

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

WILSON (PLN170876)

RESOLUTION NO. 18 - 015

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow construction of a 2,457 square foot single-family dwelling with a 614 square foot attached garage, 105 square foot entry porch and a 48 square foot wooden trellis.

1070 Trappers Trail, Greater Monterey Peninsula Area
Plan (APN: 007-473-012-000)

The Wilson application (PLN170876) came on for a public hearing before the Monterey County Zoning Administrator on March 29, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.

- EVIDENCE:**
- a) The proposed project involves construction of a 2,457 square foot single-family dwelling with a 614 square foot attached garage, 105 square foot entry porch and a 48 square foot wooden trellis.
 - b) The property is located at 1070 Trappers Trail, Pebble Beach (Assessor's Parcel Number 007-473-012-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays (MDR/B-6-D-RES). Development of single-family dwellings, is allowed uses pursuant to Monterey County Code Section 21.12.030.A. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below).
 - c) The project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula Area Plan; and

- Monterey County Zoning Ordinance (Title 21)
- d) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
- e) Review of Development Standards. The development standards for the MDR zoning district in the Del Monte Forest are identified in MCC Section 21.12.070. Special required setbacks in the MDR district for main dwelling units are 20 feet (front), 10 feet (rear), and 10 feet (sides). Corresponding maximum structure heights is 27 feet. The proposed height for the single-family dwelling is 21 feet 10 inches. The allowed site coverage maximum in the LDR district is 35 percent on lots less than 20,000 square feet. The property is 9,176 square feet, which would allow site coverage of approximately 3,212 square feet. The proposed single-family dwelling unit and garage would result in site coverage of approximately 3,071 square feet or 33.5 percent. Therefore, as proposed, the project meets all required development standards.
- f) The project has been reviewed for site suitability by RMA-Planning. The project planner reviewed the application materials and plans, as well as the County's GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- g) The following technical report has been prepared:
 - *Geological Hazards Investigation (LIB170876) prepared by Landset Engineers, Inc., Salinas, California, August 2017.*
 - *Archaeological Consulting (LIB170367) prepared by Gary Breschini, Salinas, California, October 6, 2017.*
 County staff has independently reviewed this report and concurs with its conclusions.
- h) Necessary public facilities are available. The sewer for the site will be served by Pebble Beach Community Services District and water will be served by Cal-Am.
- i) Design. See Finding No. 2.
- j) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- k) The project planner conducted a site inspection on February 6, 2018 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC.
- l) The project was referred to the Del Monte Forest Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project is a Design Approval subject to review by the Zoning Administrator. The LUAC, at a duly-noticed public meeting on January 9, 2018 voted 5 – 0 to support the project as proposed with 2 absent.

- m) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN170876.
2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.
- EVIDENCE:**
- a) The Applicant proposes to develop on an existing vacant lot with a single-family dwelling and an attached garage.
 - b) Pursuant to Chapter 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - c) Material and Color Finishes. The Applicant proposes exterior colors and materials that are consistent with the residential setting. The primary colors and materials include dark gray concrete tile roofing, bone stucco siding trim, swiss coffee accents, and white vinyl windows. The proposed exterior finishes would blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood.
 - e) The project planner conducted a site inspection on February 6, 2018, to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character.
 - f) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes). As proposed, the project is consistent with neighborhood character, and assures visual integrity.
 - g) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN170876.
3. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small facilities or structures, including habitable and non-habitable structures accessory to a single-family dwelling or residential use.
 - b) The subject project consists of the installation of a single-family dwelling. Therefore, the proposed development is consistent with the exemption parameters of CEQA Guidelines Section 15303(a).
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does

not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.

- d) No adverse environmental effects were identified during staff review of the development application.
- e) Staff conducted a site inspection on February 6, 2018 to verify that the site is suitable for this use.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170876.

4. **FINDING:**

APPEALABILITY - The decision on this project may be appealed to the Monterey County Planning Commission.

EVIDENCE:

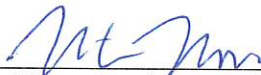
Pursuant to Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approving a Design Approval to allow construction of a 2,457 square foot single-family dwelling with a 614 square foot attached garage, 105 square foot entry porch and a 48 square foot wooden trellis. In general conformance with the attached plans, which are incorporated herein by reference.

PASSED AND ADOPTED this 29th day of March, 2018.



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON MAR 30 2018.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE APR 09 2018.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

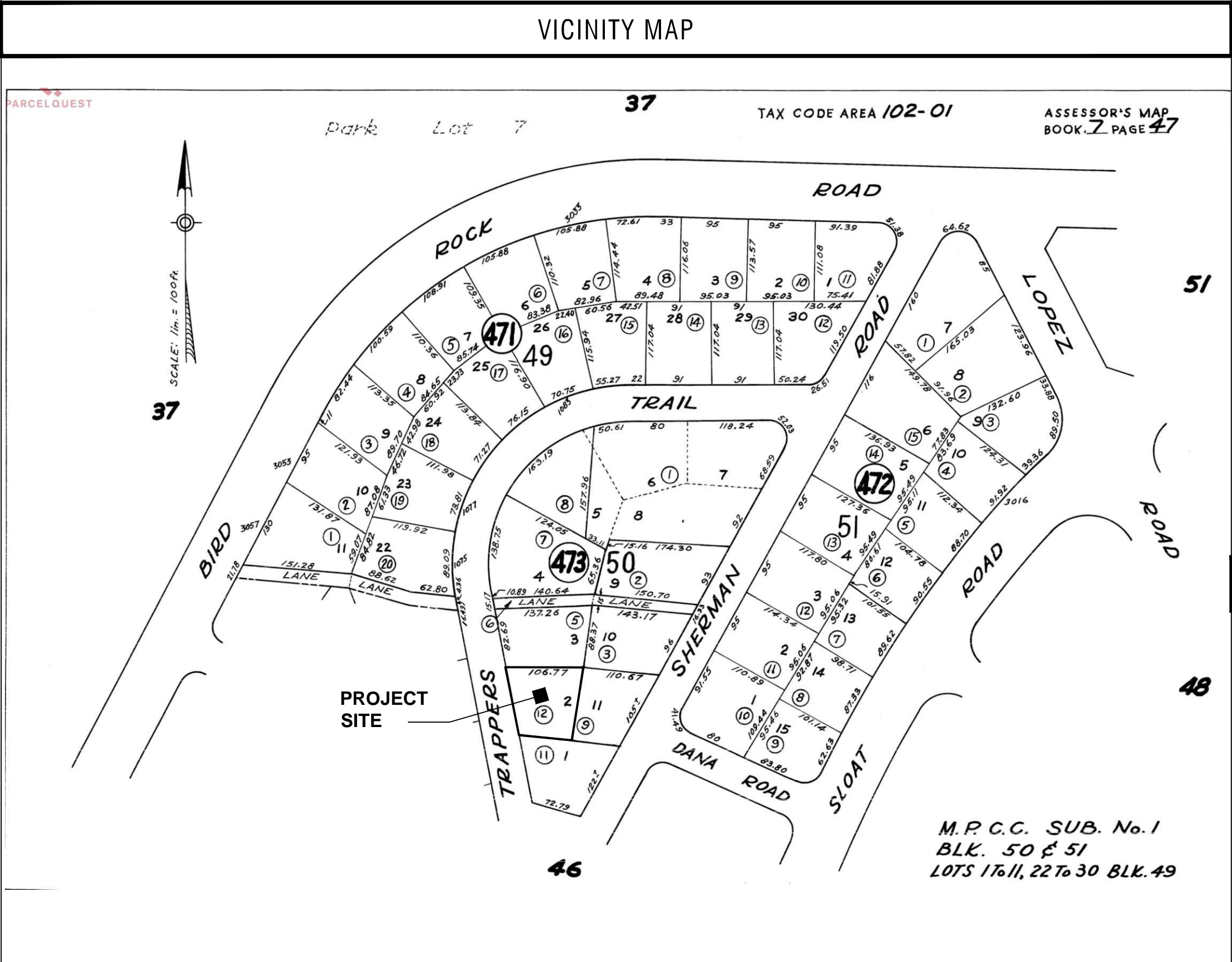
1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

GENERAL CONDITIONS	
1.	Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
2.	Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
3.	Contractor shall be responsible to obtain and all necessary permits inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.
4.	Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.
5.	Materials that are specified by their brand names establish standards of quality and performance. any request for substitution shall be submitted to Moore Design llc and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
6.	All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code/ California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
7.	All dimensions on constructions drawings are face of stud (f.o.s.), face of cmu, unless otherwise noted to be the center line of mullion, partition, or column, etc.
8.	All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.
9.	All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
10.	All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be of quality acceptable by industry standards.
11.	The use of the word "provide" in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
12.	The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
13.	The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
14.	The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
15.	The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
16.	All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
17.	Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
18.	All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
19.	Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
20.	Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mgmt. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.
ABBREVIATIONS AND SYMBOLS	
APPROX. BLOCK CLO. CONC. CONT. DS DW (D) F.O.C. F.O.S. GALV. GYP. G.W.B. FLR HWDW N.I.C. N.T.S.	APPROXIMATE CLOSET CONCRETE CONTINUOUS DOWNSPOUT DISHWASHER EXISTING FACE OF CONCRETE FACE OF STUD GALVANIZED GYPSUM GYPSUM WALLBOARD FLOOR HARDWOOD NOT IN CONTRACT NOT TO SCALE
O.C. O.D. PLYWD REF R.O. SHWR SM SL TKG T.O.P. TYP. U.O.N. WP W/ W/O W.I.C.	ON CENTER OUTSIDE DIAMETER PLYWOOD REFRIGERATOR ROUGH OPENING SHOWER SMALLER SKYLIGHT TONGUE AND GROOVE TOP OF PLATE TYPICAL UNLESS OTHERWISE NOTED WATERPROOF WITH WITHOUT WALK IN CLOSET
(A) ① ① ◇ ○ ①	WALL LINE NUMBERS VERTICAL LETTERS HORIZONTAL DOORS SYMBOL NUMBERS WINDOW TYPE-NUMBERS DETAIL NUMBER SHEET WHERE DETAIL IS LOCATED SHEET NOTE
⊕ ⊕ △	SECTION SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN ELEVATION ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN REVISIONS-NUMBERS CLOUD AROUND REVISION OPTIONAL
	+8'-0" CEILING HEIGHT

VICINITY MAP	



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<table><tr><th>ARCHITECTURAL</th><th></th></tr><tr><td>A0.1</td><td>COVER SHEET</td></tr><tr><td>A0.2</td><td>FIRE DEPT. NOTES, PLANNING CONDITIONS</td></tr><tr><td>A1.1</td><td>SITE PLAN, LANDSCAPE PLAN</td></tr><tr><td>CM1</td><td>CONSTRUCTION MANAGEMENT PLAN</td></tr><tr><td>C2</td><td>TOPOGRAPHIC MAP / EXISTING CONDITIONS</td></tr><tr><td>C3</td><td>GRADING & DRAINAGE PLAN</td></tr><tr><td>C4</td><td>GRADING SECTIONS & DETAILS</td></tr><tr><td>C5</td><td>EROSION CONTROL PLAN & BMP'S</td></tr><tr><td>A2.1</td><td>FLOOR PLAN, GENERAL BUILDING NOTES</td></tr><tr><td>A2.3</td><td>ROOF PLAN</td></tr><tr><td>A4.1</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A4.2</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A5.1</td><td>BUILDING SECTIONS</td></tr><tr><td>A6.1</td><td>ELECTRICAL FLOOR PLAN</td></tr><tr><td>A8.1</td><td>DETAILS</td></tr><tr><th>STRUCTURAL</th><th></th></tr><tr><td>S1.0</td><td>FOUNDATION PLAN</td></tr><tr><td>S1.1</td><td>ROOF FRAMING PLAN</td></tr><tr><td>S2.0</td><td>GENERAL NOTES & DETAILS</td></tr><tr><td>S3.0</td><td>DETAILS</td></tr><tr><td>S4.0</td><td>DETAILS</td></tr><tr><td>S5.0</td><td>DETAILS</td></tr><tr><td>S6.0</td><td>DETAILS</td></tr><tr><th>MECHANICAL & PLUMBING</th><th></th></tr><tr><td>M0.1</td><td>NOTES</td></tr><tr><td>M0.2</td><td>ENERGY COMPLIANCE</td></tr><tr><td>M0.3</td><td>ENERGY COMPLIANCE</td></tr><tr><td>M0.4</td><td>MANDATORY MEASURES</td></tr><tr><td>M2.1</td><td>HVAC PLAN</td></tr><tr><td>P2.1</td><td>GAS LINE POC AND SCHEMATIC</td></tr></table>			ARCHITECTURAL		A0.1	COVER SHEET	A0.2	FIRE DEPT. 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CONTACT: BRIAN PAPURELLO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: bpapurello@landseteng.com</td></tr><tr><td>TITLE 24 CONSULTANT:</td><td>MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8228 FAX (831) 372-4613 EMAIL: cal@meg4.com</td></tr><tr><td>STRUCTURAL ENGINEER</td><td>ESA DESIGN CONTACT: ERFEN ABARADO 4075 PAPAZIAN WAY, SUITE 206 FREMONT, CA. 94538 TEL (510) 683-8914 FAX (510) 683-8941 EMAIL: erfen@esadesign.net Lic. #C 62568</td></tr></table>			OWNER:	STEVE WILSON 1070 TRAPPERS TRAIL PEBBLE BEACH,CA 93953 831-224-6887	DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA. 93940 OFFICE (831) 642-9732 CELL (831) 239-6868 EMAIL: john@mooredesign.org	GEOTECHNICAL ENGINEER:	LANDSET ENGINEERS, INC. CONTACT: BRIAN PAPURELLO 520 CRAZY HORSE RD. 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Code Local Amendments</td></tr><tr><td>ZONE:</td><td>MDR/B-6-D-RES</td></tr><tr><td>MAX BLDG. HT:</td><td>21'-4 1/2" (27'-0" ALLOWED)</td></tr><tr><td>CONSTR. TYPE:</td><td>TYPE V-B</td></tr><tr><td>OCCUPANCY:</td><td>R-3 (RESIDENTIAL), U</td></tr><tr><td>FIRE SPRINKLERS</td><td>REQUIRED NFPA-13D</td></tr><tr><td>WATER SYSTEM:</td><td>CALAM</td></tr><tr><td>SEWER SYSTEM:</td><td>PBCSD</td></tr><tr><td>TREE REMOVAL:</td><td>NONE</td></tr><tr><td>TOPOGRAPHY:</td><td>GENTLY SLOPING</td></tr><tr><td>GRADING:</td><td>APPROXIMATELY 5 CY OF CUT/FILL</td></tr><tr><td>LOT SIZE:</td><td>9,176 SF</td></tr><tr><td>LOT COVERAGE CALCS:</td><td></td></tr><tr><td>ALLOWED</td><td>35% = 3,211 SF</td></tr><tr><td>NEW RESIDENCE</td><td>2,457 SF</td></tr><tr><td>NEW GARAGE & UTILITY RM</td><td>614 SF</td></tr><tr><td>TOTAL</td><td>3,071 SF (33.4%)</td></tr><tr><td>FLOOR AREA CALCS:</td><td></td></tr><tr><td>ALLOWED</td><td>35% = 3,211 SF</td></tr><tr><td>NEW RESIDENCE</td><td>2,457 SF</td></tr><tr><td>NEW GARAGE</td><td>614 SF</td></tr><tr><td>TOTAL</td><td>3,071 SF (33.4%)</td></tr></table>				PROJECT ADDRESS:	1070 TRAPPERS TRAIL PEBBLE BEACH, CA 93953	A.P.N.	007-473-012	PROJECT SCOPE:	NEW 3 BED 3 BATH SINGLE FAMILY DWELLING (2,457 SF) WITH ATTACHED 2-CAR GARAGE (614 SF), NEW TRELLIS ATTACHED TO GARAGE (48 SF), NEW COVERED ENTRY (105 SF), 4 SKYLIGHTS.	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S1.0	FOUNDATION PLAN																																																																																																																																						
S1.1	ROOF FRAMING PLAN																																																																																																																																						
S2.0	GENERAL NOTES & DETAILS																																																																																																																																						
S3.0	DETAILS																																																																																																																																						
S4.0	DETAILS																																																																																																																																						
S5.0	DETAILS																																																																																																																																						
S6.0	DETAILS																																																																																																																																						
MECHANICAL & PLUMBING																																																																																																																																							
M0.1	NOTES																																																																																																																																						
M0.2	ENERGY COMPLIANCE																																																																																																																																						
M0.3	ENERGY COMPLIANCE																																																																																																																																						
M0.4	MANDATORY MEASURES																																																																																																																																						
M2.1	HVAC PLAN																																																																																																																																						
P2.1	GAS LINE POC AND SCHEMATIC																																																																																																																																						
OWNER:	STEVE WILSON 1070 TRAPPERS TRAIL PEBBLE BEACH,CA 93953 831-224-6887																																																																																																																																						
DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA. 93940 OFFICE (831) 642-9732 CELL (831) 239-6868 EMAIL: john@mooredesign.org																																																																																																																																						
GEOTECHNICAL ENGINEER:	LANDSET ENGINEERS, INC. CONTACT: BRIAN PAPURELLO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: bpapurello@landseteng.com																																																																																																																																						
TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8228 FAX (831) 372-4613 EMAIL: cal@meg4.com																																																																																																																																						
STRUCTURAL ENGINEER	ESA DESIGN CONTACT: ERFEN ABARADO 4075 PAPAZIAN WAY, SUITE 206 FREMONT, CA. 94538 TEL (510) 683-8914 FAX (510) 683-8941 EMAIL: erfen@esadesign.net Lic. #C 62568																																																																																																																																						
PROJECT ADDRESS:	1070 TRAPPERS TRAIL PEBBLE BEACH, CA 93953																																																																																																																																						
A.P.N.	007-473-012																																																																																																																																						
PROJECT SCOPE:	NEW 3 BED 3 BATH SINGLE FAMILY DWELLING (2,457 SF) WITH ATTACHED 2-CAR GARAGE (614 SF), NEW TRELLIS ATTACHED TO GARAGE (48 SF), NEW COVERED ENTRY (105 SF), 4 SKYLIGHTS.																																																																																																																																						
PROJECT VALUATION:	\$400,000																																																																																																																																						
RELATED PERMIT	PLN170876																																																																																																																																						
PROJECT CODE COMPLIANCE:	2016 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code Local Amendments																																																																																																																																						
ZONE:	MDR/B-6-D-RES																																																																																																																																						
MAX BLDG. HT:	21'-4 1/2" (27'-0" ALLOWED)																																																																																																																																						
CONSTR. TYPE:	TYPE V-B																																																																																																																																						
OCCUPANCY:	R-3 (RESIDENTIAL), U																																																																																																																																						
FIRE SPRINKLERS	REQUIRED NFPA-13D																																																																																																																																						
WATER SYSTEM:	CALAM																																																																																																																																						
SEWER SYSTEM:	PBCSD																																																																																																																																						
TREE REMOVAL:	NONE																																																																																																																																						
TOPOGRAPHY:	GENTLY SLOPING																																																																																																																																						
GRADING:	APPROXIMATELY 5 CY OF CUT/FILL																																																																																																																																						
LOT SIZE:	9,176 SF																																																																																																																																						
LOT COVERAGE CALCS:																																																																																																																																							
ALLOWED	35% = 3,211 SF																																																																																																																																						
NEW RESIDENCE	2,457 SF																																																																																																																																						
NEW GARAGE & UTILITY RM	614 SF																																																																																																																																						
TOTAL	3,071 SF (33.4%)																																																																																																																																						
FLOOR AREA CALCS:																																																																																																																																							
ALLOWED	35% = 3,211 SF																																																																																																																																						
NEW RESIDENCE	2,457 SF																																																																																																																																						
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TOTAL	3,071 SF (33.4%)																																																																																																																																						
CAL GREEN NOTES																																																																																																																																							
<div><div>1. Irrigation Controllers- Automatic irrigation controllers installed at the time of final inspection shall be weathered-based. CGBC 4.304.1</div><div>2. Rodent Proofing- Protect annular spaces around pipes, electrical cables, conduits or other openings at exterior walls against passage of rodents. CGBC 4.406.1</div><div>3. Construction Waste Management- Recycle and/or salvage for reuse a minimum of 50% of the nonhazardous construction and demolition waste in accordance with the CGBC Sec. 4.408.1</div><div>4. Covering of Mechanical Equipment & Ducts- Cover duct openings and other air related air distribution component openings during storage, construction and until final start up with tape, plastic, or other acceptable method. CGBC 4.504.1</div><div>5. Adhesives, sealants and caulks- Adhesives, sealants and caulks used on the project shall be compliant with VOC and other toxic compound limits. CGBC 4.504.2.1</div><div>6. Paint and Coatings- Paint, stains and other coatings used on the project shall be compliant with VOC limits. CGBC 4.504.2.2</div><div>7. Aerosol paints and coatings- Aerosol paints and coatings used on the project shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Documentation shall be provided to verify compliant VOC limit finish materials have been used. CGBC 4.504.2.3. Verification of compliance shall be provided.</div><div>8. Carpet Systems- All carpet and carpet systems installed shall be compliant with VOC limits. CGBC 4.504.3</div><div>9. Resilient Floor Systems- 80% of the floor area receiving resilient floorings shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. CGBC 4.504.4</div><div>10. Composite Wood Products- Particleboard, Medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. CGBC 4.504.5</div><div>11. Foundation: Capillary Break- A 4" thick of 1/2" or larger clean aggregate shall be installed with a vapor retarder in direct contact with concrete. CGBC 4.505.2.1</div><div>12. Moisture Content of Building Materials- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. CGBC 4.505.3</div><div>13. Bathroom Exhaust Fans- Each bathroom shall be mechanically ventilated with an Energy Star exhaust fan and the fan must be controlled by a humidistat capable of adjustment between a relative humidity range of < 50% to a maximum of 80%. CGBC 4.506.1</div><div>14. Heating and Air-Conditioning System Design- HVAC systems shall be sized, designed and their equipment sized per CGBC 4.507.2. HVAC system installer must be trained and certified and special inspectors employed by the enforcing agency must be qualified.</div></div>																																																																																																																																							
PLANNING CONDITIONS			CONTRACTOR NOTES			DEFERRED APPROVALS / SPECIAL INSPECTIONS																																																																																																																																	
<p>PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT</p> <p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - planning and a qualified archaeologist (i.e., an archaeologist registered with the register of professional archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.</p> <p>PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN</p> <p>All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the future. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 part 6. The exterior lighting plan shall be subject to approval by the director of RMA - Planning, prior to the issuance of building permits.</p> <p>(RMA - PLANNING)</p>			<div><div>1. Glu-lam certificates shall be copied to the building department.</div><div>2. At time of final inspection provide installation, operation and maintenance guides/manuals for all equipment and appliances including masonry veneer anchors, fireplace insert, and chimney flue acceptable to the enforcing agency shall be provided to the owner.</div><div>3. All construction shall be in accordance with soils investigations by Landset Engineers, project # 1704-02, dated August 2017.</div><div>4. Contractor to provide two copies completed & signed of the CP2R-LTG-01-E form (where applicable) to the owner & field inspector prior to receiving the final.</div></div>			<div><div>1. GAS LINE - Contractor to submit gas line sizing for county & utility approval before inspection.</div><div>2. FIRE SPRINKLERS - Plans for fire sprinkler system (NFP13-D system) must be submitted & approved by local fire jurisdiction prior to installation.</div><div>3. STRUCTURAL OBSERVATION REQUIRED: Structural observation is required by the structural engineer of record per (MCC Section 18.04.060(d)). Prior to commencement of observation, the structural observer shall submit to the building official a written statement identifying the frequency and extent of the observation. At the conclusion of work included in the permit, the structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies which, to the best of the observer's knowledge, have not been corrected.</div><div>4. Contractor shall schedule the geotechnical engineer to inspect and approve foundation excavations prior to requesting a building foundation inspection.</div><div>5. Shear wall nailing 4" oc- See structural drawings for locations</div></div>																																																																																																																																	

PROJECT NAME:

WILSON RESIDENCE

1070 TRAPPERS TRAIL
PEBBLE BEACH, CA
93953

APN: 007-473-012

MOORE DESIGN
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PB SUBMIT	10-3-2017
PLN SUBMIT	10-18-2017
PB RE-SUBMIT	10-26-2017
BLDG SUBMIT	2-23-2018
△PC1	3-30-18

PRINT DATE: 3/27/2018

MEMBER

A I B D

AMERICAN INSTITUTE of BUILDING DESIGN

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Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

COVER SHEET / PROJECT INFO

SHEET NUMBER:

A0.1

PLANNING CONDITIONS

November 2, 2017

Mr. Steve Wilson
1070 Trappers Trail
Pebble Beach, CA 93953

Reference: **Lot 2 Block 50 MPCC**
1070 Trappers Trail, Pebble Beach

Dear Mr. Wilson:

At their meeting on 26 October 2017, the Del Monte Forest Architectural Review Board (ARB), considered your **preliminary plans** to construct a new single story single family residence on a vacant lot at the above referenced property.

The Board approved the plans with the following standard conditions:

1. All new foundations **within three feet of a setback** will require proof of survey or location of existing property corners for on-site measurement purposes prior to pouring concrete and an average grade benchmark shall be set to measure the 2nd story height.
2. No native trees shall be removed without issuance of a *Tree Removal Permit* from Pebble Beach Company AFTER issuance of a Building Permit from Monterey County, and any native trees removed shall be replaced/mitigated with an approved replanting plan using native endemic trees such as *Coast Live Oak* or *Monterey Cypress/Pine*.
3. Final review of actual paint/stain on structure to be staff approved.
4. All drainage shall be contained on-site and any drainage which adversely affects neighboring properties or the Pebble Beach Company road right-of-way shall be addressed and remedied by the applicant, this includes all sump pumps.
5. All driveway connections to the Pebble Beach Company road right-of-way shall be asphalt and shall be maintained by the applicant.
6. All utility lines and pipes shall be installed underground in new subdivisions.
7. Specifications required for skylights and exterior lighting.

We remind you that you will need additional approval and permits from Monterey County Planning and Building Department.

Prior to issuance of your Monterey County Building Permit we will require one (1) set – 24"x 36" of final architectural drawings. All significant exterior changes from the preliminary drawings should be clearly marked and may require additional approval by the Board. Final plans will be reviewed and approved by staff if there have been no significant changes at which time they will receive final approval. Questions about this approval process may be referred to Jean Mendez, ARB, at (831) 625-8455. Thank you for your cooperation with the Architectural Review Board.

Sincerely,

DEL MONTE FOREST ARCHITECTURAL REVIEW BOARD

Steven R. Aitchison

Steven R. Aitchison
Chairman
copy: John Moore Design
939.642.9332
Post Office Box 1767, Pebble Beach, California 93953 831-625-8455 telephone 831-625-8440 fax/infile www.pebblebeach.com

FIRE DEPARTMENT CONDITIONS

FIRE007 - DRIVEWAYS - Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional- drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. Responsible Land Use Department: Fire District

FIRE011 - ADDRESSES FOR BUILDINGS - All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible and legible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance.

FIRE016 - SETBACKS - All parcels 1 acre and larger shall provide a minimum 30-foot setback for new buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, alternate fuel modification standards or other requirements may be imposed by the local fire jurisdiction to provide the same practical effect.

FIRE017 - DISPOSAL OF VEGETATION AND FUELS - Disposal, including chipping, burying, or removal to a landfill site approved by the local jurisdiction, of vegetation and debris caused by site development and construction, road and driveway construction, and fuel modification shall be completed prior to final clearance of the related permit.

FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD) - Manage combustible vegetation from within a minimum of 100 feet of structures, or to the property line, whichever is closer. Trim tree limbs to a minimum height of 6 feet from the ground. Remove tree limbs from within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection.

FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) - The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection.

FIRE024 - FIRE ALARM SYSTEM - (SINGLE FAMILY DWELLING) - The residence shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72. Plans and specifications for the household fire warning system shall be submitted by a California licensed C-10 contractor and approved prior to installation. Household fire warning systems installed in lieu of single-station smoke alarms required by the Uniform Building Code shall be required to be placarded as permanent building equipment.

FIRE025 - SMOKE ALARMS - (SINGLE FAMILY DWELLING) - Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the California Building Code or California Residential Code, the alarm panel shall be required to be placarded as permanent building equipment.

FIRE029 - ROOF CONSTRUCTION - (CYPRESS FPD & PEBBLE BEACH CSD) - All new structures, and all existing structures receiving new roofing over 25 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction

1

WILDLAND-URBAN INTERFACE REQUIREMENTS

1. The exposed roof deck on the underside of unenclosed eaves shall be approved noncombustible material, ignition-resistant material, one layer of 5/8" Type X gypsum board, or exterior portion of an approved one hour wall assembly. (SEC R327.7.4) See exceptions to these sections for other alternatives.

2. Vents shall not be installed on the underside of eaves and cornices, unless the vents are approved to resist the intrusion of flames and embers, the attic space is sprinklered in accordance with (CBC SEC903.3.1.1), or if the exterior wall and underside of the eave are of ignition resistant materials and the vents are located more than 12' from the ground or walking surface (SEC R327.6.3)

3. Gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. (SEC R327.5.4)

4. Exterior wall covering or wall assembly shall be approved noncombustible material, ignition-resistant material, heavy timber, log wall construction, or shall meet the performance criteria of standard SFM 12-7A-1 for 10 minute direct flame contact exposure test. (SEC 327.7.3) See exceptions to this section for other alternatives.

5. Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2' nominal solid wood blocking between rafters and eaves at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure. (SEC R327.7.1.1)

6. Roof and attic vents shall resist the intrusion of flame and embers into the attic area of the structure or shall be protected by corrosion-resistant, noncombustible wire mesh with openings a minimum of 1/16" and shall not exceed 1/8" openings. (SEC R327.6.2)

7. Exterior windows and exterior glazed doors shall be multi-pane glazing with a minimum of one tempered pane, glass block units, have a fire-resistance rating 20 minutes when tested in accordance with NFPA 257, or meet the requirements of SFM 12-7A-2. (SEC R327.8.2.1)

8. Exterior doors shall be of approved noncombustible construction or ignition-resistant material, solid core wood having stiles and rails not less than 1-3/8" thick with interior field panel thickness no less than 1-1/4" thick, shall have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 252, or meet the requirements of SFM-7A-1. (SEC R327.8.3)

Exceptions:

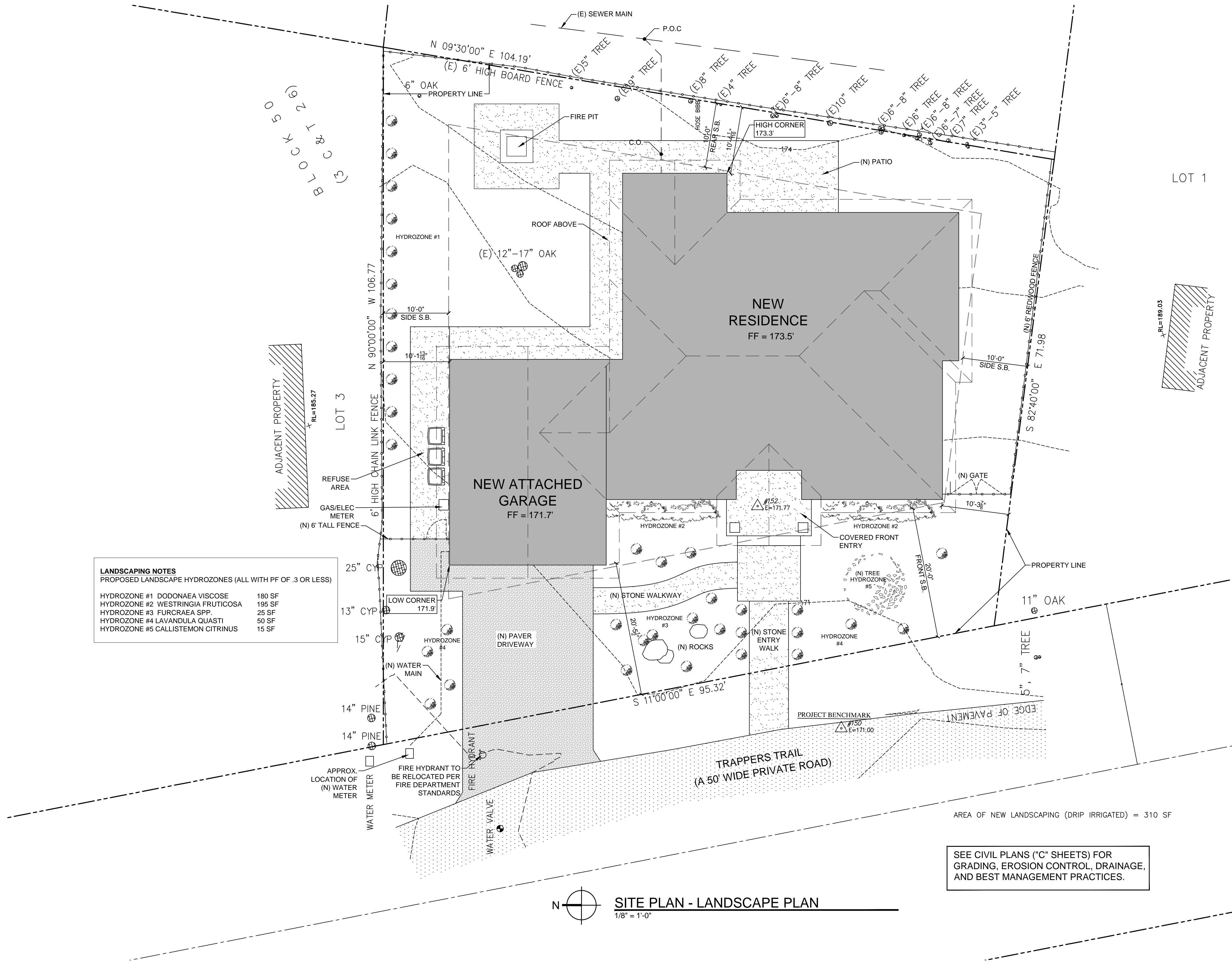
1. Buildings of an accessory character classified as a Group U occupancy and not exceeding 120 square feet in floor area, when located at least 30' from an applicable building.

2. Buildings of an accessory character classified as a Group U occupancy of any size located at least 50' from an applicable building.

3. Buildings classified as a Group U Agricultural Building, as defined in Section 202 of this code (see also Appendix C - Group U Agricultural Buildings), when located at least 50' from an applicable building.

4. Additions to and remodels of buildings originally constructed prior to the applicable application date

5.
- FIRE SPRINKLER CALCULATIONS
- Section 102.1 Subsection 5 Monterey Fire Code Amendments of the 2016 California Fire Code
- Existing structures Alterations and repairs. All new work performed in alterations and/or repairs to existing structures shall comply with the current provisions of this Chapter. When alterations and/or repairs result in the removal, alteration, modification, replacement of fifty percent or more of the external walls of a building, or result in the removal, modification, replacement and/or repair of fifty percent or more of the existing internal structural and/or non-structural framework, independently or in combination thereof, within a five year period, the entire building shall be made to conform to the current provisions of this Chapter. The determination under this section of the requirement for upgrading any existing structure to full conformance with current provisions of this Chapter shall be at the sole discretion of the Fire Code Official.
- COMMENTARY: This section is for all projects involving structural modifications. The following "formula" has been agreed upon by the Fire Districts Committee of the Monterey County Fire Prevention Officers Association:
- | STEP | ACTION | L.F. |
|------|---|-------|
| 1 | TOTAL LENGTH OF WALLS (INTERIOR & EXTERIOR) OF ORIGINAL EXISTING BUILDING | 0.0 |
| 2 | TOTAL LENGTH OF WALLS TO BE REPLACED/RELOCATED DURING THE REMODEL | 0.0 |
| 3 | TOTAL LENGTH OF WALLS TO BE PROPOSED TO BE REMOVED DURING THE REMODEL | 0.0 |
| 4 | TOTAL LENGTH OF WALLS OF NEW ADDITION (NOT ALREADY COUNTED IN STEPS 2 & 3) | 581.0 |
| 5 | ADD RESULTS OF STEPS 2, 3, & 4 | 581.0 |
| 6 | DIVIDE TOTAL OF STEP 5 BY TOTAL OF STEP 1 | N/A |
| 7 | IF STEP 6 EQUALS .5 (50%) OR MORE AUTOMATIC FIRE SPRINKLERS ARE REQUIRED FOR THIS PROJECT. Or if the cumulative total of the projects within the 5 year period is 50% or more automatic fire sprinklers are required for the project. | REQ'D |
- I attest that the measurements and calculations stated above for this project are true and correct.
- Complete:
John Moo
Phone Nu
- Representing Firm: Moore Design
E-mail: john@mooredesign.org
- Signature
- PROJECT NAME:
- WILSON
RESIDENCE
- 1070 TRAPPERS TRAIL
PEBBLE BEACH, CA
93953
- APN: 007-473-012
-
- 225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org
- DRAWING RECORD
- | DESCRIPTION | ISSUED |
|--------------|------------|
| PB SUBMIT | 10-3-2017 |
| PLN SUBMIT | 10-18-2017 |
| PB RE-SUBMIT | 10-26-2017 |
| BLDG SUBMIT | 2-23-2018 |
| △ PC1 | 3-30-18 |
- PRINT DATE: 3/27/2018
- MEMBER
-
- AMERICAN INSTITUTE of
BUILDING DESIGN
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- Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.
- SHEET TITLE:
- PLANNING
CONDITIONS,
FIRE NOTES
- SHEET NUMBER:
- A0.2

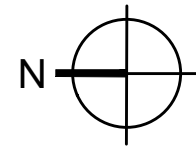


LANDSCAPING NOTES
PROPOSED LANDSCAPE HYDROZONES (ALL WITH PF OF .3 OR LESS)

HYDROZONE #1 DODONAEA VISCOSE	180 SF
HYDROZONE #2 WESTRINGIA FRUTICOSA	195 SF
HYDROZONE #3 FURCRAEA SPP.	25 SF
HYDROZONE #4 LAVANDULA QUASTI	50 SF
HYDROZONE #5 CALLISTEMON CITRINUS	15 SF

AREA OF NEW LANDSCAPING (DRIP IRRIGATED) = 310 SF

SEE CIVIL PLANS ("C" SHEETS) FOR
GRADING, EROSION CONTROL, DRAINAGE,
AND BEST MANAGEMENT PRACTICES.



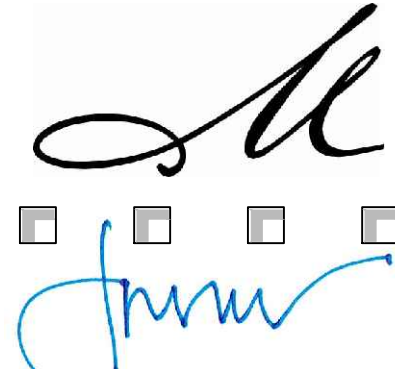
SITE PLAN - LANDSCAPE PLAN
1/8" = 1'-0"

PROJECT NAME:

**WILSON
RESIDENCE**

1070 TRAPPERS TRAIL
PEBBLE BEACH, CA
93953

APN: 007-473-012


MOORE DESIGN
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
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PRINT DATE: 3/27/2018

MEMBER
A I B D
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SHEET TITLE:

**SITE PLAN -
LANDSCAPE
PLAN**

SHEET NUMBER:

A1.1

GENERAL BUILDING NOTES

- All dimensions are to the face of stud or c.m.u. unless otherwise noted.
- Contractor to verify all dimensions and notify the designer of any discrepancies before proceeding.
- All projects with waterproof decks will require periodic maintenance. owner shall be responsible to seal, caulk, or otherwise maintain or replace sealant as recommended by manufacturer of waterproofing surface.

FIRE PROTECTION NOTES:

- Provide fireblocking at 10' intervals in the wall both horizontally and vertically per (CRC R302.11).
- The openings around gas vents, ducts, pipes, chimneys, and fireplaces at the ceiling and floor levels shall be fireblocked with noncombustible materials. (CRC R 302.11.4).
- Fireblocking is required at the opening between the attic space and the chimney chase for the factory-built chimneys. (CRC R1003.19).
- If a fire alarm system is integrated into a security system, the fire alarm system drawings must be submitted to the local fire jurisdiction for approval prior to installation.
- The State of California requires **smoke and carbon monoxide alarms** to be installed in all residential buildings. (california residential code) sections R314.3.2 and R314.3.3 require a 10-year lifespan for smoke alarms/detectors: units that are older than 10-years need to be replaced. battery type units must have a 10-year battery life. smoke, carbon monoxide or multiple-purpose alarms (carbon monoxide and smoke alarms) must be approved and listed by the state fire marshal. The devices must be installed per the manufacturer's instructions. **In new construction** each smoke detector shall be installed per manufacturer's instructions with house wiring as the primary power source with battery back-up. **In remodels** each smoke detector may be powered by battery only. smoke detectors shall sound an audible alarm in all sleeping areas of the dwelling unit in which they are located.

ALARM LOCATION REQUIREMENTS

SMOKE ALARMS MUST BE INSTALLED:

- In each room used for sleeping purposes
- In each hallway outside of the sleeping room(s)
- On each level of the dwelling, including basements

CARBON MONOXIDE ALARMS MUST BE INSTALLED:

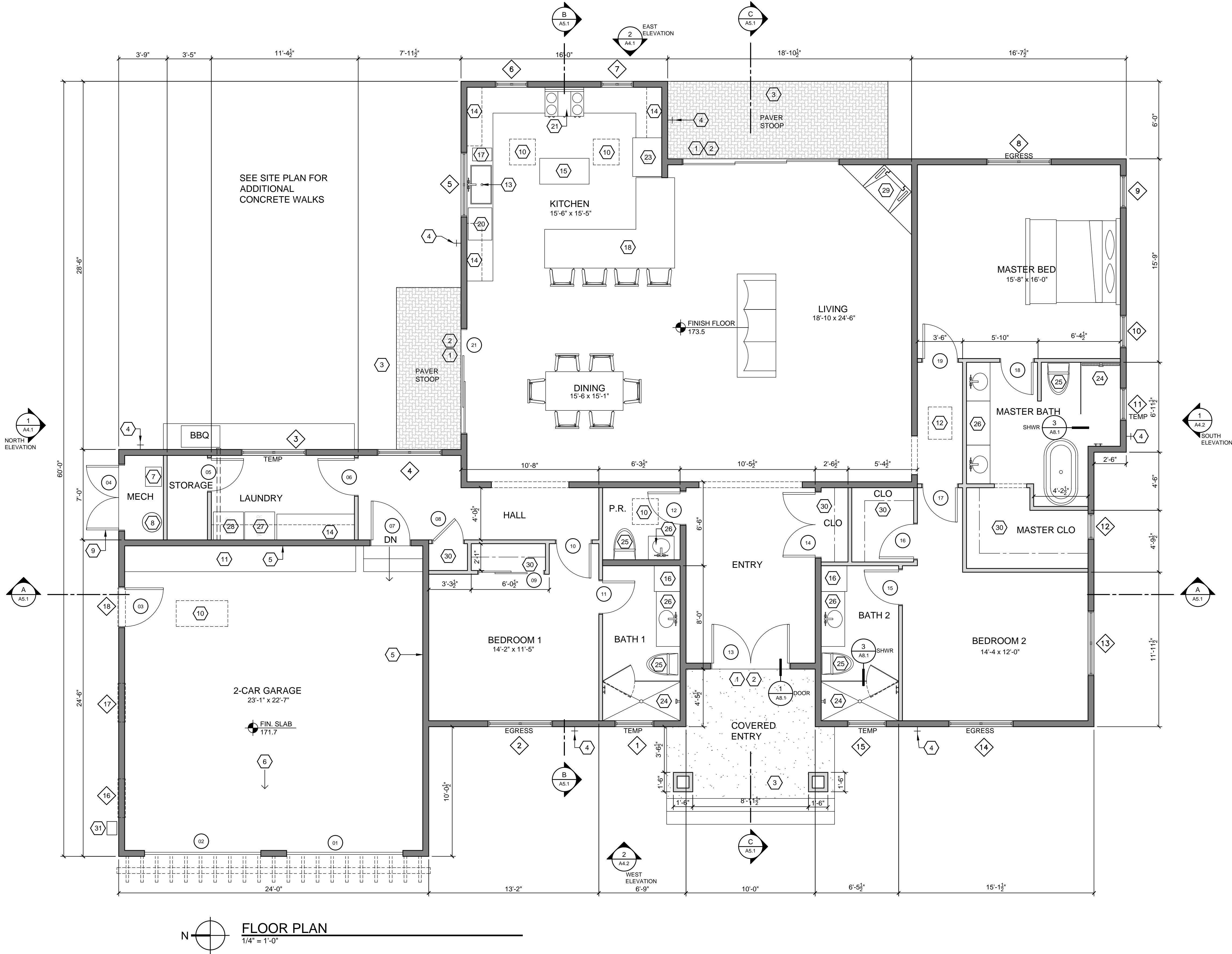
- Outside of each sleeping room in the immediate vicinity of the bedroom(s)
- On each level of the dwelling, including basements

PLUMBING & BATHROOM NOTES:

- Contractor is to verify that the project when completed shall comply with the water permit issued by the governing jurisdiction.
- Accessible under floor areas shall be provided with an 18"x24" min. access within 20' of all plumbing cleanouts (CBC 1209.1 & CPC 707.10)
- Shower heads with a flow rate shall not exceed 2.0 gallons per minute @ 40 p.s.i. Control valves and showerheads shall be located on the sidewall of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray. [CPC 408.9]
- (E) Toilets with a flow rate that exceeds 1.6 gpf need to be upgraded (or any new toilet) with a max. flow of 1.28 gpf.
- (E) Lavatory faucets with a flow rate that exceeds 2.2 gpm need to be upgraded (or any new faucet) with a max. flow rate at no more than 1.2 gallon-per-minute.
- (E) Kitchen faucets with a flow rate that exceeds 2.2 gpm need to be upgraded (or any new faucet) with a max. flow rate at no more than 1.8 gpm.
- Water pressure in the building shall be limited to 50 p.s.i. or less.
- Provide pressure absorbing devices, either an air chamber or approved mechanical devices that will absorb high pressure resulting from the quick closing of quick- acting valves. (CPC 609.10)
- All shower compartments, regardless of shape, shall have a minimum interior floor area of 1,024 sq. in., and also capable of encompassing 30" diameter circle (CPC 411.7)
- Provide 30" width clear in the toilet compartment and 24" clear in front of the bowl to the wall (CPC 407.5).
- Provide non-removable backflow prevention devices on all exterior hose bibs.
- Maximum hot water temperature discharging from bathtubs & showers shall be limited to 120°F.(CPC 414.5 & 418.0)
- SHOWER AND TUB-shower combinations shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve controls type and installed in a 2x6 stud wall.(CPC 418.0)
- IN NEW CONSTRUCTION** - all hot water fixtures that have more than 10' of pipe from the fixture to the hot water heater serving the fixture shall be equipped with a hot water recirculating system.
- Plumbing lines utilized as grounds are prohibited.

MECHANICAL NOTES:

- FURNACE OR WATER HEATERS** located in the crawl space or attic shall have a min 30"x30" access opening located within 20' of the equipment and a min 24" wide continuous solid walkway from access to unit (CMC 904.11). Where an under-floor furnace is supported from above, a minimum 6" clearance shall be provided from finished grade (CMC 904.3.1.2)
- Minimum 30"x30" unobstructed level working space in front of F.A.U. (CMC 904.11)
- A permanent 120-volt receptacle outlet and a lighting fixture shall be installed near the appliance. the switch controlling the the lighting fixture shall be located at the entrance to the passageway (CMC 904.11.5 & NFPA 54:9.5.2)
- FURNACES LOCATED IN THE GARAGE**- all air ducts that penetrate the garage/residence fire separation wall shall be constructed of 26 gauge steel with no openings in the garage.
- WATER HEATERS** or cooling units located in the attic shall have a second watertight pan installed beneath the unit per (CMC 310.2)
- Appliances which generate a glow, spark, or flame (such as water heater and furnace) shall be located a minimum of 18 inches above garage floor.
- Where it is required to move under ducts for access to areas of the crawlspace, a minimum vertical clearance of 18" shall be provided (CMC 604.1).
- KITCHEN HOOD** - a ducted residential exhaust hood is required. a metal, smooth interior surface duct required on vent hood or down draft exhaust vent. aluminum flex duct not approved. provide back draft damper. CMC504.2 minimum 30" vertical clearance to combustibles from cook top surface. CMC504.2. Kitchen local exhaust ventilation requires a minimum rate of 100cfm meeting the requirements of ASHRA 62.2. this includes a maximum sound rating of 3 sone @ 100cfm.



FLOOR PLAN

1/4" = 1'-0"

SHEET NOTES

- Floor elevations at the required **Egress Door** (1 required) (CRC R311.3.1) landings or floors at the required egress door shall not be more than 1'-1/2" lower than the top of the threshold for outswing doors and 7'-3/4" for inswing or sliding doors. **Non-egress doors** (CRC R311.3.2) - landings or floors shall be not more than 7'-3/4" lower than the top of the threshold for inswing, outswing, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.
- Landing at doors (CRC R311.3)- min. depth 36", min. width shall be not less than the width of the door served. landing may have a slope not to exceed 2% (1/4" vertical in 12" horizontal).
- Terraces and patios- slope at min. 1/4" per ft. away from structure and toward drainage system - see civil drawings
- Hose bib- provide shut off valve for all hose bibs located near the garage or water main. all hose bibs shall have a non-removable back flow device per cbc 603.3.7.
- Fire separation wall (CRC R302.6)- provide 5/8 type "x" gyp. bd. over framing at walls and ceiling
- Garage Floor- Provide:
 - concrete slab & control joints per structural drawings
 - seal concrete with concrete sealer
 - slope toward garage doors for drainage (min. 2")
 - 4" curb at all walls for termite and water protection
 - protect finish slab during construction with protection board
- On Demand water heater
- Water softener
- Venting- provide 100 sq. in. of venting within the top 12" and bottom 12" of the door/wall for combustion air for fuel burning appliances
- Skylight- see roof plan for size and detail location
- Casework- 24" base cabinet/workbench. owner to select finish, countertop & layout
- Attic space and access (CRC R807.1) attic opening shall be min. 22"x 30" with 30" min. head clearance and is required when an attic area exceed 30 sf and has a vertical height of 30" or greater.
- Casework- 24" base cabinet with 14" upper cabinet. owner to select finish, countertop & layout.
- Casework- Island with drawers below. owner to select finish, countertop & layout
- Casework- full height linen cabinet with adjustable shelves
- Casework- slide out trash/recycle center
- Coffee bar- 36" base cabinet with 14" drawers below. owner to select finish, countertop & layout
- Not used
- 24" dishwasher- low-flow per standards- owner to select make & model
- Range top- 36" wide with drawers below. owner to select make & model
- Oven with convection microwave- 30" wide- owner to select make & model
- Refrigerator- 36" wide, provide recessed plumbing for ice maker- owner to select make & model
- Shower- provide:
 - 24" wide minimum (outswing) tempered glass door, door optional
 - shampoo recess, soap shelf & seat per owner's specifications
- impervious surface to 72" minimum above drain inlet
- 2" x6" wall for thermostatic valve
- Control valves and showerheads shall be located on the sidewall of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray. [CPC 408.9]
- Toilet (ultra high efficiency)- 0.8 gallons per flush u.o.n. on water permit, provide 30" width clear in the toilet compartment and min. 24" clear from the front of bowl to the wall (cpc 2904)
- Provide sink(s), base cabinet, plumbing fixture, countertop, mirror and optional recessed vanity cabinet per owner's specifications
- Washing machine- verify make and model with owner (provide plumbing connections recessed in wall
- Clothes dryer- vent to exterior with 4" pipe. 14'-0" maximum horizontal run with (2) 90° bends maximum. Vent discharge location shall be a minimum 3' away from any opening into the building per CMC 504.3.1.
- Fireplace- direct vent "majestic firebox insert model #r36 icbo #r4837 with xx hearth and metalbestos flue
- Provide a shelf and closet pole system at all wardrobe closets. owner to specify locations for double pole and/or additional shelving/drawer systems
- Electrical meter & gas meter

Floor Plan Notes:

- Refer to general building notes on this sheet for additional notes.
- SEE DOOR & WINDOW SCHEDULE ON SHEET A2.3

PROJECT NAME:

WILSON
RESIDENCE

1070 TRAPPERS TRAIL
PEBBLE BEACH, CA
93953

APN: 007-473-012

John Moore

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FLOOR PLAN

SHEET NUMBER:

A2.1

WINDOW & SKYLIGHTS NOTES

1.

CONTRACTOR TO VERIFY ALL ASPECTS OF THE WINDOWS WITH OWNER AND HAVE THE OWNER SIGN OFF ON ALL SIZES, MATERIALS, AND COLORS PRIOR TO ORDERING.
2.

All casement windows used in bedrooms as emergency egress must be "break away" type to ensure complete openable area for access. Egress windows shall have a minimum net openable area of 5.7 square feet. the minimum net clear openable height dimension shall be 24". The minimum net clear openable width dimension shall be 20". When windows are provided as a means of escape or rescue, they shall have the bottom of the clear opening not greater than 44" measured from the floor (CBC 1026.2 & 1026.3)
3.

Window dimensions are proposed rough opening sizes. general contractor is to verify manufacturer's nearest stock sizes. all window sizes, shapes, colors, hardware, screens, glazing, etc. must be approved in writing by owner prior to ordering.
4.

Specialty windows shall be coordinated with the general contractor for site verification and installation.
5.

All windows are to be double glazed.
6.

Owners to specify which window are to be low 'e'.
7.

Tempered Glazing Required per R308.1

7.1.

All glazing located in hazardous locations as defined in Section R308.4.1 through R308.4.7 shall be tempered glass or wire safety glass

7.2.

R308.4.1 Glazing in fixed or operable doors

7.3.

R308.4.2 Glazing in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60" above the walking surface shall be safety glass.

7.4.

R308.4.3 Glazing in windows where the individual pane is 9 sf or larger, the bottom edge of glazing is less than 18" above the floor, the top edge of glazing is more than 36" above the floor, one or more walking surface are within 36" measured horizontally and in a straight line, of the glazing.

7.5.

R308.4.4 Glazing in guards and railing

7.6.

R308.4.5 Glazing and wet surfaces- Glazing in wet areas where the bottom edge is less than 60" measured vertically above any standing or walking surface.

7.7.

R308.4.6 Glazing adjacent to stairs and ramps- where bottom exposed edge is less than 36" above the adjacent walking surface of stairways, landings between flights of stairs and ramps.

7.8.

R308.4.7 Glazing adjacent to bottom of stair landing- Glazing adjacent to the bottom of a stairway where the glazing is less than 36" above the landing and within 60" horizontally of the bottom tread.
8.

Skylights R308.6.2- may have the following glazing:

8.1.

Laminated glass with a minimum .015-inch ployvinyl butyral interlayer for glass panes 16 sf or less in area located such that the highest point of the glass is not more than 12 feet above the walking surface or other accessible area; for higher or larger sizes, the minimum interlayer thickness shall be .030 inch.

8.2.

Fully tempered glass

8.3.

Heat-strengthened glass.

8.4.

Wired glass.

8.5.

Approved rigid plastics.

DOOR NOTES

1.

CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER AND HAVE THE OWNER SIGN OFF ON ALL SIZES, MATERIALS, AND COLORS PRIOR TO ORDERING.
2.

All glazing in doors shall be temp. glass.
3.

Door sizes shown are proposed rough opening sizes. general contractor to verify manufacturer's nearest stock sizes for designer/owner to review and approve.
4.

Specialty doors shall be coordinated with general contractor for site verification and installation.
5.

All exterior doors shall have pan. & brass (weather resistant) hinges.
6.

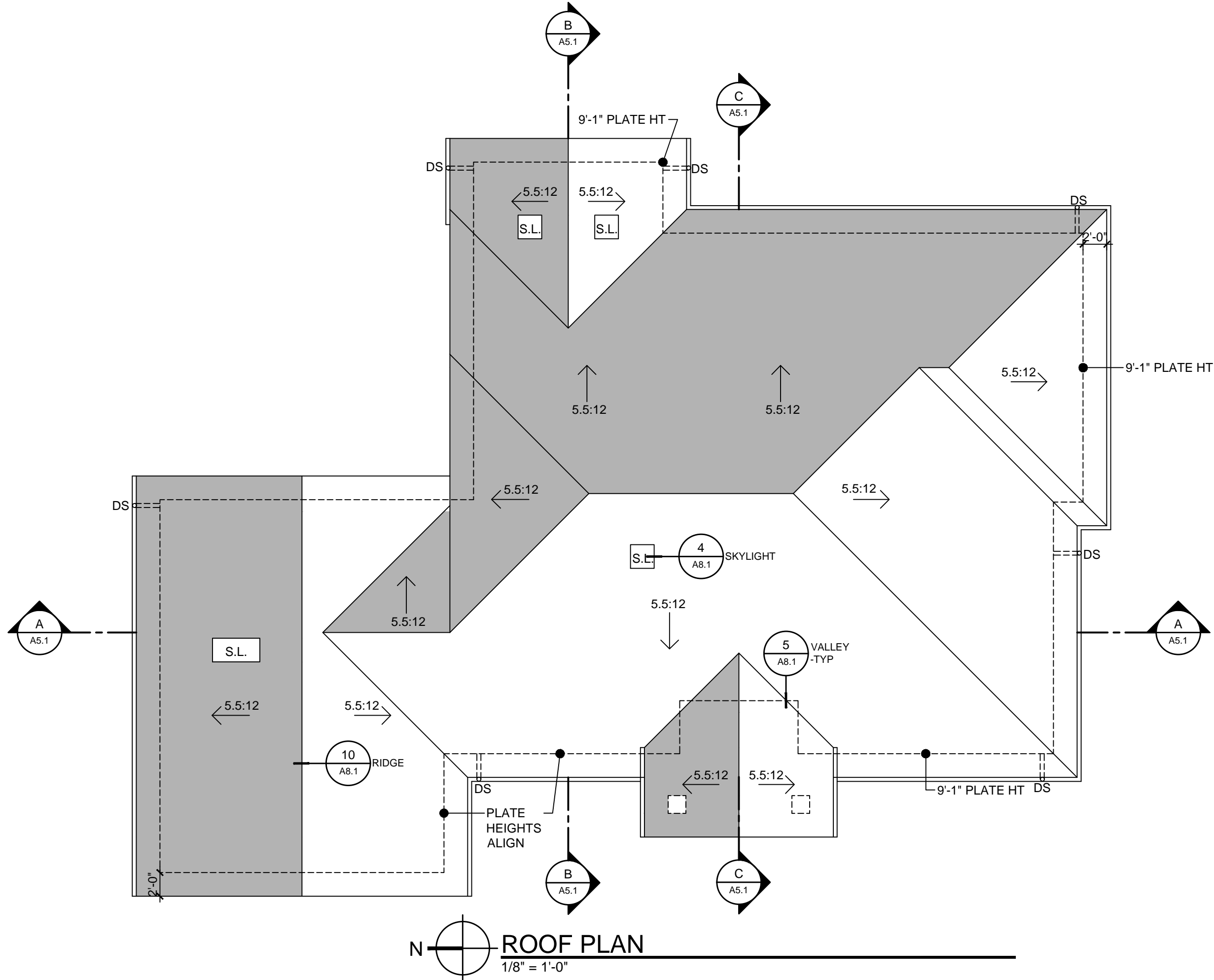
All exposed edges to be sealed to prevent moisture fenestration and warping.
7.

All french doors are to have dead bolts.
8.

Any door in a 1-hour rated wall shall be 20 minute fire rated, 1-3/8", tight fitting, self closing and self latching per CRC R302.5

DOOR SCHEDULE							
DOOR #	LOCATION	WIDTH	HEIGHT	THICK	MATERIAL	ACTION	TYPE
1	GARAGE	9'0"	7'0"	1-3/4"	WD	OH	STAINED
2	GARAGE	9'0"	7'0"	1-3/4"	WD	OH	STAINED
3	GARAGE	3'0"	6'8"	1-3/4"	WD	SWING	PAINTED
4	MECH. RM	5'0"	6'8"	1-3/8"	WD	SWING	PAINTED
5	LAUNDRY	2'6"	7'0"	1-3/8"	WD	SWING	PAINTED
6	LAUNDRY	2'10"	7'0"	1-3/8"	WD	SWING	PAINTED
7	GARAGE	3'0"	7'0"	1-3/8"	WD	SWING	PAINTED.SEE DOOR NOTE 8
8	HALL	2'4"	7'0"	1-3/8"	WD	SWING	PAINTED
9	BEDROOM 1	5'0"	7'0"	1-3/8"	WD	SLIDER	PAINTED
10	BEDROOM 1	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
11	BATH 1	2'6"	7'0"	1-3/8"	WD	SWING	PAINTED
12	POWDER RM	2'6"	7'0"	1-3/8"	WD	SWING	PAINTED
13	ENTRY	6'0"	7'0"	1-3/4"	WD	SWING	FRENCH - ARCHED
14	ENTRY	5'0"	7'0"	1-3/8"	WD	SWING	PAINTED
15	BATH 2	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
16	BEDROOM 2	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
17	BEDROOM 2	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
18	MASTER BATH	2'6"	7'0"	1-3/8"	WD	SWING	PAINTED
19	MASTER BED	2'8"	7'0"	1-3/8"	WD	SWING	PAINTED
20	LIVING ROOM	12'0"	7'0"	1-3/8"	VINYL	SLIDER	
21	DINING ROOM	8'0"	7'0"	1-3/8"	VINYL	SLIDER	
CONTRACTOR TO VERIFY ALL SIZES WITH OWNER							
PROVIDE GALV PAN UNDER ALL EXTERIOR DOORS							

WINDOW SCHEDULE							
WDW #	LOCATION	WIDTH	HEIGHT	HEAD HT	JAMB	ACTION	TYPE
1	BATH 1	3'0"	2'0"	7'0"	3-1/2"	HORZ SLIDER	TEMP
2	BEDROOM 1	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
3	LAUNDRY	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	TEMP
4	HALL	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
5	KITCHEN	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
6	KITCHEN	2'6"	3'8"	7'0"	3-1/2"	HORZ SLIDER	
7	KITCHEN	2'6"	3'8"	7'0"	3-1/2"	HORZ SLIDER	
8	MASTER BD RM	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
9	MASTER BD RM	2'6"	4'0	7'0"	3-1/2"	HORZ SLIDER	
10	MASTER BD RM	2'6"	4'0	7'0"	3-1/2"	HORZ SLIDER	
11	MASTER BATH	2'6"	2'0"	7'0"	3-1/2"	HORZ SLIDER	TEMP
12	MASTER CLO	2'0"	2'0"	7'0"	3-1/2"	HORZ SLIDER	
13	BEDROOM 2	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
14	BEDROOM 2	5'0	4'0	7'0"	3-1/2"	HORZ SLIDER	
15	BATH 2	3'0"	2'0"	7'0"	3-1/2"	HORZ SLIDER	TEMP
16	GARAGE	3'0"	1'8"	8'10"	3-1/2"	PICTURE	TRANSOM-TEMP
17	GARAGE	3'0"	1'8"	8'10"	3-1/2"	PICTURE	TRANSOM-TEMP
18	GARAGE	3'0"	1'8"	8'10"	3-1/2"	PICTURE	TRANSOM-TEMP



GENERAL ROOF & CHIMNEY NOTES

1.

Roof Material = Class 'A' Concrete tile
2.

Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3.

Roof Slope = 6/12 unless otherwise noted
4.

Overhang = 24" unless otherwise noted
5.

Ogee gutters with round downspouts
6.

Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location

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APN: 007-473-012

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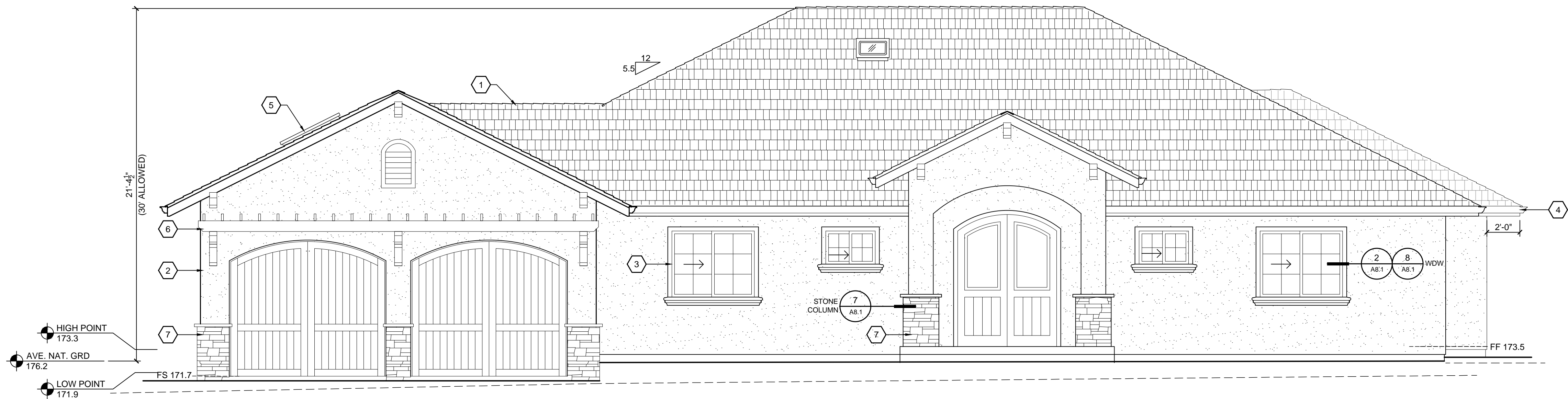
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ROOF PLAN

SHEET NUMBER:

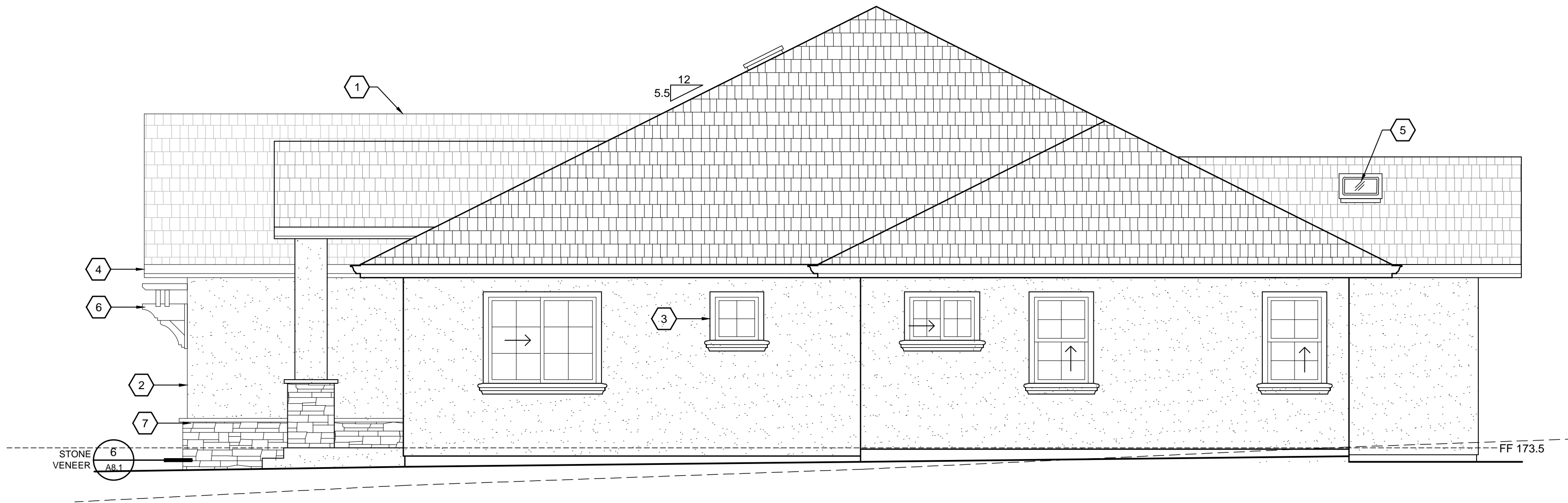
A2.3



1 WEST ELEVATION
1/4" = 1'-0"

SHEET NOTES

1. ROOF - CLASS 'A' FLAT CONCRETE TILE
2. WALLS - ELASTOMERIC PAINT OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTESIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE 'D' BLDG. PAPER.
3. WINDOWS - DOUBLE PANE WHITE VINYL WINDOWS
4. GUTTERS - OGEE GUTTERS WITH 3" ROUND DOWNSPOUTS.
5. SKYLIGHT
6. TRELLIS
7. STONE VENEER



2 SOUTH ELEVATION
1/4" = 1'-0"

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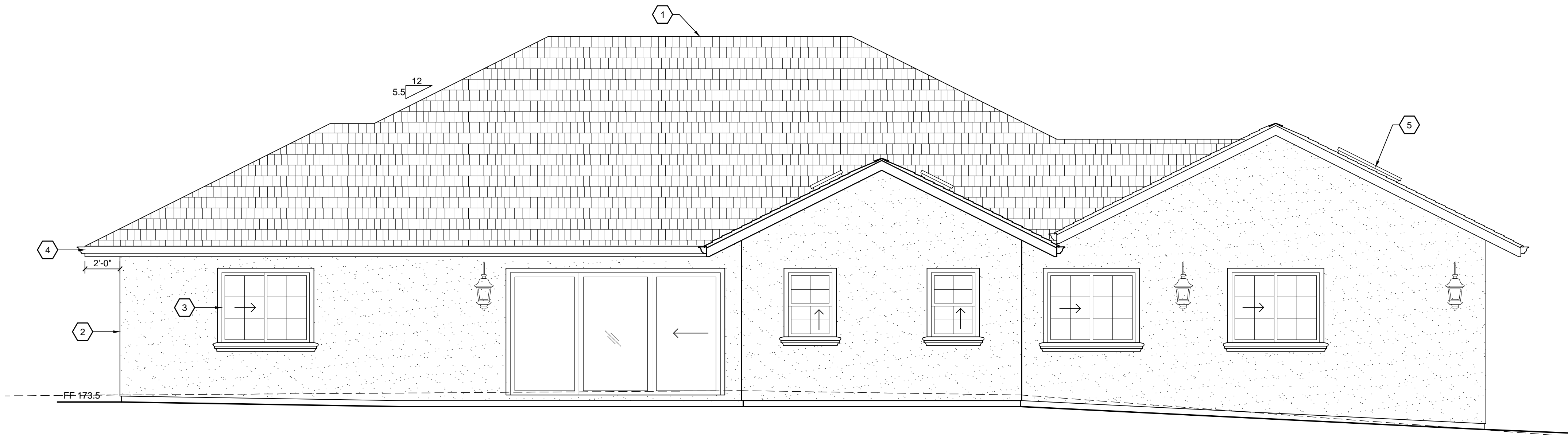
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ELEVATIONS

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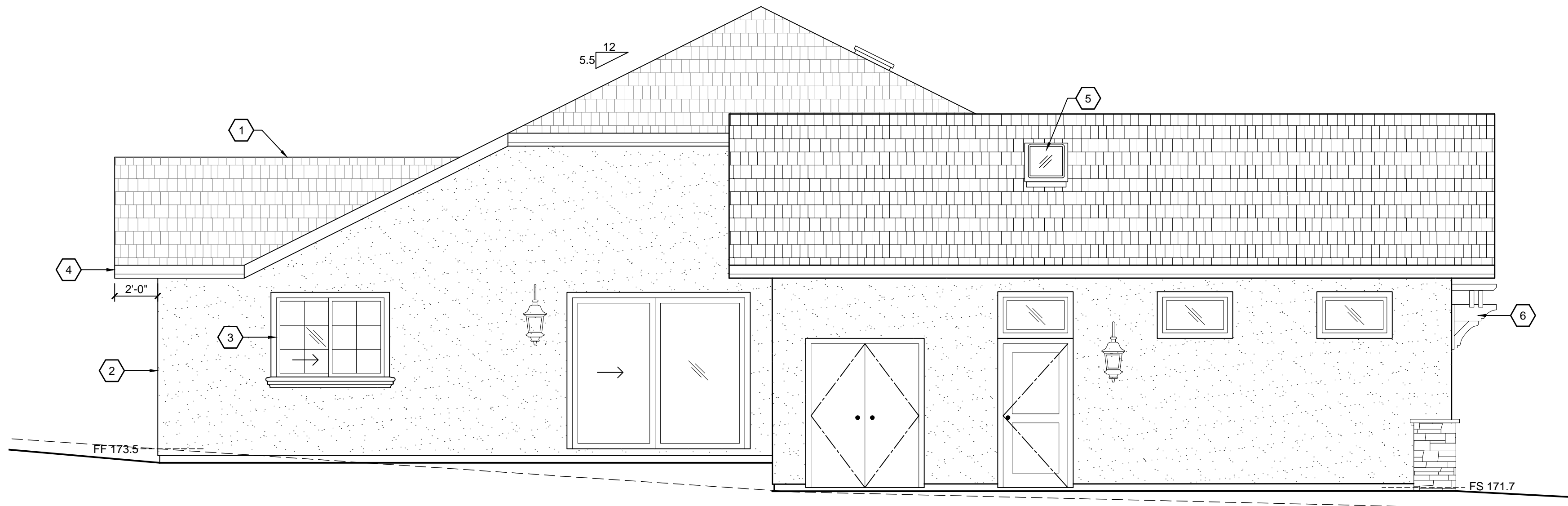
A4.1



1 EAST ELEVATION
1/4" = 1'-0"

SHEET NOTES

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3. WINDOWS - DOUBLE PANE WHITE VINYL WINDOWS
4. GUTTERS - OGEE GUTTERS WITH 3" ROUND DOWNSPOUTS.
5. SKYLIGHT
6. TRELLIS
7. STONE VENEER



2 NORTH ELEVATION
1/4" = 1'-0"

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ELEVATIONS

SHEET NUMBER:

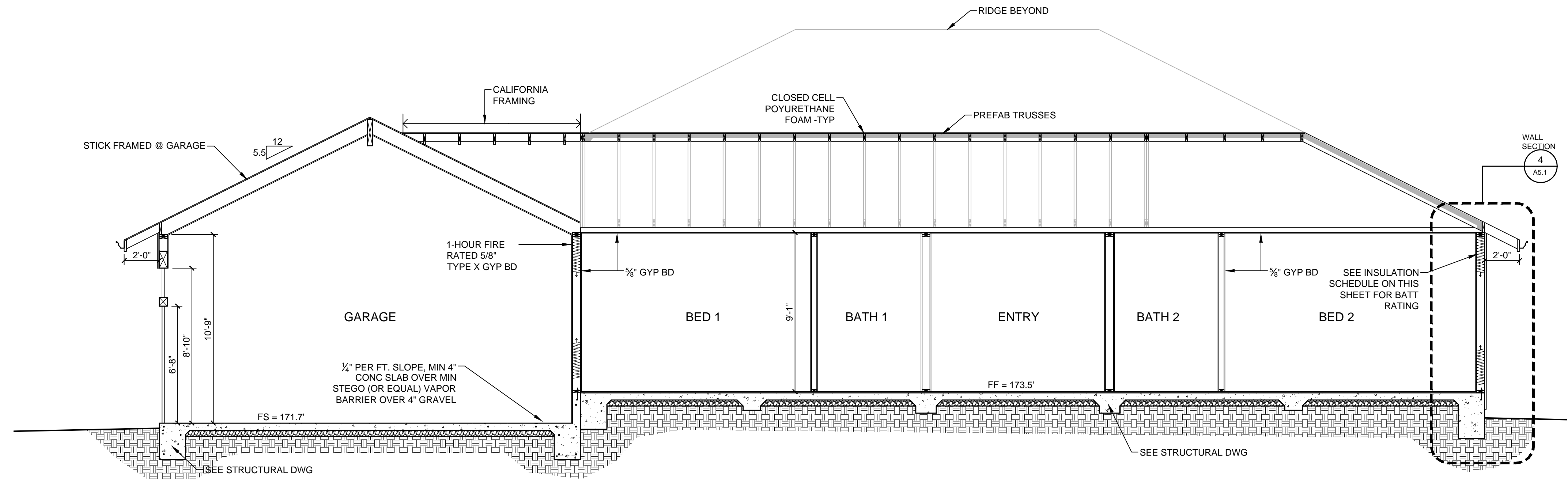
A4.2

INSULATION SCHEDULE

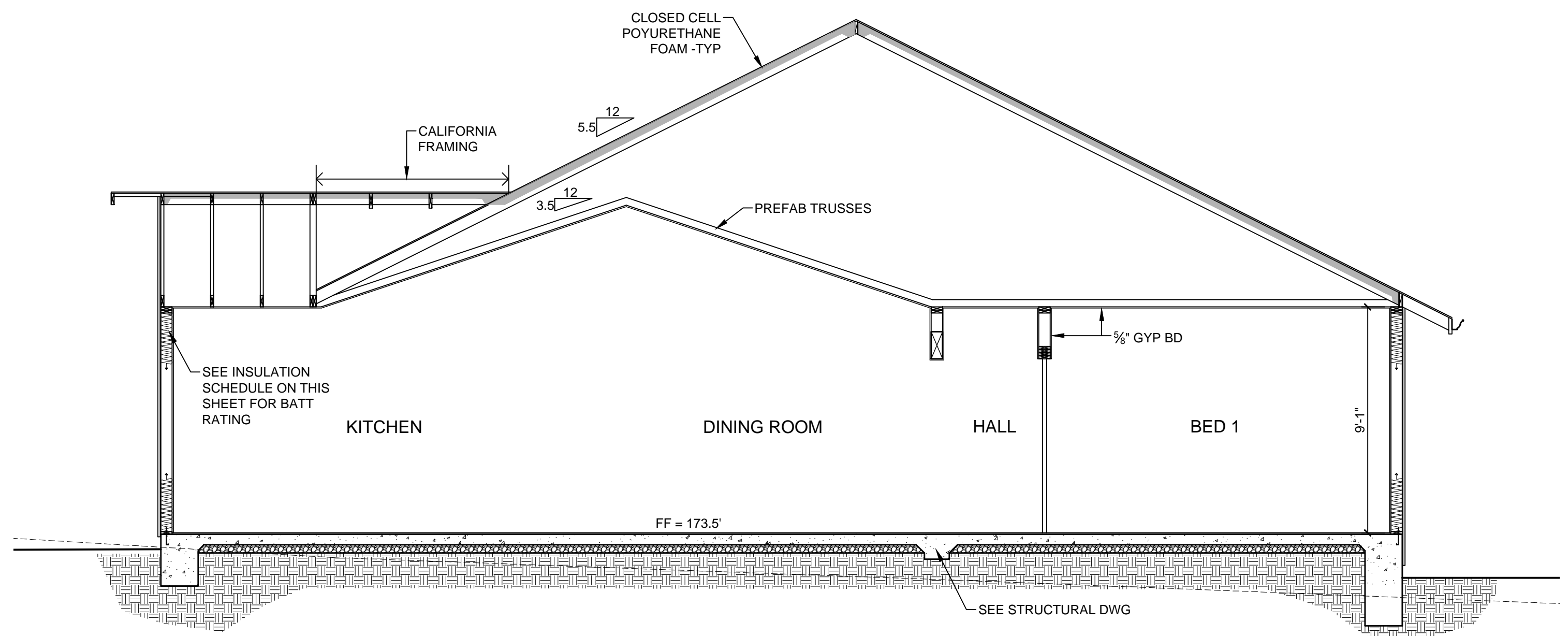
FLOOR	NO INSULATION REQUIRED SLAB ON GRADE
WALLS	R-21 BATT
CEILINGS	POLYURETHANE FOAM R-38

NOTES:
ROOF INSULATION- MIN. 2" CLOSED CELL POLYURETHANE FOAM AND BATTS. OWNER TO DETERMINE FOAM AND BATT COMBINATION TO MEET R-38 REQUIREMENT.
PROVIDE SOUND INSULATION IN WALLS AT BATHROOMS AND BEDROOMS.

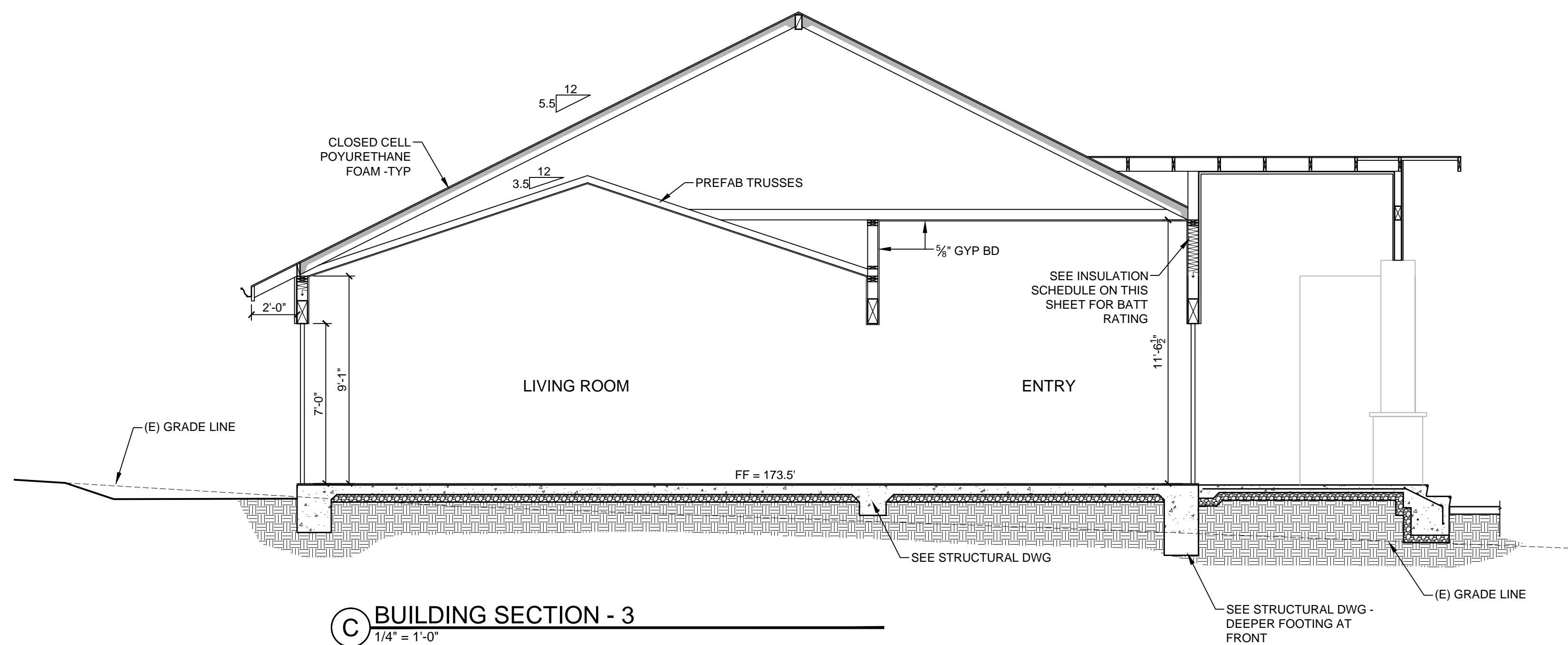
A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE ROOF SHEATHING AND INSULATION PER CRC R806.3.
IF THE BATT INSULATION CONTAINS A VAPOR BARRIER IT MUST BE FACING THE WARM SIDE OF THE ATTIC INSULATION.



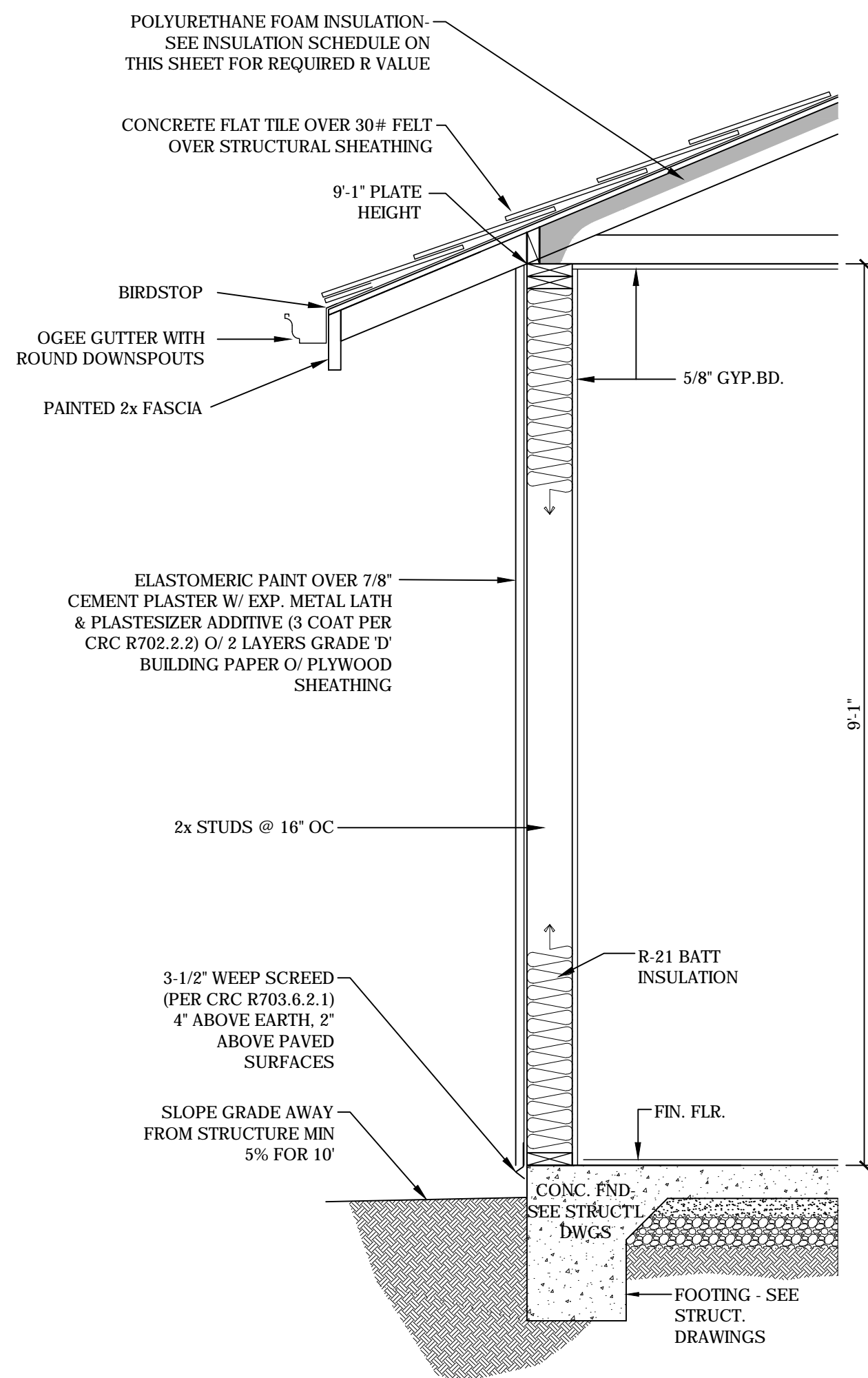
A BUILDING SECTION - 1
1/4" = 1'-0"



B BUILDING SECTION - 2
1/4" = 1'-0"



C BUILDING SECTION - 3
1/4" = 1'-0"



4 WALL SECTION
3/4" = 1'-0"

PROJECT NAME:

**WILSON
RESIDENCE**

1070 TRAPPERS TRAIL
PEBBLE BEACH, CA
93953

APN: 007-473-012

John Moore
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DRAWING RECORD

DESCRIPTION	ISSUED
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PLN SUBMIT	10-18-2017
PB RE-SUBMIT	10-26-2017
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△ PC1	3-30-18

PRINT DATE: 3/27/2018

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SHEET TITLE:

**BUILDING
SECTIONS**

SHEET NUMBER:

A5.1

ELECTRICAL / LIGHTING NOTES:

Electrician to conduct an on-site walk through with the owners and designer to determine final locations for receptacles, switches, fixture, cable, phone, audio/visual, security, data lines, etc. prior to installation.

ELECTRICAL PANELS & SUBPANELS

- Supply uler grounding. (concrete-encased-electrode) for the main electrical service per CEC 250-50(c).
- Working space at the front of electrical equipment shall have: a minimum depth of 36 inches, width of 30 inches, height of 6 feet 6 inches. (CEC article 110-26 items 1, 2, and 3) working space shall not be used for storage. (CEC article 110-26 (b))

CARBON MONOXIDE DETECTORS:

- Carbon monoxide detector shall be installed per (cnc r315).
- A carbon monoxide detector shall be installed at area near bedrooms and at least one on each story of the dwelling including the basement. (cnc r315.2.)
- Single and multiple station carbon monoxide alarms shall be listed to comply with ul 2034. carbon monoxide detectors shall be listed to comply with ul 2075. installation shall be in accordance with nipa 720 and manufacturer's installation instructions (cnc r315.3)
- Carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up wiring shall be permanent and without a disconnecting switch other than as required for overheat protection (cnc r315.1.1)
- Where more than one carbon monoxide alarm is required, that alarm shall be interconnected so that activation of one alarm activates all the alarms in the individual units (cnc r315.1.2)
- Where alterations, repairs, or additions to existing dwellings occur that require a permit and exceed \$1000, the individual dwelling unit shall be equipped with carbon monoxide alarms as required for new dwellings (cnc r315.2)

SMOKE DETECTORS:

- Smoke detectors shall be installed per (cnc r314)
- A smoke detector shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area and each floor including the basement. smoke detectors shall be located on ceiling at least 4" from wall or on wall within 4" to 12" of the highest point of the ceiling (cnc r314.3).
- In new construction each smoke detector shall be installed per manufacturer's instructions with house wiring as the primary power source with battery back-up. In remodels each smoke detector may be powered by battery only. smoke detectors shall sound an audible alarm in all sleeping areas of the dwelling unit in which they are located. The detectors shall emit a signal warning that the batteries are low. (cnc r314.4)
- Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.

LIGHTING:

- All lighting to be installed shall be high efficacy or comply with the notes below:
 - Permanently installed lighting in kitchens shall be high efficacy luminaires. up to 50% of the wattage of permanently installed lighting in kitchens may be in lights that are not high efficacy, provided that these lights are controlled by switches separate from those controlling the high efficacy luminaires. (150(k)3)
 - Bathrooms shall have a minimum of one high efficacy light. Non-efficacy lighting in bathrooms, garages, laundry rooms and utility rooms shall be controlled by an occupant sensor(s) certified to comply with section 119(d) that does not turn on automatically or have an always on option. (150(k)3)
 - Permanently installed luminaires located in living rooms, bedrooms, dining rooms, halls and closets greater than 70 sf shall be high efficacy luminaires; or are controlled by a dimmer switch or are controlled by an occupant sensor that complies with section 119(d) that does not turn on automatically or have an always on option. (150(k)4)

- Luminaires providing outdoor lighting and permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy luminaires or are controlled by occupant sensors with integral photo control certified to comply with section 119(d). (150(k)6)
- Light fixtures installed in wet or damp locations; (bathtub, shower, exterior, etc.), shall be labeled such conditions.
- Incandescent lighting fixtures recessed into insulated ceilings shall be i.c. rated by ul or other approved agency. (title 24 article 150(k)4)
- Lights in clothes closets to comply with (CEC 410-8) for clearances.
- Provide a permanent 100w light fixture at or near furnace and water heater locations controlled by a switch at passageway opening or access door.

RECEPTACLES:

- All 125-volt, single phase, 15- and 20-ampere receptacle outlets shall be listed tamper-resistant receptacles per (CEC 406.11).
- All 125-volt, single phase, 15- and 20-ampere receptacle outlets installed in bathrooms, garages, crawls spaces, outdoors, unfinished basements, kitchens, and within 6' of wet bars shall have ground-fault circuit-interrupter protection per (CEC 210-8).
- All 125-volt, single-phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun rooms, recreation rooms, closets, hallways , or similar rooms or areas shall be protected by a listed arc-fault circuit interrupter, combination-type installed to provide protection of the branch circuit (CEC art. 210-12 (b)).
- Two 20 amp small appliance branch circuits for the kitchen, limited to supplying wall and counter space outlets only. (CEC article 210-52(b)). Countertops 12" or wider require an outlet. CEC 210.52(c)(1). Outlets are required within 24" of any location along the countertop. CEC210.52(c)(1). Kitchen outlets positioned a maximum 20" above counter top. 210.52 (c)(5). Appliance garage outlets are not counted as required countertop outlets. 210.52(c)(5)e. Appliances and sinks break up the countertop run, requiring each side to comply individually. CEC210.52(c).
- Individual dedicated circuits are required for all major appliances. 210.11(c)(1) & 422.10(a).
- Bathroom receptacle outlets shall be supplied by at least one 20-amp circuit per CEC 210-11(c)3. Such circuits shall have no other outlets per (CEC 210-52).
- All exterior 125 or 250 volt receptacles installed in wet locations shall have an enclosure that is weatherproof whether or not the attachment plug cap is inserted. (CEC article 406.8(b)(1).
- Clothes dryer and electric ranges shall have 4-wire grounded electrical outlets per (CEC 250-59).

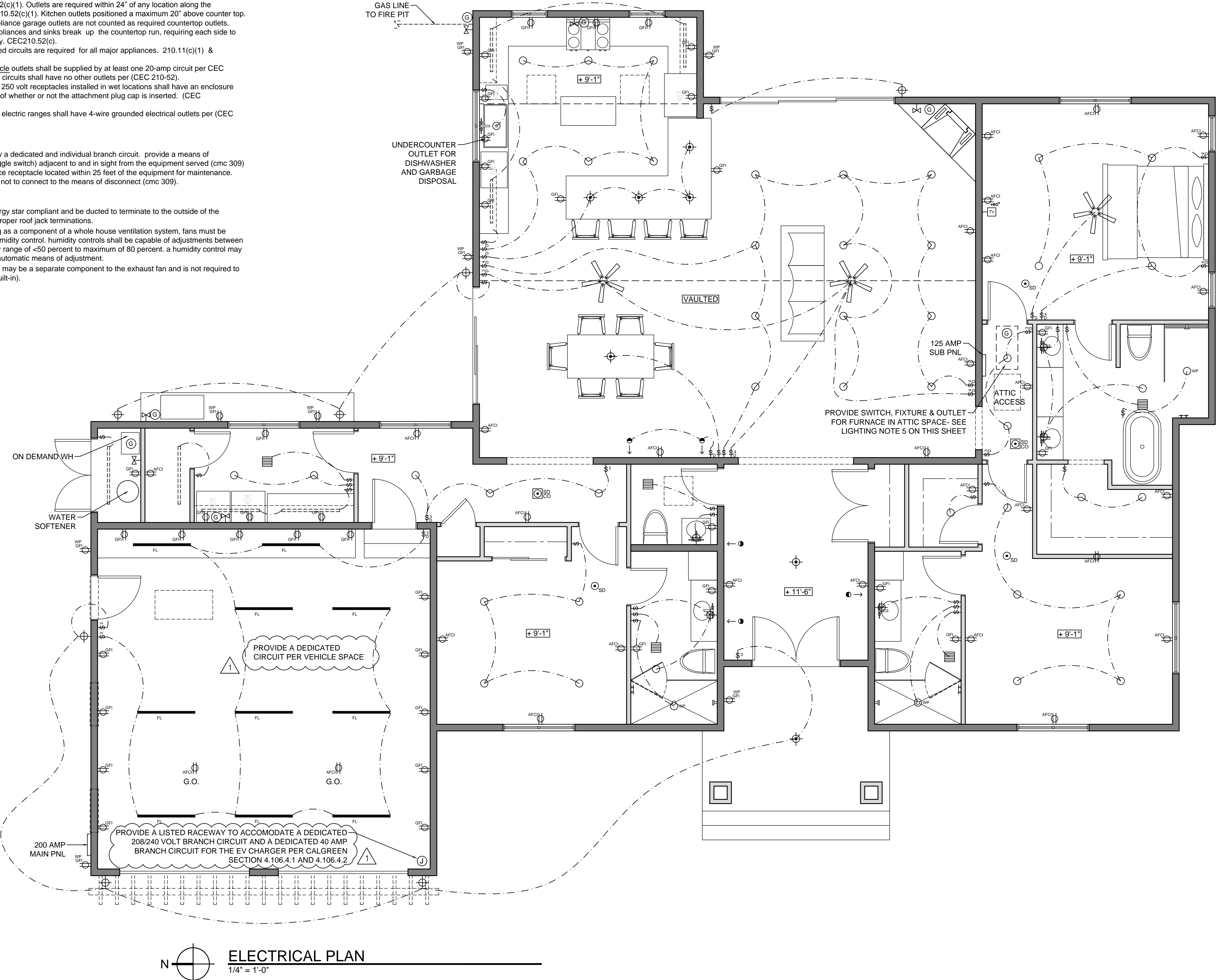
HVAC EQUIPMENT

- Shall be served by a dedicated and individual branch circuit. provide a means of disconnect (ie. toggle switch) adjacent to and in sight from the equipment served (cnc 309) and a 120-v service receptacle located within 25 feet of the equipment for maintenance. This receptacle is not to connect to the means of disconnect (cnc 309).

EXHAUST FANS

- Fans shall be energy star compliant and be ducted to terminate to the outside of the building through proper roof jack terminations.
- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. humidity controls shall be capable of adjustments between a relative humidity range of <50 percent to maximum of 80 percent. a humidity control may utilize manual or automatic means of adjustment.
- A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).

ELECTRICAL LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	TIMER SWITCH
	DIMMER SWITCH - VERIFY TYPE WITH OWNER
	VACANCY SENSOR SWITCH- MOTION SENSOR ON WITH AUTOMATIC SHUT-OFF
	RECESSED FIXTURE - SEE PLAN FOR LIGHT SOURCE TYPE. VERIFY SIZE, KELVIN AND TRIM WITH OWNER. ON SLOPED CEILINGS PROVIDE SLOPED CANS OR TRIM WITH GIMBALED HOUSING.
	WALL WASHER
	SURFACE MOUNTED FIXTURE
	PENDANT FIXTURE
	WALL MOUNTED FIXTURE
	CEILING MOUNTED FAN
	LED OR FLUORESCENT FIXTURE WITH WRAP AROUND LENS.
	UNDERCABINET MOUNTED LED OR FLUORESCENT FIXTURE. MIN. 40 LUM PER WATT
	SMOKE DETECTOR- SEE GENERAL ELECTRICAL NOTES
	COMBINATION SMOKE DETECTOR / CARBON MONOXIDE- SEE GENERAL ELECTRICAL NOTES
	DUPLEX OUTLET
	DEDICATED CIRCUIT (20 amps)
	220 VOLT OUTLET
	4 PLEX OUTLET
	FLOOR OUTLET
	GROUND FAULT INTERRUPT
	WATERPROOF OUTLET(EXTERIOR)
	TELEPHONE JACK
	TEL DATA LINE
	TELEVISION CABLE
	GAS OUTLET
	KEY VALVE
	HOSE BIB VALVE
	FLOOR MOUNTED SUPPLY AIR REGISTER
	ELECTRICAL MAIN PANEL-SEE PLAN FOR SIZE.
	ELECTRICAL SUB-PANEL-SEE PLAN FOR SIZE.



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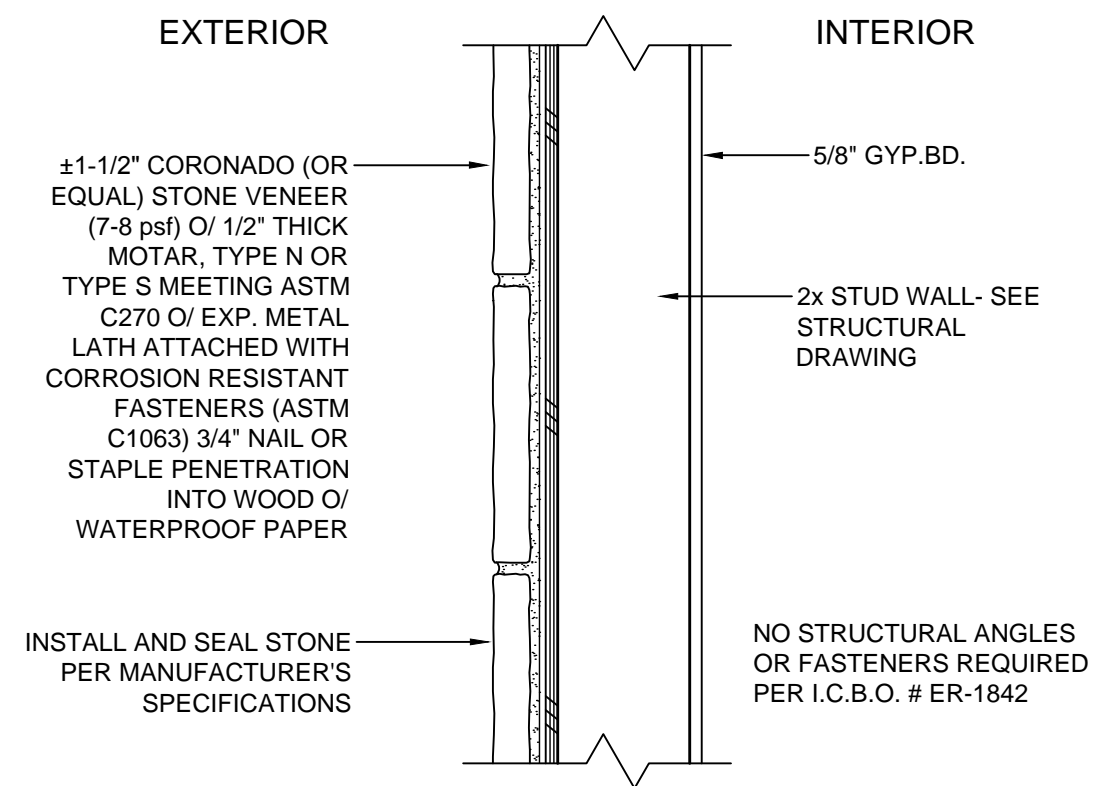
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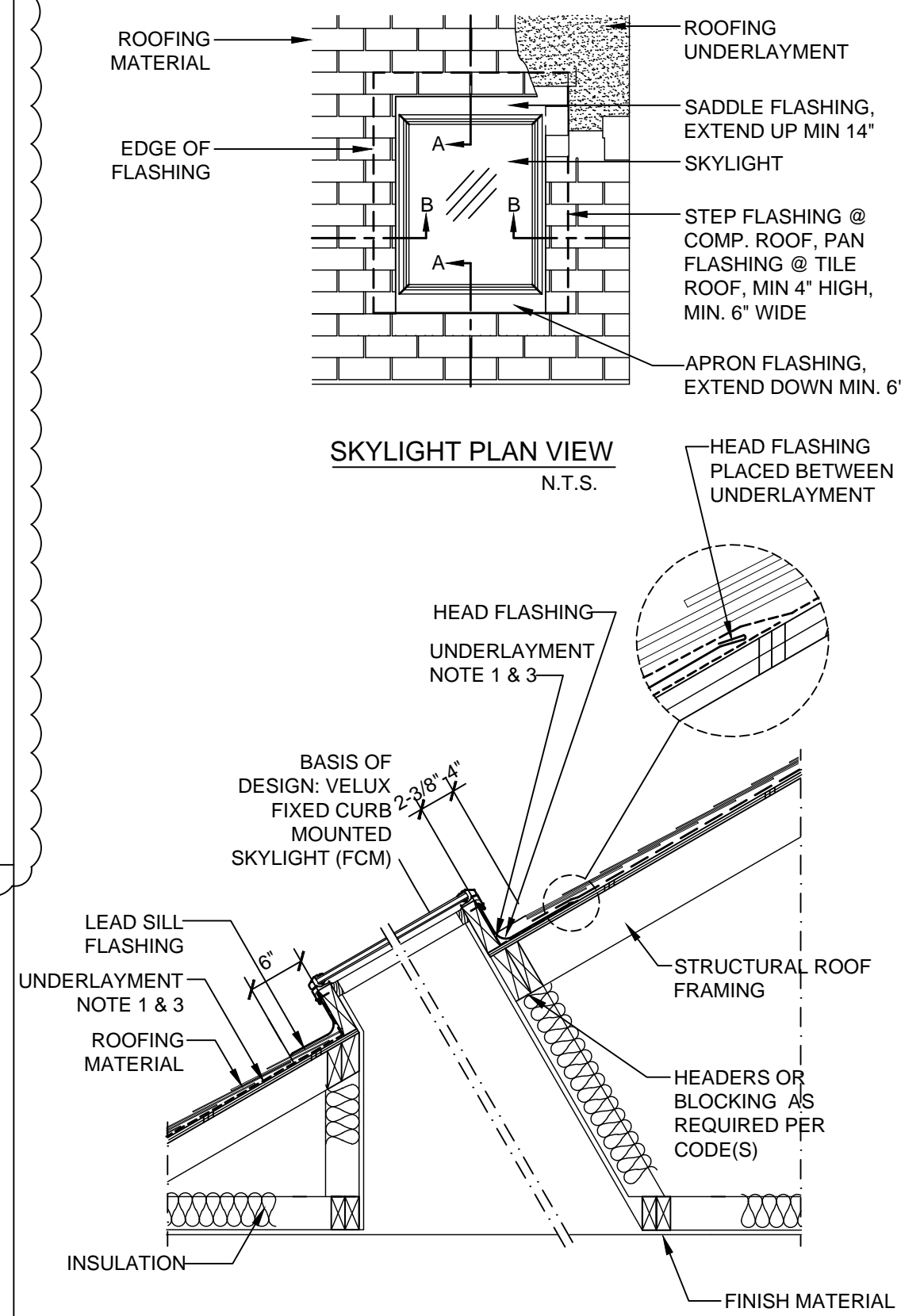
POWER &
LIGHTING

SHEET NUMBER:

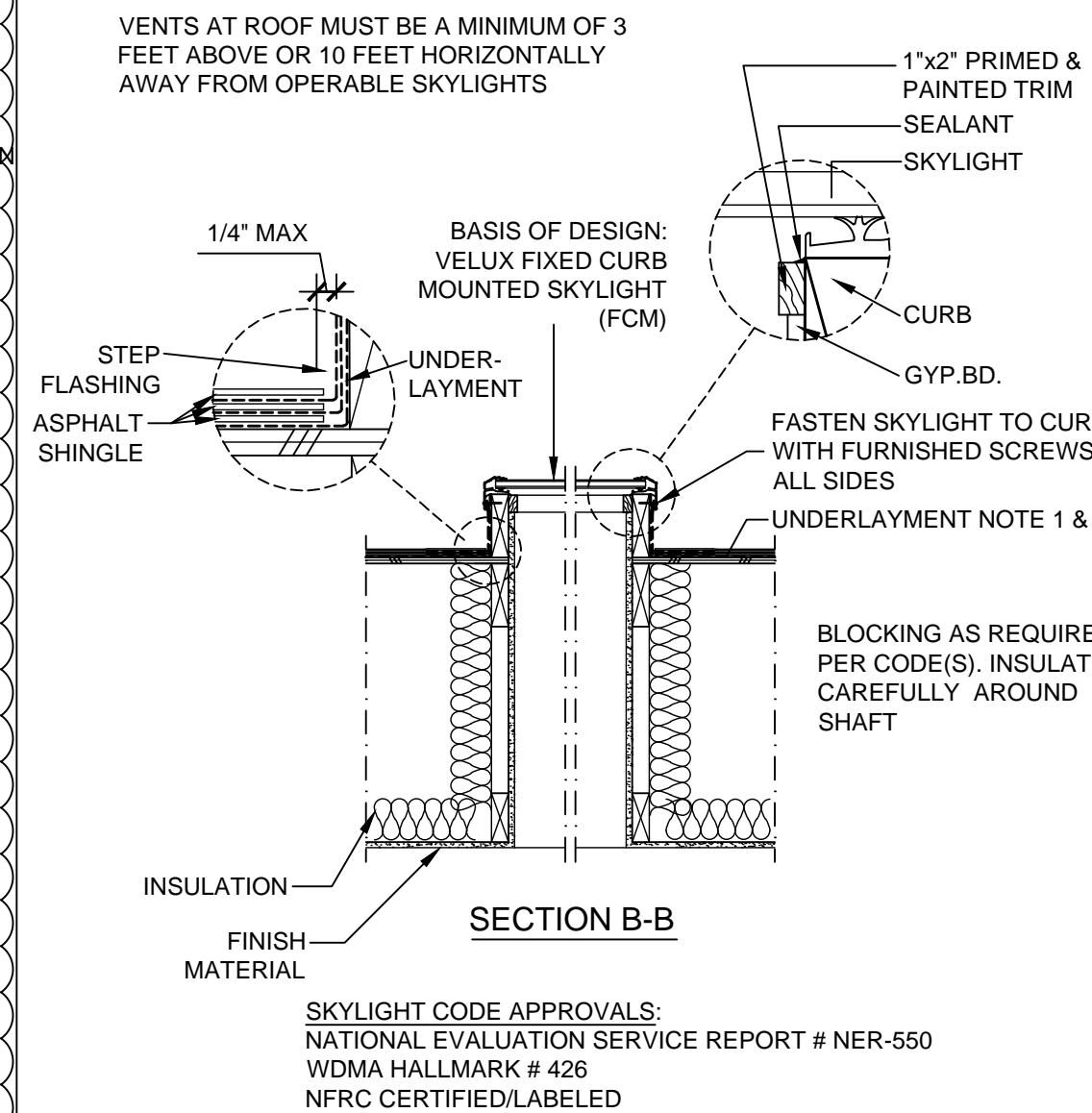
A6.1



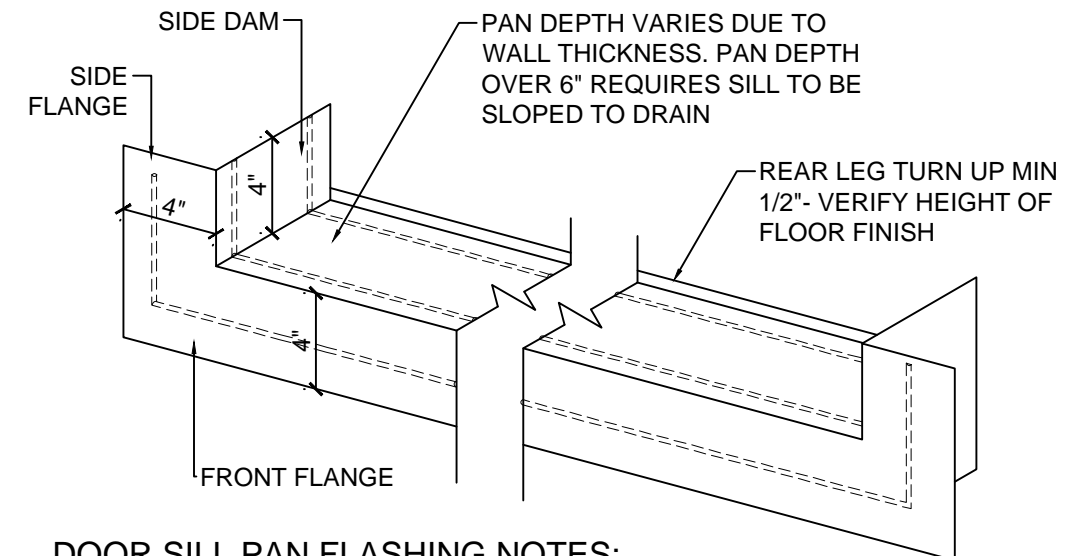
6 STONE VENEER
1 1/2" = 1'-0" (INTERIOR SIMILAR)



SECTION A-A
1. UNDERLAYMENT TO BE FOLDED UP AGAINST ALL SIDES OF CURB.
2. VAPOR BARRIER SHOULD BE USED TO AVOID MOISTURE.
3. WRAP CURB IN UNDERLAYMENT. CONSIDER USE OF VELUX UNDERLAYMENT (TYPE ZOZ 121 IN US AND ZOZ 211 IN CANADA) IN AREAS WITH SEVERE WEATHER CONDITIONS.

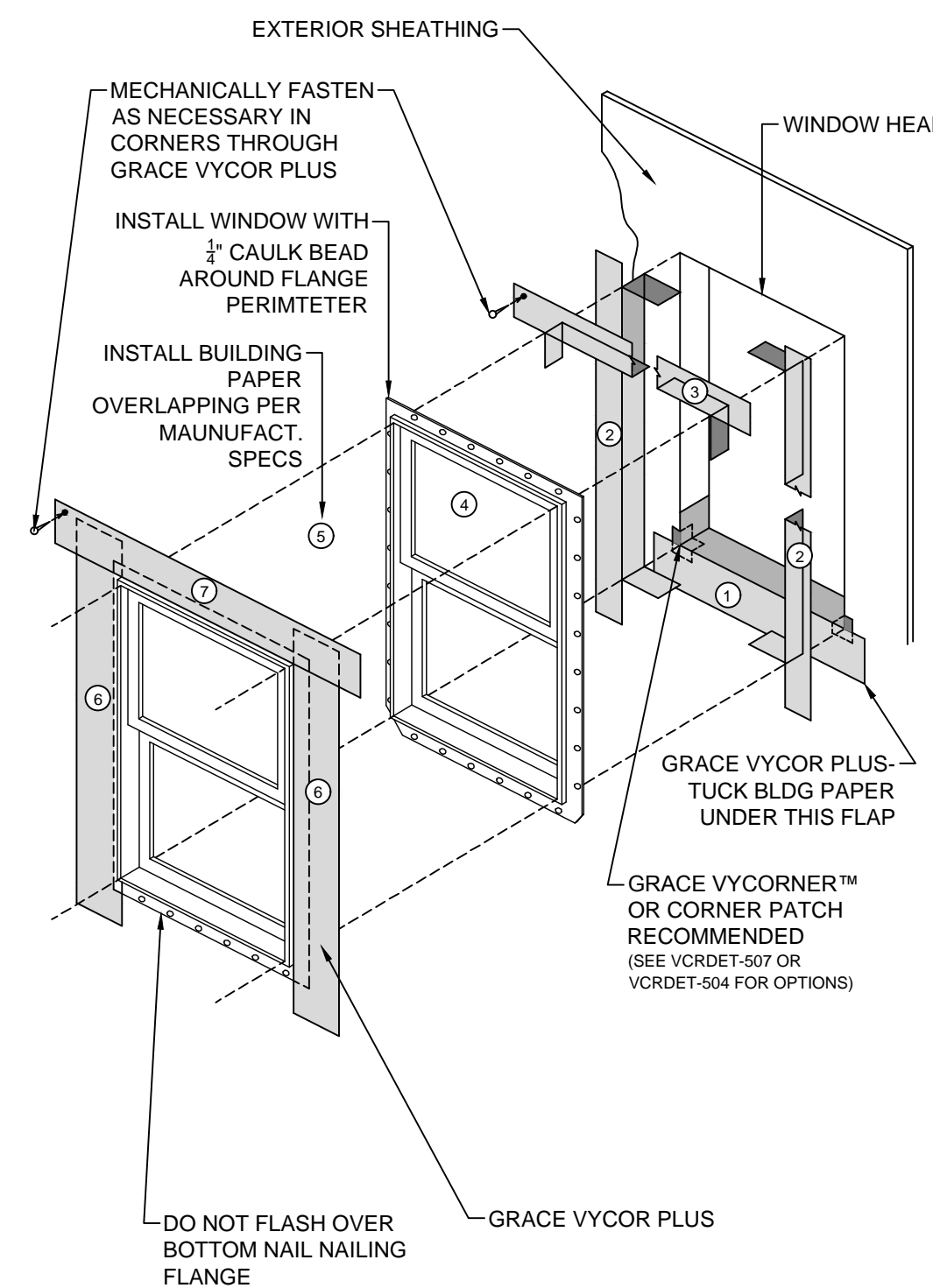


4 SKYLIGHT
3/4" = 1'-0"



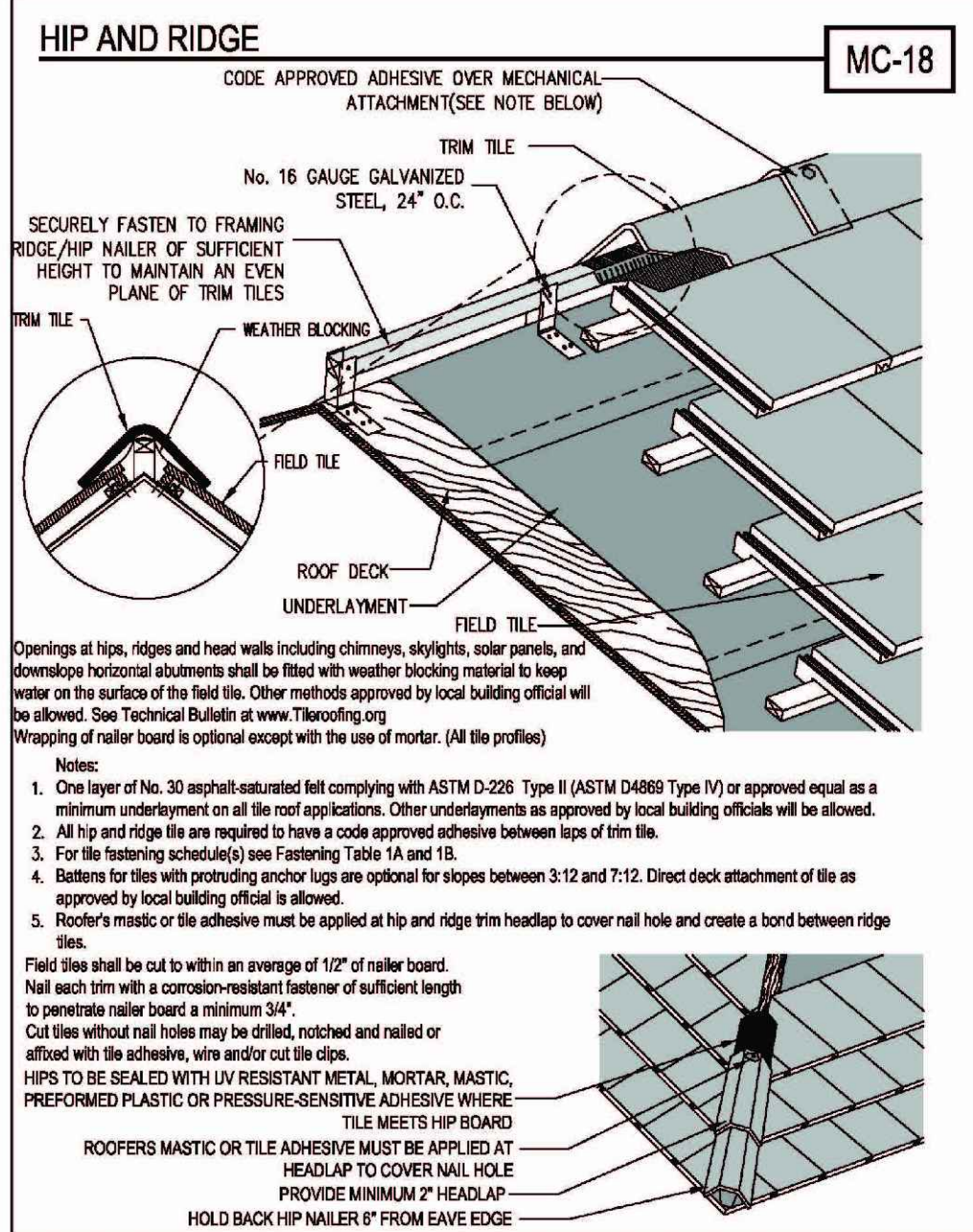
DOOR SILL PAN FLASHING NOTES:
1. SILL MUST BE SMOOTH AND LEVEL, PAN DEPTH OVER 6" REQUIRES SLOPING SHIMS TOWARD EXTERIOR.
2. PAN MUST BE FORMED TO FIT FIELD CONDITION WITH ALL SEAMS AND CORNERS SOLDERED AND WATERTIGHT.
3. APPLY 3/8" NOMINAL DIAMETER BEADS OF SEALANT ON THE SUBFLOOR AND UP THE JAMES AS SHOWN BY THE DASH LINES ABOVE.
4. FASTEN AT SIDE FLANGE AND SIDE DAM MINIMUM 2" OFF PAN AVOID FASTENERS THROUGH PAN PORTION. IF FASTENERS ARE USED IN PAN, PREDRILL HOLES- APPLY SEALANT INTO THE HOLE- INSTALL FASTENER- AND THEN SEAL OVER FASTENER HEAD WITH APPROPRIATE SEALANT.
5. INSTALL DOO PER MANUFACTURER'S SPECIFICATIONS.

1 DOOR PAN
1 1/2" = 1'-0"



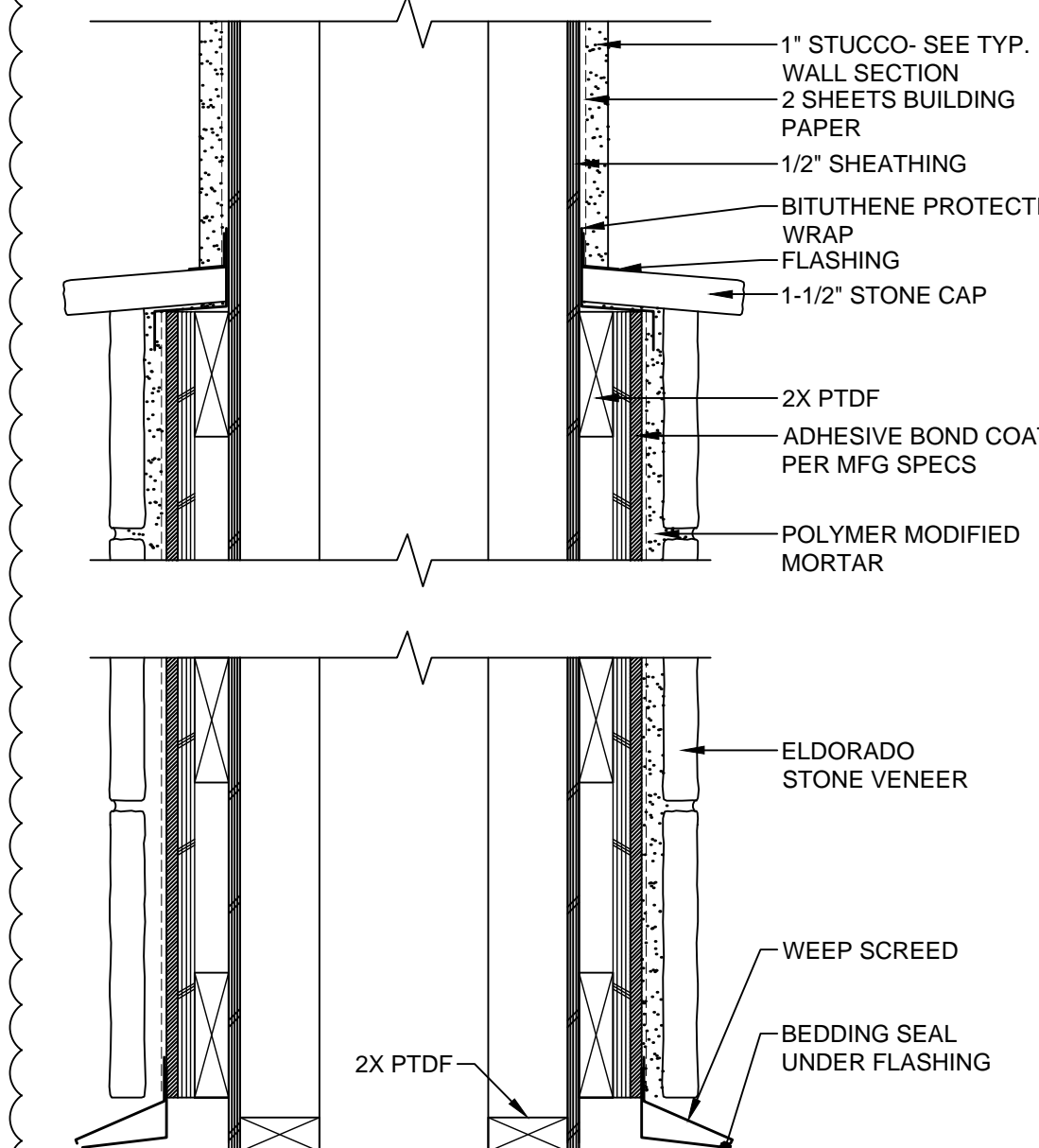
NOTES:
A. VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
B. RIPCOR® CAN BE REMOVED FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION
C. INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS
D. IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH BUILDING PAPER
E. CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS

2 FLASHING
3/4" = 1'-0"

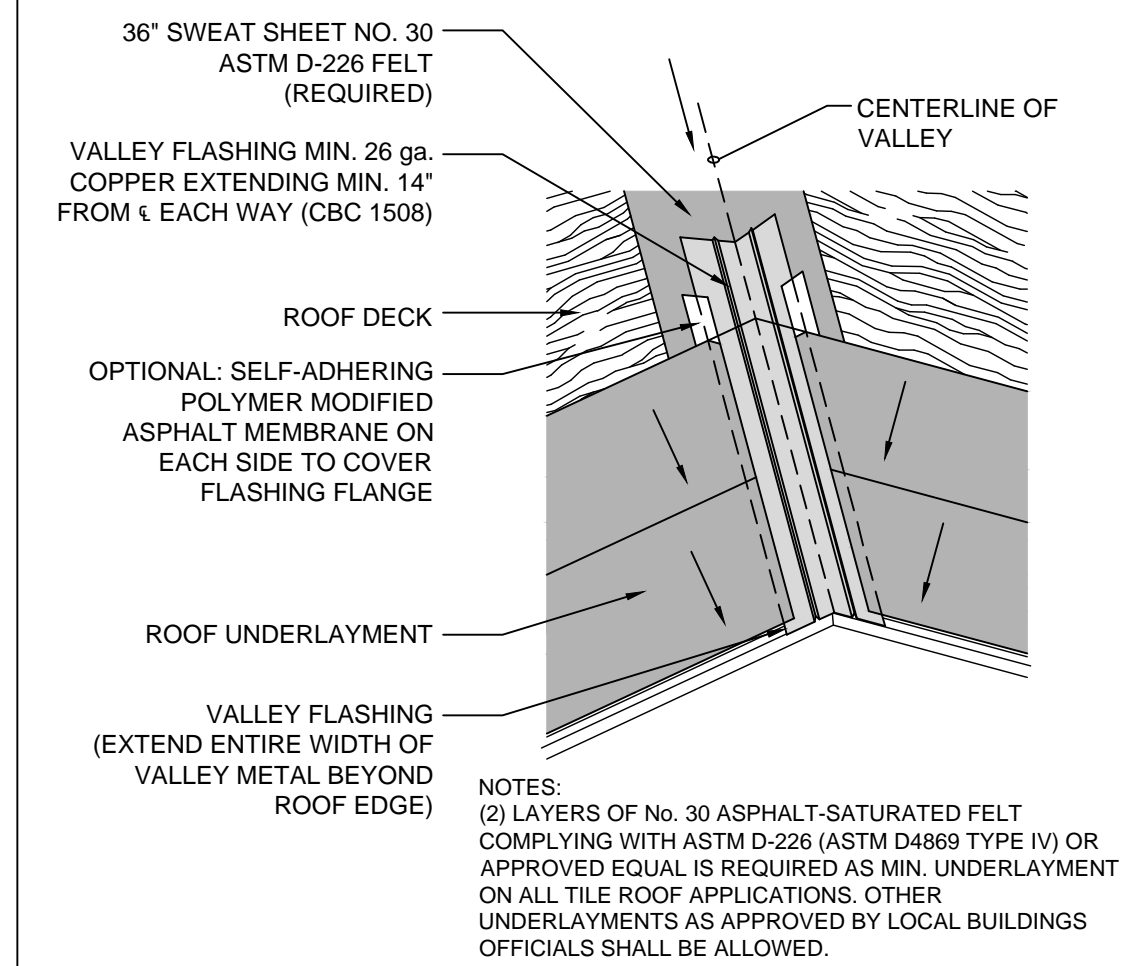


MC-18
DRAWINGS SHOWN DEPICT THE APPLICATION OF ALL TILE PROFILES, UNLESS OTHERWISE NOTED IT WOULD APPLY TO EITHER CONCRETE OR CLAY TILES.
USA Owned, USA Made.
www.eagleroofing.com
EAGLE ROOFING PRODUCTS

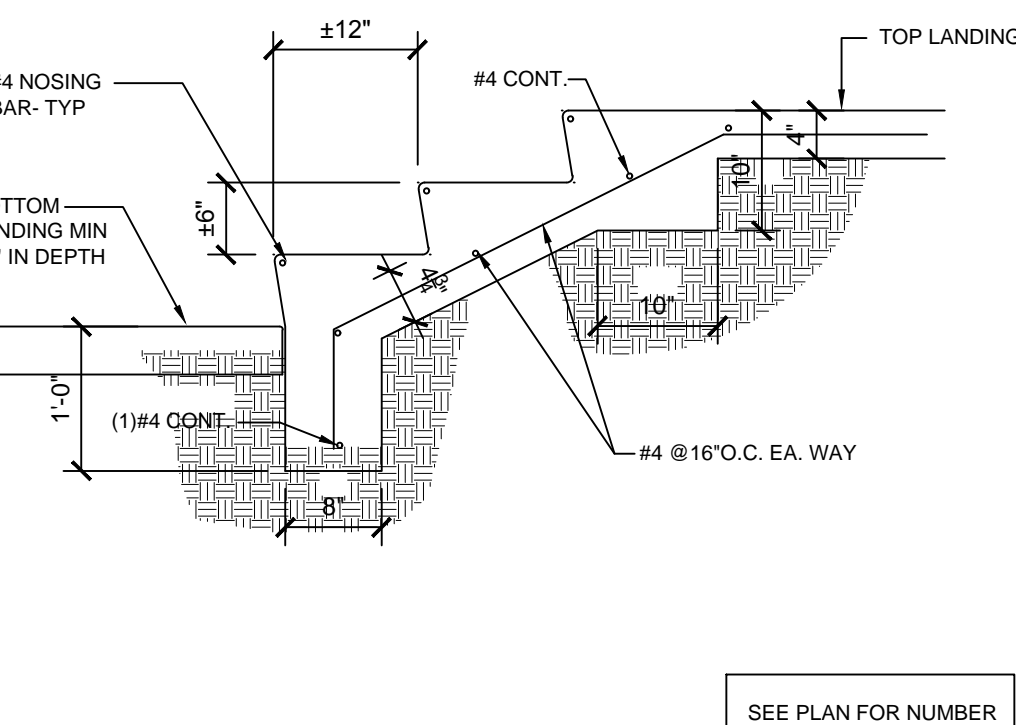
10 ROOF RIDGE
NOT TO SCALE



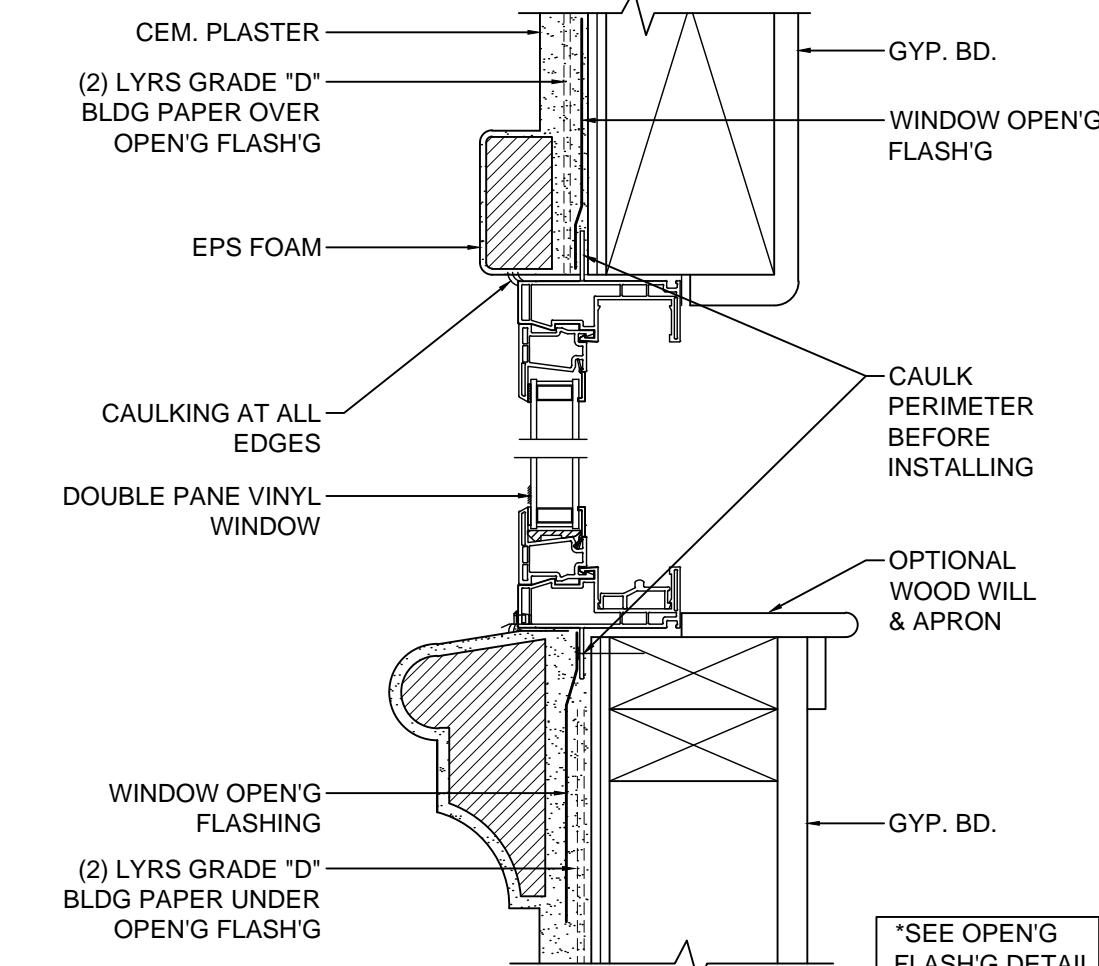
7 COLUMN DETAIL
1 1/2" = 1'-0"



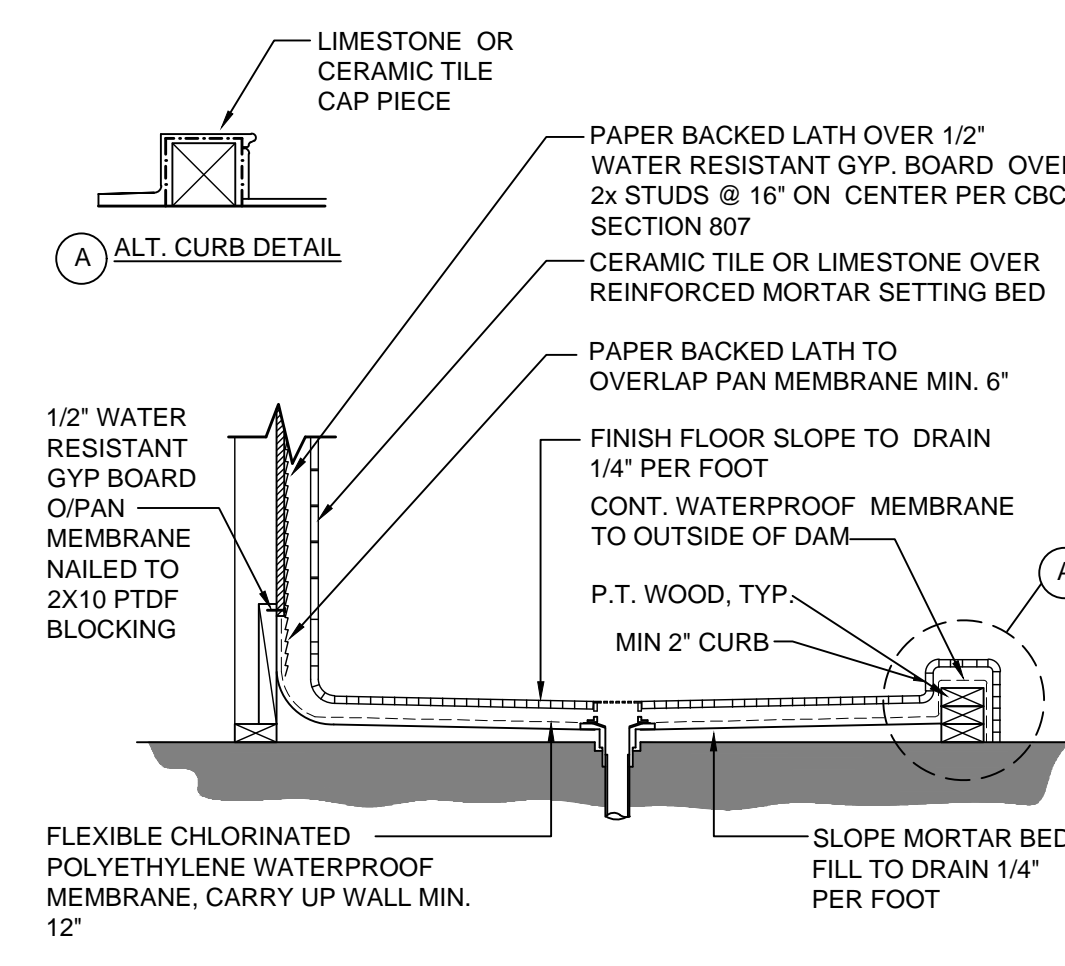
5 VALLEY FLASHING
1/4" = 1'-0" MC-03B
TILE ROOFING INSTITUTEWSRCA ICBO ER-6034P



9 CONCRETE STAIR
3/4" = 1'-0"



8 WINDOW DETAIL
3" = 1'-0"



3 SHOWER PAN
3/4" = 1'-0"

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DETAILS

SHEET NUMBER:

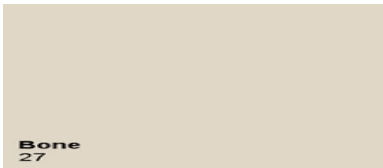
A8.1

COLOR AND MATERIAL SAMPLES FOR WILSON RESIDENCE

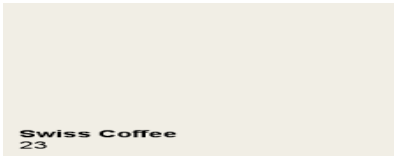
1070 Trappers Trail
PEBBLE BEACH, CA.
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ROOFING (EAGLE FLAT CONCRETE TILE)
BEL AIR 4697 SLATE RANGE



WALLS (KELLY MOORE 27 BONE LVR69)



TRIM & GUTTERS (KELLY MOORE 23 SWISS COFFEE LVR86)



WINDOWS (WHITE VINYL MILGARD)



EL DORADO STONE (LIMESTONE)