

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

PORGES REVOCABLE TRUST (PLN170945)

RESOLUTION NO. 18-002

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project is a minor improvement to an existing single family dwelling which qualifies for a Class 1 Categorical Exemption pursuant to Section 15301 of the California Environmental Quality Act Guidelines; and
- 2) Approving a Design Approval to allow the demolition of a 250 square foot attached sun room, remodel of a single family dwelling including replacing all doors and windows, a 230 square foot addition to the roof overhang near the front entry, and landscape improvements including replacement of pavers, patios, and construction of an outdoor barbeque area in the rear yard. Proposed colors and materials include beige stucco, Carmel stone veneer accents, and dark bronze chimney and window frames [PLN170945, Porges, 3109 Hacienda Rd, Pebble Beach, Greater Monterey area (APN: 007-331-006-000)]

The Porges Revocable Trust application (PLN170945) came on for public hearing before the Monterey County Zoning Administrator on January 25, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula Area Plan; and
 - Monterey County Zoning Ordinance (Title 21);No conflicts were found to exist with the plans and regulations and notice of a pending Administrative decision on the Design Approval

was provided to the public. The decision was scheduled to occur on December 8, 2017. On December 7, 2017, a timely request for a public hearing was made by a neighbor to the site. The neighbor raised concerns regarding noise, light, and air quality impacts that might be produced by the outdoor barbeque area, exterior lighting, and construction-related impacts. A public hearing on the Design Approval was requested.

- b) The property is located at 3109 Hacienda Road, Pebble Beach (Assessor's Parcel Number 007-331-006-000), in the Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with Building Site - 6, Design Control, and parking of recreational equipment in the seaward zone overlays (MDR/B-6-D-RES). This zoning allows residential structures and uses by right. Exterior improvements to structures and fences are subject to a Design Approval permit due to the Design Control overlay zoning district. The project includes exterior modifications to an existing single family dwelling. Therefore, the project is an allowed land use for this site with design approval.
- c) Design. The project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay). Pursuant to Chapter 21.44 of the Monterey County Code, the "D" district is applied to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The Applicant proposes exterior colors and materials comprised of beige stucco, Carmel stone veneer accents, and dark bronze window frames. The proposed exterior finishes appropriate for the site, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- d) Building Site. The project site is subject to the Regulations for Building Site 6 Zoning district ("B"-6" zoning overlay). Pursuant to Chapter 21.42, the "B" district is provided to establish specific regulations for lot size and structure setbacks. The B-6 zoning regulations prohibits subdivision of the lot and establish setbacks pursuant to the B-4 combining designation, unless otherwise indicated on the final map, parcel map, or sectional district maps. The project does not include any form of subdivision or lot line adjustment and is subject to special district setback regulations for the Monterey Peninsula Country Club Area. The proposed project conforms to the special setback requirements (See evidence e).
- e) Setbacks and Development Standards. The project is subject to setbacks for the MDR District in the Del Monte Forest area including a 27 foot height limit, 20 foot front setback, 10 foot side setback for the first floor, 20 foot side setback for the second story, 10 foot rear setback, and 35% lot coverage and floor area ratio. The project meets all of the development standards and would not change the existing, conforming setbacks, height, and lot coverage and would reduce floor area on the site.

- f) Hearing Request. On December 7, 2017, a timely request for a public hearing was made by a neighbor to the site. The neighbor raised concerns regarding noise, light, and air quality impacts that might be produced by the outdoor barbeque area, exterior lighting, and construction-related impacts. Conditions of approval for the proposed Design Approval are incorporated that require submittal of an exterior lighting plan for review and approval (Condition 3) and a construction management plan (Condition 4). These conditions will ensure that exterior lighting is controlled on site and construction hours, parking and staging areas are coordinated to minimize disruption to the neighborhood during development. With regard to the potential for an outdoor barbeque area to have use-related noise and smoke impacts, these are ongoing residential uses of property which are often handled by the Sheriff or Environmental Health as the need arises. These potential nuisances (eg: noise) are regulated through existing Monterey County Ordinances, rather than through land use restrictions on the ability to construct a built-in barbeque area.
- g) The project was not referred to the DMF Land Use Advisory Committee (LUAC) for review. Based on the current LUAC Guidelines, this project did not warrant referral.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170945.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Pebble Beach Cypress Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) The project includes minor alterations to an existing single family residence. The use of the structure will not change and the development will occur entirely on a developed/disturbed 10,000 square foot residential lot in a residential neighborhood.
 - c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170945.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project includes minor alterations to a single family residence in a residential zone and will not have an adverse effect on the health, safety,

and welfare of persons either residing or working in the neighborhood.
(See also Finding 1 evidence f).

- b) Necessary public facilities are available. The existing single-family dwelling has public water and sewer connections provided by the California American Water Company and the Pebble Beach Community Services District/Carmel Area Wastewater District, respectively, and will continue to use these same connections.
- c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170945.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) There are no known violations on the subject parcel.
 - c) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170945.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301(e)(2) categorically exempts the minor alteration of existing public or private structures and facilities involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.
 - b) The project involves minor alterations to an existing single family residence. Based on County review, the project parcel is located in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan, and the area in which the project is located is not environmentally sensitive. Therefore, the proposed development qualifies as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect, or development that would result in a cumulatively significant impact.
 - d) No adverse environmental effects were identified during staff review of the development application.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission

EVIDENCE: a) Section 21.80.040.B of the Monterey County Zoning Ordinance states that the Planning Commission is the Appeal Authority to consider appeals from the discretionary decisions of the Zoning Administrator.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project is a minor improvement to an existing single family dwelling which qualifies for a Class 1 Categorical Exemption pursuant to Section 15301 of the California Environmental Quality Act Guidelines; and
2. Approve the Design Approval to allow the demolition of a 250 square foot attached sun room, remodel of a single family dwelling including replacing all doors and windows, a 230 square foot addition to the roof overhang near the front entry, and landscape improvements including replacement of pavers, patios, and construction of an outdoor barbeque area in the rear yard, in substantial conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 25th day of January, 2018



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON JAN 29 2018

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE FEB 08 2018

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170945

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Design Approval (PLN170945) allows the demolition of a 250 square foot attached sun room, remodel of a single family dwelling including replacing all doors and windows, a 230 square foot addition to the roof overhang near the front entry, and landscape improvements including replacement of pavers, patios, and construction of an outdoor barbeque area in the rear yard. The property is located at 3109 Hacienda Road, Pebble Beach (Assessor's Parcel Number x007-331-006-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Design Approval (Resolution Number 18-002) was approved by Zoning Administrator for Assessor's Parcel Number 007-311-006-000 on January 25, 2018. The permit was granted subject to 4 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be Performed: shall provide proof of recordation of this notice to the RMA - Planning.

3. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and
Monitoring Measure: constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Prior to the issuance of building permits, the Owner/Applicant shall submit three
Monitoring copies of the lighting plans to RMA - Planning for review and approval. Approved
Action to be Performed: lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

4. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning

Department and the Department of Public Works for review and approval. The CMP shall include

measures to minimize traffic impacts during the construction/grading phase of the project and

shall provide the following information:

Duration of the construction, hours of operation, an estimate of the number of truck trips that will

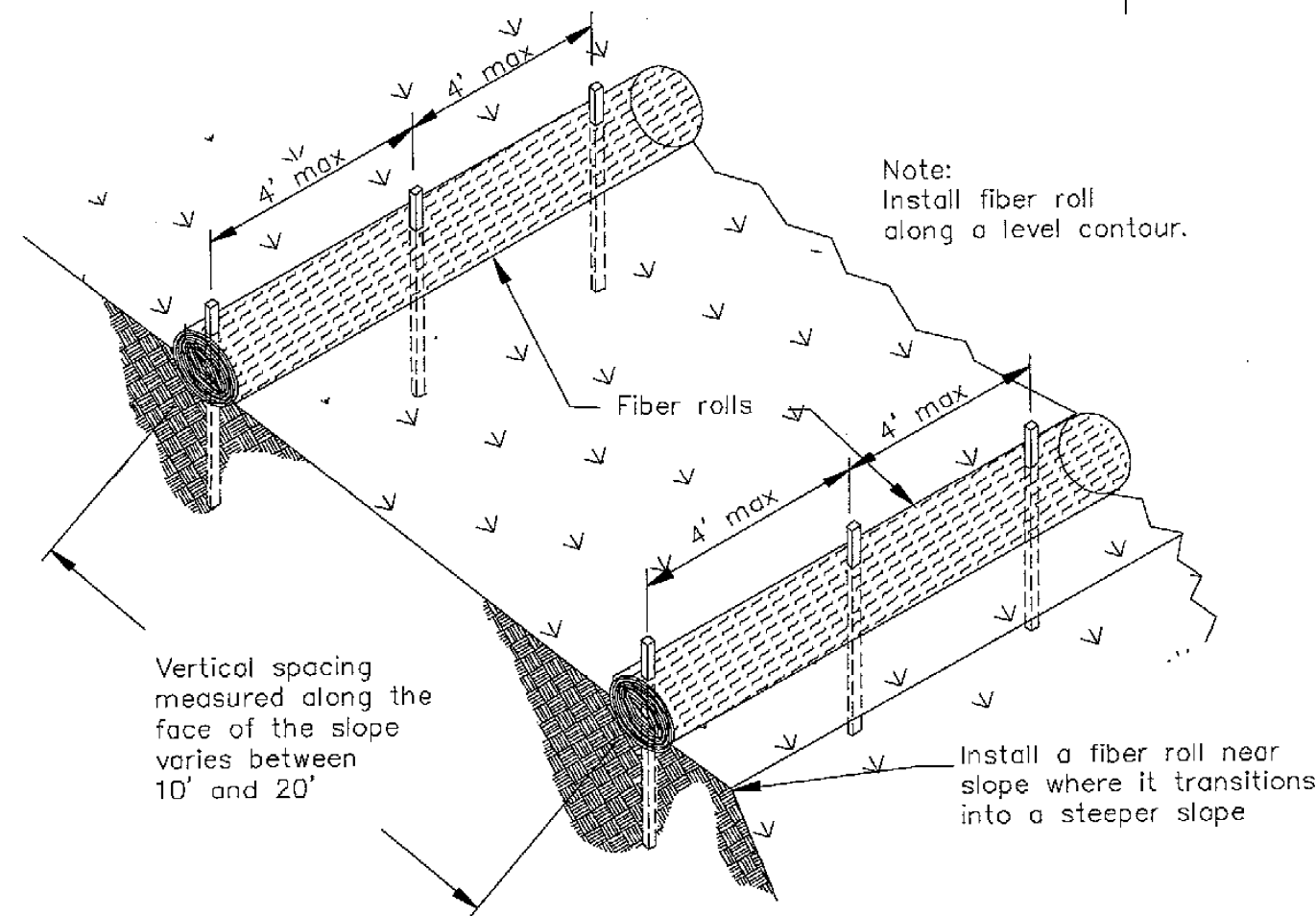
be generated, truck routes, number of construction workers, parking areas for both equipment and

workers, and locations of truck staging areas. Approved measures included in the CMP shall be

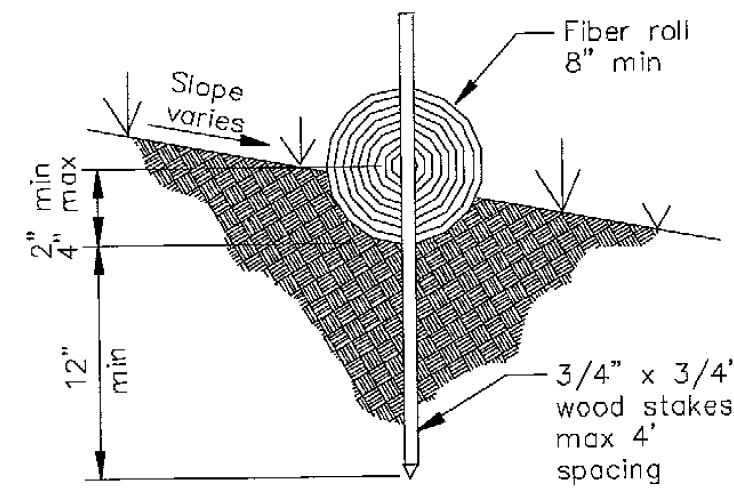
implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/ Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.

On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project



F2 TYPICAL FIBER ROLL INSTALLATION
N.T.S.



ENTRENCHMENT DETAIL

SITE NOTES

- SEE DEMOLITION NOTES AND WASTE MANAGEMENT NOTES ON THIS SHEET.
- SEE 2016 CALIFORNIA GREEN CODE REQUIREMENTS SHEET A0.1 SECTIONS 4.408.1, 4.408.2, 4.408.2.
- STORM WATER
 - SEE ATTACHED CONSTRUCTION WORK BEST MANAGEMENT PRACTICES DOCUMENT.
 - SEE ATTACHED STORM WATER TECHNICAL GUIDE.
- PROVIDE TEMPORARY CONSTRUCTION SEDIMENT AND EROSION CONTROL FIBER ROLLS / STRAW WATTLES AS REQUIRED. STORM WATER POLLUTION PREVENTION AND PROTECTION PLAN AND MEASUREMENTS SHALL BE IN COMPLIANT WITH THE REQUIREMENTS SPECIFIED IN CITY OF CAPITOLA MUNICIPAL CODE CHAPTER 13.16. SEE DETAIL F2/A1.0
- NO MATERIAL OR EQUIPMENT STORAGE MAY BE PLACED IN THE ROAD RIGHT-OF-WAY

SITE HOUSEKEEPING REQ. NOTES

- CONSTRUCTION WASTE REDUCTION DISPOSAL AND RECYCLING (CONSTRUCTION MATERIALS) CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR AND APPLY 2016 CalGreen 4.408.1
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 - ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 - EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 - BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- CONSTRUCTION WASTE MANAGEMENT CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR AND APPLY 2016 CalGreen 4.408.2
- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 - SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
 - SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY
 - COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
 - DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 - STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 - PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 - EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY, AND CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPS.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIAL NOTES

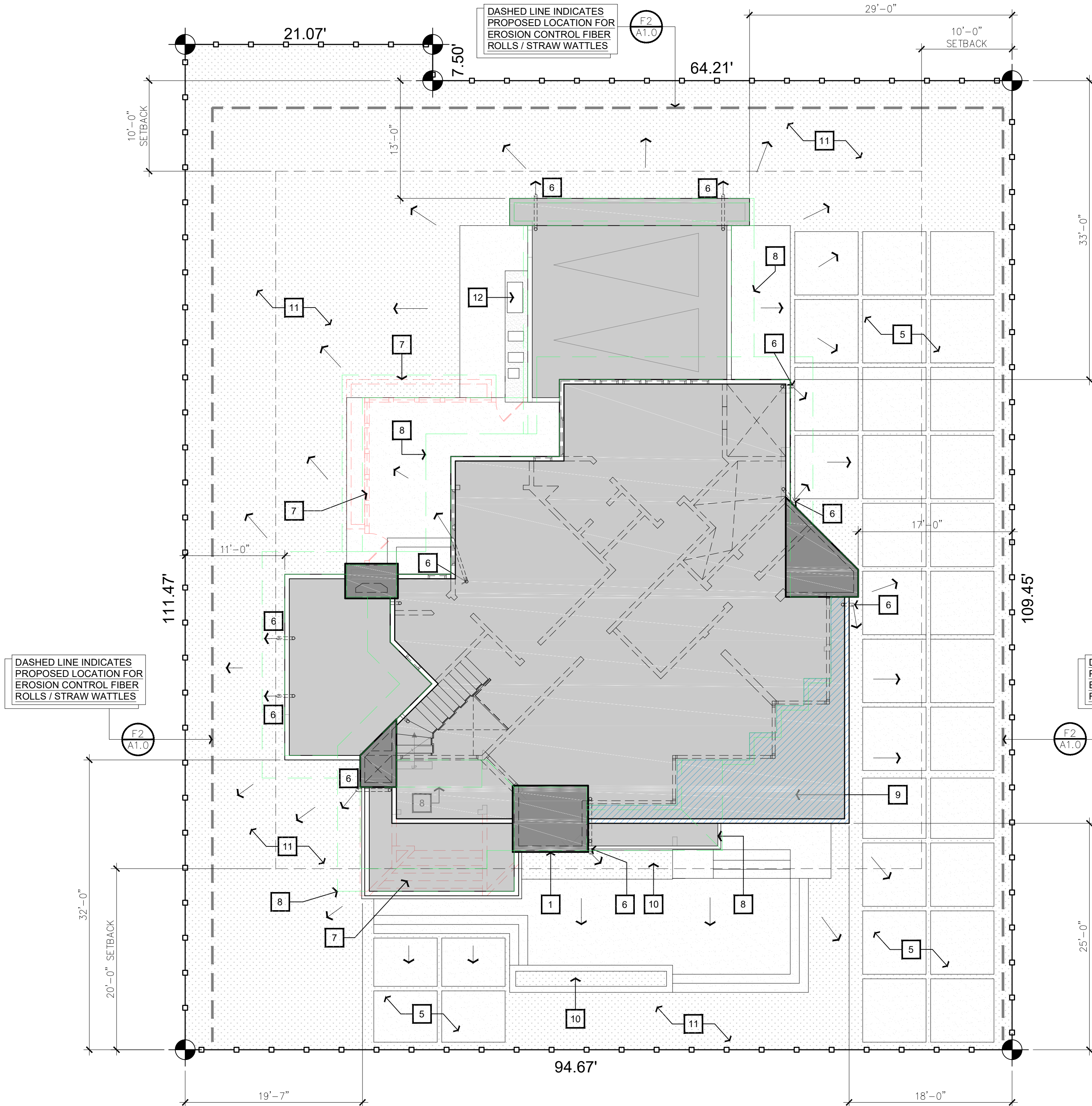
- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOP SOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

KEYNOTES

- PROVIDE AN APPROVED ILLUMINATED NUMBERS OR ADDRESSES. PLACED IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. THIS MAY NECESSITATE PLACING ADDRESS NUMBER AT THE DRIVEWAY ENTRANCE TO THE PROPERTY. NUMBERS SHALL CONTRAST WHIT THEIR BACKGROUND. PER C.F.C. 505 (TO BE FIELD VERIFY)
- THERE SHALL BE LANDING IN ALL EXTERIOR DOOR. (SEE LANDSCAPE DESIGN) THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED & 36" MIN. CONCRETE LANDING IN DIRECTION OF TRAVEL.
 - THE SLOPE FOR DRAINAGE 1/4-1/2 MIN. (2% MAX.) 2016 C.R.C. 311.3
 - LANDING OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THRESHOLD.
 - DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. 2016 C.R.C SECTION R311.3.2 & R311.3.3
 - DOORS DOES NOT SWING OVER THE LANDING OR FLOOR. 2016 C.R.C. R11.3.1 EXCEPTION & R11.3.3
- ALL FENESTRATION SHALL COMPLY W/ TITLE 24 ENERGY CALCULATIONS REGARDING ENERGY.
- CONTRACTOR SHALL READ BECOME FAMILIAR AND APPLY 2016 CALIFORNIA GREEN CODE REQUIREMENTS SHEET A0.1 SECTIONS 4.106.2, 4.106.3 AND 4.408.1, 4.408.2, 4.408.2.
 - SEE HOUSE KEEPING REQUIREMENTS ON THIS SHEET
- REPLACE EXISTING CONCRETE DRIVEWAY PADS, SEE LANDSCAPE DESIGN BY OTHERS.
- PROPOSED DOWNSPOUT LOCATIONS. INCORPORATE A RUNOFF REDUCTION MEASURE AT ALL DOWNSPOUTS. (SEE ATTACHED BMP DOCUMENTS FOR ADDITIONAL INFORMATION).
 - BMP SOLUTION:
 - DISCONNECT DOWNSPOUTS AND DISPERSE RUNOFF TO VEGETATED AREA OR A ROCK DRIP LINE.
- RED DASHED LINE INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED.
- GREEN DASHED LINE INDICATES EXISTING ROOF CANOPIES TO BE REMOVED.
- BLUE DASHED LINE INDICATES NEW ROOF EXTENSION.
- PROPOSED PLANTER
- LANDSCAPE (LAWN)
- PROPOSED BBQ LOCATION

GENERAL SITE GRADING NOTES

- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING.
- CONTRACTOR SHALL VERIFY ALL EXISTING FIELD DIMENSIONS, CONDITIONS, AND NOTIFY TO THE ARCHITECT OF ANY DISCREPANCIES, PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE UTILITIES WITHIN THE CONSTRUCTION AREA.
- "IF APPLICABLE" CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES AND BMPS AS THE WORK PROGRESSES. EROSION CONTROL AND WINTERIZATION SHALL INCLUDE BUT IS NOT LIMITED TO SEEDING AND SPREADING STRAW ON ALL CUT AND FILL SLOPES WITH RAMSEY SEED EROSION CONTROL MIX RSS01, OR EQUAL, AT 50 LBS/ACRE DURING AND AFTER CONSTRUCTION PERIOD.
- EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE AT AN APPROVED LOCATION AND PLACED IN ACCORDANCE WITH THE CURRENT CBC AND LOCAL COUNTY STANDARDS. ALL NECESSARY EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AT THE OFF-SITE LOCATION.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN, SAFE AND SECURE WORK SITE. CONTRACTOR ASSUMES COMPLETE RESPONSIBILITY FOR THE CONDITION OF THE SITE. CONTRACTOR SHALL MAINTAIN CONSTRUCTION ACTIVITIES IN SUCH A MANNER AS TO NOT CREATE A PUBLIC NUISANCE, INCLUDING DUST CONTROL AND TRAFFIC SAFETY. CONTRACTOR SHALL REMEDY ANY COMPLAINT MADE BY THE OWNER OR PUBLIC AGENCY IMMEDIATELY UPON NOTIFICATION REGARDING ANY CONDITION OF THE SITE AND CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS AND ORDINANCES REGARDING CONSTRUCTION ACTIVITY, INCLUDING ALL HEALTH, SAFETY AND EMPLOYMENT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED FEDERAL AND STATE PERMITS.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SANITARY FACILITIES.
- ALL GRADING SHALL BE IN ACCORDANCE WITH THE CURRENT CALIFORNIA BUILDING CODE AND COUNTY GRADING ORDINANCE. ALL WORK SHALL MEET OR EXCEED ALL STATE AND LOCAL BUILDING CODES AND INDUSTRIAL STANDARDS.
- IF NEW BUILDING CONCRETE PAD IS 8" ABOVE SUNROUNDING NATURAL GRADE OR COMPACTION IS OBTAINED, CONTRACTOR SHALL PROVIDE COPIES OF ANY COMPACTION OR SOILS ANALYSIS REPORTS TO THE BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION.
- IF APPLICABLE THE OWNER/ CONTRACTOR SHALL ENGAGE THE SERVICES OF A CERTIFIED MATERIALS TESTING CONSULTANT TO PERFORM COMPACTION TESTS. ALL FILLS FOR BUILDING PADS AND ROADS SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY. A COPY OF THE TEST RESULTS INCLUDING THE TEST METHOD USED SHALL BE PROVIDED TO THE COUNTY.
- "IF APPLICABLE" THE GEOTECHNICAL ENGINEER SHALL CERTIFY THAT ALL GRADING WORK, SLOPES AND PADS ARE STABLE AND IN CONFORMANCE WITH GEOTECHNICAL REQUIREMENTS.
- AREAS TO RECEIVE FILL SHALL BE STRIPPED OF VEGETATION OR OTHER UNSUITABLE MATERIAL, SCARIFIED AND COMPACTED. NO FILLS SHALL BE PLACED UNTIL THE APPROVAL OF THE SITE PREPARATION WORK HAS BEEN OBTAINED FROM THE COUNTY ENGINEER OR THE GEOTECHNICAL ENGINEER.
- ALL CUTS AND FILLS SHALL BE 2:1 OR FLATTER.
- CONTRACTOR SHALL PROVIDE CERTIFICATION THAT ALL GRADING WAS DONE IN ACCORDANCE WITH THE PLANS AND IN ACCORDANCE WITH ANY ADDITIONAL WORK AUTHORIZED BY THE COUNTY.
- THE CONTRACTOR SHALL NOTIFY AND SCHEDULE ALL REQUIRED INSPECTIONS. THE CONTRACTOR SHALL NOTIFY COUNTY PUBLIC WORKS, SOILS ENGINEER, AND ANY OTHER INSPECTION AGENCIES 48 HOURS PRIOR TO THE ACTUAL INSPECTION DATES.
- WORK PERFORMED UNDER THESE PLANS SHALL NOT BE CONSIDERED COMPLETE UNTIL FINAL ACCEPTANCE HAS BEEN GIVEN BY ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE WORK.
- A COPY OF THE APPROVED SET OF THESE PLANS SHALL BE KEPT ON SITE DURING CONSTRUCTION.
- "IF APPLICABLE" 48 HOURS BEFORE DIGGING, THE CONTRACTOR SHALL CALL UTILITY SERVICES ALERT. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
- CONSTRUCTION STAKING SHALL BE IN PLACE PRIOR TO APPROVAL OF SITE PREPARATION.
- ANY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESET.
- WORK SHALL BE PERFORMED DURING DAYLIGHT HOURS, MONDAY THROUGH FRIDAY. NO WORK REQUIRING COUNTY INSPECTION SHALL BE PERFORMED DURING HOLIDAYS.



F5 SITE PLAN
SCALE: 1/8"=1'-0"

3109 HACIENDA DR.

SURFACE RUN OFF SHALL BE DRAINED AWAY FROM STRUCTURE. SEE 2016 C.B.C. 1804.7 AND CalGreen 4.106.3

| LEGEND | |
|--------|---|
| SLOPE | ↓ |



ARCHITECT
EVAN ZEFF ARCHITECT
705 COLUMBIA WAY
MODISTO, CA 95350
PHONE: 209.604.8496
FAX : 209.577.2320

JOB TITLE:

CONSTRUCTION DOCUMENTS FOR:
PORGES RESIDENCE
HOME REMODEL

3109 HACIENDA DRIVE
PABBLE BEACH, CA.
APN: 007-331-006-000

REVISIONS:

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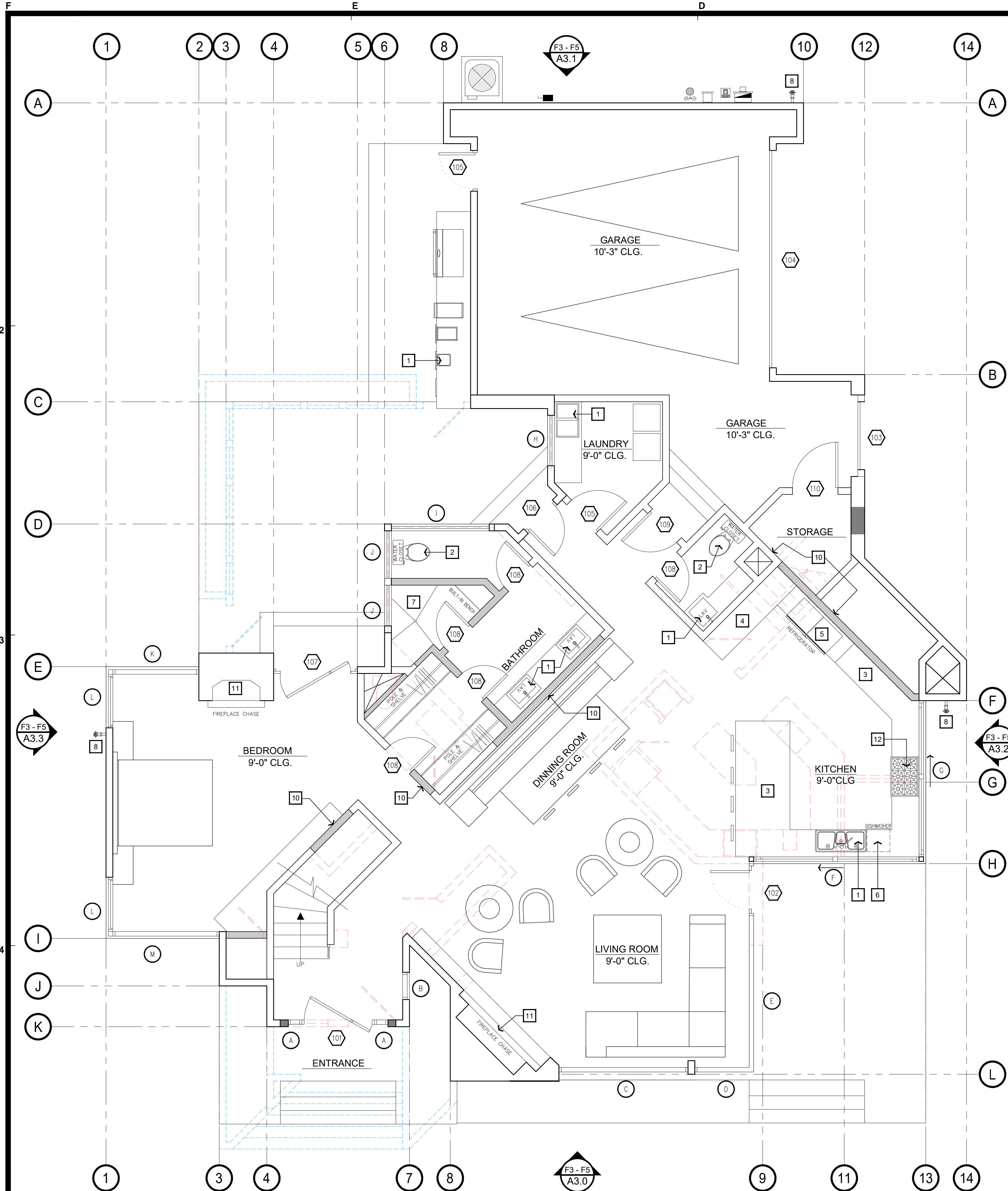
DRAWN **SDS**

JOB NO.

SHEET

OF

A1.0
SITE PLAN
SHEETS



F5

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

DOORS & WINDOWS

- A. ALL EXIT DOORS TO BE OPENABLE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- B. 2 PAIR OF BUTTS MIN. AT ALL SWING DOORS. U.N.O. (SEE MANUFACTURER RECOMMENDATIONS)
- C. VERIFY OWNER'S KEYING REQUIREMENTS.
- D. ALL DOORS TO BE 1-3/4" MIN. THICKNESS U.N.O. (RATED DOORS AS PER UL SPECS W.O.)
- E. THERE SHALL BE LANDING IN ALL EXTERIOR EGRESS DOORS. SEE LANDSCAPE PLAN. THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED & 36" MIN. LANDING IN DIRECTION OF TRAVEL.
- THE SLOPE FOR DRAINAGE 1/4-1/2 MIN. (2% MAX.) 2016 C.R.C. 311.3.
 - LANDING OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THRESHOLD.
 - DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. 2016 C.R.C. SECTION R311.3.2 & R311.3.3
 - DOORS DOES NOT SWING OVER THE LANDING OR FLOOR. 2016 C.R.C. R11.3.1 EXCEPTION & R11.3.3
- F. ALL GLAZING AT DOORS AND WINDOWS TO BE TEMPERED.
- G. STOREFRONT SYSTEM, W.O. ALL GLAZING TO BE TEMPERED.
- H. ALL FENESTRATION SHALL COMPLY W/ TITLE 24 ENERGY CALCULATIONS REGARDING ENERGY.

WINDOWS SCHEDULE

| SYMBOL | SIZE |
|--------|------------|
| A | 1090 FX |
| B | 2090 FX |
| C | 9684 FX |
| D | 4084 FX |
| E | 11684 FX |
| F | 12960 SLDR |
| G | 11060 SLDR |
| H | 4060 CSMT |
| I | 7660 FX |
| J | 3630 AWW |
| K | 6470 FX |
| L | 10884 FX |
| M | 5684 FX |
| N | 8684 FX |
| O | 2054 CSMT |
| P | 2030 CSMT |
| Q | 8450 SLDR |
| R | 31050 FX |
| S | 2030 FX |

DOORS SCHEDULE

| SYMBOL | SIZE |
|--------|-----------------|
| 101 | 5090 PIVOT DOOR |
| 102 | 3690 FR |
| 103 | 5080 OVR HP |
| 104 | 16080 OVR HP |
| 105 | 3080 SOLID |
| 106 | 3080 FR |
| 107 | 6290 PIVOT DOOR |
| 108 | 2680 SOLID |
| 109 | 3080 SOLID * |
| 110 | 3480 SOLID |
| 111 | 4080 SOLID |
| 112 | 4084 FR DOOR |
| 113 | |
| 114 | |

* DOOR BETWEEN GARAGE AND DWELLING TO BE TIGHT FITTING, SELF CLOSING SOLID WOOD DOOR 1-3/8" IN THICKNESS WITH FIRE PROTECTION RATING OF 20 MIN. MINIMUM PER 2013 C.R.C. SECTION 716.15" LABELED DOOR & FRAME ASSEMBLY

GENERAL FLOOR PLAN NOTES

- A. CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW AND APPLY ALL THE INTERIOR FINISHES AND INTERIOR DESIGN CRITERIA SPECIFIED BY THE OWNER.
- B. VERIFY ALL FINAL COLORS AND FINISH MATERIALS WITH THE OWNER.
- C. PREPARE AND INSTALL ALL PRODUCTS, APPLIANCES AND FIXTURES STRICTLY PER MANUFACTURERS SPECIFICATIONS.
- D. COORDINATE ALL PLUMBING & ELECTRICAL REQUIREMENTS PRIOR TO CABINET INSTALLATION.
- E. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION ANY MILLWORK, TYP.
- F. PROVIDE BACKING FOR ALL COUNTERS, UPPER COUNTERS AND CABINETS. PROVIDE SOLID WOOD BACKING (2x MEMBER MIN.) FOR COUNTER SUPPORT. COUNTER SUPPORTS AT CENTER SPAN OR MAX. 2'-6" O.C. SPACING, TYP. ALT.
- G. CABINET DESIGN LAYOUT FOR OPERATIONS ONLY. SHOP DRAWINGS TO BE SUBMITTED BY SUCCESSFUL CONTRACTOR SHOWING ACTUAL DESIGN & SUPPORT. ALL MILLWORK SHALL BE CONSTRUCTED PER W.I.C.
- H. VERIFY LOCATION OF EXISTING WALLS, DOORS & WINDOWS, ELECTRICAL AND PLUMBING SUPPLIES PRIOR CONSTRUCTION.
- I. CONTRACTOR TO VERIFY EXTENT OF (E) G.W.B. & MAINTAIN RATED WALL CONSTRUCTION THROUGHOUT W.O.
- J. WHERE (E) CONSTRUCTION IS TO BE REMOVED OR MODIFIED OR IS DAMAGED DURING CONSTRUCTION, ALL FINISHES (INCLUDING WALLS, FLOORS & CEILINGS) ARE TO BE PATCHED, FINISHED & PAINTED TO MATCH (E) CONSTRUCTION. TAKE NEW FINISH TO NEAREST BREAK POINT. EXPOSED MECH., PLUMB., & ELEC. UTILITIES, CONDUIT OR EQUIPMENT, WHERE OCCURRING, IS TO BE PAINTED TO MATCH ADJACENT WALLS.
- K. DAMAGE TO ANY ELEMENT OF THE BUILDING OR SITE MUST BE CORRECTED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION

KEYNOTES

1. BASIN / SINK AND LAVATORIES TO BE SPECIFIED BY OWNER. ALL SINKS / LAVATORIES & BAR SINK SHALL INCLUDES INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE PER 2016 CPC 420.
- SEE PLUMBING NOTES B5-A/ A3.2 AND CAL-GREEN PLUMBING NOTES SHEET A0.1
 - PROVIDE GARBAGE DISPOSAL AT KITCHEN SINK LOCATION W/ ACCESSIBLE GFCI/WP POWER SUPPLY
2. (WC) WATER CLOSET. SEE PLUMBING NOTES B5-C/A3.2 CAL-GREEN PLUMBING NOTES SHEET A0.1
3. 36" HIGH BUILT-IN COUNTER WITH ADJUSTABLE SHELVES, W.O. (FINISH MATERIAL BY OWNER). 4" TOE SPACE. (TYP.)
4. FULL HIGH CABINET WITH ADJUSTABLE SHELVES. (FINISH MATERIAL BY OWNER). (TYP.)
5. REFRIGERATOR. PROVIDE 1/2" COLD WATER SUPPLY AND GFCI POWER SUPPLY.
6. DISHWASHER (BY OWNER) PROVIDE ACCESSIBLE GFCI/WP POWER SUPPLY.
7. SHOWERS / TUB COMBO SHOWERS / FREE STANDING TUB & JACUZZI TUB GENERAL NOTES. ALSO SEE C5-B/A3.2 FOR ADDITIONAL INFORMATION
- WALK-IN SHOWER, FREE STANDING TUB AND SHOWER/TUB COMB. W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE PER 2016 CPC 420.
 - SEE PLUMBING NOTES C5-B/A3.2 CAL-GREEN PLUMBING NOTES SHEET A0.1
 - SEE GENERAL FLOOR PLAN NOTES ITEMS "R" "U" AND "W" ON SHEET A2.0 (IF JACUZZI TUB) INSTALL A MIN. 12x12 ACCESS PANEL AND GFCI. POWER FOR TUB MOTOR.
8. 18" H. HOSE BIBS W/ NON REMOVABLE BACK FLOW PREVENTION AND SHUTOFF.
9. ROOMS CONTAINING BATHTUBS, SHOWERS SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED WITH A VENTILATION SYSTEM CAPABLE OF 50 CFM IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY AND SIM. ROOMS. C.R.C. R303.3 EXCEPTION.
10. ALIGN WALL TO EXISTING WALL AS SHOWN.
11. INDOOR GAS FIREPLACE.
- CONTRACTOR TO PROVIDE SPEC. INFORMATION TO GOVERNMENT AGENCIES PRIOR CONSTRUCTION.
 - SEE 2016 C.R.C. CHAPTER 10 CHIMNEYS AND FIREPLACE
 - SEE FIRE PLACE NOTES SHEET A0.1
 - PROVIDE MANUFACTURER'S INSTALLATION SPECIFICATIONS AND PRODUCT LISTINGS FOR PRE-MANUFACTURED FIRE PLACE(S) TO BUILDING INSPECTOR PRIOR INSTALLATION.
12. RANGE, (BY OWNER SELECTION)

WALL LEGEND

- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- NEW INTERIOR WALLS: 2"x6" AT 1'-4" O.C. W/ 2"x6" P.T. DOUGLAS-FIR WOOD SILL PLATE AND DOUBLE PLATE ON TOP, WITH 5/8" TYPE "X" G.W.B. EACH SIDE.
- NEW EXTERIOR WALLS, W.O.: 2"x6" WOOD STUDS AT 1'-4" O.C. U.N.O. W/ 2"x6" P.T. D.F. SILL PLATE AND DOUBLE PLATE ON TOP, WITH 5/8" TYPE "X" G.W.B. INTERIOR SIDE, W.O. AND 7/8" STUCCO WALL FINISH (3 COAT APPLICATION) OVER 2 LAYERS GRADE "D" PAPER LAPPED TO DRAIN.
- EXISTING INTERIOR CONSTRUCTION TO BE DEMOLISHED
- EXISTING EXTERIOR CONSTRUCTION TO BE DEMOLISHED

- TYPE "X" G.W.B. IS NOT ALWAYS REQUIRED DUE TO FIRE RATING. HOWEVER, IT IS THE OWNERS STANDARDS FOR ALL G.W.B.
- MOISTURE RESISTANT G.W.B. TO BE USED AT ALL WET LOCATIONS U.N.O.

JOB TITLE:

CONSTRUCTION DOCUMENTS FOR:
PORGES RESIDENCE
HOME REMODEL

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PABBLE BEACH, CA.

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DATE

DRAWN SDS

JOB NO.

SHEET

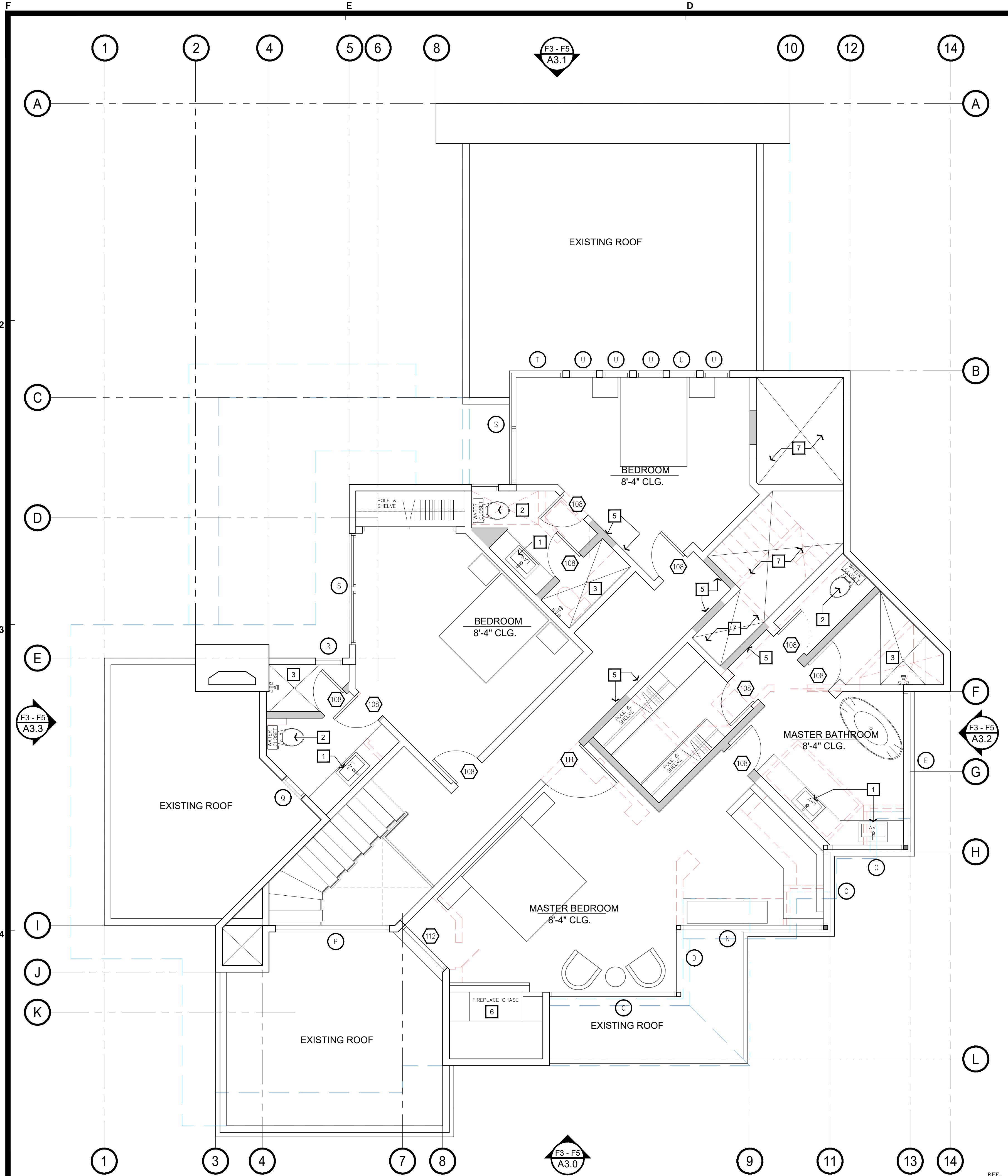
ANNO 1st FLOOR PLAN
OF SHEETS

A2.0

SHEETS

ARCHITECT

EVAN ZEFF@GMAIL.COM
PHONE: 209.604.8496
FAX: 209.577.2320
705 COLUMBIA WAY
MODESTO, CA 95350



F5

PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

DOORS & WINDOWS

- A. ALL EXIT DOORS TO BE OPENABLE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- B. 2 PAIR OF BUTTS MIN. AT ALL SWING DOORS. U.N.O. (SEE MANUFACTURER RECOMMENDATIONS)
- C. VERIFY OWNER'S KEYING REQUIREMENTS.
- D. ALL DOORS TO BE 1-3/4" MIN. THICKNESS U.N.O. (RATED DOORS AS PER UL SPECS W.O.)
- E. THERE SHALL BE LANDING IN ALL EXTERIOR EGRESS DOORS. SEE LANDSCAPE PLAN. THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED & 36" MIN. LANDING IN DIRECTION OF TRAVEL.
- THE SLOPE FOR DRAINAGE 1/4-1/2 MIN. (2% MAX.) 2016 C.R.C. 311.3.
 - LANDING OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THRESHOLD.
 - DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. 2016 C.R.C. SECTION R311.3.2 & R311.3.3
 - DOORS DOES NOT SWING OVER THE LANDING OR FLOOR. 2016 C.R.C. R11.3.1 EXCEPTION & R11.3.3
- F. ALL GLAZING AT DOORS AND WINDOWS TO BE TEMPERED.
- G. STOREFRONT SYSTEM, W.O. ALL GLAZING TO BE TEMPERED.
- H. ALL FENESTRATION SHALL COMPLY W/ TITLE 24 ENERGY CALCULATIONS REGARDING ENERGY.

WINDOWS SCHEDULE

| SYMBOL | SIZE |
|--------|---------------|
| A | 10'0" FX |
| B | 2'0"0" FX |
| C | 0'8'4" FX |
| D | 4'0'4" FX |
| E | 1'0'8'4" FX |
| F | 1'2'0'0" SLDR |
| G | 1'10'0" SLDR |
| H | 4'0'0" CSMT |
| I | 7'6'0" FX |
| J | 3'6'3" ANW |
| K | 6'4'7" FX |
| L | 4'0'7" CSMT |
| M | 8'0'7" FX |
| N | 1'0'8'4" FX |
| O | 5'6'8'4" FX |
| P | 8'6'8'4" FX |
| Q | 2'0'5'4" CSMT |
| R | 2'0'3'0" CSMT |
| S | 8'4'5'0" SLDR |
| T | 3'10'5'0" FX |
| U | 2'0'3'0" FX |
| V | |

DOORS SCHEDULE

| SYMBOL | SIZE |
|--------|-------------------|
| 101 | 5'0'0" PIVOT DOOR |
| 102 | 3'6'0" FR |
| 103 | 5'0'0" OVR HP |
| 104 | 1'6'0'0" OVR HP |
| 105 | 3'0'0" SOLID |
| 106 | 3'0'0" FR |
| 107 | 6'2'0" PIVOT DOOR |
| 108 | 2'6'0" SOLID |
| 109 | 3'0'0" SOLID * |
| 110 | 3'4'0" SOLID |
| 111 | 4'0'0" SOLID |
| 112 | 4'0'4" FR DOOR |
| 113 | |
| 114 | |

* DOOR BETWEEN GARAGE AND DWELLING TO BE TIGHT FITTING, SELF CLOSING SOLID WOOD DOOR 1-3/8" IN THICKNESS WITH FIRE PROTECTION RATING OF 20 MIN. MINIMUM PER 2016 C.B.C. SECTION 716. "D" LABELED DOOR & FRAME ASSEMBLY

GENERAL FLOOR PLAN NOTES

- A. CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW AND APPLY ALL THE INTERIOR FINISHES AND INTERIOR DESIGN CRITERIA SPECIFIED BY THE OWNER.
- B. VERIFY ALL FINAL COLORS AND FINISH MATERIALS WITH THE OWNER.
- C. PREPARE AND INSTALL ALL PRODUCTS, APPLIANCES AND FIXTURES STRICTLY PER MANUFACTURERS SPECIFICATIONS.
- D. COORDINATE ALL PLUMBING & ELECTRICAL REQUIREMENTS PRIOR TO CABINET INSTALLATION.
- E. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION ANY MILLWORK, TYP.
- F. PROVIDE BACKING FOR ALL COUNTERS, UPPER COUNTERS AND CABINETS. PROVIDE SOLID WOOD BACKING (2x MEMBER MIN.) FOR COUNTER SUPPORT. COUNTER SUPPORTS AT CENTER SPAN OR MAX. 2'-6" O.C. SPACING, TYP. ALT.
- G. CABINET DESIGN LAYOUT FOR OPERATIONS ONLY. SHOP DRAWINGS TO BE SUBMITTED BY SUCCESSFUL CONTRACTOR SHOWING ACTUAL DESIGN & SUPPORT. ALL MILLWORK SHALL BE CONSTRUCTED PER W.I.C.
- H. VERIFY LOCATION OF EXISTING WALLS, DOORS & WINDOWS, ELECTRICAL AND PLUMBING SUPPLIES PRIOR CONSTRUCTION.
- I. CONTRACTOR TO VERIFY EXTENT OF (E) G.W.B. & MAINTAIN RATED WALL CONSTRUCTION THROUGHOUT W.O.
- J. WHERE (E) CONSTRUCTION IS TO BE REMOVED OR MODIFIED OR IS DAMAGED DURING CONSTRUCTION, ALL FINISHES (INCLUDING WALLS, FLOORS & CEILINGS) ARE TO BE PATCHED, FINISHED & PAINTED TO MATCH (E) CONSTRUCTION. TAKE NEW FINISH TO NEAREST BREAK POINT. EXPOSED MECH., PLUMB., & ELEC. UTILITIES, CONDUIT OR EQUIPMENT, WHERE OCCURRING, IS TO BE PAINTED TO MATCH ADJACENT WALLS.
- K. DAMAGE TO ANY ELEMENT OF THE BUILDING OR SITE MUST BE CORRECTED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION

KEYNOTES

1. BASIN / SINK AND LAVATORIES TO BE SPECIFIED BY OWNER. ALL SINKS / LAVATORIES & BAR SINK SHALL INCLUDES INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE PER 2016 CPC 420.
- SEE PLUMBING NOTES B5-A/ A3.2 AND CAL-GREEN PLUMBING NOTES SHEET A0.1
 - PROVIDE GARBAGE DISPOSAL AT KITCHEN SINK LOCATION W/ ACCESSIBLE GFCI/WP POWER SUPPLY
2. (WC) WATER CLOSET. SEE PLUMBING NOTES B5-C/A3.2 CAL-GREEN PLUMBING NOTES SHEET A0.1
3. SHOWERS / TUB COMBO SHOWERS / FREE STANDING TUB & JACUZZI TUB GENERAL NOTES. ALSO SEE C5-B/A3.2 FOR ADDITIONAL INFORMATION
- WALK-IN SHOWER, FREE STANDING TUB AND SHOWER/TUB COMB. W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE PER 2016 CPC 420.
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4. ROOMS CONTAINING BATHTUBS, SHOWERS SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED WITH A VENTILATION SYSTEM CAPABLE OF 50 CFM IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY AND SIM. ROOMS. C.R.C. R303.3 EXCEPTION.
5. ALIGN WALL TO EXISTING WALL AS SHOWN.
6. INDOOR GAS FIREPLACE.
- CONTRACTOR TO PROVIDE SPEC. INFORMATION TO GOVERNMENT AGENCIES PRIOR CONSTRUCTION.
 - SEE 2016 C.R.C. CHAPTER 10 CHIMNEYS AND FIREPLACE
 - SEE FIRE PLACE NOTES SHEET A0.1
 - PROVIDE MANUFACTURER'S INSTALLATION SPECIFICATIONS AND PRODUCT LISTINGS FOR PRE-MANUFACTURED FIRE PLACE(S) TO BUILDING INSPECTOR PRIOR INSTALLATION.
7. NON-CONDITIONED SPACE

WALL LEGEND

- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- NEW INTERIOR WALLS: 2"x6" AT 1'-4" O.C. W/ 2"x6" P.T. DOUGLAS-FIR WOOD SILL PLATE AND DOUBLE PLATE ON TOP, WITH 5/8" TYPE "X" G.W.B. EACH SIDE.
- NEW EXTERIOR WALLS, W.O.: 2"x6" WOOD STUDS AT 1'-4" O.C. U.N.O. W/ 2"x6" P.T. D.F. SILL PLATE AND DOUBLE PLATE ON TOP, WITH 5/8" TYPE "X" G.W.B. INTERIOR SIDE, W.O. AND 7/8" STUCCO WALL FINISH (3 COAT APPLICATION) OVER 2 LAYERS GRADE "D" PAPER LAPPED TO DRAIN.
- EXISTING INTERIOR CONSTRUCTION TO BE DEMOLISHED
- EXISTING EXTERIOR CONSTRUCTION TO BE DEMOLISHED

- TYPE "X" G.W.B. IS NOT ALWAYS REQUIRED DUE TO FIRE RATING. HOWEVER, IT IS THE OWNERS STANDARDS FOR ALL G.W.B.
- MOISTURE RESISTANT G.W.B. TO BE USED AT ALL WET LOCATIONS U.N.O.

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DATE

DRAWN SDS

JOB NO.

SHEET

ANNO 2nd FLOOR PLAN
OF SHEETS

A2.1

ARCHITECT
EVAN ZEFF ARCHITECT
705 COLUMBIA WAY
MODESTO, CA 95350
PHONE: 209.604.8496
FAX: 209.577.2320
EVAN.ZEFF@GMAIL.COM

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E

D

C

B

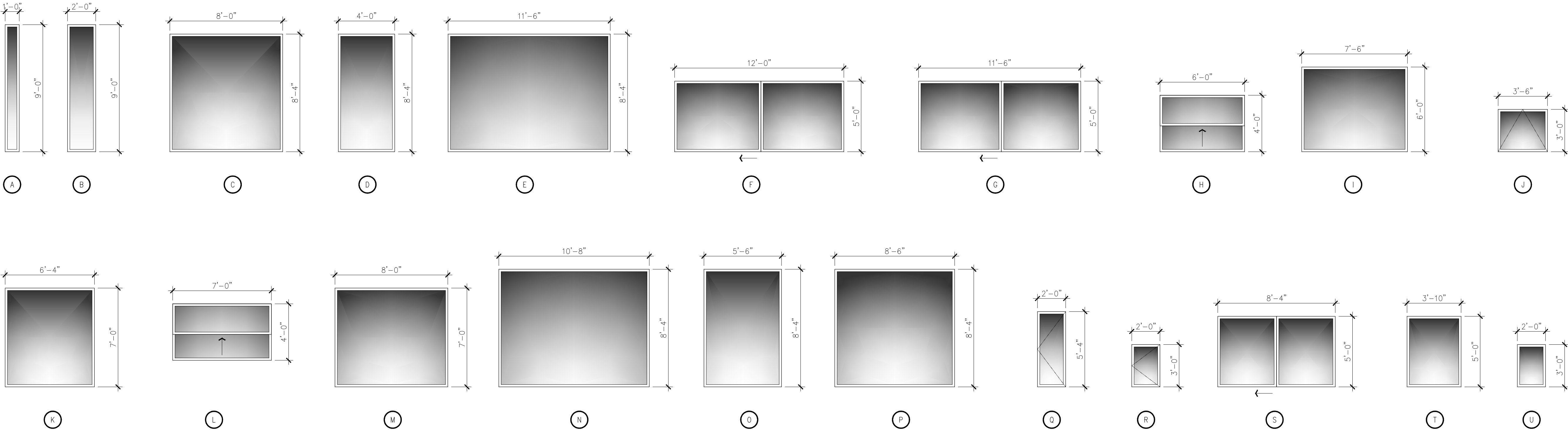
A

WINDOWS SCHEDULE

| SYMBOL | SIZE |
|--------|------------|
| A | 1090 FX |
| B | 2090 FX |
| C | 9684 FX |
| D | 4084 FX |
| E | 11684 FX |
| F | 12060 SLDR |
| G | 11060 SLDR |
| H | 4060 CSMT |
| I | 7660 FX |
| J | 3630 AMN |
| K | 6470 FX |
| L | 4070 CSMT |
| M | 8070 FX |
| N | 10884 FX |
| O | 5684 FX |
| P | 8684 FX |
| Q | 2054 CSMT |
| R | 2030 CSMT |
| S | 8450 SLDR |
| T | 31050 FX |
| U | 2030 FX |
| V | |

DOORS & WINDOWS

- A. ALL EXIT DOORS TO BE OPENABLE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- B. 2 PAIR OF BUTTS MIN. AT ALL SWING DOORS. U.N.O. (SEE MANUFACTURER RECOMMENDATIONS)
- C. VERIFY OWNER'S KEYING REQUIREMENTS.
- D. ALL DOORS TO BE 1-3/4" MIN. THICKNESS U.N.O. (RATED DOORS AS PER UL SPECS W.O.)
- E. THERE SHALL BE LANDING IN ALL EXTERIOR EGRESS DOORS. SEE LANDSCAPE PLAN. THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED & 36" MIN. LANDING IN DIRECTION OF TRAVEL.
- THE SLOPE FOR DRAINAGE 1/4:12 MIN. (2% MAX.) 2016 C.R.C. 311.3.
 - LANDING OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THRESHOLD.
 - DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. 2016 C.R.C. SECTION R311.3.2 & R311.3.3
 - DOORS DOES NOT SWING OVER THE LANDING OR FLOOR. 2016 C.R.C. R11.3.1 EXCEPTION & R11.3.3
- F. ALL GLAZING AT DOORS AND WINDOWS TO BE TEMPERED.
- G. STOREFRONT SYSTEM, W.O. ALL GLAZING TO BE TEMPERED.
- H. ALL FENESTRATION SHALL COMPLY W/ TITLE 24 ENERGY CALCULATIONS REGARDING ENERGY.
- I. ALL WINDOWS TO BE NON-REFLECTIVE, NON-GLARE AND TINTED.



JOB TITLE:

CONSTRUCTION DOCUMENTS FOR:
PORGES RESIDENCE
HOME REMODEL

3109 HACIENDA DRIVE
PABBLE BEACH, CA.
APN: 007-331-006-000

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DATE
DRAWN
SHEET
SHEETS

A2.4
WINDOWS SCHEDULES
OF SHEETS

ARCHITECT
EVAN ZEFF ARCHITECT
705 COLUMBIA WAY
MODESTO, CA 95350
EVAN.ZEFF@GMAIL.COM
PHONE: 209.604.8496
FAX: 209.577.2320

F

E

D

C

B

A

2

3

4

5



F3 EXISTING FRONT ELEVATION

SCALE: 1/4"=1'-0"



F5 PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0"

1 2

DOORS & WINDOWS

- A. ALL EXIT DOORS TO BE OPENABLE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
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- G. STOREFRONT SYSTEM, W.O. ALL GLAZING TO BE TEMPERED.
- H. ALL FENESTRATION SHALL COMPLY W/ TITLE 24 ENERGY CALCULATIONS REGARDING ENERGY.

KEYNOTES

1. 7/8" STUCCO WALL FINISH W/ (3 COAT APPLICATION) OVER 2 LAYERS GRADE D PAPER - (TYPICAL) LAPPED TO DRAIN. REINFORCED W/ GALVANIZED STUCCO MESH WIRE.
2. 26 Ga (GAUGE) MIN. GALVANIZED STEEL STUCCO WEEP SCREED AT STUCCO WALL BASE. SEE SECTION F3/A3.2. PROVIDE 8" MIN. CLEARANCE AT UNFINISHED NATURAL GRADE. 4" MIN. AT FINISH GRADE AND 2" MIN. AT CONCRETE / ASPHALT FINISH GRADE.
3. CHIMNEY WITH SPARKS ARRESTOR. CHIMNEY TO TERMINATE MIN. 2' ABOVE NEAREST RIDGE OR PORTION OF BUILDING WITHIN 10' HORIZONTALLY
4. NATURAL STONE VENEER WALL CLADDING PER OWNER SELECTION.
5. ROOF CANOPIES TO BE REMOVED. SEE FLOOR PLAN.

JOB TITLE:

CONSTRUCTION DOCUMENTS FOR:
PORGES RESIDENCE
HOME REMODEL

3109 HACIENDA DRIVE
PABBLE BEACH, CA.

APN: 007-331-006-000

REVISIONS:

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DATE

DRAWN

SDS

JOB NO.

SHEET

OF

A3.0
ELEVATIONS
SHEETS

ARCHITECT

EVAN ZEFF@GMAIL.COM
PHONE: 209.604.8496
FAX : 209.577.2320
EVAN ZEFF ARCHITECT
705 COLUMBIA WAY
MODESTO, CA 95350

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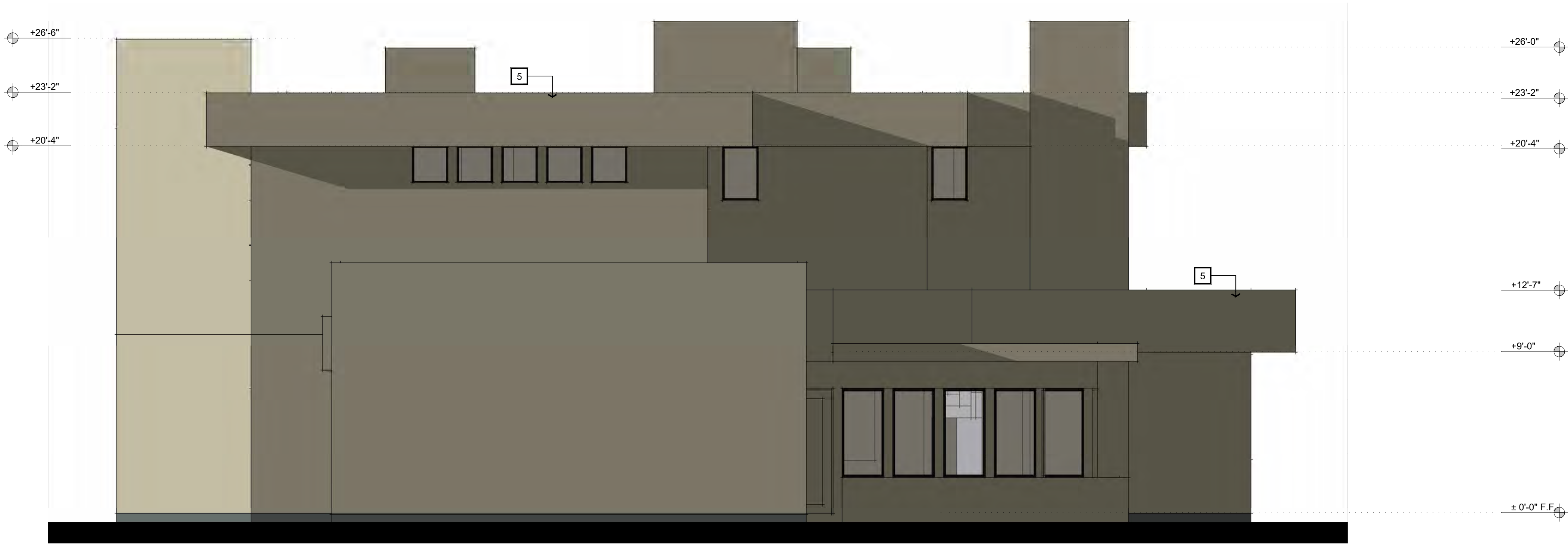
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F3 EXISTING REAR ELEVATION

SCALE: 1/4"=1'-0"



F5 PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"

1 2

DOORS & WINDOWS

- A. ALL EXIT DOORS TO BE OPENABLE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- B. 2 PAIR OF BUTTS MIN. AT ALL SWING DOORS. U.N.O. (SEE MANUFACTURER RECOMMENDATIONS)
- C. VERIFY OWNER'S KEYING REQUIREMENTS.
- D. ALL DOORS TO BE 1-3/4" MIN. THICKNESS U.N.O. (RATED DOORS AS PER UL SPECS W.O.)
- E. THERE SHALL BE LANDING IN ALL EXTERIOR EGRESS DOORS. SEE LANDSCAPE PLAN. THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED & 36" MIN. LANDING IN DIRECTION OF TRAVEL.
- THE SLOPE FOR DRAINAGE 1/4:12 MIN. (2% MAX.) 2016 C.R.C. 311.3.
 - LANDING OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THRESHOLD.
 - DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. 2016 C.R.C. SECTION R311.3.2 & R311.3.3
 - DOORS DOES NOT SWING OVER THE LANDING OR FLOOR. 2016 C.R.C. R11.3.1 EXCEPTION & R11.3.3
- F. ALL GLAZING AT DOORS AND WINDOWS TO BE TEMPERED.
- G. STOREFRONT SYSTEM, W.O. ALL GLAZING TO BE TEMPERED.
- H. ALL FENESTRATION SHALL COMPLY W/ TITLE 24 ENERGY CALCULATIONS REGARDING ENERGY.

KEYNOTES

- 7/8" STUCCO WALL FINISH W/ (3 COAT APPLICATION) OVER 2 LAYERS GRADE D PAPER - (TYPICAL) LAPPED TO DRAIN. REINFORCED W/ GALVANIZED STUCCO MESH WIRE.
- 26 Ga (GAUGE) MIN. GALVANIZED STEEL STUCCO WEEP SCREED AT STUCCO WALL BASE. SEE SECTION F3/A3.2. PROVIDE 8" MIN. CLEARANCE AT UNFINISHED NATURAL GRADE. 4" MIN. AT FINISH GRADE AND 2" MIN. AT CONCRETE / ASPHALT FINISH GRADE.
- CHIMNEY WITH SPARKS ARRESTOR. CHIMNEY TO TERMINATE MIN. 2' ABOVE NEAREST RIDGE OR PORTION OF BUILDING WITHIN 10' HORIZONTALLY
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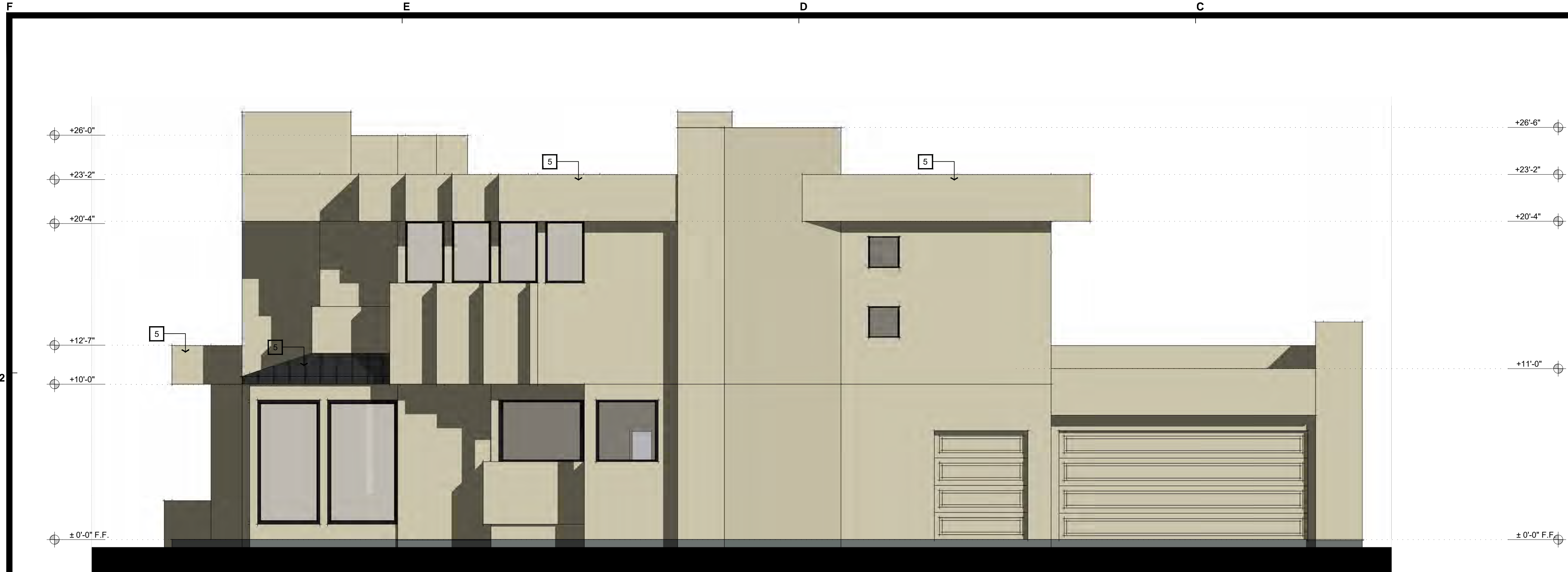
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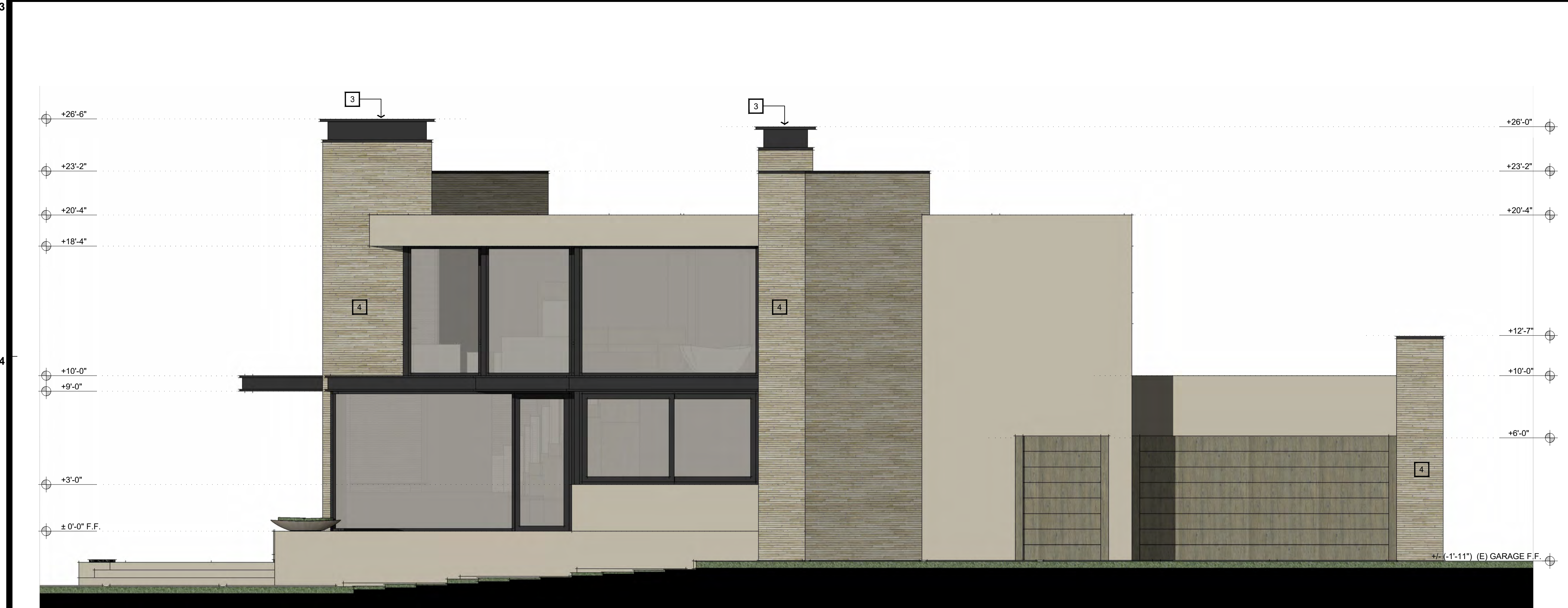
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F3 EXISTING RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



F5 PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

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F3 EXISTING LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



F5 PROPOSED LEFT SIDE ELEVATION

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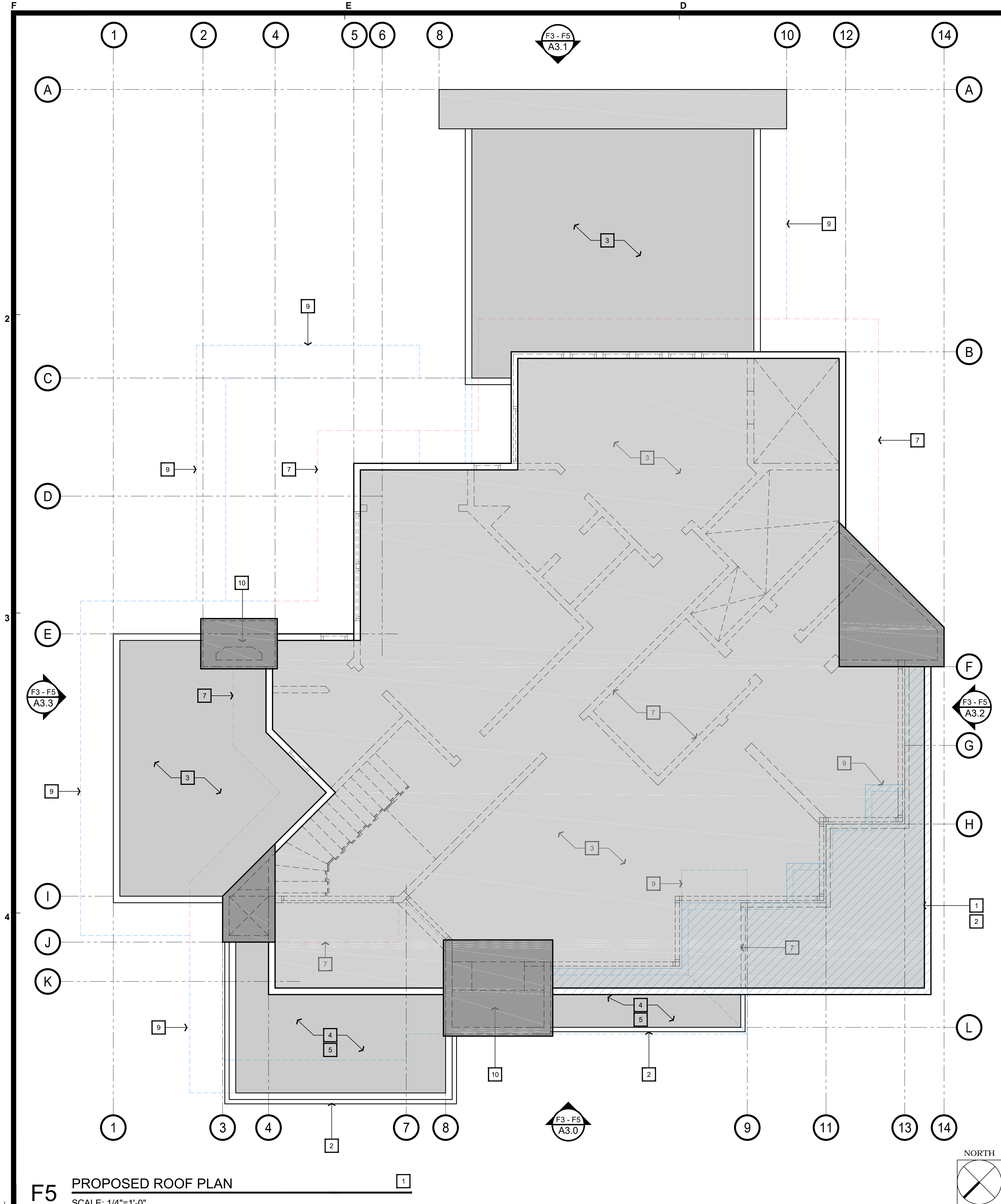
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ROOF FRAMING GENERAL NOTES:

- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION.
- B. SEE ATTIC VENTING REQUIREMENTS AND HOUSE VENTILATION ON THIS SHEET
- C. SEE SHEET A0.1 FOR:
- R302.11 FIRE BLOCKING
 - R303 NATURAL LIGHT VENTILATION & R303.9 REQUIRED HEATING
 - R806 ATTIC VENTILATION
 - R807.1 ATTIC ACCESS
 - 2016 C.B.C. TABLE 2304.9.1 FASTENING SCHEDULE
 - 2016 CALIFORNIA FIRE CODE REQUIREMENTS
 - SEE SHEET A0.1 FOR 2016 CALIFORNIA GREEN CODE REQUIREMENT

KEYNOTES

- ROOF PLYWOOD SHEATHING WITH RADIANT BARRIER TO BE 5/8" (24/OC) CDX / OSB. NAIL WITH 8d@6:6:12 TYP. U.N.O. PROVIDE EDGE NAILING @ ALL EAVES & DRAG TRUSSES.
- NEW ROOF FRAMING, PER STRUCTURAL DRAWINGS
- WATERPROOFING MATERIAL INSTALLED AT ALL NEW AN EXISTING ROOF
- IB ROOF SYSTEMS. IB 80 MIL SINGLE-PLY (TGFU R15546) INSTALL AS PER MANUFACTURE RECOMMENDATIONS
- FOR FLAT ROOF FRAMING ASSEMBLY SEE STRUCTURAL DRAWINGS
- RED DASHED LINE INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED.
- DASHED LINE WALLS BELOW.
- BLUE DASHED LINE INDICATES CONSTRUCTION TO BE DEMOLISHED BELOW.
- FIRE PLACE WITH SPARKS ARRESTOR

ATTIC VENTING REQUIREMENTS:
CHAPTER 8, R806 C.R.C 2016

- A. ATTIC SPACE VENTILATION SHALL COMPLIANT WITH CHAPTER 8, R806 C.R.C. 2016
- B. R806.0 MINIMUM AREA. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET (914 MM) ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
- C. R806.3 VENT AND INSULATION CLEARANCE. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH (25 MM) SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
- D. VENTED FRIEZE BLOCKS, EAVE VENTS, EYEBROW VENTS OR POWERED ATTIC VENTILATORS MAY BE USED IN ANY COMBINATION.
- E. EXTERIOR OPENINGS INTO THE ATTIC SPACE OF ANY BUILDING INTENDED FOR HUMAN OCCUPANCY SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, SQUIRRELS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 mm) MINIMUM AND 1/4 INCH (6.4 mm) MAXIMUM SHALL BE PERMITTED. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 mm) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENING HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 mm) AND 1/4 INCH (6.4 mm) MAXIMUM.
- F. PROVIDE UPPER AND LOWER ATTIC VENTILATION. (OPT. UPPER VENT AT GABLE OR DORMER STYLE; LOWER USE EAVE VENTS)

LEGEND

- EXISTING EXTERIOR WALLS TO REMAIN
- INTERIOR WALLS BELOW
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING EXTERIOR CONSTRUCTION TO BE DEMOLISHED

HOUSE VENTILATION

- A. VENTILATION TO COMPLY WITH THE 2013 MANDATORY MECHANICAL VENTILATION, PER STANDARDS SECTION 150(O) & 152(A)
- B. KITCHENS: EACH KITCHEN IS REQUIRED TO HAVE A DEDICATED EXHAUST FAN DUCTED TO THE OUTSIDE. IF THE KITCHEN IS EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN A MINIMUM VENTILATION RATE OF 100 CFMS IS REQUIRED. IF THE KITCHEN IS EQUIPPED WITH CONTINUOUSLY OPERATING KITCHEN FAN THE FAN MUST OPERATE AT 5 AIR CHANGES, PER HOUR.
- C. THE RANGE HOOD OVER THE STOVE MAY COMPLY WITH VENTED TO THE OUTSIDE AND HAS A MINIMUM VENTILATION RATE OF 100 CFM.
- D. WHOLE-BUILDING VENTILATION: IN ADDITION TO THE BATHROOM AND KITCHEN EXHAUST FAN, AN EXHAUST FAN SHALL BE SIZED TO PROVIDE VENTILATION FOR THE WHOLE HOUSE. THE CONDITIONED FLOOR AREA AND THE NUMBER OF BEDROOMS, IN THE HOME WILL DETERMINE THE MINIMUM VENTILATION RATE.
- E. WHOLE-BUILDING VENTILATION RATE:
VENTILATION RATE (CFM) = $\frac{CFM}{100} + 7.5 \times (\#BED + 1)$
CFM = $\frac{4,650}{100} + 7.5 \times (4)$
CFM = 46.5 + 30
CFM = 76.5
VENTILATION RATE CFM = 90 CFM

WHOLE HOUSE VENTILATION

- PROPOSED QUIET CentricAir EXHAUST(S) FOR WHOLE HOUSE VENTILATION. SEE "HOUSE VENTILATION NOTES" ON THIS SHEET.
- MAX. SOUND RATING OF 1 SONE
 - INSTALL AS PER MANUFACTURE RECOMMENDATIONS
 - COORDINATE WITH MECH. DESING-BUILT INSTALLER
 - LEVEL OR SIGN IS REQUIRED AT CONTROLLER OF SWITCH TO INFORM THE OCCUPANT THAT THE FRESH AIR VENTILATOR IS A WHOLE HOUSE VENTILATION FAN THAT SHOULD OPERATE WHENEVER THE BUILDING IS OCCUPIED.

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PROPOSED ROOF PLAN
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