

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

BESHOFF (PLN170651)

RESOLUTION NO. 18-009

Resolution by the Monterey County Zoning
Administrator:

- 1) Considering an addendum together with the Mitigated Negative Declaration; and
- 2) Approving an Amendment to a previously approved Coastal Development Permit (PLN050591) to allow:
 - 1) Reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs;
 - 2) Relocating and modifying previously approved barbeque & fireplace;
 - 3) Removing 463 square foot covered entry walkway (Pergola);
 - 4) Replacing and widening concrete driveway, net reduction 195 square feet;
 - 5) Remodeling Garage #2 to include an art studio, bath and deck with trellis;
 - 6) Updating Garage #1 by adding new doors and windows, siding and roof;
 - 7) Replacing the existing propane tank;
 - 8) Revising site walls to create a courtyard at entry;
 - 9) Changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval (PLN150884);

In addition to these changes, these three entitlements are carried over from the original Coastal Development Permit:

- 10) Development within 50 feet of a Coastal bluff;
- 11) Coastal Development Permit for development within 750 feet of a known archaeological resource; and
- 12) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat).

[PLN170651, LLC, 29300 Highway 1, Carmel,
(APN: 241-071-002-000)] Carmel Area Land Use
Plan

The Amendment to a Coastal Development Permit application (PLN150591) came on for public hearing before the Monterey County Zoning Administrator on February 22, 2018.

Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan;
 - Monterey County Coastal Implementation Plan Part 4;
 - Monterey County Zoning Ordinance (Title 20);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The property is located at 29300 Highway 1, Carmel, Carmel Area Land Use Plan (Assessor's Parcel Number 241-071-002-000), Carmel Area Land Use Plan. The parcel is zoned "LDR/1-D (CZ)" [Low Density Residential/1 unit per acre, Design Control District, (Coastal Zone)], which allows residential development to accommodate low density and intensity uses in the rural and suburban areas of the County. The project was designed and sited to be consistent with the Carmel Area Land Use Plan policies and the site development standards required of this district. Therefore, the project is an allowed land use for this site.
 - c) Original Projects. On November 18, 2010, two discretionary permits were approved by the Zoning Administrator under one Resolution (10-045), 1) a Coastal Development Permit (PLN050591) was approved for the extensive remodel of an existing residence within 50 feet of a coastal bluff; including an increase in height, and changes to exterior wall materials, doors, and windows; removal of 550 square feet of concrete driveway and patios; and new pergola from parking to residence; and 2) a Combined Development Permit (PLN150708) was approved for a Coastal Development Permit and Design Approval to replace three retaining walls (approximately 200 feet in total length) to protect existing house from coastal bluff erosion, replace storm drain, and fill eroded drainage channel; a Coastal Development Permit for development on slopes in excess of 30%; and a Coastal Development Permit for development within 750 feet of a known archaeological resource; a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat); grading of approximately 650 cubic yards of fill.
 - d) Design Approval. On February 2, 2016, an Administrative Design Approval (PLN150884) was approved to allow the remodel of existing residence, exterior changes in roof & wall materials, removal of 608 square foot of driveway for the construction of new 463 square foot pergola & new landscape. Materials to consist of cedar siding, synthetic slate roof, copper gutters, steel doors & windows, and stone veneer. Colors to consist of light brown stain, grey- green roof, dark bronze doors & windows, caramel beige stone. This amendment proposes

minor changes to include roof changes, window patterns, materials will consist of real slate not synthetic, plaster siding with cedar trim in lieu of all cedar siding. The new colors are similar as the previously approved colors. The modifications are not visible from Highway 1 or from any public viewing area. Therefore, the changes proposed are consistent with the design criteria and public viewshed policies within the Carmel Area Land Use Plan.

- e) Amendment: This amendment allows: 1) reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs; 2) relocating and modifying previously approved barbeque & fireplace; 3) removing 463 square foot covered entry walkway (Pergola); 4) replacing and widening concrete driveway, net reduction 195 square feet; 5) remodeling Garage #2 to include an art studio, bath and deck with trellis; 6) updating Garage #1 by adding new doors and windows, siding and roof; 7) replacing the existing propane tank; 8) revising site walls to create a courtyard at entry; and 9) Changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval. Previous development entitlements would be carried over. They are: Development within 50 feet of a Coastal bluff; Coastal Development Permit for development within 750 feet of a known archaeological resource; and a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat).
- f) Revised Project: The final project consists of: 1) reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs; 2) relocating and modifying previously approved barbeque & fireplace; 3) removing 463 square foot covered entry walkway (Pergola); 4) replacing and widening concrete driveway, net reduction 195 square feet; 5) remodeling Garage #2 to include an art studio, bath and deck with trellis; 6) updating Garage #1 by adding new doors and windows, siding and roof; 7) replacing the existing propane tank; 8) revising site walls to create a courtyard at entry; and 9) changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval; 10) Development within 50 feet of a Coastal bluff; 11) Coastal Development Permit for development within 750 feet of a known archaeological resource; and 12) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat).
- g) No Violations. The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- h) LUAC. The project was not referred to the Carmel Highlands/Unincorporated Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, staff determined the changes were not substantial enough to require review and made the decision not to send it back to the LUAC. The original LUAC recommended approval (5-0 vote) of the original project. The 2016 Design Approval was not referred to the LUAC. These changes cannot be seen from Highway 1 or from any public viewing area.

- i) The project planner conducted a site inspection on November 23, 2017, to verify that the project on the subject parcel conforms to the plans listed above.
 - j) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170651.

- 2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Carmel Highlands Fire District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development.
- b) The following updated report was prepared for the revised project:
 - “Geotechnical Update” (LIB170371) prepared by Haro, Kasunich and Associates, Inc., Watsonville, CA, July, 2016.
 - “Follow up Archaeological Letter” (LIB180080) prepared by Archaeological Consulting, Salinas, CA, March 2012.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- 3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:** a) The project was reviewed by the RMA - Planning, CDF –Carmel Highlands Fire, RMA Public Works, Environmental Health Bureau, RMA Environmental Services, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are provided by an existing onsite water system and an existing septic system.

- 4. **FINDING:** **CEQA (Addendum):** - An Addendum to a previously certified Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted MND.
- EVIDENCE:** a) A Mitigated Negative Declaration (MND) was prepared for PLN050591/PLN050708 and was circulated between August 30, 2010 and September 30, 2010. Pursuant to the California Environmental

Quality Act (CEQA) Guidelines Section 15162, when an MND has been certified, no subsequent MND shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been presented or determined to prepare a subsequent MND.

- b) An Addendum to the Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164 (CEQA Guidelines). The MND adopted for the previous project identified potential impacts to aesthetics, biological resources, cultural resources, and geology/soils. The proposed project will have the same or fewer impacts than the previous project.
- c) There were six mitigation measures with the original project. Mitigation Measures #1 and #2, were included for the protection of visual resources. It was determined that although the colors and materials have substantially changed from the original approval, the size and mass have not changed. Reduction of Garage #2 for the addition of the art studio would be facing the ocean. Site visit determined that both structures cannot be seen from Highway 1 or from Point Lobos. Mitigation Measure #3 required a reassessment during the blooming season of the buckwheat plants with recommendations to protect them and a follow up habitat restoration plan once the retaining walls were installed. The biologist submitted a location survey and a habitat restoration letter once the retaining wall areas were completed. Mitigation Measures #4 and #5 included onsite monitoring and final reporting of archaeological resources. The final archaeological report for the original project concluded there were no cultural materials present within the proposed development. An updated archaeological report for the changes under Design Approval PLN150884, required continued archaeological monitoring. For the current changes, it was determined that prior grading would have removed the potential for any archaeological resources, however, it was recommended that the standard condition, "If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery" be applied to this amendment (see condition #3). Mitigation Measure #6 included geotechnical recommendations specifically for the construction of the retaining walls and reinforcement of the house foundation. This work has already been completed.
- d) No adverse environmental effects were identified other than what was analyzed in the MND during staff review of the development application during site visit November 23, 2017.

5. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission
- EVIDENCE:** a) Section 20.86.030 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.
- b) Section 20.86.080 of the Monterey County Zoning Ordinance states that the proposed project is subject to appeal by/to the Coastal Commission because the project is located between the sea and the first through public road paralleling the sea, which is Highway 1.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Considered an addendum together with the Mitigated Negative Declaration; and
2. Approved an Amendment to a previously approved Coastal Development Permit (PLN050591) to allow:
 - a. Reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs;
 - b. Relocating and modifying previously approved barbeque & fireplace;
 - c. Removing 463 square foot covered entry walkway (Pergola);
 - d. Replacing and widening concrete driveway, net reduction 195 square feet;
 - e. Remodeling Garage #2 to include an art studio, bath and deck with trellis;
 - f. Updating Garage #1 by adding new doors and windows, siding and roof;
 - g. Replacing the existing propane tank;
 - h. Revising site walls to create a courtyard at entry;
 - i. Changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval (PLN150884);In addition to these changes, these three entitlements are carried over from the original Coastal Development Permit
 - j. Development within 50 feet of a Coastal bluff;
 - k. Coastal Development Permit for development within 750 feet of a known archaeological resource; and
 - l. a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat);

In general conformance with the attached plans and subject to the conditions, both being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 22nd day of February, 2018 upon motion of



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **FEB 26 2018**.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **MAR 08 2018**

(Coastal Projects)

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170651

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Amendment (PLN170651) allows 1) Reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs; 2) Relocating and modifying previously approved barbeque & fireplace; 3) Removing 463 square foot covered entry walkway (Pergola); 4) Replacing and widening concrete driveway, net reduction 195 square feet; 5) Remodeling Garage #2 to include an art studio, bath and deck with trellis; 6) updating Garage #1 by adding new doors and windows, siding and roof; 7) Replacing the existing propane tank; 8) Revising site walls to create a courtyard at entry; 9) Changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval (PLN150884); 10) Development within 50 feet of a Coastal bluff; 11) Coastal Development Permit for development within 750 feet of a known archaeological resource; and 12) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat). The property is located at 29300 Highway 1, Carmel, (Assessor's Parcel Number 241-071-003-000), Carmel Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "An Amendment to previously approved Coastal Development Permit (Resolution Number 18-009) was approved by the Zoning Administrator for Assessor's Parcel Number 241-071-002-000 on February 22, 2018. The permit was granted subject to conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be Performed: shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.
Monitoring
Action to be Performed:

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.



WHENMOUTH
APN: 241-071-003

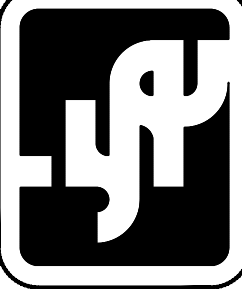
O'BRIEN
APN: 241-071-002

EBBIT
APN: 241-071-006

EXISTING SITE PLAN

1"=10'-0"

DATE	REVISION

**Jon Sather Erlandson** Architect - C11925
Junipero Street 2 SW of 4th Avenue, Carmel By The Sea
MAIL: Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Email: js@jonerlandson.com

BESHOFF RESIDENCE

29300 Highway One
Carmel, California 93923

Job Number
2015-05

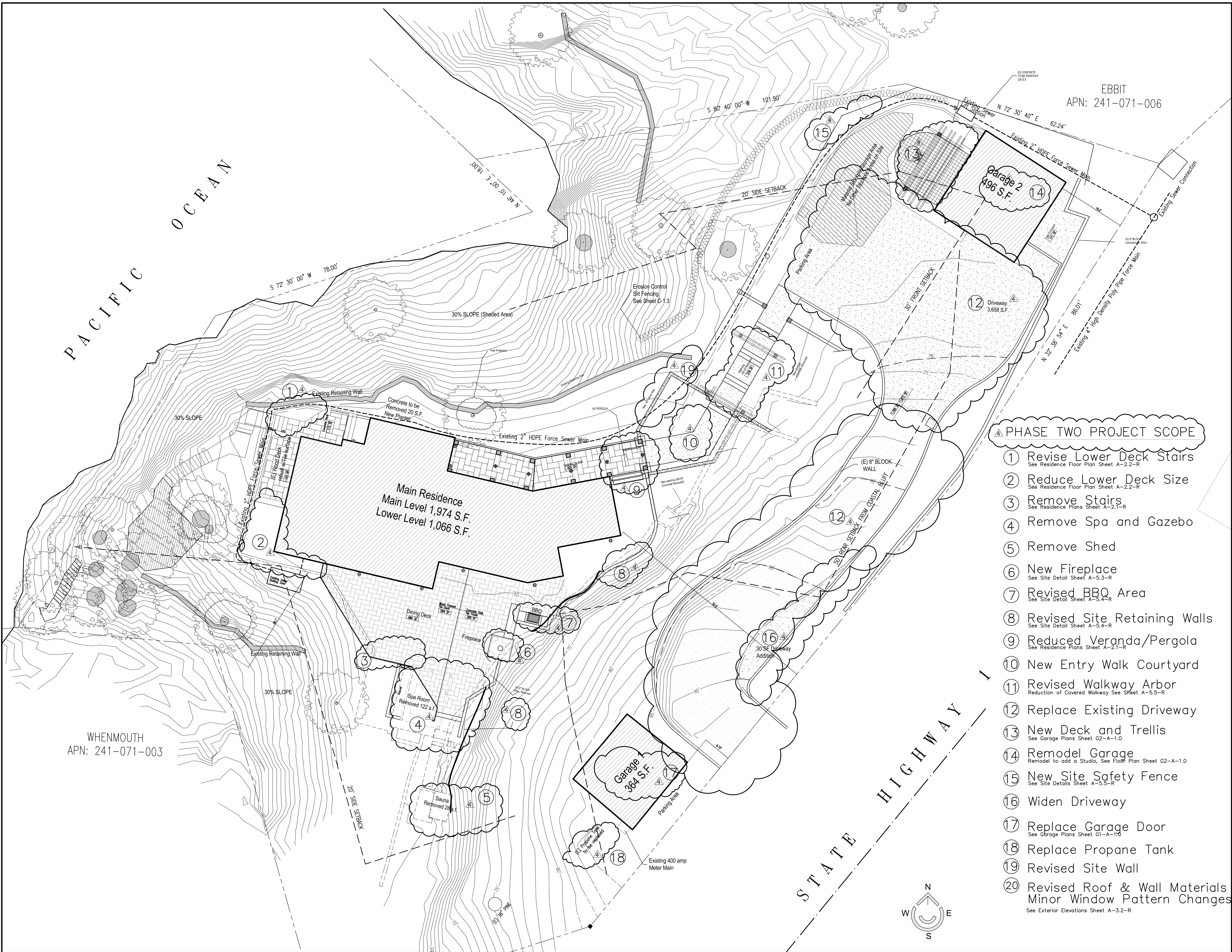
Drawn By:
JSE

Date
12-21-2015

Revisions

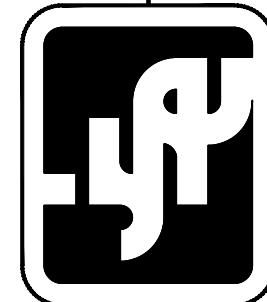
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of: Sheets

EXISTING SITE PLAN



DATE	REVISION
6/4/16	Plan Check Corrections
6/27/17	Plan Changes Phase 2

Jon Sather Erlandson Architect - C11925
Junipero Street 2 SW of 4th Avenue, Carmel By The Sea
MAL: Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Email: jon@onerlandson.com



PHASE TWO PROJECT SCOPE

1. Revise Lower Deck Stairs
See Residence Floor Plan Sheet A-2.2-R
2. Reduce Lower Deck Size
See Residence Floor Plan Sheet A-2.2-R
3. Remove Stairs
See Residence Plans Sheet A-2.1-R
4. Remove Spa and Gazebo
5. Remove Shed
6. New Fireplace
See Site Detail Sheet A-5.3-R
7. Revised BBQ Area
See Site Detail Sheet A-5.4-R
8. Revised Site Retaining Walls
See Site Detail Sheet A-5.4-R
9. Reduced Veranda/Pergola
See Residence Plans Sheet A-2.1-R
10. New Entry Walk Courtyard
11. Revised Walkway Arbor
Reduction of Covered Walkway See Sheet A-5.5-R
12. Replace Existing Driveway
13. New Deck and Trellis
See Garage Plans Sheet G2-A-1.0
14. Remodel Garage
Remodel to add a Studio, See Floor Plan Sheet G2-A-1.0
15. New Site Safety Fence
See Site Details Sheet A-5.5-R
16. Widen Driveway
17. Replace Garage Door
See Garage Plans Sheet G1-A-1.0
18. Replace Propane Tank
19. Revised Site Wall
20. Revised Roof & Wall Materials
Minor Window Pattern Changes
See Exterior Elevations Sheet A-3.2-R

BESHOFF RESIDENCE
29300 Highway One
Carmel, California 93923

Job Number	Drawn By:
2015-05	JSE

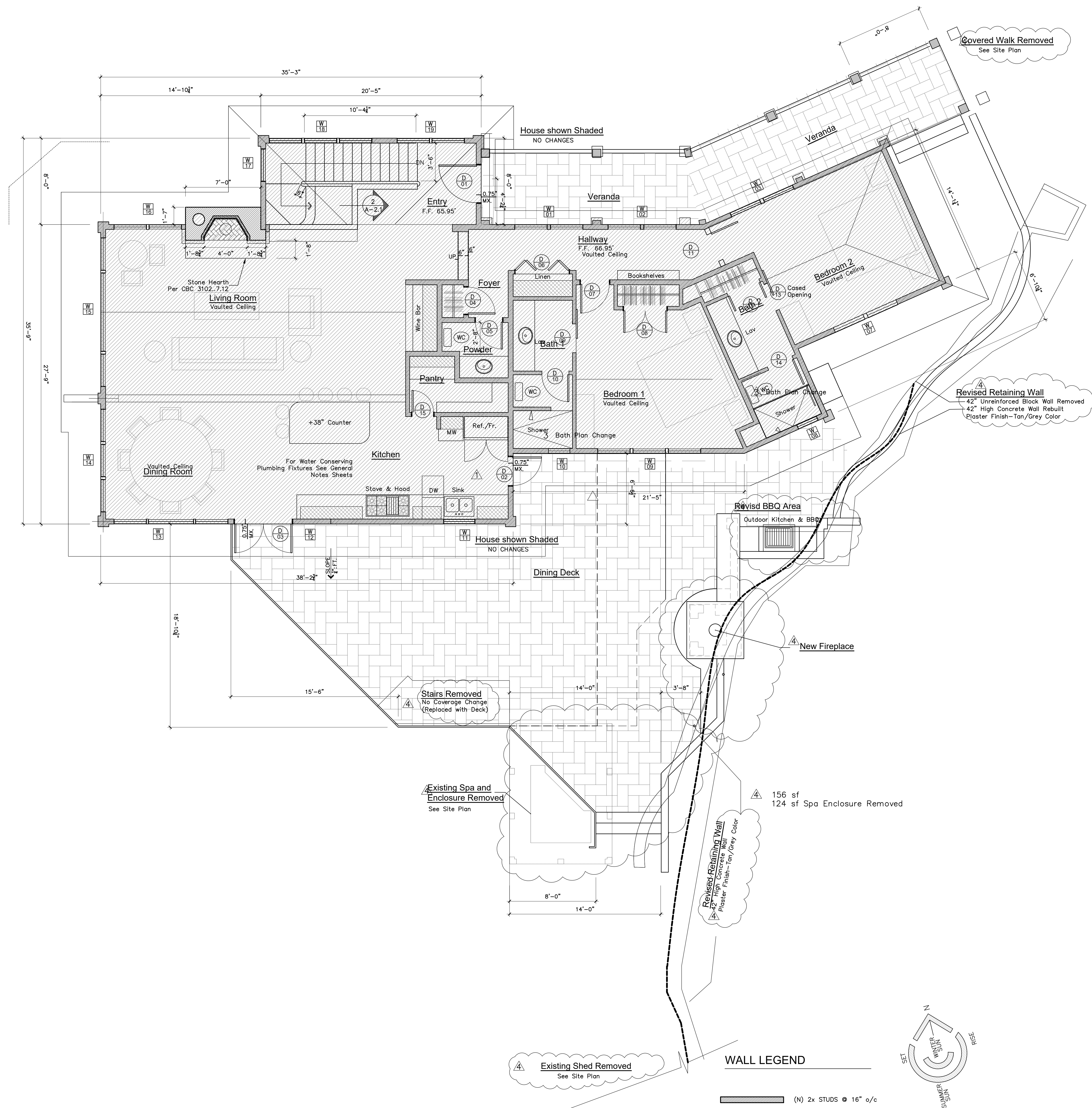
Date	Revisions
12-21-2015	10-17-2017

Sheet Number	of:	Sheets
C-1.2-R		

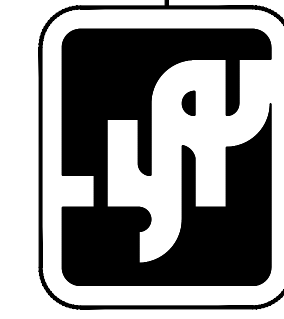
PROPOSED SITE PLAN

PROPOSED SITE PLAN with UTILITIES and SITE LIGHTING

Scale: 1/8" = 1'-0"



DATE	REVISION
6/4/16	Plan Check Corrections
7/12/16	Back Check Corrections
06/27/17	Back Check Corrections

**Jon Sather Erlandson**
Architect - C11925
Junipero Street 2 SW of 4th Avenue, Carmel By The Sea
MAIL: Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Email: jon@onerlandson.com

BESHOFF RESIDENCE
Carmel, California 93923
28300 Highway One

Job Number
2015-05

Drawn By:
JSE

Date
12-21-2015

Revisions
10-17-2017

Sheet Number
A-2.1-R
of: Sheets

MAIN LEVEL FLOOR PLAN

MAIN LEVEL FLOOR PLAN 1/4"=1'-0"

 **Jon Sather Erlandson** Architect—C11925

Junipero Street 2 SW of 4th Avenue, Camel By The Sea

MALL: Post Office Box 7108 Camel, California 93921
Phone: (831) 625-4163
Email: jon@jonerlandson.com

Job Number 2015-05	Drawn By: JSE
Date 12-21-2015	Revisions 10-17-2017

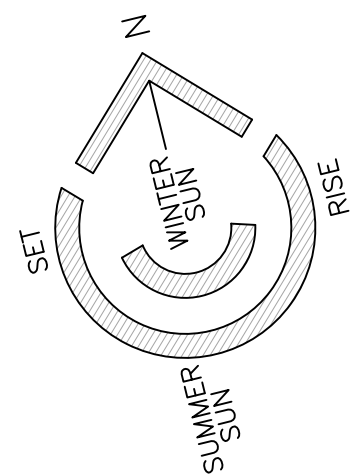
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LOWER LEVEL FLOOR PLAN





**Jon Sather Erlandson** Architect - C11925
Junipero Street 2 SW of 4th Avenue, Carmel By The Sea
MAL: Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Email: jon@jonderlandson.com

29300 Highway One
Carmel, California 93923

Sheet Number

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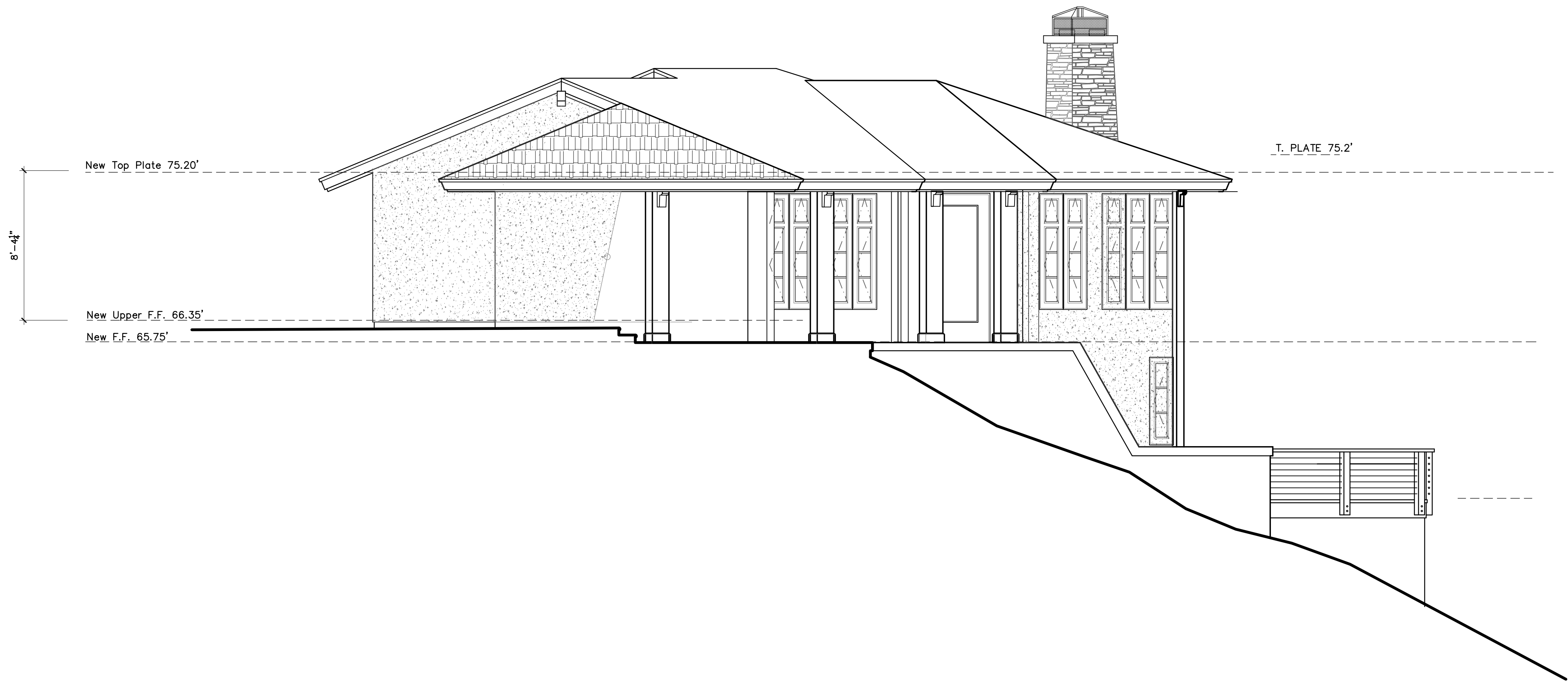
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ROOF PLAN



RESIDENCE NORTH ELEVATION

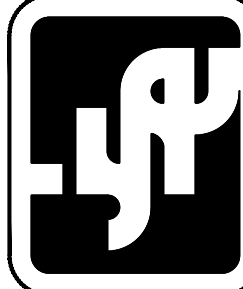
SCALE: 1/4"=1'-0"



PROPOSED EAST ELEVATION

Scale 1/4"=1'-0"

DATE	REVISION
6/4/16	Plan Check Corrections
2/16/17	Both Plan Changes Window Changes
10/17/17	Roof Material Change Wall Material Change



Jon Sather Erlandson
Architect - C11925
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MAL: Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Email: jon@jserlandson.com

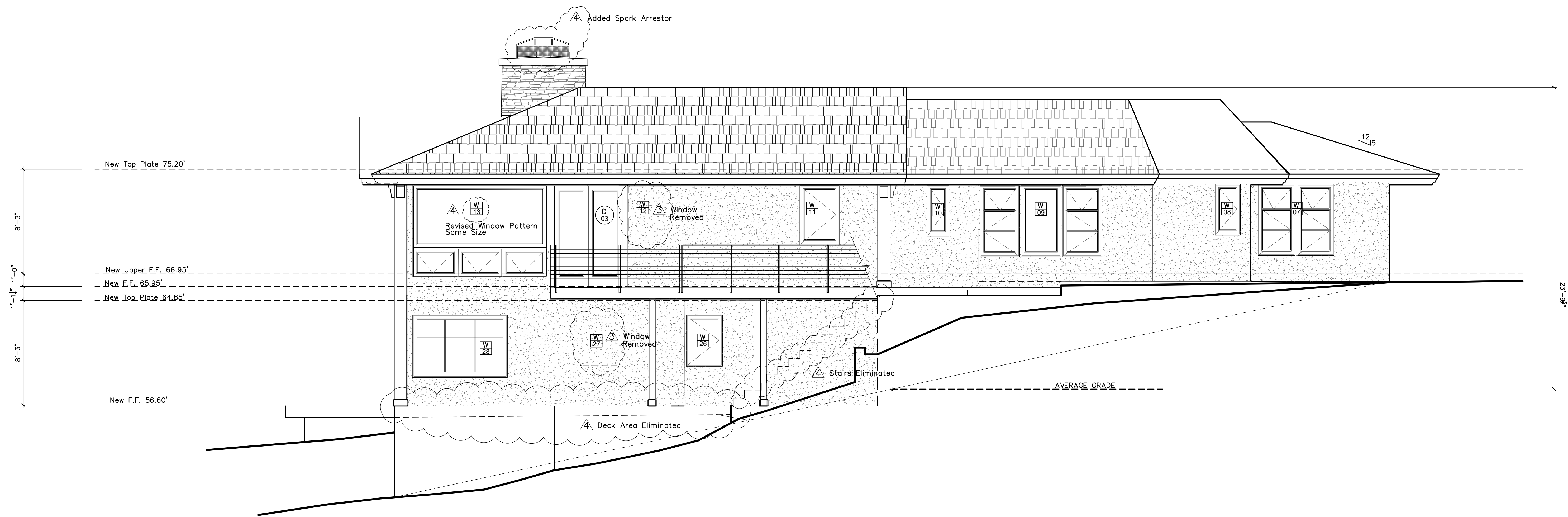
BESHOFF RESIDENCE
29300 Highway One
Carmel, California 93923

Job Number 2015-05	Drawn By: JSE
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Date 12-21-2015	Revisions 10-17-2017
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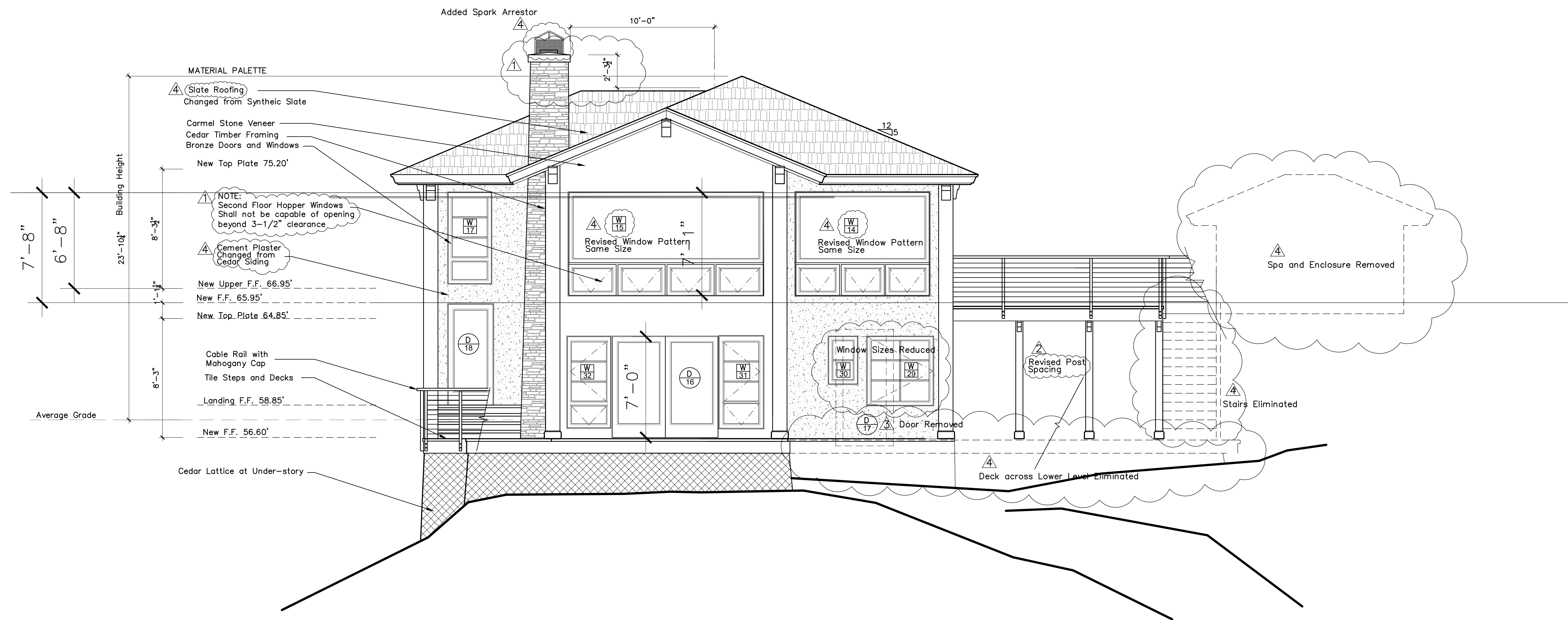
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EXTERIOR ELEVATIONS



PROPOSED SOUTH ELEVATION

SCALE: 3/4"=1'-0"

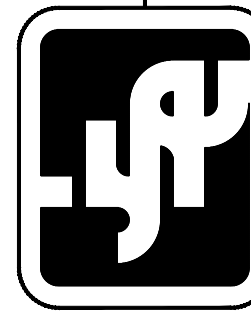


PROPOSED WEST ELEVATION

1/4"=1'-0"

DATE	REVISION
6/4/16	Plan Check Corrections
7/12/16	Back Check Corrections
2/16/17	Interior Floor Plan and Exterior Window Changes
10/17/17	Roof Material Change Wall Material Change

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Job Number
2015-05

Drawn By:
JSE

Date
12-21-2015

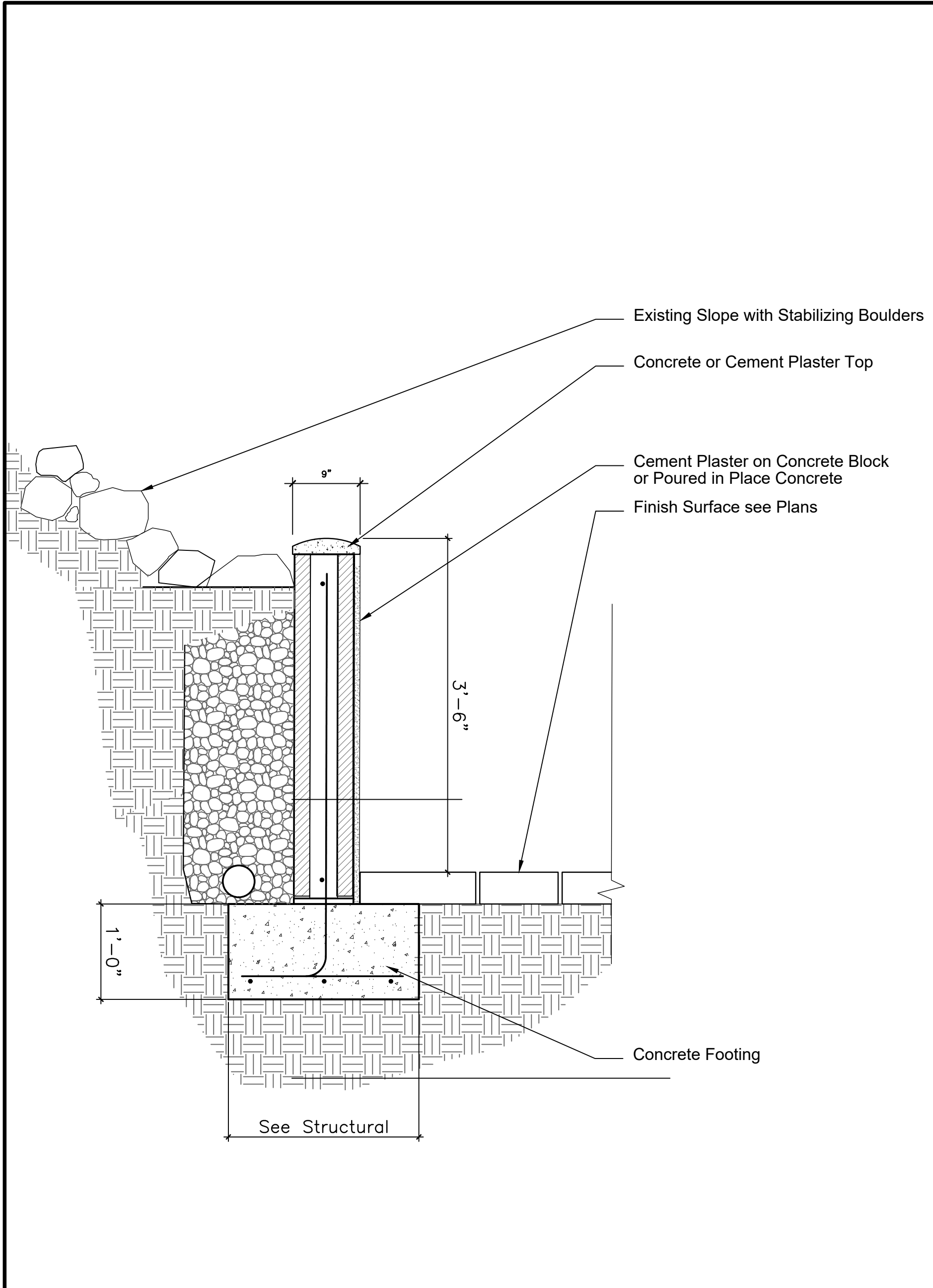
Revisions
10-17-2017

Sheet Number

A-3.2-R

of: Sheets

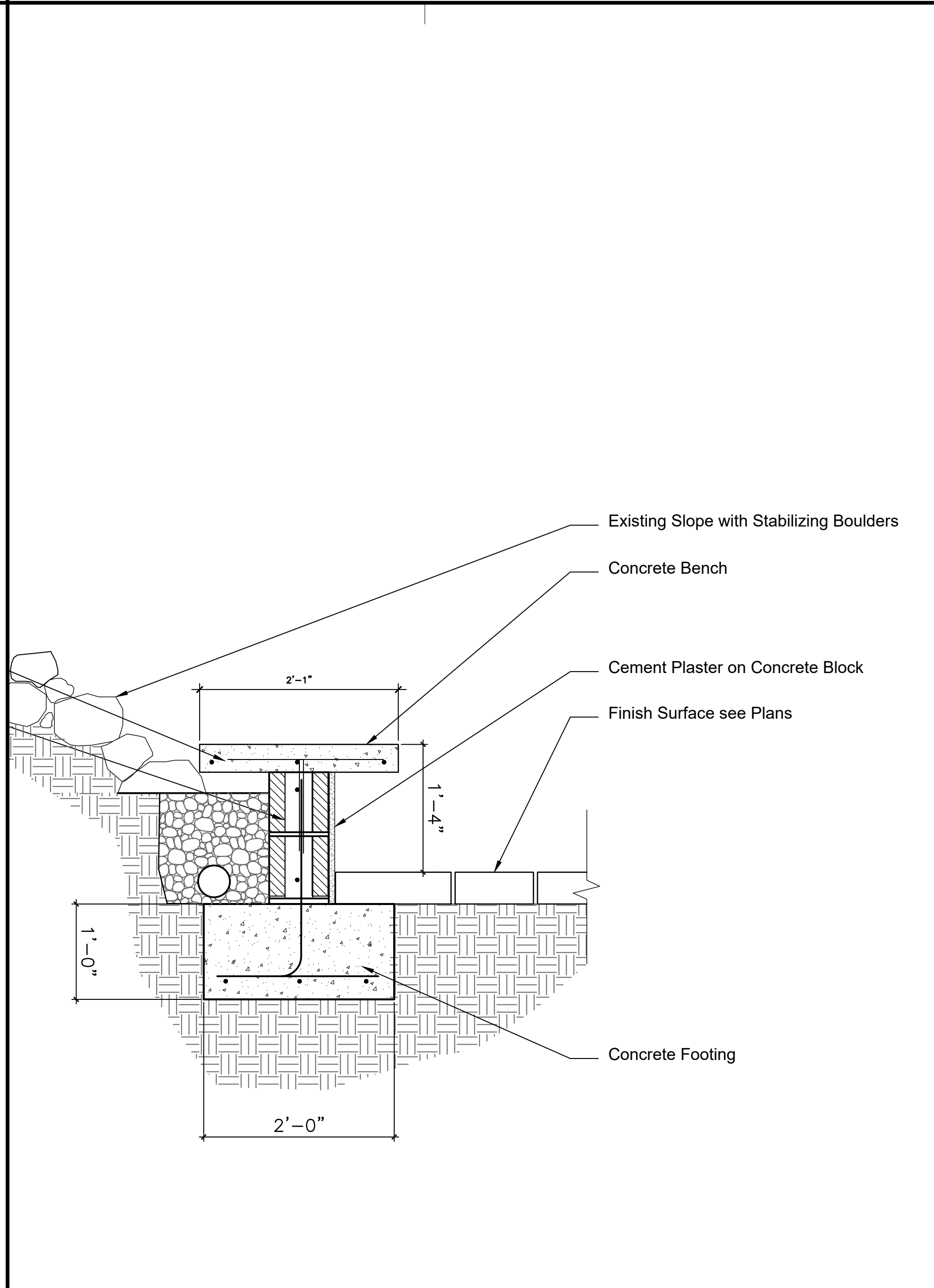
EXTERIOR ELEVATIONS



SITE RETAINING WALL SECTION

Scale: 1"=1'-0"

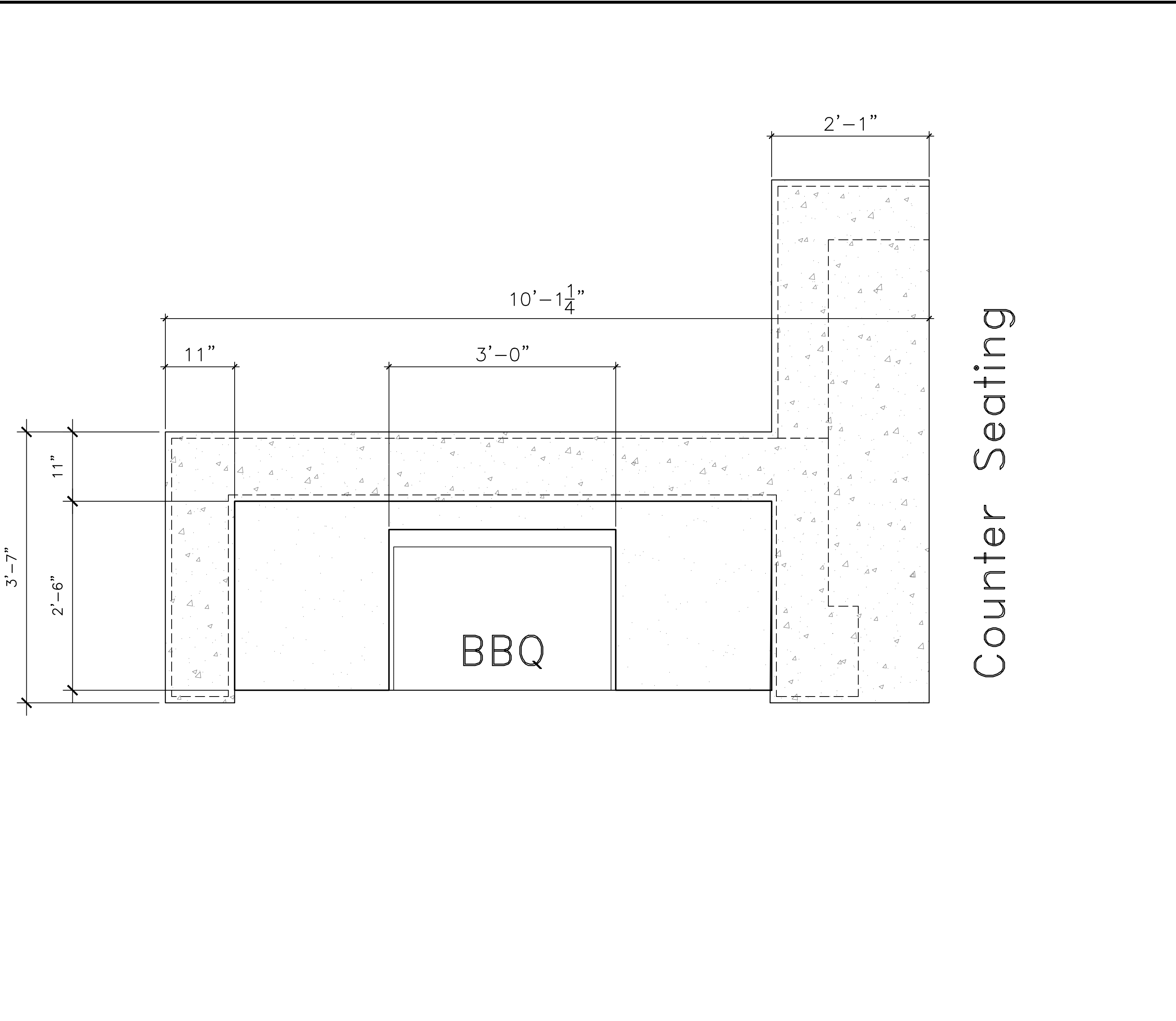
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SITTING WALL SECTION

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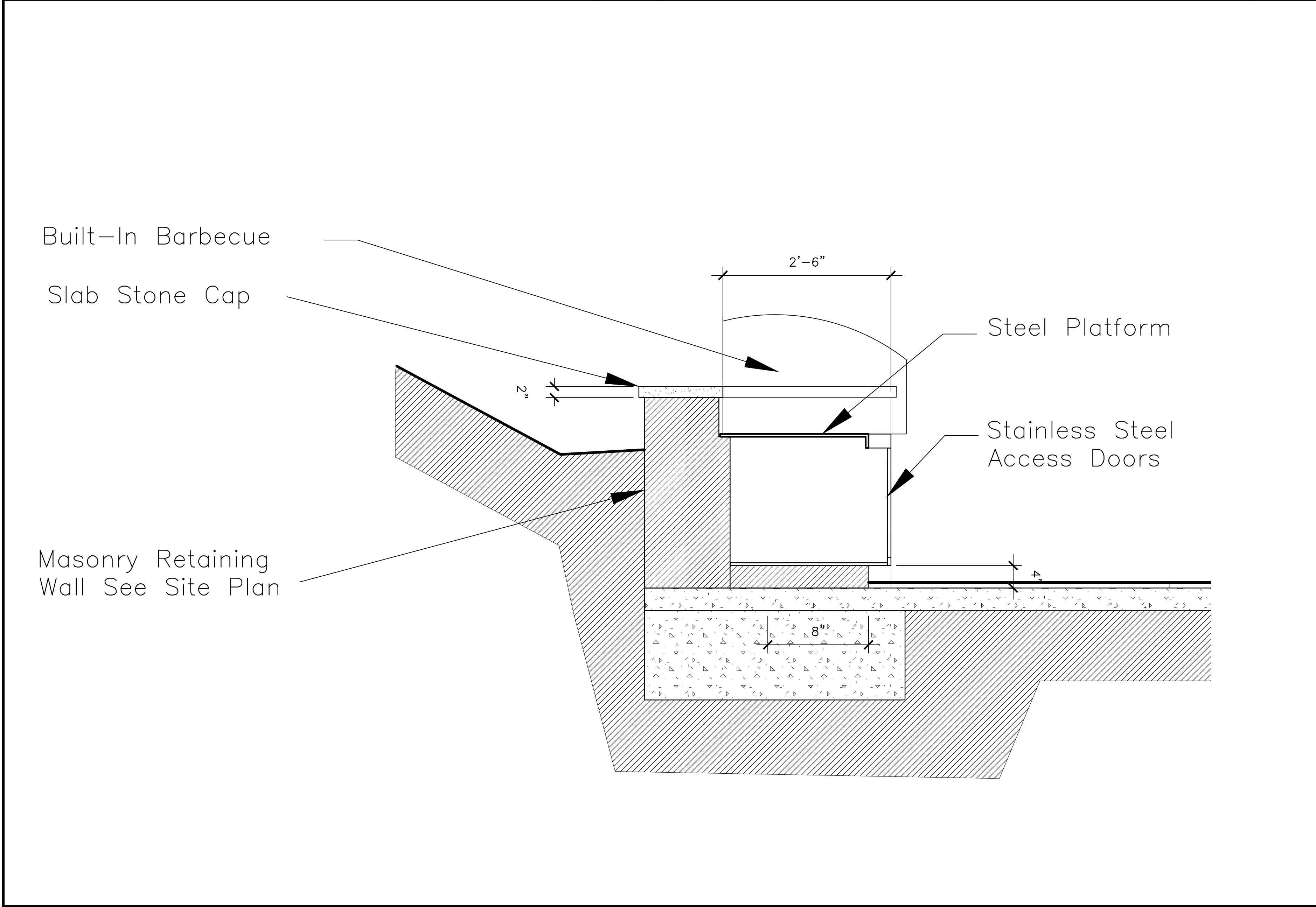
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EXTERIOR KITCHEN PLAN

Scale: 1"=1'-0"

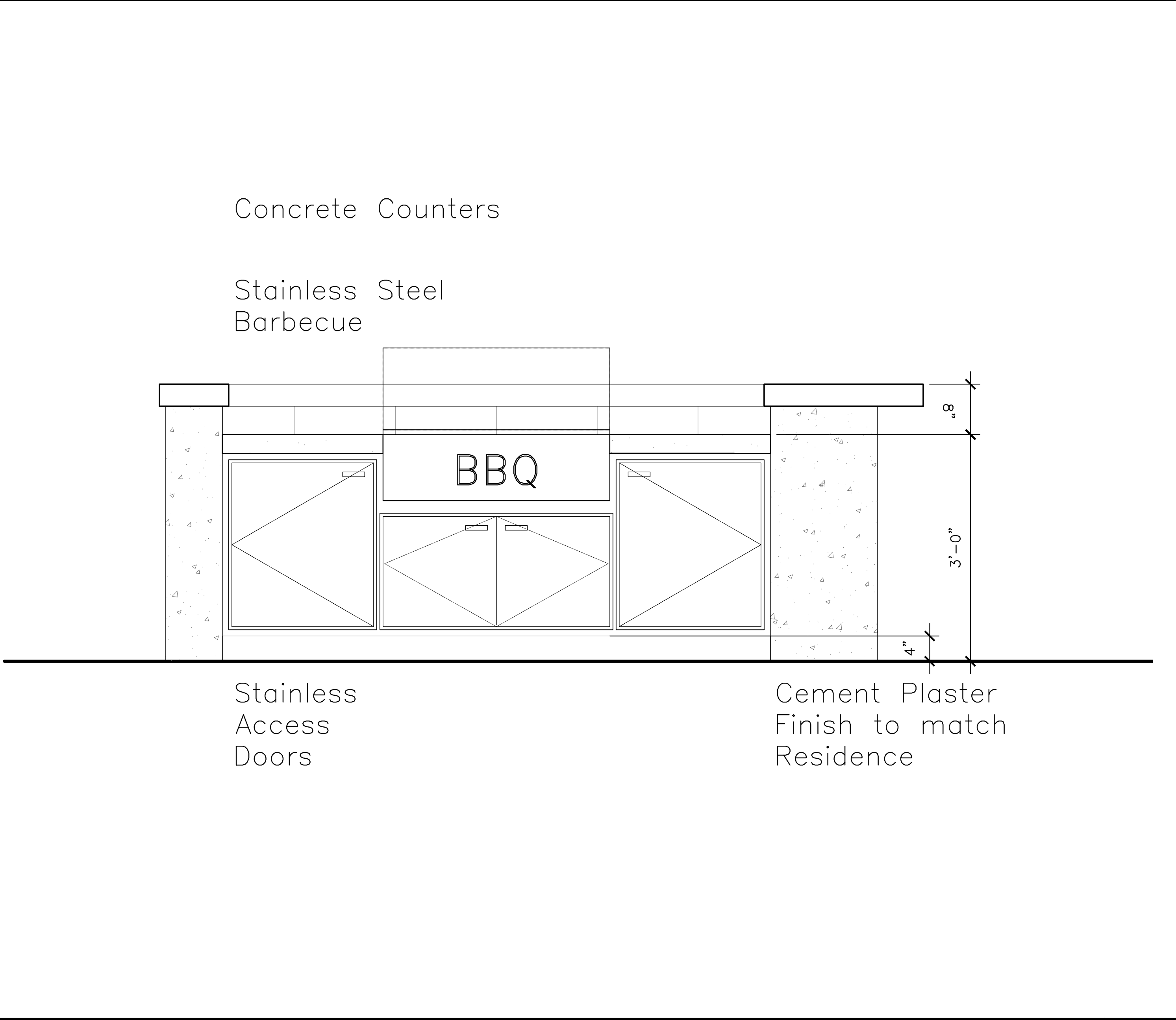
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SITTING WALL SECTION

Scale: 1"=1'-0"

4



EXTERIOR KITCHEN ELEVATION

Scale: 1"=1'-0"

5

DATE	REVISION
6/4/16	Plan Check Corrections
7/26/17	Phase 2 Changes



Jon Sather Erlandson Architect - C11925
Junipero Street 2 SW of 4th Avenue, Carmel By The Sea
MAL: Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Email: jon@jserlandson.com

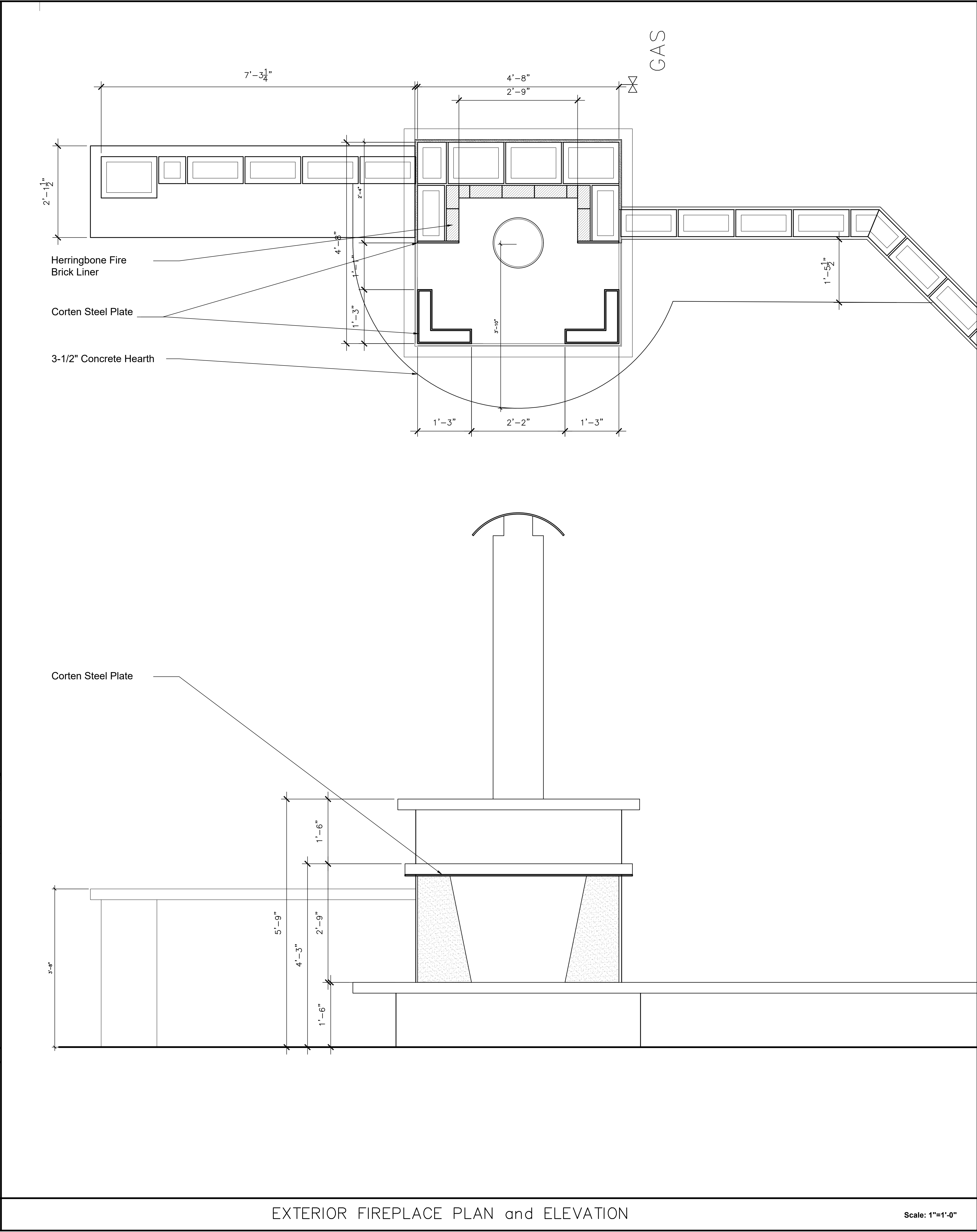
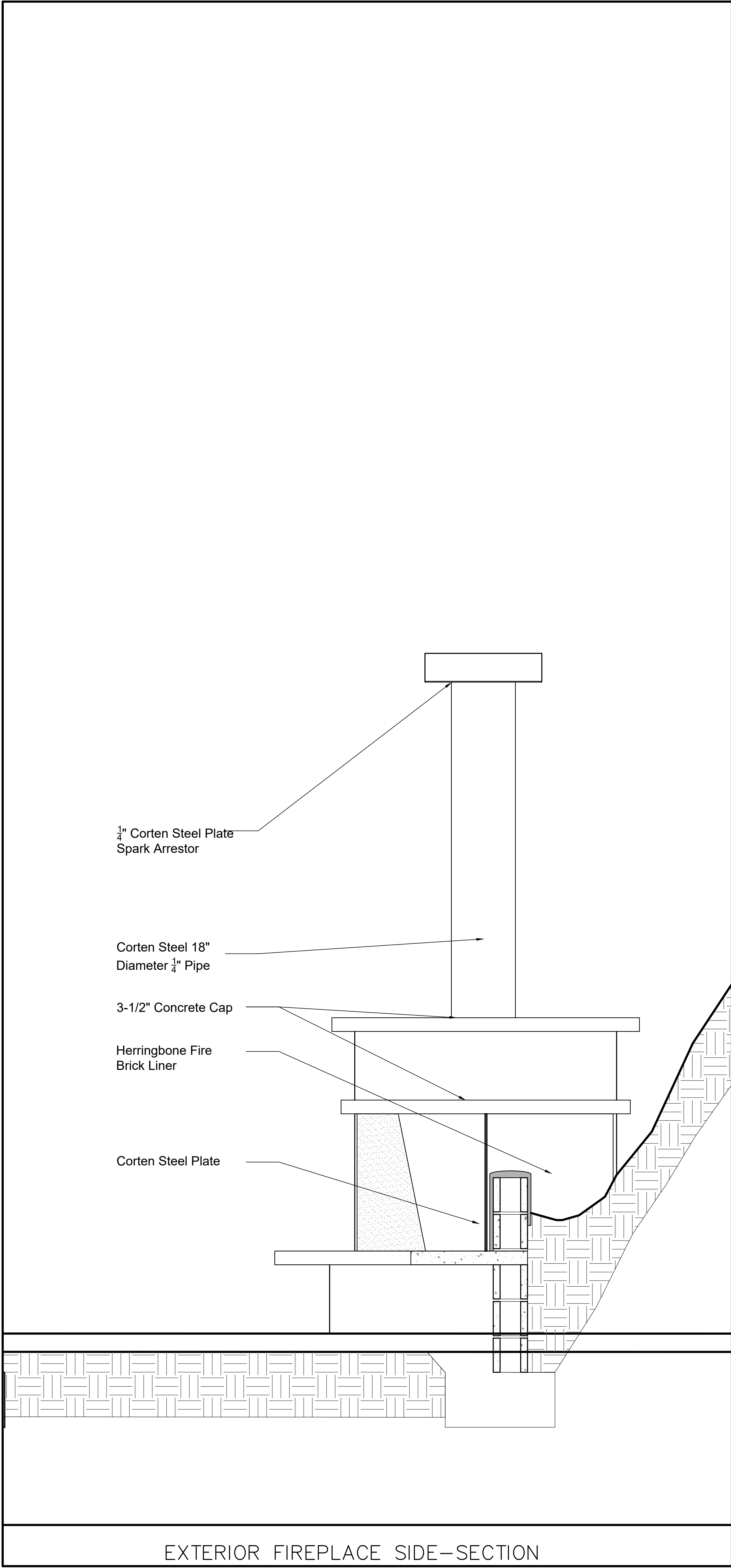
BESHOFF RESIDENCE
28300 Highway One
Carmel, California 93923

Job Number 2015-05	Drawn By:
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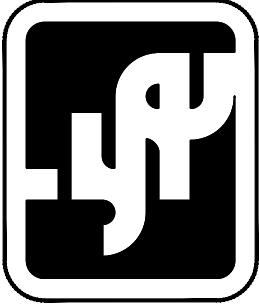
Date 12-21-2015	Revisions 10-17-2017
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Sheet Number
A-5.2.R
of
New Sheet
4
Sheets

SITE DETAILS



DATE	REVISION
6/4/16	Plan Check Corrections
7/26/17	Phase 2



Jon Sather Erlandson Architect - C11925
Junipero Street 2 SW of 4th Avenue, Carmel By The Sea
MAIL: Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Email: jon@jserlandson.com

BESHOFF RESIDENCE
28300 Highway One
Carmel, California 93923

Job Number 2015-05	Drawn By:
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Date 12-21-2015	Revisions 10-17-2017
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Sheet Number

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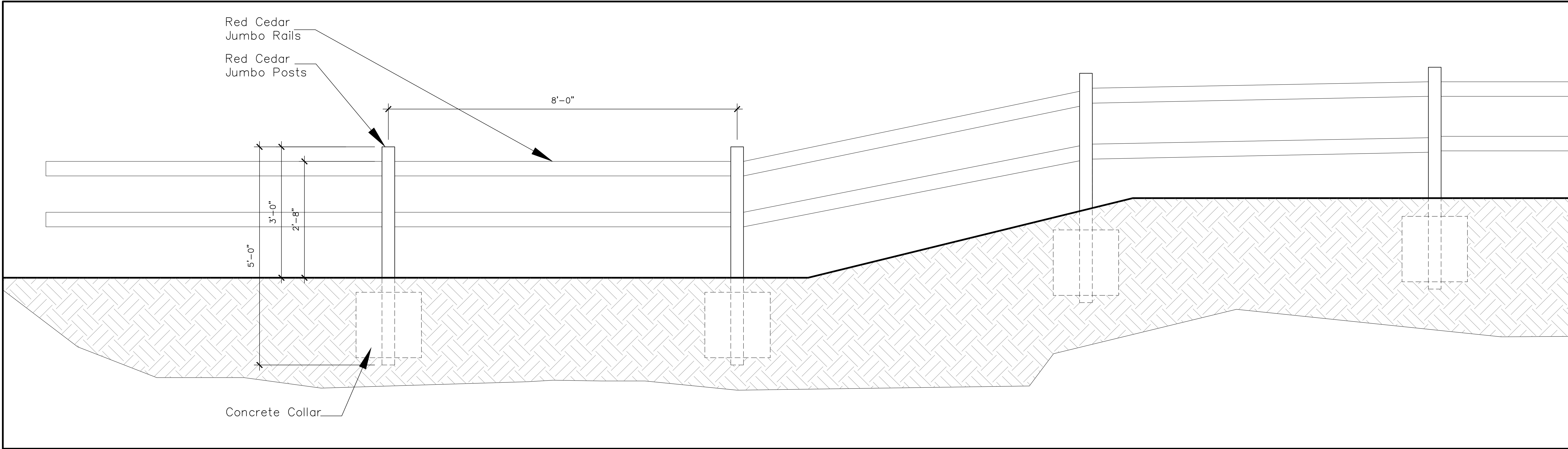
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of

Sheets

EXTERIOR FIREPLACE

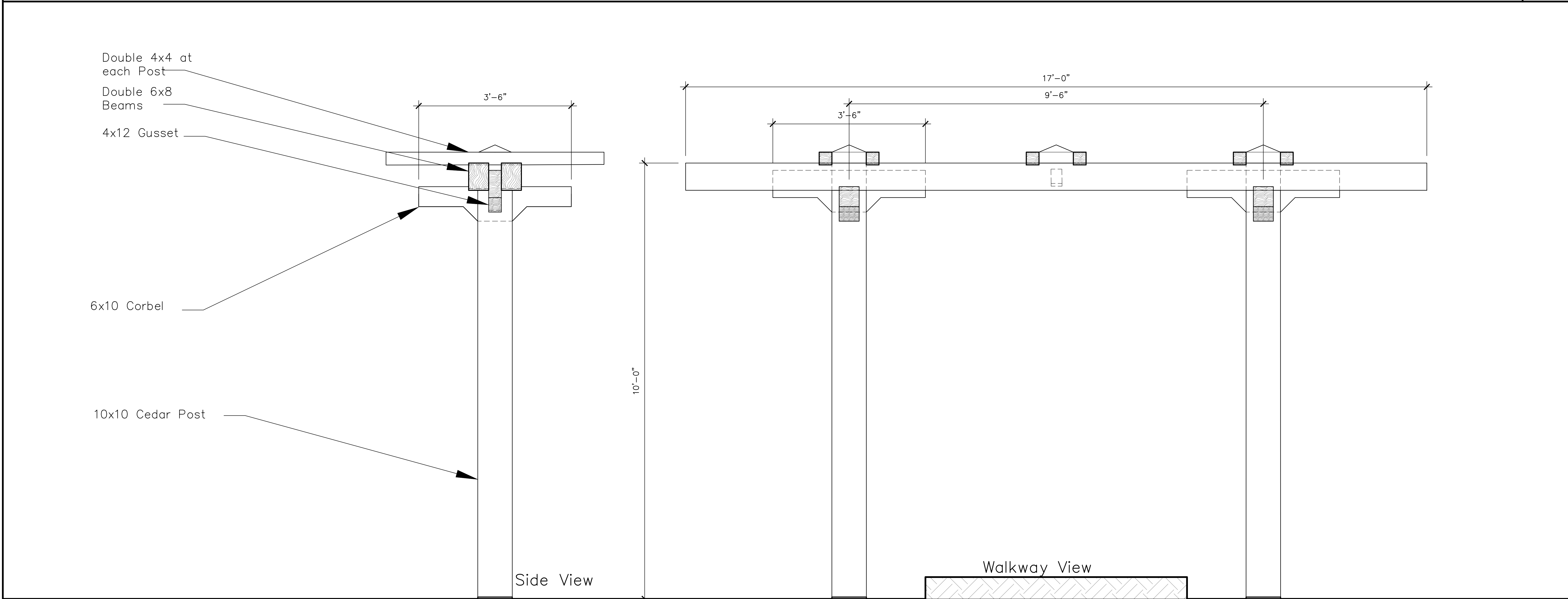
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Site Fence

Scale: 1/2"=1'-0"

2

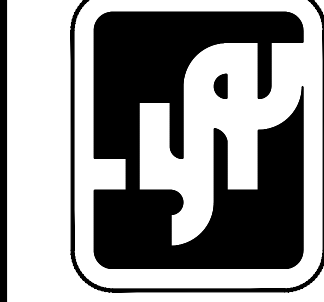


WALKWAY ARBOR DETAILS

Scale: 1"=1'-0"

2

DATE	REVISION
7/26/17	Phase 2



Jon Sather Erlandson Architect - C11925
Junipero Street 2 SW of 4th Avenue, Carmel By The Sea
MAL: Post Office Box 7108 Carmel, California 93921
Phone: (831) 625-6163 Email: jon@onerlandson.com

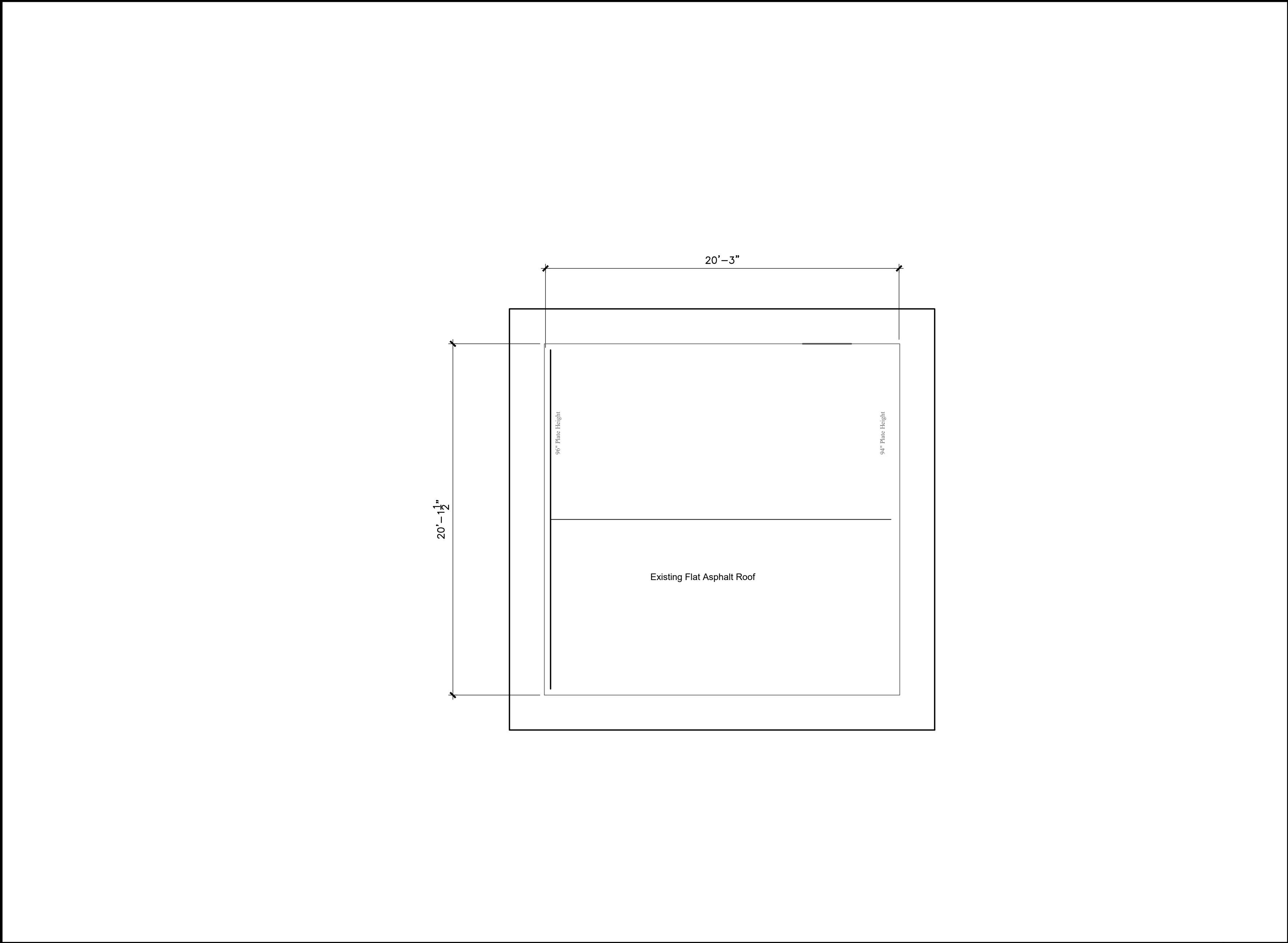
BESHOFF RESIDENCE
28300 Highway One
Carmel, California 93923

Job Number 2015-05	Drawn By: JSE
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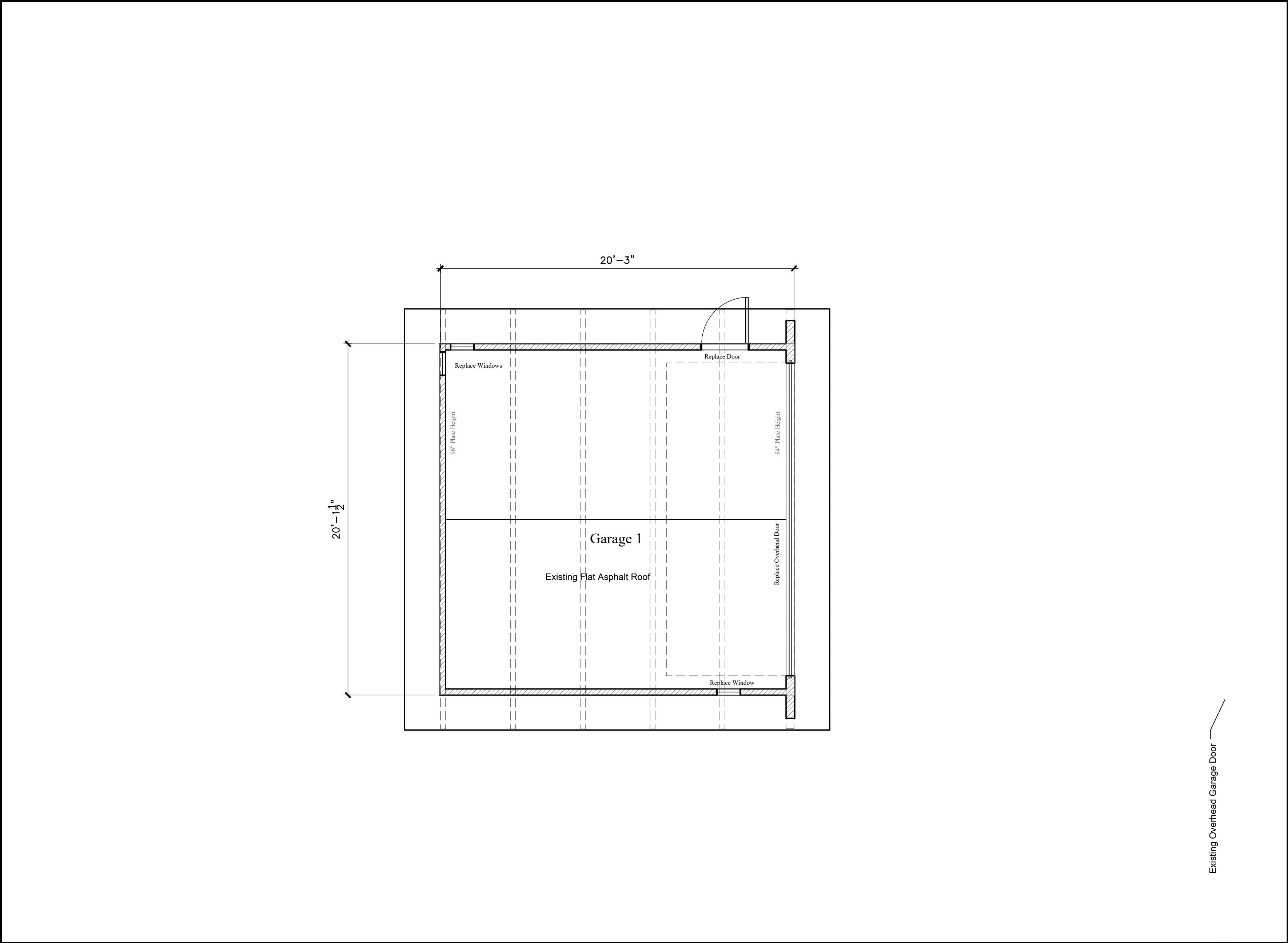
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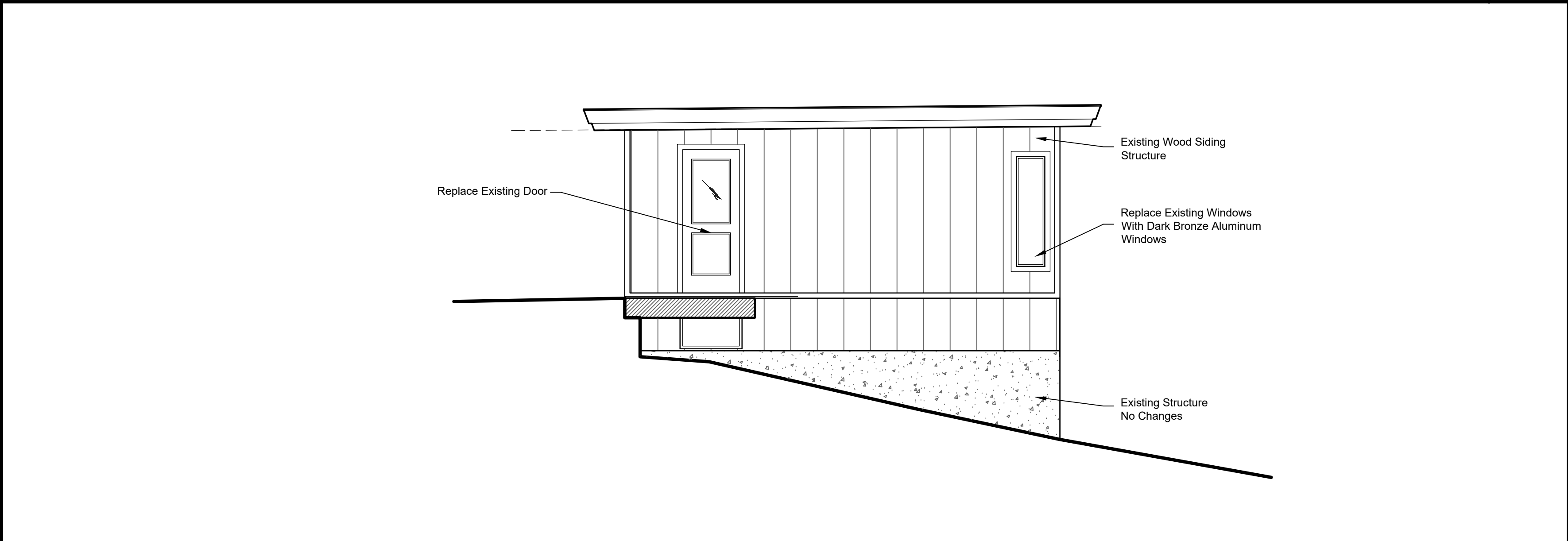
Walkway Arbor



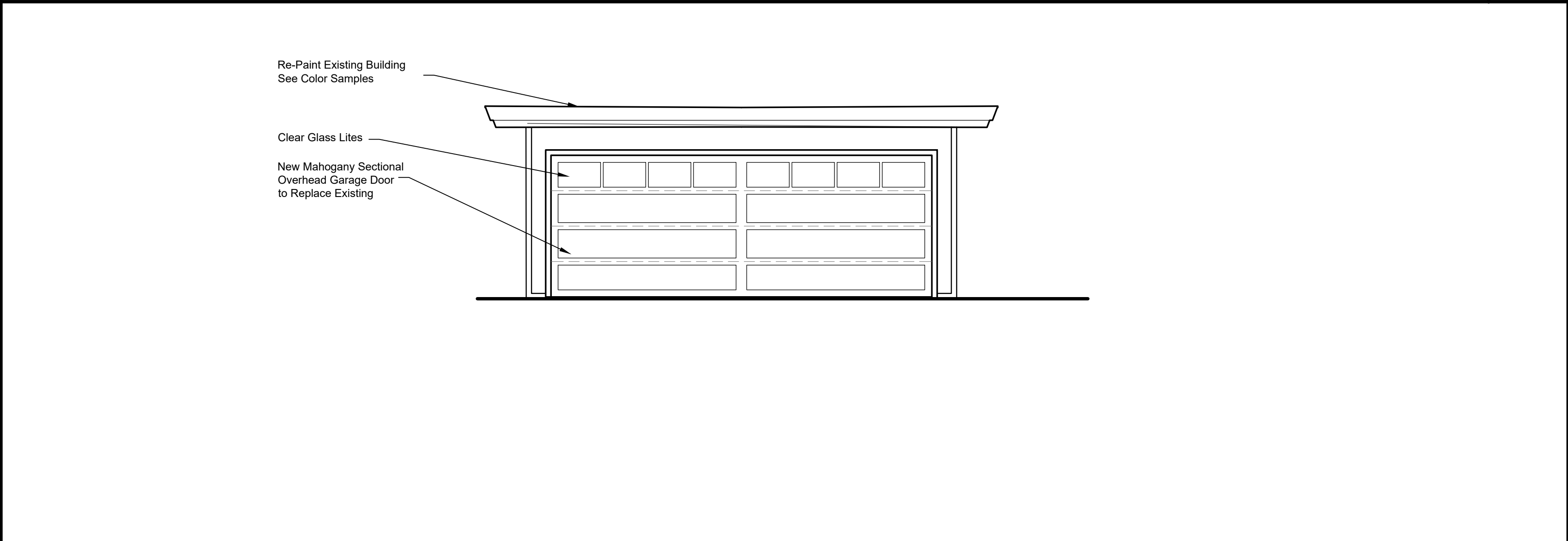
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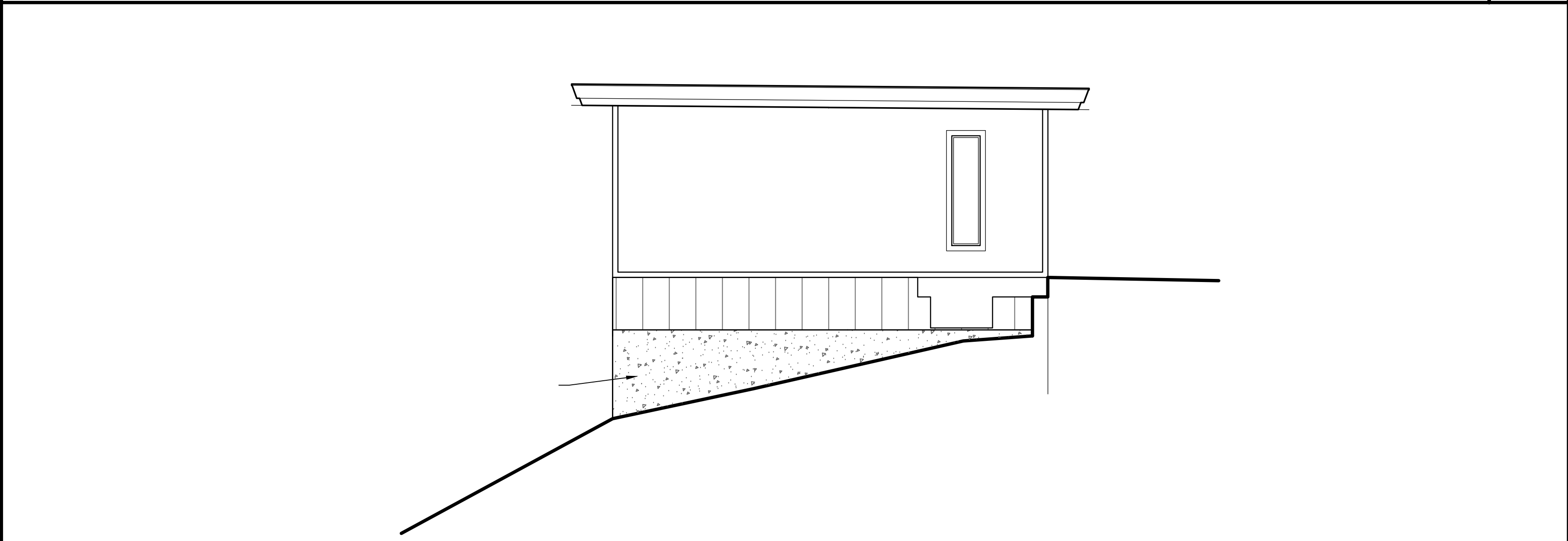
Floor Plan Scale: 1/4"=1'-0" 2



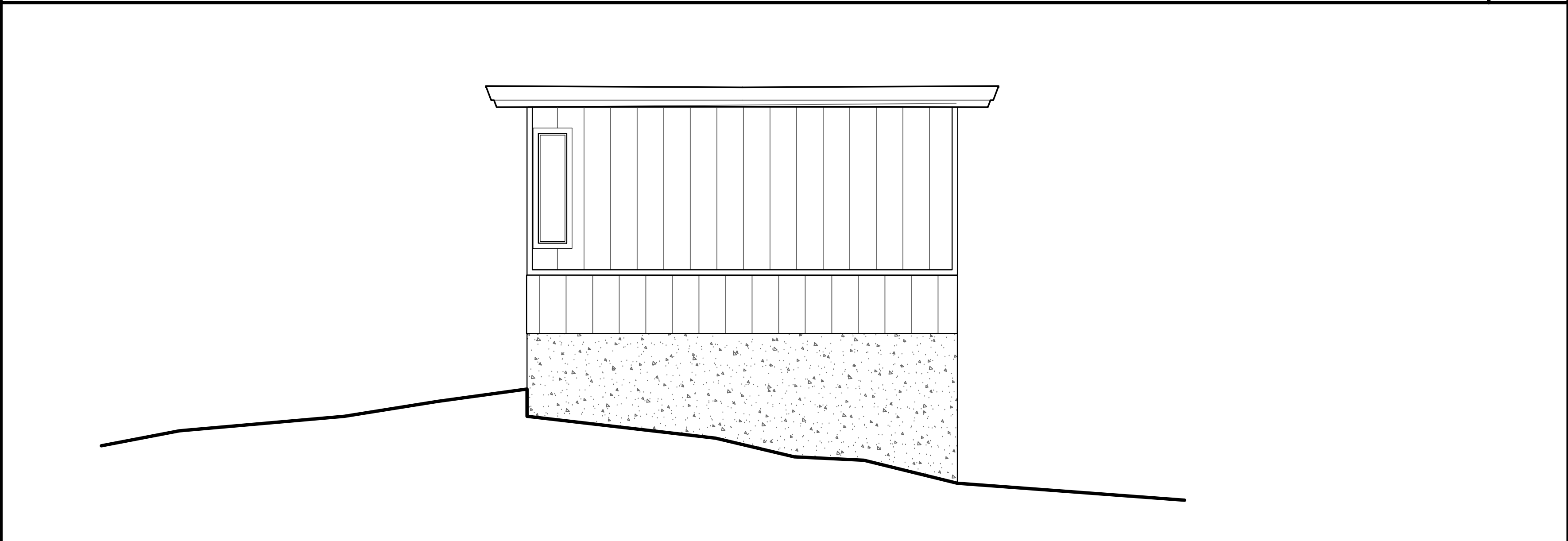
North Elevation Scale: 1/4"=1'-0" 3



East Elevation Scale: 1/4"=1'-0" 4



South Elevation Scale: 1/4"=1'-0" 5



West Elevation Scale: 1/4"=1'-0" 6

DATE	REVISION
7/26/17	Phase 2 Site Additions and Changes

Jon Sather Erlandson

Architect - C11925

Junipero St. 2 South-West of 4th Ave. Carmel By The Sea

MAIL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel California 93921

Phone: (831) 625-6163 Facsimile: (831) 625-6578 Email: jse-architect@prodigy.net

Beshof Residence Garage Plans

29300 Highway 1 Carmel Highlands, California 93923

Job Number
2016-05

Drawn By:
JSE

Date
03-21-2017

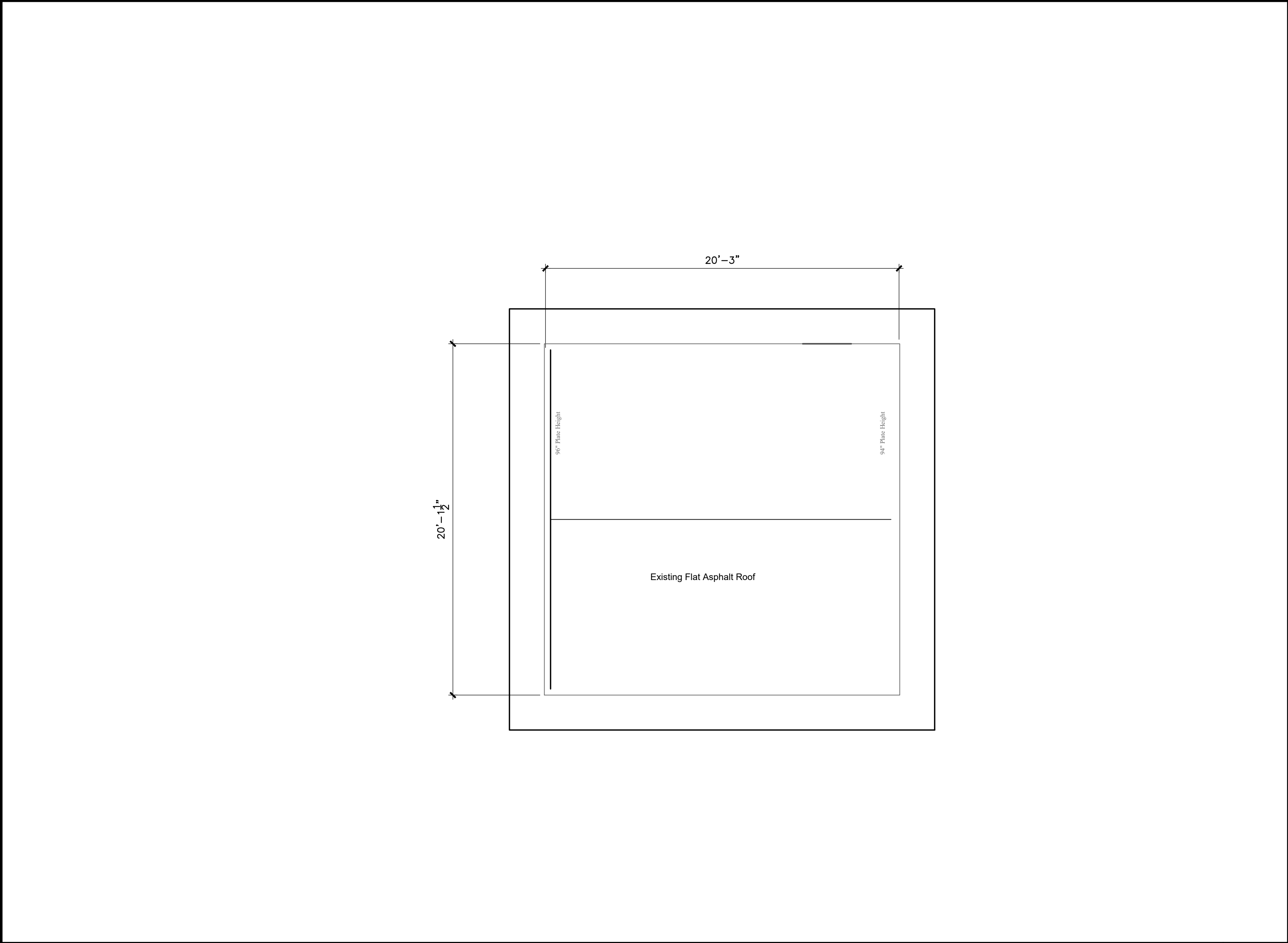
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10-17-2017

Sheet Number
G1-A-1

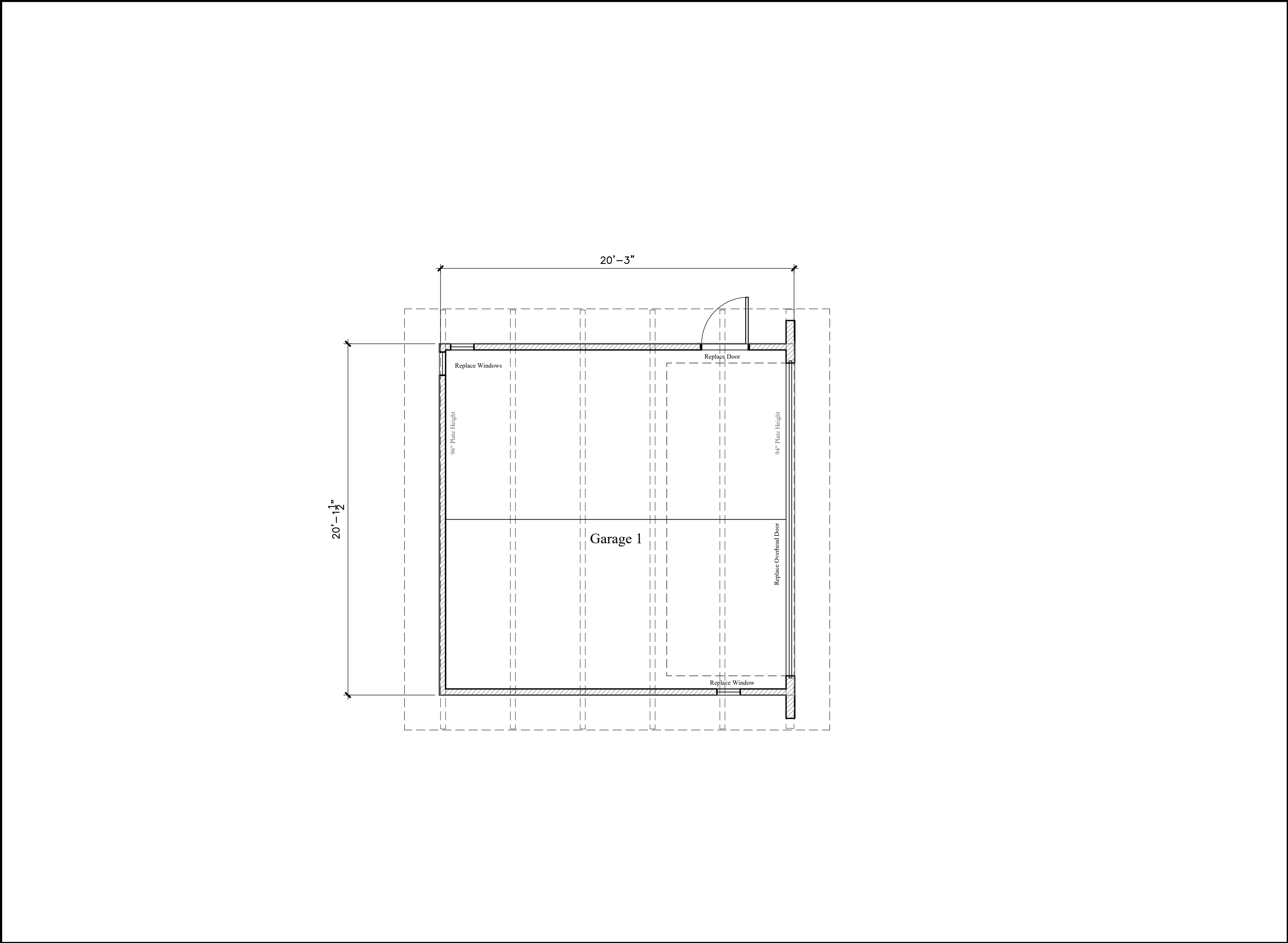
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of: Sheets

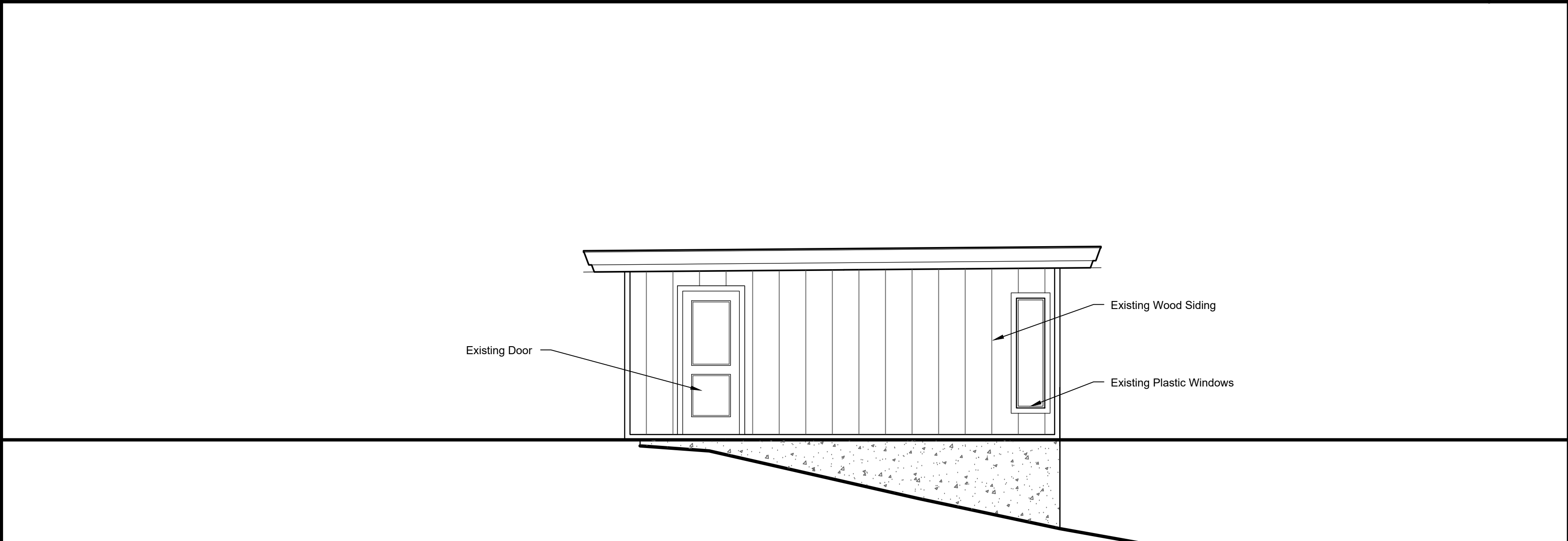
Garage 1 Proposed Plans



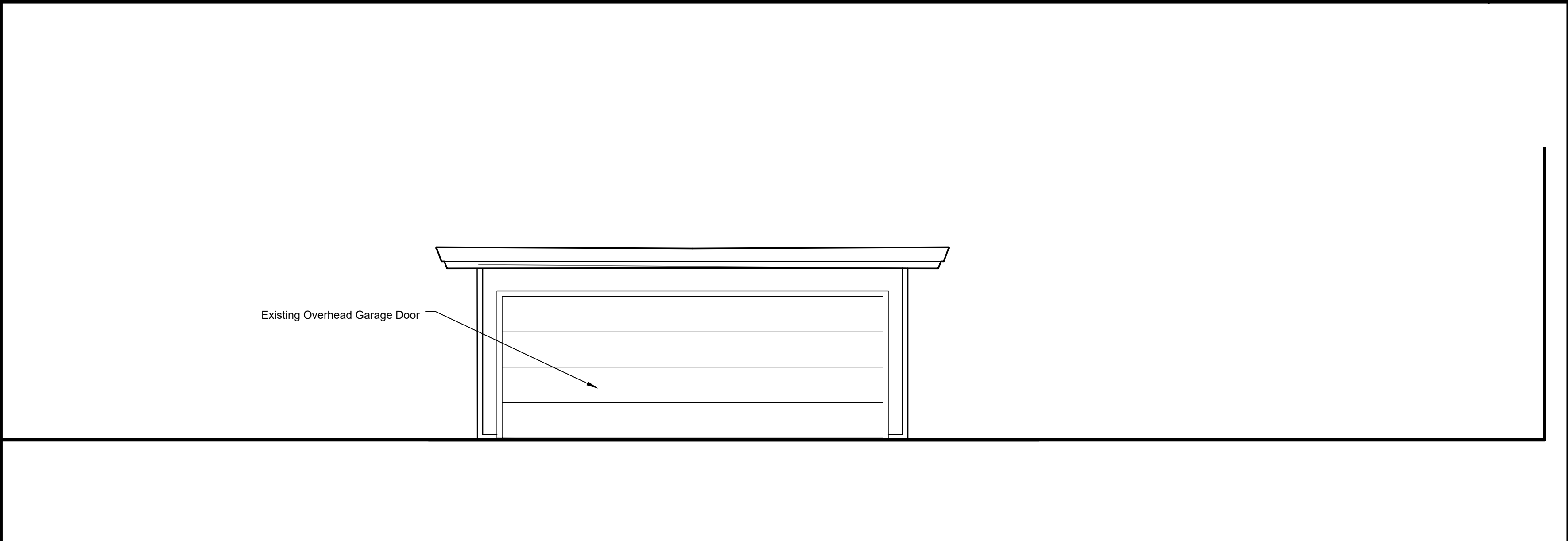
Roof Plan
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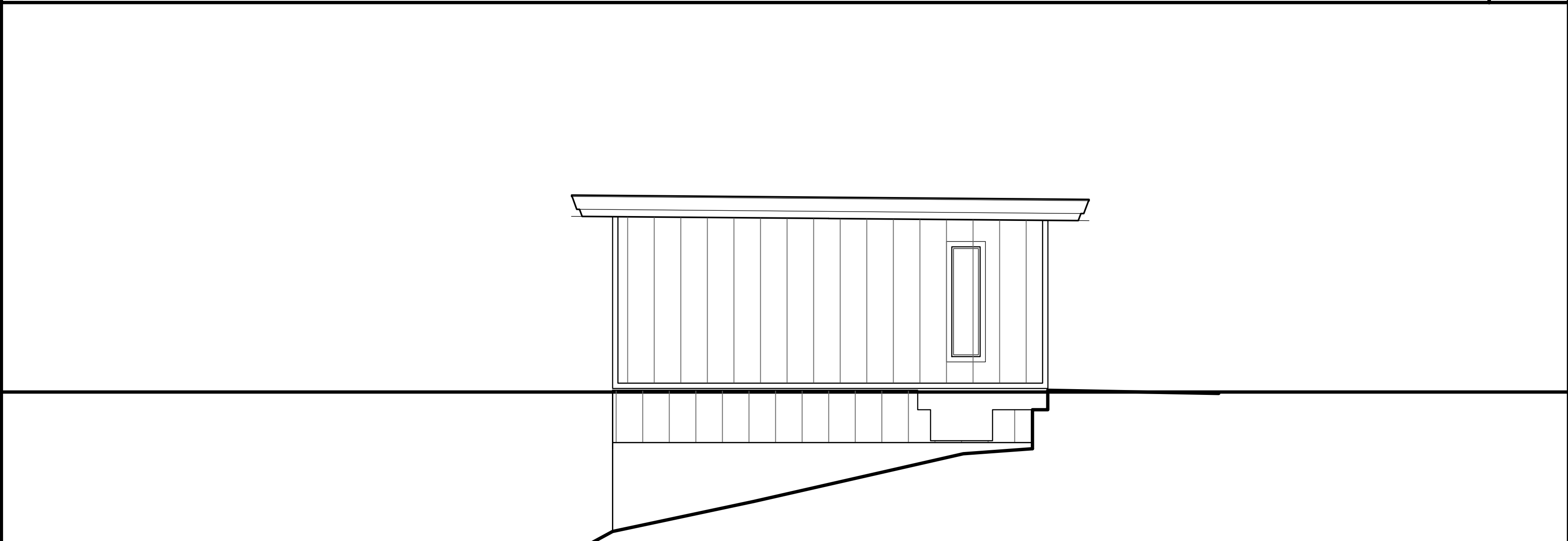
Floor Plan
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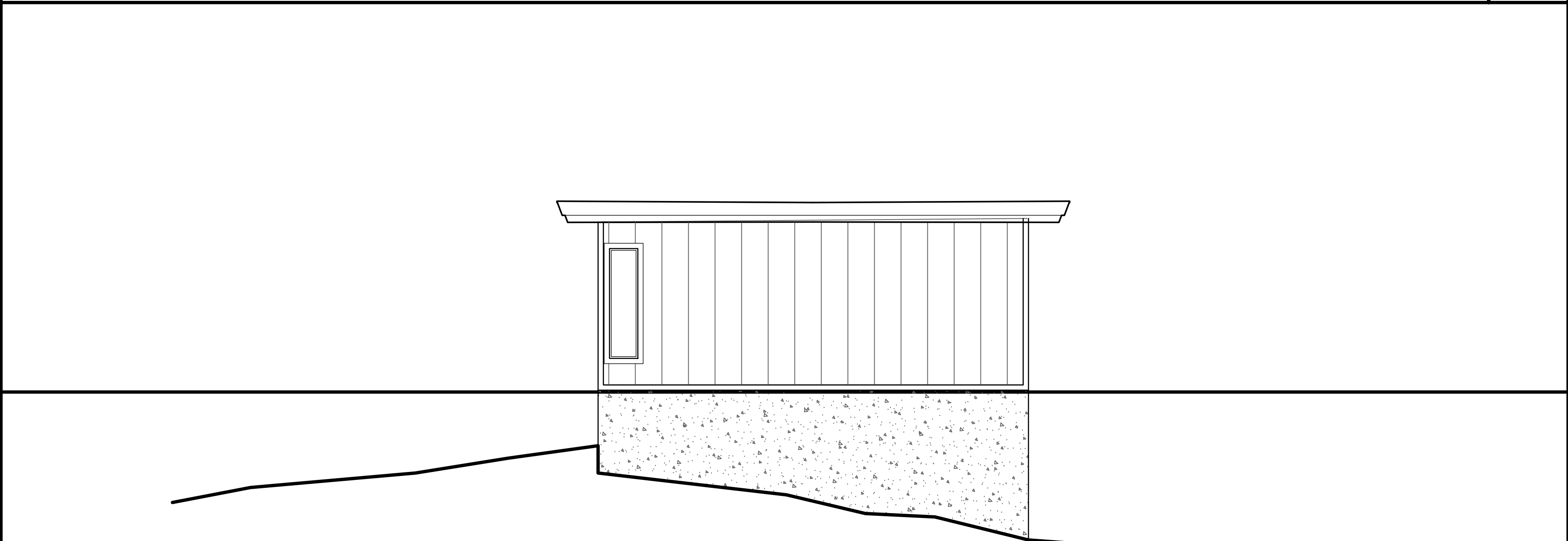
North Elevation
Scale: 1/4"=1'-0" 3



East Elevation
Scale: 1/4"=1'-0" 4

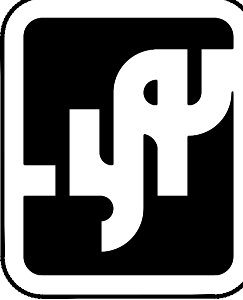


South Elevation
Scale: 1/4"=1'-0" 5



West Elevation
Scale: 1/4"=1'-0" 6

DATE	REVISION
7/26/17	Phase 2 Site Additions and Changes



Jon Sather Erlandson

Architect - C11925

Junipero St. 2 South-West of 4th Ave. Carmel By The Sea

MAIL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel California 93921

Phone: (831) 625-6163 Facsimile: (831) 625-6578 Email: jse-architect@prodigy.net

Beshof Residence Garage Plans

Carmel Highlands, California 93923

29300 Highway 1

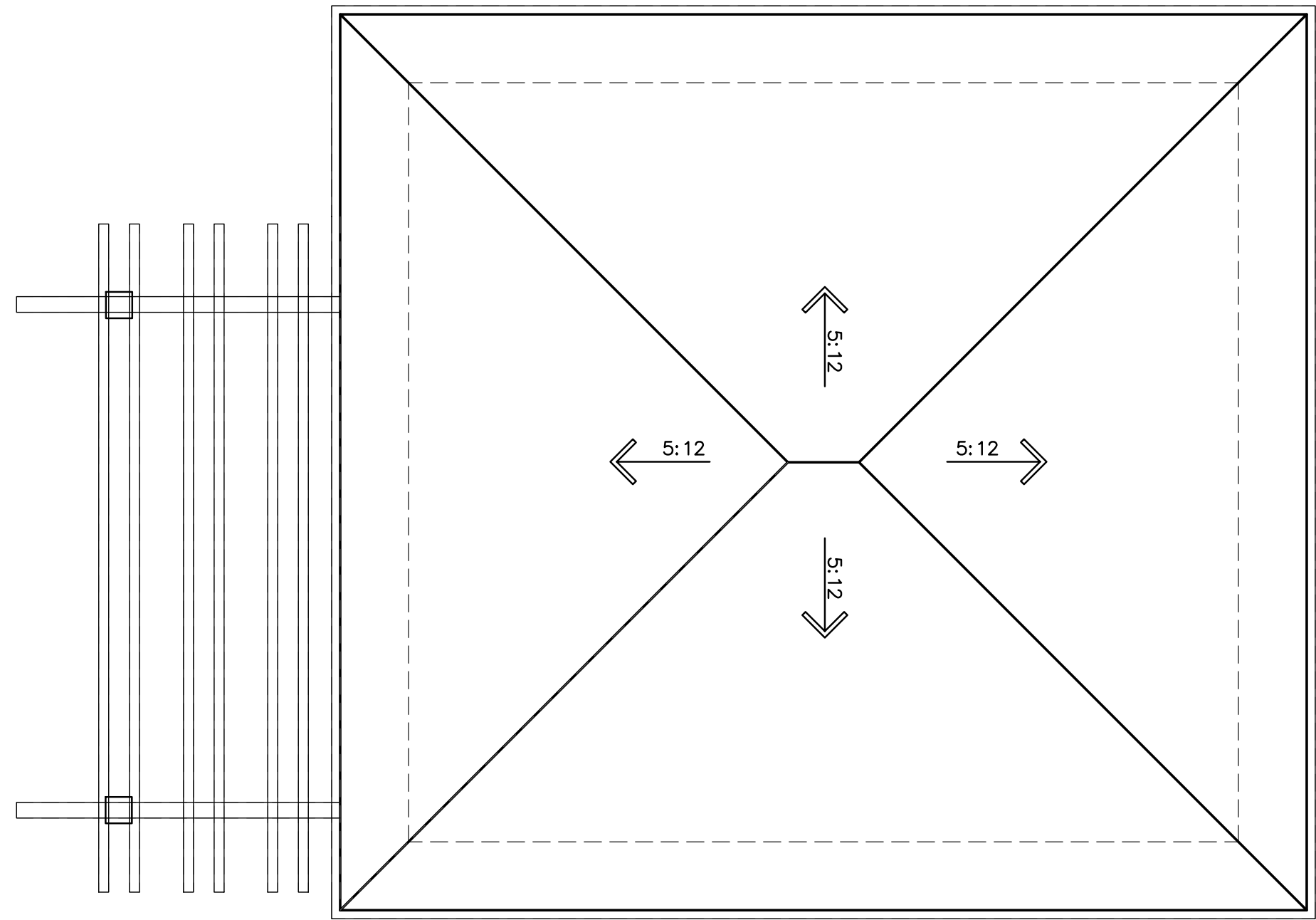
Job Number 2016-05	Drawn By: JSE
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Date 03-21-17	Revisions 10-178-2017
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Sheet Number New Sheet

G1-X-1

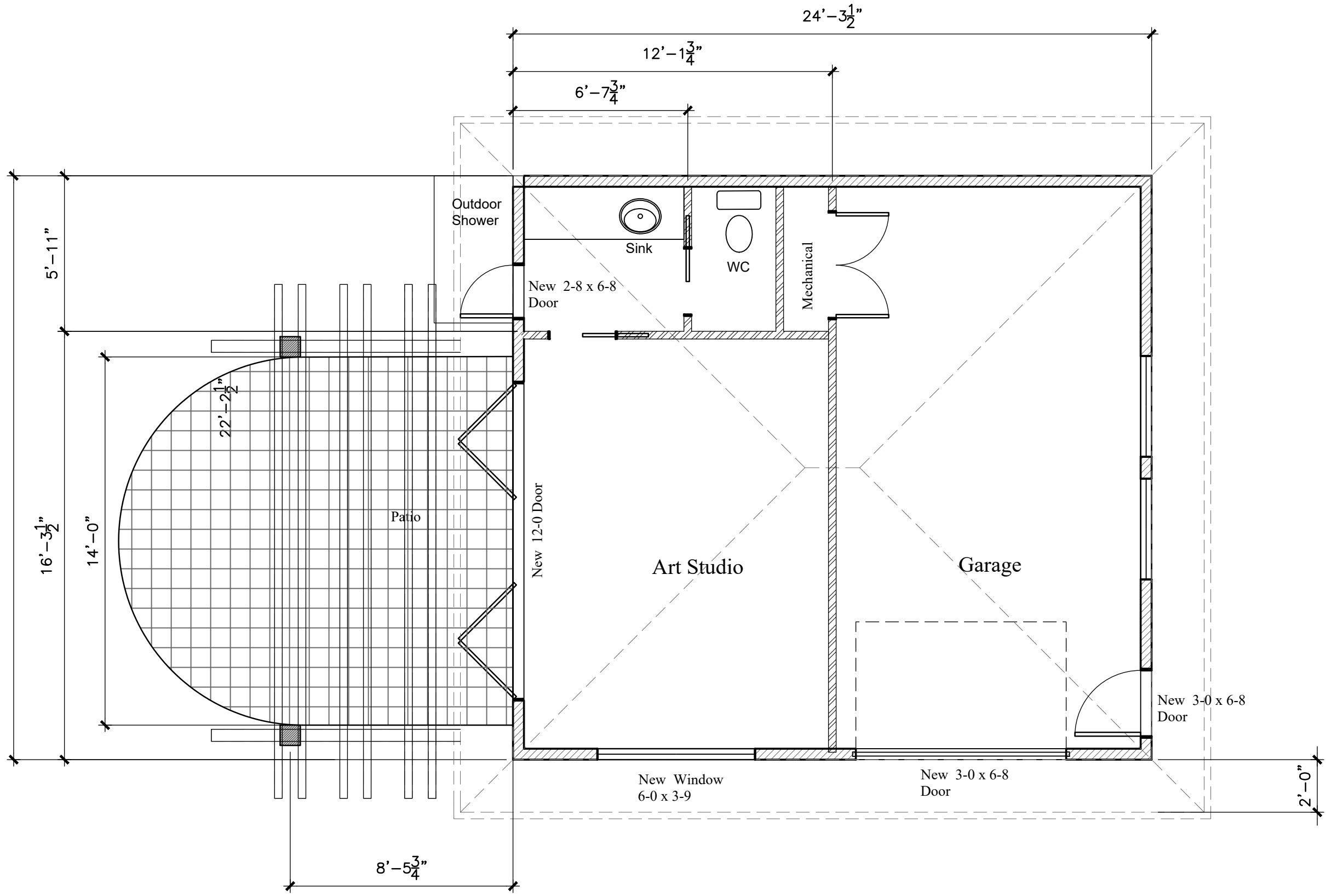
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Proposed Roof Plan

Scale: 1/4"=1'-0"

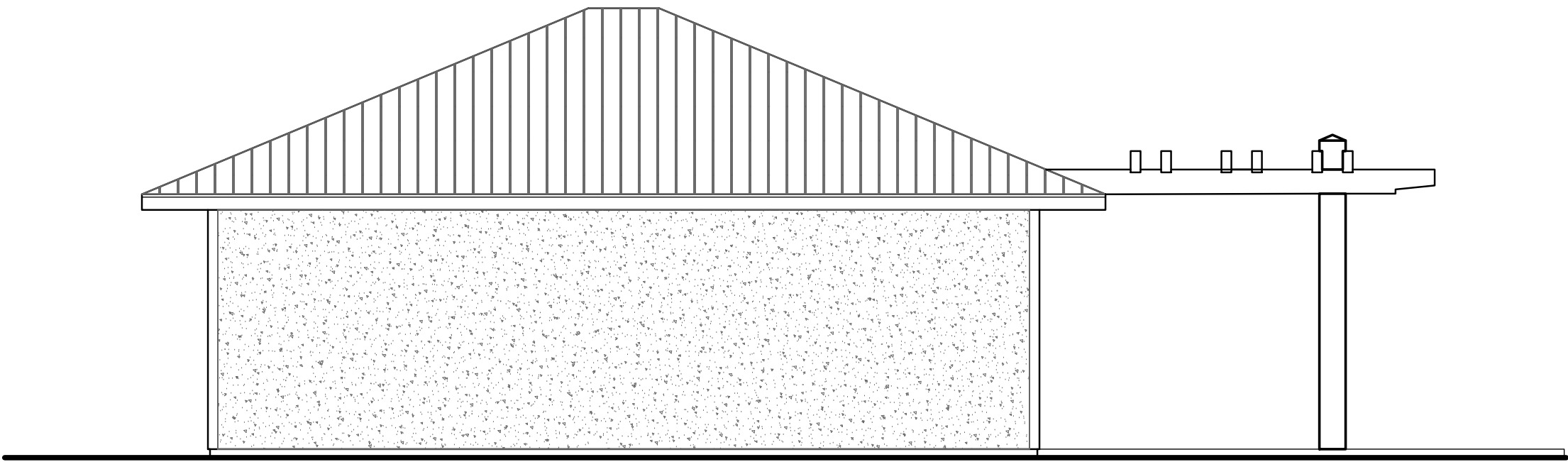
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Proposed Floor Plan

Scale: 1/4"=1'-0"

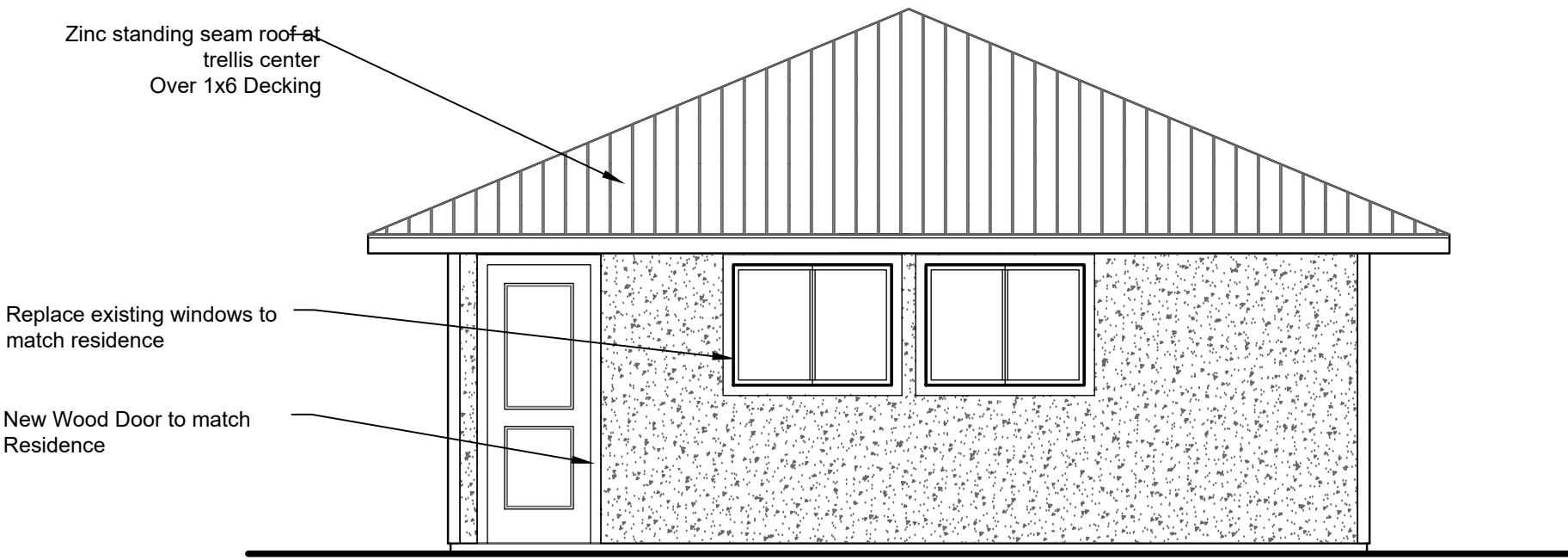
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North Elevation

Scale: 1/4"=1'-0"

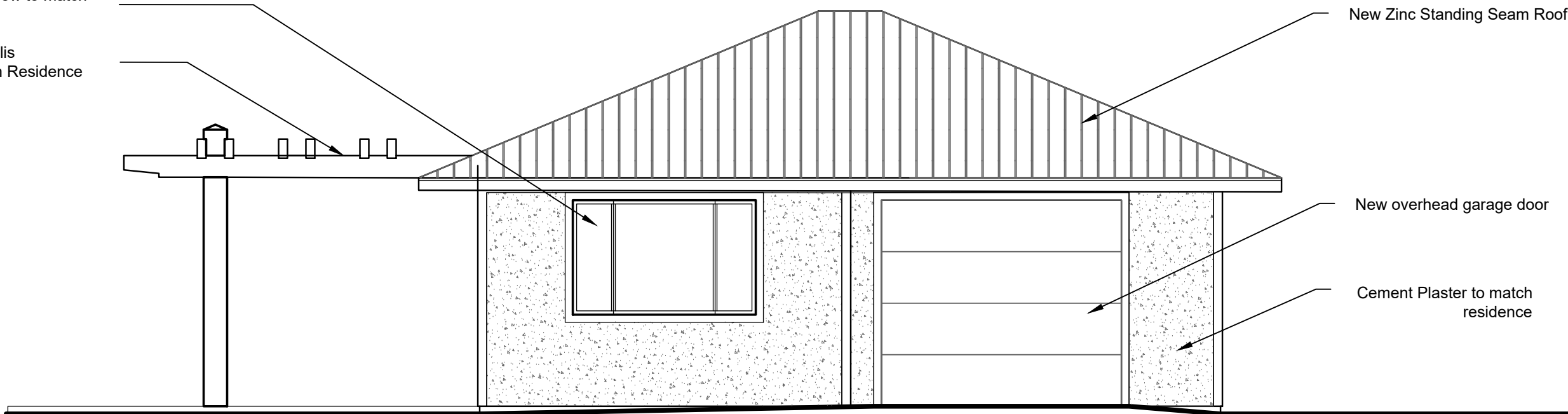
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East Elevation

Scale: 1/4"=1'-0"

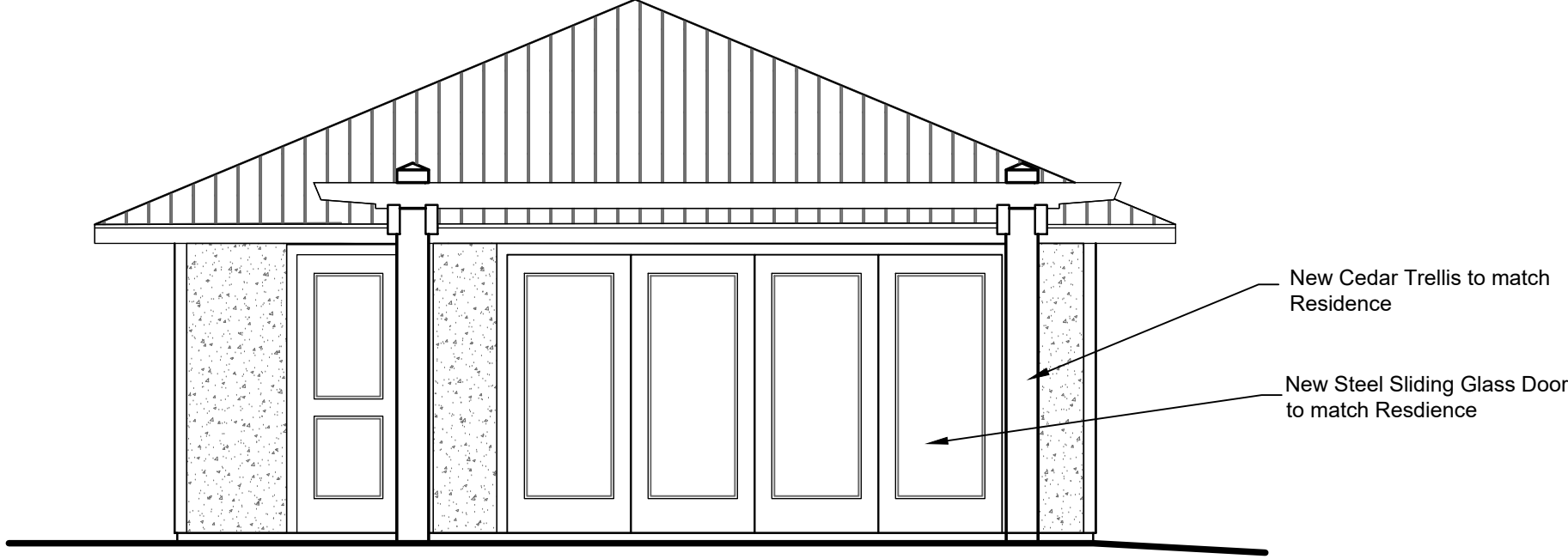
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South Elevation

Scale: 1/4"=1'-0"

5

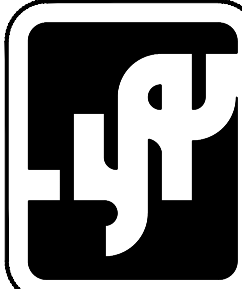


West Elevation

Scale: 1/4"=1'-0"

6

DATE	REVISION
7/26/17	Phase 2 Site Additions and Changes



Jon Sather Erlandson
Architect - C11925
Junipero St. 2 South-West of 4th Ave. Carmel By The Sea
MAIL - Jon Sather Erlandson, Architect Post Office Box 7108 Carmel California 93921
Phone: (831) 625-6163 Facsimile: (831) 625-1576 Email: jse-archtled@prodigy.net

Beshof Residence Garage Plans
Carmel Highlands, California 93923
29300 Highway 1

Job Number
2016-05

Date
03-21-2017

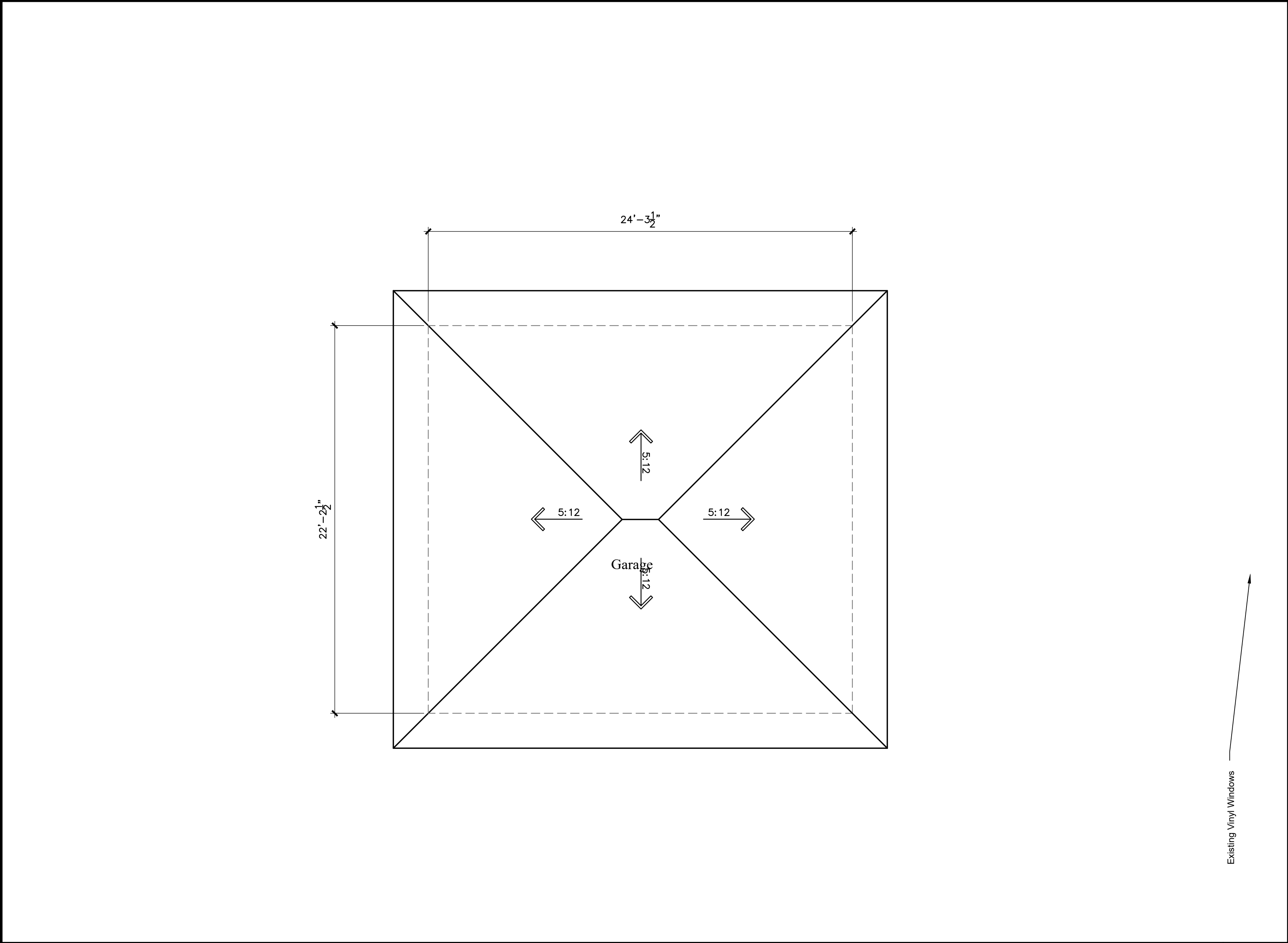
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G2-A-1

Drawn By:
JSE

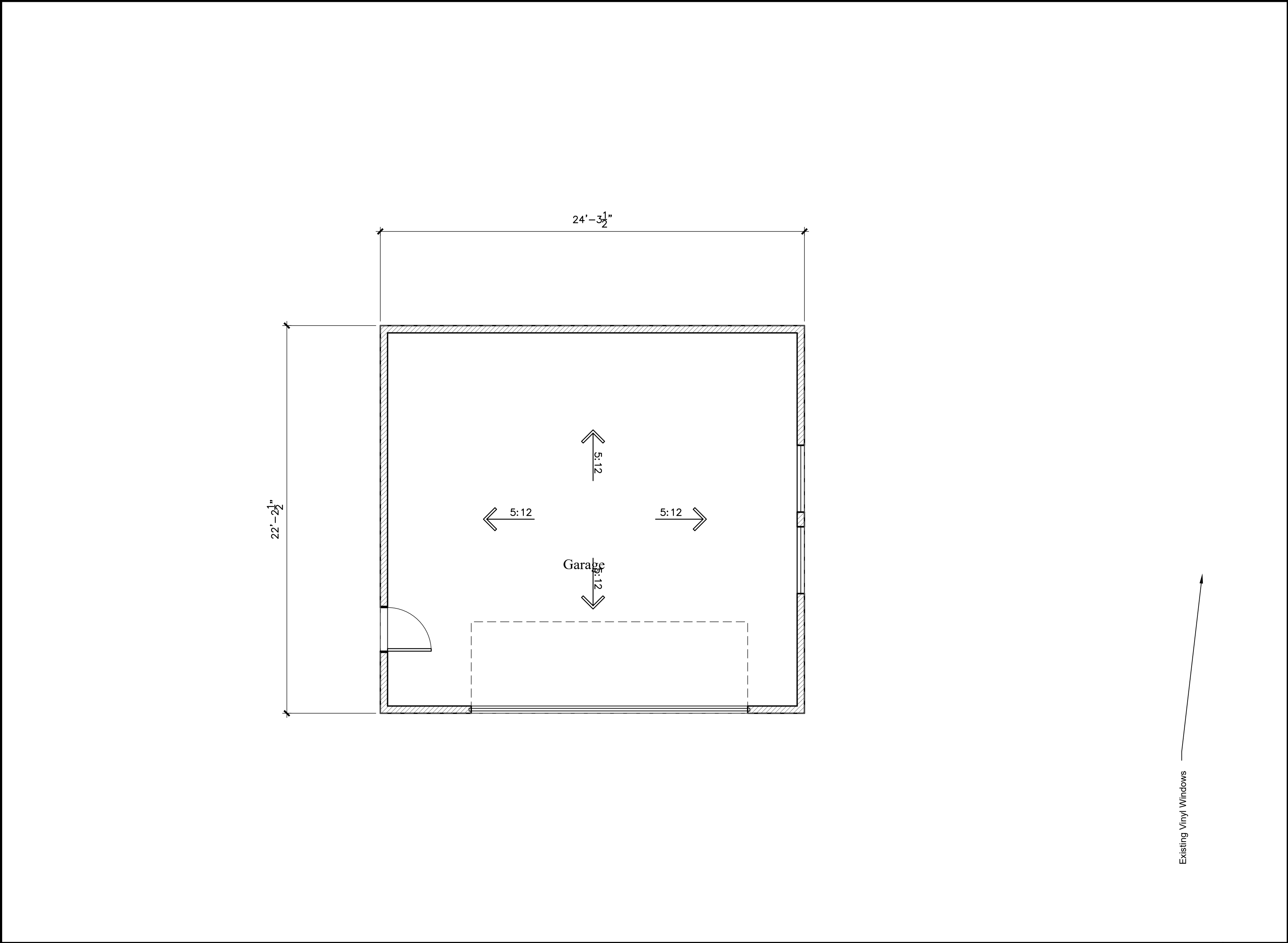
Revisions
10-17-2017

New Sheet
G2-A-1

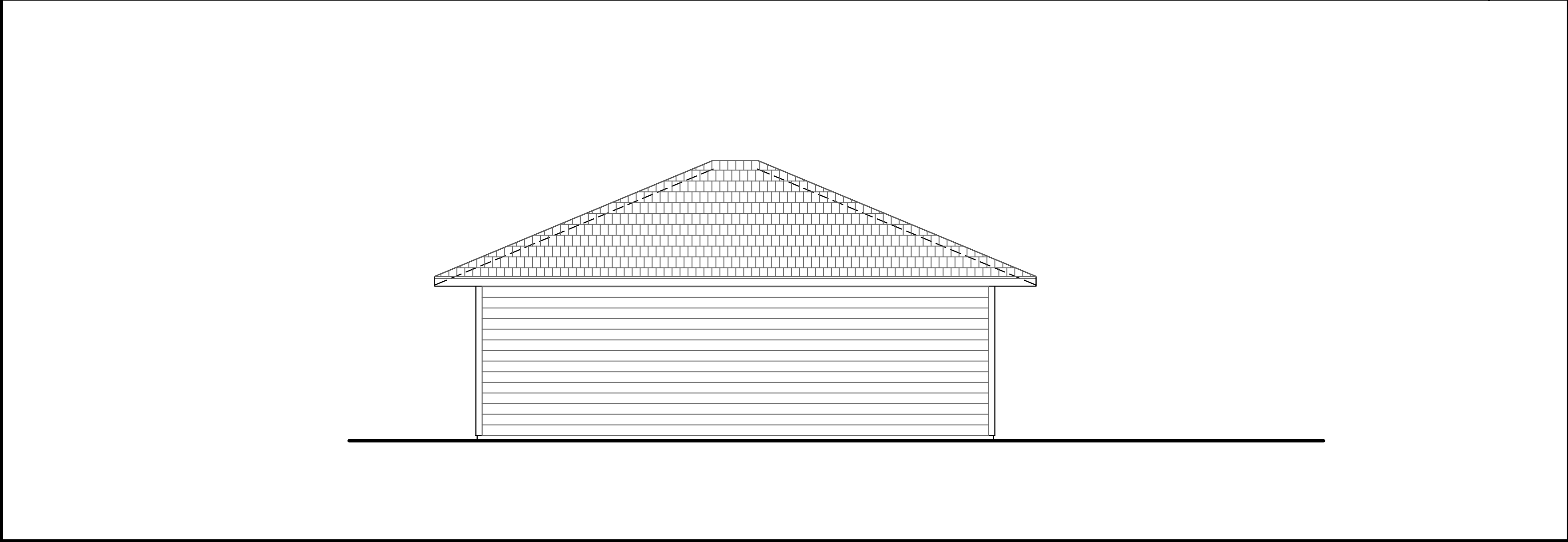
Garage 2 Proposed Plans



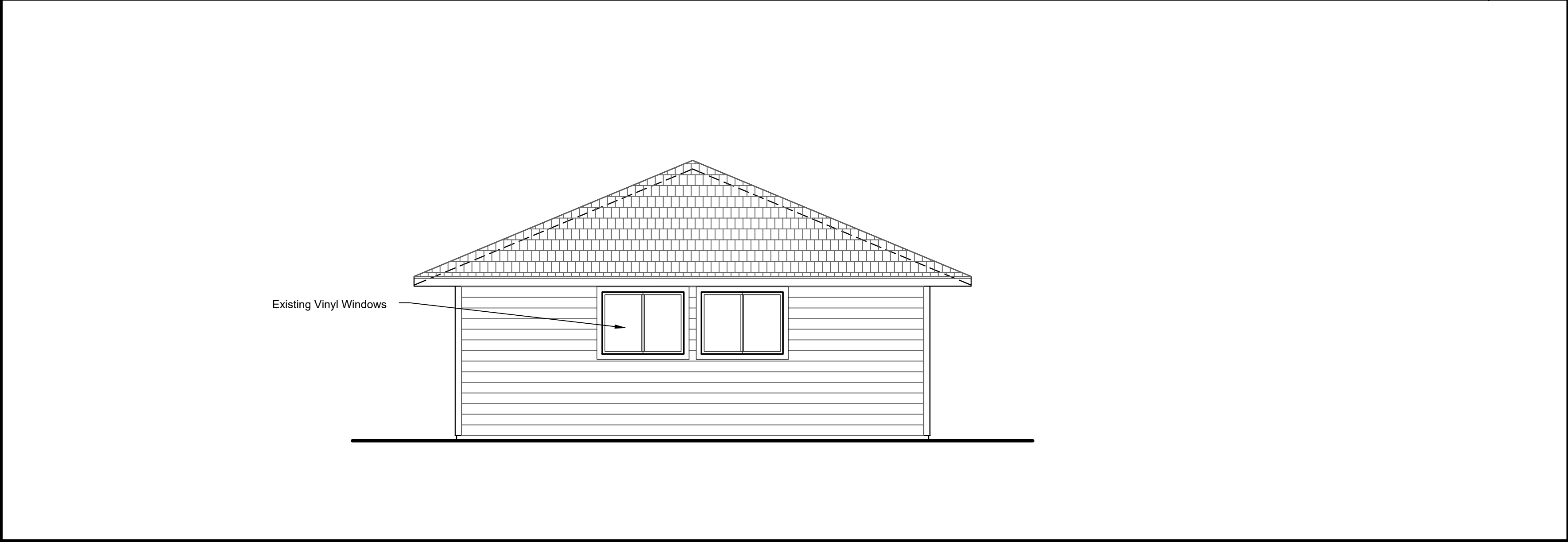
Roof Plan
Scale: 1/4"=1'-0" 1



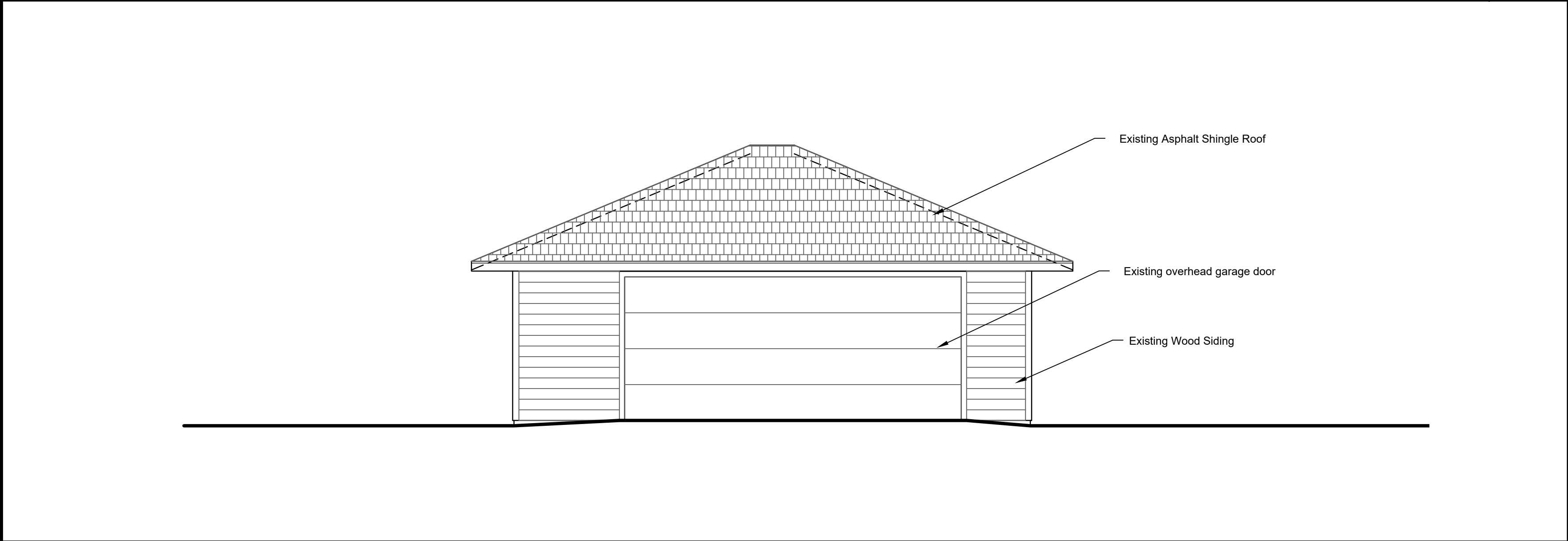
Floor Plan
Scale: 1/4"=1'-0" 2



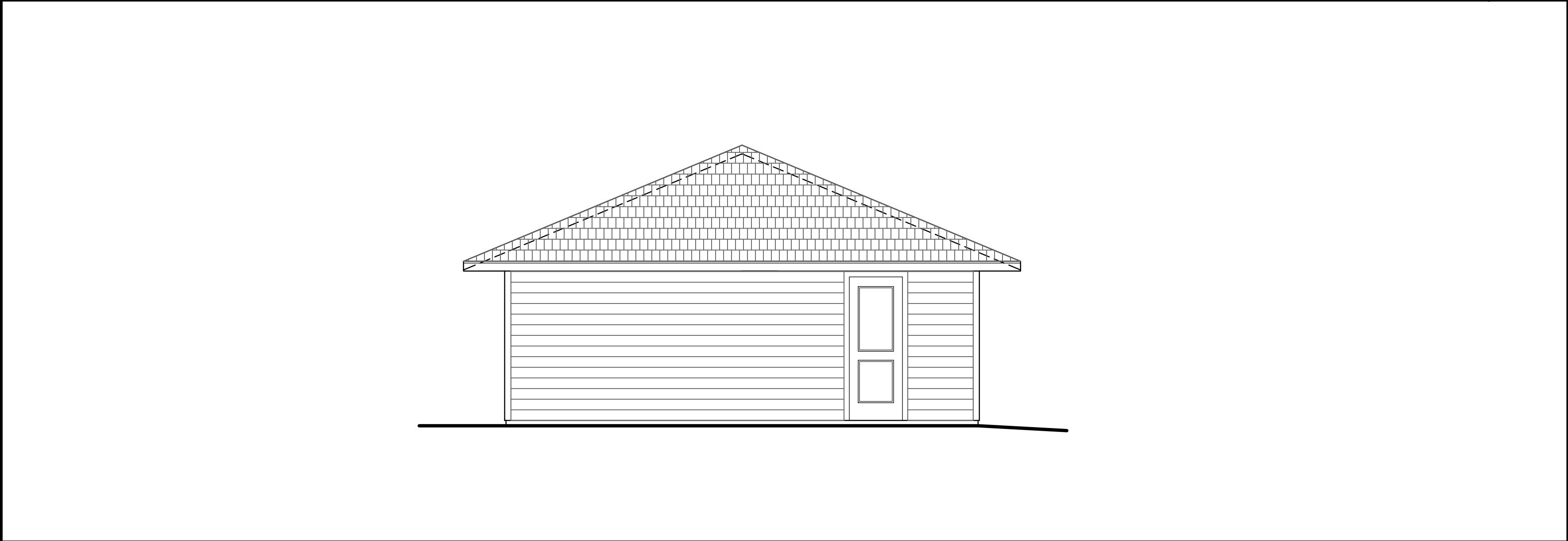
North Elevation
Scale: 1/4"=1'-0" 3



East Elevation
Scale: 1/4"=1'-0" 4

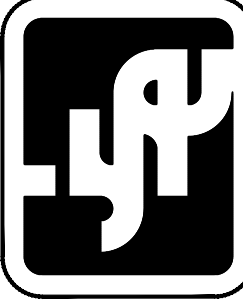


South Elevation
Scale: 1/4"=1'-0" 5



West Elevation
Scale: 1/4"=1'-0" 6

DATE	REVISION
7/26/17	Phase 2 Site Additions and Changes

**Jon Sather Erlandson**

Architect - C11925
Junipero St. 2 South-West of 4th Ave. Carmel By The Sea
MAIL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel California 93921
Phone: (831) 625-6163 Facsimile: (831) 625-6578 Email: jse-architect@prodigy.net

Beshof Residence Garage Plans
23300 Highway 1
Carmel Highlands, California 93923

Job Number 2016-05	Drawn By:
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Date 03-21-2017	Revisions 10-17-2017
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Sheet Number New Sheet

G2-X-1

of: Sheets

Pacific Ocean

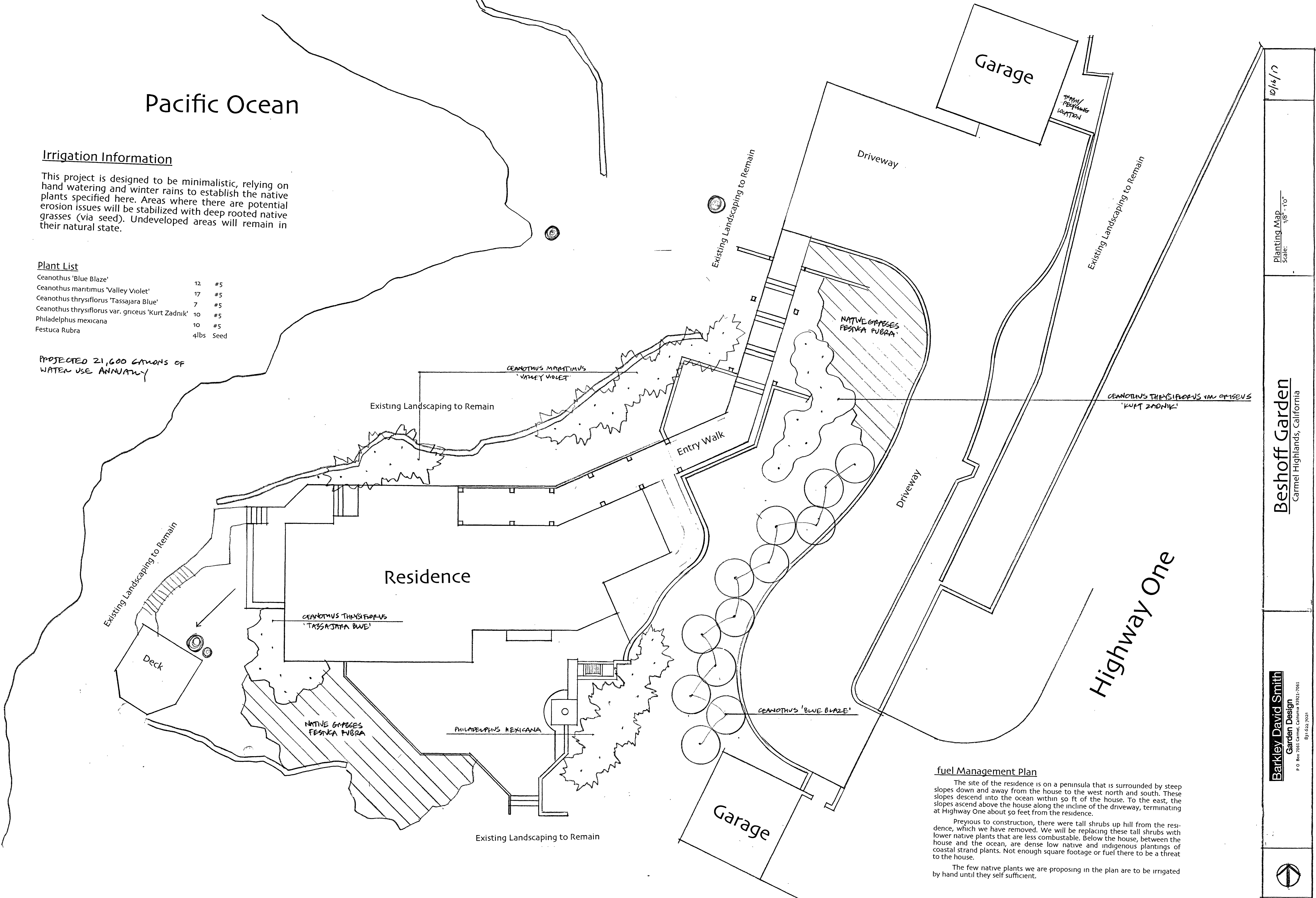
Irrigation Information

This project is designed to be minimalistic, relying on hand watering and winter rains to establish the native plants specified here. Areas where there are potential erosion issues will be stabilized with deep rooted native grasses (via seed). Undeveloped areas will remain in their natural state.

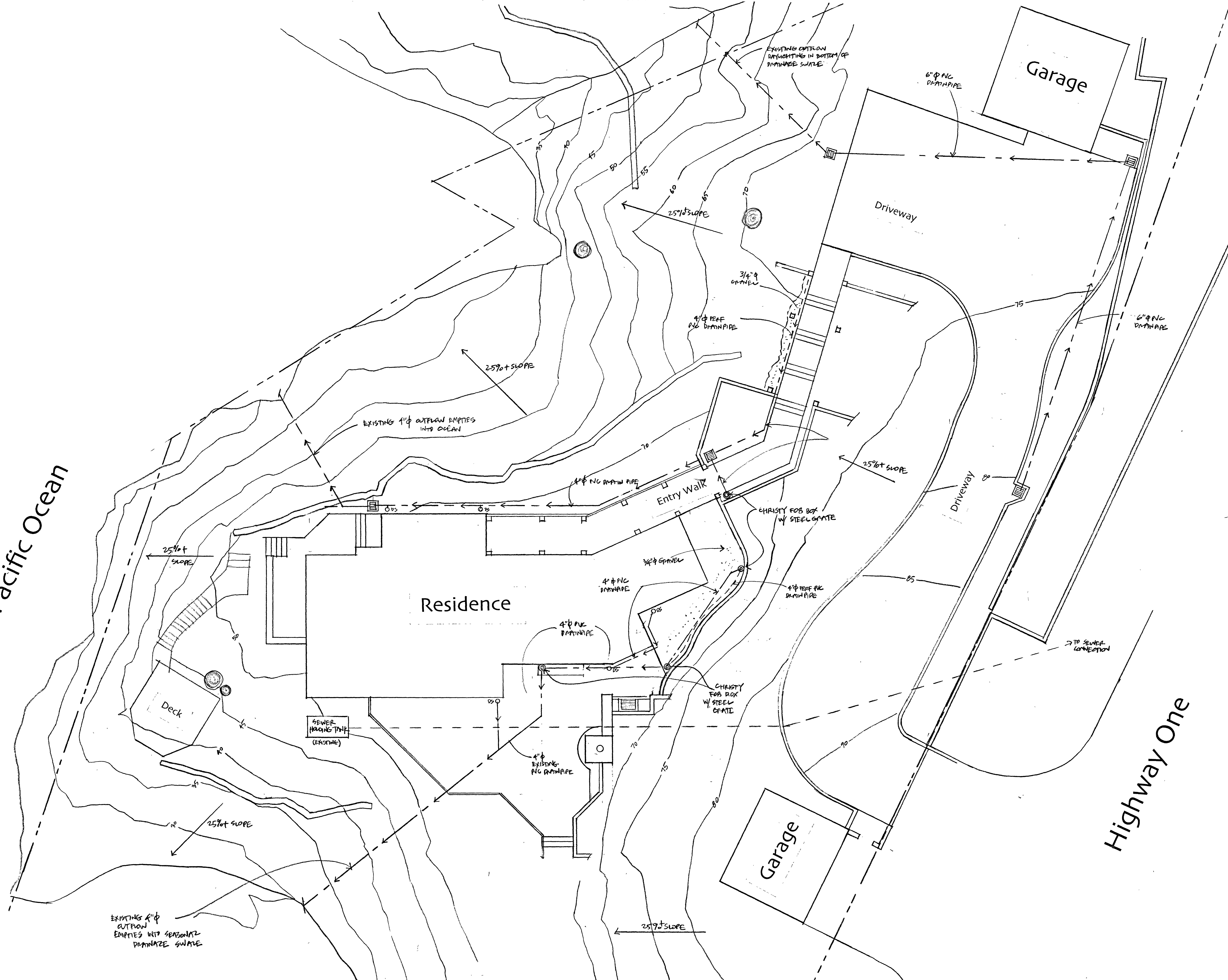
Plant List

Ceanothus 'Blue Blaze'	12	#5
Ceanothus maritimus 'Valley Violet'	17	#5
Ceanothus thrysiflorus 'Tassajara Blue'	7	#5
Ceanothus thrysiflorus var. griseus 'Kurt Zadnik'	10	#5
Philadelphus mexicana	10	#5
Festuca Rubra	4lbs	Seed

PROJECTED 21,600 GALLONS OF
WATER USE ANNUALLY



Pacific Ocean



Highway One



Barkley David Smith
Garden Design
P.O. Box 2063 Carmel, California 93921-7063
831.622.7921

Beshoff Garden
Carmel Highlands, California

Drainage Map
Scale: 1/8" = 1'-0"

10/16/17