

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

BESHOFF (PLN170651)

RESOLUTION NO. 18-009

Resolution by the Monterey County Zoning
Administrator:

- 1) Considering an addendum together with the Mitigated Negative Declaration; and
- 2) Approving an Amendment to a previously approved Coastal Development Permit (PLN050591) to allow:
 - 1) Reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs;
 - 2) Relocating and modifying previously approved barbecue & fireplace;
 - 3) Removing 463 square foot covered entry walkway (Pergola);
 - 4) Replacing and widening concrete driveway, net reduction 195 square feet;
 - 5) Remodeling Garage #2 to include an art studio, bath and deck with trellis;
 - 6) Updating Garage #1 by adding new doors and windows, siding and roof;
 - 7) Replacing the existing propane tank;
 - 8) Revising site walls to create a courtyard at entry;
 - 9) Changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval (PLN150884);

In addition to these changes, these three entitlements are carried over from the original Coastal Development Permit:

- 10) Development within 50 feet of a Coastal bluff;
- 11) Coastal Development Permit for development within 750 feet of a known archaeological resource; and
- 12) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat).

[PLN170651, LLC, 29300 Highway 1, Carmel, (APN: 241-071-002-000)] Carmel Area Land Use Plan

The Amendment to a Coastal Development Permit application (PLN150591) came on for public hearing before the Monterey County Zoning Administrator on February 22, 2018.

Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan;
 - Monterey County Coastal Implementation Plan Part 4;
 - Monterey County Zoning Ordinance (Title 20);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The property is located at 29300 Highway 1, Carmel, Carmel Area Land Use Plan (Assessor's Parcel Number 241-071-002-000), Carmel Area Land Use Plan. The parcel is zoned "LDR/1-D (CZ)" [Low Density Residential/1 unit per acre, Design Control District, (Coastal Zone)], which allows residential development to accommodate low density and intensity uses in the rural and suburban areas of the County. The project was designed and sited to be consistent with the Carmel Area Land Use Plan policies and the site development standards required of this district. Therefore, the project is an allowed land use for this site.
 - c) Original Projects. On November 18, 2010, two discretionary permits were approved by the Zoning Administrator under one Resolution (10-045), 1) a Coastal Development Permit (PLN050591) was approved for the extensive remodel of an existing residence within 50 feet of a coastal bluff; including an increase in height, and changes to exterior wall materials, doors, and windows; removal of 550 square feet of concrete driveway and patios; and new pergola from parking to residence; and 2) a Combined Development Permit (PLN150708) was approved for a Coastal Development Permit and Design Approval to replace three retaining walls (approximately 200 feet in total length) to protect existing house from coastal bluff erosion, replace storm drain, and fill eroded drainage channel; a Coastal Development Permit for development on slopes in excess of 30%; and a Coastal Development Permit for development within 750 feet of a known archaeological resource; a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat); grading of approximately 650 cubic yards of fill.
 - d) Design Approval. On February 2, 2016, an Administrative Design Approval (PLN150884) was approved to allow the remodel of existing residence, exterior changes in roof & wall materials, removal of 608 square foot of driveway for the construction of new 463 square foot pergola & new landscape. Materials to consist of cedar siding, synthetic slate roof, copper gutters, steel doors & windows, and stone veneer. Colors to consist of light brown stain, grey-green roof, dark bronze doors & windows, caramel beige stone. This amendment proposes

minor changes to include roof changes, window patterns, materials will consist of real slate not synthetic, plaster siding with cedar trim in lieu of all cedar siding. The new colors are similar as the previously approved colors. The modifications are not visible from Highway 1 or from any public viewing area. Therefore, the changes proposed are consistent with the design criteria and public viewshed policies within the Carmel Area Land Use Plan.

- e) Amendment: This amendment allows: 1) reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs; 2) relocating and modifying previously approved barbecue & fireplace; 3) removing 463 square foot covered entry walkway (Pergola); 4) replacing and widening concrete driveway, net reduction 195 square feet; 5) remodeling Garage #2 to include an art studio, bath and deck with trellis; 6) updating Garage #1 by adding new doors and windows, siding and roof; 7) replacing the existing propane tank; 8) revising site walls to create a courtyard at entry; and 9) Changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval. Previous development entitlements would be carried over. They are: Development within 50 feet of a Coastal bluff; Coastal Development Permit for development within 750 feet of a known archaeological resource; and a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat).
- f) Revised Project: The final project consists of: 1) reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs; 2) relocating and modifying previously approved barbecue & fireplace; 3) removing 463 square foot covered entry walkway (Pergola); 4) replacing and widening concrete driveway, net reduction 195 square feet; 5) remodeling Garage #2 to include an art studio, bath and deck with trellis; 6) updating Garage #1 by adding new doors and windows, siding and roof; 7) replacing the existing propane tank; 8) revising site walls to create a courtyard at entry; and 9) changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval; 10) Development within 50 feet of a Coastal bluff; 11) Coastal Development Permit for development within 750 feet of a known archaeological resource; and 12) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat).
- g) No Violations. The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- h) LUAC. The project was not referred to the Carmel Highlands/Unincorporated Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, staff determined the changes were not substantial enough to require review and made the decision not to send it back to the LUAC. The original LUAC recommended approval (5-0 vote) of the original project. The 2016 Design Approval was not referred to the LUAC. These changes cannot be seen from Highway 1 or from any public viewing area.

- i) The project planner conducted a site inspection on November 23, 2017, to verify that the project on the subject parcel conforms to the plans listed above.
 - j) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170651.
2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Carmel Highlands Fire District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development.
 - b) The following updated report was prepared for the revised project:
 - “Geotechnical Update” (LIB170371) prepared by Haro, Kasunich and Associates, Inc., Watsonville, CA, July, 2016.
 - “Follow up Archaeological Letter” (LIB180080) prepared by Archaeological Consulting, Salinas, CA, March 2012.The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.
3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by the RMA - Planning, CDF –Carmel Highlands Fire, RMA Public Works, Environmental Health Bureau, RMA Environmental Services, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are provided by an existing onsite water system and an existing septic system.
4. **FINDING:** **CEQA (Addendum)**: - An Addendum to a previously certified Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted MND.
- EVIDENCE:**
- a) A Mitigated Negative Declaration (MND) was prepared for PLN050591/PLN050708 and was circulated between August 30, 2010 and September 30, 2010. Pursuant to the California Environmental

Quality Act (CEQA) Guidelines Section 15162, when an MND has been certified, no subsequent MND shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been presented or determined to prepare a subsequent MND.

- b) An Addendum to the Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164 (CEQA Guidelines). The MND adopted for the previous project identified potential impacts to aesthetics, biological resources, cultural resources, and geology/soils. The proposed project will have the same or fewer impacts than the previous project.
- c) There were six mitigation measures with the original project.
Mitigation Measures #1 and #2, were included for the protection of visual resources. It was determined that although the colors and materials have substantially changed from the original approval, the size and mass have not changed. Reduction of Garage #2 for the addition of the art studio would be facing the ocean. Site visit determined that both structures cannot be seen from Highway 1 or from Point Lobos.
Mitigation Measure #3 required a reassessment during the blooming season of the buckwheat plants with recommendations to protect them and a follow up habitat restoration plan once the retaining walls were installed. The biologist submitted a location survey and a habitat restoration letter once the retaining wall areas were completed.
Mitigation Measures #4 and #5 included onsite monitoring and final reporting of archaeological resources. The final archaeological report for the original project concluded there were no cultural materials present within the proposed development. An updated archaeological report for the changes under Design Approval PLN150884, required continued archaeological monitoring. For the current changes, it was determined that prior grading would have removed the potential for any archaeological resources, however, it was recommended that the standard condition, "If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery" be applied to this amendment (see condition #3). Mitigation Measure #6 included geotechnical recommendations specifically for the construction of the retaining walls and reinforcement of the house foundation. This work has already been completed.
- d) No adverse environmental effects were identified other than what was analyzed in the MND during staff review of the development application during site visit November 23, 2017.

5. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission
- EVIDENCE:**
- a) Section 20.86.030 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.
 - b) Section 20.86.080 of the Monterey County Zoning Ordinance states that the proposed project is subject to appeal by/to the Coastal Commission because the project is located between the sea and the first through public road paralleling the sea, which is Highway 1.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Considered an addendum together with the Mitigated Negative Declaration; and
2. Approved an Amendment to a previously approved Coastal Development Permit (PLN050591) to allow:
 - a. Reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs;
 - b. Relocating and modifying previously approved barbecue & fireplace;
 - c. Removing 463 square foot covered entry walkway (Pergola);
 - d. Replacing and widening concrete driveway, net reduction 195 square feet;
 - e. Remodeling Garage #2 to include an art studio, bath and deck with trellis;
 - f. Updating Garage #1 by adding new doors and windows, siding and roof;
 - g. Replacing the existing propane tank;
 - h. Revising site walls to create a courtyard at entry;
 - i. Changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval (PLN150884);

In addition to these changes, these three entitlements are carried over from the original Coastal Development Permit

- j. Development within 50 feet of a Coastal bluff;
- k. Coastal Development Permit for development within 750 feet of a known archaeological resource; and
- l. a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat);

In general conformance with the attached plans and subject to the conditions, both being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 22nd day of February, 2018 upon motion of



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON FEB 26 2018.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE MAR 08 2018

(Coastal Projects)

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170651

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Amendment (PLN170651) allows 1) Reducing the square footage of lower deck from 424 to 226 square feet and modify deck stairs; 2) Relocating and modifying previously approved barbecue & fireplace; 3) Removing 463 square foot covered entry walkway (Pergola); 4) Replacing and widening concrete driveway, net reduction 195 square feet; 5) Remodeling Garage #2 to include an art studio, bath and deck with trellis; 6) updating Garage #1 by adding new doors and windows, siding and roof; 7) Replacing the existing propane tank; 8) Revising site walls to create a courtyard at entry; 9) Changing roofing, window patterns, and changes to wall materials and colors, of previously approved Design Approval (PLN150884); 10) Development within 50 feet of a Coastal bluff; 11) Coastal Development Permit for development within 750 feet of a known archaeological resource; and 12) a Coastal Development Permit for development within 100 feet of environmentally sensitive habitat (coastal habitat). The property is located at 29300 Highway 1, Carmel, (Assessor's Parcel Number 241-071-003-000), Carmel Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:

"An Amendment to previously approved Coastal Development Permit (Resolution Number 18-009) was approved by the Zoning Administrator for Assessor's Parcel Number 241-071-002-000 on February 22, 2018. The permit was granted subject to conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

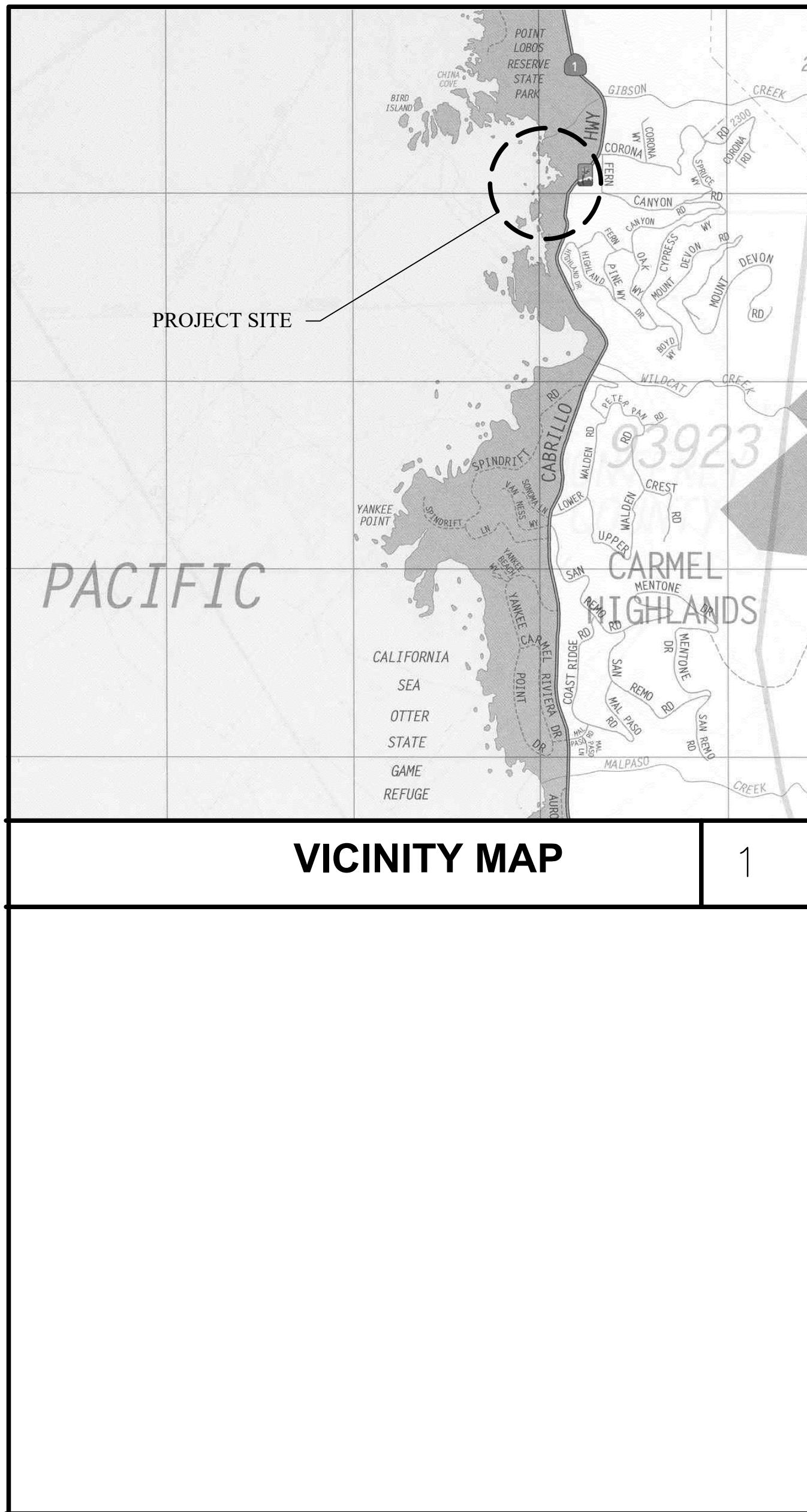
Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.



Beshoff Residence

Residence Renovation and Remodel

29300 State Highway 1 Carmel, California 93923

PROJECT SITE	APN: 241-071-002-000 Zoning: LDR/1 (CZ) Lot Area: 29,938.4 S.F.
VICINITY MAP	SCOPE OF WORK: Residence Remodel (No Footprint increase) Addition of Lower Level 121 SF Office Exterior Changes In Roof, Wall Material, Doors and Windows. Removal Of 608 s.f. Of Concrete Driveway. New Pergola From Parking To Residence. Occupancy: R3 Construction Type: VB
	PHASE 2 SCOPE OF WORK: Reduce Lower Deck Size by 198 SF and Modify Deck Stairs Remove 122 SF Spa Enclosure Remove 28 SF Shed Revise Exterior BBQ and Fireplace Reduce & Revise Entry Covered Walk (Pergola reduced 463 SF) Replace & Widen Concrete Driveway Net Reduction of 195 SF Remodel Garage 2 to include a Studio, Bath & Deck w/Trellis Update Garage 1 Replacing Doors and Windows Replace Propane Tank is same location Revise Site Walls to create a courtyard at Entry Change in Roofing and Wall Materials and Colors Window Pattern Change with No Size Change
	BUILDING DATA:
	FLOOR AREA Existing Approved Proposed Lower Level Area 1,066 S.F. 1,166 S.F. 1,187 S.F. Main Level Area 1,974 S.F. 1,974 S.F. 1,974 S.F. Garage-1 Upper 364 S.F. 364 S.F. 364 S.F. Garage-2 Lower 496 S.F. 496 S.F. 496 S.F. Spa/Gazebo 122 S.F. 122 S.F. 122 S.F. Sauna/Shed (28 S.F. 0 S.F. 0 S.F. 0 S.F. 4 Pergola to Driveway — 483 S.F. 0 S.F. 0 S.F. 4 Covered Veranda 346 S.F. 260 S.F. 320 S.F. 4 Total 4,396 S.F. 4,708 S.F. 4,281 S.F. 4 Site Coverage: Original.....3,330 S.F.=11.1% Approved.....3,579 S.F.=12.0% Proposed.....3,154 S.F.=11.1% Floor Area Ratio: Original.....4,396 S.F.=14.7% Approved.....4,708 S.F.=15.7% Proposed.....4,281 S.F.=14.3% IMPERVIOUS SURFACE Existing Approved Proposed Driveway 4,678 S.F. 4,358 S.F. 3,658 S.F. Upper Decks & Walks included in above 1,298 S.F. Lower Deck 230 S.F. 210 S.F. 137 S.F. Lower Patio 424 S.F. 424 S.F. 113 S.F. Total 5,332 S.F. 4,782 S.F. 5,206 S.F. Tree Removal: None Grading for Driveway Replacement: ▲ (20CY Cut and 20CY Fill)


DATE	REVISION
6/4/16	Plan Check Corrections
7/18/16	Back Check Corrections
2/16/17	Bath floor plan changes Window reductions
7/26/17	Phase 2 Site Additions and Changes

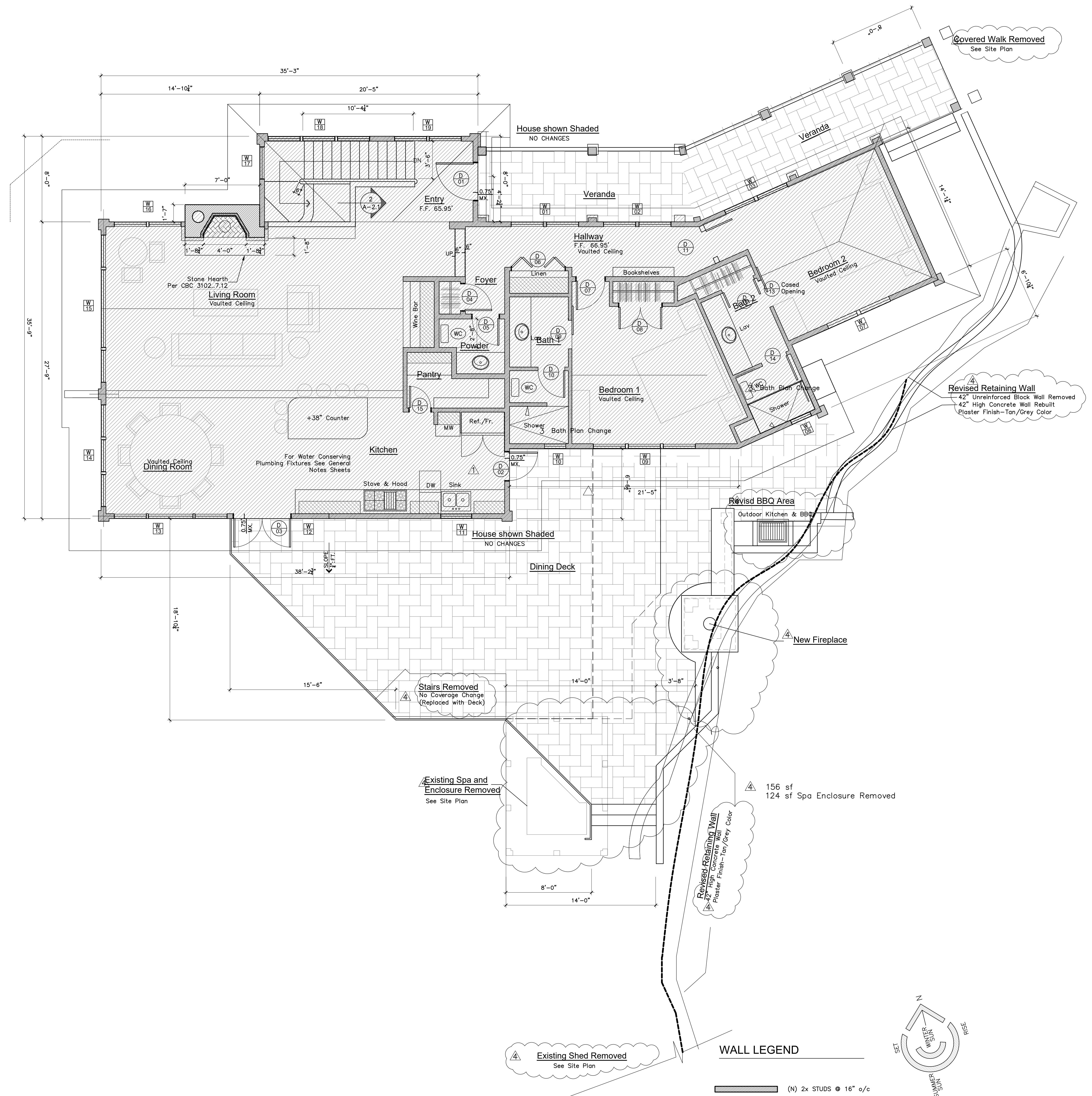
Jon Sather Erlandson	Architect - C11925
Juniper Street 2 SW of 4th Avenue, Carmel By The Sea	
MAIL: Post Office Box 7108 Carmel California 93921	Email: jon@jonerlandson.com
Phone: (831) 625-6163	

BESHOFF RESIDENCE
Carmel, California 93923

1	PROJECT TITLE	3	PROJECT TEAM	4	PROJECT INFORMATION	5
2	<p>1. These documents have been approved for construction by the Planning and Building Departments and the project Architect. Any deviations from the work described herein must be authorized in advance by the Architect and submitted to the appropriate agencies for approval.</p> <p>2. All work shall conform to the 2013 edition of the California Residential Code (C.B.C.) and to all city and/or county planning and building department regulations.</p> <p>3. Prior to submitting bids, contractors shall verify all dimensions and conditions at the project site and notify the Architect of any discrepancies between these documents and the site conditions.</p> <p>4. Contractor shall provide adequate temporary support and shoring as required at all areas where existing support walls, beams, footings, and/or headers are designated to be removed.</p> <p>5. Contractor shall immediately inform the Architect of any condition discovered during demolition which may require revision of project details or which may affect project construction costs.</p> <p>6. No person may tap into hydrants for any purpose other than fire suppression or emergency aid without first obtaining written approval from the water purveyor supplying water to the hydrant and from the Monterey County Health Department.</p> <p>7. All hose bibs used in connection with construction activities shall be equipped with an automatic shutoff nozzle.</p> <p>8. No potable water shall be used for compaction or dust control purposes in construction activities where there is a reasonably available source of reclaimed or other sub-potable water approved by the Monterey County Health Department and appropriate for such use.</p> <p>9. One window or door in each sleeping room shall provide a minimum operable area of 5.7 sq. ft., with a minimum clear width of 20", a minimum clear height of 24" and a maximum sill height of 44".</p> <p>10. Exterior lath & plaster wall assemblies shall include two layers of grade D paper when applied over wood base sheathing.</p> <p>11. 110 Volt battery backup Smoke detectors and Carbon Monoxide Sensors shall be installed in every room, at the top of every stairwell, and in all hallways leading to bedrooms. Refer to drawing for additional location requirements.</p> <p>12. Toilets shall be 1.28 Gallon per flush maximum, Kitchen faucet flow shall be 1.8 GPM maximum, showerheads shall be 2.0 GPM maximum and lavatory and sink faucets shall be 1.5 GPM maximum.</p> <p>13. Site Retaining Walls are existing and were constructed in 2010 under a separate building permit.</p>	<p>APPLICABLE CODES FOR THIS PROJECT:</p> <ul style="list-style-type: none"> • 2013 CA Building Code (Based on 2012 International Building Code) • 2013 CA Fire Code (Based on 2012 International Fire Code) • 2013 CA Plumbing Code (Based on 2012 Uniform Plumbing Code) • 2013 CA Mechanical Code (Based on 2012 Uniform Mechanical Code) • 2013 CA Electrical Code (Based on 2011 National Electrical Code) • 2013 CA Residential Code • 2013 CA Energy Code • 2013 California Green Building Code (CGBC) <p>3. CLEAR VEGETATION: ALL FLAMMABLE VEGETATION OR OTHER COMBUSTIBLE GROWTH SHALL AT ALL TIMES BE MAINTAINED AT A CLEAR DISTANCE OF NOT LESS THAN 100 FEET ON EACH SIDE FROM THE STRUCTURE OR BUILDINGS. THIS SHALL NOT APPLY TO SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THAT THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE. ADDITIONAL FIRE PROTECTION OR FIREBREAK MAY BE REQUIRED WHEN BECAUSE OF EXTRA HAZARD CONDITIONS. IF THE NATIVE GROWTH AND THE STRUCTURE IS NOT SUFFICIENT TO PROVIDE REASONABLE FIRE SAFETY, ENVIRONMENTALLY SENSITIVE AREA MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY THE FIRE CHIEF AND DIRECTOR OF PLANNING AND BUILDING. THIS PROJECTS REQUIRES 100 FEET CLEARANCE.</p> <p>4. PRIVACY GATES SHALL BE PROVIDED WITH A KEYED SWITCH MEETING FIRE DEPARTMENT SPECIFICATIONS. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE, BUT IN NO CASE LESS THAN 12 FEET WIDE. UNOBSTRUCTED VERTICAL CLEARANCES SHALL BE NOT LESS THAN 15 FEET.</p>	<p>APPLICABLE CODES</p> <p>DEFERRED SUBMITTALS:</p> <p>The following items shall be submitted to the Monterey Building Department for review and approvals during the course of construction. Shop drawings shall first be reviewed and approved by the Architect. None of the work for these items shall commence prior to obtaining County approval.</p> <ul style="list-style-type: none"> * Fire Sprinklers * Stainless steel handrails and guardrails 	<p>PROPOSED ARCHITECTURAL DRAWINGS</p> <p>Sheet G-1.1 Cover Sheet- General Notes</p> <p>Sheet G-1.2 General Notes</p> <p>Sheet G-1.3 Mandatory Measures and Best Management Practices</p> <p>Sheet C-1.1 Existing Site Plan</p> <p>Sheet C-1.2 Proposed Plot Plan</p> <p>Sheet C-1.2-R Plot Plan with Sitework Revisions</p> <p>Sheet CM-1.0 Construction Management Plan</p> <p>Sheet C-1.3 Erosion Control - Tree Protection Notes</p> <p>Sheet A-1.1 Not Used</p> <p>Sheet A-2.1 Upper Floor Plan and Stair Details</p> <p>Sheet A-2.1-R Upper Floor Plan with Exterior Sitework Revisions</p> <p>Sheet A-2.2 Lower Floor Plan and Handrail Details</p> <p>Sheet A-2.2-R Lower Floor Plan Deck Revisions</p> <p>Sheet A-2.3-R Roof Plan-Revised</p> <p>Sheet A-2.4-R NOT USED Dining Gazebo DELETED</p> <p>Sheet A-2.5-R NOT USED Dining Gazebo DELETED</p> <p>Sheet A-2.6-R NOT USED Sauna DELETED</p> <p>Sheet A-3.1 Exterior Elevations North and East</p> <p>Sheet A-3.2 Exterior Elevations South and West</p> <p>Sheet A-4.1 Building Section</p> <p>Sheet A-4.2 Building Section</p> <p>Sheet A-5.1 Details</p> <p>Sheet A-5.2-R Barbecue Plans and Details</p> <p>Sheet A-5.3-R Exterior Fireplace Plans and Details</p> <p>Sheet A-5.4-R Entry Walk Arbor and Site Fence Details</p> <p>Sheet A-6.1 Door & Window Schedule</p> <p>Sheet G1-X.1 Garage 1 Existing Plans</p> <p>Sheet G1-A.1 Garage 1 Proposed Plans</p> <p>Sheet G2-X.1 Garage 2 Existing Plans</p> <p>Sheet G2-A.1 Garage 2 Proposed Plans</p> <p>EXISTING ARCHITECTURAL DRAWINGS</p> <p>Sheet EX-2.1 Existing Main Floor Plan and Demolition Plan</p> <p>Sheet EX-2.2 Existing Lower Floor Plan and Demolition Plan</p> <p>Sheet EX-2.3 Existing Roof Plan</p> <p>Sheet EX-3.1 Existing Exterior Elevations</p> <p>Sheet EX-3.2 Existing Exterior Elevations</p> <p>STRUCTURAL DRAWINGS</p> <p>Sheet S1.0 General Notes and Details</p> <p>Sheet S1.1 General Details</p> <p>Sheet S1.2 General Details</p> <p>Sheet S2.1 Foundation and Floor Framing Plan</p> <p>Sheet S2.2 Floor Framing Plans</p> <p>Sheet S2.3 Roof Framing Plan</p> <p>Sheet S8.1 Details</p> <p>Sheet S8.2 Details</p> <p>Sheet SMF-1 Strong Frame Elevation and Details</p> <p>Sheet SMF2 Strong Frame Foundation Details</p> <p>Sheet SMF3 Strong Frame Installation Details</p> <p>Sheet SMF4 Strong Frame Installation Details</p> <p>Sheet SWSB1 Strong Wall SB Shearwall Anchorage Details</p> <p>Sheet SWSB2 Strong Wall SB Shearwall Framing Details</p> <p>MECHANICAL DRAWINGS</p> <p>Sheet MO.1 Mechanical Notes</p> <p>Sheet MO.2 Energy Compliance</p> <p>Sheet M2.1 Lower Level Radiant Panel and Tubing Layout</p> <p>Sheet M2.2 Upper Level Radiant Panel and Tubing Layout</p> <p>Sheet M2.3 Ventilation Plans for Upper and Power Levels</p> <p>Sheet M6.1 Piping Schematic</p> <p>Sheet M6.2 Controls Schematic</p> <p>Sheet M6.3 Details</p> <p>Sheet M6.4 EcoWarm Installation Details</p> <p>Sheet M6.5 Heat Source Venting</p> <p>PLUMBING DRAWINGS</p> <p>Sheet P-2.1 Gas Line Sizing and Schematic</p> <p>ELECTRICAL DRAWINGS</p> <p>Sheet E-1.1 Upper Level Power and Lighting Plan</p> <p>Sheet E-1.2 Lower Level Power and Lighting Plan</p> <p>LANDSCAPE and IRRIGATION DRAWINGS</p> <p>Sheet L-1 Landscape Plans</p> <p>Sheet L-2 Drainage Map</p>	<p>DEFERRED SUBMITTALS</p> <p>GENERAL NOTES</p> <p>6</p> <p>FIRE PROTECTION NOTES</p> <p>7</p> <p>DEFERRED SUBMITTALS</p> <p>8a</p> <p>DRAWING INDEX</p> <p>9</p> <p>DRAWING INDEX</p> <p>10</p> <p>TITLE SHEET</p>	

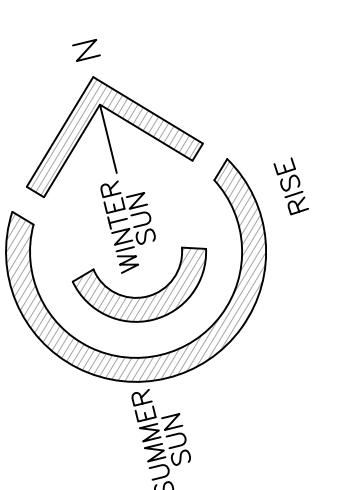
Job Number 2015-05	Drawn By:
Date 12-21-2015	Revisions 10-17-2017
Sheet Number G-1.1-R	of Sheets





MAIN LEVEL FLOOR PLAN

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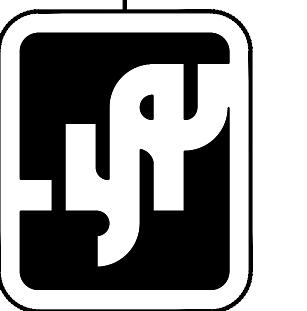
BESHOFF RESIDENCE

29300 Highway One
Carmel, California 93923

SIDENCE
Carmel, California 93923

Junipero Street 2 SW of 4th Avenue, Carmel By The Sea

Juniper Street 2 SW of 4th Avenue, Carmel By The Sea



Junipero Street 2 SW of 4th Avenue, Carmel By The Sea

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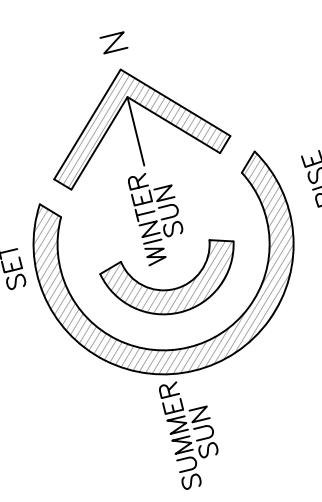
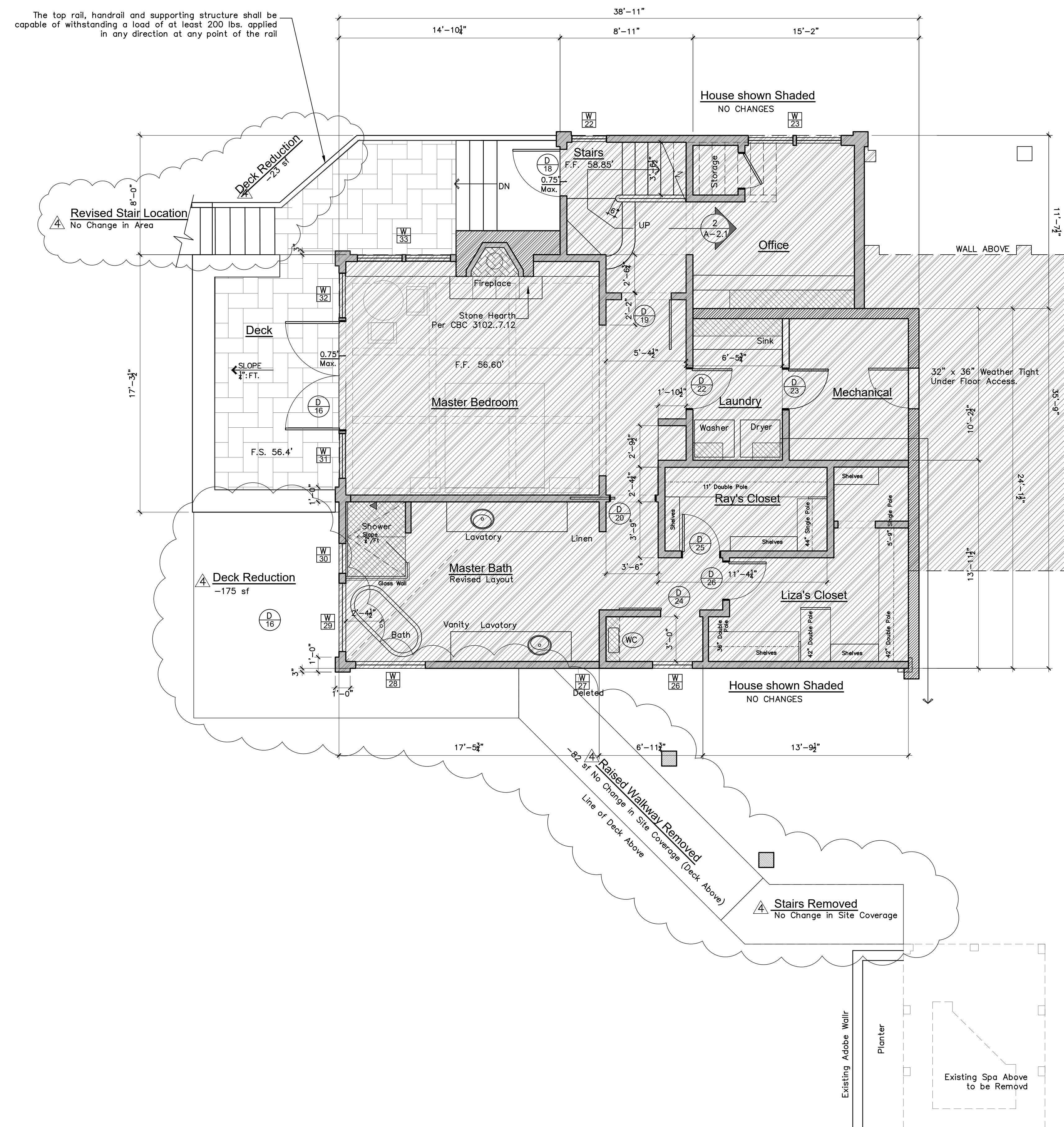
DATE	REVISION
6/4/16	Plan Check Corrections
2/16/17	Plan Change-Bathrooms
6/27/17	Plan Changes-Phase 2

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BESHOFF RESIDENCE

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2930 Highway One



RESIDENCE LOWER LEVEL FLOOR PLAN

1/4"=1'-0"

Job Number 2015-05	Drawn By: JSE
Date 12-21-2015	Revisions 10-17-2017
Sheet Number A-2.2-R of: Sheets	

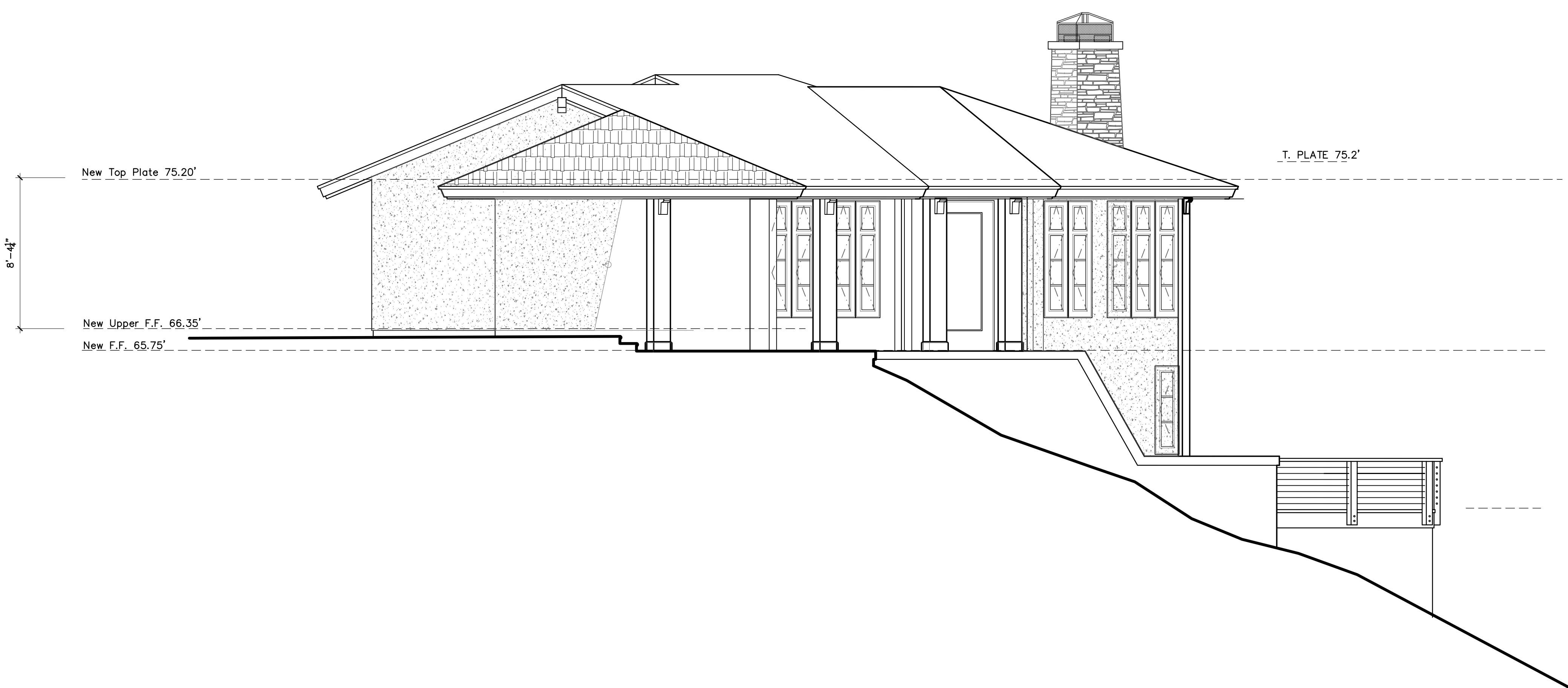
LOWER LEVEL FLOOR PLAN

DATE	REVISION
6/4/16	Plan Check Corrections
2/16/17	Bath Plan Changes Window Changes
10/17/17	Roof Material Change Wall Material Change



RESIDENCE NORTH ELEVATION

SCALE: $\frac{1}{4}''=1'-0''$



PROPOSED EAST ELEVATION

Scale $\frac{1}{4}''=1'-0''$

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BESHOFF RESIDENCE
2930 Highway One
Carmel, California 93923

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2015-05

Drawn By:
JSE

Date
12-21-2015

Revisions
10-17-2017

Sheet Number

A-3.1-R

of: Sheets

EXTERIOR ELEVATIONS

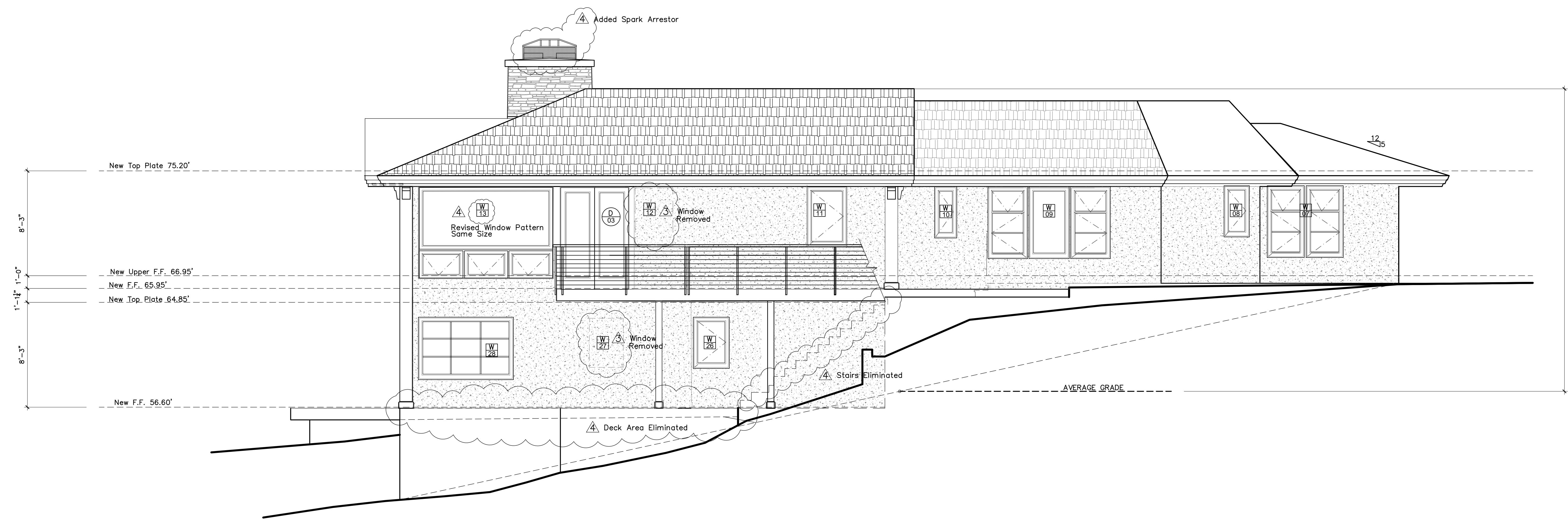
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6/4/16	Plan Check Corrections
7/12/16	Back Check Corrections
2/16/17	Interior Floor Plan and Exterior Window Changes
4/10/17/17	Roof Material Change Wall Material Change

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Phone: (831) 625-4633

SCALES: X"=1'-0"



PROPOSED SOUTH ELEVATION

SCALE: X"=1'-0"



BESHOFF RESIDENCE

Carmel, California 93923

2930 Highway One

Job Number	Drawn By:
2015-05	JSE
Date	Revisions
12-21-2015	10-17-2017
Sheet Number	
A-3.2-R	
of:	Sheets

EXTERIOR ELEVATIONS

PROPOSED WEST ELEVATION

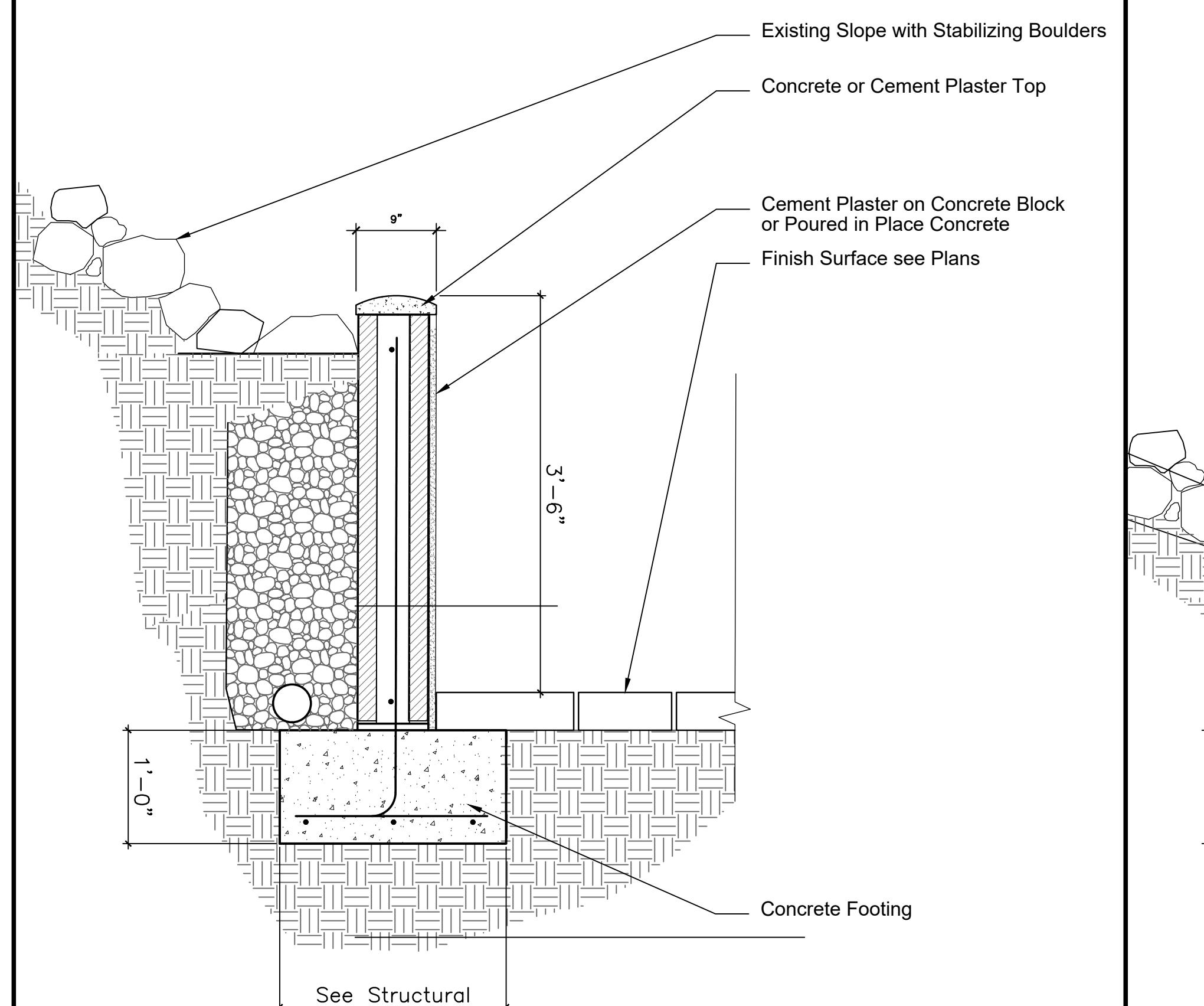
1/4"=1'-0"

DATE	REVISION
6/4/16	Plan Check Corrections
7/26/17	Phase 2 Changes

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 Phone: (831) 625-6163

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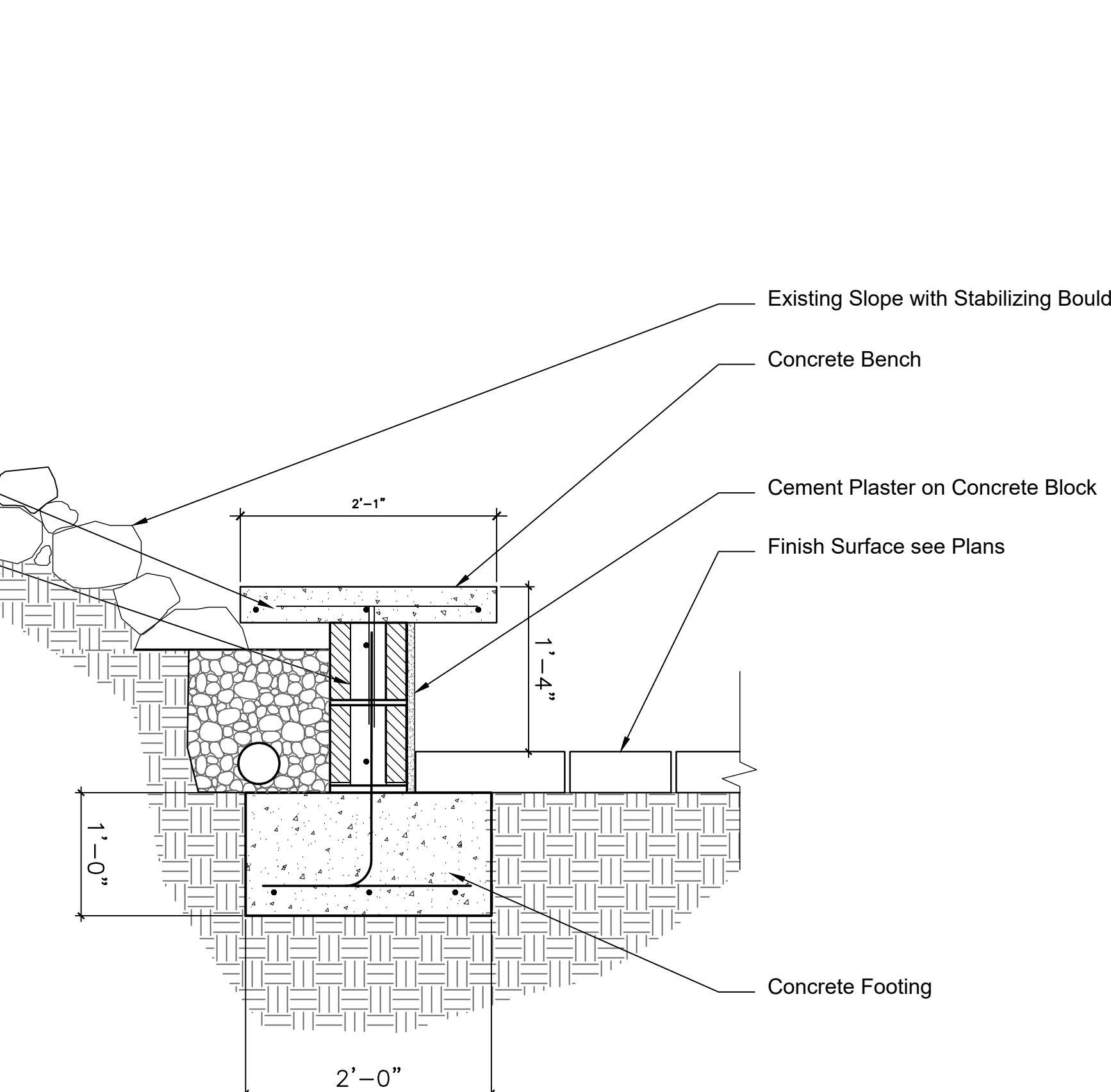
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 Carmel, California 93923



SITE RETAINING WALL SECTION

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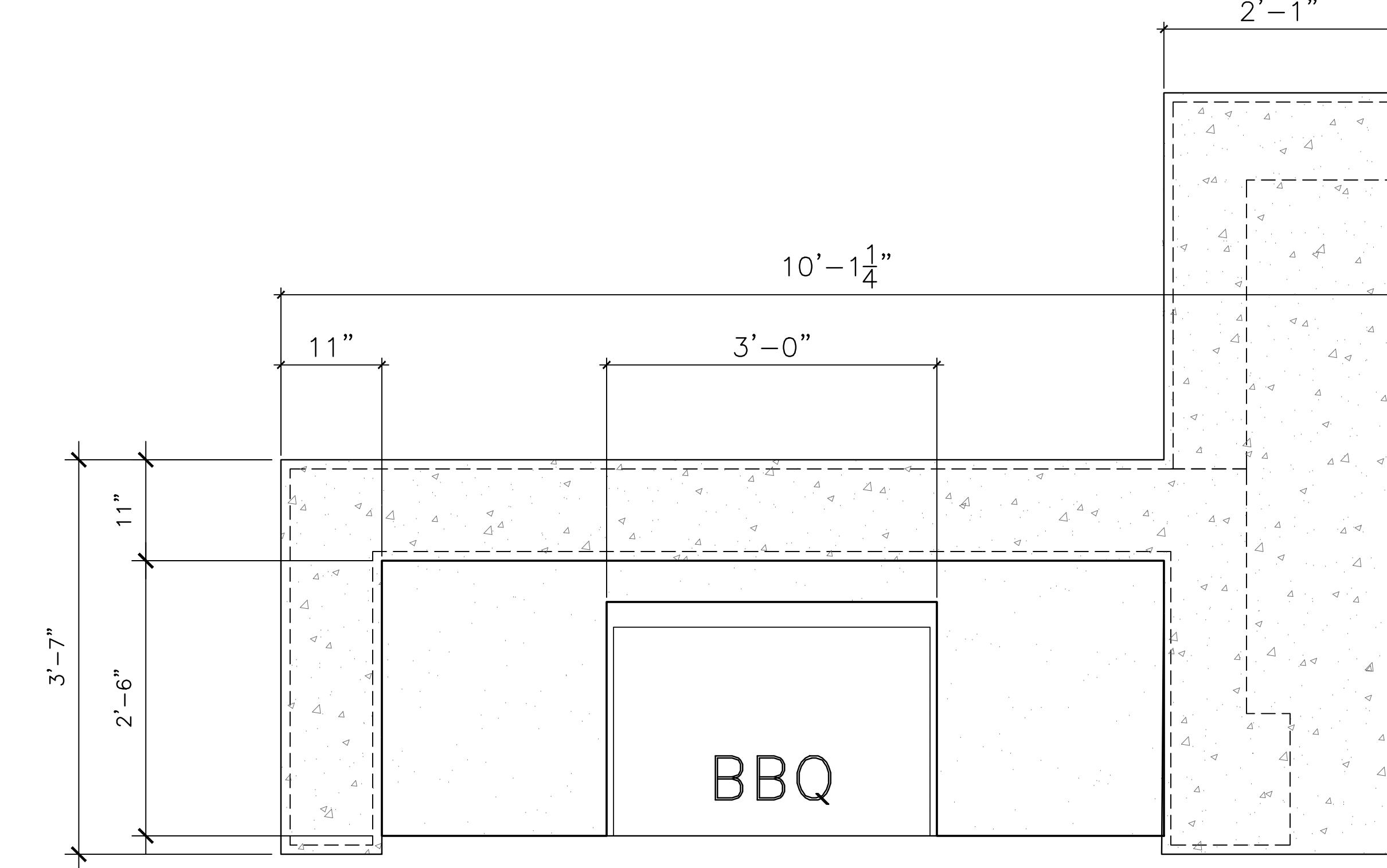
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SITTING WALL SECTION

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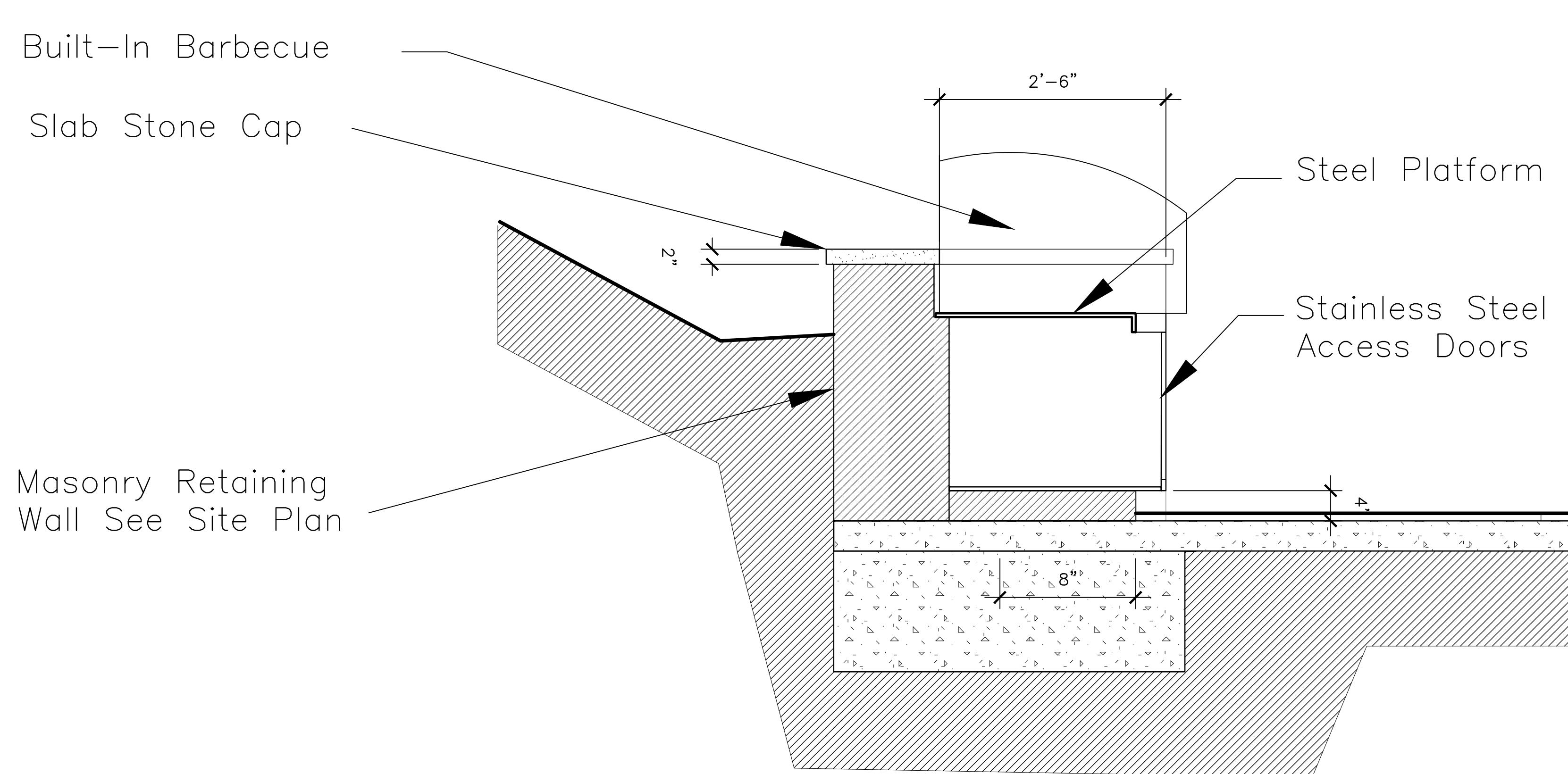
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EXTERIOR KITCHEN PLAN

Scale: 1"=1'-0"

3



Masonry Retaining
Wall See Site Plan

Built-In Barbecue

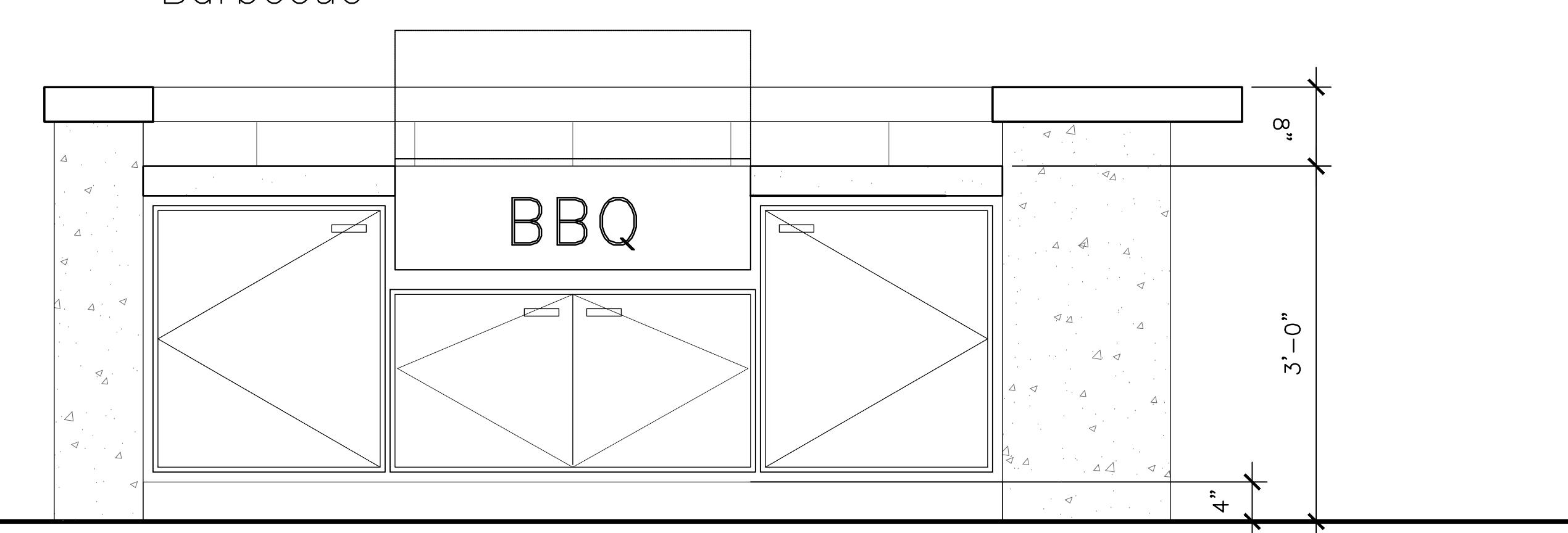
Slab Stone Cap

Steel Platform

Stainless Steel
Access Doors

Concrete Counters

Stainless Steel
Barbecue



Stainless
Access
Doors

Cement Plaster
Finish to match
Residence

Job Number 2015-05	Drawn By:
Date 12-21-2015	Revisions 10-17-2017
Sheet Number A-5.2.R of: Sheets	

SITTING WALL SECTION

Scale: 1"=1'-0"

4

EXTERIOR KITCHEN ELEVATION

Scale: 1"=1'-0"

5

SITE DETAILS

DATE	REVISION
6/4/16	Plan Check Corrections
7/26/17	Phase 2

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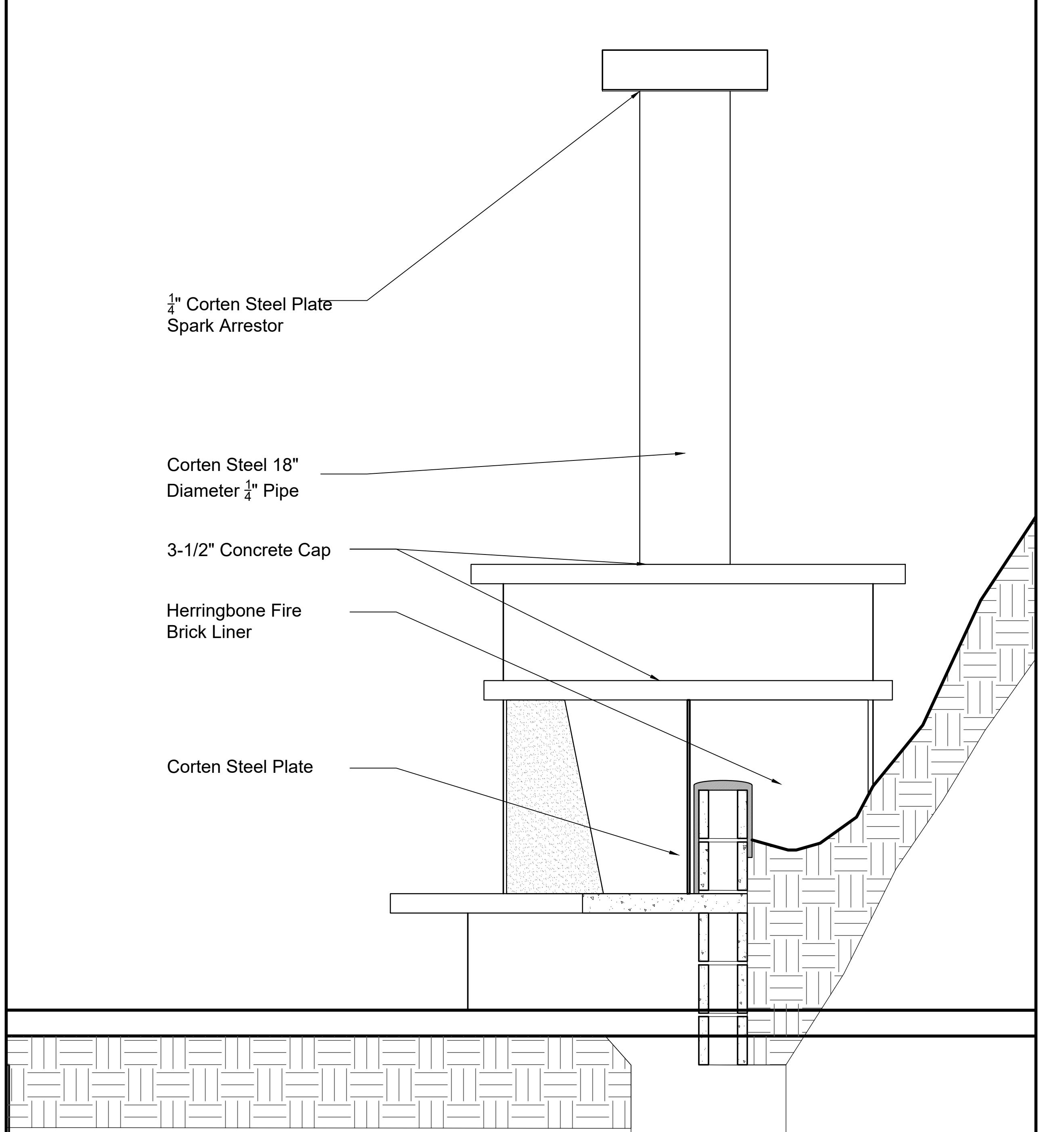
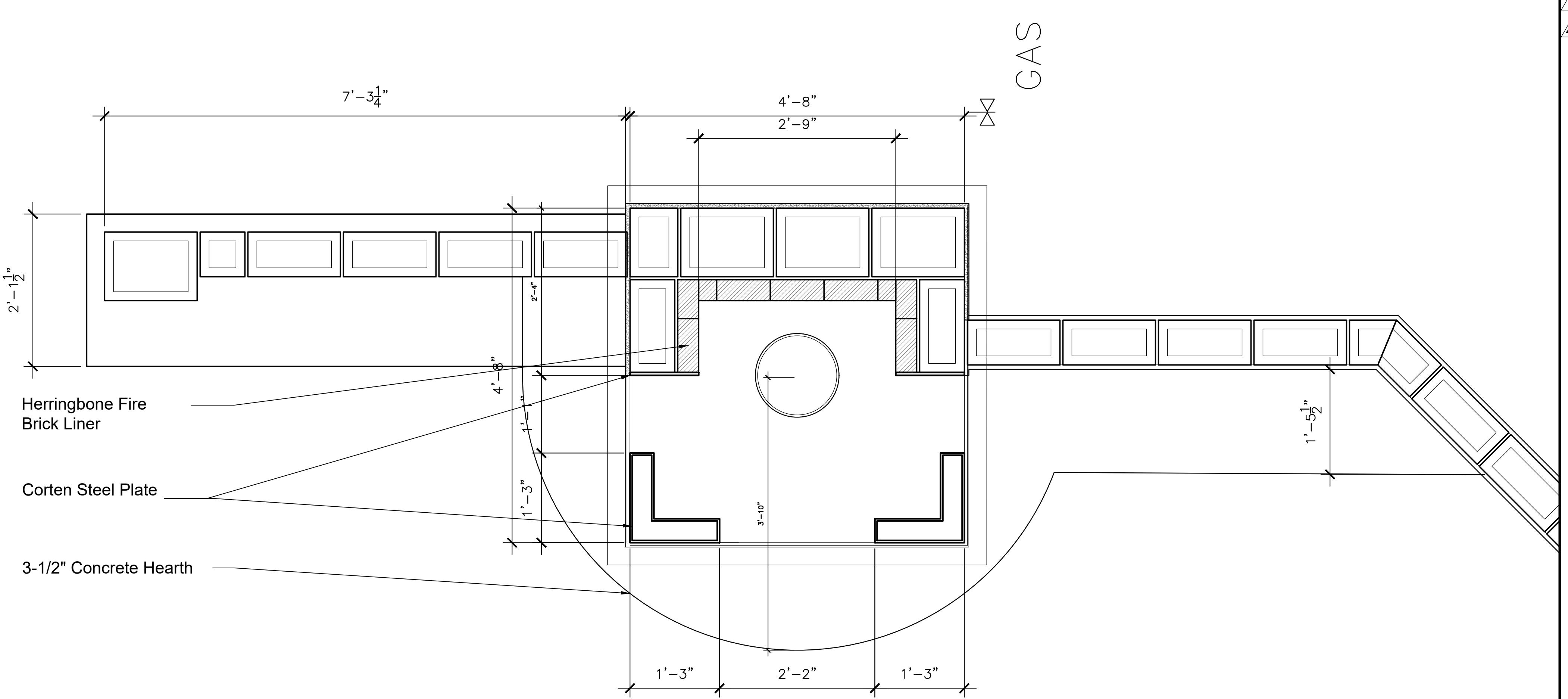
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Carmel, California 93923

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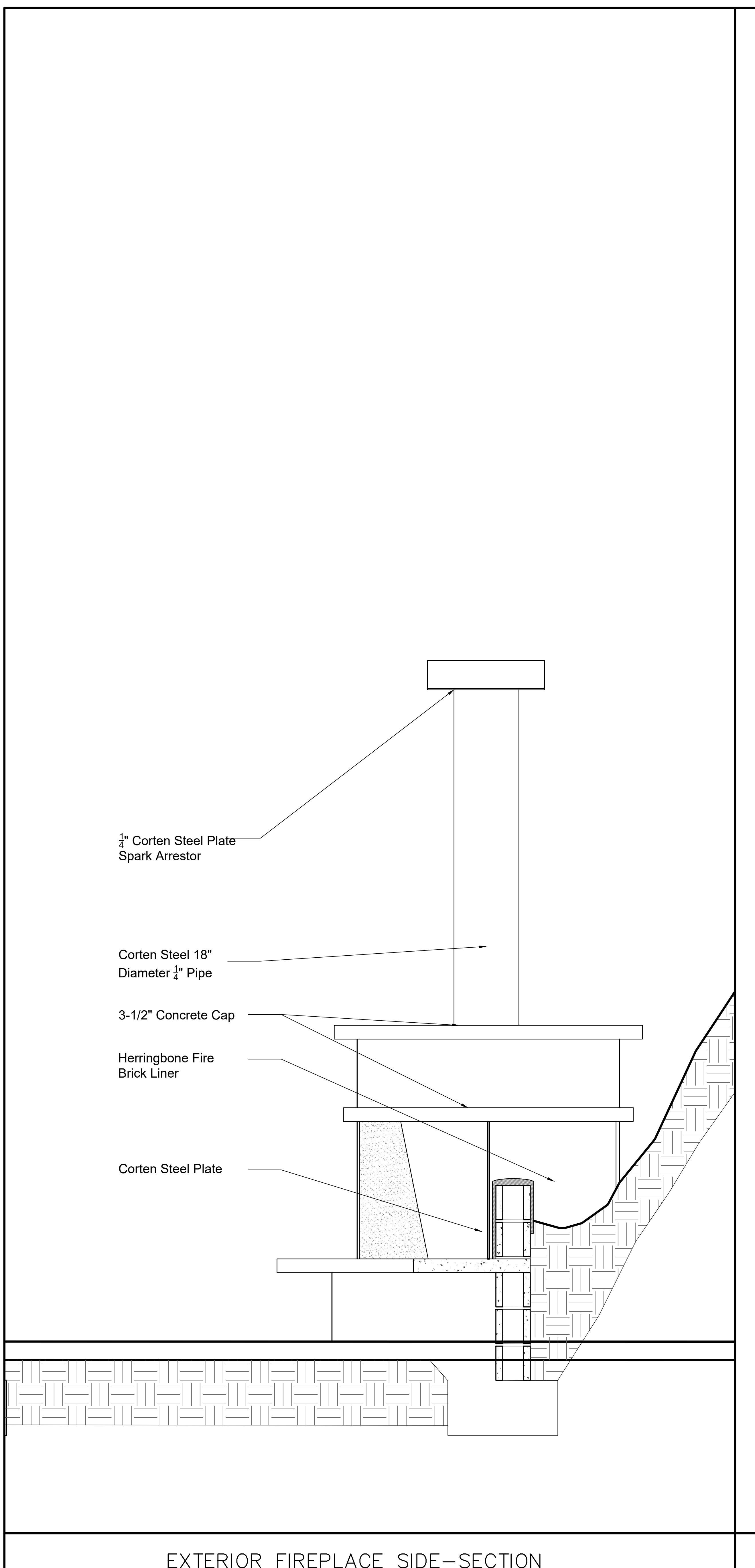
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EXTERIOR FIREPLACE



EXTERIOR FIREPLACE SIDE-SECTION



EXTERIOR FIREPLACE SIDE-SECTION

EXTERIOR FIREPLACE PLAN and ELEVATION

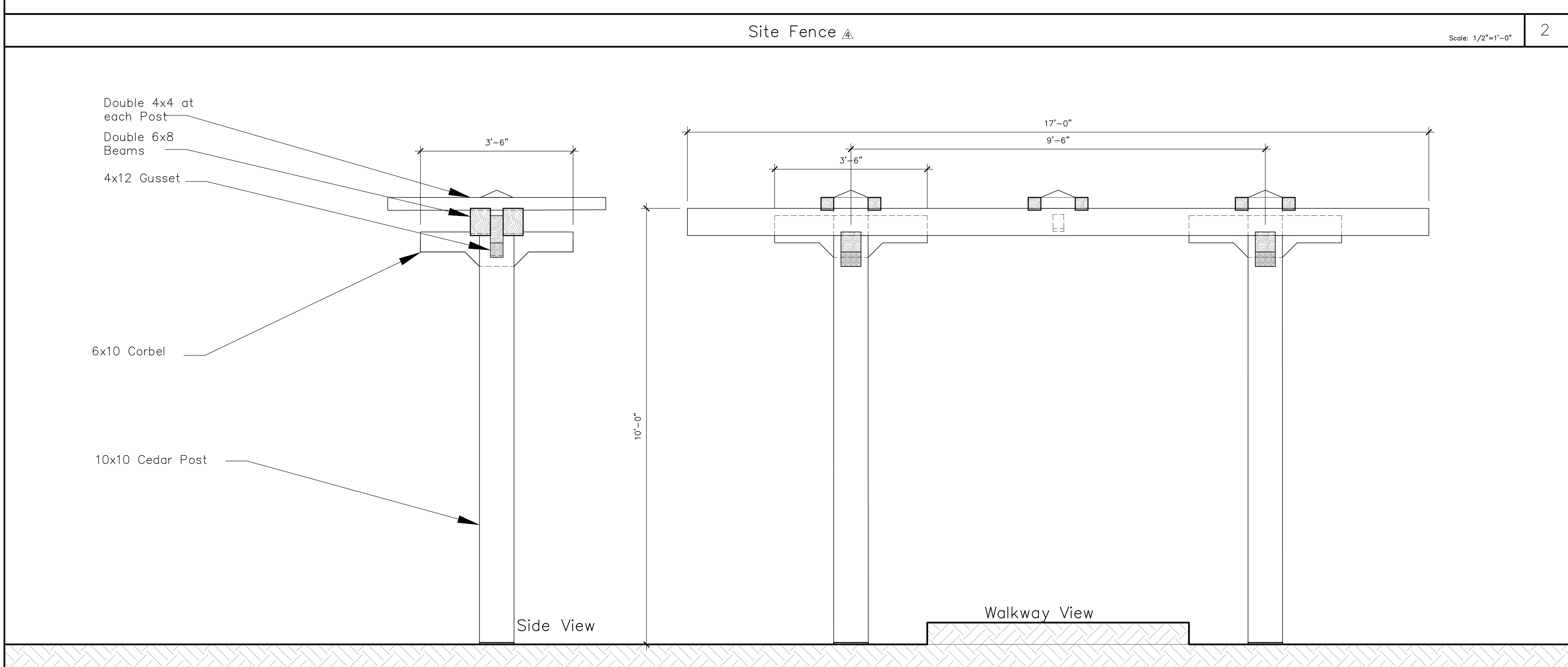
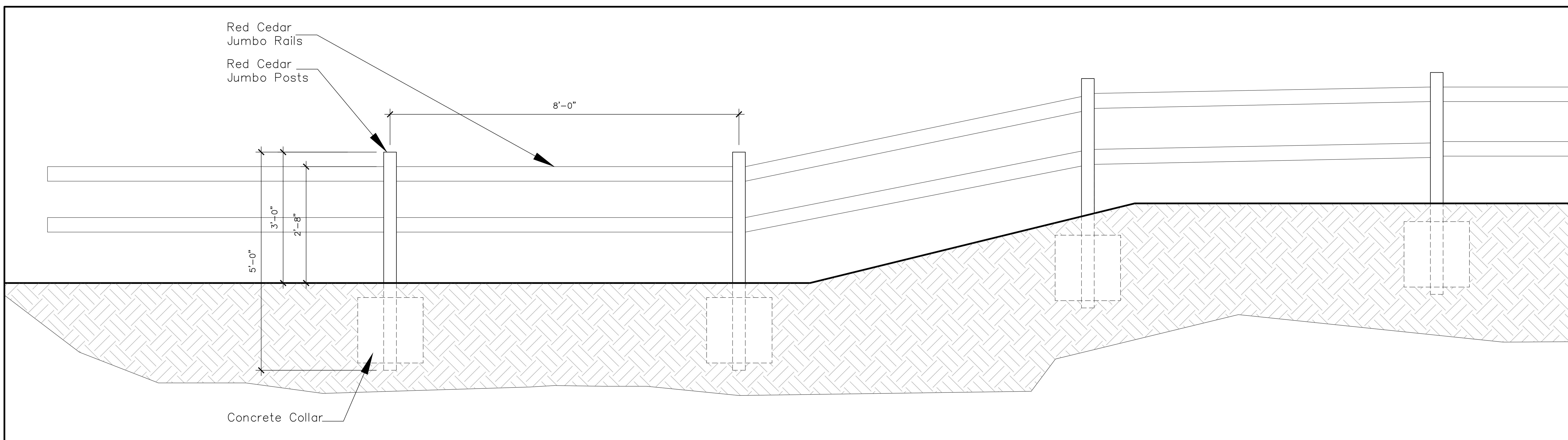
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DATE	REVISION
7/26/17	Phase 2

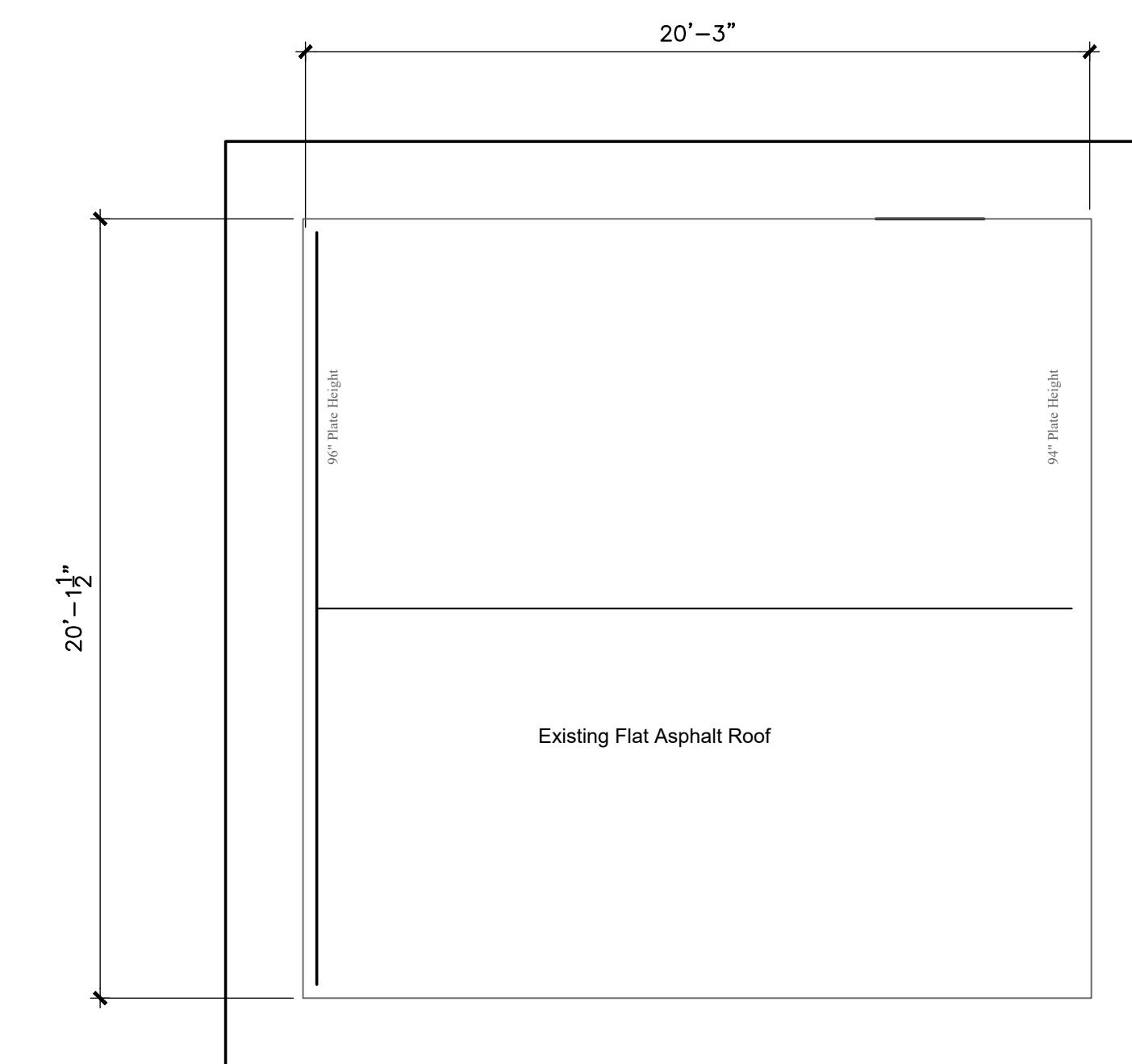
Jon Sather Erlandson Architect - C11925
 Junipero Street 2 SW of 4th Avenue Carmel By The Sea
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BESHOFF RESIDENCE

carmel, California 93923
 29300 Highway One



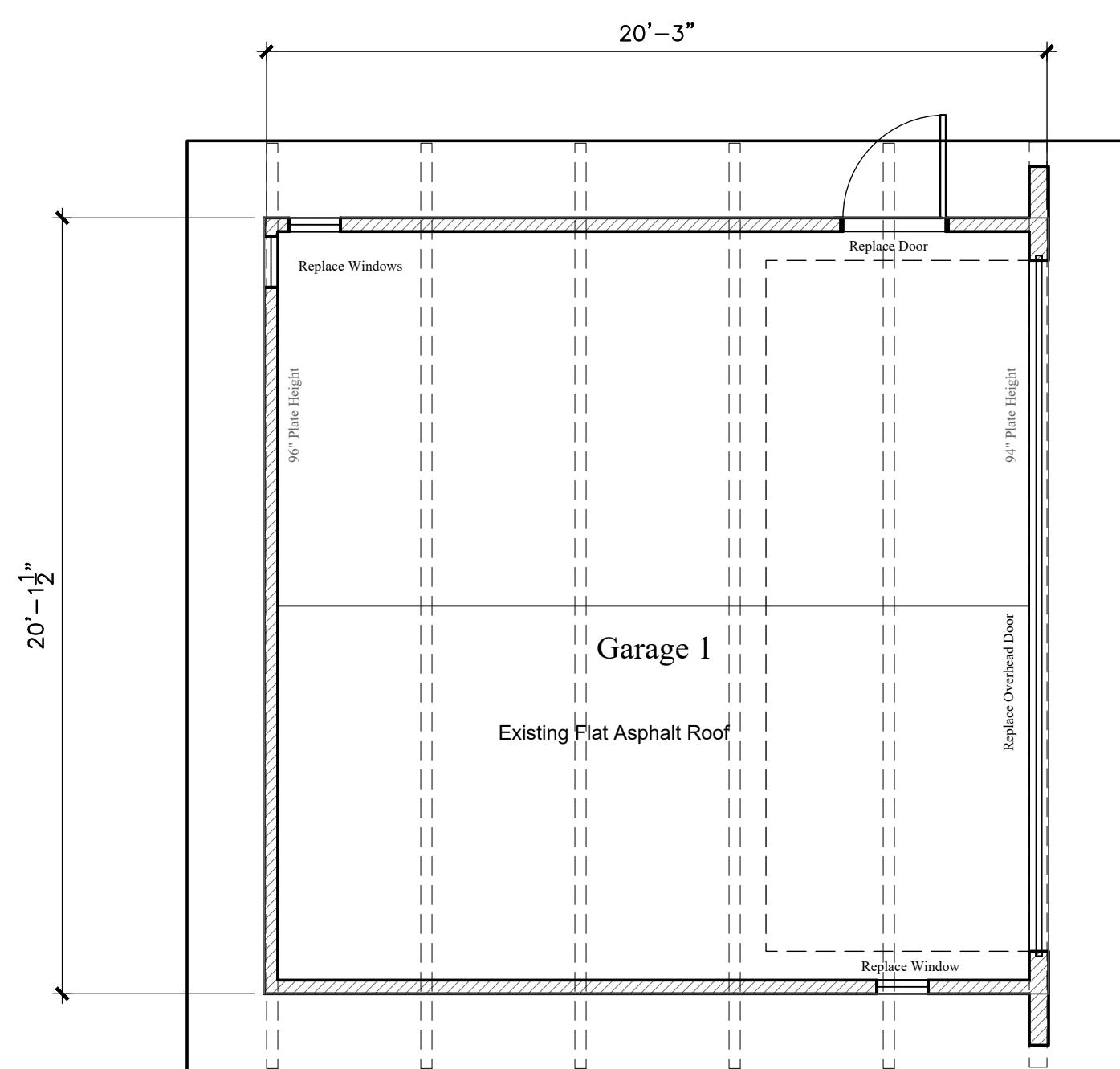
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Date 12-21-2015	Revisions 10-17-2017
Sheet Number A-5.4 R of: Sheets	
Walkway Arbor	



Roof Plan

Scale: 1/4"=1'-0"

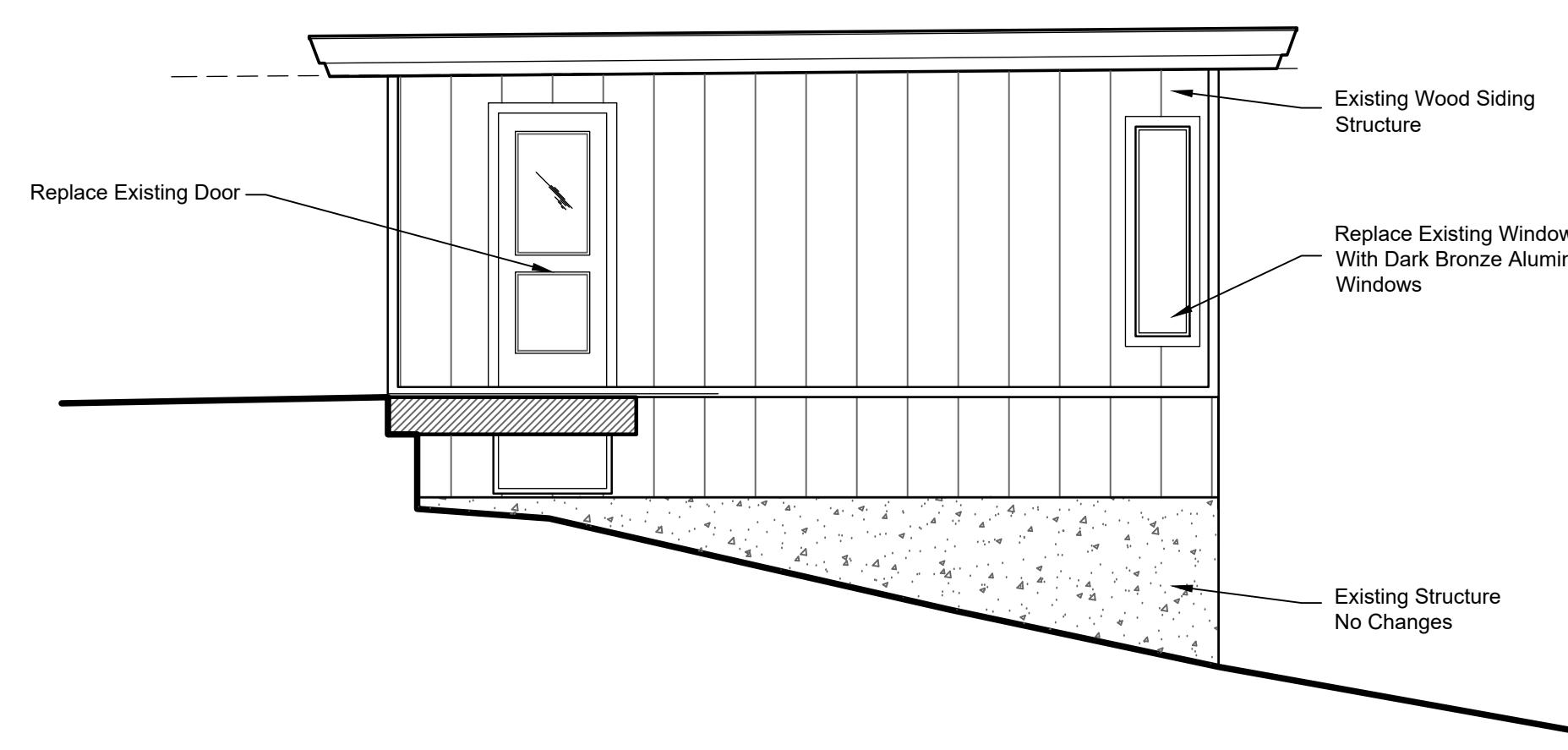
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Floor Plan

Scale: 1/4"=1'-0"

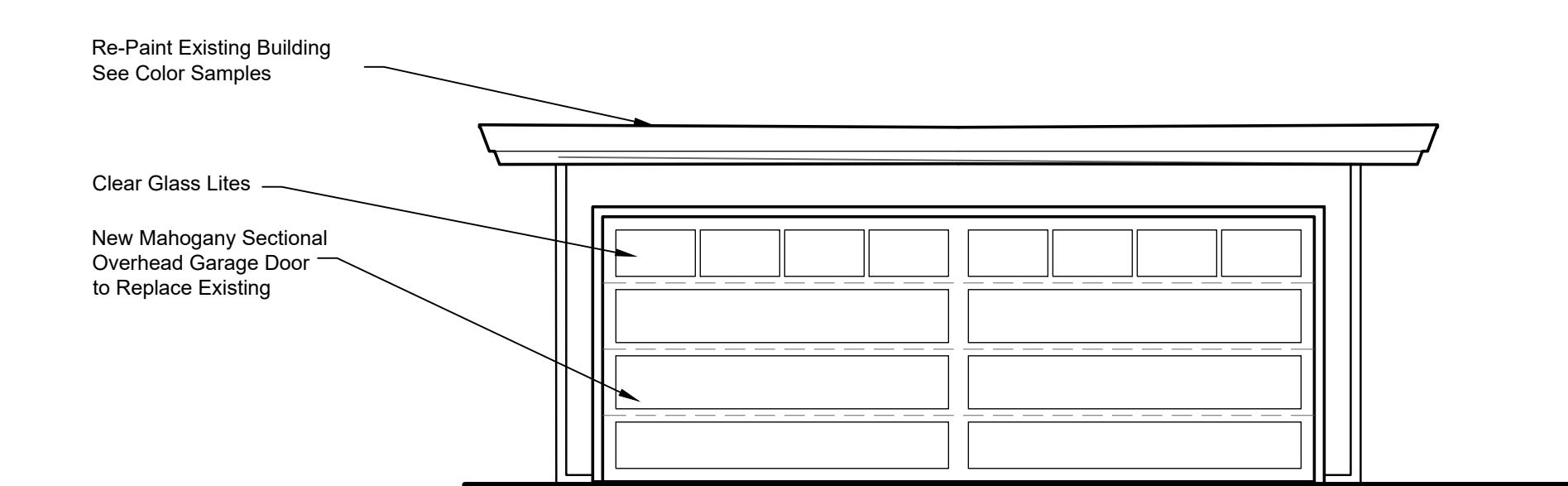
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North Elevation

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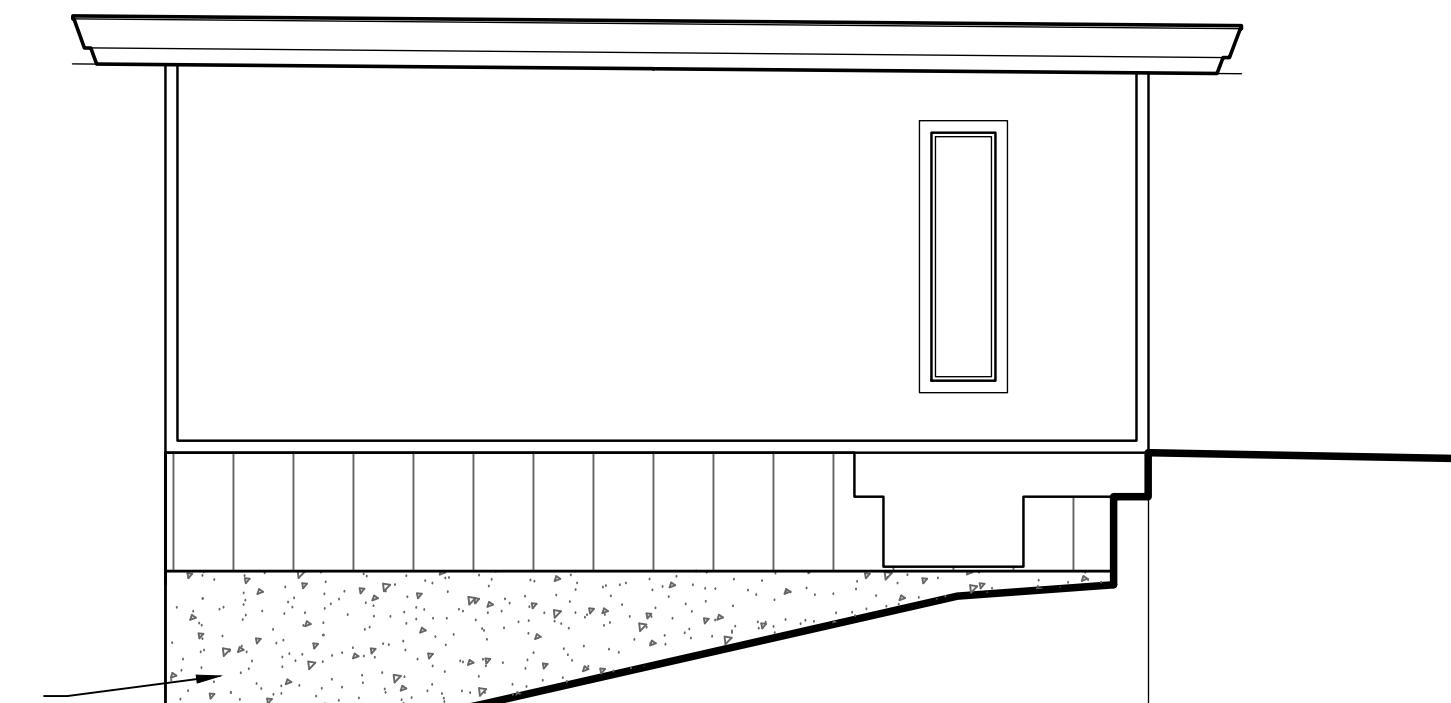
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East Elevation

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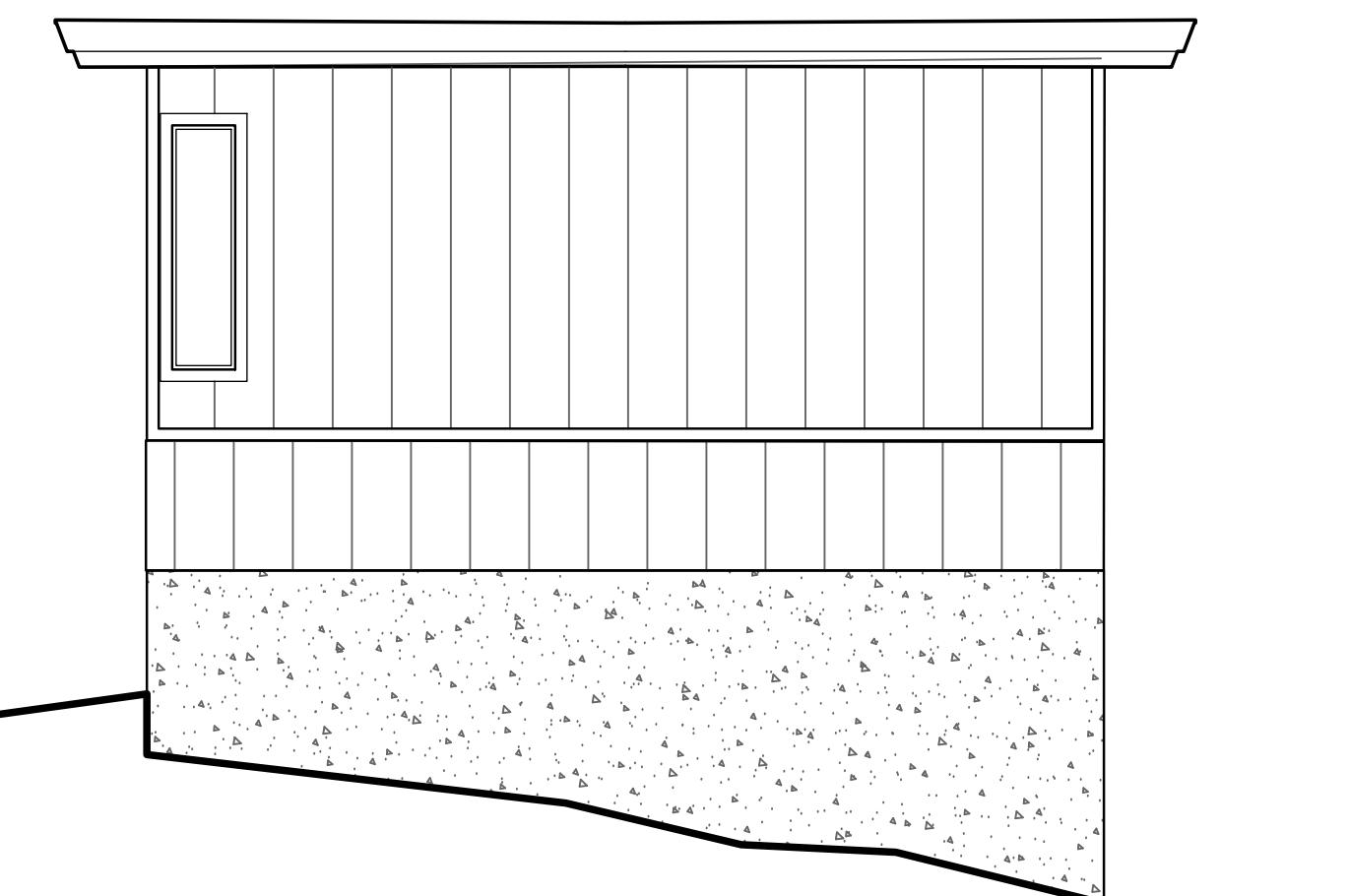
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South Elevation

Scale: 1/4"=1'-0"

5



West Elevation

Scale: 1/4"=1'-0"

6

Beshof Residence Garage Plans

29300 Highway 1
Carmel Highlands, California 93923

Job Number
2016-05

Drawn By
JSE

Date
03-21-2017

Revisions
10-17-2017

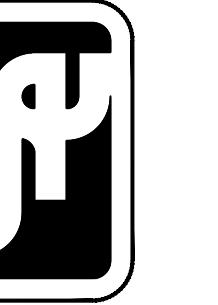
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Sheets

Garage 1 Proposed Plans

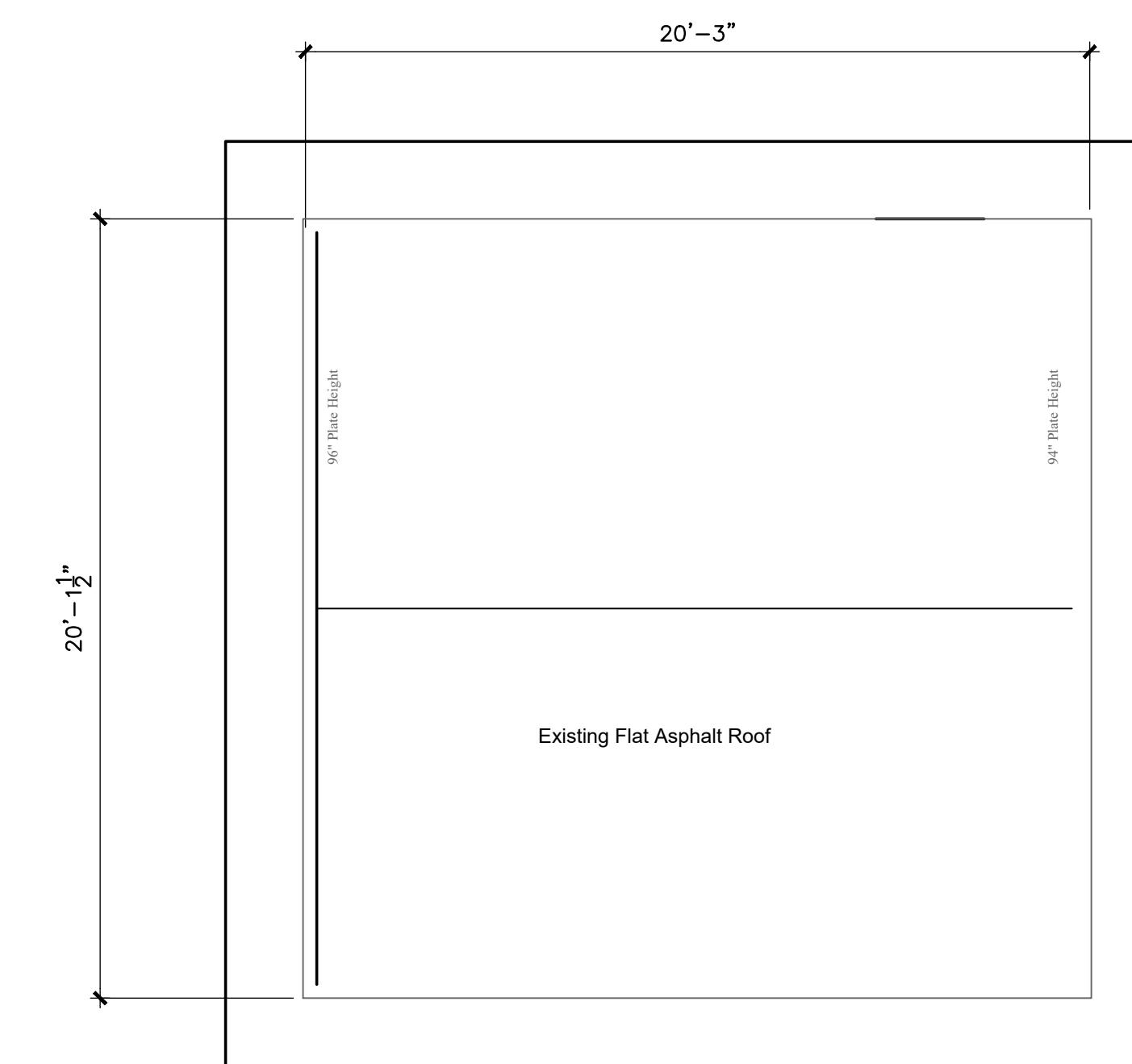
Jon Sather Erlandson Architect - C11925

Junipero St 2 South-West of 4th Ave, Carmel By The Sea

MAIL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel California 93921
Phone: (831) 625-6163 Facsimile: (831) 625-5778 Email: jse-architect@prodigy.net



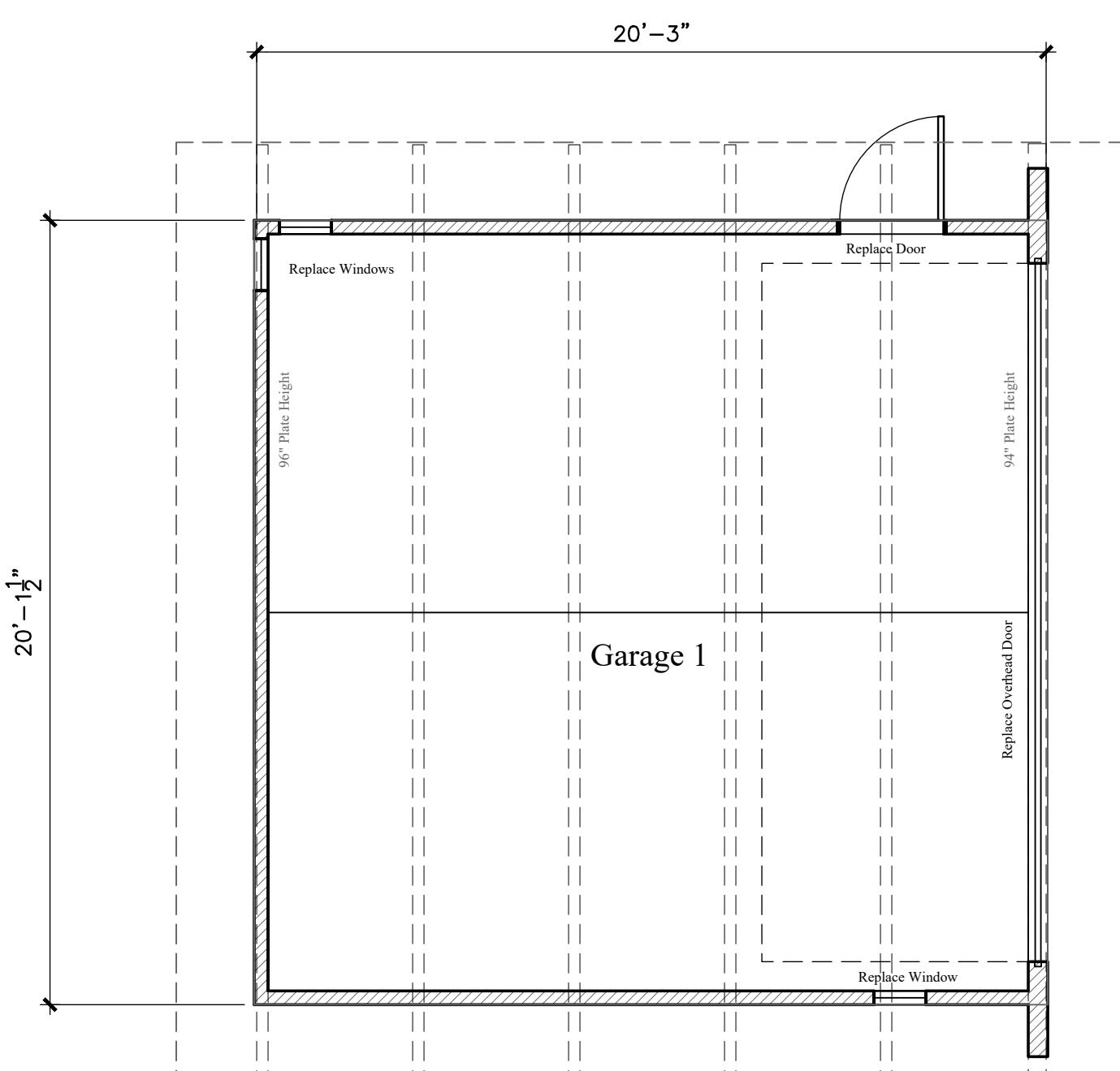
Existing Overhead Garage Door



Roof Plan

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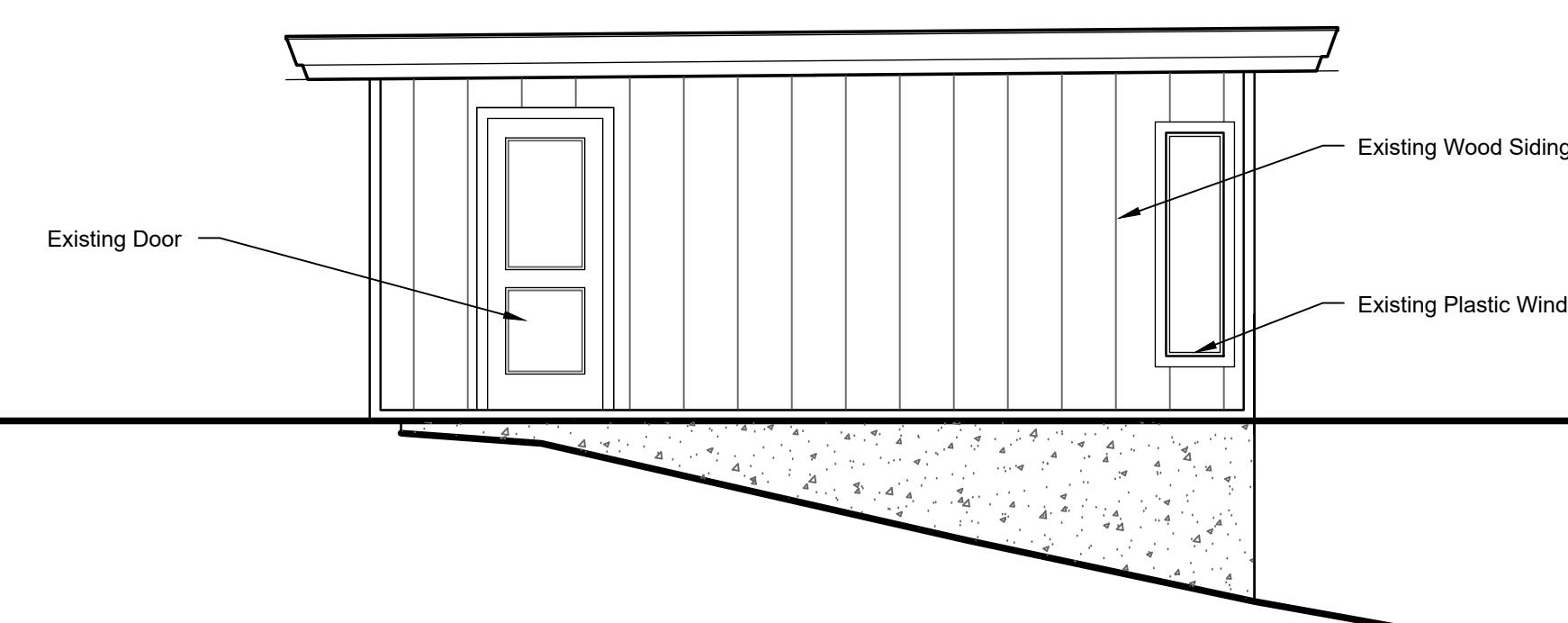
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Floor Plan

Scale: 1/4"=1'-0"

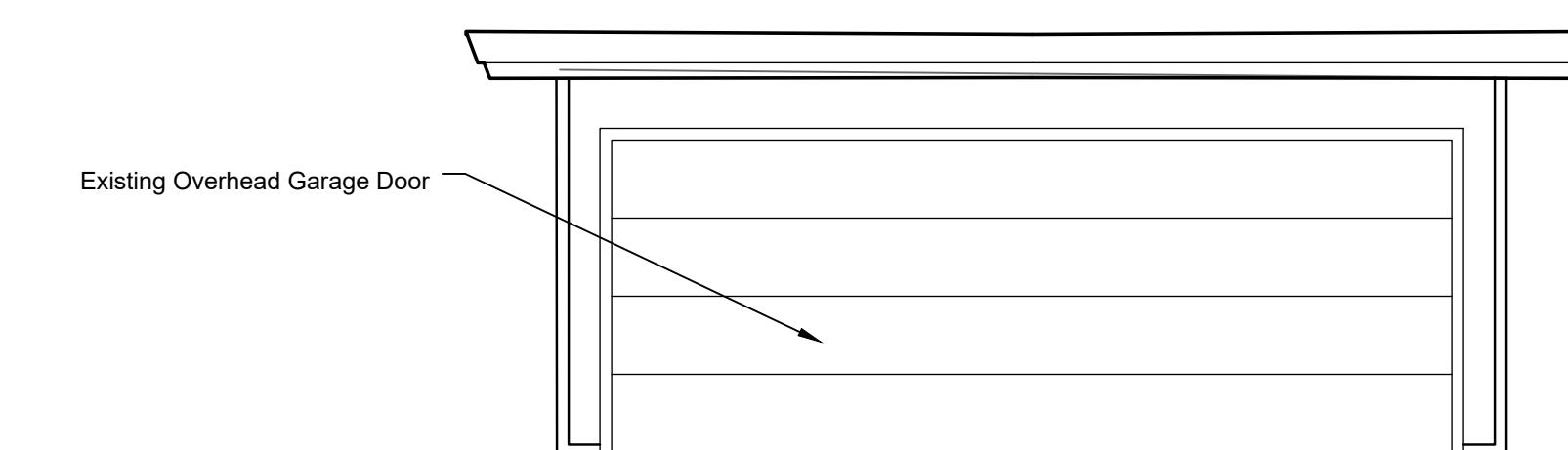
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North Elevation

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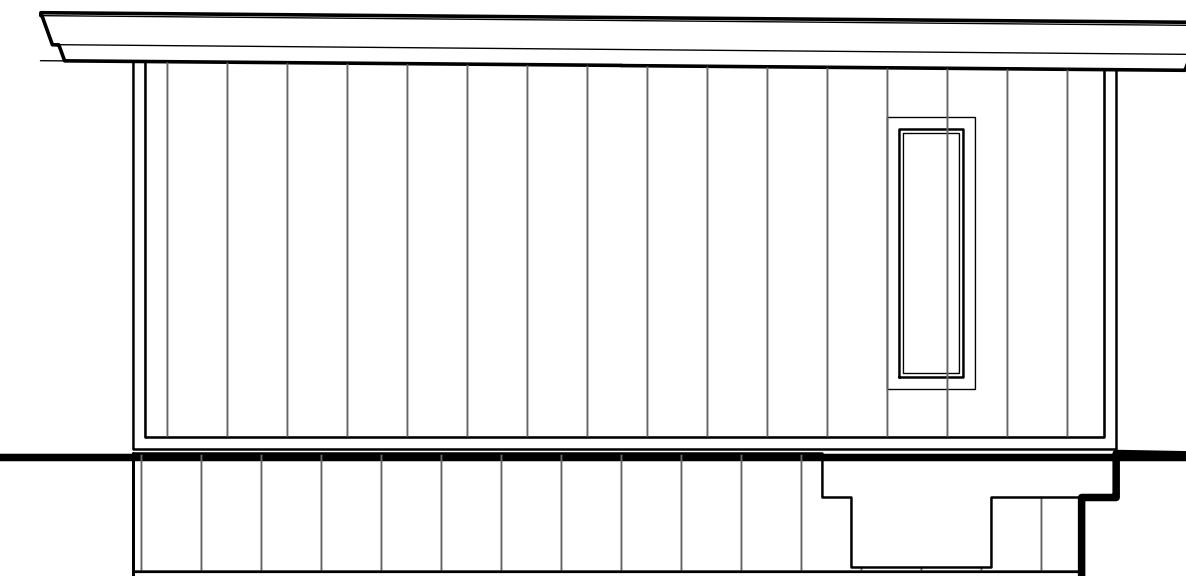
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East Elevation

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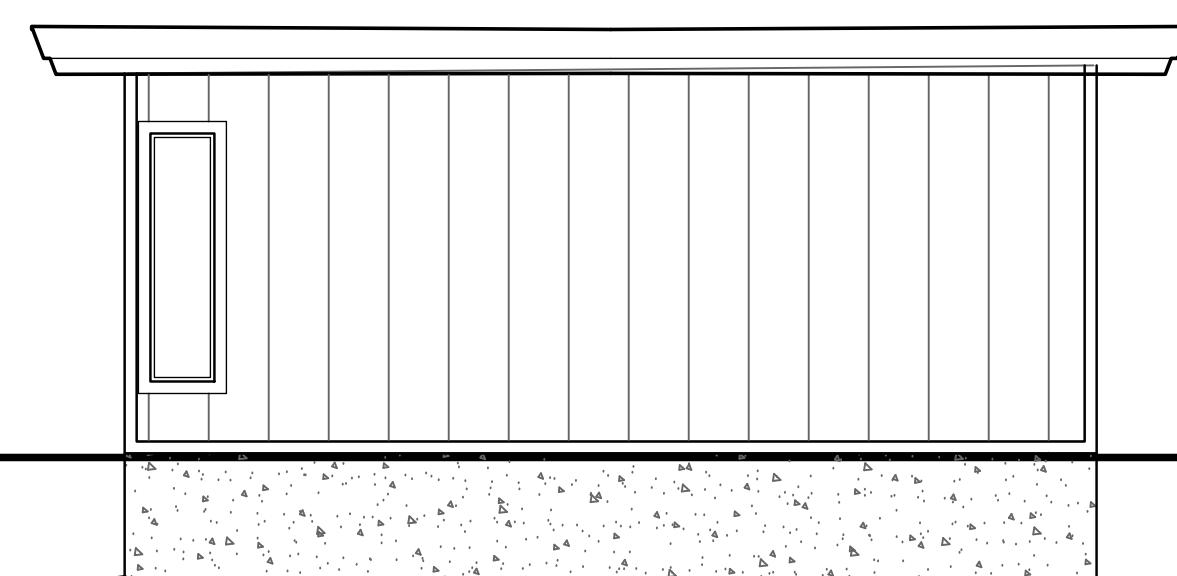
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South Elevation

Scale: 1/4"=1'-0"

5



West Elevation

Scale: 1/4"=1'-0"

6

Beshof Residence Garage Plans

Carmel Highlands, California 93921

29300 Highway 1

Job Number
2016-05

Drawn By
JSE

Date
03-21-17

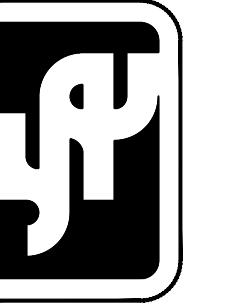
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10-178-2017

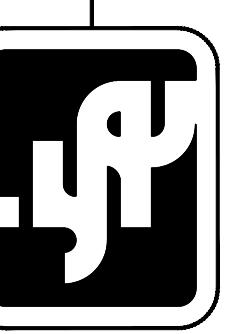
Sheet Number New Sheet
G1-X-1
of: Sheets

Garage 1 Existing Plans

Jon Sather Erlandson Architect - C11925
Junipero St 2 South-Nest of 4th Ave, Carmel By The Sea

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Beshof Residence Garage Plans

Carmel Highlands, California 93923

29300 Highway 1

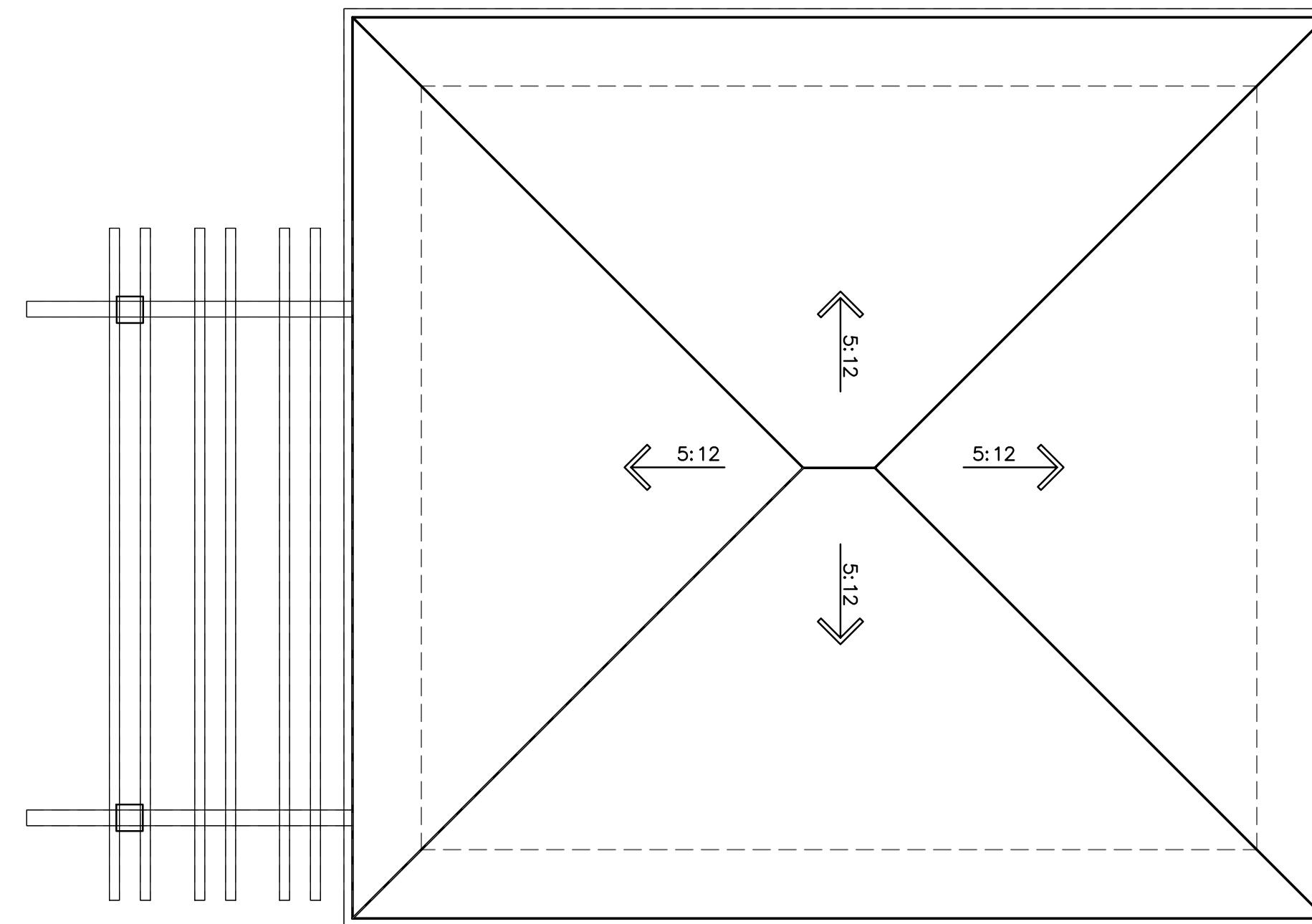
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Date 03-21-2017 Revisions 10-17-2017

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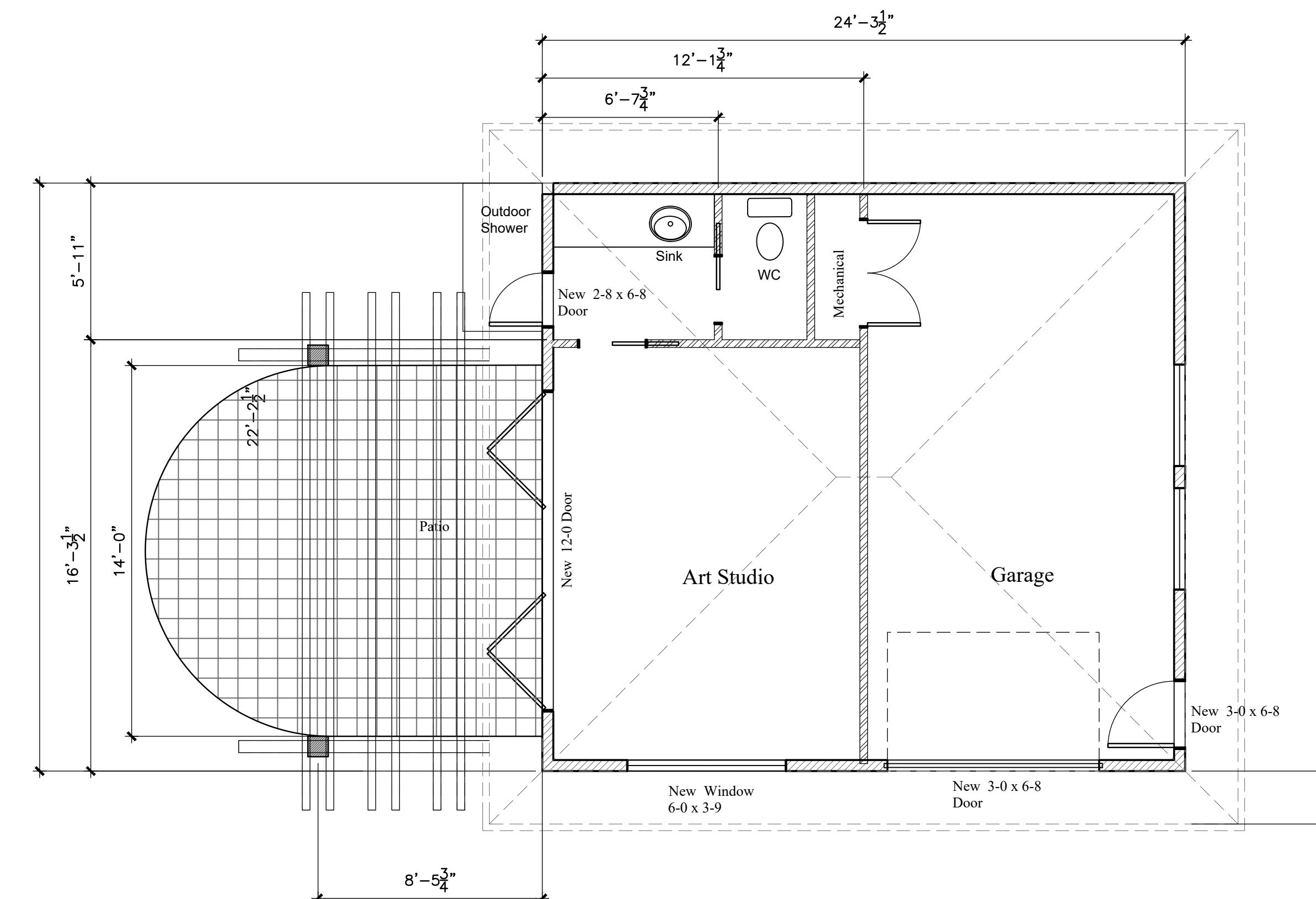
Garage 2 Proposed Plans



Proposed Roof Plan

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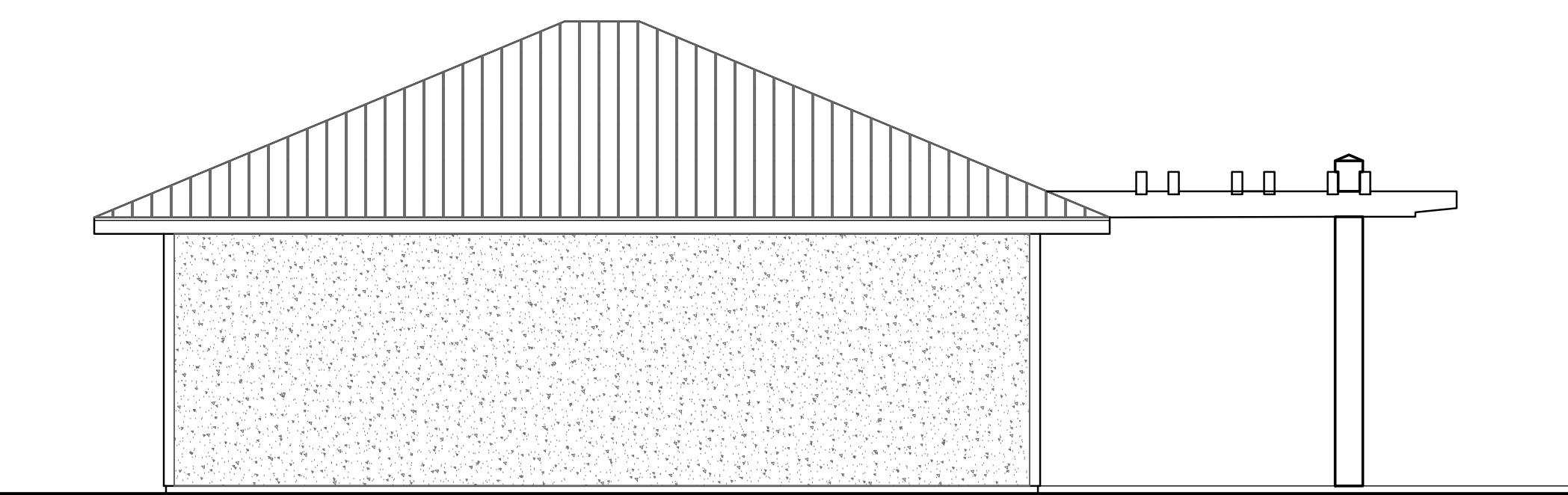
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Proposed Floor Plan

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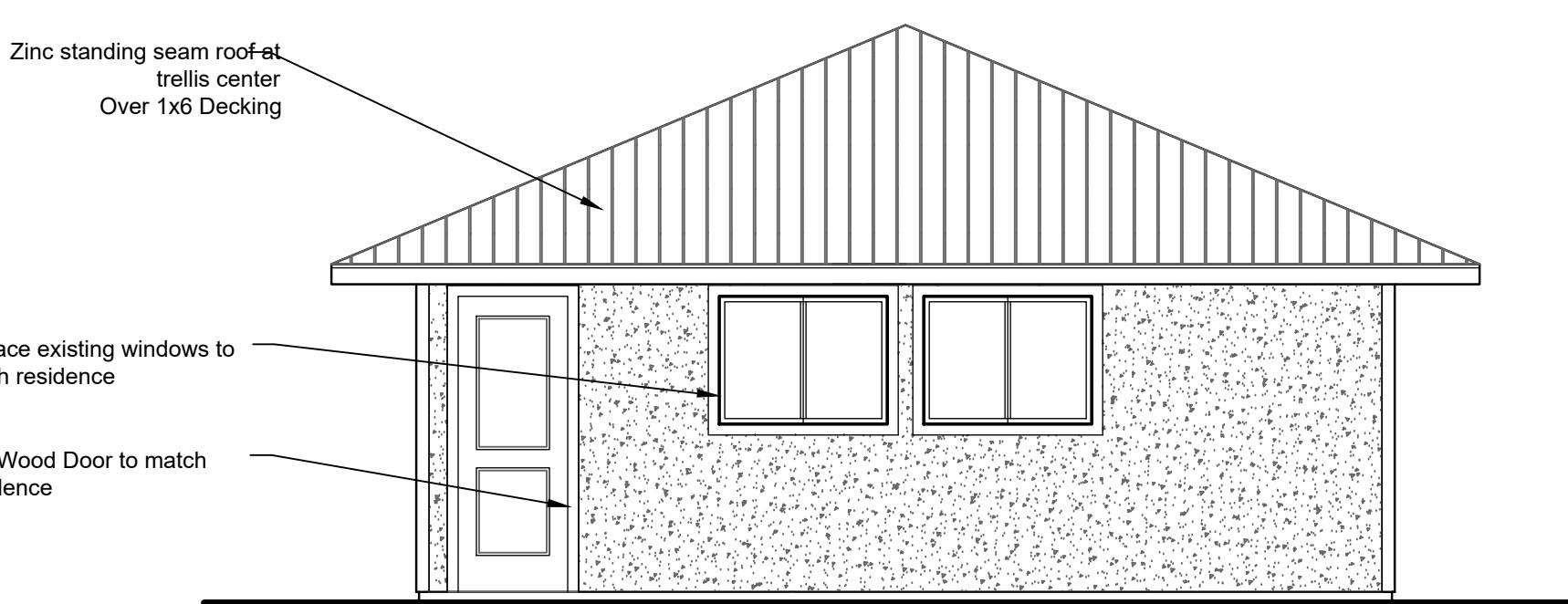
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North Elevation

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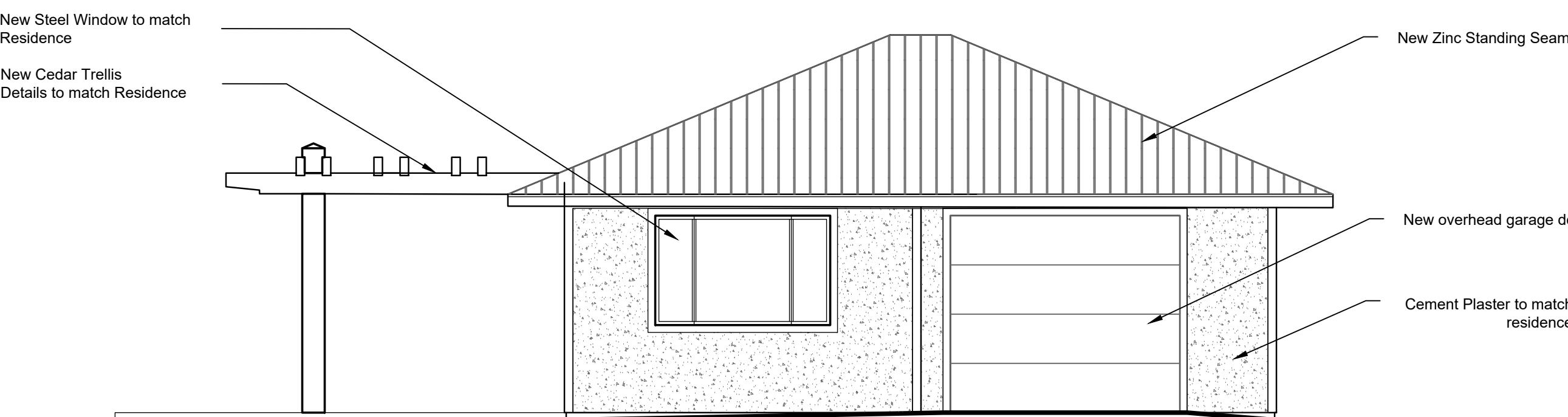
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East Elevation

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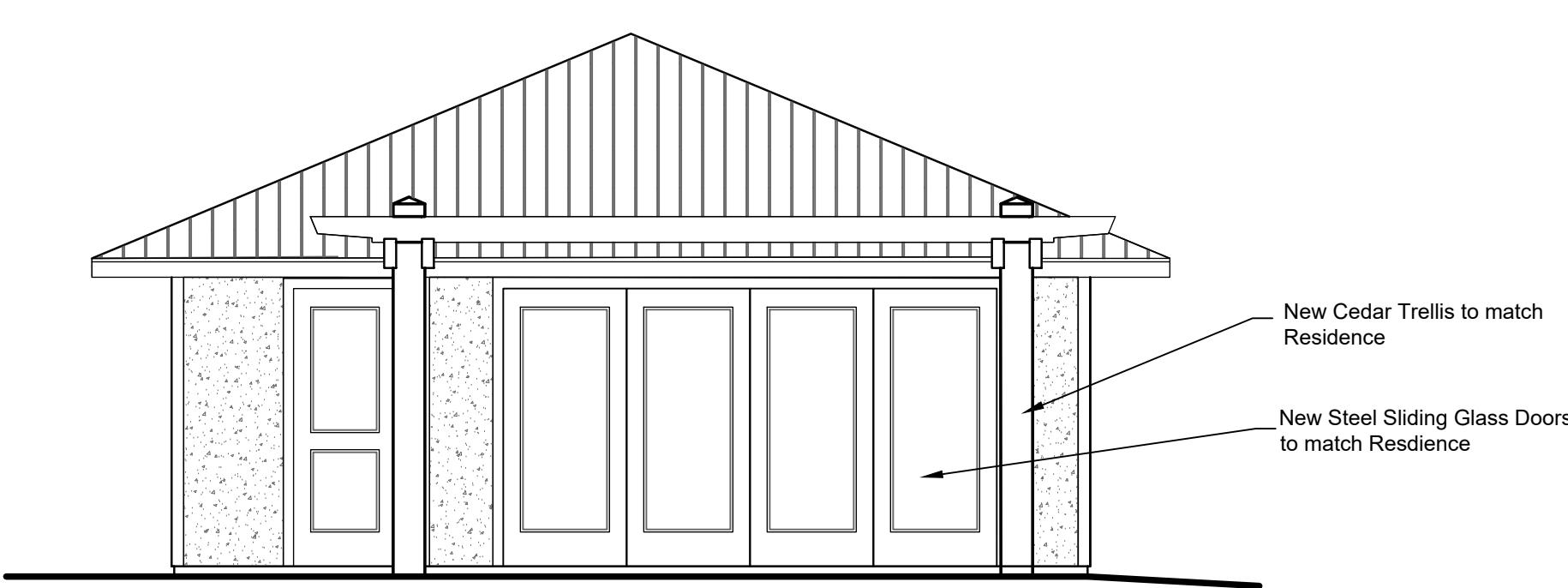
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South Elevation

Scale: 1/4"=1'-0"

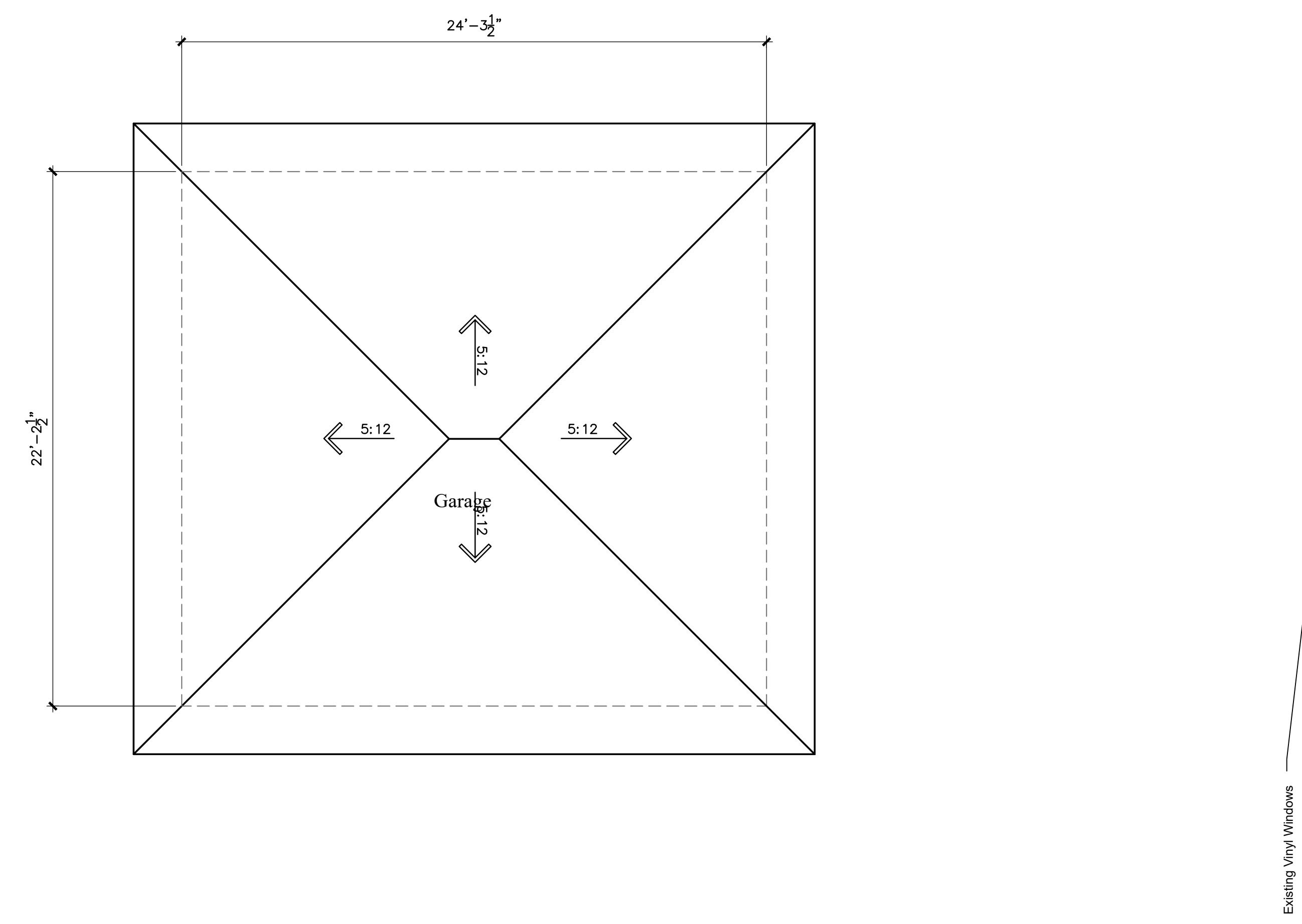
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West Elevation

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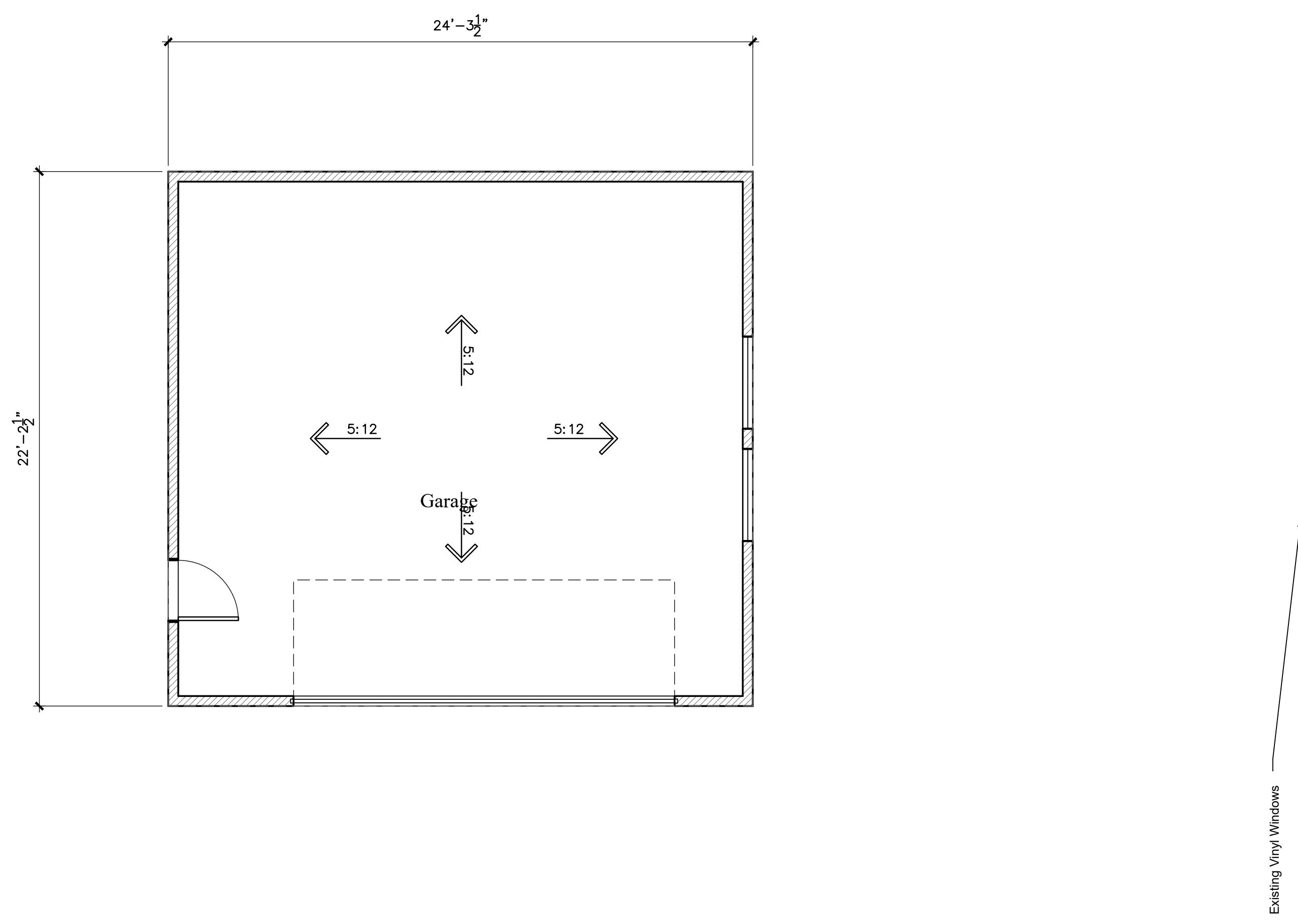
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Roof Plan

Scale: 1/4"=1'-0"

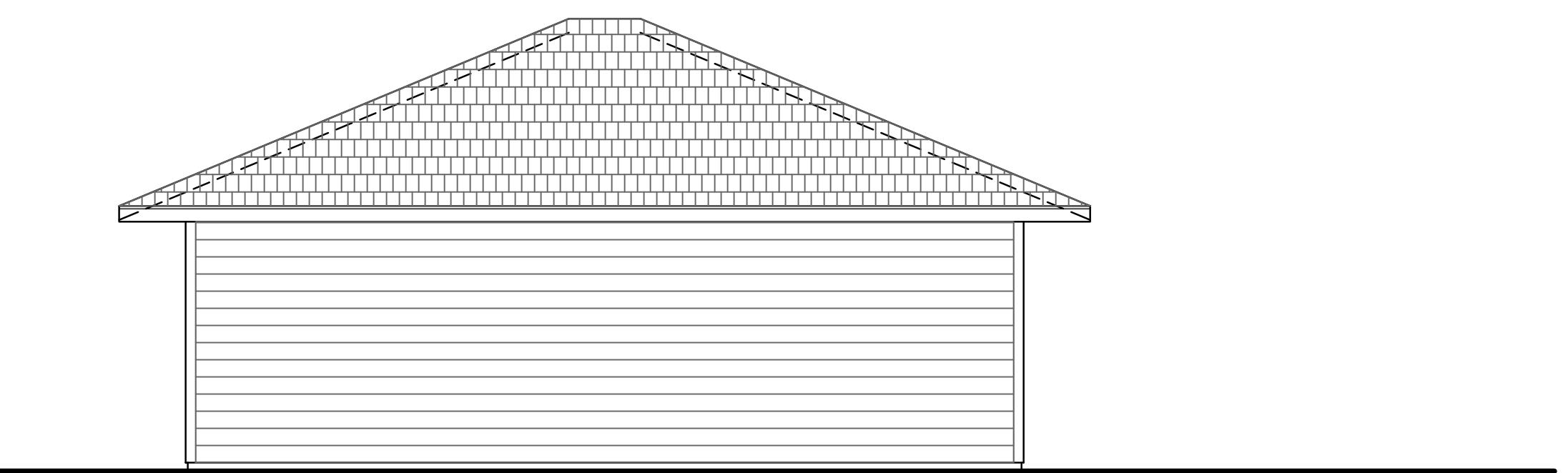
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Floor Plan

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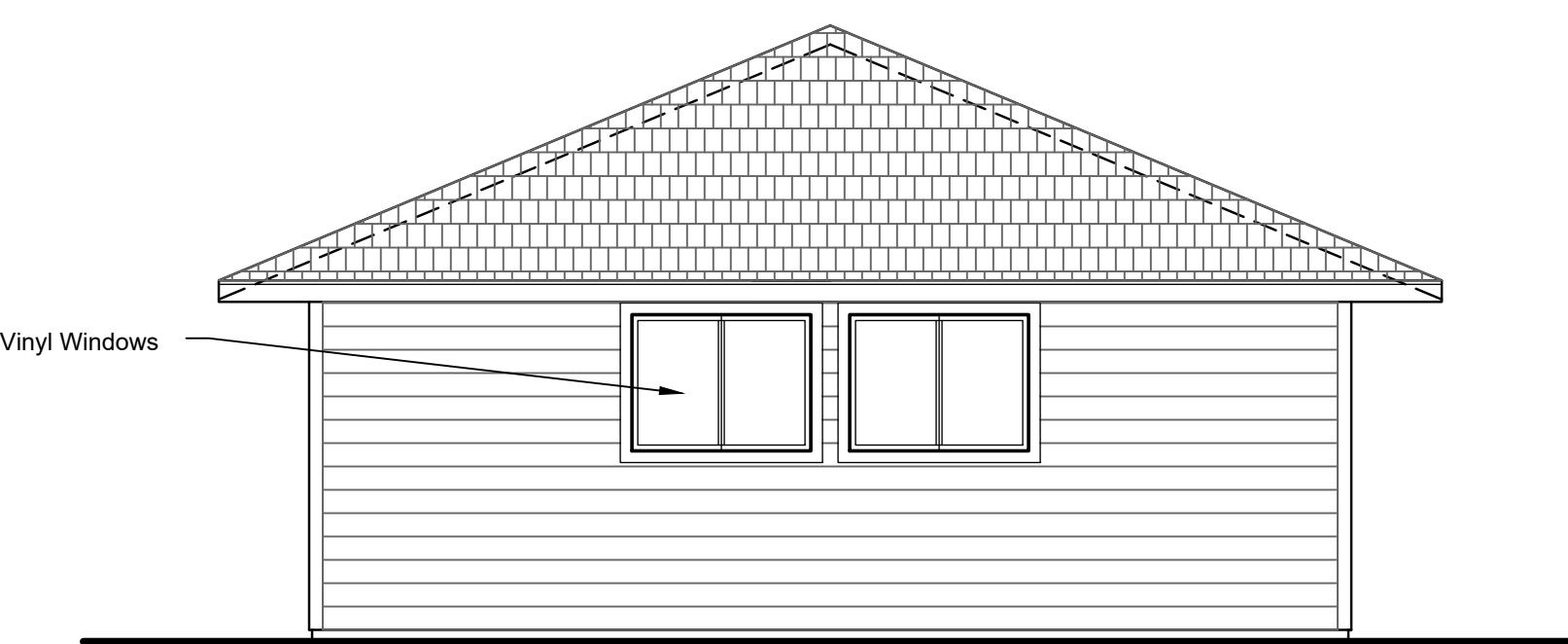
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North Elevation

Scale: 1/4"=1'-0"

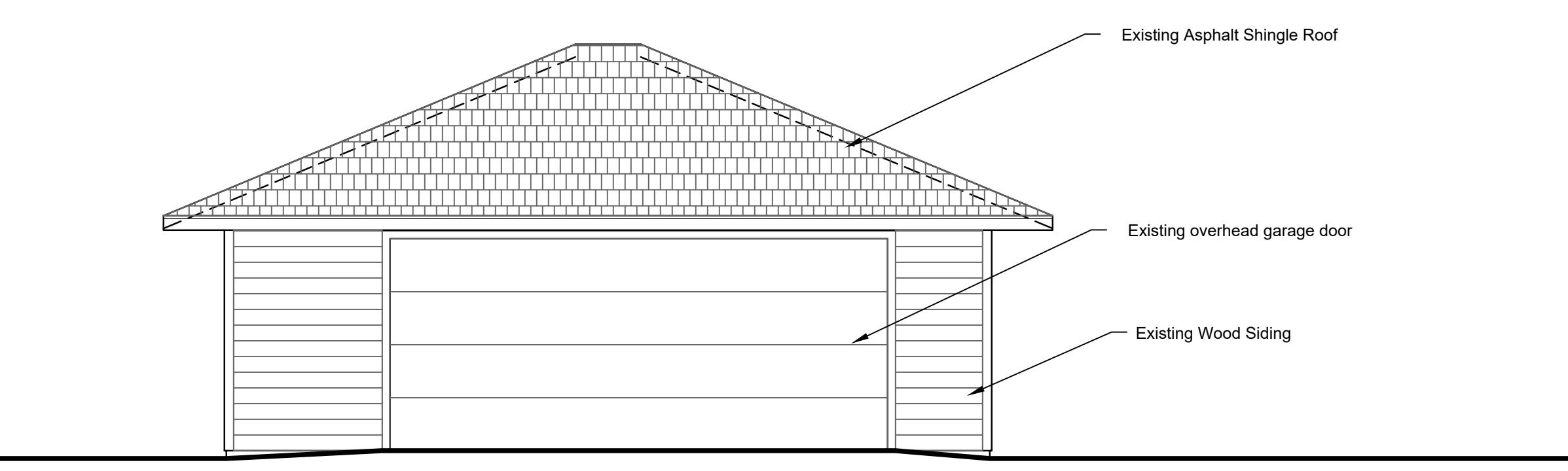
3



East Elevation

Scale: 1/4"=1'-0"

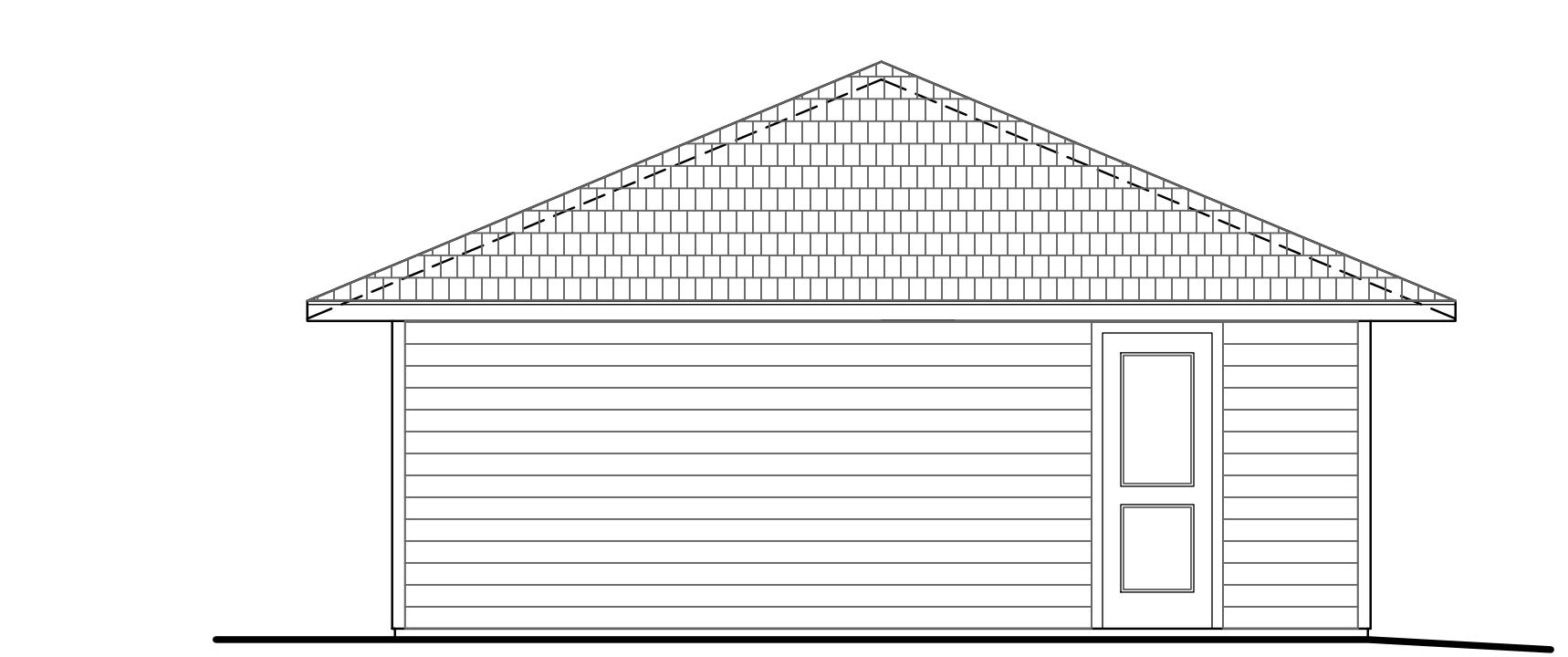
4



South Elevation

Scale: 1/4"=1'-0"

5



West Elevation

Scale: 1/4"=1'-0"

6

Beshof Residence Garage Plans

2930 Highway 1 Carmel Highlands, California 93923

Job Number
2016-05

Drawn By
.....

Date
03-21-2017

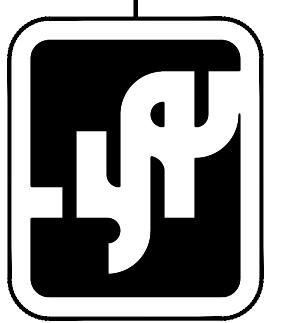
Revisions
10-17-2017

Sheet Number New Sheet
G2-X-1
of: Sheets

Garage 2 Existing Plans

Jon Sather Erlandson Architect - C11925
Junipero St 2 South-Nest of 4th Ave, Carmel By The Sea

MAIL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel California 93921
Phone: (831) 625-6163 Facsimile: (831) 625-578 Email: jse-architect@prodigy.net



Pacific Ocean

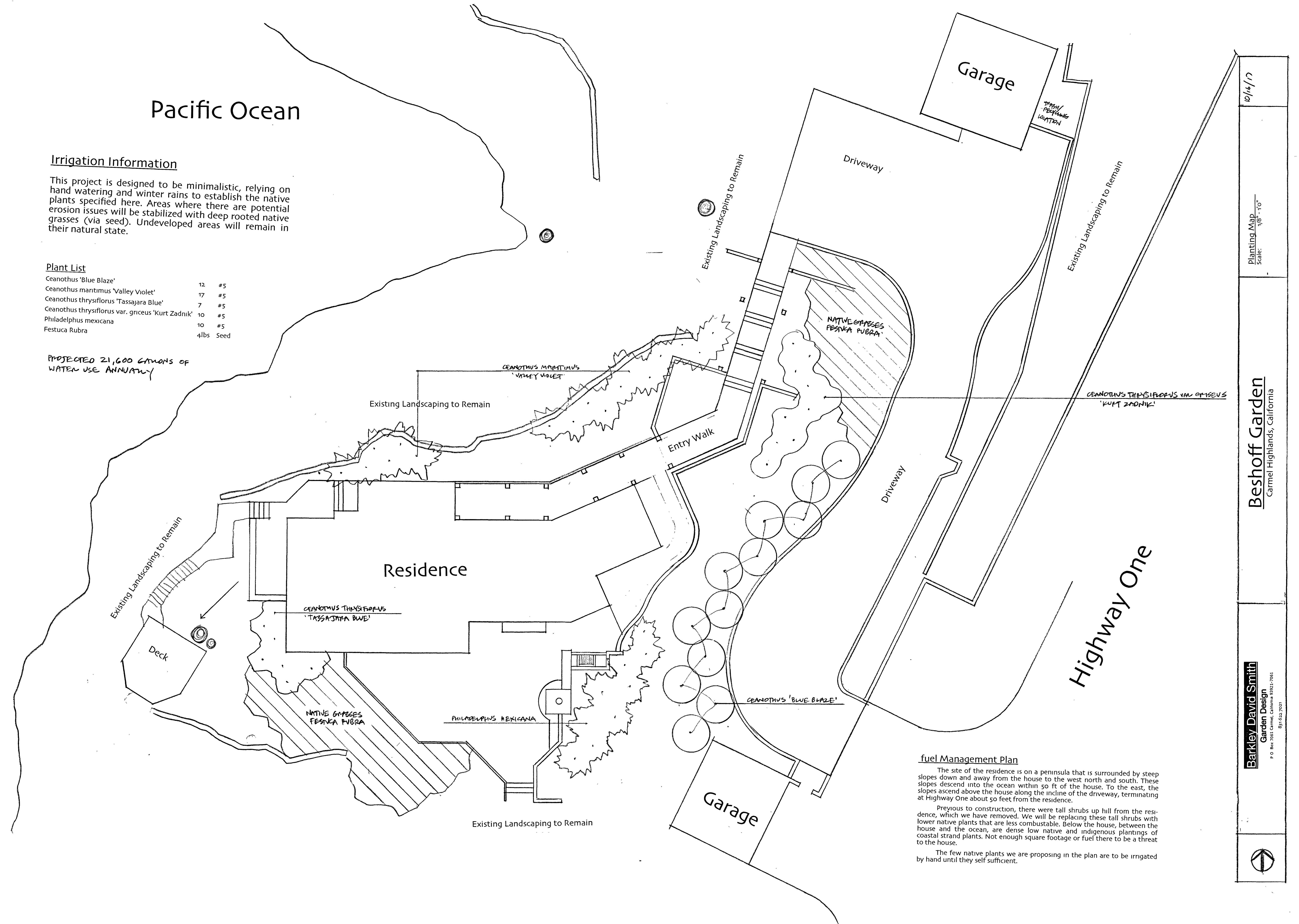
Irrigation Information

This project is designed to be minimalistic, relying on hand watering and winter rains to establish the native plants specified here. Areas where there are potential erosion issues will be stabilized with deep rooted native grasses (via seed). Undeveloped areas will remain in their natural state.

Plant List

Ceanothus 'Blue Blaze'	12	#5
Ceanothus maritimus 'Valley Violet'	17	#5
Ceanothus thyrsiflorus 'Tassajara Blue'	7	#5
Ceanothus thyrsiflorus var. griseus 'Kurt Zadnik'	10	#5
Philadelphus mexicana	10	#5
Festuca Rubra	4lbs	Seed

PROJECTED 21,600 gallons of
WATER USE ANNUALLY



fuel Management Plan

The site of the residence is on a peninsula that is surrounded by steep slopes down and away from the house to the west north and south. These slopes descend into the ocean within 50 ft of the house. To the east, the slopes ascend above the house along the incline of the driveway, terminating at Highway One about 50 feet from the residence.

Previous to construction, there were tall shrubs up hill from the residence, which we have removed. We will be replacing these tall shrubs with lower native plants that are less combustible. Below the house, between the house and the ocean, are dense low native and indigenous plantings of coastal strand plants. Not enough square footage or fuel there to be a threat to the house.

The few native plants we are proposing in the plan are to be irrigated by hand until they self sufficient.

Pacific Ocean

Residence

EXISTING 4" P
OUTFLOW
EMPTYS INTO SEASONAL
DOMINATE SWALE

25%+ SLOPE

Deck

SEWER
HANGING TANK
(CONCRETE)

EXISTING 1" P
OUTFLOW EMPTIES
INTO OCEAN

25%+ SLOPE

EXISTING CUTTION
PAYMENTING IN BOTTOM
OF DOMINATE SWALE

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