC (302.6) provide 5/8 type "x" gyp. bd. over framing at walls and ceiling
 - Water Softener
 - Boiler & holding water holding tank with recirculating pump
 - Venting provide 100 sq. in. of venting within the top 12" and bottom 12" of the doorwall for combustion air for fuel burning appliances
 - Attic space and access (CRC (807.1) attic opening shall be min. 22"x 30" with 30" min. head clearance and is required when an attic area exceed 30 sf and has a vertical height of 30" or greater.
 - Kitchen sink with garbage disposal- owner to select make and model
 - Bar sink- owner to select make & model
 - Casework- 24" base cabinet with 14" upper cabinet, owner to select finish, countertop & layout.
 - Casework- pantry adjustable shelves
 - Casework- full height linen cabinet with adjustable shelves
 - Casework- slide out trash/recycle center
 - Deep laundry sink- owner to select make & model
 - 24" dishwasher- low-flow per standards, see water permit- owner to select make & model
 - Range/Oven top- 36" wide with drawers below- owner to select make & model
 - Oven with convection microwave- 30" wide- owner to select make & model
 - Refrigerator- 36" wide, provide recessed plumbing for ice maker- owner to select make & model
 - Freezer- 36" wide- owner to select make & model
 - Warming drawer- located under counter
 - Refrigerator drawer- located under counter
 - Beverage cooler- 24" wide, under counter
 - Shower- provide:
 - 25.1. 24" wide minimum (outsitting) tempered glass door, door optional
 - 25.2. shampoo recess, soap shelf & seat per owner's specifications
 - 25.3. impervious surface to 72" minimum above drain inlet
 - 25.4. 2"x6" wall for thermostatic valve
 - 25.5. Control valves and showerheads shall be located on the sidewall of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower array. (CRC- 408.6)
 - Large soaking tub over 65 gallons.
 - Toilet- 1.28 gallons per flush u.o.n. on water permit, provide 30" width clear in the toilet compartment and min. 24" clear from the front of bowl to the wall (cpc 2904)
 - Provide sink(s), base cabinet, plumbing fixture, countertop, mirror and optional recessed vanity cabinet per owner's specifications
 - Dry vanity- base cabinet, (with open area for stool and drawers), countertop, mirror per owner's specifications
 - Washing machine- verify make and model with owner (provide plumbing connections recessed in wall
 - Clothes dryer- vent to exterior with 4" pipe, 14'-0" maximum horizontal run with (2) 90° bends maximum. Vent discharge location shall be a minimum 3' away from any opening into the building per CMC 504.5.1.
 - Fireplace- 36" logskern masonry firebox hearth and metalbestos flue. Hearth extension shall be at least 20" in front of, and at least 12" beyond each side of, the fireplace opening, provide operable metal framed doors with tempered glass
 - Fireplace- 48" logskern masonry firebox hearth and metalbestos flue. Hearth extension shall be at least 20" in front of, and at least 12" beyond each side of, the fireplace opening, provide operable metal framed doors with tempered glass
 - Fireplace- direct vent - to be selected by owner
 - Provide a shelf and closet pole system at all wardrobe closets. Owner to specify locations for double pole and/or additional shelving/drawer systems
 - Recessed ironing board
 - Audio/visual room. All lines for audio/visual/data networking shall enter this room and be installed in distribution panels
 - Wine room- rack layout and finish to be selected by owner.
 - Temperature of this room to be controlled by cooling unit (whispercool or equal). Install per manufacturer's specifications.
 - Radiant heat manifolds- see mechanical plans for exact locations
 - Recessed decorative niche
 - Casework- island with cabinets and drawers below. Owner to select finish, countertop and layout.

WALL LEGEND

- NEW 2x4 WALLS
- NEW 2x6 WALLS
- NEW 2x8 WALLS

- EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

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PLN SUBMIT	9/12/2018
BLDG SUBMIT	9/18/2018

PRINT DATE: 10/23/2018

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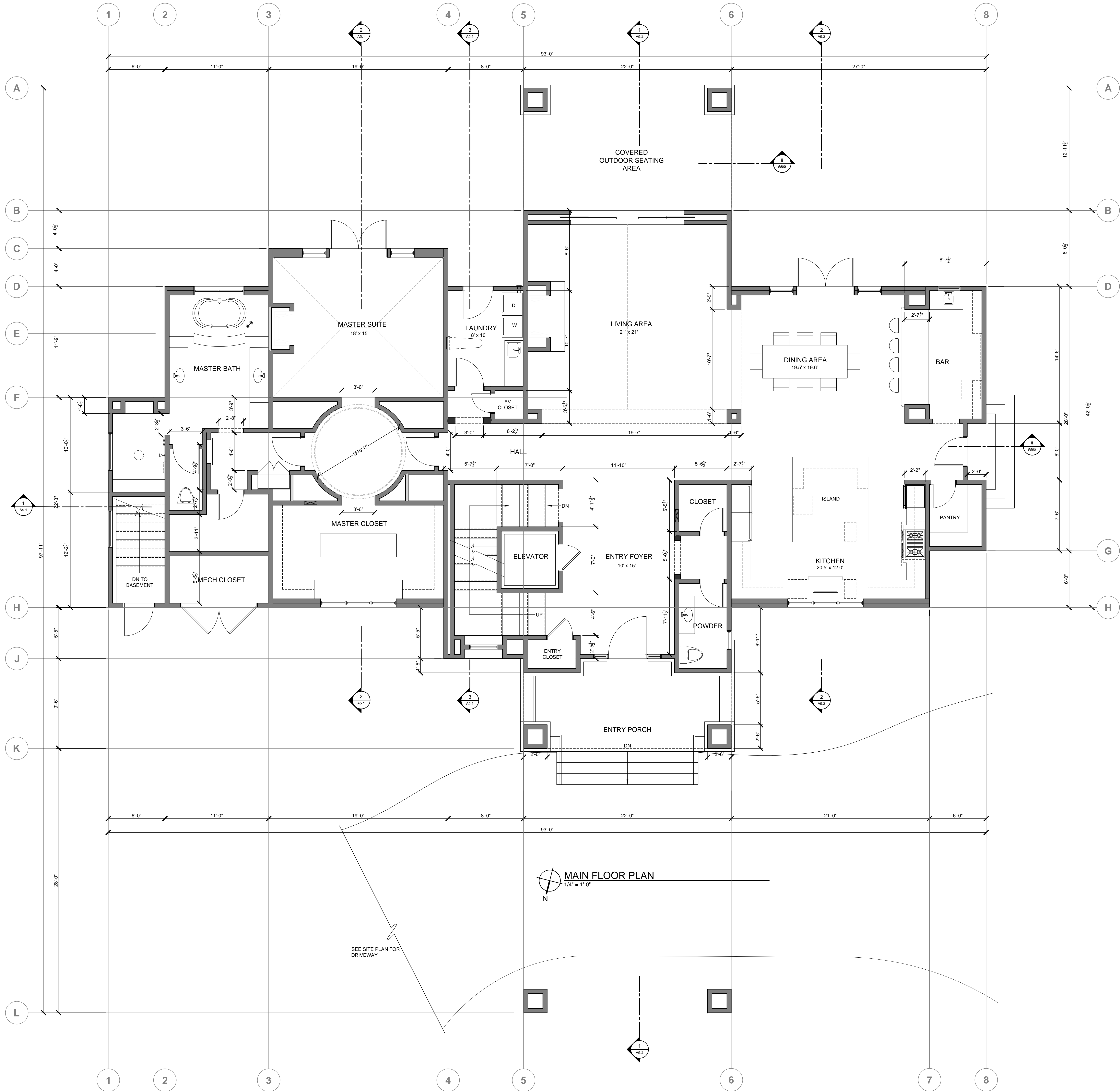
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SHEET TITLE:

**BASEMENT
FLOOR PLAN**

SHEET NUMBER:

A2.0



- WALL LEGEND**
- NEW 2x4 WALLS
 - NEW 2x6 WALLS
 - NEW 2x8 WALLS
- EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
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moore design

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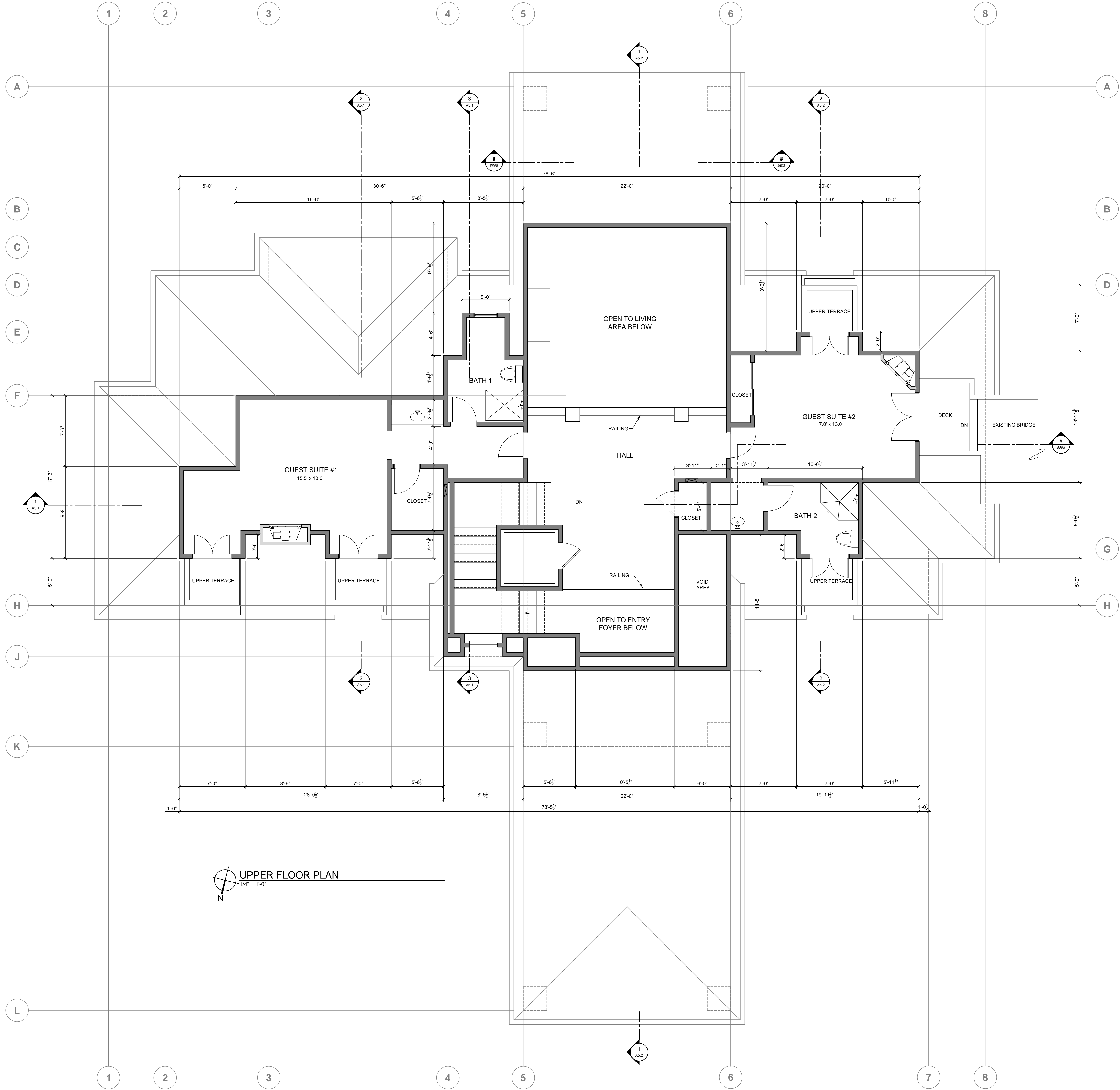
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SHEET TITLE:

**MAIN FLOOR
PLAN**

SHEET NUMBER:

A2.1



UPPER FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND

- NEW 2x4 WALLS
- NEW 2x6 WALLS
- NEW 2x8 WALLS

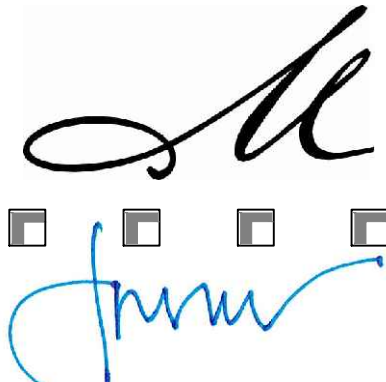
- EXTERIOR WALLS: 2x8 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL: 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

PROJECT NAME:

BRUNO
RESIDENCE

1420 DEER FLATS ROAD
MONTEREY, CA.
93940

APN: 101-111-002
JOB NUMBER: 1805



MOORE DESIGN

RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

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john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	9/12/2018

PRINT DATE: 9/12/2018

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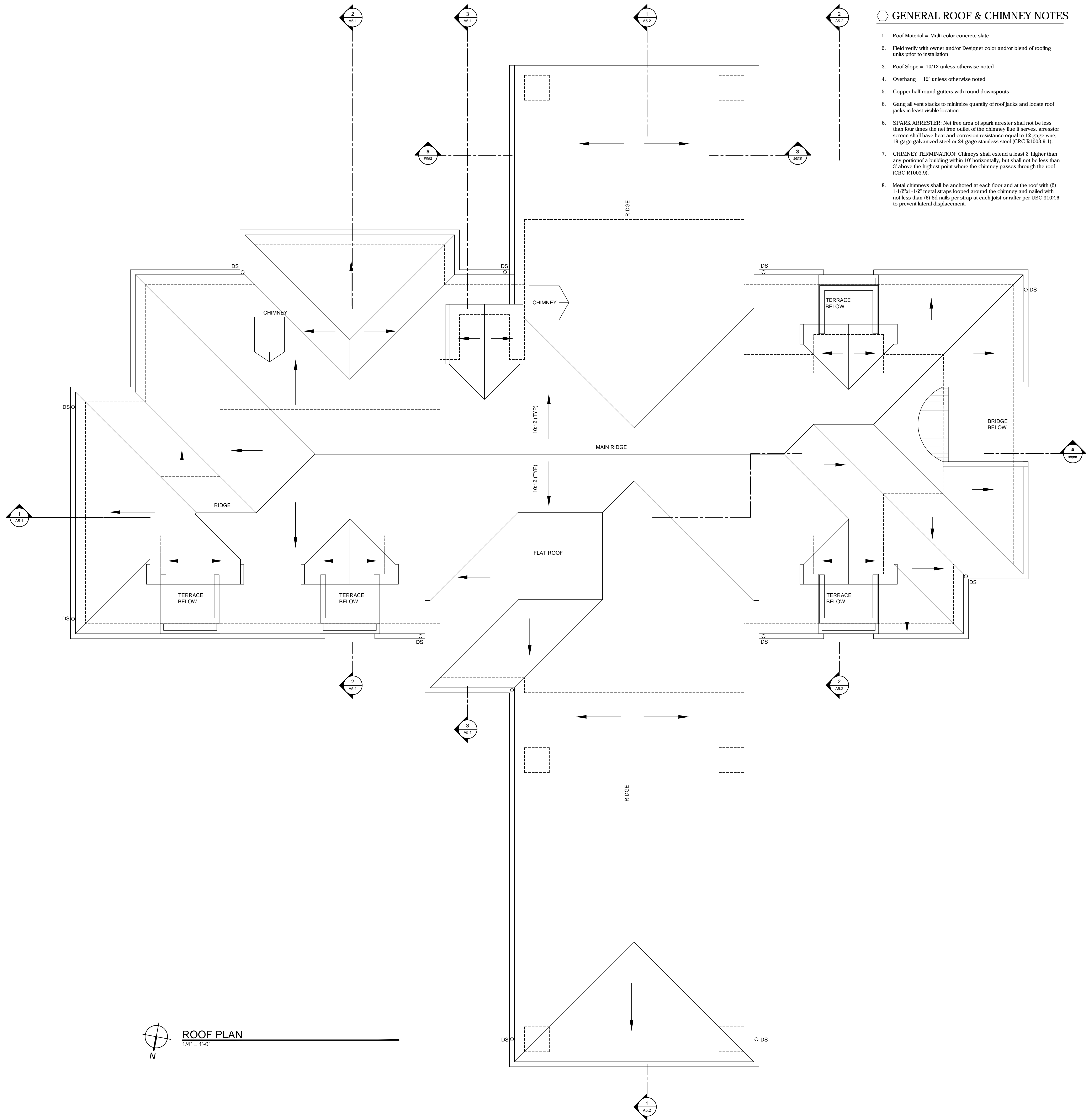
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SHEET TITLE:

UPPER FLOOR
PLAN

SHEET NUMBER:

A2.2



GENERAL ROOF & CHIMNEY NOTES

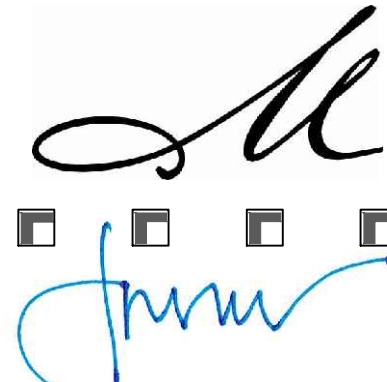
1. Roof Material = Multi color concrete slate
2. Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3. Roof Slope = 10/12 unless otherwise noted
4. Overhang = 12' unless otherwise noted
5. Copper half-round gutters with round downspouts
6. Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location
6. SPARK ARRESTER: Net free area of spark arrester shall not be less than four times the net free outlet of the chimney flue it serves. arrester screen shall have heat and corrosion resistance equal to 12 gage wire, 19 gage galvanized steel or 24 gage stainless steel (CRC R1003.9.1).
7. CHIMNEY TERMINATION: Chimneys shall extend a least 2' higher than any portion of a building within 10' horizontally, but shall not be less than 3' above the highest point where the chimney passes through the roof (CRC R1003.9).
8. Metal chimneys shall be anchored at each floor and at the roof with (2) 1-1/2"x1-1/2" metal straps looped around the chimney and nailed with not less than (6) 8d nails per strap at each joist or rafter per UBC 3102.6 to prevent lateral displacement.

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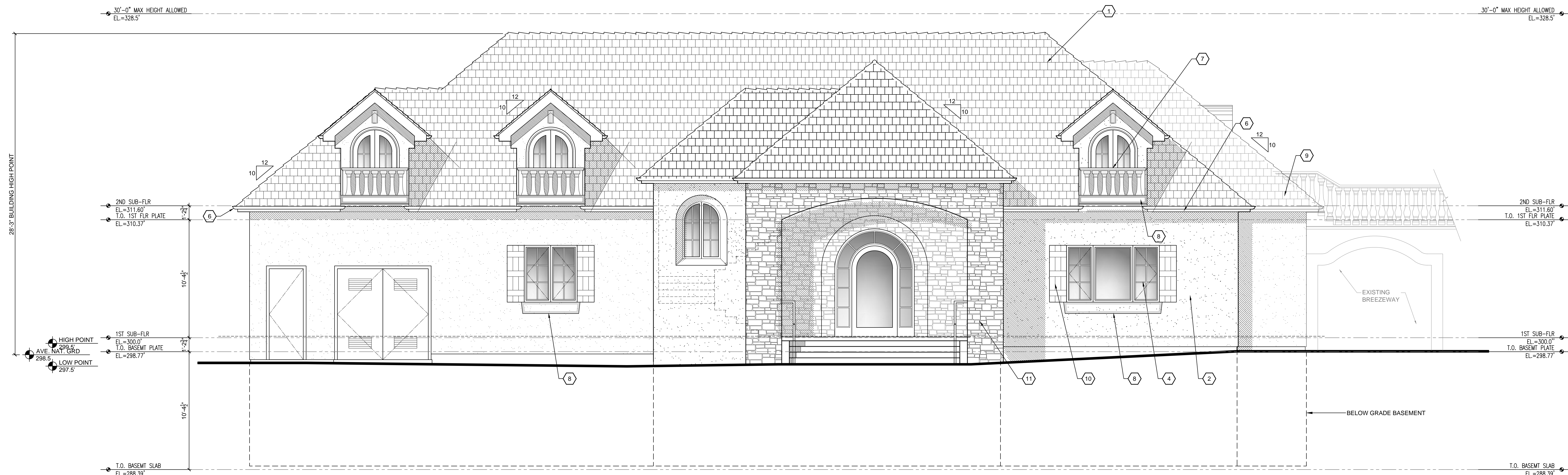
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SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

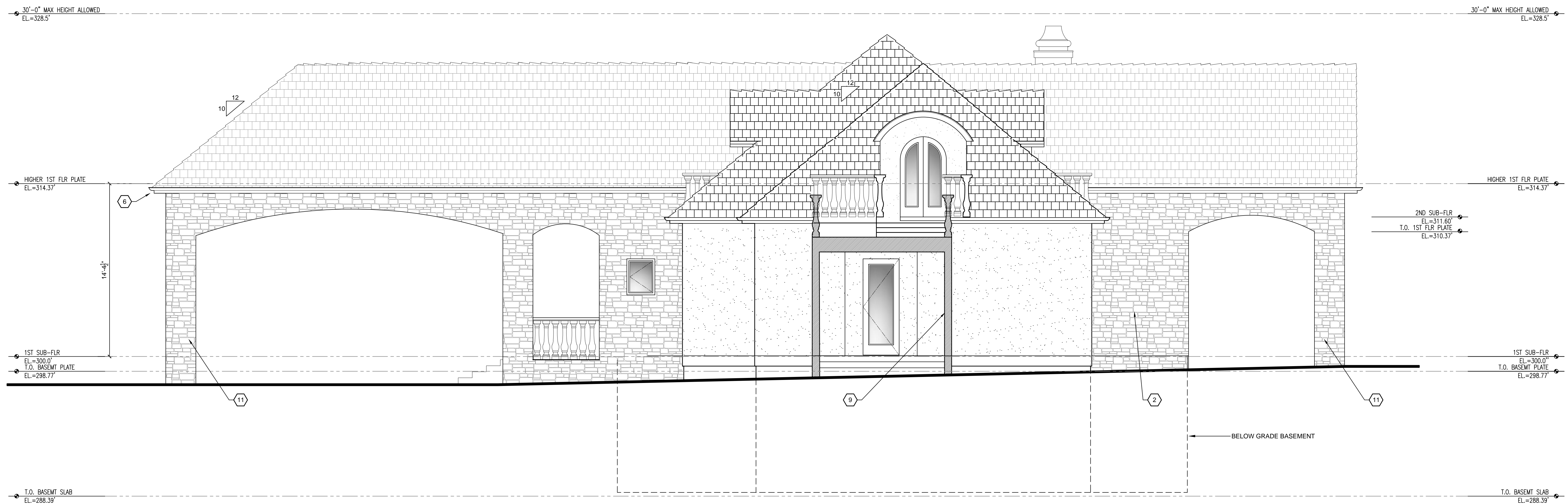
A2.3



1 NORTH ELEVATION
1/4" = 1'-0"

SHEET NOTES

1. ROOF - MULTI COLOR CONCRETE SLATE.
2. WALLS - ELASTOMERIC PAINT OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTERIZER ADDITIVE (3 COAT PER CBC 2508.1) @ 2 LAYERS GRADE 1' BLDG. PAPER.
3. EAVE DETAIL - FLAT STUCCO SOFFIT.
4. WINDOWS - WOOD CLAD DOUBLE PANE WINDOWS (MARVIN).
5. WINDOW DETAIL - STAINED WOOD LINTELS ABOVE WINDOWS.
6. GUTTERS - COPPER HALF ROUND GUTTERS WITH ROUND DOWNSPOUTS.
7. GUARDRAILS - CONCRETE BALUSTRADES & HANDRAIL TO MATCH EXISTING.
8. DECORATIVE STAINED PLANTER BOXES TO MATCH EXISTING
9. EXISTING BRIDGE OVER BREEZEWAY
10. STAINED WOOD SHUTTERS TO MATCH EXISTING
11. STONE VENEER



2 WEST ELEVATION
1/4" = 1'-0"

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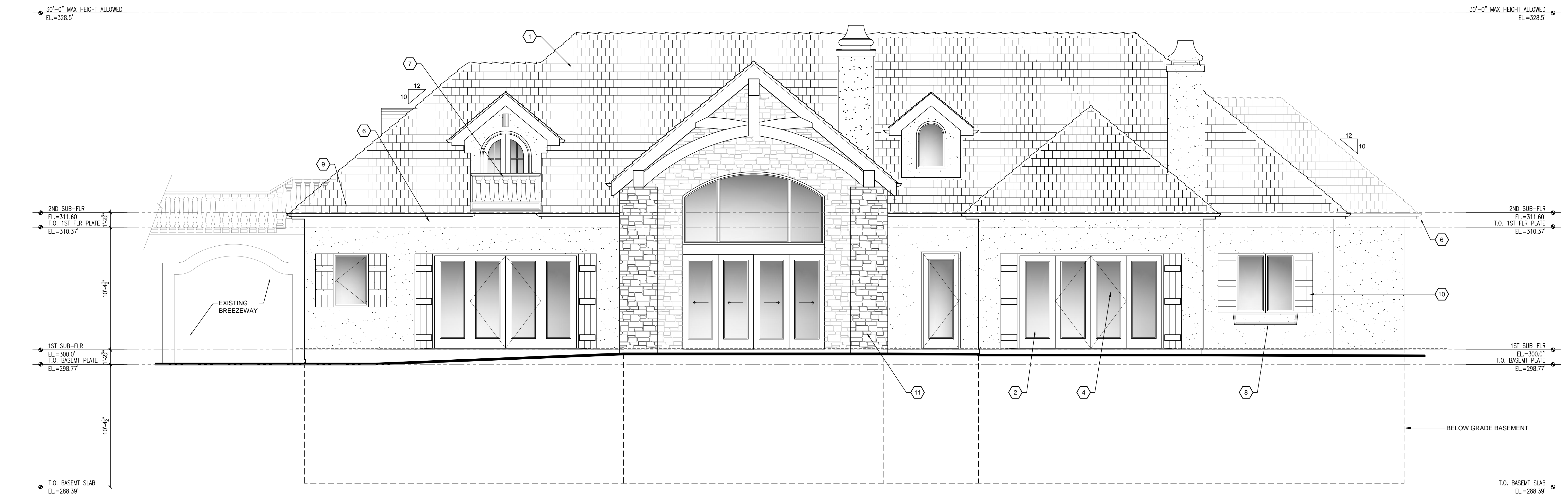
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SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

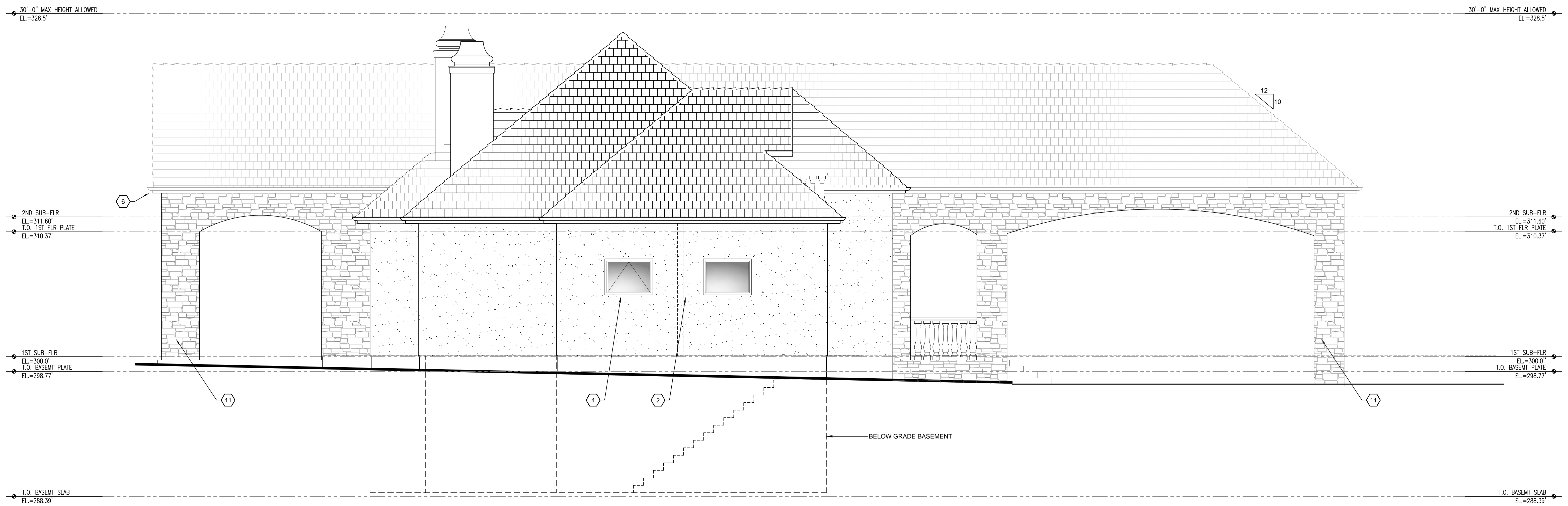
A4.1



1 SOUTH ELEVATION
1/4" = 1'-0"

SHEET NOTES

1. ROOF - MULTI COLOR CONCRETE SLATE
2. WALLS - ELASTOMERIC PAINT OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTESIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE 'D' BLDG. PAPER.
3. EAVE DETAIL - FLAT STUCCO SOFFIT.
4. WINDOWS - WOOD CLAD DOUBLE PANE WINDOWS (MARVIN).
5. WINDOW DETAIL - STAINED WOOD LINTELS ABOVE WINDOWS.
6. GUTTERS - COPPER HALF ROUND GUTTERS WITH ROUND DOWNSPOUTS.
7. GUARDRAILS - CONCRETE BALUSTRADES & HANDRAIL TO MATCH EXISTING.
8. DECORATIVE STAINED PLANTER BOXES TO MATCH EXISTING
9. EXISTING BRIDGE OVER BREEZEWAY
10. STAINED WOOD SHUTTERS TO MATCH EXISTING
11. STONE VENEER



2 EAST ELEVATION
1/4" = 1'-0"

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SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A4.2

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