

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

TRAINA WILLIAM & TRAINA RAQUEL C TRS (PLN170413)

RESOLUTION NO. 18-041

Resolution by the Monterey County Zoning Administrator:

- 1) Finding the project Categorically Exempt per CEQA Section 15301(e)(1); and
- 2) Approving the Combined Development Permit consisting of:
 - a) a Coastal Administrative Permit and Design Approval to allow an addition to an existing 2,518 square foot two story dwelling including 323 square foot upper floor addition, 318 square foot lower floor addition, 85 square foot addition to existing 476 square foot garage, 135 cubic yards of associated grading; and
 - b) a Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource.

[PLN170413, TRAINA WILLIAM & TRAINA RAQUEL C TRS, 170 Mal Paso Road, Carmel, Carmel Area Land Use Plan (APN: 243-292-002-000)]

The Traina application (PLN170413) came on for public hearing before the Monterey County Zoning Administrator on 12 July 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the *1982 Monterey County General Plan*;
 - Carmel Area Land Use Plan (LUP);
 - Coastal Implementation Plan (CIP), Part 4
 - Monterey County Zoning Ordinance (Title 20);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The property is located at 170 Mal Paso Road, Carmel (Assessor's Parcel Number 243-292-002-000), Carmel Area Land Use Plan. The parcel is zoned LDR/1-D(CZ) (Low Density Residential) and is developed with an existing single family dwelling, attached garage, and driveway.
 - c) The "front" of the subject parcel is on Coast Ridge Drive property boundary while the opposite side of the property is the "rear" from where the paved driveway entrance would commonly be called the

“front.” Therefore, the project is required to adhere to Section 20.62.040.J for “key” lot setbacks. Staff Confirmed project plans conform to the 30-foot minimum front and 20-foot minimum side and rear setbacks.

- d) The proposed project would not present significant public policy issues, unmitigable significant adverse environmental impacts, significant changes in the nature of a community or area, nor establishment of precedents or standards by which other projects will be measured. Therefore, the Zoning Administrator is the appropriate hearing body for consideration of this permit (Monterey County Code Title 20, Section 20.04.F).
- e) Pursuant to Carmel Area LUP Policy 2.8.3.2, an archaeological survey was prepared due to the subject parcel within a high status area for archaeological sensitivity. The report, prepared by archaeologist Susan Morley, concludes there is no surficial evidence of cultural significance (File No. LIB170388).
- f) Staff conducted a site inspection on 15 December 2017 and confirmed visibility of the staking and flagging from Highway 1, within the public viewshed. In accordance with Carmel Area CIP Section 20.146.030.C.1.c, the project is subject to the following conditions:
 - No. 4 requires verification of the height of structures be consistent with that on the approved permit.
 - No. 10 requires that all exterior lighting be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled.
 - No. 20 requires a Landscape and Maintenance Plan for the subject parcel, and that landscaped areas and fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

There is no other feasible location on the parcel for development out of the public viewshed. The existing location of the residence occupies the only area on the parcel less than thirty percent slope and set back as far as possible from Highway 1. Therefore, Staff finds the project, as proposed and conditioned, is placed in the most appropriate location on the parcel to minimize obstruction of the scenic resource.

- g) The project was referred to the Carmel Highlands Land Use Advisory Committee (LUAC) for review on 4 December 2017. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because of the sensitive land use issue specific to this parcel of being within the public viewshed. LUAC recommendation was for approval in a 4-0 decision.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170413.

2. **FINDING:** **SITE SUITABILITY** – The Project, as conditioned, is compatible with the integrity and nature of the area and complies with all applicable

federal, state, and local regulations.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA- Planning, Carmel Highlands Fire Protection Department (FPD), RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site would harm public health, safety, or welfare. Conditions recommended have been incorporated.
 - b) The subject parcel is a State Responsibility Area ranked very high risk for fire hazard. During review of the project, Carmel Highlands FPD gave no indication the site would be unsuitable for implementation of the project. However, Carmel Area Coastal Implementation Plan (CIP) requires a deed restriction be recorded that states fire hazards exist on the parcel and development may be subject to certain restrictions, and processed in accordance with Section 20.64.280.B of Title 20. Therefore, Condition no.17 requires a deed restriction be recorded that states the following: "The parcel is located in a high fire hazard area and development may be subject to certain restrictions as per section(s) of the Coastal Implementation Plan and per the standards for development of residential property."
 - c) The existing access to the parcel is from Mal Paso Road along the existing paved driveway approximately 400 feet in length. This will remain as access to the residence on the subject parcel without any changes. During review of the project, Carmel Highlands FPD gave no indication this driveway would be unsuitable for continued access.
 - d) The parcel is categorized within a Zone VI seismic hazard area in the Monterey County GIS viewer. Therefore, pursuant to Policy 2.7.4.3 of Carmel Area LUP, a Geological Report was required and was prepared by Soil Surveys Group, Inc. on 31 October 2017 (File No. LIB170390). The report indicates the site is suitable for the proposed remodel and addition, provided project implementation adheres to the design criteria and specifications within a maximum three years from the date of the report. The project is subject to Condition No. 9 which requires submittal of a Grading Plan that incorporates the recommendations from the project Geotechnical and Geological Investigation (File No. LIB170390), and to Condition No. 15 which requires prior to final inspection certification from a licensed practitioner that all development has been constructed in accordance with the report. Therefore, staff concludes the site is suitable for the proposed remodel and addition, as proposed and conditioned.
 - e) Two non-native ornamental Hollywood junipers are proposed for removal. These are not considered environmentally sensitive habitat (ESHA) in the Carmel Area LUP. Therefore, these junipers are not protected trees and no permit is required for their removal.
 - f) The design materials proposed are consistent with the existing residence and with the neighborhood character. Therefore, implementation of the project would be consistent with the suburban coastal integrity of the surrounding area.
 - g) Staff conducted a site inspection on 15 December 2017 to verify that the site is suitable for implementation of the proposed project.

- h) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN170413.
3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by RMA- Planning, Carmel Highlands FPD, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) The parcel has an existing Onsite Wastewater Treatment System (OWTS). EHB had deemed the application incomplete on 27 November 2017 requiring upgrades for compliance with the Local Agency Management Program (LAMP) for OWTS. However, EHB worked with the applicant to revise the plan with one less bedroom which eliminated the need for an OWTS upgrade. EHB deemed the application complete 16 May 2018. Therefore, Staff concludes implementation of the project, as revised, would not pose a detriment to health or safety due to the OWTS.
 - c) The parcel is rated Very High status in a State Responsibility Area for fire prevention. Carmel Highlands FPD gave no indication during the inter-departmental review period that implementation of the project would compromise fire safety and proposed no conditions to this effect. All "Fire Conditions" are now part of the Monterey County Fire Code and are enforceable, where applicable, similar to all other fire and building code requirements. Therefore, the project is assured to comply with standards for fire protection and safety.
 - d) Staff conducted a site inspection on 15 December 2017 to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA - Planning for the proposed development found in Project File PLN170413.
4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on 15 December 2017 and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.

- d) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170413.
5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301(e)(1) categorically exempts additions to existing structures such that the addition is not 2,500 square feet or more and is not more than 50 percent of the existing floor area.
 - b) The proposed project is a remodel that would add 935 square feet of floor area to an existing 2,994 square feet of existing floor area, or 31.23%. This is under the 50 percent threshold of the existing floor area. Therefore, the project is categorically exempt.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project is not located in a sensitive environment; would not cause cumulative impacts or significant impact on the environment; would not damage scenic or historical resources; and is not registered on the Cortese List as a Superfund cleanup site.
 - d) No adverse environmental effects were identified during staff review of the development application or during a site visit on 15 December 2017.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170413.
6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and not to the California Coastal Commission.
- EVIDENCE:**
- a) Section 20.8.030.A of the Monterey County Zoning Ordinance states that the decision by the Zoning Administrator is appealable to the Board of Supervisors.
 - b) In accordance with Section 20.86.080.A of Title 20, the project is a principal use allowed not appealable to the California Coastal Commission (CCC) because the subject parcel is not between the sea and the first through public road paralleling the sea or within 300 feet of the inland extent of any beach or of the mean high tide line of the sea where there is no beach; nor within 100 feet of any wetland, estuary, stream or within 300 feet of the top of the seaward face of any coastal bluff; nor constitutes a major public works project or major energy facility. Therefore, this project is not appealable to the CCC.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project Categorically Exempt per Section 15301(e)(1) of CEQA Guidelines;
2. Approve the Combined Development Permit consisting of:
 - a) a Coastal Administrative Permit and Design Approval to allow an addition to an existing 2,518 square foot two story dwelling including 323 square foot upper floor addition, 318 square foot lower floor addition, 85 square foot addition to existing 476 square foot garage, 135 cubic yards of associated grading; and
 - b) a Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource;

subject to the attached plans and conditions, all being attached hereto and incorporated herein by reference,

PASSED AND ADOPTED this 12th day of July 2018 by:



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON JUL 16 2018

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE ZONING ADMINISTRATOR ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JUL 26 2018

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 5-14-2014

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170413

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN170413) allows partial demolition of existing 2,518 square foot single family dwelling and all existing decks; rebuild and construction of 323 square foot upper floor addition, 318 square foot lower floor addition, 85 square foot addition to existing 476 square foot garage, new excavation, 182 square foot retractable covered deck, fire pit, bocce ball court, 44 linear feet of 6 foot high wood fence, and new pivot gate; and development within 750 feet of a known archaeological resource. 170 Mal Paso Road, Carmel (Assessor's Parcel Number 243-292-002-000), Carmel Area Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number 18-041) was approved by the Zoning Administrator for Assessor's Parcel Number 243-292-002-000 on 12 July 2018. The permit was granted subject to 20 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be Performed: shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources)
work shall be halted immediately within 50 meters (165 feet) of the find until a qualified
professional archaeologist can evaluate it. Monterey County RMA - Planning and a
qualified archaeologist (i.e., an archaeologist registered with the Register of
Professional Archaeologists) shall be immediately contacted by the responsible
individual present on-site. When contacted, the project planner and the archaeologist
shall immediately visit the site to determine the extent of the resources and to develop
proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.
Monitoring

Action to be Performed: Prior to the issuance of grading or building permits and/or prior to the recordation of
the final/parcel map, whichever occurs first, the Owner/Applicant shall include
requirements of this condition as a note on all grading and building plans. The note
shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact
Monterey County RMA - Planning and a qualified archaeologist immediately if cultural,
archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the
site to determine the extent of the resources and to develop proper mitigation
measures required for the discovery.

4. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of RMA - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

5. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the County Counsel for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel.

6. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

7. PD007- GRADING WINTER RESTRICTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: The Owner/Applicant, on an on-going basis, shall obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.

8. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

9. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Grading Plan incorporating the recommendations from the project Geotechnical and Geological Investigation prepared by Soil Surveys Group Inc. The Grading Plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The Grading Plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the Grading Plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a Grading Plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the Grading Plan for conformance with the geotechnical recommendations.

10. PD014(B) - LIGHTING-EXTERIOR LIGHTING PLAN (VS & RIDGELINE)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lighting shall have recessed lighting elements. Exterior light sources that would be directly visible, when viewed from a common public viewing area, are prohibited. The applicant shall submit three (3) copies of exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

11. WR002 - STORMWATER CONTROL

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts. Impervious surface stormwater runoff shall be dispersed at multiple points, on the least steep available slopes, away from and below any septic leach fields. Erosion control shall be provided at each outlet. Drainage improvements shall reflect conformance with recommendations contained in the Geotechnical and Geological Investigation prepared by Soil Surveys Group, dated 10/31/2017, and shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

12. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;
2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;
3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.

All Air District standards shall be enforced by the Air District.

(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition inspection activities as required by the Air District.

13. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

14. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

15. GEOTECHNICAL CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from a licensed practitioner that all development has been constructed in accordance with the recommendations in the project Geotechnical and Geological Investigation. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

16. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

17. PD021 - DEED RESTRICTION-FIRE HAZARD

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to the issuance of a building permit the applicant shall record a deed restriction which states: "The parcel is located in a high fire hazard area and development may be subject to certain restrictions as per section(s) of the Coastal Implementation Plan and per the standards for development of residential property."
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit a signed and notarized document to the Director of RMA-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the Director of RMA-Planning.

18. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) and trees which are located close to trees approved for removal shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to RMA - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to RMA-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

19. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

20. PWSP003 – BOUNDARY SURVEY

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Owner/Applicant shall have a professional land surveyor perform a survey of the northerly boundaries of the subject parcel and have the property corners and angle points monumented. (Development Engineering)

Compliance or Monitoring Action to be Performed: Prior to foundation inspection, Owner/Applicant shall have a professional land surveyor monument the northerly boundary lines. Evidence of completion of monumentation shall be submitted to the County Surveyor for review and approval. The surveyor shall conform to the requirements of Section 8762 of the California Business and Professions Code.

TRAINA RENOVATION

CARMEL HIGHLANDS , CALIFORNIA

CONRAD
ASTURI
STUDIOS INC.

1121 OAKDALE RD. STE 5
MODESTO, CA. 95355
phone: 209.521.7200
web: CONRADASTURI.COM
LINCOLN SW OCEAN
CARMEL BY THE SEA, CA, 93921
phone: 831-622-9724

CONRAD ASTURI STUDIOS, INC. expressly reserves its common law copyright and other property rights in these plans. These plans may not be reproduced, changed, copied, assigned to any third party or used for any construction other than that intended without first obtaining the written permission and consent of CONRAD ASTURI STUDIOS, INC.

PROJECT:

**TRAINA
RENOVATION**
170 MAL PASO RD.
CARMEL HIGHLANDS, CA 93923
APN: 243-292-002

TRAINA
RENOVATION
DESIGN
DEVELOPMENT

TIMELINE

DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS

△	
△	
△	

PROJECT NO: 1609

DRAWN BY: STAFF

CHECKED BY: EA

DESCRIPTION:
COVER SHEET

SHEET:

T0.1

PRINTED: OCTOBER 23, 2017

A	ARTISAN	ELEV.	ELEVATION	H.B.	HOSE BIBB	P.L.	PROPERTY LINE
A.F.F.	ABOVE FINISHED FLOOR	EQ.	EQUAL	H.C.	HOLLOW CORE	PLYWD.	PLYWOOD
A.F.S.	ABOVE FINISHED SURFACE	EQUIP.	EQUIPMENT	H/C	HANDICAPPED	REF.	REFRIGERATOR
ALT.	ALTERNATE	EXT.	EXPANSION	HDWD.	HARDWOOD	REQ'D.	REQUIRED
APPROX.	APPROXIMATE	EXT.	EXTERIOR	HR.	HOUR	R.O.	ROUGH OPENING
ARCH.	ARCHITECTURAL	F.D.	FLOOR DRAIN	HT.	HEIGHT	SCHED.	SCHEDULE
BLDG.	BUILDING	F.D.C.	FIRE DEPARTMENT CONNECTION	HT.	HEATING, VENTILATION AND AIR CONDITIONING	SHT.	SHEET
BOT.	BOTTOM	FDN.	FOUNDATION	INT.	INTERIOR	SIM.	SIMILAR
C.J.	CONTROL JT.	F.F.	FINISH FLOOR	KIT.	KITCHEN	SPEC.	SPECIFICATION
CLG.	CEILING	FIN.	FINISH	MAX.	MAXIMUM	SQ.	SQUARE
CLR.	CLEAR	F.L.	FLOW LINE	MECH.	MECHANICAL	S.S.	STAINLESS STEEL
C.M.U.	CONCRETE MASONRY UNIT	FLR.	FLOOR	MFR.	MANUFACTURER	STRUC.	STRUCTURAL
CONC.	CONCRETE	FND.	FOUNDATION	MIN.	MINIMUM	TYP.	TYPICAL
CONT.	CONTINUOUS	FT.	FOOT OR FEET	MISC.	MISCELLANEOUS	W.C.	WATER CLOSET
DET./DTL.	DETAIL	FTG.	FOOTING	MTL.	METAL		
D.G.	DECOMPOSED GRANITE	FURR.	FURRING				
DIA.	DIAMETER						
DN.	DOWN	GA.	GAUGE	N.T.S.	NOT TO SCALE	⊞	SQUARE FEET
DS.	DOWNSPOUT	GALV.	GALVANIZED	OH.	OVERHEAD	⊞	CENTERLINE
(E)	EXISTING	GYP.	GYPSUM			PL	PLATE
EA.	EACH	GYP. BD.	GYPSUM BOARD				
E.J.	EXPANSION JOINT						
ELEV.	ELEVATION						
ELEC.	ELECTRICAL						

NOTE: CLARIFY WITH DESIGNER ALL ABBREVIATIONS NOT LISTED.

ABBREVIATIONS

EXISTING FLOOR AREA RATIO

UPPER FLOOR (CONDITIONED): 2168 SQFT.
LOWER FLOOR (CONDITIONED): 350 SQFT.
TOTAL RESIDENCE (CONDITIONED): 2518 SQFT.
ATTACHED GARAGE: 476 SQFT.
TOTAL FLOOR AREA: 2994 SQFT.
TOTAL LOT AREA: 32,227 SQFT.
FLOOR AREA RATIO: 9.3%
MAX. F.A.R. ALLOWED: 17.5%

PROPOSED FLOOR AREA RATIO

UPPER FLOOR (CONDITIONED): 2491 SQFT.
LOWER FLOOR (CONDITIONED): 668 SQFT.
TOTAL RESIDENCE (CONDITIONED): 3159 SQFT.
ATTACHED GARAGE: 561 SQFT.
STEEL TRELLIS W/ CANVAS COVER: 182 SQFT.
TOTAL FLOOR AREA: 3929 SQFT.
TOTAL LOT AREA: 32,227 SQFT.
FLOOR AREA RATIO: 12.2%
MAX. F.A.R. ALLOWED: 17.5%

EXISTING IMPERVIOUS LOT COVERAGE

MAIN HOUSE: 2518 SQFT.
ATTACHED GARAGE: 476 SQFT.
BUILDING FOOTPRINT TOTAL: 2994 SQFT.
DECKS / MISC. CONCRETE: 3065 SQFT.
TOTAL IMPERVIOUS COVERAGE: 6059 SQFT.
IMPERVIOUS COVERAGE MAX. 18.5%
TOTAL AREA OF DISTURBANCE: 6059 SQFT.
MAX AREA OF DISTURBANCE 18.5% SQFT.

PROPOSED IMPERVIOUS LOT COVERAGE

MAIN HOUSE: 3159 SQFT.
ATTACHED GARAGE: 561 SQFT.
BUILDING FOOTPRINT TOTAL: 3720 SQFT.
DECKS / MISC. CONCRETE: 4194 SQFT.
TOTAL IMPERVIOUS COVERAGE: 7914 SQFT.
IMPERVIOUS COVERAGE MAX. 24.6%
TOTAL IMPERVIOUS COVERAGE: 7914 SQFT.
(E) PERVIOUS PAVR DRIVEWAY: 1088 SQFT.
TOTAL AREA OF DISTURBANCE: 9002 SQFT.
MAX AREA OF DISTURBANCE 27.9% SQFT.



VICINITY MAP

EXISTING:	UPPER FLOOR (CONDITIONED):.....2168 SQFT. LOWER FLOOR (CONDITIONED):.....350 SQFT. ATTACHED GARAGE: 476 SQFT. TOTAL (E) CONDITIONED SPACE:.....2518 SQFT.
PROPOSED ADDITION:	UPPER FLOOR (CONDITIONED):.....323 SQFT. LOWER FLOOR (CONDITIONED):318 SQFT. ATTACHED GARAGE:.....85 SQFT. TOTAL CONDITIONED ADDITION:.....641 SQFT.
PROPOSED TOTAL:	UPPER FLOOR (CONDITIONED):.....2491 SQFT. LOWER FLOOR (CONDITIONED):.....668 SQFT. ATTACHED GARAGE:.....561 SQFT. TOTAL CONDITIONED SPACE:.....3159 SQFT.

PROJECT LOCATION: 170 MAL PASO RD. CARMEL, CA 93923	WATER PROVIDER: CAL-AM
A.P.N.: APN: 243-292-002	ELECTRIC: PG&E / EMERGENCY GAS GENERATOR
LOT SIZE: 32,227 SQFT. .74 ACRES	GAS PG&E (NATURAL GAS)
ZONING: LDR/1D (C2)	MPWMD: YES (FIRE ZONE)
LAND USE PLAN: RESIDENTIAL - LOW DENSITY	REQUIRED PARKING: 2 SPACES
TREE REMOVAL: NO TREES REMOVED	PROPOSED PARKING: 2 COVERED, 3 UNCOVERED
FIRE SPRINKLERS: REQUIRED	PROPOSED CUT / FILL:
SEWER PROVIDER: SEPTIC	PROPOSED RETAINING WALLS: NONE
	OCCUPANCY: 1AU
	SOILS REPORT:

ARCHITECTURAL SYMBOLS

PROPOSED RENOVATION OF EXISTING 2518 SQ. FT. TWO-STORY RESIDENCE.
ADDITION OF 323 SQ.FT. ON THE UPPER FLOOR AND 318 SQ.FT. ON THE LOWER FLOOR. REMOVAL AND REPLACEMENT OF EXISTING WOOD DECK.

SCOPE OF WORK

FLOOR AREA RATIO

OWNER:	WILLIE & RAQUEL TRAINA 1225 SYCAMORE AVE. PATTERSON, CA 95363
DESIGNER:	CONRAD ASTURI STUDIOS, INC. 1121 OAKDALE RD. STE 5 MODESTO, CA. 95355 209-521-7200 P.O. BOX 1556 CARMEL BY THE SEA, CA. 93921 831-238-4945
CIVIL ENGINEER:	L&S ENGINEERING AND SURVEYING, INC. 2460 GARDEN ROAD, SUITE G MONTEREY, CA 93940 831-655-2723

SQUARE FOOTAGE

PROJECT INFORMATION



PERSPECTIVE

ARTIST'S RENDERING, SHOWN FOR ORIENTATION,
MATERIAL TEXTURE, AND COLOR REFERENCE.. DETAILS
MAY VARY SLIGHTLY.

PROJECT TEAM

SHEET INDEX

NO.	SHEET
T0.1	COVER SHEET
C1	CIVIL TITLE SHEET
C2	SITE DEMOLITION PLAN
C3	SITE GRADING PLAN
C4	SIRE CROSS SECTIONS
C5	STORM DRAIN PLAN
C6	CONSTRUCTION DETAILS
C7	CONSTRUCTION MANAGEMENT & EROSION CONTROL PLAN
D1.0	EXISTING / DEMOLITION SITE PLAN
A1.0	NEW / PROPOSED SITE PLAN
A1.1	NEW / PROPOSED HARDSCAPE PLAN
A1.2	PROPOSED SITE PLAN SUPERIMPOSED OVER EXISTING SITE PLAN
D2.0	EXISTING / DEMOLITION FLOOR PLAN
D4.0	EXISTING / DEMOLITION ROOF PLAN
D5.0	EXISTING / DEMOLITION ELEVATIONS
D5.1	EXISTING / DEMOLITION ELEVATIONS
D5.2	EXISTING PHOTOS
A2.0	NEW / PROPOSED FLOOR PLAN
A4.0	NEW / PROPOSED ROOF PLAN
A5.0	NEW / PROPOSED ELEVATIONS
A5.1	NEW / PROPOSED ELEVATIONS
A5.2	EXTERIOR PERSPECTIVE VIEWS
A5.3	EXTERIOR PERSPECTIVE VIEWS
A6.0	SECTIONS
A6.1	SECTIONS
A6.2	SECTIONS
A7.0	WINDOW SCHEDULE

GENERAL NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS HERE ON. IN ADDITION ALL WORK SHALL ALSO COMPLY WITH TITLE 24 AND 2013 CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, AND THE CALIFORNIA ENERGY CODE AS THEY MAY APPLY.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
4. IN THE EVENT THAT THE CONTRACTOR FINDS A CONFLICT OR A DEFICIENCY IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND OR THE OWNER'S REPRESENTATIVE(S) IMMEDIATELY.
5. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
6. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING TOPOGRAPHY SHOWN, NOR THE ACCURACY OF THE DELINEATION OF SAID UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
8. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE SHERIFF, FIRE DEPARTMENT, AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT-OF-WAY.
9. EXISTING CURB, OUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND OR THE ENGINEER AT THE CONTRACTOR'S EXPENSE, WHETHER SHOWN ON THE PLANS OR NOT, EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
11. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT AND SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: DEBRIS FROM THE SITE, TREES, ROOT BALLS AND FENCING.
15. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY PUBLIC WORKS DEPARTMENT. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
16. CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 8:00 AM TO 5:00 PM.
17. CONSTRUCTION EQUIPMENT SHALL HAVE MUFFLERS IN GOOD CONDITION.
18. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CA. PHONE (831) 443-3050.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL AT THE CONSTRUCTION SITE.
20. FOR ALL TRENCH EXCAVATIONS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 21 WEST LAUREL DRIVE, SUITE 45, SALINAS CALIFORNIA 93906, PHONE (831) 443-3050, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
21. AT COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL FURNISH REPRODUCIBLE AS-BUILT PLANS TO THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OF PUBLIC WORKS. SAID PLANS SHALL SHOW ALL CHANGES AND ADDITIONS/DELETIONS IN RED ON THE REPRODUCIBLE PLANS.
22. PAVEMENT SECTIONS TO BE DETERMINED AS SHOWN ON THESE PLANS.
23. A SEPARATE PERMIT IS REQUIRED FOR THE CONSTRUCTION OF ALL RETAINING WALLS.
24. TREES WHICH ARE LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.

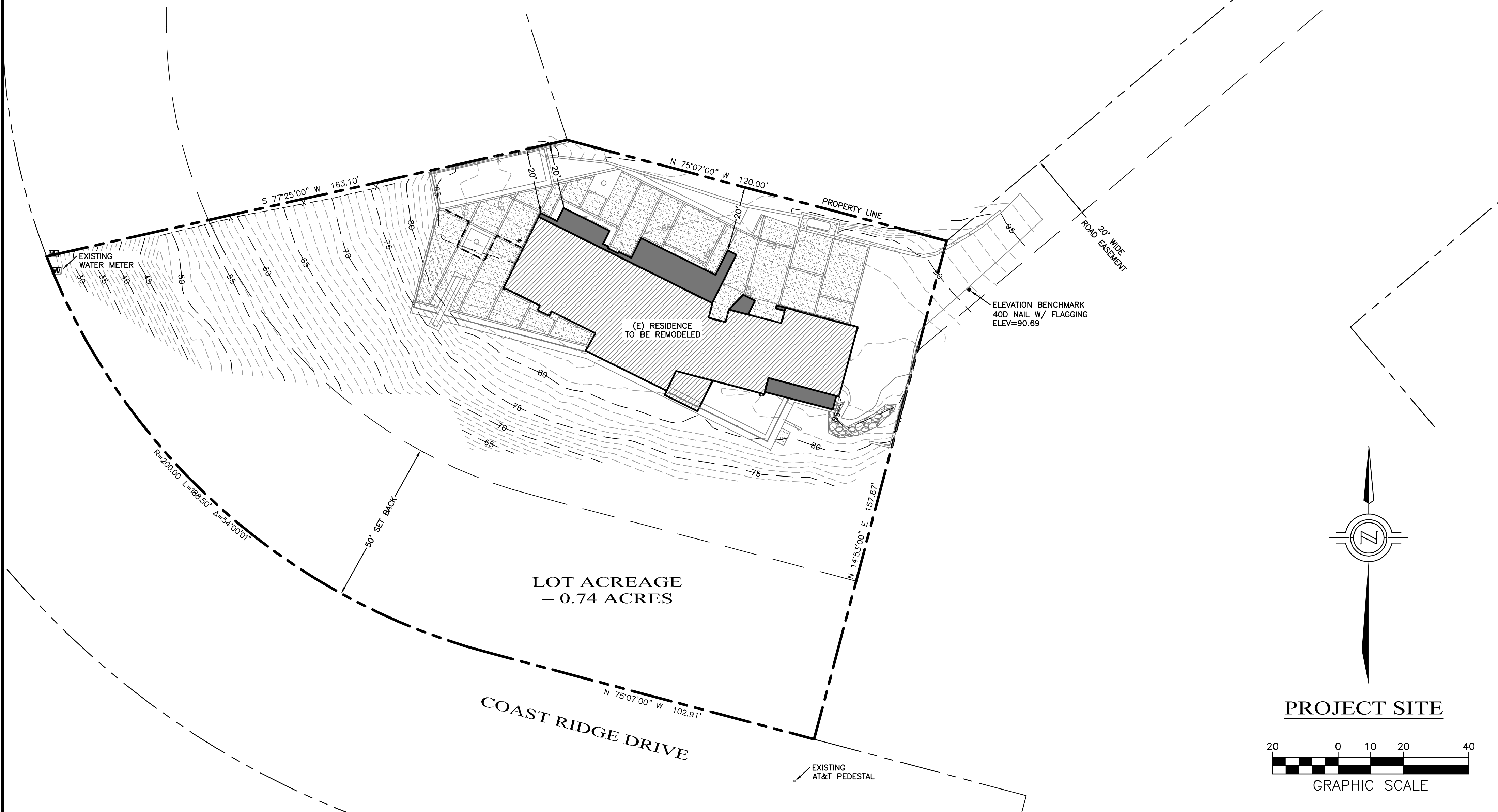
GRADING NOTES

1. REFER TO GENERAL NOTES AND DETAILS AS SHOWN ON THESE PLANS.
2. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, THE CALIFORNIA BUILDING CODE AND GEOTECHNICAL REPORT ENTITLED:
???
??
??
PREPARED BY: ??
??
??
DATED: ??
3. ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF AND TESTED BY THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT, WHO WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE CONTRACTOR SHALL SUBMIT TESTS AND REPORT FROM SOILS ENGINEER TO THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO SCHEDULING ANY INSPECTIONS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILL TO THE SATISFACTION OF THE SOIL ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.
6. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS DIRECTED IN THE FIELD BY THE SOILS ENGINEER.
7. ALL CUT AND FILL SLOPE SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER OR SOILS ENGINEER AND APPROVED BY MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT.
8. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER AND LANDSCAPE MAINTENANCE WILL BE REQUIRED UNTIL GROUND COVER IS ESTABLISHED.
9. ELEVATION BENCHMARK: SEE SHEET C1.
10. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
11. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
12. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST TWO (2) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
13. STRIPINGS TO BE USED AS TOPSOIL SHALL BE STOCKPILED IN APPROVED AREAS FOR FUTURE USE IN LANDSCAPED AREAS.
14. IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PREHISTORICAL RESOURCES ARE UNCOVERED DURING CONSTRUCTION WORK SHALL BE STOPPED IMMEDIATELY WITHIN 165 FT OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY PMA-PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF RESOURCES AND TO DEVELOPE PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
15. ALL HAUL ROADS SHALL BE RETURNED TO ORIGINAL CONDITION AND RESEEDED WHEN GRADING IS COMPLETE. NO HAUL ROADS SHALL BE ALLOWED IN AREAS WHICH ARE NOT SHOWN TO BE GRADED WITHOUT PRIOR APPROVAL OF THE ENGINEER. RESTORATION OF HAUL ROADS WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
16. EARTHWORK QUANTITIES ARE SHOWN ON SHEET C3.
17. ALL GRADES TO BE A MINIMUM OF 5% AWAY FROM FOUNDATIONS FOR 10 FEET UNLESS SPECIFIED OTHERWISE ON PLANS.
18. TREE REMOVAL SHALL INCLUDE REMOVAL OF LIMBS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 3" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
19. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
(MONTEREY COUNTY GRADING/EROSION ORD. 226-16.12.000)
20. PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
21. GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS TO TOP OF FINISH GRADE. WHERE SLOPES ARE STEEPER THAN 5 TO 1, AND THE HEIGHT IS GREATER THAN 5 FT, BY BENCHING INTO SOUND BEDROCK OR OTHER COMPETENT MATERIAL AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
22. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH. NO 12" IN ITS MAXIMUM DIMENSION MAY BE USED IN A FILL.
23. PRIOR TO FINAL INSPECTION, THE GEOTECHNICAL CONSULTANT SHALL PROVIDE CERTIFICATION THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE GEOLOGICAL REPORT.
24. ALL FILL SOILS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
25. OVER EXCAVATION SHOULD BE CONDUCTED BELOW THE FOUNDATIONS AND FLOOR SLABS IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
26. A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

STATEMENT OF PURPOSE

THESE PLANS WERE PRODUCED TO PROVIDE FOR GRADING, DRAINAGE, AND EROSION CONTROL FOR AND DURING THE REMODEL OF A SINGLE FAMILY RESIDENCE AT 170 MAL PASO ROAD, CARMEL HIGHLANDS, CALIFORNIA 93923

GRADING, DRAINAGE,
AND EROSION CONTROL PLANS
FOR THE RENOVATION OF
170 MAL PASO ROAD,
CARMEL HIGHLANDS, CALIFORNIA 93923



FIRE DEPARTMENT NOTES

1. FIRE011-ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE N01241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS, AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4 IN HEIGHT, 1/2 IN STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.
2. FIRE020-REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FT OF STRUCTURES. LIMB TREES 6 FT UP FROM GROUND. REMOVE LIMBS WITHIN 10 FT OF CHIMNEYS. ADDITIONAL FIRE PROTECTION OR FIREBREAKS APPROVED BY THE REVIEWING AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

ABBREVIATIONS

AB	AGGREGATE BASE	FF	FINISH FLOOR ELEVATION
AC	ASPHALT CONCRETE	FL	FLOW LINE
AD	AREA DRAIN	HDPE	HIGH DENSITY POLYETHYLENE PIPE
BC	BEGIN CURVE	K	CURVE COEFFICIENT
BS	BOTTOM OF STEP	LF	LINEAR FEET
BVC	BEGIN VERTICAL CURVE	M.E.	MATCH EXISTING
BVCE	BEGIN VERTICAL CURVE ELEV	MIN	MINIMUM
BVCS	BEGIN VERTICAL CURVE STA	N/A	NOT APPLICABLE
CB	CATCH BASIN	(N)	NEW
CL	CENTERLINE	NTS	NOT TO SCALE
CONC	CONCRETE	PG&E	PACIFIC GAS & ELECTRIC
DIA	DIAMETER	PVC	POLYVINYL CHLORIDE
DWY	DRIVEWAY	SD	STORM DRAIN
(E)	EXISTING	S	SLOPE
EC	END CURVE	SS	SANITARY SEWER
ECR	END CURVE RETURN	SSCO	SANITARY SEWER CLEAN-OUT
EL	ELEVATION	FM	FORCE MAIN
ELEV	ELEVATION	TS	TOP OF STEP
EP	EDGE OF PAVEMENT	TW	TOP OF WALL
EVC	END VERTICAL CURVE	TVF	TYPICAL
EVCE	END VERTICAL CURVE ELEV	VC	VERTICAL CURVE
EVCS	END VERTICAL CURVE STA	W	WATER

SYMBOLS

36"Ø	EXISTING TREE (TO REMAIN)	ØAD	NEW AREA DRAIN
Ø	EXISTING SPOT GRADE	ØCO	NEW CLEAN-OUT
Ø	EXISTING FIRE HYDRANT	ØS	NEW DOWN SPOUT
Ø	EXISTING POWER POLE	957	DESIGN SPOT ELEVATION
Ø	EXISTING VAULT AS NOTED		
Ø	EXISTING SANITARY SEWER RELIEF		
+	CENTERLINE STATIONING (LAYOUT LINE)		

LEGEND

---	EXISTING DIRT PATH
---	EXISTING EDGE OF PAVEMENT
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPERTY LINE / RIGHT OF WAY
---	EXISTING EASEMENT
---	EXISTING JOINT UTILITY TRENCH
---	EXISTING STORM DRAIN (SIZE VARIES)
---	EXISTING SANITARY SEWER (GRAVITY)
---	EXISTING WATER LINE
---	NEW JOINT UTILITY TRENCH
---	NEW STORM DRAIN (SIZE VARIES)
---	NEW SANITARY SEWER (GRAVITY)
---	NEW WATER LINE
---	NEW EDGE OF PAVEMENT
---	NEW WALL (SHOWN FOR LOCATION ONLY)
---	NEW SAWCUT LINE
---	NEW FINISH GRADE (SECTIONS AND PROFILES)
---	STORM DRAIN PLAN
---	DESIGN MAJOR CONTOUR
---	DESIGN MINOR CONTOUR
---	NEW BUILDING FOOTPRINT

SHEET INDEX

C1	TITLE SHEET
C2	SITE DEMOLITION PLAN
C3	SITE GRADING PLAN
C4	SITE CROSS SECTIONS
C5	STORM DRAIN PLAN
C6	CONSTRUCTION DETAILS
C7	CONSTRUCTION MANAGEMENT AND EROSION CONTROL PLAN

I&S ENGINEERING AND SURVEYING, INC.
2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.3425
LandSengineers.com

REGISTERED PROFESSIONAL ENGINEER
MARK R. STERNBERG
No. 69930
EXP. 9-30-18
CIVIL
STATE OF CALIFORNIA

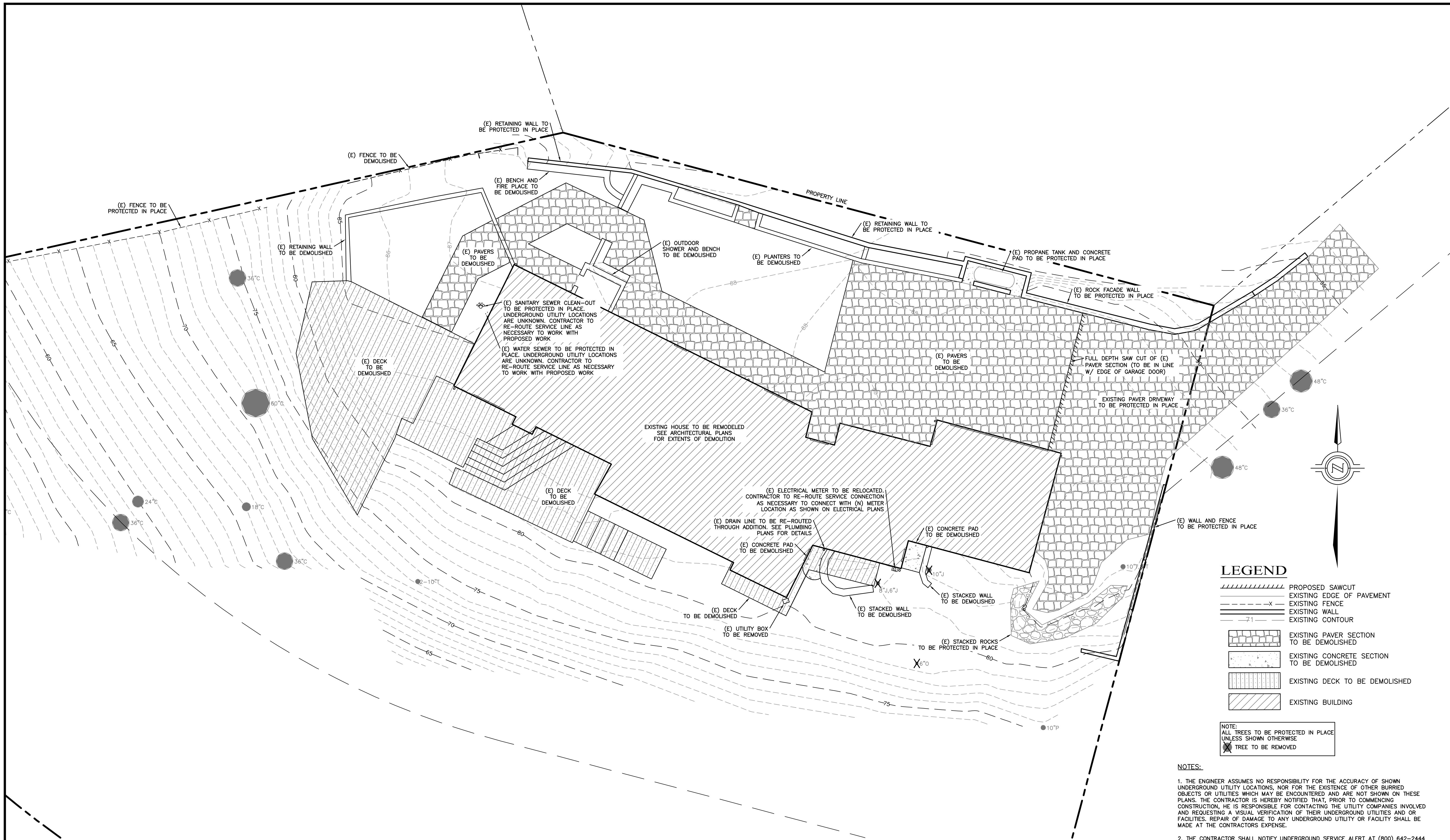
DRAWN BY :	MRS
DESIGNED BY :	MRS
DATE :	10-23-17
SCALE :	AS SHOWN
JOB NUMBER :	17-43
LAST REVISED :	N/A
REVISED BY :	N/A

TITLE SHEET

TRAINA RENOVATION
170 MAL PASO ROAD
CARMEL HIGHLANDS, CA 93923
APN 243-292-002

SHEET C1

OF



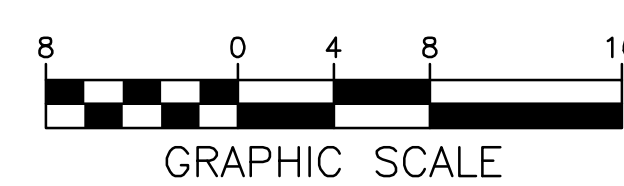
SITE DEMOLITION PLAN
SCALE: 1"=8'

LEGEND

- PROPOSED SAWCUT
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING WALL
 - EXISTING CONTOUR
 - EXISTING PAVER SECTION TO BE DEMOLISHED
 - EXISTING CONCRETE SECTION TO BE DEMOLISHED
 - EXISTING DECK TO BE DEMOLISHED
 - EXISTING BUILDING
- NOTE:
ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE
X TREE TO BE REMOVED

NOTES:

1. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SHOWN UNDERGROUND UTILITY LOCATIONS, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
2. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. ALL UTILITIES AND STORM DRAIN TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE ON THIS PLAN.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE DEMOLISHED OR REMOVED.
5. IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION, THIS WORK IS SUBJECT TO ADDITIONAL PERMITTING AND WORK CONTROLS. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND PERMITTING REQUIREMENTS FOR REMOVAL OF TYPE OF HAZARDOUS MATERIAL FOUND.



ENGINEERING AND SURVEYING, INC.
2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.3425
LandSengineers.com

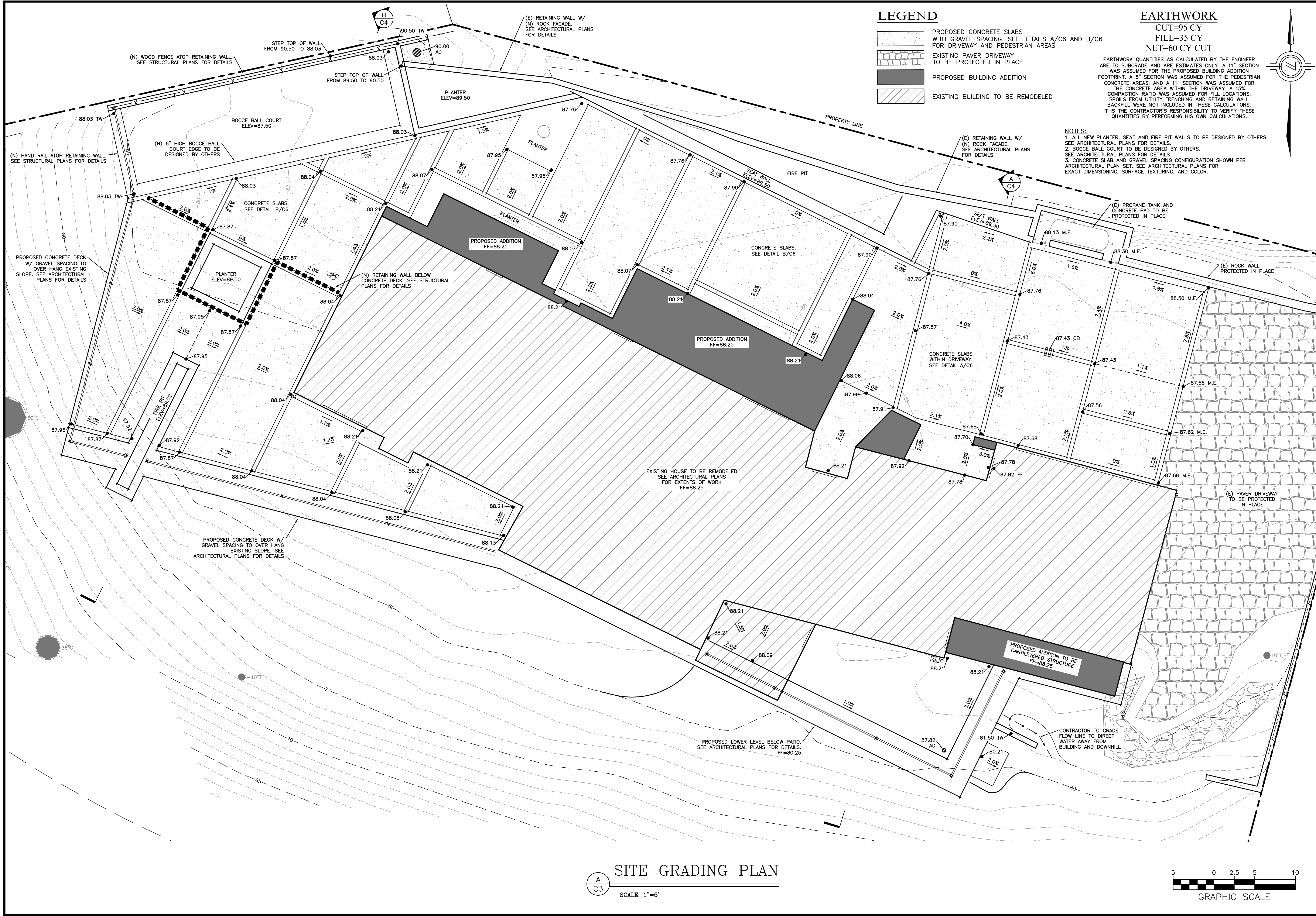
REGISTERED PROFESSIONAL ENGINEER
MARK R. STERNBERG
No. 69930
EXP. 9-30-18
CIVIL
STATE OF CALIFORNIA

DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 10-23-17
SCALE: AS SHOWN
JOB NUMBER: 17-43
LAST REVISED: N/A
REVISED BY: N/A

SITE DEMOLITION PLAN

TRAINA RENOVATION
170 MAL PASO ROAD
CARMEL HIGHLANDS, CA 93923
APN 243-292-002

SHEET C2
OF
7 SHEETS



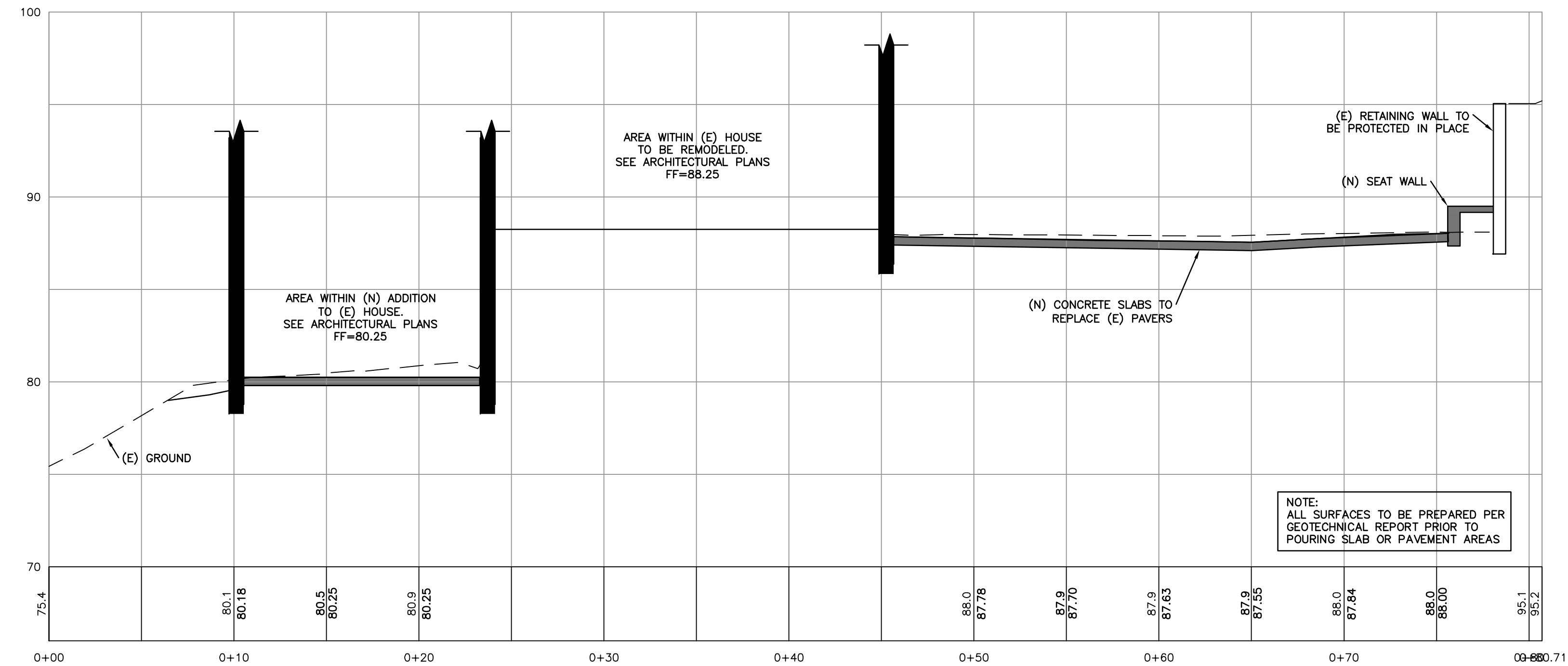
2460 Garden Road, Suite G, Monterey, California 93940
 P: 831.655.2723 F: 831.655.3425
 LandSengineers.com

SITE GRADING PLAN

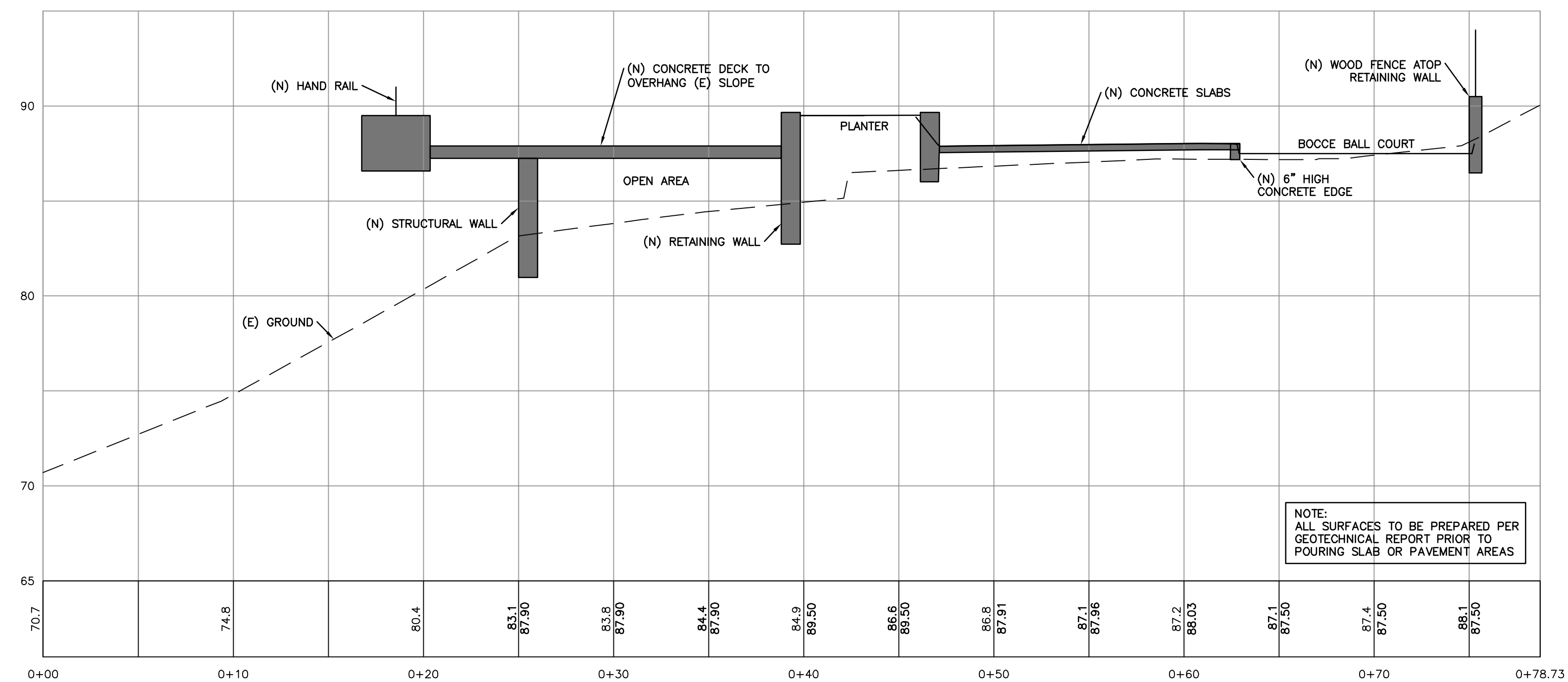
TRAINA RENOVATION
 170 MAL PASO ROAD
 CARMEL HIGHLANDS, CA 93923
 APN 243-292-002

SHEET C3
 OF
 7 SHEETS

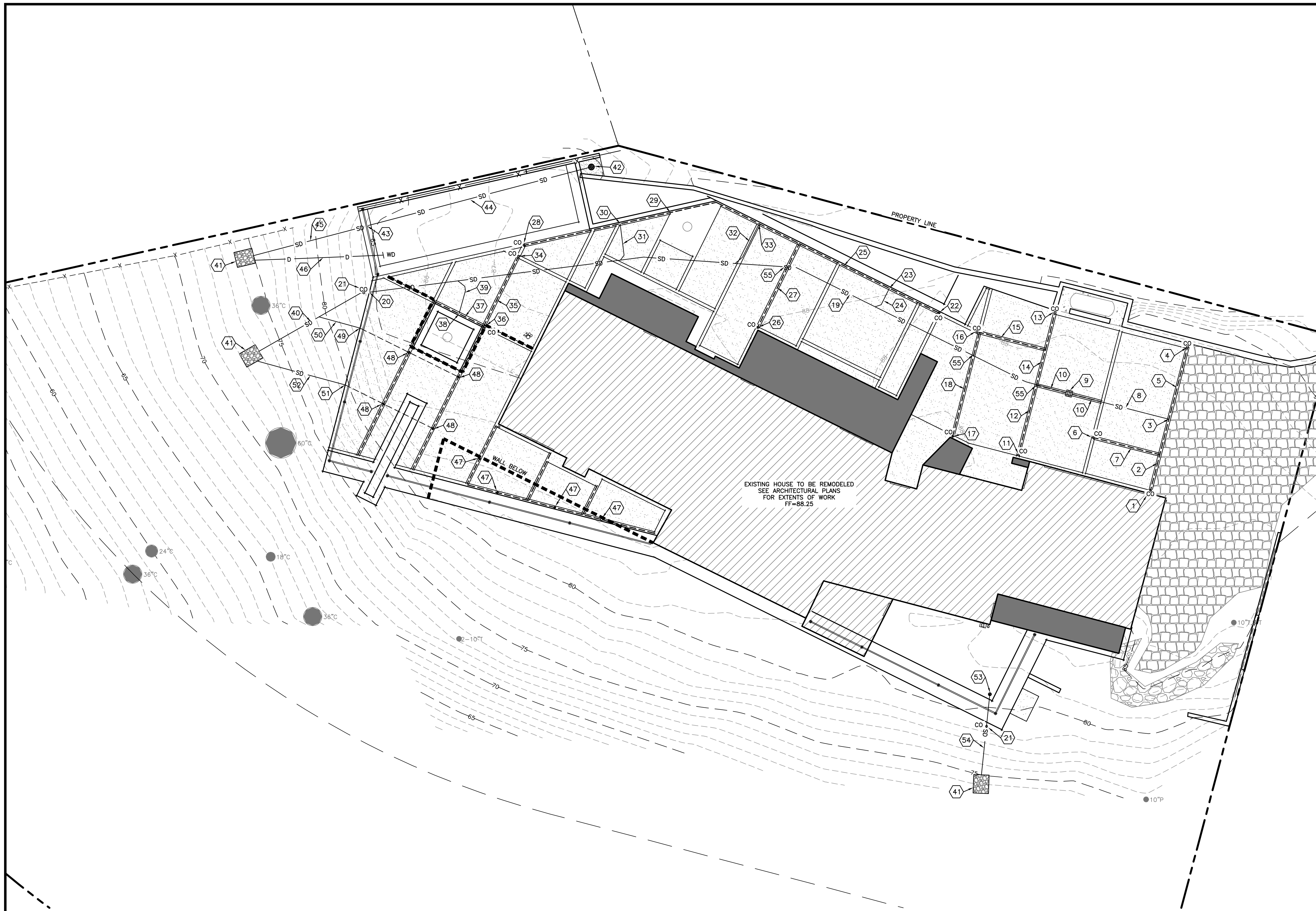
DRAWN BY: MRS
 DESIGNED BY: MRS
 DATE: 10-23-17
 SCALE: AS SHOWN
 JOB NUMBER: 17-43
 LAST REVISED: N/A
 REVISED BY: N/A



A
C4
SITE CROSS SECTION – LOOKING NORTH WEST
SCALE: 1"=5'



B
C4
SITE CROSS SECTION – LOOKING NORTH WEST
SCALE: 1"=5'



STORM DRAIN PLAN
SCALE: 1"=8'

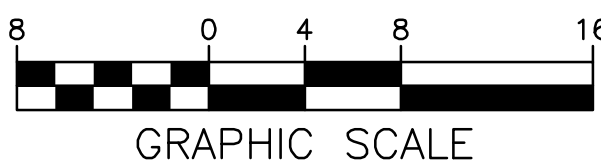
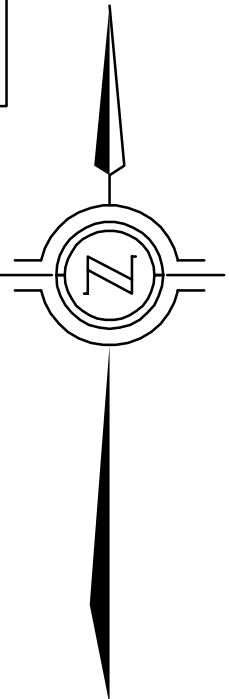
KEY NOTES:

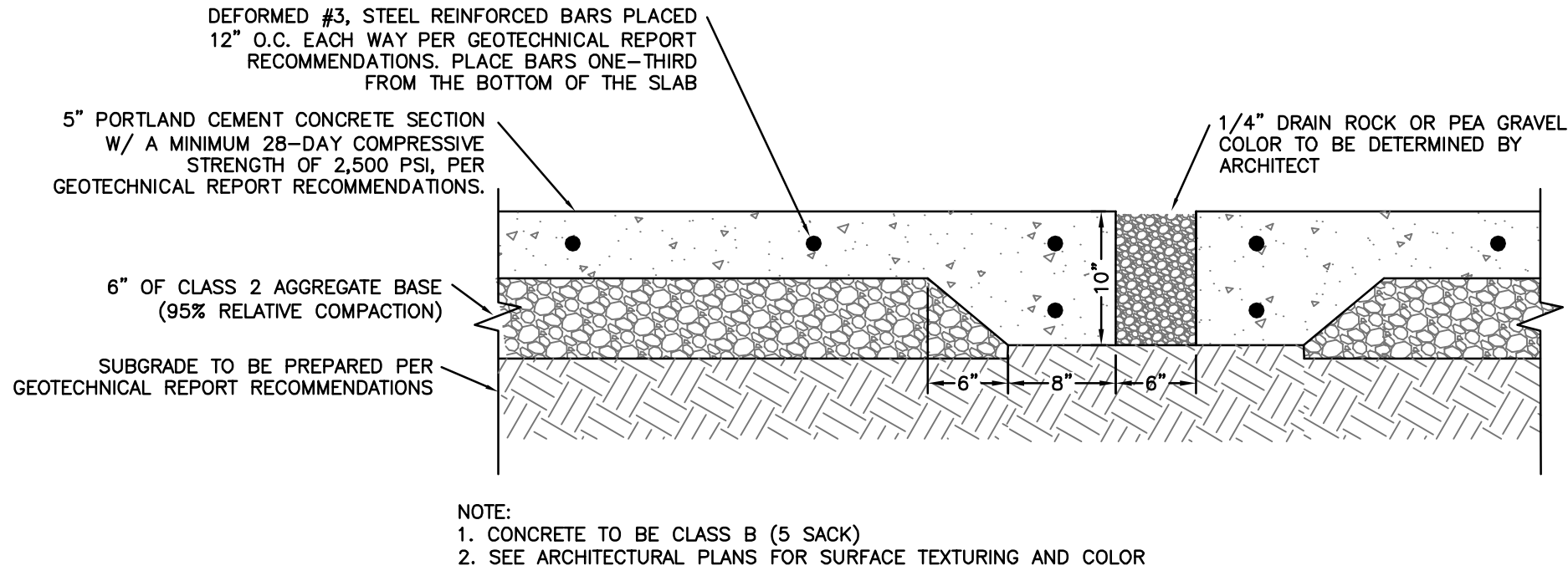
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=86.93
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=12', S=1.0%
- CONNECT 4" PERFORATED PVC DRAIN PIPE TO 4" PVC STORM DRAIN, SEE DETAIL E/C6. 4" PERF PVC INV=86.80, 4" PVC SD INV=84.72
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=87.75
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=12', S=7.6%
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=86.87
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=11', S=0%
- (N) 4" PVC STORM DRAIN, L=16' S=2.0%
- (N) 12X12 CENTRAL PRECAST CONCRETE CATCH BASIN W/ TRAFFIC RATED FRAME AND GRATE, OR EQUIVALENT. GRATE=87.43, 4" PERF INV=86.68, 4" SD INV=84.40, 6" SD INV=84.40
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=5', S=0%
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=86.93
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=12', S=2.0%
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=87.38
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=12', S=6.0%
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=12', S=0%
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=87.01
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=87.16
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=17', S=0.8%
- (N) 6" PVC STORM DRAIN, L=118' S=2.0%
- CONTRACTOR TO SLEEVE STORM DRAIN THROUGH WALL FOOTING. 6" PVC SD INV=82.00
- (N) SD CLEAN-OUT, SEE DETAIL I/C6
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=87.15
- CONNECT 4" PERFORATED PVC DRAIN PIPE TO 4" PVC STORM DRAIN LATERAL, SEE DETAIL E/C6. 4" PERF PVC INV=87.15, 4" PVC SD INV=83.92
- (N) 4" PVC SD LATERAL, L=6' S=2.0%
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=40', S=VARIES% (SEE GRADING PLAN C3)
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=87.32
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=15', S=2.0%
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=87.28
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=32', S=VARIES% (SEE GRADING PLAN C3)
- CONNECT 4" PERFORATED PVC DRAIN PIPE TO 4" PVC STORM DRAIN LATERAL, SEE DETAIL E/C6. 4" PERF PVC INV=87.21, 4" PVC SD INV=82.98
- (N) 4" PVC SD LATERAL, L=6' S=2.0%
- (N) 4" PVC SD LATERAL, L=8' S=2.0%
- CONNECT 4" PERFORATED PVC DRAIN PIPE TO 4" PVC STORM DRAIN LATERAL, SEE DETAIL E/C6. 4" PERF PVC INV=87.01, 4" PVC SD INV=83.39
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=87.29
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=13', S=1.4%
- (N) CLEAN-OUT, SEE DETAIL D/C6. PERF PIPE INV=87.12
- (N) 4" PERFORATED PVC DRAIN PIPE, SEE DETAIL C/C6. L=9', S=0%
- CONNECT 4" PERFORATED PVC DRAIN PIPE TO 4" PVC STORM DRAIN LATERAL, SEE DETAIL E/C6. 4" PERF PVC INV=87.12, 4" PVC SD INV=82.41
- (N) 4" PVC SD LATERAL, L=6' S=2.0%
- (N) 6" PVC STORM DRAIN, L=19' S=52.6%
- STORM DRAIN TO DAYLIGHT ONTO (N) ENERGY DISSIPATER, SEE DETAIL H/C6
- (N) 12" NYLOPLAST DRAIN BASIN W/ 12" DOME GRATE, OR EQUIVALENT. GRATE=85.00, 6" INV OUT=85.00, SUMP=84.00. SEE DETAIL J/C6 FOR CONCRETE APRON.
- CONTRACTOR TO SLEEVE STORM DRAIN THROUGH WALL FOOTING. 6" PVC SD INV=82.00
- (N) 6" PVC STORM DRAIN, L=38' S=7.9%
- (N) 6" PVC STORM DRAIN, L=19' S=42.0%
- (N) 4" SOLID PVC DRAIN LINE TO BE CONNECTED TO RETAINING WALL DRAINAGE LINE
- (N) 3" PERFORATED PVC DRAIN PIPE PER ARCHITECTURAL PLANS. PIPE TO BE PLUMBED DOWN THROUGH MEMBRANE TO ELEVATED STORM DRAIN BELOW DECK. SEE DETAIL K/C6 FOR PICTORIAL REFERENCE ONLY. SEE ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILS. PIPE TO RUN BACK TO AND DOWN SUPPORT WALL, PIPE TO DISCHARGE ONTO ROCK SPLASH PAD AT GRADE. SEE DETAIL I/C6
- (N) 3" PERFORATED PVC DRAIN PIPE PER ARCHITECTURAL PLANS. PIPE TO BE PLUMBED DOWN THROUGH MEMBRANE TO ELEVATED STORM DRAIN BELOW DECK. SEE DETAIL K/C6 FOR PICTORIAL REFERENCE ONLY. SEE ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILS. PIPE TO RUN TO AND DOWN OUTSIDE SUPPORT WALL, PIPE TO BE CONNECTED TO STORM DRAIN AS SHOWN.
- CONTRACTOR TO SLEEVE STORM DRAIN THROUGH WALL FOOTING. 4" PVC SD INV=81.00
- (N) 4" PVC STORM DRAIN, L=7', S=57.0%
- CONTRACTOR TO SLEEVE STORM DRAIN THROUGH WALL FOOTING. 4" PVC SD INV=78.00
- (N) 4" PVC STORM DRAIN, L=15', S=53.0%
- (N) 6" ROUND GRATE (NDS-60S OR EQUIVALENT) INLET TO BE PLUMBED THROUGH ADDITION, SEE ARCHITECTURAL PLANS FOR DETAILS. GRATE=87.82, INV=76.00
- (N) 4" PVC STORM DRAIN, L=13', S=7.7%
- CONNECT 4" PERFORATED PVC DRAIN PIPE TO 6" PVC STORM DRAIN, SEE DETAIL F/C6.

LEGEND

- | | |
|-----|--|
| ■ | (N) AREA DRAIN/CATCH BASIN (AD OR CB) |
| •DS | (N) DOWNSPOUT |
| •AD | (N) AREA DRAIN |
| •CO | (N) CLEAN-OUT |
| —WD | (N) WALL DRAIN CONNECTION |
| —SD | (N) STORM DRAIN |
| —D | (N) SOLID DRAIN LINE FOR WALL DRAIN CONNECTION |
| --- | (N) PERFORATED PVC DRAIN PIPE |

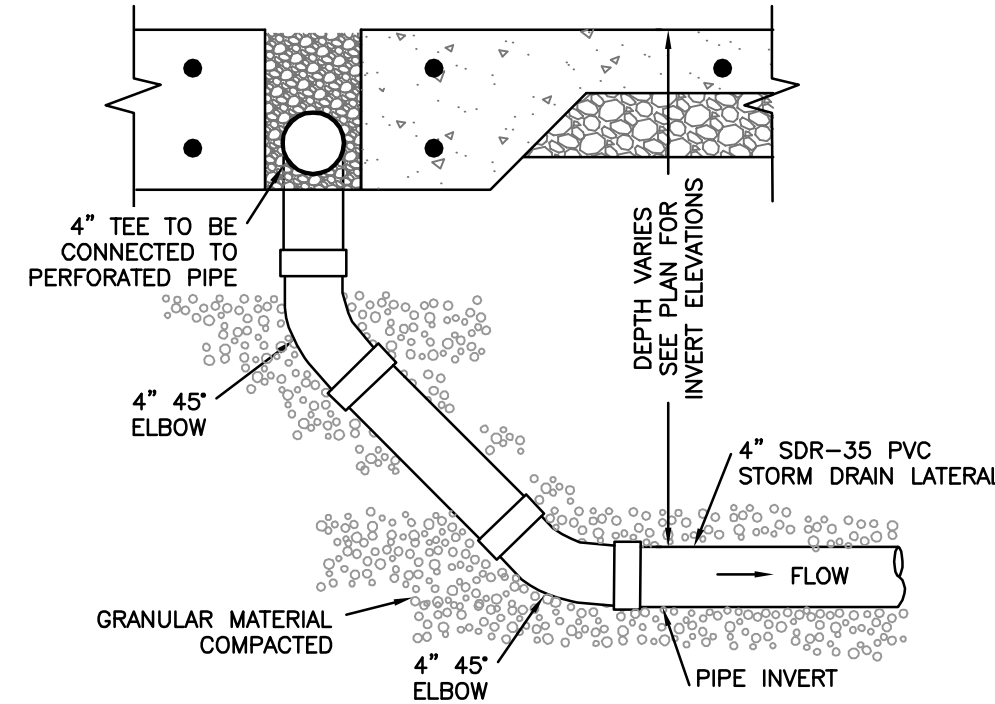
- STORM DRAIN NOTES:
- ALL STORM DRAIN LATERALS ARE 4" PVC AND HAVE A MINIMUM SLOPE OF 1.0%, UNLESS NOTED OTHERWISE.
 - ALL STORM DRAIN PIPE TO BE SDR-35 PVC (OR STRONGER) OR ADS N-12 HDPE PIPE (OR EQUIVALENT).
 - STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS.
 - ALL WALLS AND DRAINAGE BEHIND WALLS TO BE DESIGNED BY OTHERS. WALL DRAINS AND SUBSURFACE DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM AND ARE TO USE DRAIN LINES SHOWN.
 - REDUCER TO BE USED TO CONNECT GRATES AND HOUSING TO PVC PIPE SHOWN.
 - ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND AND INSTALLED WITH PIPE MANUFACTURER'S RECOMMENDED BENDING RADIUS.
 - ALL ELECTRICAL, TV, COMMUNICATION, AND GAS LINES TO BE COORDINATED BY GENERAL CONTRACTOR
 - FOR TRENCH SECTION SEE G/C6.





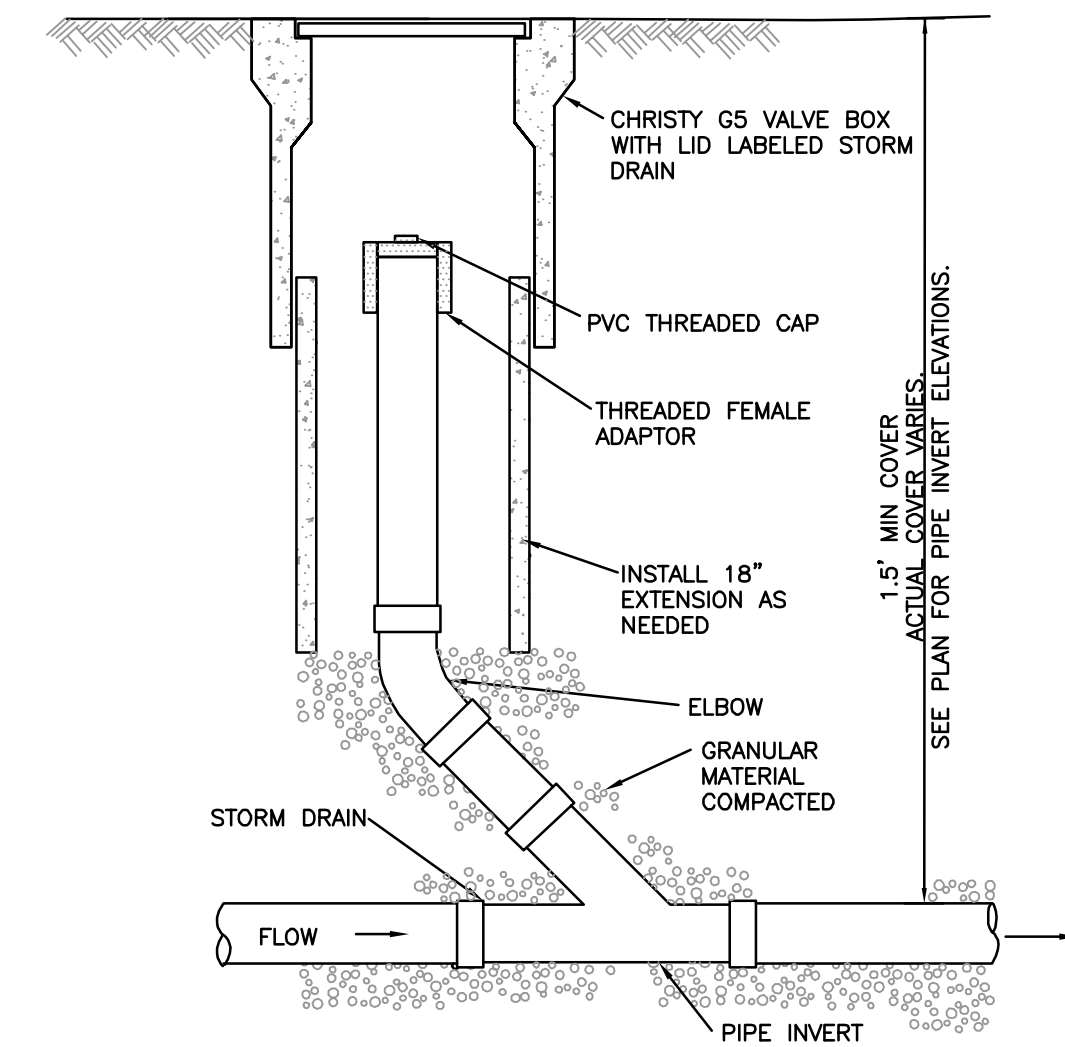
CONCRETE SECTION W/ GRAVEL SPACING WITHIN DRIVEWAY

SCALE: 1"=1'



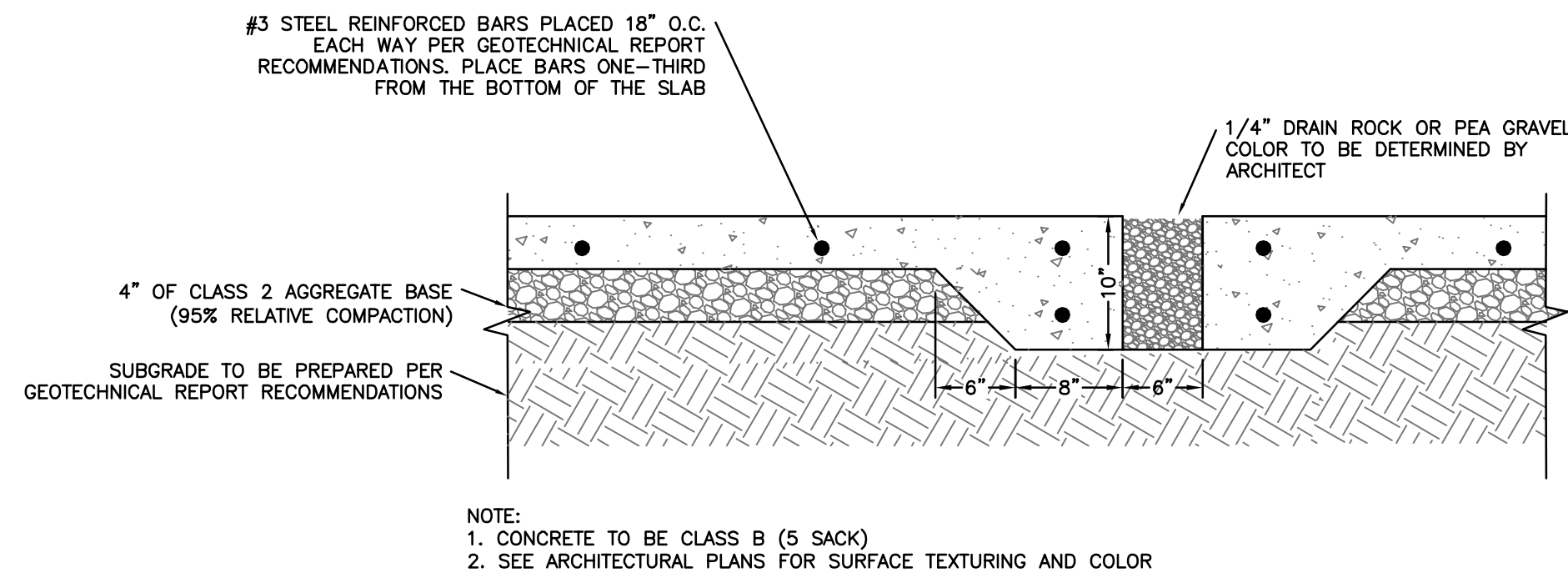
4" PERFORATED PVC DRAIN LATERAL

SCALE: NTS



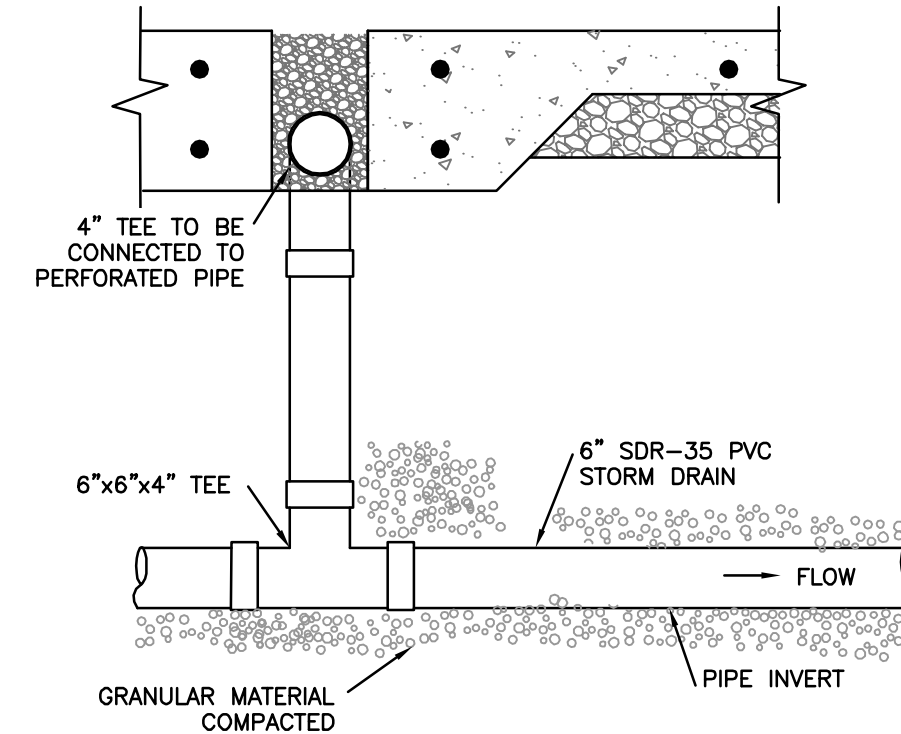
STORM DRAIN CLEAN-OUT

SCALE: NTS



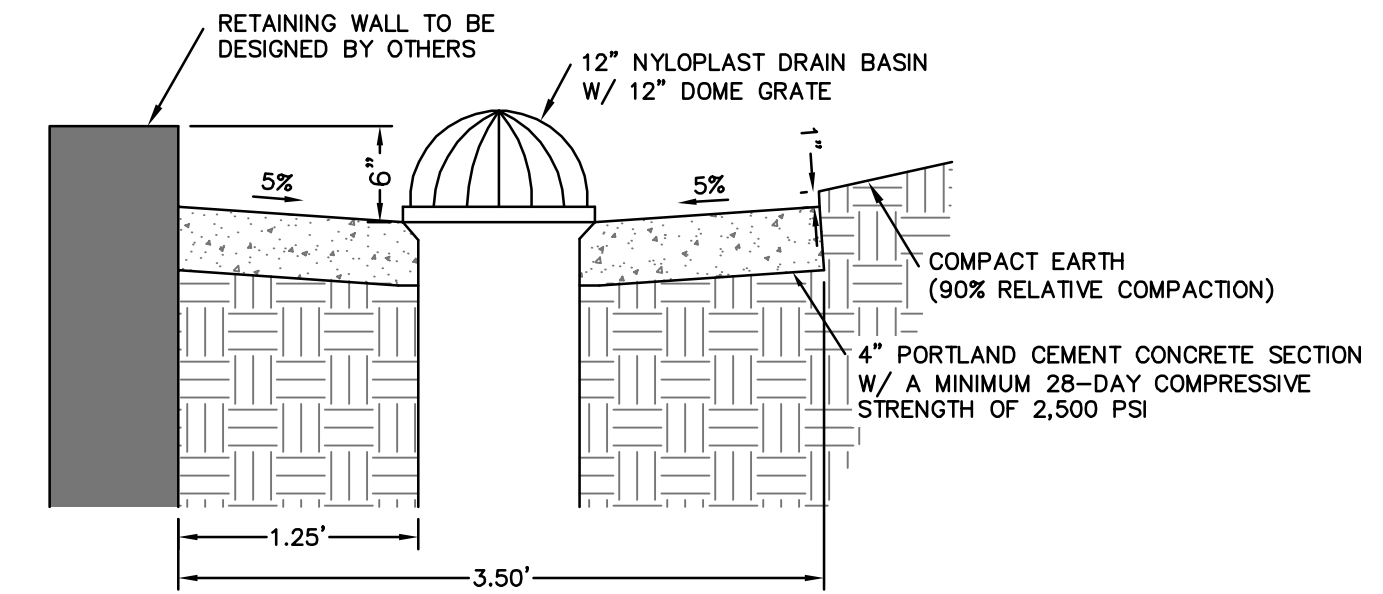
CONCRETE SECTION W/ GRAVEL SPACING

SCALE: 1"=1'



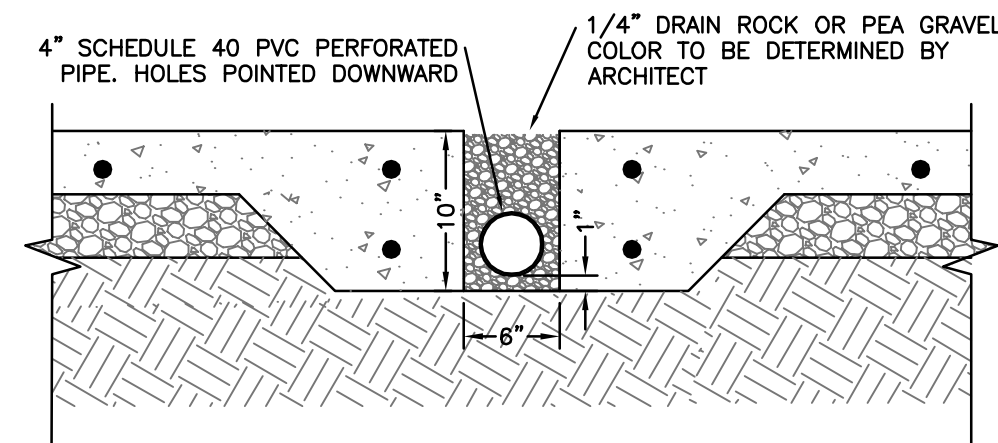
4" PERFORATED PVC DRAIN SD CONNECTION

SCALE: NTS



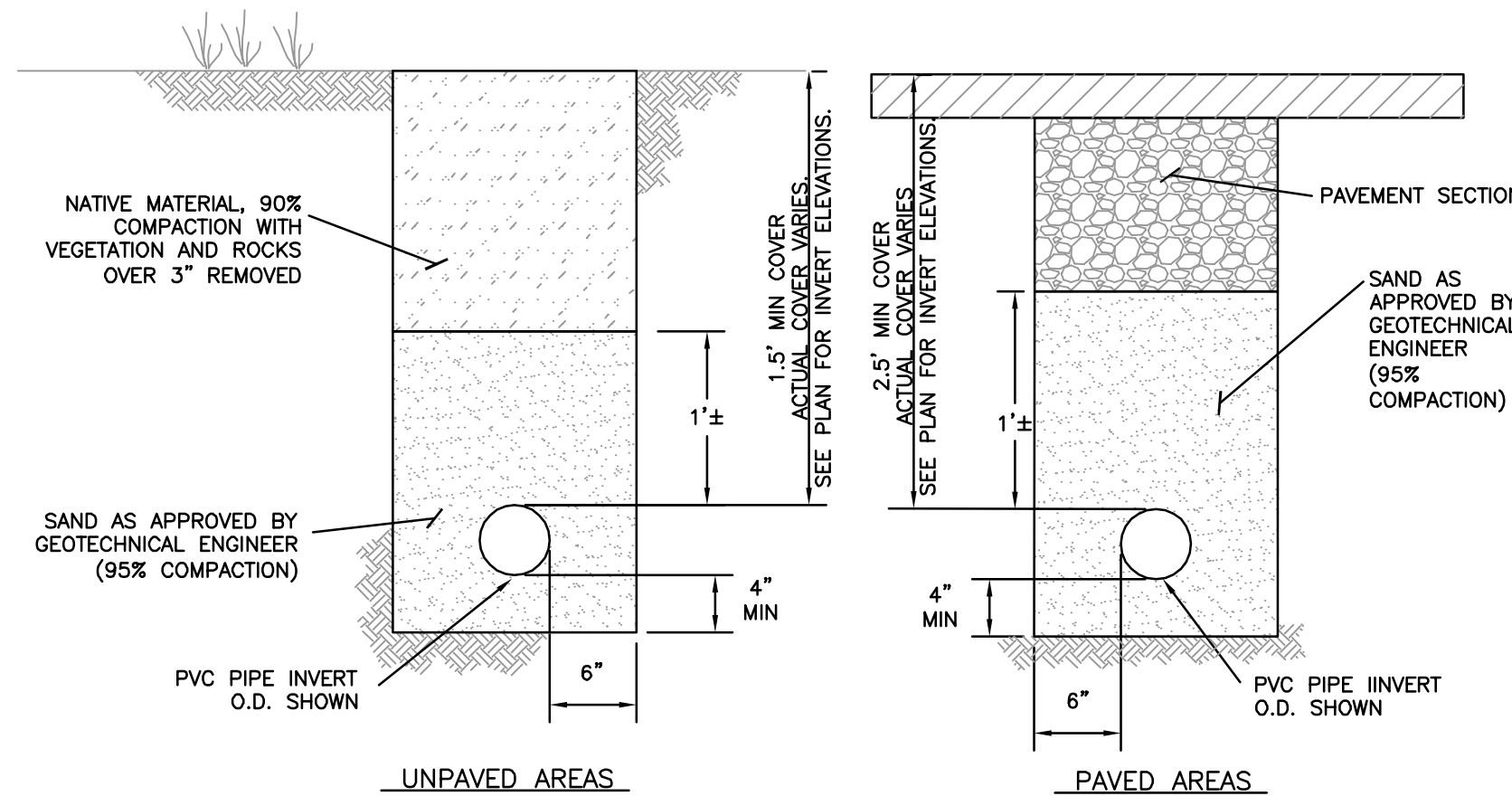
DRAIN BASIN CONCRETE APRON

SCALE: NTS



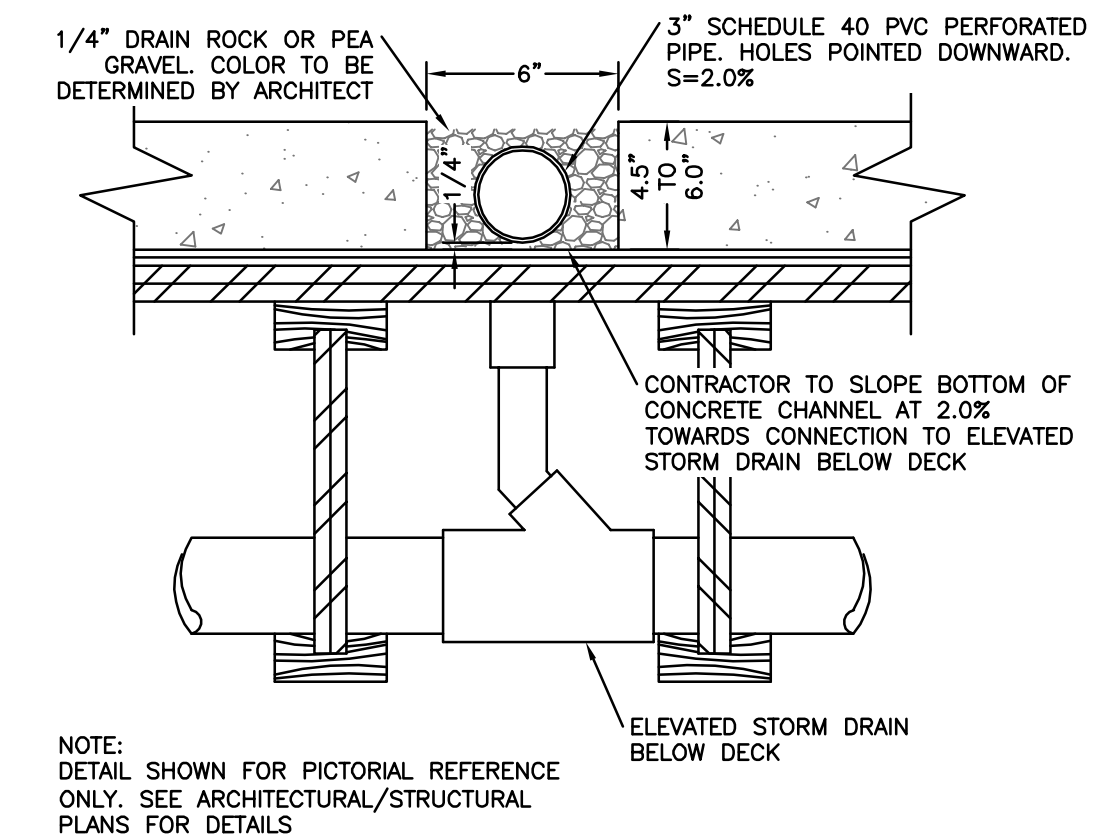
4" PERFORATED PVC DRAIN

SCALE: 1"=1'



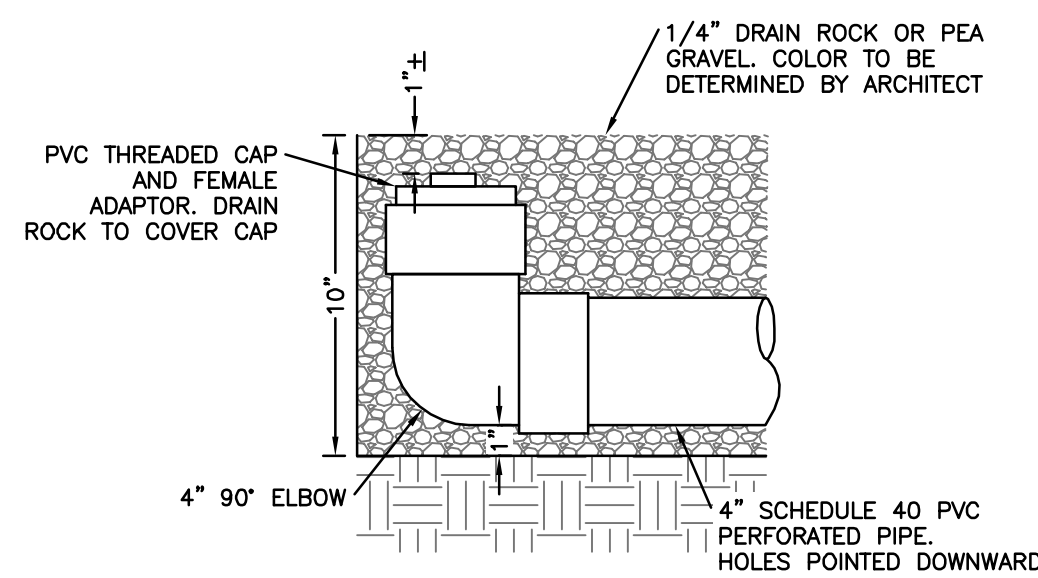
TRENCHING DETAIL

SCALE: NTS



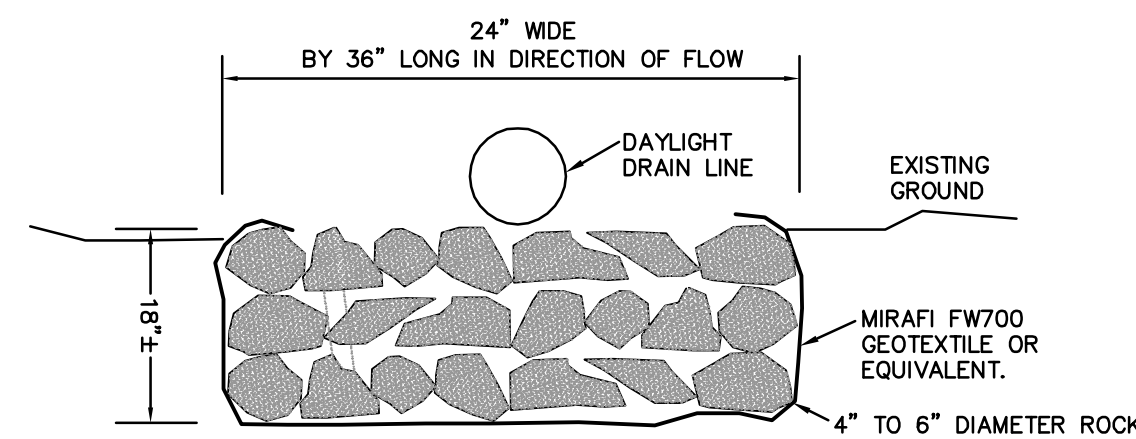
3" PERFORATED PVC DRAIN

SCALE: NTS



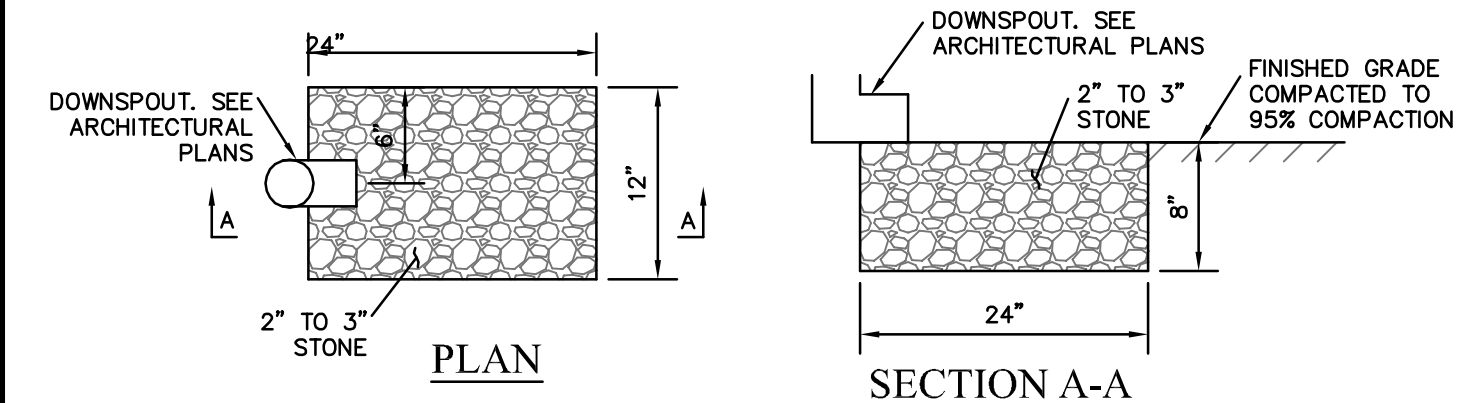
4" PERFORATED PVC DRAIN CLEAN-OUT

SCALE: 1"=0.5'



ENERGY DISSIPATER

SCALE: NTS



ROCK SPLASH PAD

SCALE: NTS

EROSION/DUST CONTROL NOTES

1. VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES
C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT.
(MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)
3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
4. ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF RMA-PLANNING AND RMA-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
A) PROVIDE EQUIPMENT OPERATORS WITH PROTECTIVE MASKS AND PROTECTIVE CLOTHING.
B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
8. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
10. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
11. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
12. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

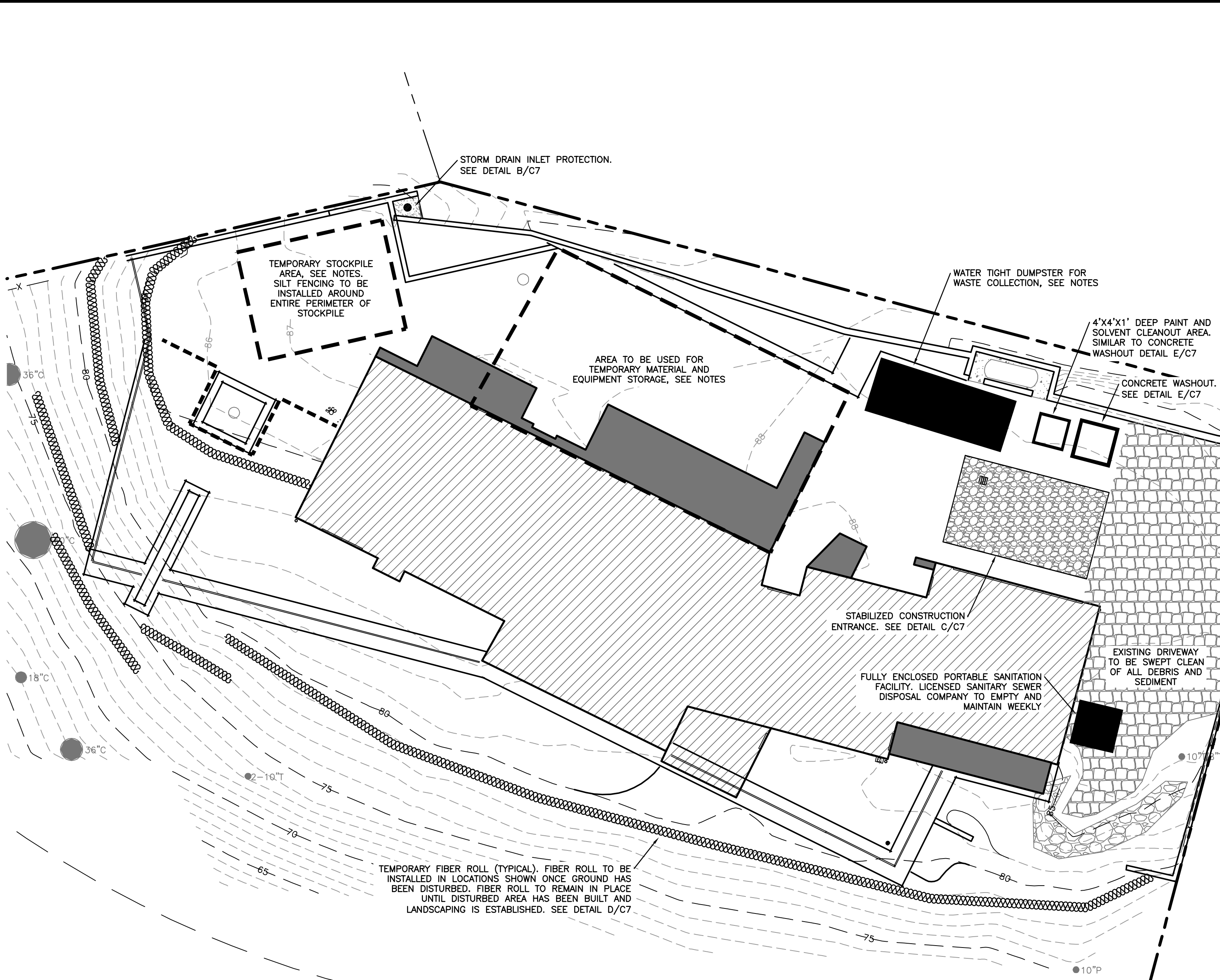
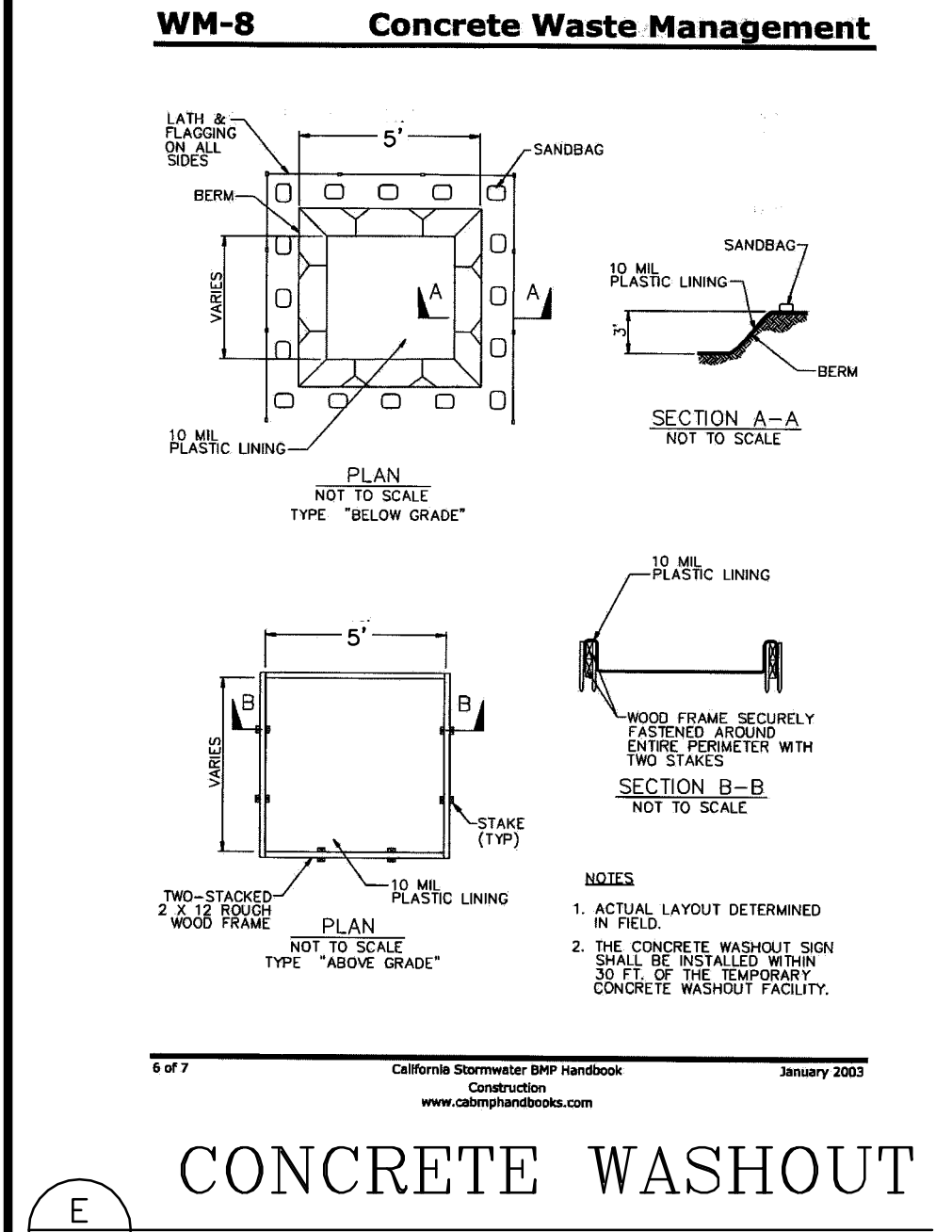
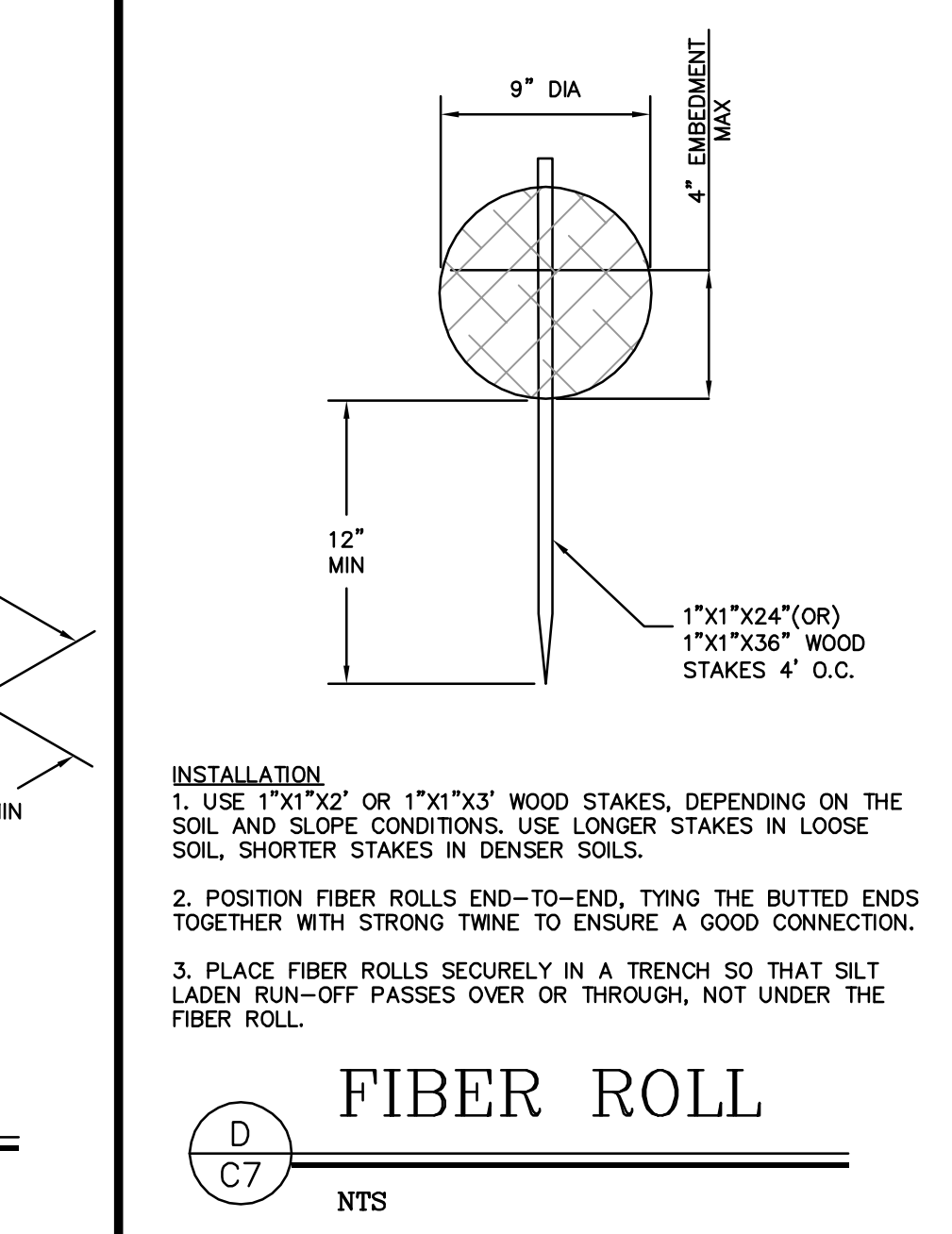
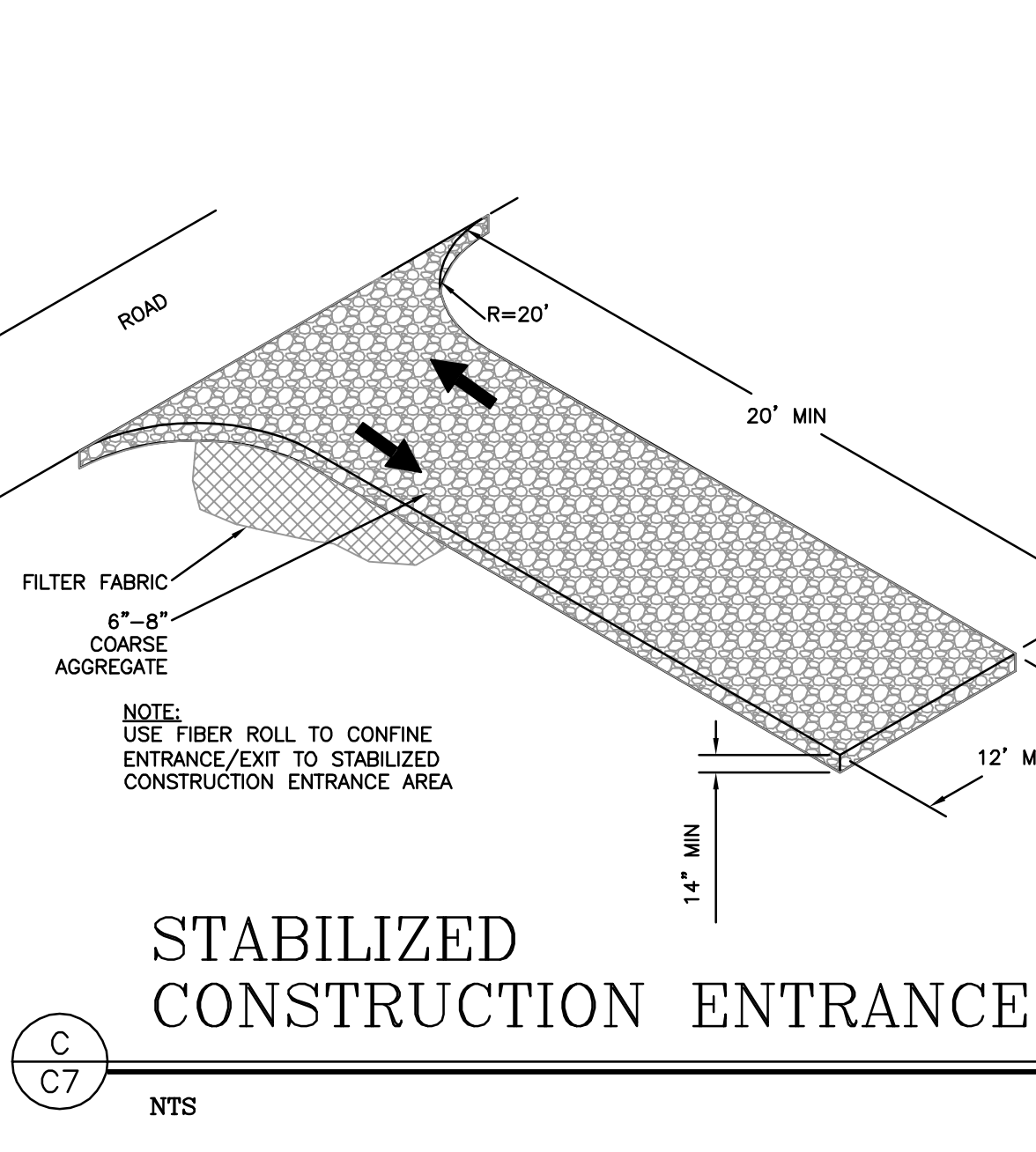
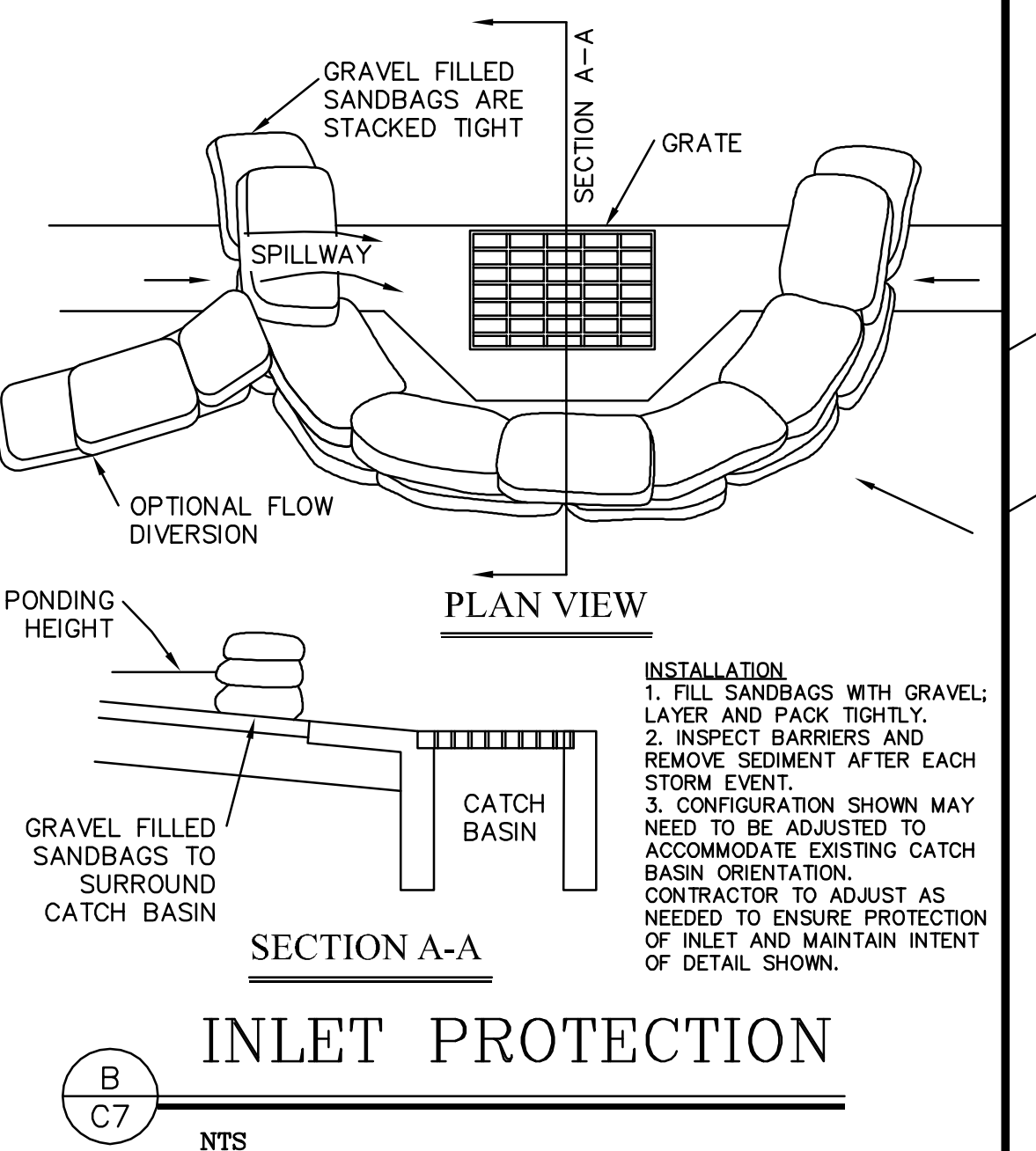
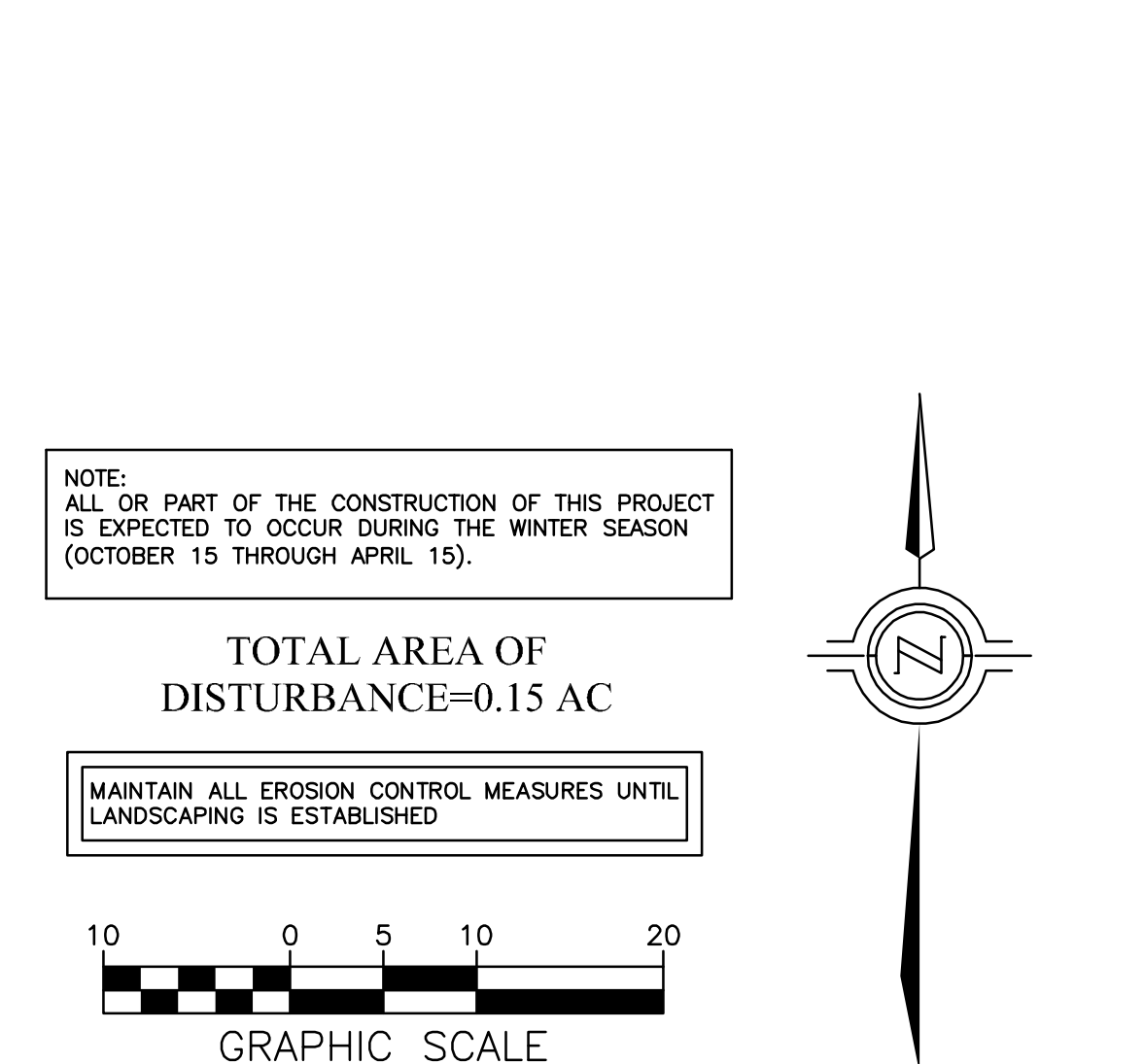
- STORM DRAIN INLET PROTECTION**
1. STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AROUND EXISTING AND NEW STORM DRAIN INLETS AS REQUIRED TO PREVENT ANY SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM.
2. INSTALL STORM DRAIN INLET PROTECTION AS SHOWN ON DETAIL B/C7.
3. STORM DRAIN INLET PROTECTION SHALL BE INSPECTED MONTHLY DURING DRY PERIODS AND IMMEDIATELY AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE PERIMETER OF THE BARRIER.
- FIBER ROLL**
1. FIBER ROLLS WILL BE INSTALLED AT LOCATIONS SHOWN ON THIS PLAN AND PER DETAIL D/C7. CONTRACTOR MAY USE SILT FENCE AS AN ALTERNATE/SUPPLEMENTAL EROSION CONTROL/SEDIMENT BARRIER.

- TYPICAL CONSTRUCTION ENTRANCE**
1. CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER DETAIL C/C7 AT THE LOCATION SHOWN ON THE PLANS.
2. RUN-OFF FROM CONSTRUCTION ENTRANCE SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
3. ALL VEHICLES LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEARED OF DIRT, MUD, OR ANY DEBRIS BEFORE ENTERING THE MAIN ROAD.
4. ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE MAIN ROAD ADJACENT TO THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
5. THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED PERIODICALLY TO ENSURE PROPER FUNCTION.
6. THE CONSTRUCTION ENTRANCE MAY BE FIELD MODIFIED TO MEET SITE CONDITIONS.

- CONCRETE WASHOUT**
1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
6. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
7. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
8. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

- MATERIAL DELIVERY AND STORAGE**
1. LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
2. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
3. A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
4. A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
5. SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
6. INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
7. THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
8. MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
9. BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
10. STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
11. MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
12. PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
13. AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
14. KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
15. ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

- TREE PROTECTION**
1. AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED ADJACENT TO CONSTRUCTION SITES, A BOUNDARY OF ORANGE FENCING SUPPORTED BY WOOD OR METAL STAKES OR FUNCTIONAL EQUIVALENT WILL BE ERECTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES OR CLOSER WHERE SPECIFICALLY APPROVED BY A QUALIFIED FORESTER, ARBORIST, OR THE COUNTY OF MONTEREY, WHERE GUIDANCE OF A TREE PROFESSIONAL IS USED, ENCRoACHMENT INTO THE DRIP LINE OF RETAINED TREES MAY OCCUR IN ORDER TO MINIMIZE TREE REMOVALS.
2. NO EXCAVATION, STORAGE OF EXCAVATED FILL, EQUIPMENT, OR CONSTRUCTION MATERIALS, NOR PARKING OF VEHICLES WILL BE PERMITTED WITHIN THE DRIP LINES OF THESE FENCE PROTECTED TREES.
3. NO SOIL MAY BE REMOVED FROM WITHIN THE DRIP LINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL WILL EXCEED TWO INCHES WITHIN THE DRIP LINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER.
4. BARK INJURY TO ANY TREE FROM EQUIPMENT OR MATERIALS WILL BE PREVENTED BY FAITHFULLY RESPECTING THE TREE PROTECTION FENCING REQUIRED ABOVE.
5. ROOTS EXPOSED BY EXCAVATION WILL BE PRUNED TO PROMOTE CALLUSING, CLOSURE, AND REGROWTH, AND WILL BE RECOVERED AS SOON AS POSSIBLE IF TREE HEALTH IS TO BE REASONABLY MAINTAINED.
- WASTE COLLECTION AREA**
1. WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
2. LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
3. TRASH RECEPITACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
4. CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
5. FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
6. ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
7. CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
8. STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELEVATE WASTE FROM SURFACE.
9. WASTE STORED IN STOCKPILES SHALL BE SECURLY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF HAUL OR TRANSFER TO DUMPSITER.
10. SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
11. MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.



I&S ENGINEERING AND SURVEYING, INC.

2460 Garden Road, Suite G, Monterey, California 93940
P: 831.655.2723 F: 831.655.3425
LandSengineers.com

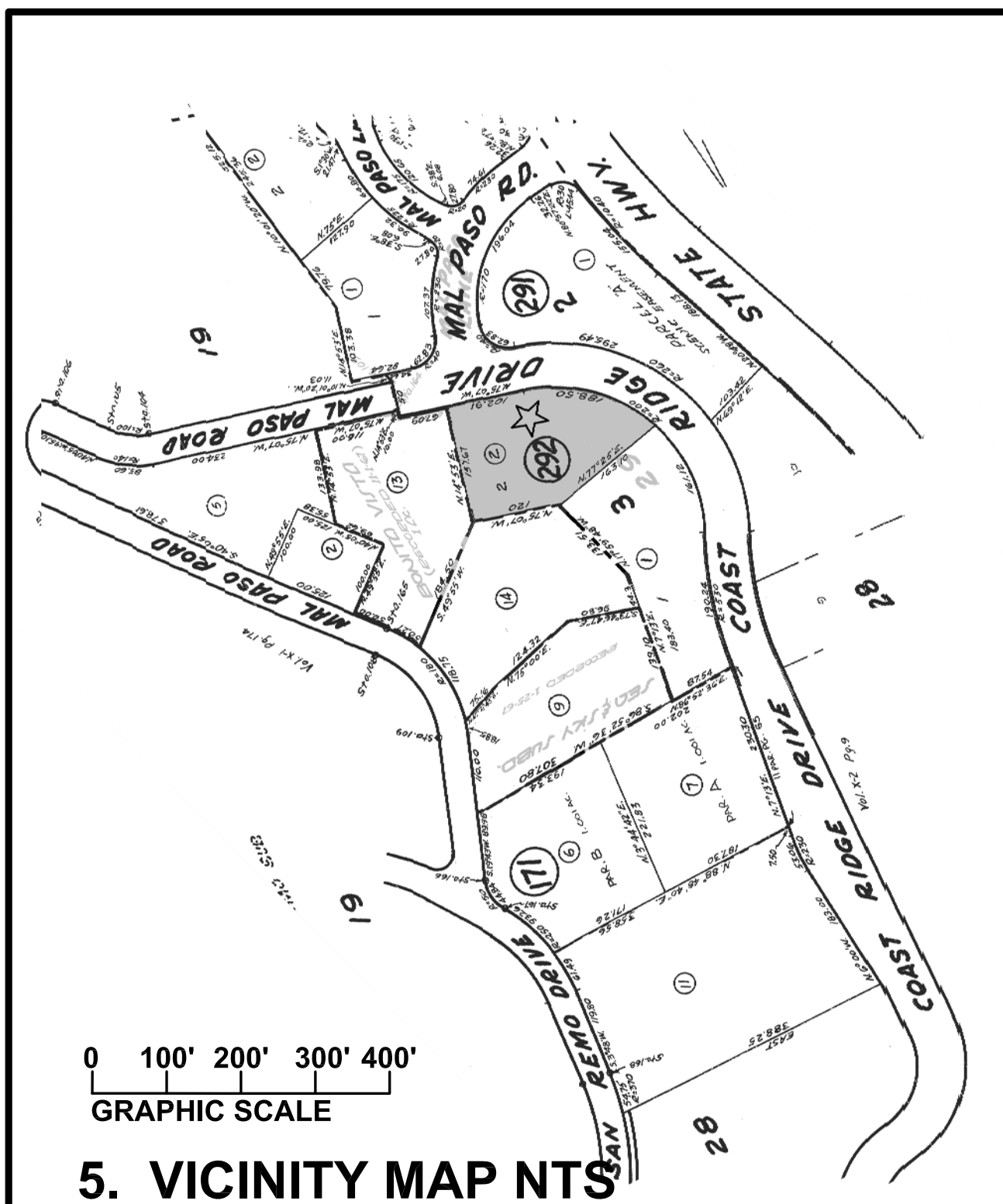
REGISTERED PROFESSIONAL ENGINEER
MARK R. STERNBERG
No. 69930
EXP. 9-30-18
CIVIL
STATE OF CALIFORNIA

DRAWN BY: MRS
DESIGNED BY: MRS
DATE: 10-23-17
SCALE: AS SHOWN
JOB NUMBER: 17-43
LAST REVISED: N/A
REVISED BY: N/A

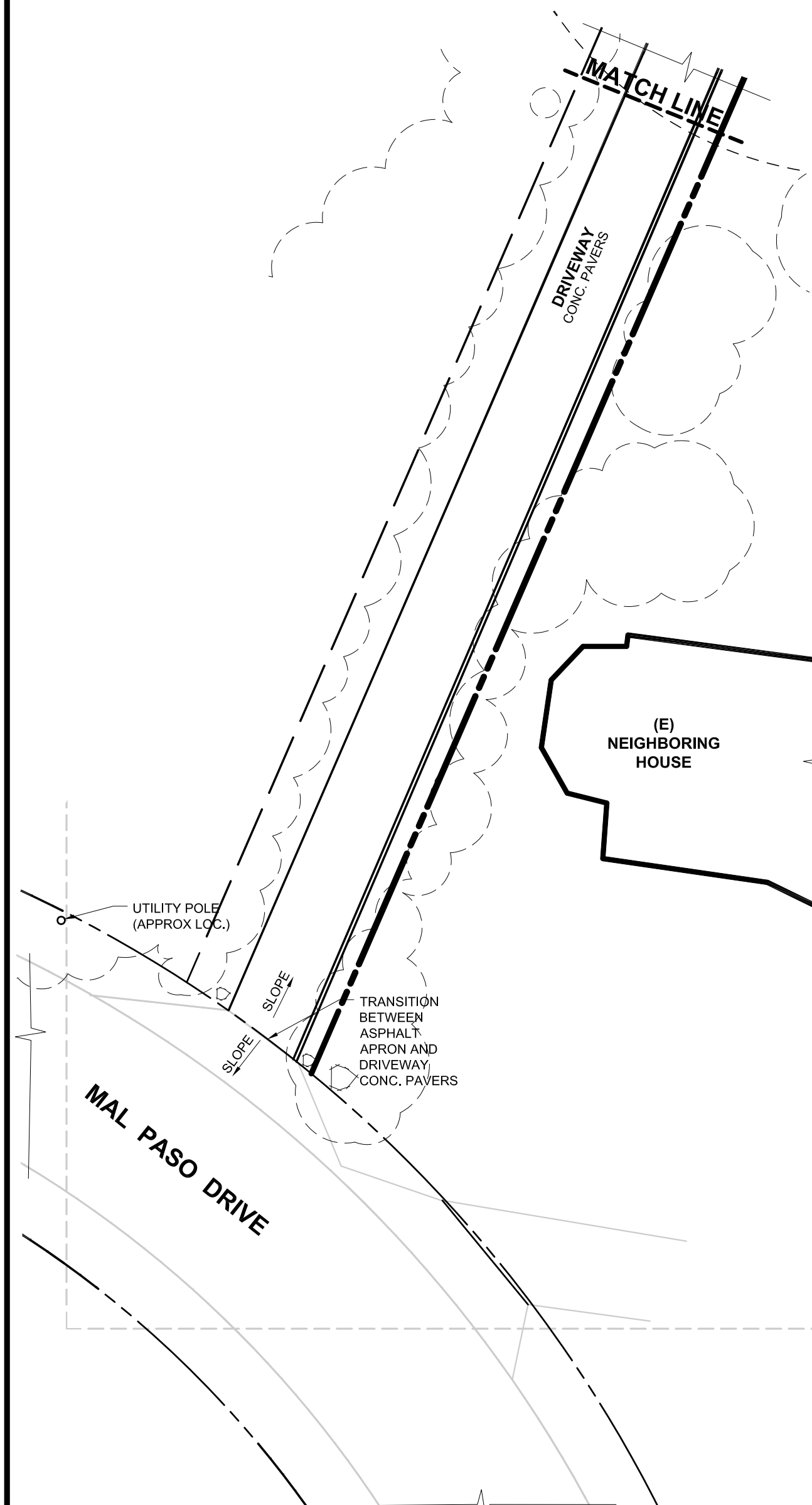
CONSTRUCTION MANAGEMENT
AND EROSION CONTROL PLAN

TRAINA RENOVATION
170 MAL PASO ROAD
CARMEL HIGHLANDS, CA 93923
APN 243-292-002

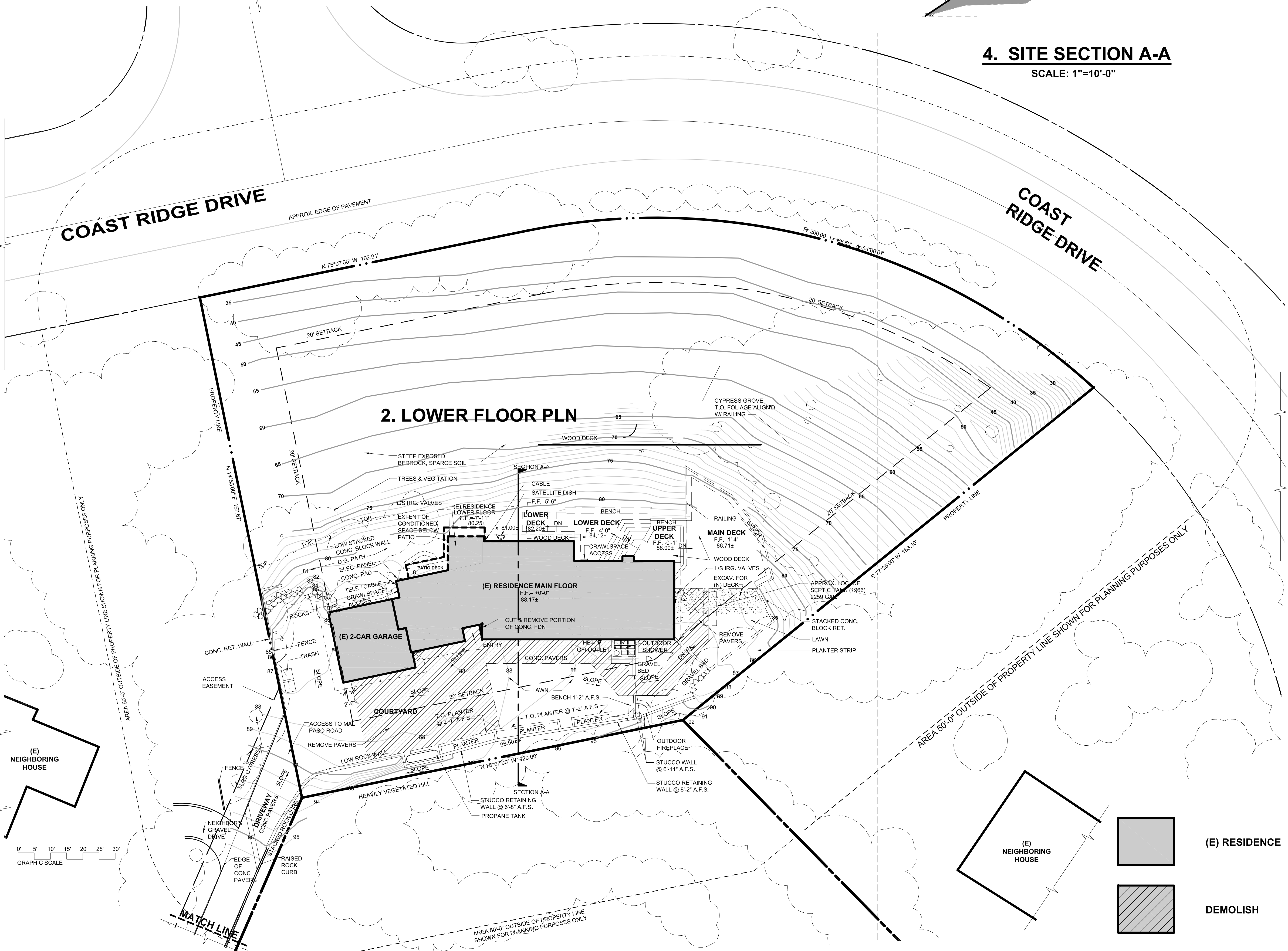
SHEET C7
OF
7 SHEETS



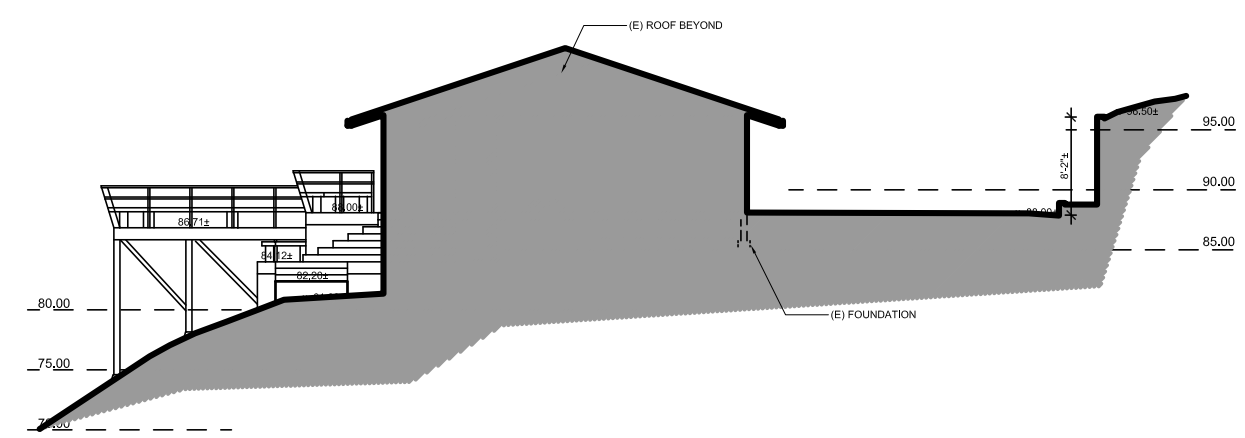
5. VICINITY MAP NTS



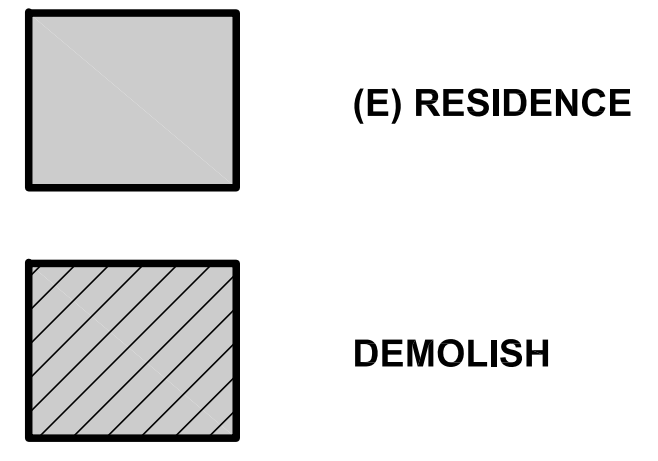
3. DRIVEWAY ACCESS



1. SITE PLAN - MAIN LEVEL



4. SITE SECTION A-A
SCALE: 1"=10'-0"



BUILDING KEY

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
△	
△	
△	

PROJECT NO:	1609
DRAWN BY:	STAFF
CHECKED BY:	EA
DESCRIPTION: EXISTING / DEMOLITION SITE PLAN SCALE: 1/16"=1'-0"	

RONRAD ASTURI STUDIOS, INC. expressly reserves its common law copyright and other property rights in these plans. These plans may not be reproduced, changed, copied, assigned to any third party or used for any instruction other than that intended without first obtaining the written permission and consent of RONRAD ASTURI STUDIOS, INC.

PROJECT:

**TRAINA
RENOVATION**
170 MAL PASO RD.
ARMEL HIGHLANDS, CA 93921
APN: 243-292-002

TRAINING RENOVATION DESIGN DEVELOPMENT

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

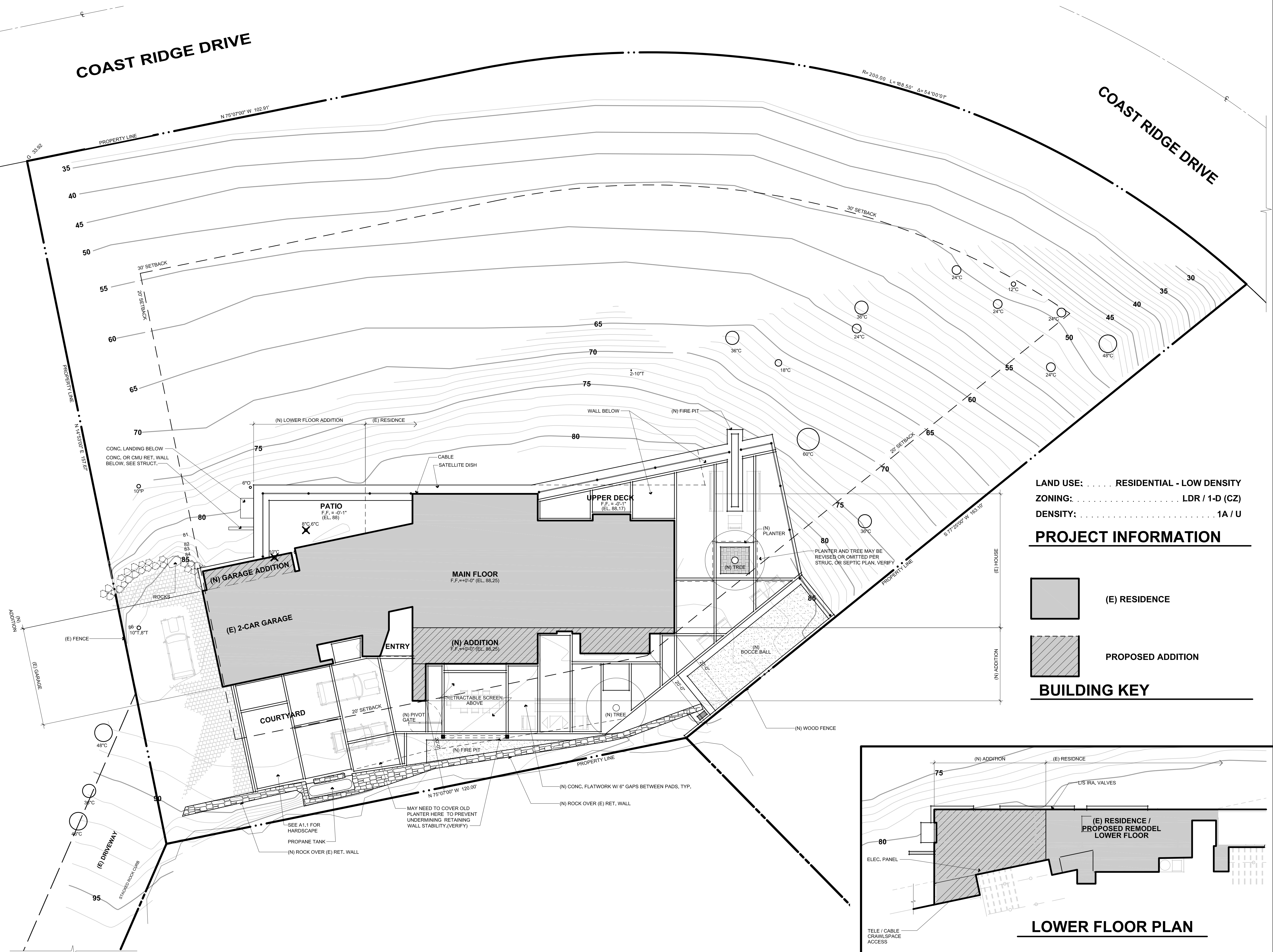
REVISIONS	
1	
2	
3	

PROJECT NO:	1609
DRAWN BY:	STAFF
CHECKED BY:	EA
DESCRIPTION:	
EXISTING / DEMOLITION	
SITE PLAN	
SCALE: 1"=10'-0"	

SHEET:

A1.0

PRINTED: OCTOBER 23, 2017



ONRAD ASTURI STUDIOS, INC. expressly reserves its common law copyright and other property rights in these plans. These plans may not be reproduced, changed, copied, assigned to any third party or used for any construction other than that intended without first obtaining the written permission and consent of ONRAD ASTURI STUDIOS, INC.

PROJECT:

**TRAINA
RENOVATION**
170 MAL PASO RD.
ARMEL HIGHLANDS, CA 93921
APN: 243-292-002

TRAIN A RENOVATION DESIGN DEVELOPMENT

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
1	
2	
3	

PROJECT NO: 1609

RAWN BY: STAFF

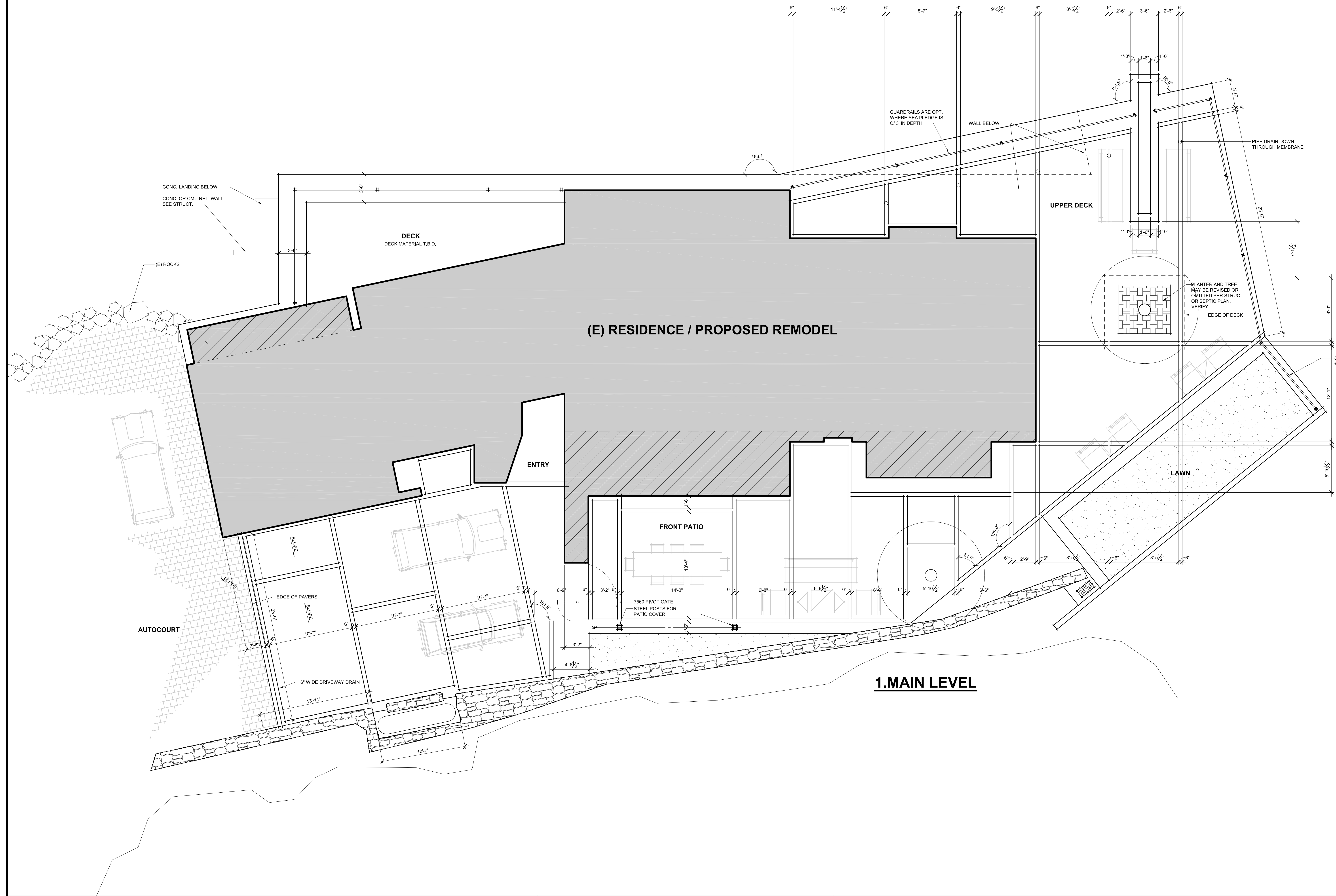
CHECKED BY: EA

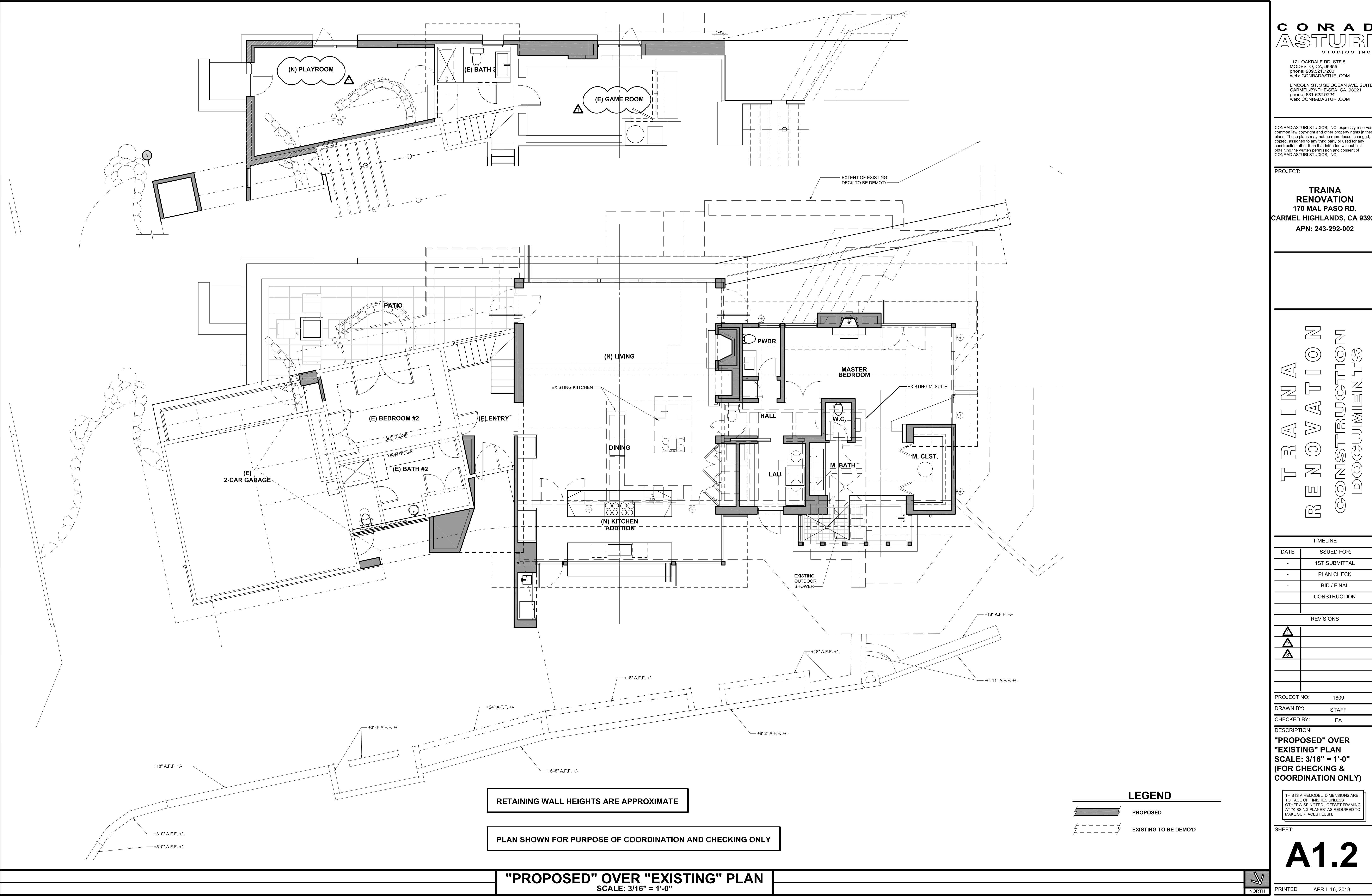
DESCRIPTION:
NEW / PROPOSED
HARDSCAPE PLAN
SCALE: 3/16"=1'-0"

HEET:

A1.1

PRINTED: OCTOBER 23, 2017





TRAINA
RENOVATION
CONSTRUCTION
DOCUMENTS

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
Δ	
Δ	
Δ	

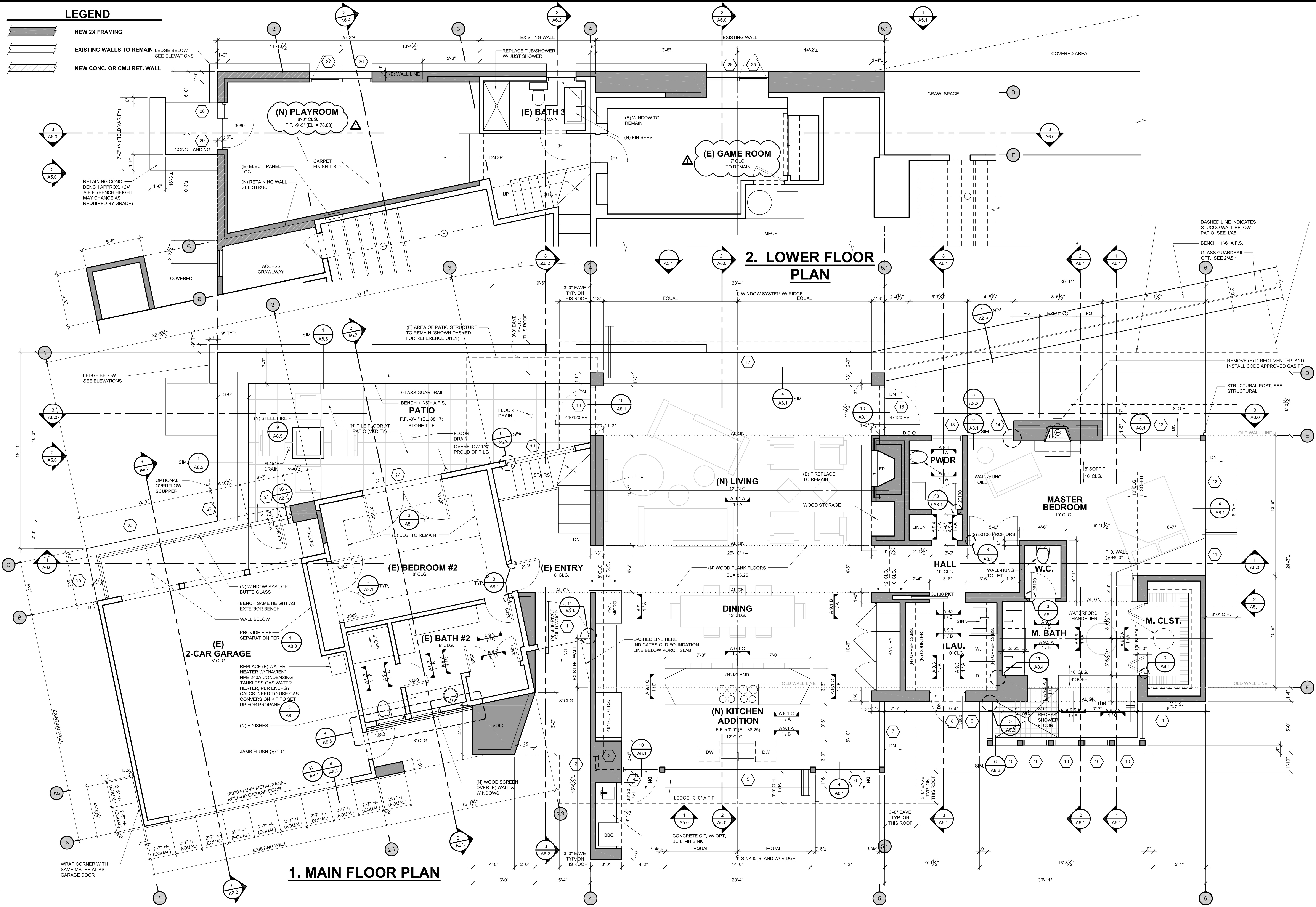
PROJECT NO:	1609
DRAWN BY:	STAFF
CHECKED BY:	EA

DESCRIPTION:
"PROPOSED" OVER
"EXISTING" PLAN
SCALE: 3/16" = 1'-0"
(FOR CHECKING &
COORDINATION ONLY)

THIS IS A REMODEL. DIMENSIONS ARE
TO FACE OF FINISHES UNLESS
OTHERWISE NOTED. OFFSET FRAMING
AT "KISSING PLANES" AS REQUIRED TO
MAKE SURFACES FLUSH.

SHEET:

A1.2



CONRAD ASTURI
STUDIOS INC.

1121 OAKDALE RD. STE 5
MODESTO, CA. 95355
phone: 209.521.7200
web: CONRADASTURI.COM

LINCOLN ST. 3 SE OCEAN AVE. SUITE 3
CARMEL BY THE SEA, CA. 93921
phone: 831-622-9724
web: CONRADASTURI.COM

CONRAD ASTURI STUDIOS, INC. expressly reserves all common law copyright and other property rights in these plans. These plans may not be reproduced, changed, copied, assigned to any third party or used for any construction other than that intended without first obtaining the written permission and consent of CONRAD ASTURI STUDIOS, INC.

PROJECT:

TRAINA RENOVATION
170 MAL PASO RD.
CARMEL HIGHLANDS, CA 93923
APN: 243-292-002

RENOVATION
CONSTRUCTION
DOCUMENTS

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

PROJECT NO: 1609

DRAWN BY: STAFF

CHECKED BY: EA

DESCRIPTION:
NEW / PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

THIS IS A REMODEL. DIMENSIONS ARE TO FACE OF FINISHES UNLESS OTHERWISE NOTED. OFFSET FRAMING AT "KISSING PLANES" AS REQUIRED TO MAKE SURFACES FLUSH.

SHEET:

A2.0

PRINTED: APRIL 16, 2018

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
△	
△	
△	

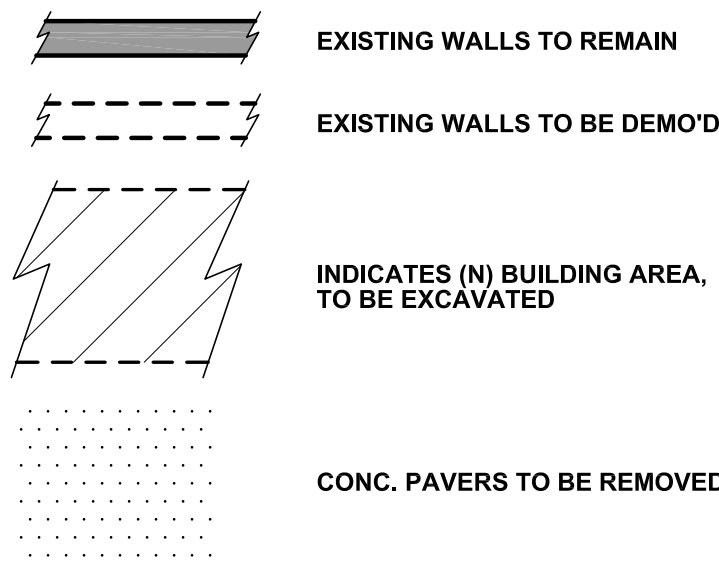
PROJECT NO: 1609
DRAWN BY: STAFF
CHECKED BY: EA
DESCRIPTION:
**EXISTING / DEMOLITION
FLOOR PLAN**
SCALE: 1/4"=1'-0"

SHEET:

D2.0

PRINTED: OCTOBER 23, 2017

LEGEND



2. LOWER FLOOR PLAN

1. MAIN FLOOR PLAN

EXISTING / DEMOLITION FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE: DIMENSIONS SHOWN ARE TO FACE OF EXISTING FINISHES
DOTS INDICATE PAVERS TO BE REMOVED

PROJECT:

**TRAINA
RENOVATION**
170 MAL PASO RD.
CARMEL HIGHLANDS, CA 93923
APN: 243-292-002

TRAINA
RENOVATION
DESIGN
DEVELOPMENT

TIMELINE

DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS

Δ	
Δ	
Δ	

PROJECT NO: 1609

DRAWN BY: STAFF

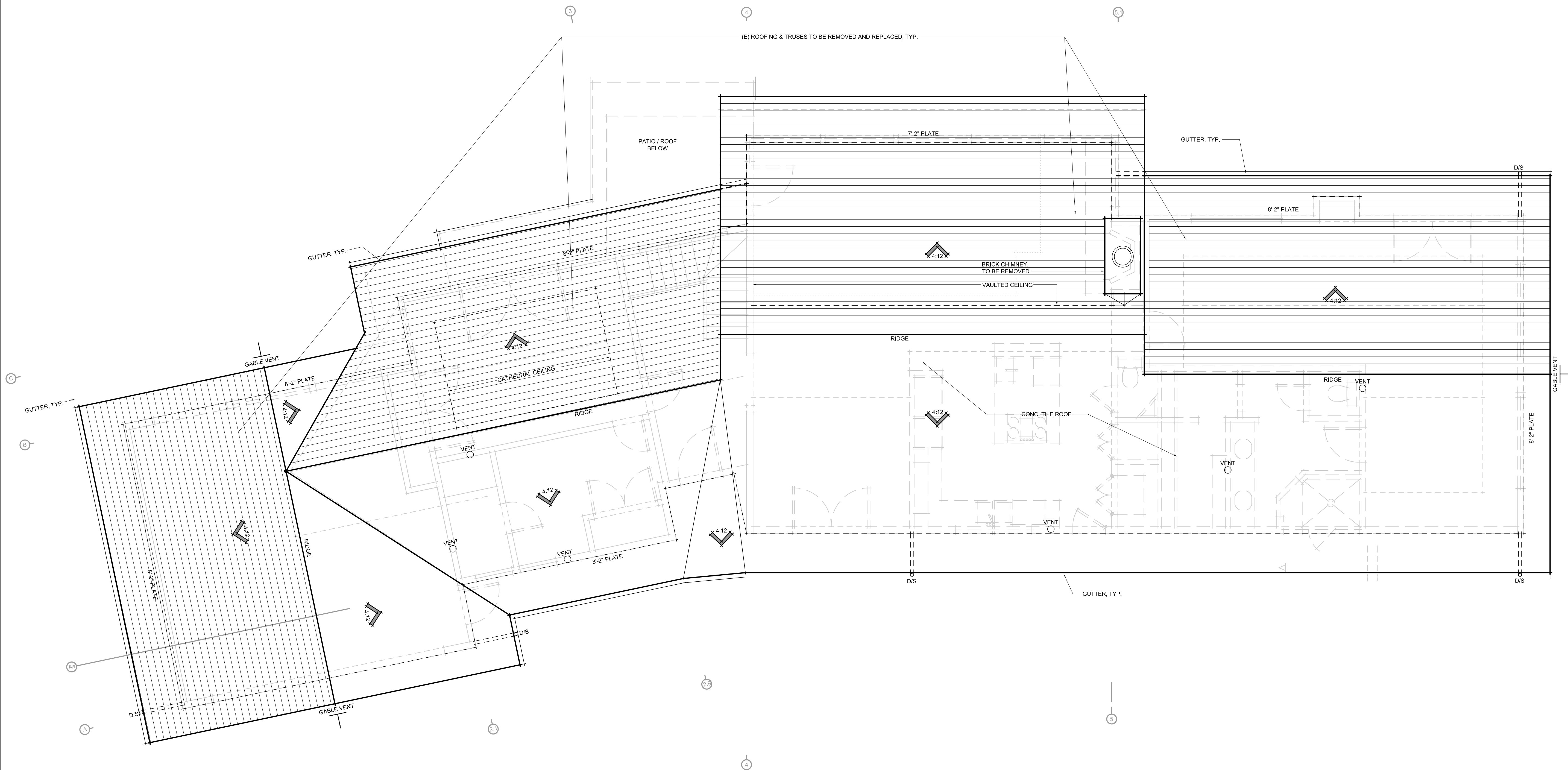
CHECKED BY: EA

DESCRIPTION:
**EXISTING / DEMOLITION
ROOF PLAN**
SCALE: 1/4"=1'-0"

SHEET:

D4.0

PRINTED: OCTOBER 23, 2017



EXISTING / DEMOLITION ROOF PLAN
SCALE: 1/4"=1'-0"

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
▲	
▲	
▲	

PROJECT NO: 1609

DRAWN BY: STAFF

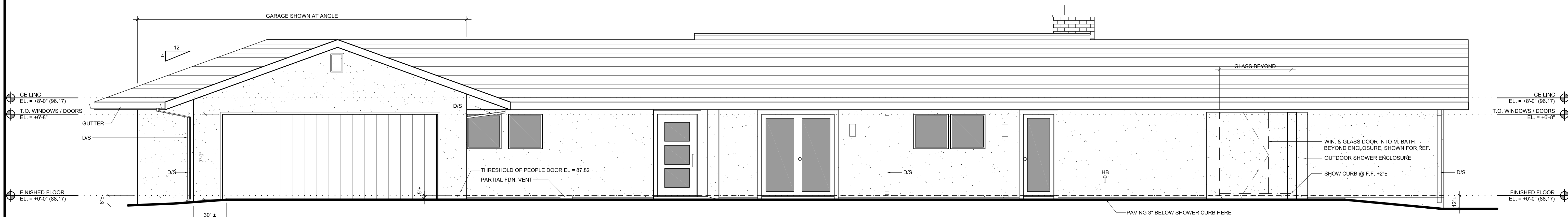
CHECKED BY: EA

DESCRIPTION:
EXISTING / DEMOLITION
ELEVATIONS
SCALE: 1/4"=1'-0"

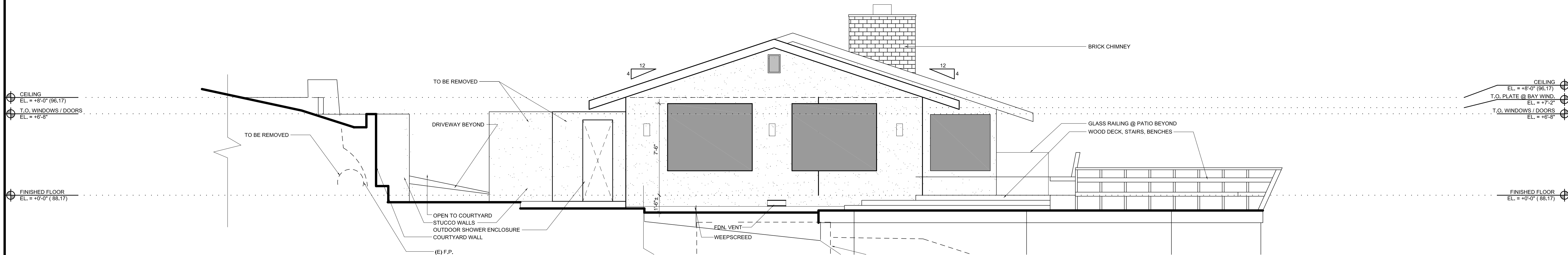
SHEET:

D5.0

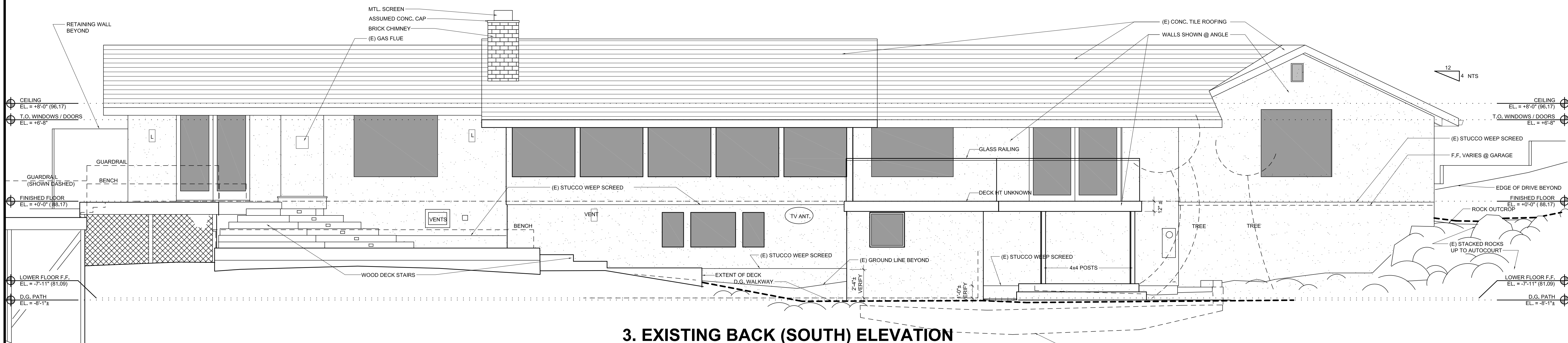
PRINTED: OCTOBER 23, 2017



1. EXISTING FRONT (NORTH) ELEVATION



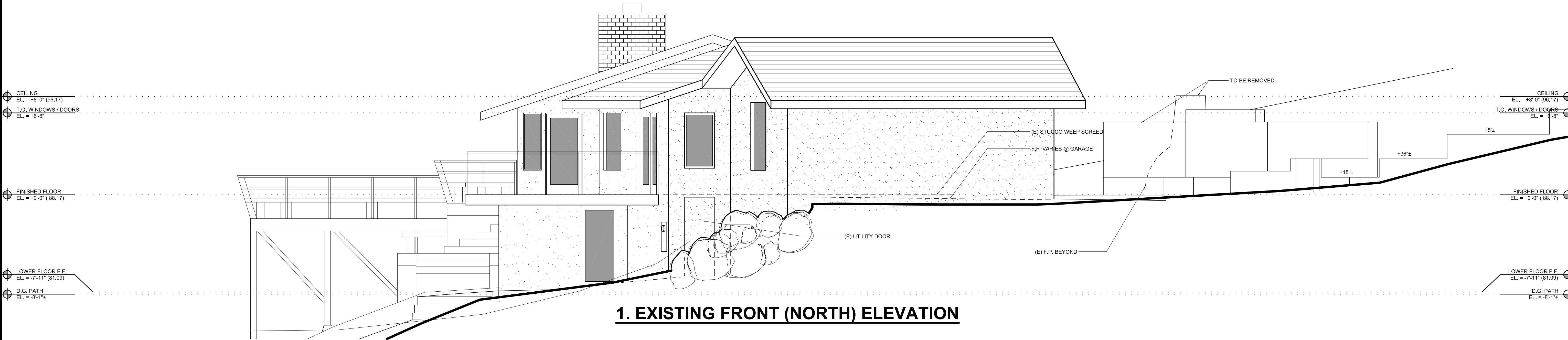
2. EXISTING SIDE (WEST) ELEVATION



3. EXISTING BACK (SOUTH) ELEVATION

EXISTING / DEMOLITION ELEVATIONS
SCALE: 1/4"=1'-0"





**CONRAD
ASTURI**
STUDIOS INC.

1121 OAKDALE RD. STE 5
MODESTO, CA. 95355
phone: 209.521.7200
web: CONRADASTURI.COM

LINCOLN SW OCEAN
CARMEL BY THE SEA, CA, 93921
phone: 831-622-9724

CONRAD ASTURI STUDIOS, INC. expressly reserves its common law copyright and other property rights in these plans. These plans may not be reproduced, changed, copied, assigned to any third party or used for any construction other than that intended without first obtaining the written permission and consent of CONRAD ASTURI STUDIOS, INC.

PROJECT:

**TRAINA
RENOVATION**
170 MAL PASO RD.
CARMEL HIGHLANDS, CA 93923
APN: 243-292-002

RENOVATION
DESIGN
DEVELOPMENT

EXISTING / DEMOLITION ELEVATIONS

SCALE: 1/4"=1'-0"



PROPANE TANK



UTILITY AREA



LOWER DOOR



EXISTING / DEMOLITION ELEVATIONS

SCALE: 1/4"=1'-0"

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

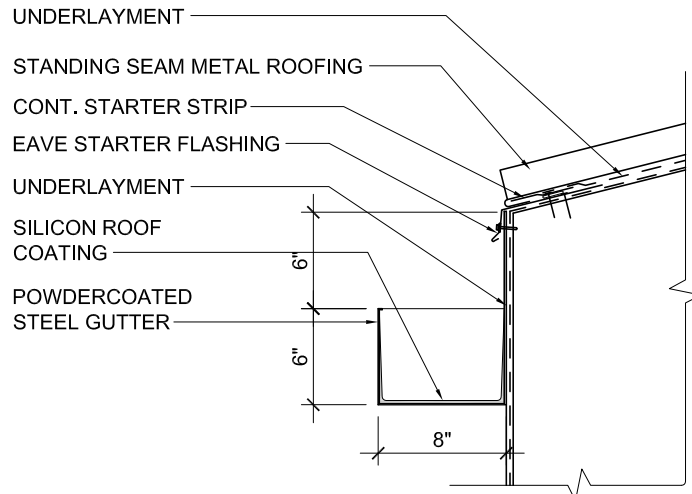
REVISIONS	
△	
△	
△	

PROJECT NO: 1609
DRAWN BY: STAFF
CHECKED BY: EA
DESCRIPTION:
**EXISTING / DEMOLITION
ELEVATIONS**
SCALE: 1/4"=1'-0"
**EXISTING / DEMOLITION
PHOTOS**

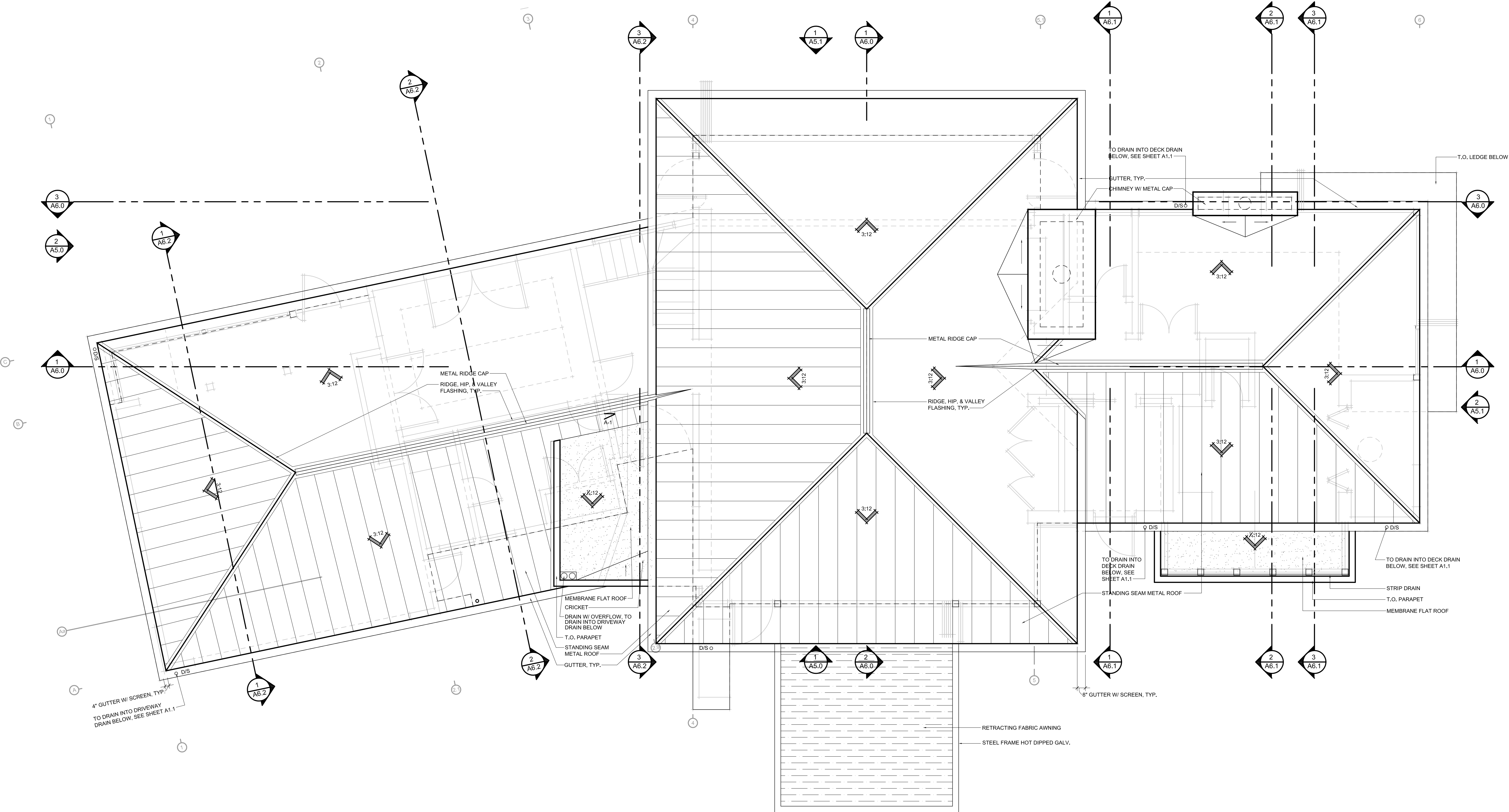
SHEET:

D5.1

PRINTED: OCTOBER 23, 2017



A TYP. GUTTER SCALE: 1"=1'-0"



CONRAD
ASTURI
STUDIOS INC.

1121 OAKDALE RD. STE 5
MODESTO, CA. 95355
phone: 209.521.7200
web: CONRADASTURI.COM
LINCOLN SW OCEAN
CARMEL-BY-THE-SEA, CA. 93921
phone: 831-622-9724

CONRAD ASTURI STUDIOS, INC. expressly reserves its common law copyright and other property rights in these plans. These plans may not be reproduced, changed, copied, assigned to any third party or used for any construction other than that intended without first obtaining the written permission and consent of CONRAD ASTURI STUDIOS, INC.

PROJECT:

TRAINA
RENOVATION
170 MAL PASO RD.
CARMEL HIGHLANDS, CA 93923
APN: 243-292-002

TRAINA
RENOVATION
DESIGN
DEVELOPMENT

TIMELINE

DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS

Δ	
Δ	
Δ	

PROJECT NO: 1609

DRAWN BY: STAFF

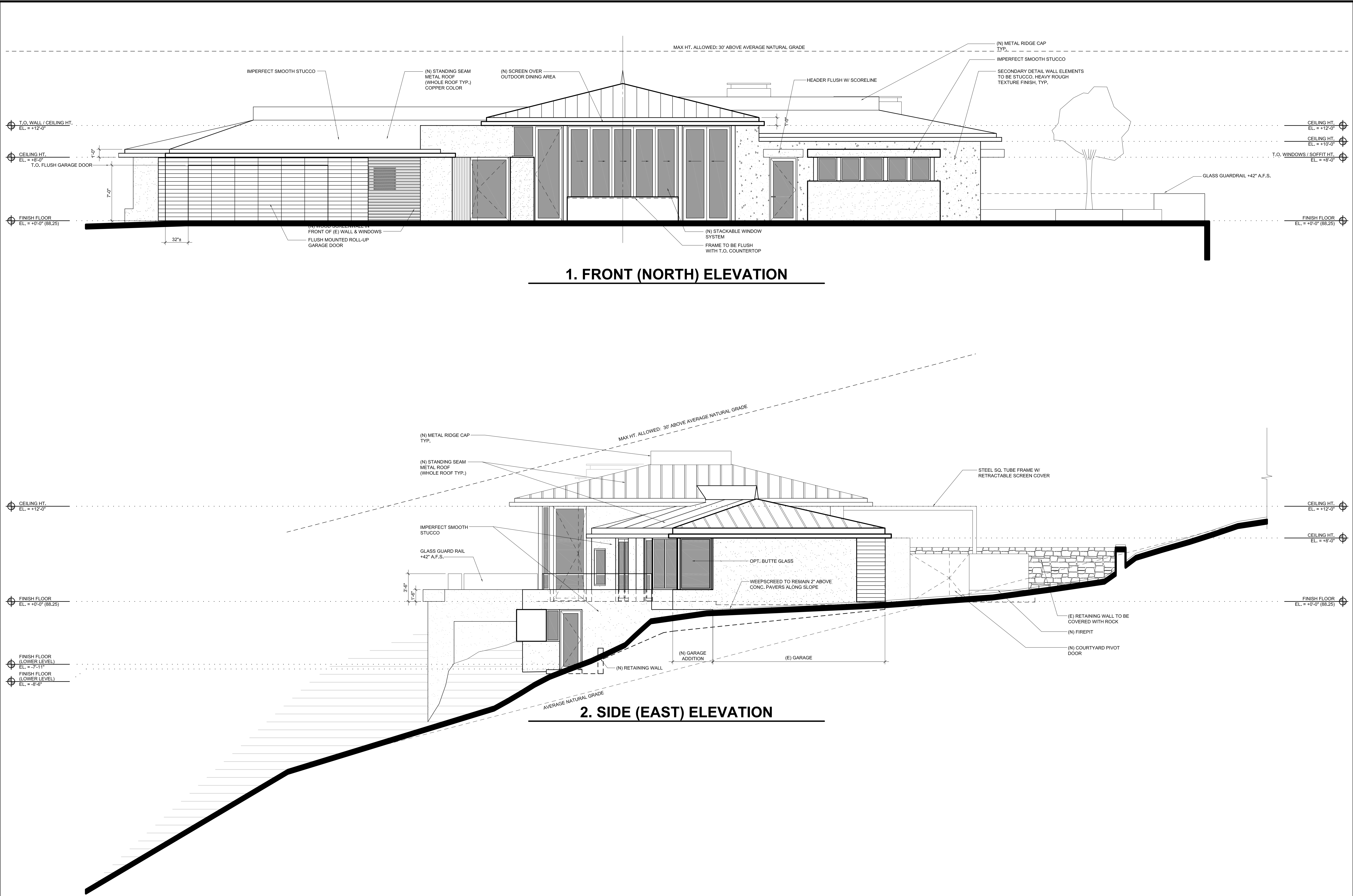
CHECKED BY: EA

DESCRIPTION:
NEW PROPOSED
ROOF PLAN
SCALE: 1/4"=1'-0"

SHEET:

A4.0

PRINTED: OCTOBER 23, 2017



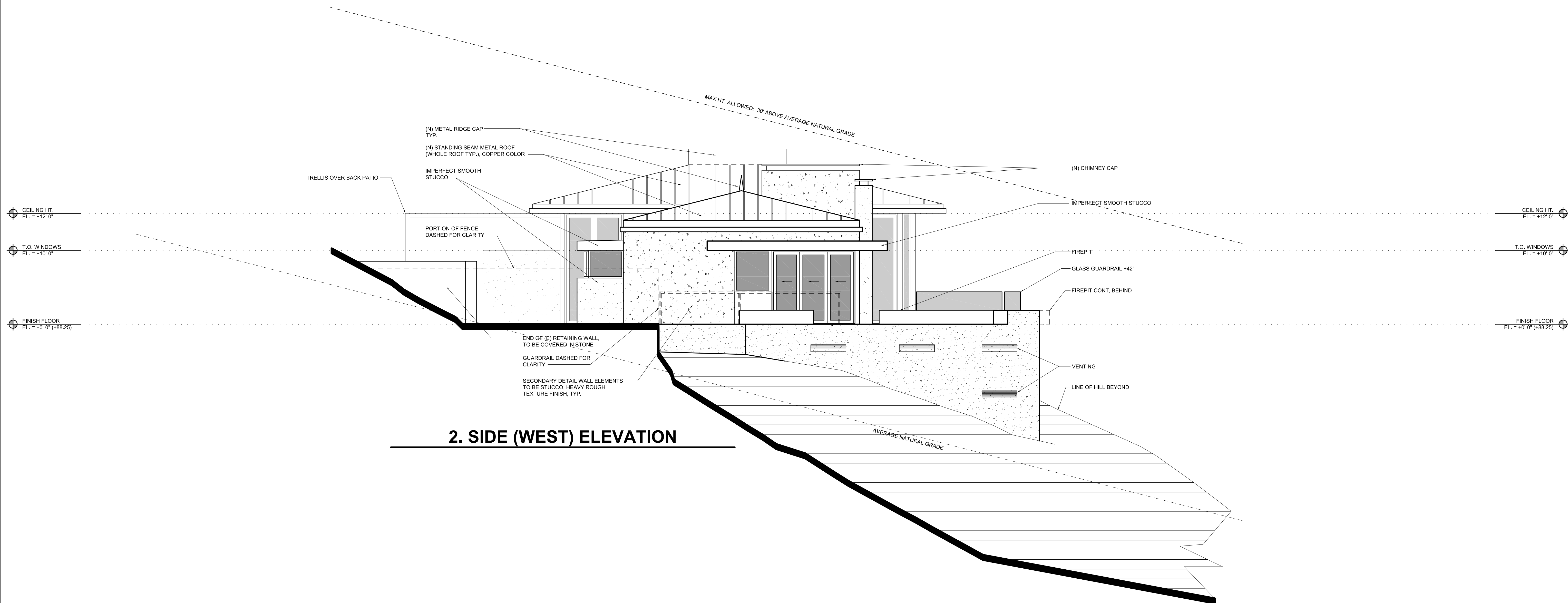
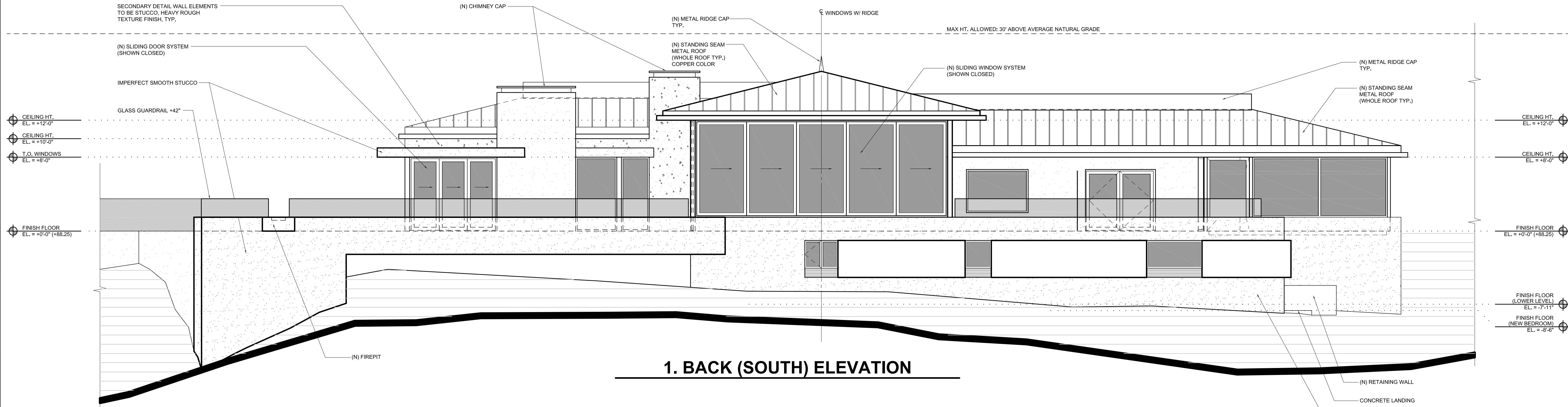
TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

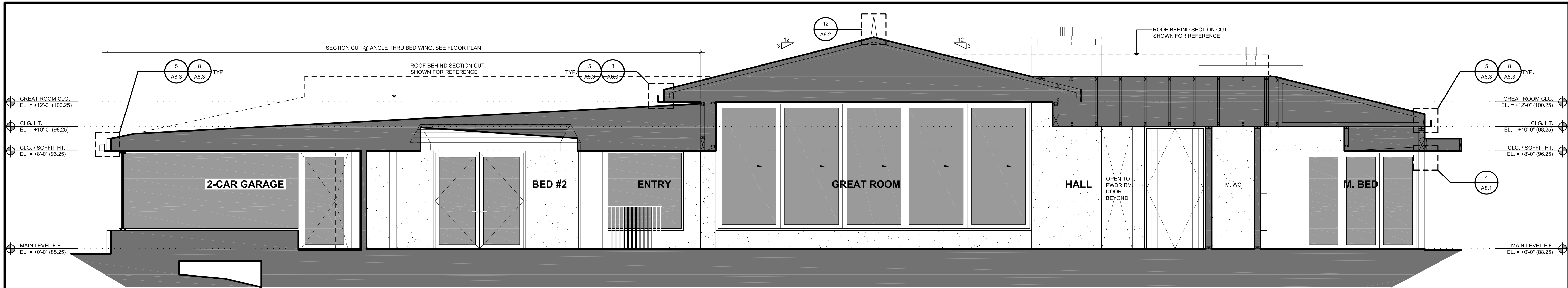
REVISIONS	
Δ	
Δ	
Δ	

PROJECT NO:	1609
DRAWN BY:	STAFF
CHECKED BY:	EA
DESCRIPTION:	
NEW / PROPOSED ELEVATIONS	
SCALE: 3/16"=1'-0"	

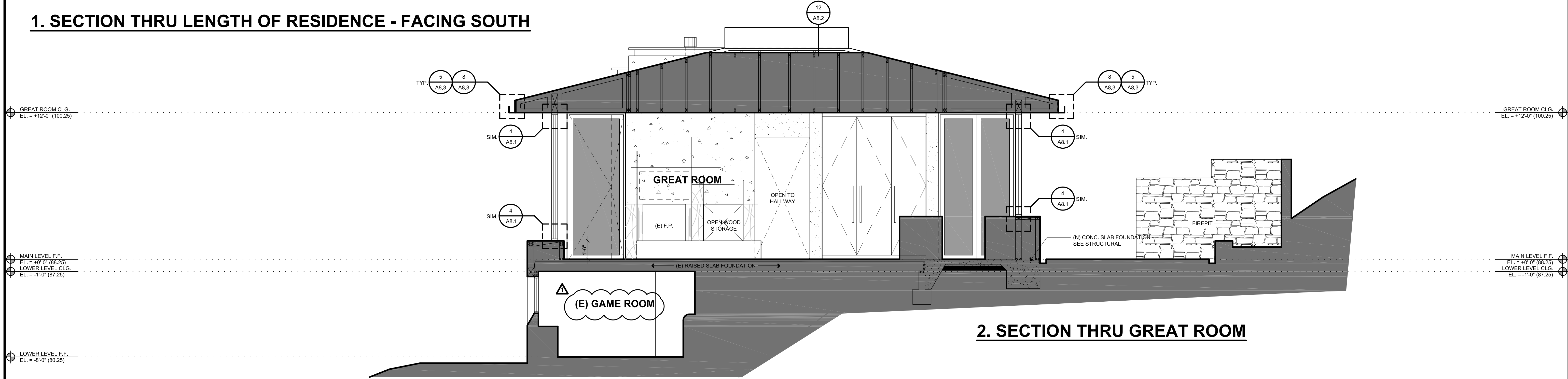
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

△	
△	
△	

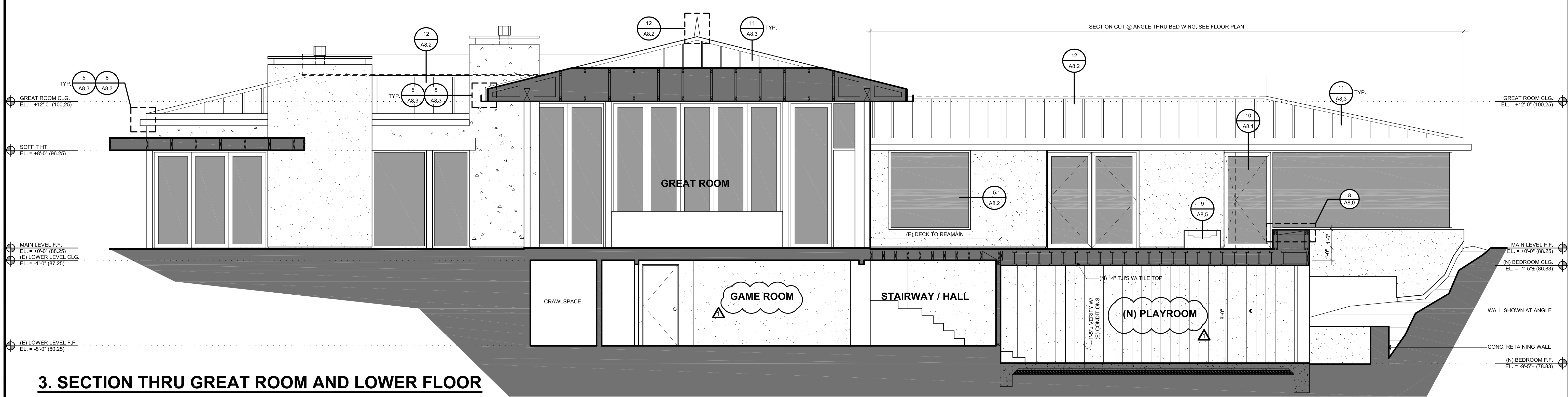




1. SECTION THRU LENGTH OF RESIDENCE - FACING SOUTH



2. SECTION THRU GREAT ROOM



3. SECTION THRU GREAT ROOM AND LOWER FLOOR

SECTIONS
SCALE: 1/4"=1'-0"

CONRAD
ASTURI
STUDIOS INC.

1121 OAKDALE RD. STE 5
MODESTO, CA. 95355
phone: 209.521.7200
web: CONRADASTURI.COM
LINCOLN ST. 3 SE OCEAN AVE. SUITE 3
CARMEL BY THE SEA, CA. 93921
phone: 831-622-9724
web: CONRADASTURI.COM

CONRAD ASTURI STUDIOS, INC. expressly reserves its
common law copyright and other property rights in these
plans. These plans may not be reproduced, changed,
copied, assigned to any third party or used for any
construction other than that intended without first
obtaining the written permission and consent of
CONRAD ASTURI STUDIOS, INC.

PROJECT:
**TRAINA
RENOVATION**
170 MAL PASO RD.
CARMEL HIGHLANDS, CA 93923
APN: 243-292-002

RENOVATION
CONSTRUCTION
DOCUMENTS

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
Δ	
Δ	
Δ	

PROJECT NO: 1609
DRAWN BY: STAFF
CHECKED BY: EA

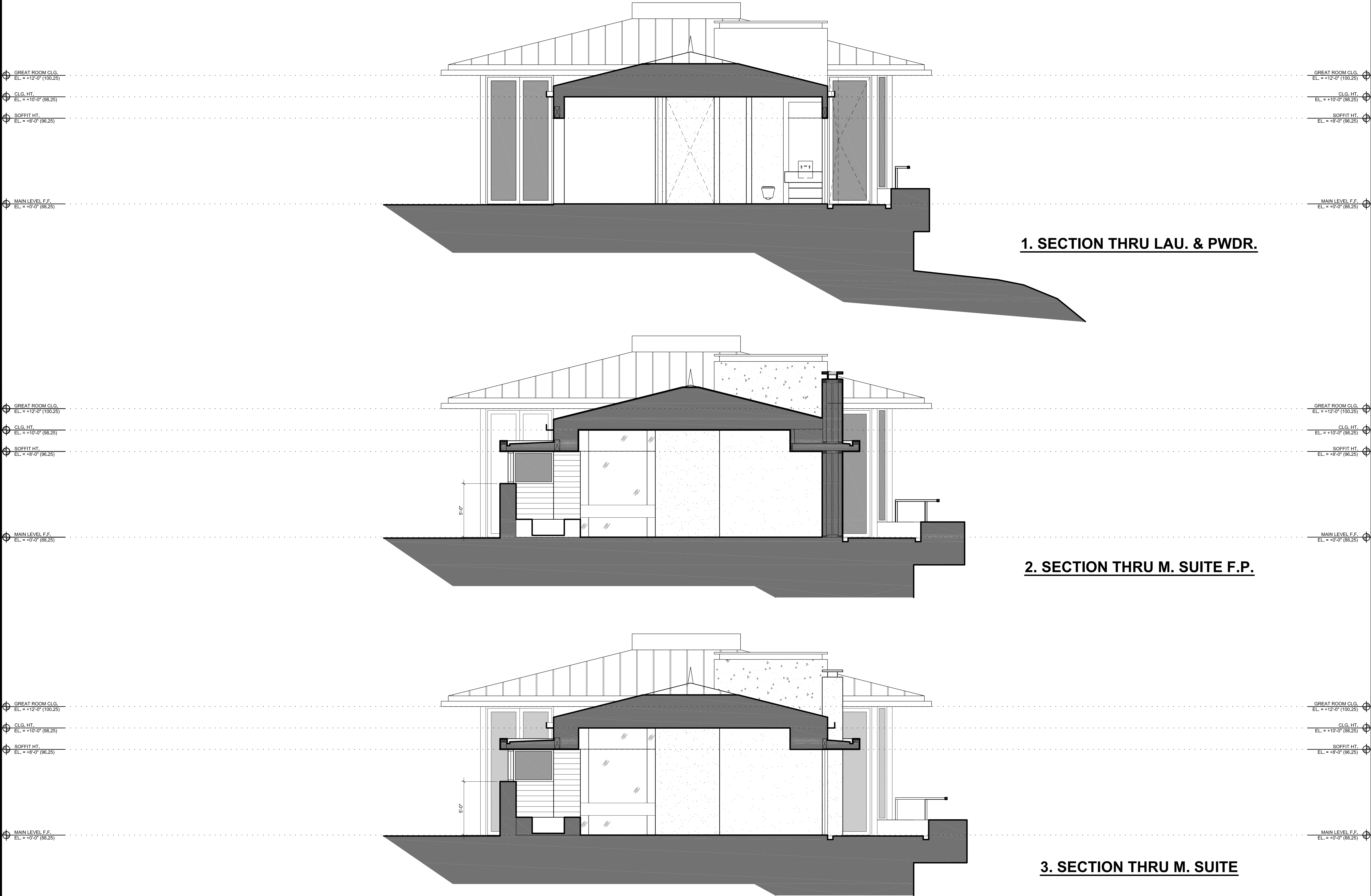
DESCRIPTION:
**SECTIONS
SCALE: 1/4"=1'-0"**

THIS IS A REMODEL. DIMENSIONS ARE
TO FACE OF FINISHES UNLESS
OTHERWISE NOTED. OFFSET FRAMING
AT "KISSING PLANES" AS REQUIRED TO
MAKE SURFACES FLUSH.

SHEET:

A6.0

PRINTED: APRIL 16, 2018



1. SECTION THRU LAU. & PWDR.

2. SECTION THRU M. SUITE F.P.

3. SECTION THRU M. SUITE

SECTIONS
SCALE: 1/4"=1'-0"

CONRAD
ASTURI
STUDIOS INC.

1121 OAKDALE RD. STE 5
MODESTO, CA. 95355
phone: 209.521.7200
web: CONRADASTURI.COM
LINCOLN SW OCEAN
CARMEL-BY-THE-SEA, CA. 93921
phone: 831-622-9724

CONRAD ASTURI STUDIOS, INC. expressly reserves its
common law copyright and other property rights in these
plans. These plans may not be reproduced, changed,
copied, assigned to any third party or used for any
construction other than that intended without first
obtaining the written permission and consent of
CONRAD ASTURI STUDIOS, INC.

PROJECT:
**TRAINA
RENOVATION**
170 MAL PASO RD.
CARMEL HIGHLANDS, CA 93923
APN: 243-292-002

RENOVATION
DESIGN
DEVELOPMENT

TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

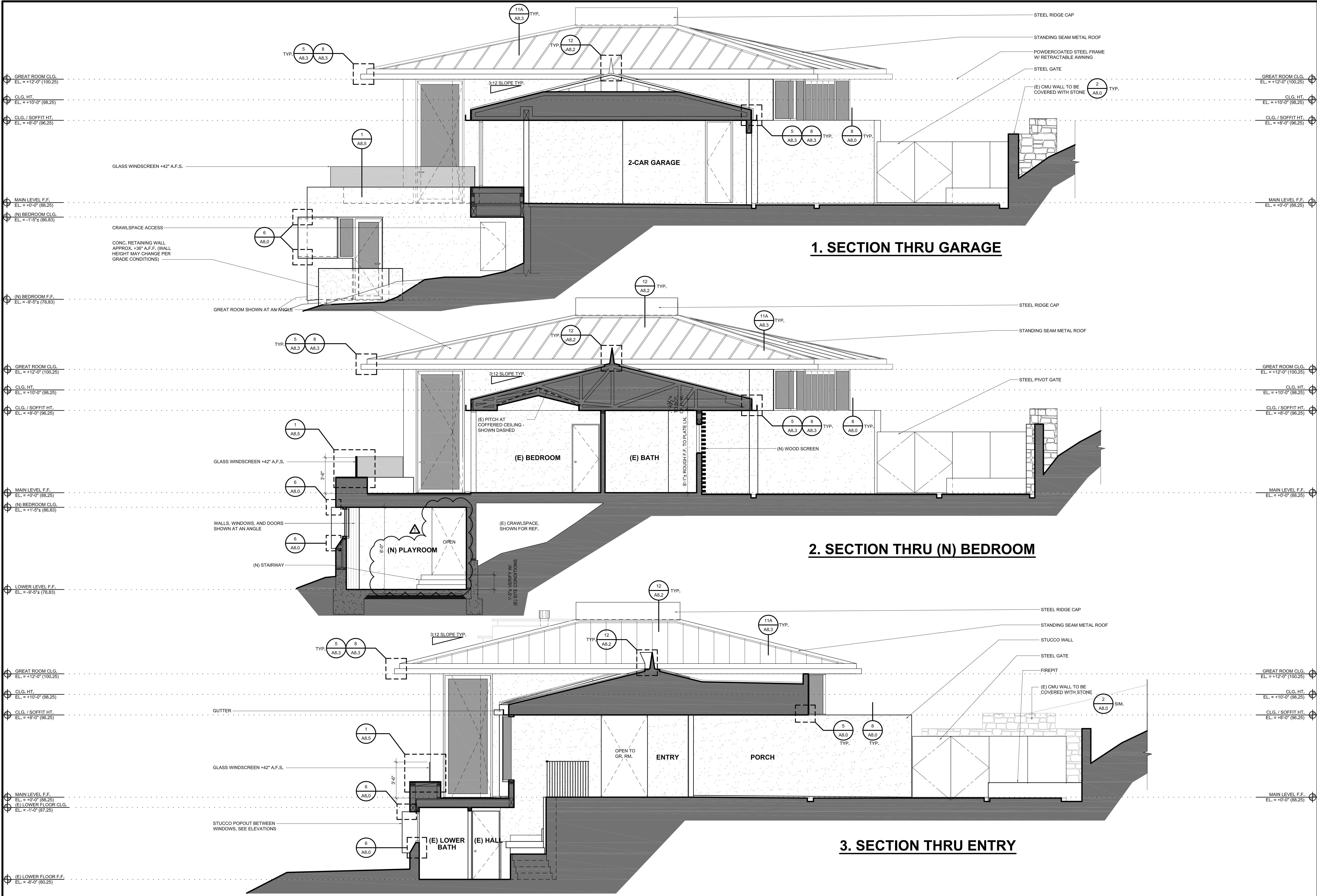
REVISIONS	
Δ	
Δ	
Δ	

PROJECT NO: 1609
DRAWN BY: STAFF
CHECKED BY: EA
DESCRIPTION:
**SECTIONS
SCALE: 1/4"=1'-0"**

SHEET:

A6.1

PRINTED: OCTOBER 23, 2017



TIMELINE	
DATE	ISSUED FOR:
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
△	
△	
△	

PROJECT NO:	1609
DRAWN BY:	STAFF
CHECKED BY:	EA
DESCRIPTION:	
SECTIONS	
SCALE: 1/4"=1'-0"	

THIS IS A REMODEL. DIMENSIONS ARE
TO FACE OF FINISHES UNLESS
OTHERWISE NOTED. OFFSET FRAMING
AT "KISSING PLANES" AS REQUIRED TO
MAKE SURFACES FLUSH.

SHEET:

A6.2

PRINTED: APRIL 16, 2018

PROJECT FILE NO. _____ PHOTOGRAPHS



Date: _____ Site Address: _____ Planner: _____

Description: _____

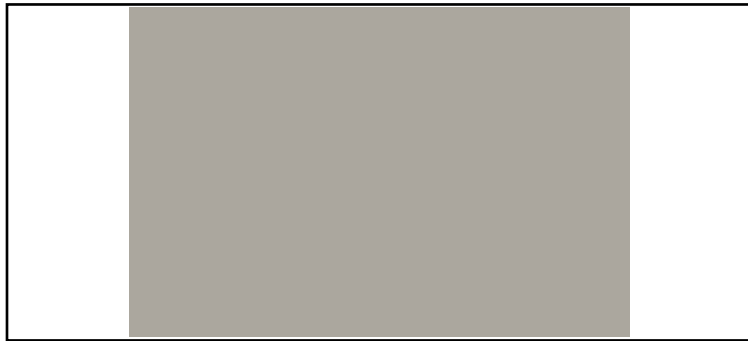
PROJECT FILE NO. _____ PHOTOGRAPHS



Date: _____ Site Address: _____ Planner: _____

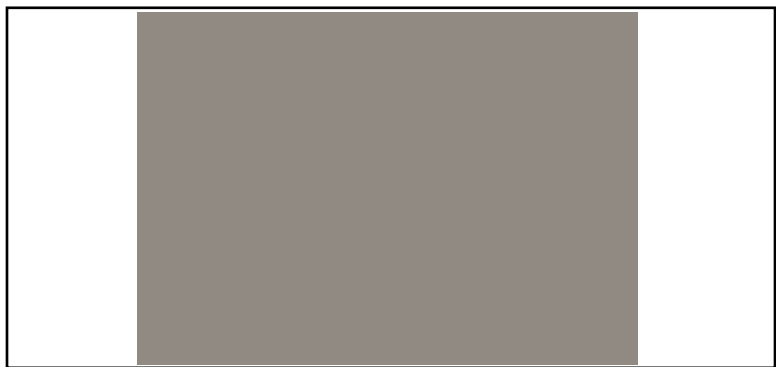
Description: _____

COLOR SAMPLES FOR PROJECT FILE NO. PLN170413



Materials: Smooth stucco Colors: Sherwin Williams 7017 "Dorian Gray"

Description: Primary elements, main house



Materials: Smooth stucco Colors: Sherwin Williams 7018 "Dovetail"

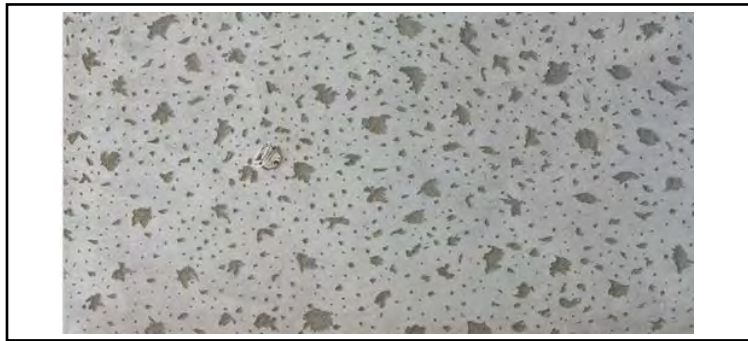
Description: Secondary elements, accents



Materials: Smooth stucco Colors: Sherwin Williams 7020 "Black Fox"

Description: Elements between window frames, gutters, trim, other accents

COLOR SAMPLES FOR PROJECT FILE NO. PLN170413



Materials: Textured stucco Colors: Natural stucco color

Description: Secondary main house elements



Materials: Standing seam metal roofing Colors: Zinc

Description: _____



Materials: Anodized aluminum windows Colors: Bronze

Description: _____