

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

MOORE (PLN170723)

RESOLUTION NO. 18 - 014

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval for a construction of a 3,173 two story single-family dwelling with a 1,890 square foot basement and garage.

1026 Rodeo Road, Greater Monterey Peninsula Area
Plan (APN: 007-323-002-000)

The Moore application (PLN170723) came on for a public hearing before the Monterey County Zoning Administrator on March 29, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.

- EVIDENCE:**
- a) The proposed project involves construction of a 3,173 square foot single-family dwelling with a 1,890 square foot basement and garage.
 - b) The property is located at 1026 Rodeo Road, Pebble Beach (Assessor's Parcel Number 007-323-002-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays (MDR/B-6-D-RES). Development of single-family dwellings are allowed use pursuant to Monterey County Code Section 21.12.030.A. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see Finding No. 2 below).
 - c) The project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula; and
 - Monterey County Zoning Ordinance (Title 21)

- d) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
- e) Review of Development Standards. The development standards for the MDR zoning district in the Del Monte Forest are identified in MCC Section 21.12.070. Special required setbacks in the MDR district for main dwelling units are 20 feet (front), 10 feet (rear), and 10 feet (sides). Corresponding maximum structure heights is 27 feet. The proposed heights for the single-family dwelling is 26 feet 5 inches. The allowed site coverage maximum in the LDR district is 35 percent on lots less than 20,000 square feet. The property is 8,000 square feet, which would allow site coverage of approximately 2,800 square feet. The proposed single-family dwelling unit would result in site coverage of approximately 2,352 square feet (building & covered entry) or 29.4 percent. The floor area is 39.6 percent, the standard allowance is 35 percent for MDR district. Although, the project exceeds the allowable coverage, the owner obtained a variance which runs with the land to exceed the floor area to 40 percent (PLN010144). The neighboring properties have been developed at floor area ratios ranging from 47 to 54 percent. Furthermore, the existing residence is located on a 8,000 square foot parcel; other parcels in the Country Club have an average size of 9,200 square feet. Therefore, as proposed, the project meets all required development standards.
- f) The project has been reviewed for site suitability by RMA-Planning. The project planner reviewed the application materials and plans, as well as the County's GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- g) The following technical report has been prepared:
 - *Soil Engineering Investigation (LIB180019) prepared by Landset Engineers, Inc., Salinas, California, October 2017.*
 - *Archaeological Consulting (LIB180040) prepared by Gary Breschini, Salinas, California, June 15, 2017.*County staff has independently reviewed this report and concurs with its conclusions.
- h) Necessary public facilities are available. The sewer for the site will be served by Pebble Beach Community Services District and water will be served by Cal-Am.
- i) Design. See Finding No. 2.
- j) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- k) The project planner conducted a site inspection on February 6, 2018 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC.
- l) The project was referred to the Del Monte Forest Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure

guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project is a Design Approval subject to review by the Zoning Administrator. The LUAC, at a duly-noticed public meeting on January 9, 2018 voted 5 – 0 to support the project as proposed with 2 absent.

- m) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN170723.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The Applicant proposes a single-family dwelling and an attached garage on an existing residential lot.
 - b) Pursuant to Chapter 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - c) Material and Color Finishes. The Applicant proposes exterior colors and materials that are consistent with the residential setting. The primary colors and materials include dark brown non-reflective metal roofing, oyster color cement plaster, limestone and wood exterior accents, and white vinyl windows and doors. The proposed exterior finishes would blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood.
 - e) The project planner conducted a site inspection on February 6, 2018, to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character.
 - f) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes). As proposed, the project is consistent with neighborhood character, and assures visual integrity.
 - g) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN170723

3. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small facilities or structures, including habitable and non-habitable structures accessory to a single-family dwelling or residential use.
 - b) The subject project consists of the construction of a single-family dwellings with an attached garage. Therefore, the proposed

development is consistent with the exemption parameters of CEQA Guidelines Section 15303(a).

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- d) No adverse environmental effects were identified during staff review of the development application.

4. **FINDING:**

APPEALABILITY - The decision on this project may be appealed to the Monterey County Planning Commission.

EVIDENCE:

Pursuant to Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approving a Design Approval to allow construction of a 3,173 two story single-family dwelling with a 1,890 square foot basement and garage. In general conformance with the attached plans, which are incorporated herein by reference.

PASSED AND ADOPTED this 29th day of March, 2018.



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON MAR 30 2018.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE APR 09 2018.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.







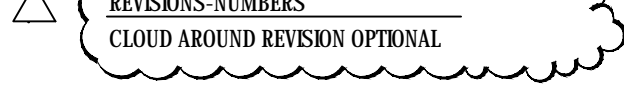
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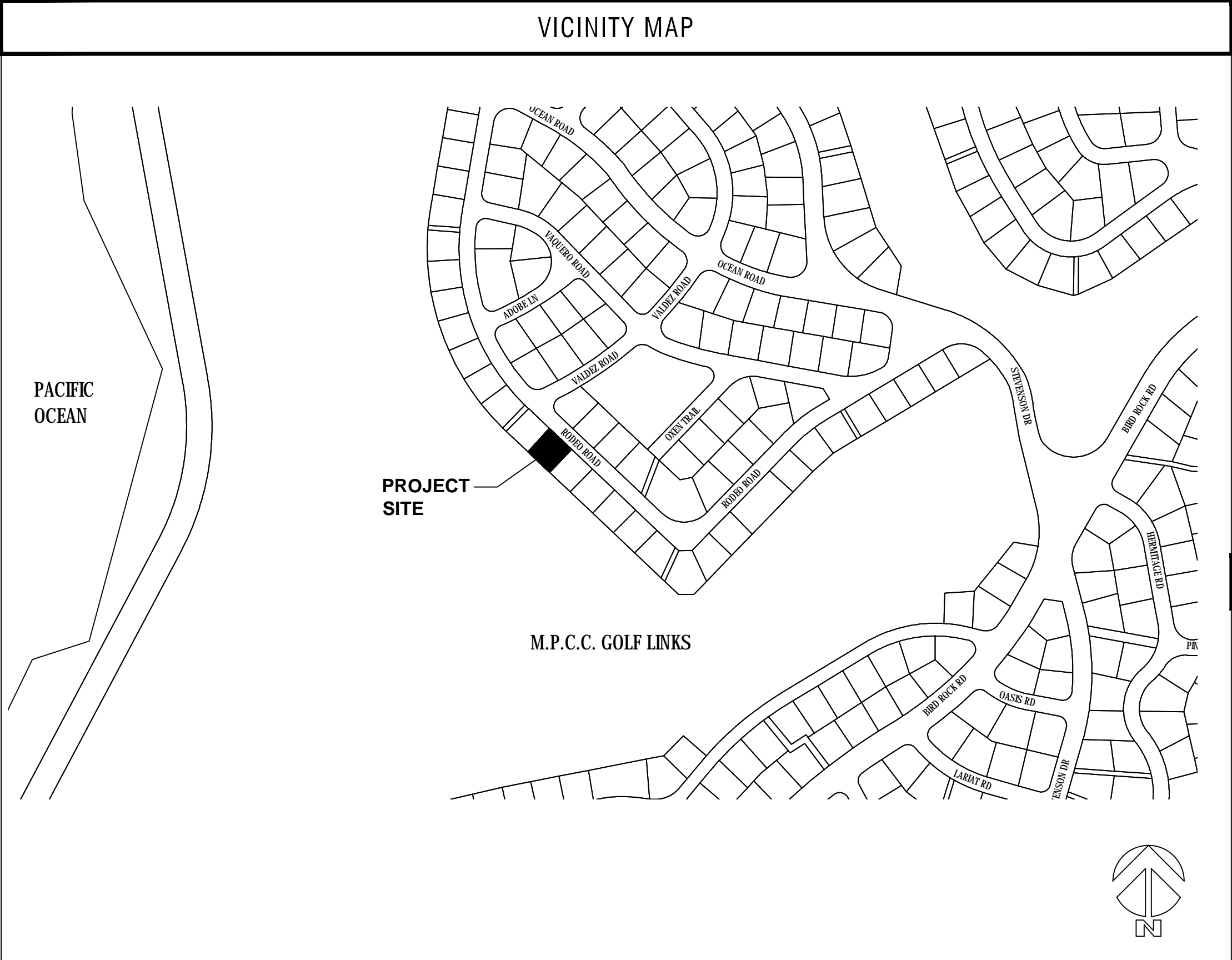
1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

GENERAL CONDITIONS	
1.	Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
2.	Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
3.	Contractor shall be responsible to obtain and all necessary permits inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.
4.	Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.
5.	Materials that are specified by their brand names establish standards of quality and performance. any request for substitution shall be submitted to Moore Design LLC and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
6.	All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code/ California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
7.	All dimensions on constructions drawings are face of stud (f.o.s.), face of cmu, unless otherwise noted to be the center line of mullion, partition, or column, etc.
8.	All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.
9.	All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
10.	All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in accordance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.
11.	The use of the word "provide" in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
12.	The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
13.	The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
14.	The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
15.	The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
16.	All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
17.	Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
18.	All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
19.	Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
20.	Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mgmt. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.

ABBREVIATIONS AND SYMBOLS	
APPROX. BLK CLO. CONC. CONT. DS DW (D) F.O.C. F.O.S. GALV. GYP. G.W.B. FLOOR HDWD N.I.C. N.T.S.	APPROXIMATE BLOCK CLOSET CONCRETE CONTINUOUS DOWNSPOUT DISHWASHER EXISTING FACE OF CONCRETE FACE OF STUD GALVANIZED GYPSUM GYPSUM WALLBOARD FLOOR HARDWOOD NOT IN CONTRACT NOT TO SCALE
O.C. O.D. PLYWD REF R.O. SHWR SM SL T&G T.O.P. TYP. U.O.N. NOTED WP W/ W.I.C.	ON CENTER OUTSIDE DIAMETER PLYWOOD REFRIGERATOR ROUGH OPENING SHOWER SIMILAR SKYLIGHT TONGUE AND GROOVE TOP OF PLATE TYPICAL UNLESS OTHERWISE NOTED WATERPROOF WITH WITHOUT WALK IN CLOSET
   	WALL LINE NUMBERS VERTICAL LETTERS HORIZONTAL DOORS SYMBOL NUMBERS WINDOW TYPE NUMBERS DETAIL NUMBER SHEET WHERE DETAIL IS LOCATED SHEET NOTE
  	SECTION SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN ELEVATION ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN REVISIONS NUMBERS CLOUD AROUND REVISION OPTIONAL +8'-0" CEILING HEIGHT




SHEET INDEX		PROJECT DIRECTORY		PROJECT INFORMATION																																																																																																			
<table><tr><td>ARCHITECTURAL</td><td></td></tr><tr><td>A0.1</td><td>COVER SHEET</td></tr><tr><td>A1.1</td><td>SITE PLAN</td></tr><tr><td>A2.0</td><td>BASEMENT PLAN</td></tr><tr><td>A2.1</td><td>MAIN FLOOR PLAN</td></tr><tr><td>A2.2</td><td>UPPER FLOOR PLAN</td></tr><tr><td>A2.3</td><td>ROOF PLAN</td></tr><tr><td>A4.1</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A4.2</td><td>EXTERIOR ELEVATIONS</td></tr></table>		ARCHITECTURAL		A0.1	COVER SHEET	A1.1	SITE PLAN	A2.0	BASEMENT PLAN	A2.1	MAIN FLOOR PLAN	A2.2	UPPER FLOOR PLAN	A2.3	ROOF PLAN	A4.1	EXTERIOR ELEVATIONS	A4.2	EXTERIOR ELEVATIONS	<table><tr><td>OWNER:</td><td>STEVE & CRISTINA MOORE 1026 RODEO ROAD PEBBLE BEACH, CA 93953 831-333-9000</td></tr><tr><td>DESIGNER:</td><td>MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA 93940 OFFICE (831) 642-9732 CELL (831) 239-6868 EMAIL: john@mooredesign.org</td></tr><tr><td>GENERAL CONTRACTOR:</td><td>RENARD CONSTRUCTION CONTACT: RICK RENARD 22082 TORO VIEWS SALINAS, CA 93908 TEL (831) 809-7080 LIC. # 437693</td></tr><tr><td>INTERIOR DESIGNER:</td><td>CHRIS REED INTERIOR DESIGN CONTACT: CHRIS REED 726 10TH STREET MODESTO, CA 95354 TEL (209) 526-5835 EMAIL: reeddesign@aol.com</td></tr><tr><td>GEOTECHNICAL ENGINEER:</td><td>LANDSET ENGINEERS, INC. CONTACT: BRIAN PAPURELLO 320 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: bpapurello@landseteng.com</td></tr><tr><td>STRUCTURAL ENGINEER:</td><td>T.B.D.</td></tr><tr><td>CIVIL ENGINEER / SURVEYOR:</td><td>LANDSET ENGINEERS, INC. CONTACT: GUY GRUADO 520 CRAZY HORSE RD. 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Code Local Amendments</td></tr><tr><td>ZONE:</td><td>MDR/B-6-D-RES</td></tr><tr><td>YEAR CONSTRUCTED:</td><td>1955</td></tr><tr><td>MAX BLDG. HT:</td><td>26'-5" (27' ALLOWED)</td></tr><tr><td>CONSTR. TYPE:</td><td>TYPE V-B</td></tr><tr><td>OCCUPANCY:</td><td>R-3 (RESIDENTIAL), U</td></tr><tr><td>FIRE SPRINKLERS</td><td>REQUIRED NFPA-13D (ENTIRE HOUSE IS BEING DEMOLISHED)</td></tr><tr><td>WATER SYSTEM:</td><td>CAL-AM</td></tr><tr><td>SEWER SYSTEM:</td><td>PBCSD</td></tr><tr><td>TREE REMOVAL:</td><td>NONE</td></tr><tr><td>TOPOGRAPHY:</td><td>GENTLY SLOPING TO THE REAR</td></tr><tr><td>GRADING:</td><td>ESTIMATE 1100 CU YDS CUT / 100 CU YDS FILL</td></tr><tr><td>LOT SIZE:</td><td>.183 ACRES / 8,000 SF</td></tr><tr><td>LOT COVERAGE CALCS:</td><td></td></tr><tr><td>ALLOWED</td><td>35% = 2800 SF</td></tr><tr><td>EXISTING RESIDENCE</td><td>3353 SF (TO BE REMOVED)</td></tr><tr><td>PROPOSED BUILDING FOOTPRINT</td><td>2227 SF</td></tr><tr><td>REAR TERRACE</td><td>577 SF UNDER 24'</td></tr><tr><td>COVERED ENTRY</td><td>125 SF</td></tr><tr><td>NEW TOTAL</td><td>2352 SF (29.4%)</td></tr><tr><td>FLOOR AREA CALCS:</td><td></td></tr><tr><td>ALLOWED</td><td>35% (40%*)= 3200 SF (*PREVIOUS VARIANCE PLN010144)</td></tr><tr><td>EXISTING</td><td>3193 SF</td></tr><tr><td>PROPOSED MAIN FLOOR</td><td>2227 SF</td></tr><tr><td>PROPOSED UPPER FLOOR</td><td>946 SF</td></tr><tr><td>TOTAL</td><td>3173 SF (39.6%)</td></tr><tr><td>BASEMENT GARAGE/MECH/STOR</td><td>1890 SF</td></tr></table>		PROJECT ADDRESS:	1026 RODEO ROAD PEBBLE BEACH, CA 93953	A.P.N.	007-323-002	PROJECT SCOPE:	DEMOLISH EXISTING 2-STORY RESIDENCE, NEW 2-STORY SINGLE FAMILY DWELLING WITH BASEMENT, BACK-UP GENERATOR AND PHOTOVOLTAIC SYSTEM ON UPPER FLOOR ROOF.	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OWNER:	STEVE & CRISTINA MOORE 1026 RODEO ROAD PEBBLE BEACH, CA 93953 831-333-9000																																																																																																						
DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 225 CANNERY ROW, SUITE 1 MONTEREY, CA 93940 OFFICE (831) 642-9732 CELL (831) 239-6868 EMAIL: john@mooredesign.org																																																																																																						
GENERAL CONTRACTOR:	RENARD CONSTRUCTION CONTACT: RICK RENARD 22082 TORO VIEWS SALINAS, CA 93908 TEL (831) 809-7080 LIC. # 437693																																																																																																						
INTERIOR DESIGNER:	CHRIS REED INTERIOR DESIGN CONTACT: CHRIS REED 726 10TH STREET MODESTO, CA 95354 TEL (209) 526-5835 EMAIL: reeddesign@aol.com																																																																																																						
GEOTECHNICAL ENGINEER:	LANDSET ENGINEERS, INC. CONTACT: BRIAN PAPURELLO 320 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: bpapurello@landseteng.com																																																																																																						
STRUCTURAL ENGINEER:	T.B.D.																																																																																																						
CIVIL ENGINEER / SURVEYOR:	LANDSET ENGINEERS, INC. CONTACT: GUY GRUADO 520 CRAZY HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: ggruado@landseteng.com																																																																																																						
TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA 93950 TEL (831) 372-8328 FAX (831) 372-4613 EMAIL: cad@megt.com																																																																																																						
PROJECT ADDRESS:	1026 RODEO ROAD PEBBLE BEACH, CA 93953																																																																																																						
A.P.N.	007-323-002																																																																																																						
PROJECT SCOPE:	DEMOLISH EXISTING 2-STORY RESIDENCE, NEW 2-STORY SINGLE FAMILY DWELLING WITH BASEMENT, BACK-UP GENERATOR AND PHOTOVOLTAIC SYSTEM ON UPPER FLOOR ROOF.																																																																																																						
PROJECT VALUATION:	\$925,000																																																																																																						
RELATED PERMIT	PREVIOUS VARIANCE FOR SUB-STANDARD LOT (PLN010144)																																																																																																						
PROJECT CODE COMPLIANCE:	2018 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code Local Amendments																																																																																																						
ZONE:	MDR/B-6-D-RES																																																																																																						
YEAR CONSTRUCTED:	1955																																																																																																						
MAX BLDG. HT:	26'-5" (27' ALLOWED)																																																																																																						
CONSTR. TYPE:	TYPE V-B																																																																																																						
OCCUPANCY:	R-3 (RESIDENTIAL), U																																																																																																						
FIRE SPRINKLERS	REQUIRED NFPA-13D (ENTIRE HOUSE IS BEING DEMOLISHED)																																																																																																						
WATER SYSTEM:	CAL-AM																																																																																																						
SEWER SYSTEM:	PBCSD																																																																																																						
TREE REMOVAL:	NONE																																																																																																						
TOPOGRAPHY:	GENTLY SLOPING TO THE REAR																																																																																																						
GRADING:	ESTIMATE 1100 CU YDS CUT / 100 CU YDS FILL																																																																																																						
LOT SIZE:	.183 ACRES / 8,000 SF																																																																																																						
LOT COVERAGE CALCS:																																																																																																							
ALLOWED	35% = 2800 SF																																																																																																						
EXISTING RESIDENCE	3353 SF (TO BE REMOVED)																																																																																																						
PROPOSED BUILDING FOOTPRINT	2227 SF																																																																																																						
REAR TERRACE	577 SF UNDER 24'																																																																																																						
COVERED ENTRY	125 SF																																																																																																						
NEW TOTAL	2352 SF (29.4%)																																																																																																						
FLOOR AREA CALCS:																																																																																																							
ALLOWED	35% (40%*)= 3200 SF (*PREVIOUS VARIANCE PLN010144)																																																																																																						
EXISTING	3193 SF																																																																																																						
PROPOSED MAIN FLOOR	2227 SF																																																																																																						
PROPOSED UPPER FLOOR	946 SF																																																																																																						
TOTAL	3173 SF (39.6%)																																																																																																						
BASEMENT GARAGE/MECH/STOR	1890 SF																																																																																																						
CAL GREEN NOTES		CONTRACTOR NOTES		DEFERRED APPROVALS / SPECIAL INSPECTIONS																																																																																																			
<div><div></div><div><div><div>1.</div><div>Irrigation Controllers- Automatic irrigation controllers installed at the time of final inspection shall be weathered-based. CGBC 4.504.1</div><div>2.</div><div>Rodent Proofing- Protect annular spaces around pipes, electrical cables, conduits or other openings at exterior walls against passage of rodents. CGBC 4.406.1</div><div>3.</div><div>Construction Waste Management- Recycle and/or salvage for reuse a minimum of 50% of the nonhazardous construction and demolition waste in accordance with the CGBC Sec. 4.408.1</div><div>4.</div><div>Covering of Mechanical Equipment & Ducts- Cover duct openings and other air related air distribution component openings during storage, construction and until final start up with tape, plastic, or other acceptable method. CGBC 4.504.1</div><div>5.</div><div>Adhesives, sealants and caulks- Adhesives, sealants and caulks used on the project shall be compliant with VOC and other toxic compound limits. CGBC 4.504.2.1</div><div>6.</div><div>Paint and Coatings- Paint, stains and other coatings used on the project shall be compliant with VOC limits. CGBC 4.504.2.2</div><div>7.</div><div>Aerosol paints and coatings- Aerosol paints and coatings used on the project shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Documentation shall be provided to verify compliant VOC limit finish materials have been used. CGBC 4.504.2.3. Verification of compliance shall be provided.</div><div>8.</div><div>Carpet Systems- All carpet and carpet systems installed shall be compliant with VOC limits. CGBC 4.504.3</div><div>9.</div><div>Resilient Floor Systems- 80% of the floor area receiving resilient floorings shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. CGBC 4.504.4</div><div>10.</div><div>Composite Wood Products- Particleboard, Medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. CGBC 4.504.5</div><div>11.</div><div>Foundation: Capillary Break- A 4" thick of 1/2" or larger clean aggregate shall be installed with a vapor retarder in direct contact with concrete. CGBC 4.505.2.1</div><div>12.</div><div>Moisture Content of Building Materials- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. CGBC 4.505.3</div><div>13.</div><div>Bathroom Exhaust Fans- Each bathroom shall be mechanically ventilated with an Energy Star exhaust fan and the fan must be controlled by a humidstat capable of adjustment between a relative humidity range of < 50% to a maximum of 80%. CGBC 4.506.1</div><div>14.</div><div>Heating and Air-Conditioning System Design- HVAC systems shall be sized, designed and their equipment sized per CGBC 4.507.2. HVAC system installer must be trained and certified and special inspectors employed by the enforcing agency must be qualified.</div></div></div></div>		<div><div></div><div><div><div>1.</div><div>Glu-lam certificates shall be copied to the building department.</div><div>2.</div><div>At time of final inspection provide installation, operation and maintenance guides/manuals for all equipment and appliances including masonry veneer anchors, fireplace insert, and chimney flue acceptable to the enforcing agency shall be provided to the owner.</div><div>3.</div><div>All construction shall be in accordance with soils investigations by Landset Engineers, project # 1693-02, dated October 2017.</div><div>4.</div><div>Contractor to provide two copies completed & signed of the CP2R-LTG-01-E form (where applicable) to the owner & field inspector prior to receiving the final.</div></div></div></div>		<div><div></div><div><div><div>1.</div><div><u>GAS LINE</u> - Contractor to submit gas line sizing for county & utility approval before inspection.</div><div>2.</div><div><u>FIRE SPRINKLERS</u> - Plans for fire sprinkler system (NFP13-D system) must be submitted & approved by local fire jurisdiction prior to installation.</div><div>3.</div><div>Contractor shall schedule the geotechnical engineer to inspect and approve foundation excavations prior to requesting a building foundation inspection.</div><div>4.</div><div>Shear wall nailing 4" oc- See structural drawings for locations</div></div></div></div>																																																																																																			

PROJECT NAME:

MOORE
RESIDENCE

1026 RODEO ROAD
PEBBLE BEACH, CA
93953

APN: 007-323-002


MOORE DESIGN
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION
225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PB SUBMITTAL	11-28-17
COUNTY PLN SUBMIT	12/12/2017

PRINT DATE: 12/12/2017

MEMBER
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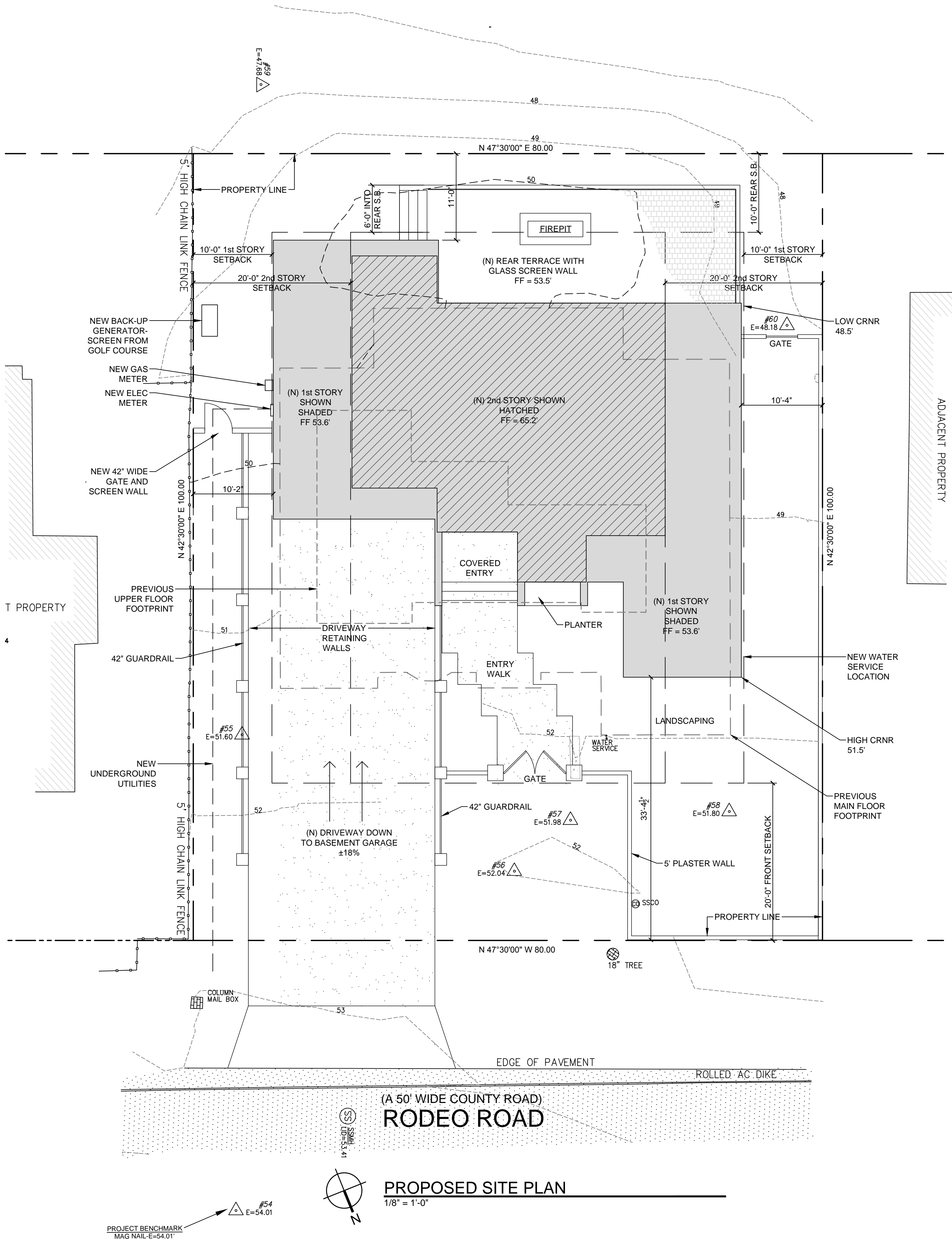
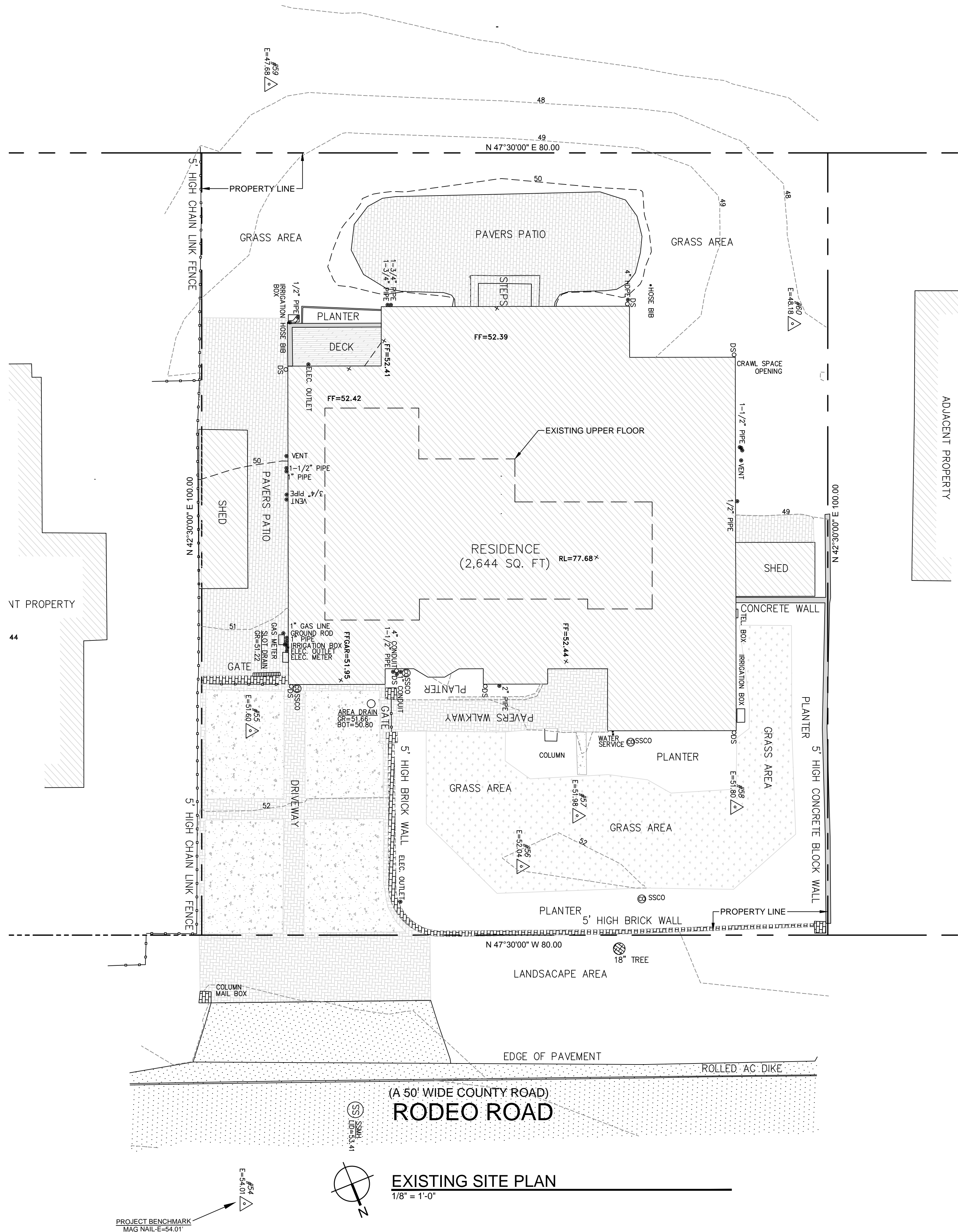
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

COVER SHEET /
PROJECT INFO

SHEET NUMBER:

A0.1

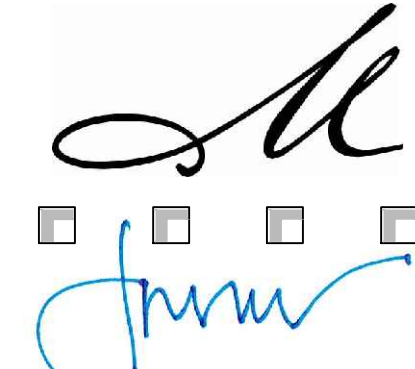


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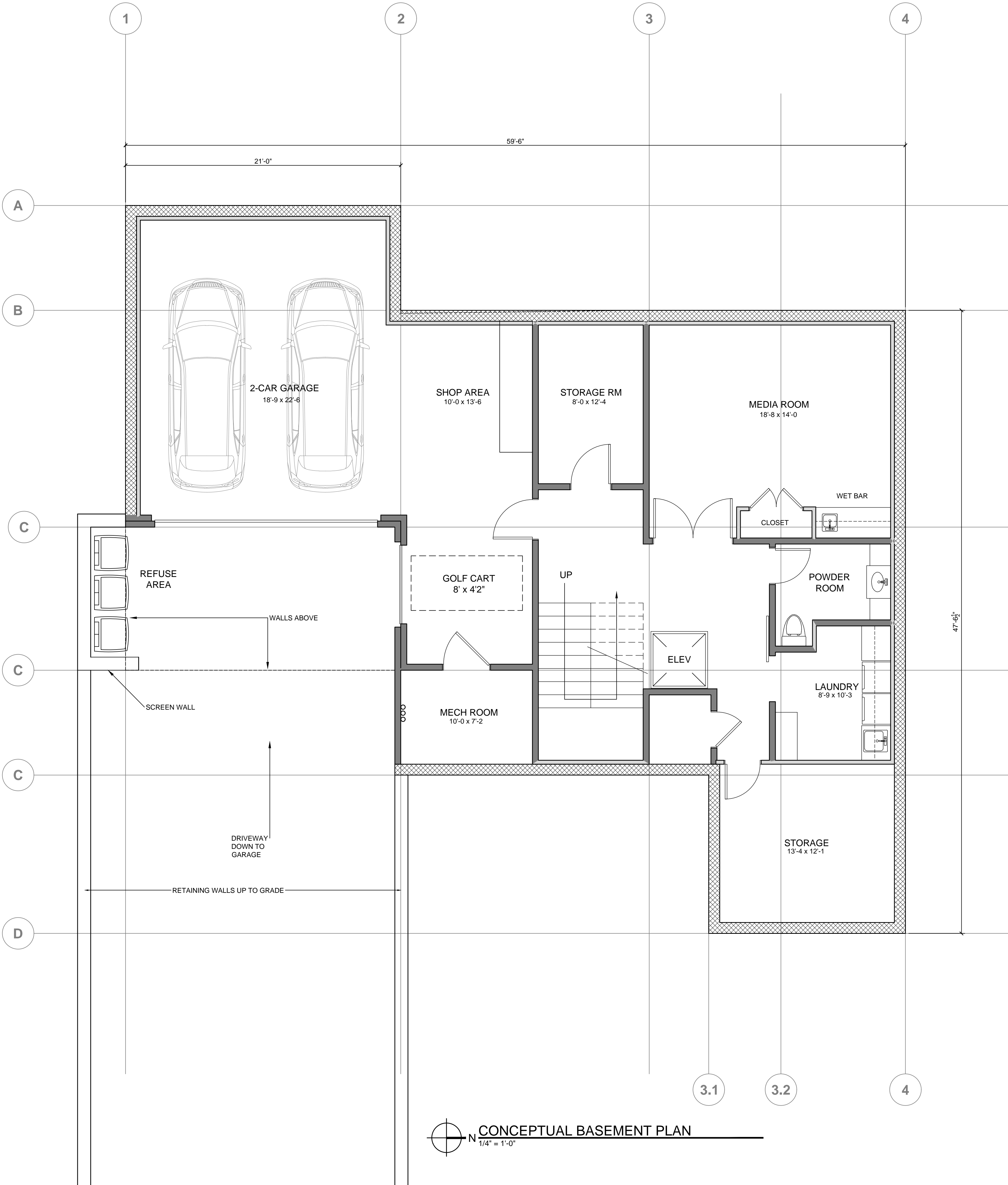
SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A1.1

WALL LEGEND

- NEW 2x4 WALLS
- NEW 2x6 WALLS
- NEW 10" CONCRETE WALLS

- EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURTAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

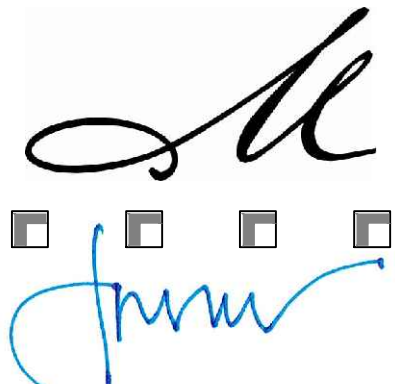


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SHEET TITLE:

BASEMENT
PLAN

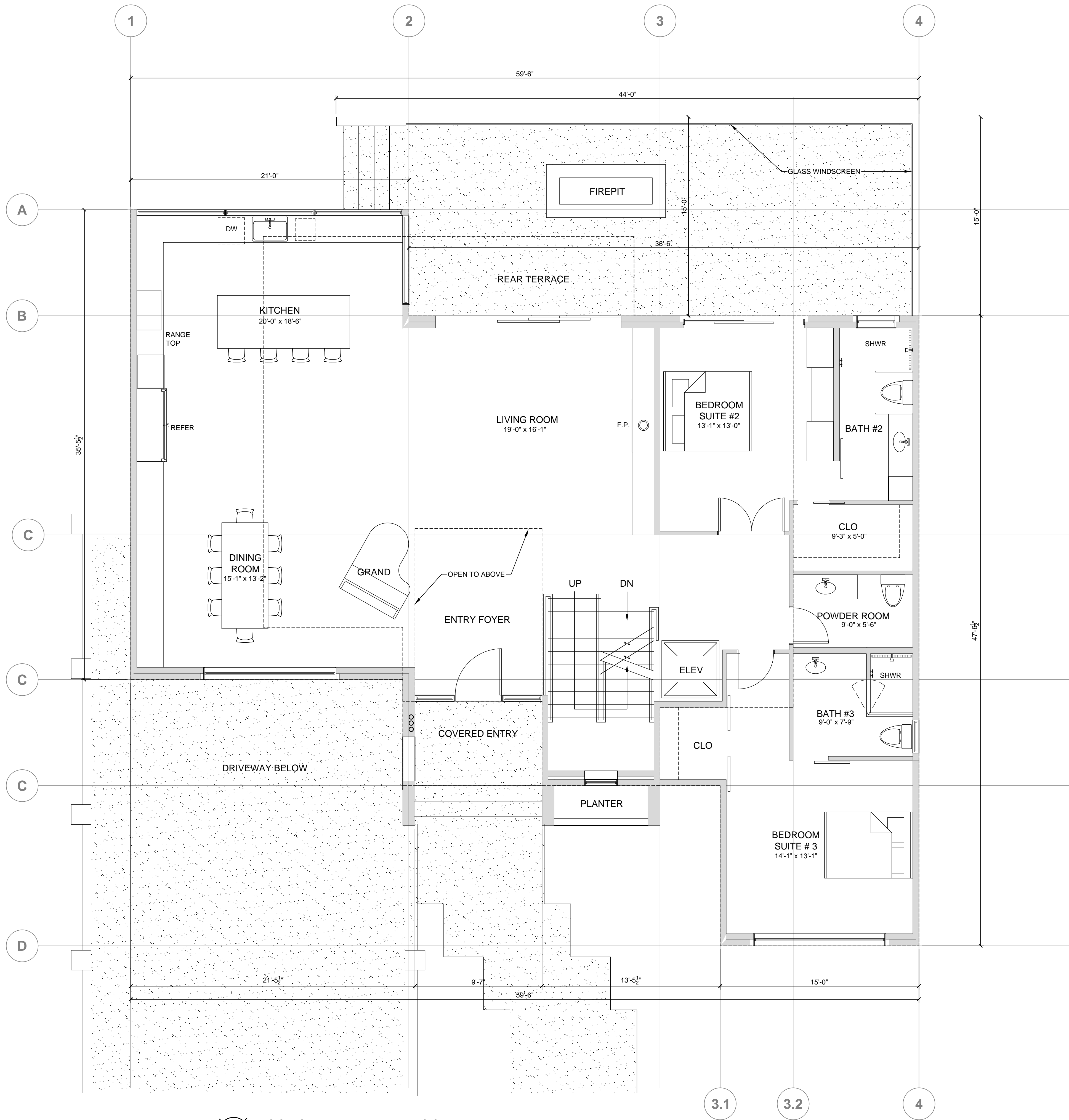
SHEET NUMBER:

A2.0

WALL LEGEND

- NEW 2x4 WALLS
NEW 2x6 WALLS
NEW 10" CONCRETE WALLS

- EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.



CONCEPTUAL MAIN FLOOR PLAN

1/4" = 1'-0"

PROJECT NAME:

MOORE
RESIDENCE

1026 RODEO ROAD
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APN: 007-323-002

John Moore
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SHEET TITLE:

FLOOR PLAN

SHEET NUMBER:

A2.1

WALL LEGEND

- NEW 2x4 WALLS
- NEW 2x6 WALLS
- NEW 10" CONCRETE WALLS

- EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
- INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
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- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.



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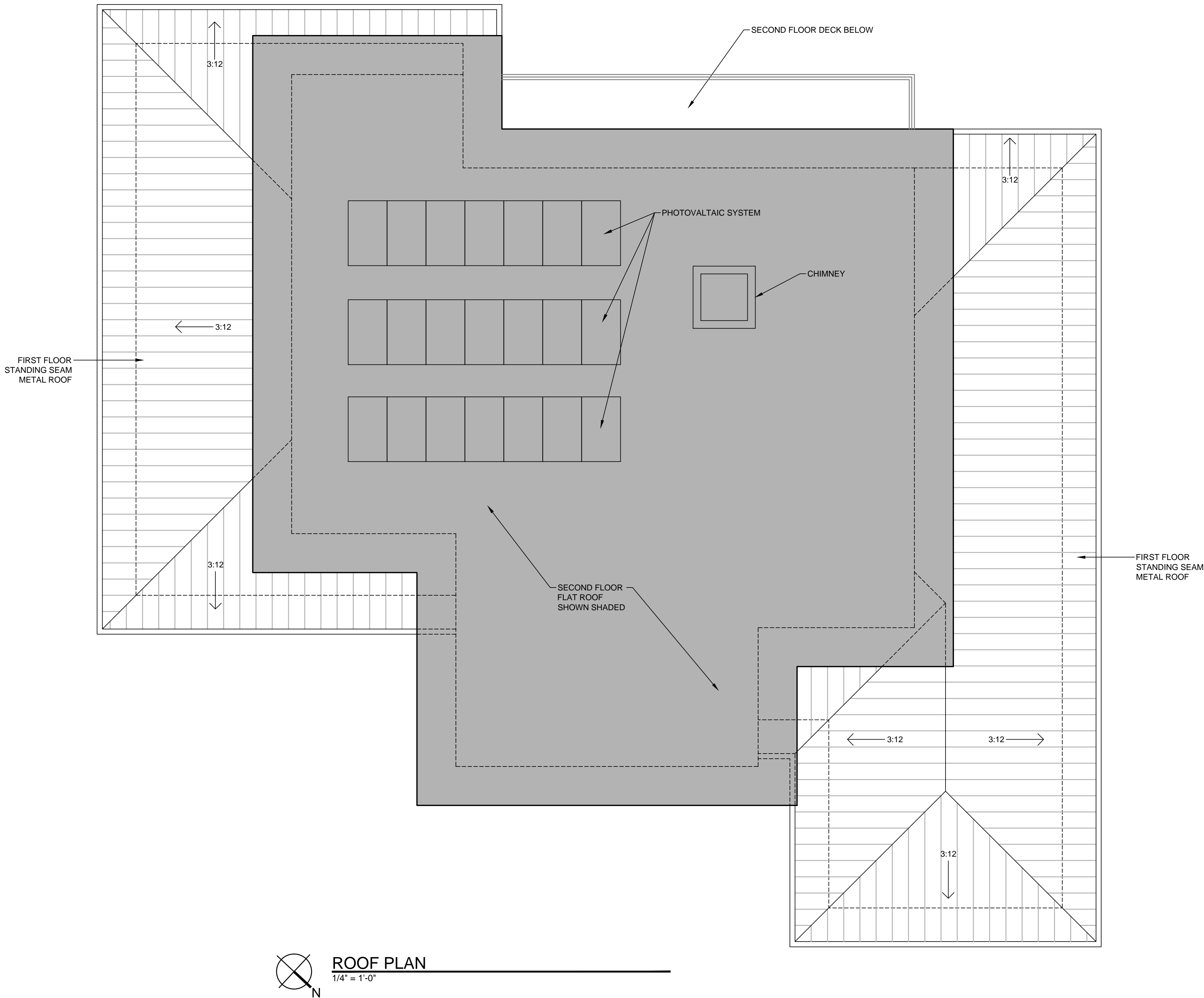
UPPER FLOOR
PLAN

SHEET NUMBER:

A2.2

GENERAL ROOF & CHIMNEY NOTES

1. Roof Material = Standing seam metal roof on main floor, single ply PVC membrane on upper floor
2. Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3. Roof Slope = 3:12 on main floor, flat on upper floor unless otherwise noted
4. Overhang = 2'-4" unless otherwise noted
5. Concealed copper gutters
6. Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location
7. SPARK ARRESTER: Net free area of spark arrester shall not be less than four times the net free outlet of the chimney flue it serves. arrester screen shall have heat and corrosion resistance equal to 12 gage wire, 19 gage galvanized steel or 24 gage stainless steel (CRC R1003.9.1).
7. CHIMNEY TERMINATION: Chimneys shall extend at least 2' higher than any portion of a building within 10' horizontally, but shall not be less than 3' above the highest point where the chimney passes through the roof (CRC R1003.9).
8. Metal chimneys shall be anchored at each floor and at the roof with (2) 1-1/2"x1-1/2" metal straps looped around the chimney and nailed with not less than (6) 8d nails per strap at each joist or rafter per UBC 3102.6 to prevent lateral displacement.



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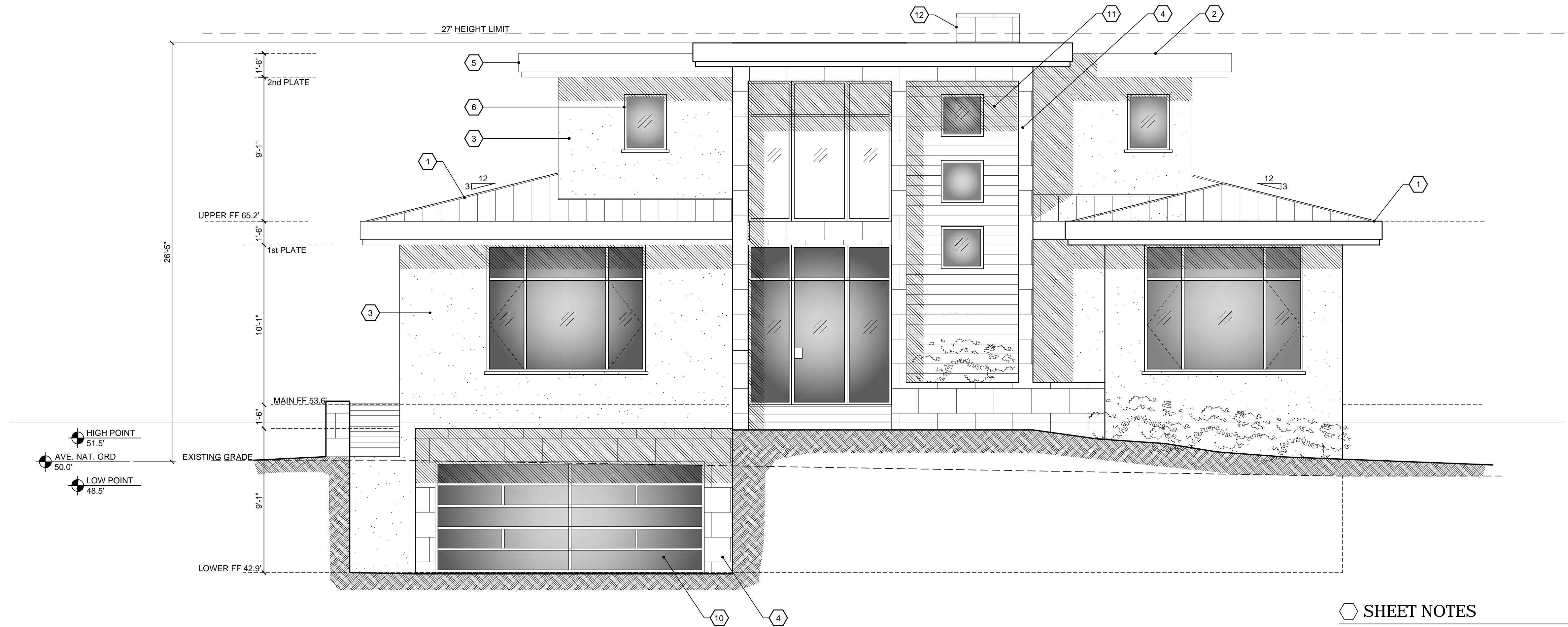
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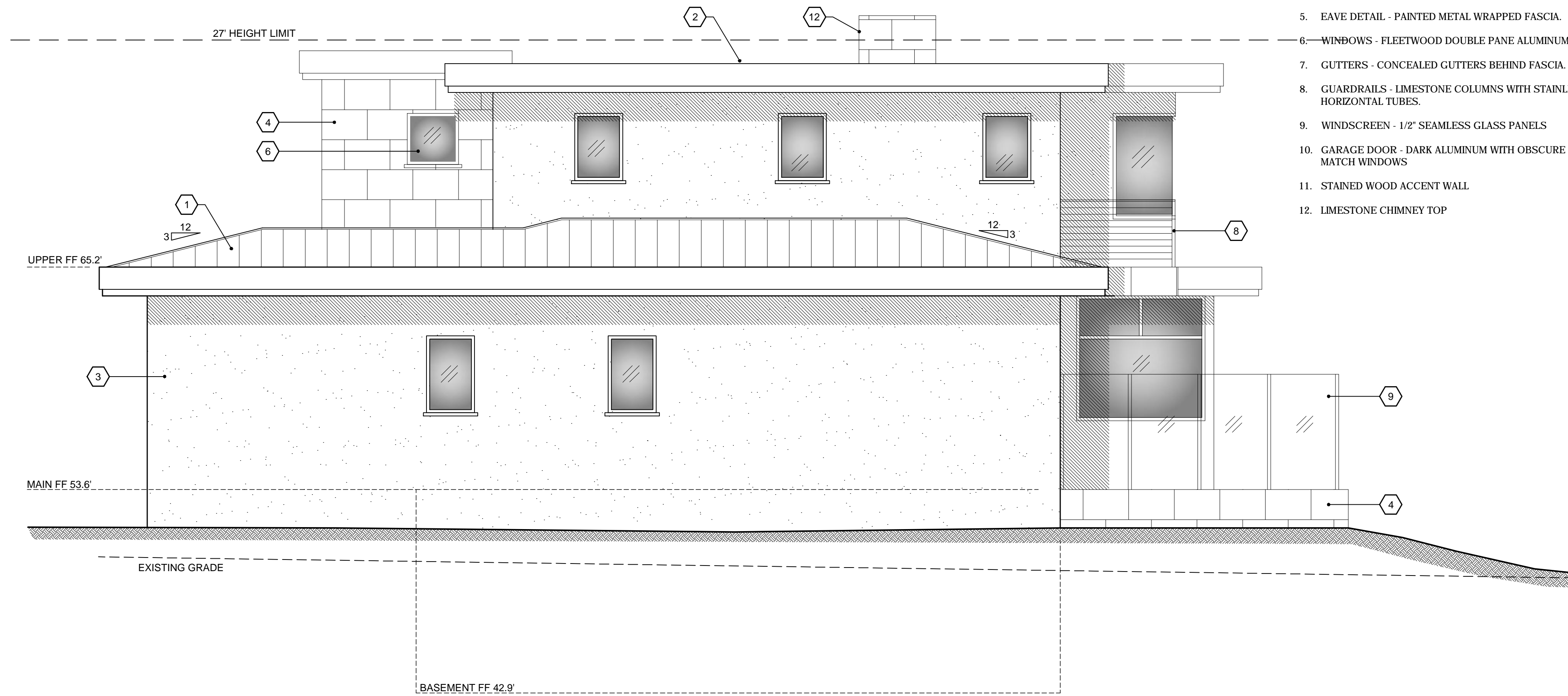
ROOF PLAN

SHEET NUMBER:

A2.3



2 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

SHEET NOTES

1. ROOF - MAIN FLOOR - STANDING SEAM METAL ROOF.
2. ROOF - UPPER FLOOR - FLAT MEMBRANE ROOFING
3. WALLS - PAINTED CEMENT PLASTER.
4. WALLS - SMOOTH CUT LIMESTONE.
5. EAVE DETAIL - PAINTED METAL WRAPPED FASCIA.
6. WINDOWS - FLEETWOOD DOUBLE PANE ALUMINUM WINDOWS.
7. GUTTERS - CONCEALED GUTTERS BEHIND FASCIA.
8. GUARDRAILS - LIMESTONE COLUMNS WITH STAINLESS STEEL HORIZONTAL TUBES.
9. WINDSCREEN - 1/2" SEAMLESS GLASS PANELS
10. GARAGE DOOR - DARK ALUMINUM WITH OBSCURE GLASS TO MATCH WINDOWS
11. STAINED WOOD ACCENT WALL
12. LIMESTONE CHIMNEY TOP

PROJECT NAME:

MOORE RESIDENCE

1026 RODEO ROAD
PEBBLE BEACH, CA
93953

APN: 007-323-002


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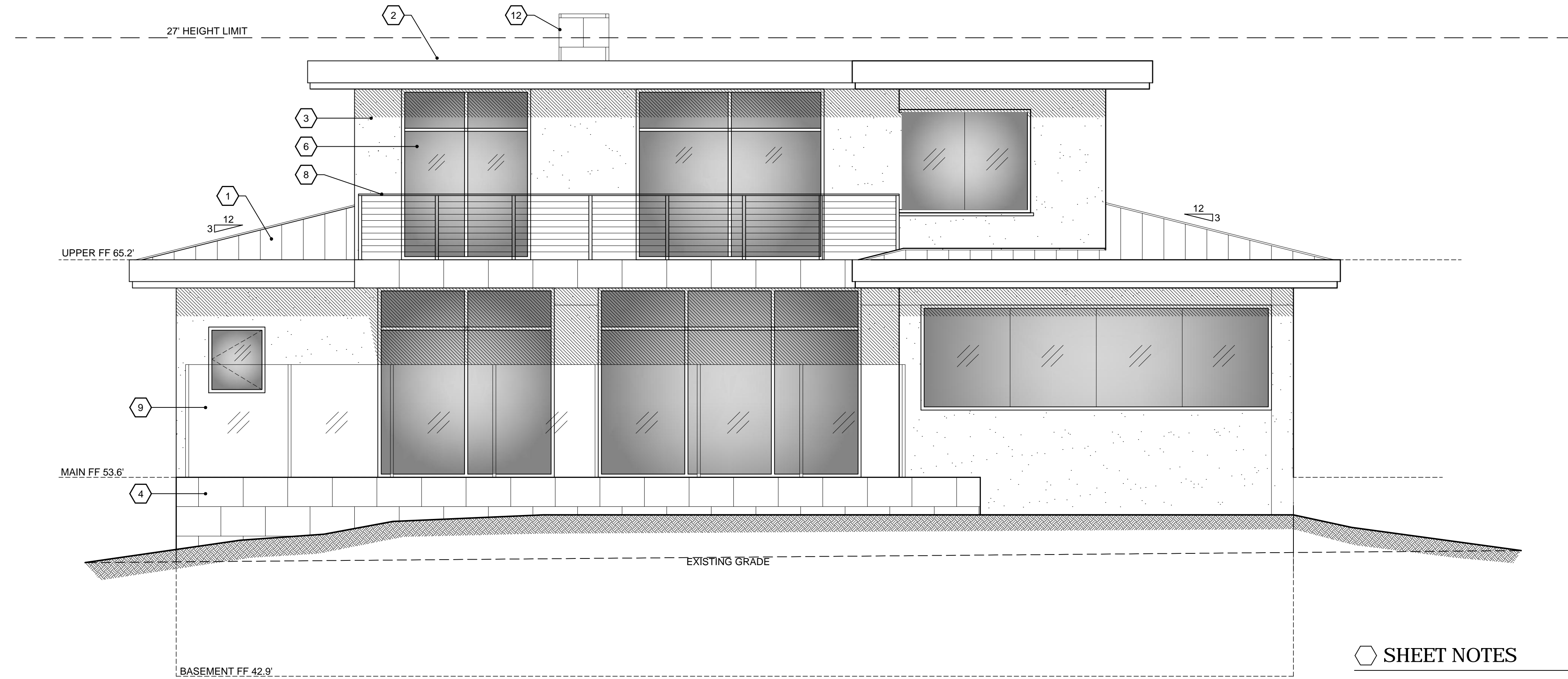
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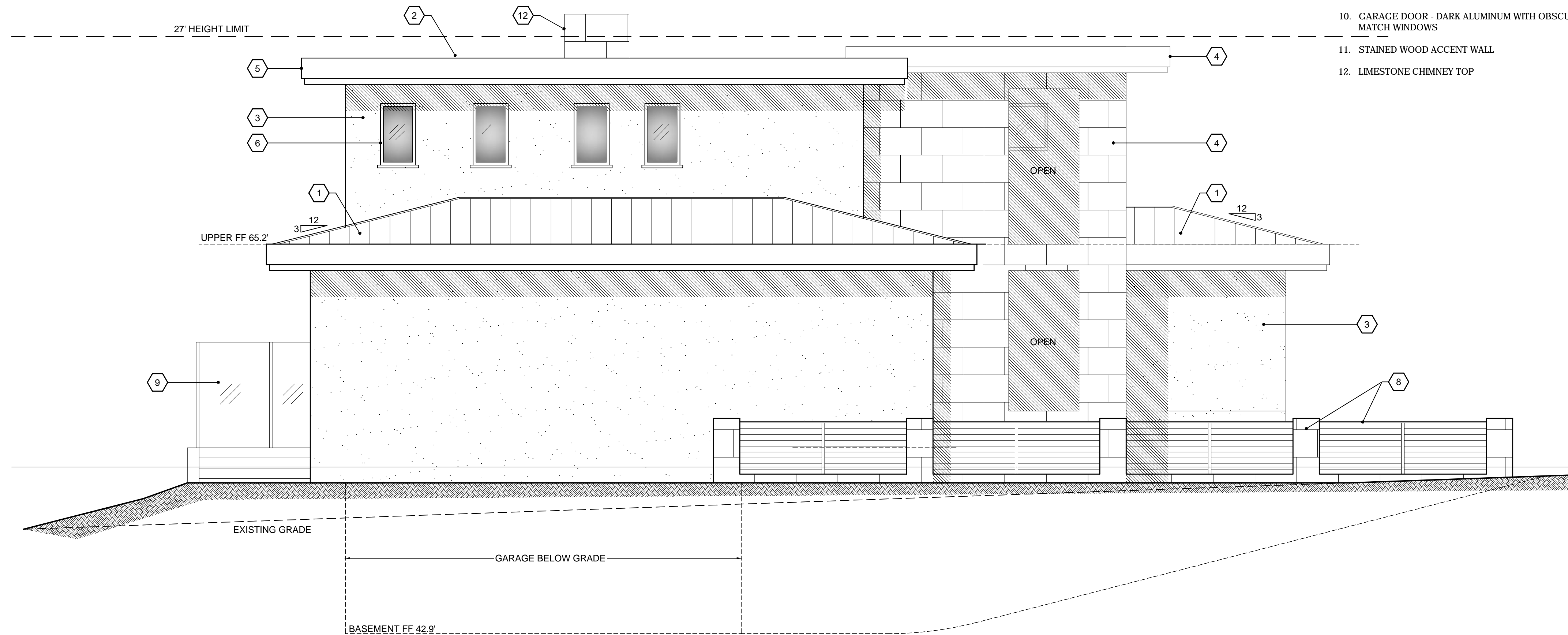
ELEVATIONS

SHEET NUMBER:

A4.1



2 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

SHEET NOTES

1. ROOF - MAIN FLOOR - STANDING SEAM METAL ROOF.
2. ROOF - UPPER FLOOR - FLAT MEMBRANE ROOFING
3. WALLS - PAINTED CEMENT PLASTER.
4. WALLS - SMOOTH CUT LIMESTONE.
5. EAVE DETAIL - PAINTED METAL WRAPPED FASCIA.
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DRAWING RECORD

DESCRIPTION	ISSUED
PB SUBMITTAL	11-28-17
COUNTY PLN SUBMIT	12/12/2017

PRINT DATE: 12/12/2017

MEMBER

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AMERICAN INSTITUTE of
BUILDING DESIGN

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SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

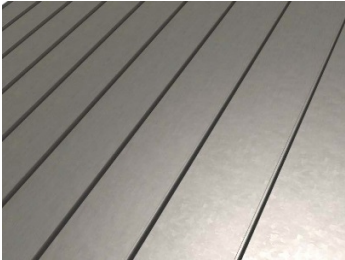
A4.2

Moore Residence

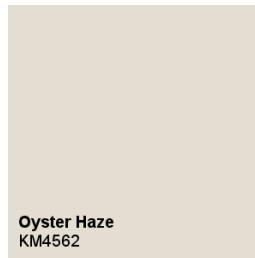
1026 Rodeo Road Pebble Beach CA

APN: 007-323-002-000

Roof – Metal Standing Seam



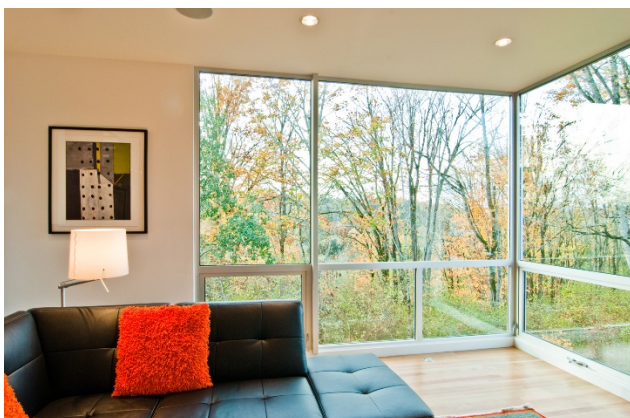
Walls – Painted Cement Plaster



Exterior Accents - Limestone and Wood



Windows and Door



Moore Residence

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Upper Balcony Stainless Steel Guardrail



Main Terrace Glass Windscreen

