Before the Zoning Administrator
in and for the County of Monterey, State of California

In the matter of the application of:
CHAPMAN (PLN171046)
RESOLUTION NO. 18 - 054
Resolution by the Monterey County Zoning Administrator:

1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2) Approving a Coastal Administrative Permit and Design Approval to allow the construction of an approximately 4,400 square foot two-story single-family dwelling with an attached approximately 520 square foot garage, and a Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource, subject to twenty-two (22) conditions of approval.

2707 Pradera Road, Carmel Meadows, Carmel Area Land Use Plan, Coastal Zone (APN: 243-032-020-000)

The Chapman application (PLN171046) came on for a public hearing before the Monterey County Zoning Administrator on September 13, 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY -** The proposed project and/or use, as conditioned, is consistent with the policies of the Carmel Area Land Use Plan (LUP) and other County health, safety, and welfare ordinances related to land use development.

EVIDENCE:

a) The proposed project involves the construction of a 4,403 square foot two-story single-family dwelling with an attached 522 square foot garage, and development within 750 feet of a known archaeological resource (see Evidence p below).

b) The property is located at 2707 Pradera Road, Carmel Meadows (Assessor's Parcel Number 243-032-020-000), Carmel Area Land Use Plan, Coastal Zone. The parcel is zoned Medium Density Residential/2 units per acre, with a Design Control overlay and an 18-foot height limit (Coastal Zone) [MDR/2-D(18)(CZ)]. MDR zoning allows residential development as a principle use, subject to the granting of a Coastal Administrative Permit. Therefore, the project is an allowed land use for this site. Development within 750 feet of known archaeological resources is also allowed subject to the granting of a coastal development permit.

c) The subject 0.266-acre (11,602 square foot) parcel, Assessor's Parcel Number (APN) 243-032-020-000, is identified as Lot 20, Block 6, on

the Final Map for Carmel Meadows Unit No. 1, at Volume 5, Cities and Towns, Page 85, recorded on May 14, 1952. Therefore, the County recognizes the subject parcel as a legal lot of record.

d) No conflicts were found to exist. The County received communications from interested members of the public during the course of project review indicating inconsistencies with the text, policies, and regulations in the applicable plans and Monterey County Code (MCC); however, the County finds that the project is consistent with the text, policies, and regulations in the applicable documents.

e) Process. Pursuant to MCC, Coastal Administrative Permits and administrative Design Approvals are considered and approved by the RMA Chief of Planning, unless an interested party requests a public hearing for the proposed project. However, County staff referred the project to a public hearing after receiving correspondence from interested parties expressing concerns about the project. Therefore, the project was set for public hearing and consideration before the Zoning Administrator.

f) The concerns expressed by interested members of the public were related to compatibility of the proposed architectural style with the neighborhood character, the impact of the proposed structure height on private views, building mass and footprint, the impact of a proposed fence on an adjacent cypress hedge, loss of privacy, noise, and drainage. These concerns are addressed below in Evidences h, i, j, k, l, and m; and in Finding No. 2 and supporting evidence. Also, see Evidence u below regarding review by a land use advisory committee.

g) Staking and Flagging. The Applicant submitted photographs of the staking and flagging installed on March 8, 2018. Based on a County staff site inspection on May 1, 2018, the staking and flagging was intact and the weather clear enough for an assessment of potential visual impacts. As directed by the County, the Applicant installed orange netting to delineate the corners and ridge/roof peaks of the proposed structure. The County did not require more extensive staking and flagging for the following reasons: the project site is not within the General Viewshed, as shown on Map A of the Carmel Area Land Use Plan; and the project does not involve ridgeline development. The County's adopted staking and flagging criteria allow flexibility and discretion in determining the scope of staking and flagging required for a project. Based on the County staff site inspection on May 1, 2018, the staking and flagging provided sufficient visual reference for the County to determine potential visual impacts to the public viewshed and satisfied the County's requirement for review.

h) Review of Development Standards. The development standards for the MDR zoning district are identified in MCC Section 20.12.060. Required setbacks in this MDR district are 20 feet (front), 10 feet (rear), and 5 feet (sides). The proposed structure would have a front setback of 20.25 feet, a rear setback of 13.08 to 20.58 feet, and side setbacks of 5.42 and 23.42 feet.

The site coverage maximum in this MDR district is 35 percent, and the floor area ratio maximum is 45 percent. The existing lot is approximately 0.266-acres or 11,602 square feet, which would allow site coverage of approximately 4,061 square feet and floor area of approximately 5,221 square feet. The proposed single-family dwelling and attached garage would result in site coverage of 3,952 square feet (34.1 percent), and floor area of 4,755 square feet (41 percent).

The maximum allowed height in this MDR zoning district is 18 feet above average natural grade. The proposed dwelling and garage would have a height of 18 feet above average natural grade; therefore, the County has applied Condition No. 10, Height Verification, to ensure the height of the finished structure conforms to the plans and the maximum allowed height limit.

Therefore, pursuant to MCC and as proposed, the project conforms to applicable development standards.

i) Private Views and Privacy. Concerns were expressed by interested members of the public regarding the proposed structure height and the impact on private views and privacy of surrounding residences. Private views and privacy are not protected under the Carmel Area Land Use Plan or applicable MCC. See also Evidence h above.

j) Drainage. Concerns were expressed by interested members of the public regarding site drainage. Based on the preliminary drainage and stormwater management plan (Plan Sheets C1 through C4 of Exhibit B of the Zoning Administrator September 13, 2018, staff report), as well as the Site Design and Runoff Reduction Checklist submitted by the Applicant on May 15, 2018, drainage and stormwater runoff from the proposed building would be directed into drains, dispersion trenches, and onto vegetated areas of the property. RMA-Environmental Services reviewed the submitted application materials, and applied conditions as necessary to ensure drainage or runoff design measures are implemented (Erosion Control Plan, Grading Plan, Stormwater Control Plan, inspections, and geotechnical certification - Condition Nos. 14 - 21).

k) Noise. Concerns were expressed by interested members of the public regarding a proposed covered deck on the second floor of the single-family dwelling. The County finds that decks, including second-story and/or rooftop decks, are typical of single-family dwellings, and that the size and location of the proposed covered deck is not unusual and meets all required development standards for the zoning district. Furthermore, no evidence has been submitted that the proposed covered deck would be used in a manner inconsistent with uses typical to a residential area, nor that the Applicant would generate noise levels that exceed the limits under MCC, or are loud and unreasonable for the allowed use.

l) Cypress Hedge. Concerns were expressed by interested members of the public regarding the possible impacts a proposed fence may have on an adjacent, planted cypress hedge. Landscaping is not protected under the Carmel Area Land Use Plan or applicable MCC.

m) Neighborhood Character. Concerns were expressed by interested members of the public regarding the compatibility of the proposed architectural style with the neighborhood character, as well as building mass and footprint. See Finding No. 2 and supporting evidence.

n) Design. See Finding No. 2.

o) Visual Resources and Public Viewshed. The project, as proposed, is consistent with the Carmel Area LUP policies regarding Visual Resources (Chapter 2.2), and will have no impact on the public viewshed. The project planner conducted a site inspection on May 1, 2018, to verify that the project minimizes development within the public viewshed. The project site is not visible from Highway 1 due to screening from topography and existing structures. Additionally, the proposed development would not detract from the natural beauty of the surrounding undeveloped ridgelines and slopes in the public viewshed (LUP Policy 2.2.3.1). The project site is also located in a residential neighborhood, the Carmel Meadows subdivision, and the adjacent parcels have been developed with single-family dwellings. See also Finding No. 7, Evidence e.

p) Cultural Resources. The project site is located in an area identified in County records as having a high archaeological sensitivity, and is within 750 feet of known archaeological resources. Although located in an area of high sensitivity and known resources, an archaeological survey (LIB180145) prepared for the project site concluded that there is no surface evidence of potentially significant archaeological resources. Therefore, there is no evidence that any cultural resources would be disturbed (Carmel Area Land Use Plan Policy 2.8.2). The potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

q) Public Access. See Finding No. 7.

r) Pursuant to the LUAC Procedure Guidelines adopted by the Monterey County Board of Supervisors, administrative (i.e., projects not requiring a public hearing) permits and design approvals are not normally referred to the LUACs for review. However, due to the correspondence submitted by interested parties, the project was referred to the Carmel Unincorporated/Highlands Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the proposed project at a duly-noticed public meeting on June 18, 2018, at which all persons had the opportunity to be heard, and voted 3 – 1 to support the project as proposed.

At the LUAC meeting, interested members of the public expressed concerns related to the compatibility of the proposed architectural style with the neighborhood character, the impact of the proposed structure height on private views, building mass and footprint, the impact of a proposed fence on an adjacent cypress hedge, loss of privacy, and noise.

The LUAC commented that the project is compatible with other contemporary homes in the area, and that reducing the height or setting the garage further back from the street would does not seem to open up any views for adjacent neighbors.

s) The project planner conducted a site inspection on May 1, 2018, to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC.

t) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN171046.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

EVIDNECE:

a) The proposed project involves the construction of a two-story single-family dwelling with an attached garage in a residential neighborhood.

b) Pursuant to MCC Chapter 20.44, the proposed project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.

c) Color and Material Finishes. The Applicant proposes exterior colors and materials that are consistent with the residential setting. The primary colors and materials include black metal roofing with white and light-gray river rock roofing ballast, dark bronze aluminum door and window frames, white-washed vertical board and batten wood cladding/siding, dark gray exterior paving and decking, and a natural oak veneer entry door. The proposed exterior colors and finishes would blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood. Also, per Carmel LUP Policy 2.2.3.6, the proposed structure would be subordinate to and blend into the environment, using appropriate exterior materials and earth tone colors that give the general appearance of natural materials.

d) Neighborhood Character. The proposed residence is consistent with the size and scale of surrounding residences, and the proposed bulk and mass would not contrast with the neighborhood character. The proposed dwelling would also conform to all applicable development standards (see Finding No. 1, Evidence h above).

e) Visual Resources, Public Viewshed, and Visual Access. See Finding No. 1, Evidence o, and Finding No. 7, Evidence e.

f) The project was referred to the Carmel Unincorporated/Highlands Land Use Advisory Committee (LUAC) for review. At a duly-noticed public LUAC meeting on June 18, 2018, interested members of the public expressed concerns related to the compatibility of the proposed architectural style with the neighborhood character. The LUAC commented that the project is compatible with other contemporary homes in the area, and that reducing the height or

setting the garage further back from the street would does not seem to open up any views for adjacent neighbors. The LUAC voted 3 – 1 to support the project as proposed. See Finding No. 1, Evidence r above.

g) The project planner conducted a site inspection on May 1, 2018, to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character or scenic/visual resources.

h) Based on the evidence described above, the County finds that the project, as proposed and conditioned, conforms to the policies and development standards of the applicable Carmel LUP and ordinances related to land use development. The proposed structure and use are consistent with the surrounding residential neighborhood character (i.e.; design, colors, and material finishes), are consistent with the size and scale of surrounding residences, and the bulk and mass would not contrast with the neighborhood character. Additionally, the proposed development would not have a significant impact on a public viewshed. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

3. **FINDING:** **SITE SUITABILITY –** The site is physically suitable for the use proposed.

EVIDENCE:

a) The project has been reviewed for site suitability by the following departments and agencies: RMA-Planning, Carmel Highlands Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development, and the respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood. Conditions recommended by RMA-Planning, RMA- Public Works, RMA-Environmental Services, and Water Resources Agency have been incorporated.

b) The project planner conducted a site inspection on May 1, 2018, to verify that the site is suitable for the proposed use.

c) The following technical reports have been prepared:
   - Preliminary Cultural Resources Reconnaissance (LIB180145) prepared by Susan Morley, Registered Archaeologist, Marina, California, July 2017.
   - Geotechnical Investigation (LIB180146) prepared by Soil Surveys Group, Inc., Salinas, California, October 23, 2017.

County staff has independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed.

d) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN171046.

4. **FINDING:** **NO VIOLATIONS –** The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

a) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property.

b) The project planner conducted a site inspection on May 1, 2018, to verify that there are no violations on the property.

c) There are no known violations on the subject parcel.

d) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN171046.

5. **FINDING:** **HEALTH AND SAFETY -** The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

a) The project was reviewed by RMA-Planning, Carmel Highlands Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood. The Environmental Health Bureau reviewed the project application and did not recommend any conditions of approval.

b) All necessary public facilities are available to the project site. Public sewer service will be provided by the Carmel Area Wastewater District (CAWD), and potable water service will be provided by the California American Water Company. The CAWD wastewater collection and treatment system/facility has adequate remaining capacity for sewage disposal. The proposed residence will use 0.75-acre foot of potable water credits purchased from the Mal Paso Water Company Water Entitlement, issued pursuant to Monterey Peninsula Water Management District (MPWMD) Water Use Permit No. 706 for the Benefited Property identified as Assessor's Parcel Number 243-032-020-000 on October 10, 2017 (Malpaso Water Company Water Entitlement Assignment Document, issued by Malpaso Water Company on April 29, 2016; Document No. 2016023119). The proposed development would also include any required storm water drainage facilities.

c) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in RMA-Planning File No. PLN171046.

6. **FINDING:** **CEQA (Exempt): -** The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the construction of new facilities or structures, such as a single-family dwelling unit, in a residential zone.

b) The subject project consists of the construction of a single-family dwelling with an attached garage on a residentially-zoned parcel within a developed neighborhood. Therefore, the proposed development is consistent with the parameters of the Class 3 categorical exemption in Section 15303 of the CEQA Guidelines.

c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class.

d) No evidence of significant adverse environmental effects were identified during staff review of the development application, nor during a site visit on May 1, 2018.

e) The technical reports prepared for the project do not identify any potential significant or cumulative impacts. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact. See Finding No. 3, Evidence c above.

f) The County finds the proposed project, including the proposed covered deck, consistent with established noise standards as defined in MCC 10.60, Noise Control, and that the project would not result in a significant or potentially significant impact.

g) An unusual circumstance does not exist for a proposed project that satisfies the requirements of an exempt class under CEQA, and meets all required development standards for the zoning district. In addition, no evidence has been submitted that the proposed covered deck would be used in a manner inconsistent with the exempt class, nor that the Applicant would generate noise levels that exceed the limits under MCC, or are loud and unreasonable for the allowed use.

7. **FINDING:** **PUBLIC ACCESS –** The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

EVIDENCE:

a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in

Section 20.146.130 of the Monterey County Coastal Implementation Plan can be demonstrated.

b) The subject property is not described as an area where the applicable Local Coastal Program requires public access (Figure 3, Public Access, in the Carmel Area Land Use Plan).

c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.

d) Staff conducted a site inspection on May 1, 2018, to verify that the proposed project would not impact public access.

e) The Carmel Area Land Use Plan Policy 5.3.3.4.c protects public visual access and requires that structures and landscaping placed upon land west of Highway 1 shall be sited and designed to retain public views of the shoreline. The subject property is located west of Highway 1; however, the subject property does not obstruct public views of the shoreline from the Highway 1, therefore construction of the proposed single-family dwelling will not obstruct public visual access. See also Finding No. 1, Evidence o.

8. **FINDING:** **APPEALABILITY -** The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

EVIDENCE: a) Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

b) Coastal Commission. Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., Highway 1). The project site is not located within 300 feet of the inland extent of any beach or of the mean high tide line of the sea, or located on tidelands, submerged lands, public trust lands, within 100 feet of any wetland, estuary, stream or within 300 feet of the top of the seaward face of any coastal bluff. Also, the project does not include development that is permitted in the underlying zone as a conditional use.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

A. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and

B. Approve a Coastal Administrative Permit and Design Approval to allow the construction of an approximately 4,400 square foot two-story single-family dwelling with an attached approximately 520 square foot garage, and a Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource, in general conformance with the attached plans and twenty-two (22) conditions of approval, both being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 13th day of September, 2018.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO THE APPLICANT ON SEP 18 2018.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE SEP 28 2018.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

   Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

   Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN171046

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: These Coastal Administrative Permits and Design Approval allow the construction of a 4,403 square foot single-family dwelling with a 522 square foot attached garage and a 459 square foot covered deck; and development within 750 feet of a known archaeological resource. The property is located at 2707 Pradera Road, Carmel (Assessor's Parcel Number 243-032-020-000), Carmel Land Use Plan, Coastal Zone. These permits were approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the RMA Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA-Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "Coastal Administrative Permits and a Design Approval (Resolution Number 18 - 054) were approved by the Zoning Administrator for Assessor's Parcel Number 243-032-020-000 on September 13, 2018. The permits were granted subject to twenty-two (22) conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA-Planning."

Proof of recordation of this notice shall be furnished to RMA-Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to RMA-Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA-Planning staff and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (RMA-Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA-Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to RMA-Planning for review and approval.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to RMA-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD012(E) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-OTHER)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped after completion of construction activities. A landscaping plan shall be submitted as part of the construction permit plan set, and shall be subject to review and approval by RMA-Planning, prior to the issuance of building permits. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant shall submit a landscape and irrigation plan, as part of the construction permit plan set, to RMA-Planning for review and approval. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County RMA-Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be consistent with applicable General Plan and Monterey County Code requirements, including being unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. An exterior lighting plan shall be submitted as part of the construction permit plan set, and shall be subject to review and approval by RMA-Planning, prior to the issuance of building permits. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit an exterior lighting plan, as part of the construction permit plan set, to RMA-Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan and applicable requirements.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD032(A) - PERMIT EXPIRATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of three (3) years, to expire on September 13, 2021, unless use of the property or actual construction has begun within this period. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the RMA Chief of Planning. Any request for extension must be received by RMA-Planning at least 30 days prior to the expiration date.

9. PD035 - UTILITIES UNDERGROUND

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All new utility and distribution lines shall be placed underground. (RMA-Planning and RMA-Public Works)

Compliance or Monitoring Action to be Performed: On an on-going basis, the Owner/Applicant shall install and maintain utility and distribution lines underground.

10. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to RMA-Building Services and RMA-Planning for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA-Planning and RMA-Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to RMA-Building Services and RMA-Planning for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to RMA-Building Services and RMA-Planning for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

11. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection to Pradera Road. The design and construction is subject to the approval of the RMA. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Prior to issuance of building or grading permits, the Owner/Applicant shall submit the driveway design to RMA-PWF for review and approval, and obtain an encroachment permit.

Prior to occupancy or commencement of use, the Owner/Applicant shall construct and complete improvements, including acceleration and deceleration tapers, as needed.

12. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to RMA-Planning and RMA-Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project. The CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to RMA-Planning and RMA-Public Works for review and approval.

On-going through all construction phases, the Owner/Applicant/Contractor shall implement the
approved measures.

13. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay RMA-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to RMA-Development Services.

14. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Erosion Control Plan in conformance with the requirements of Monterey County Code Chapter 16.12. The Erosion Control Plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an Erosion Control Plan to RMA-Environmental Services for review and approval.

15. GRADING PLAN (<5,000 CY)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a grading plan incorporating the recommendations in the project Geotechnical Investigation prepared by Soil Surveys Group Inc., dated October 23, 2017. The grading plan shall include contour intervals and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The grading plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. The applicant shall also provide certification from the licensed practitioner that the grading plan incorporates their geotechnical recommendations. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed the grading plan for conformance with the geotechnical recommendations.

16. STORMWATER CONTROL PLAN (PR1)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Control Plan addressing the Post-Construction Requirements (PCRs) for Development Projects in the Central Coast Region. The Stormwater Control Plan shall incorporate the measures identified on the completed the Site Design and Runoff Reduction Checklist. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a Stormwater Control Plan to RMA-Environmental Services for review and approval.

17. INSPECTION-PRIOR TO LAND DISTURBANCE

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

18. INSPECTION-DURING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the applicant shall schedule an inspection with RMA-Environmental Services.

19. WINTER INSPECTIONS - AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The owner/applicant shall schedule weekly inspections with RMA-Environmental Services during the rainy season, October 15th to April 15th, to ensure contaminants are not discharged into the Carmel Bay Area of Special Biological Significance. This inspection requirement shall be noted on the Erosion Control Plan. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the owner/applicant shall schedule weekly inspections with RMA-Environmental Services in the rainy season (October 15th to April 15th).

20. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall schedule an inspection with RMA-Environmental Services to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed. This inspection requirement shall be noted on the Erosion Control Plan. (RMA – Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall schedule an inspection with RMA-Environmental Services.

21. GEOTECHNICAL REVIEW CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from the licensed practitioner that their geotechnical recommendations have been incorporated into the Grading Plan and Stormwater Control Plan. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of the construction permit, the applicant shall provide certification from the licensed practitioner(s).

22. WR049 - WATER AVAILABILITY CERTIFICATION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant has provided the Monterey County Water Resources Agency with documentation of the Monterey Peninsula Water Management District's dedication of 0.75 AF from the Malpaso Water Company for the subject project (i.e., Water Use Permit, Permit No. 706). The Water Use Permit will be fully executed prior to the issuance of any construction permits. The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form for the official release of the Water Use Permit. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at: www.mcwra.co.monterey.ca.us.

WOUNG - CHAPMAN RESIDENCE

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DRAWING LIST INDEX

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G0.2 GENERAL NOTES
G0.3 GENERAL NOTES CONT.
G0.4 ACCESSOR'S PARCEL MAP
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G0.6 EXTERIOR MATERIAL PALETTE

CMP CONSTRUCTION MANAGEMENT PLAN

CIVIL

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C2 GRADING & DRAINAGE
C3 SECTIONS
C4 EROSION & SEDIMENT CONTROL PLAN

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A4.1 BUILDING SECTIONS

PROJECT NARRATIVE

SITE & ARCHITECTURE
The Woung-Chapman Residence, located at 2707 Pradera Road in Carmel, California is a 2-story, 4,766 square foot residence including an attached 2-car garage. Located on the last of the undeveloped lots in the neighborhood, the fan-shaped property sits within a modest subdivision of existing one-story and two-story, single-family residences. From the street, the site slopes gently and continuously to the rear of the property, with a total decent of close to 10 feet from the front of the property to the farthest back corner. A large, 40+ foot, wind-blown Cypress tree dominates the site along the western, side-yard property line. Neighboring houses are heavily screened behind dense hedging and wood fencing.

From the street, the house appears as a simple, single-story wooden box. The rhythm and continuity of the front facade is broken only by a 5 foot wide entry path, cutting directly through its center. To the left, a large, ribbon-window captures the linearity and horizontality of the California coastline stretching out to the South. An intimate entry courtyard is obscured only by a vertical timber wood screen, matching the board-and-batten pattern of the exterior cladding. Flush-mount, wood-clad, hidden garage doors add to the purity and minimalism of the house's street presence.

Programmatically, the house is divided into three distinct zones; living, sleeping and master. Two long program bars stretch out North-to-South. Mimicking the angels of the lot lines, these bars spread apart towards the rear yard, optimizing views and creating spatial separation of the program. Bridging elements connect the bars, unifying these elements as public, social areas of the house. Between these 'social bridges', open-air courtyards seamlessly weave the landscape into the house, offering a true, indoor-outdoor living experience at both the street level and lower level.

The height of the building block sits at the maximum allowable limit, 18' above natural grade, taking full advantage of distant view corridors to the hills, ocean and coastline beyond. A thin, flat roof is used as a mechanism to unify the structure, and provides the opportunity for floor-to-ceiling glass throughout the upper, street level plan. The exterior, perimeter shell of the house is punctured minimally by vertical lines of glazing while the interior couryards are defined by unbroken walls of glass.

The materials are chosen to fit into the raw, natural setting of the site. Aged cedar wood siding, board-formed concrete, non-reflective glazing, dark-anodized aluminum windows, doors and natural stone paving work cohesively with the colors and textures of the existing surroundings. Floor-to-ceiling curtains and exterior downlighting will be utilized at night to contain light escape. Vertical, board and batten wood siding is used as the primary exterior cladding material, creating a play of texture and shadows throughout the day.

LANDSCAPE
The overall character of the proposed development is a home that embraces and enhances its natural setting. The minimal approach to the landscape design takes advantage of the natural, seascape environment, introducing elements only found in the contextual surroundings. Site and yard access through winding, meandering gravel paths are reminiscent of beach access paths along the coastline.

Multiple landscape boulders are arranged as natural sculptures around the house, reinforcing the raw, innate character of the landscape design. Planting and low-lying grass species are all appropriate within the micro-climate and are native and/or drought tolerant once established.

STREET VIEW
SOUTHWEST CORNER OF PROPERTY - PRADERA ROAD

PROJECT SCOPE

THE SCOPE OF WORK UNDER THIS BUILDING PERMIT SHALL INCLUDE ALL THE WORK NECESSARY TO CONSTRUCT THE PROPOSED 2-STORY RESIDENCE, ATTACHED GARAGE, DRIVEWAY, FENCES, STREET & CURB CONNECTION, SPA, SITE RETAINING WALLS, HARDSCAPE, LANDSCAPE, PLANTING, STORM DRAINAGE SYSTEM AND UNDERGROUND UTILITIES.

BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

LEGAL

LOCATION:	2707 PRADERA ROAD, CARMEL, CA 93923
LOT & BLOCK NO.:	20 / 6
ACCESSOR'S PARCEL NO:	243-032-020
JURESDICTION:	COUNTY OF MONTEREY
ZONING DISTRICT:	MDR/2-D (18) (CZ) *- MEDIUM DENSITY RESIDENTIAL - COASTAL ZONE*
DENSITY:	2U/A (2-UNITS PER ACRE)
USE:	SINGLE-FAMILY RESIDENTIAL
PLANNING NO:	PLN171046

SITE DATA

LOT SIZE:	0.26 ACRES / 11,602 SQ. FT.
MIN. BUILDING SITE:	6,000 SQ. FT.
SLOPE > 25%:	NONE

	PROPOSED	ALLOWED
*BUILDING SITE COVERAGE:	3,952 SQ. FT. (34%) **INCLUDES AREA UNDER COVERED DECK AND ALL ROOF & FLOOR OVERHANGS*	4,061 SQ. FT. (35%)
FLOOR AREA RATIO (FAR)	4,755 SQ. FT. (41%)	5,221 SQ. FT. (45%)
IMPERVIOUS COVERAGE	4,197 SQ. FT. (36%)	NA
PERVIOUS COVERAGE	7,405 SQ. FT. (64%)	NA

BUILDING AREA CALCULATIONS *(GROSS SQUARE FEET)*

RESIDENCE

STREET LEVEL	2,745 SQ. FT.
LOWER LEVEL	1,172 SQ. FT.
M.E.P. / GYM	323 SQ. FT.
SUBTOTAL	4,240 SQ. FT.
GARAGE	515 SQ. FT.
BUILDING TOTAL	**4,755 SQ. FT.** *(CONDITIONED SPACE)*
COVERED DECK	502 SQ. FT. *(UNCONDITIONED SPACE)*

BUILDING HEIGHT LIMIT: 18'-0" MAX. ABOVE AVERAGE NATURAL GRADE

BUILDING SETBACKS

FRONT:	20'-0" S.F.
SIDE:	5'-0" S.F.
REAR:	10'-0" S.F.

PARKING

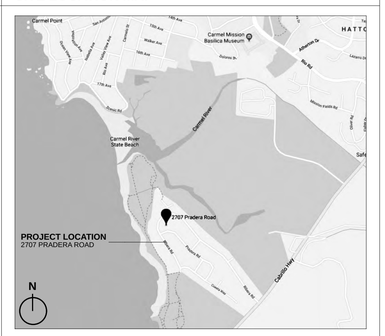
COVERED: 2-CAR

OCCUPANCY GROUP

RESIDENCE:	R-3
GARAGE:	U

CONSTRUCTION TYPE TYPE V-B (SPRINKLERED)

SITE LOCATION MAP



APPLICABLE BUILDING CODES

ALL WORK NOTED SHALL BE IN FULL ACCORD AND COMPLY WITH THE LATEST RULES, REGULATIONS, ORDINANCES, CODES AND STANDARDS LISTED BELOW AND ANY AND ALL LOCAL CODES AND ORDINANCES CURRENTLY IN EFFECT IN THE COUNTY OF MONTEREY, CA.

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA FIRE CODE (CFC)
2016 CALIFORNIA PLUMBING CODES (CPC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA ENERGY CODE (*EFFECTIVE JANUARY 1, 2017*)
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA RESIDENTIAL BUILDING CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
2016 CALIFORNIA EXISTING BUILDING CODE

WILDLAND-URBAN INTERFACE FIRE AREA:

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE W/ THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291, OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R327.1.5

WORK NOT INCLUDED UNDER THIS PERMIT:
(SEPARATE PLAN CHECK & PERMIT REQUIRED)

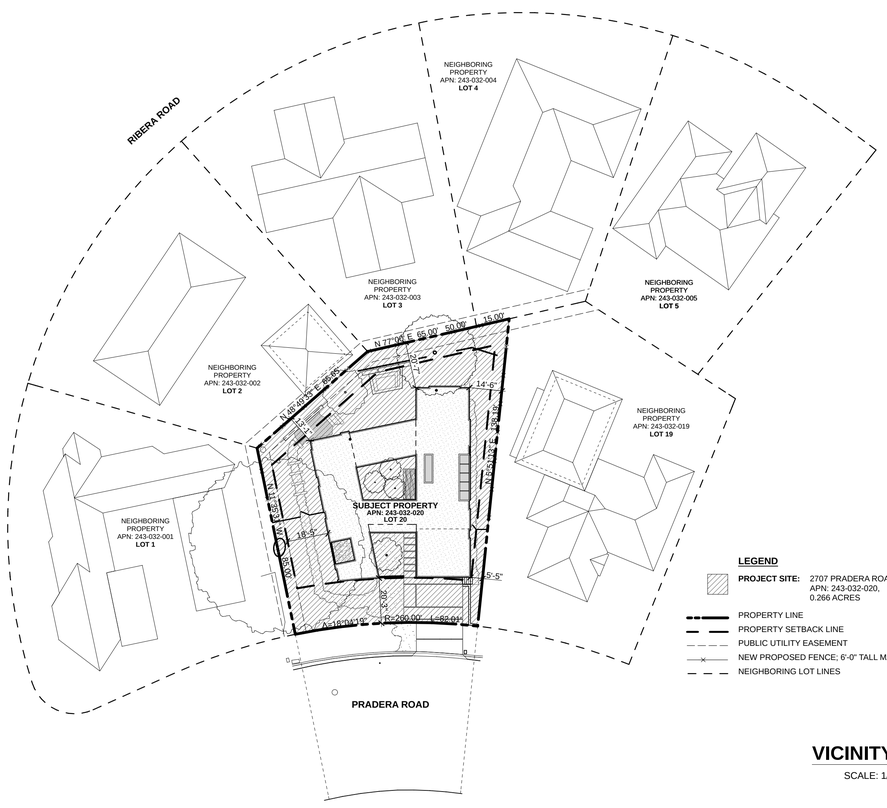
1) OUTDOOR SPA
2) AUTOMATIC FIRE-SPRINKLER SYSTEM
3) PLANS TO BE SIGNED AND STAMPED BY GREEN BUILDING DIVISION

OPERATION & MAINTENANCE MANUALS:

THE COPY OF THE OPERATION AND MAINTENANCE MANUAL IS TO BE PROVIDED TO THE BUILDING INSPECTOR AND BUILDING OCCUPANT DURING FINAL INSPECTION

SPECIAL INSPECTIONS & STRUCTURAL OBSERVATIONS REQUIRED

HERS VERIFICATION REQUIRED



VICINITY MAP
SCALE: 1/32" = 1'-0"

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LICENSED ARCHITECT
DANIEL PIECHOTA
NO. C32712
REN. 09/2019
STATE OF CALIFORNIA

WOUNG-CHAPMAN RESIDENCE
2707 PRADERA ROAD
CARMEL, CA. 93923

DRAWING ISSUE:

NO.	DATE	DESCRIPTION
1	03/23/2018	CARMEL MEADOWS ASSOCIATION SUBMITTAL
2	03/26/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL
3	05/07/2018	AREA & BUILDING SITE COVERAGE REVISIONS
4		
5		
6		

TITLE SHEET

DATE: 5/7/18
SCALE: AS NOTED
DRAWING BY: CH / AL
CHECKED BY: DP

G0.1

LEGEND

&	And
∠	Angle
@	At
℄	Centerline
ø	Diameter or Round
#	Pound or Number
ACOUS.	Acoustical
A.D.	Area Drain
ADC	Automatic Door Control
ADO	Automatic Door Operator
ADJ.	Adjustable
A.F.F.	Above Finish Floor
A.F.G.	Above Finish Grade
AGGR.	Aggregate
ALUM.	Aluminum
AP.	Acoustical Panel
APPROX.	Approximate
ARCH.	Architectural
AT.	Acoustical Tile
ASPH.	Asphalt
BD.	Board
BITUM.	Bituminous
BLDG.	Building
BLK.	Block
BLKG.	Blocking
BM.	Beam
B.O.	Bottom of
BOT.	Bottom
CAB.	Cabinet
C.B.	Catch Basin
C.B.U.	Cementitious Backer Unit
CEM.	Cement
CER.	Ceramic
C.G.	Corner Guard
C.I.	Cast Iron
C.J.	Control Joint
CLG.	Ceiling
CLKG.	Caulking
CLOS.	Closet
CLR.	Clear
CMU	Concrete Masonry Unit
CNTR.	Counter
C.O.	Cased Opening
C.O.	Cased Opening
COF.	Coffee Machine
CONC.	Concrete
CONN.	Connection
CONST.	Construction
CONT.	Continuous
CS.	Concrete Sealer
CTR.	Center
CTSK.	Countersunk
DBL.	Double
DEPT.	Department
DET.	Detail
DIA.	Diameter
DIM.	Dimension
DISP.	Dispenser
DN.	Down
D.O.	Door Opening
DR.	Door
DS.	Downspout
D.S.P.	Dry Standpipe
DW.	Dishwasher
DWG.	Drawing
DWR.	Drawer
(E)	Existing
E.	Electrical
EA.	Each
E.J.	Expansion Joint
EL.	Elevation
ELEC.	Electrical
EMER.	Emergency
ENCL.	Enclosure
E.P.	Electrical Panelboard
EQ.	Equal
EQPT.	Equipment
EXP.	Expansion
EXPO.	Exposed
EXIST.	Existing
EXT.	Exterior
F.A.P.	Fire Alarm Panel
F.A.	Fire Alarm
F.B.	Flat Bar
F.D.	Floor Drain
FDN.	Foundation
F.E.	Fire Extinguisher
F.G.R.	Fiberglass Reinforced
FIN.	Finish
FL.	Floor
FLASH.	Flashing
FLUOR.	Fluorescent
F.O.C.	Face of Concrete
F.O.F.	Face of Finish
F.O.S.	Face of Studs
FP	Fireplace
FPRF.	Fireproof
FRZ.	Freezer
F.S.	Floor Sink
F.S.	Full Size
FT.	Foot or Feet

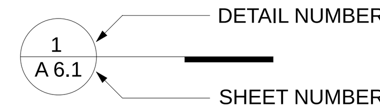
FTG.	Footing
FURR.	Furring
GA.	Gauge
GALV.	Galvanized
G.B.	Grab Bar
GL.	Glass
GND.	Ground
GR.	Grade
GYP.	Gypsum
H.B.	Hose Bibb
H.C.	Hollow Core
HD.	Heat Detector
HDWD.	Hardwood
HDWE.	Hardware
HT.	Height
H.M.	Hollow Metal
HORIZ.	Horizontal
HR.	Hour
I.D.	Inside Diameter
INSUL.	Insulation
INT.	Interior
IRRIG.	Irrigation
JAN.	Janitor
JT.	Joint
KIT.	Kitchen
KM.	Kitchen Machine
LAM.	Laminate
LAV.	Lavatory
LT.	Light
MAX.	Maximum
M.D.F.	Medium Density Fiber BD.
MECH.	Mechanical
MEMB.	Membrane
MTL.	Metal
MFR.	Manufacturer
MH.	Manhole
MIN.	Minimum
MIR.	Mirror
MISC.	Miscellaneous
M.O.	Masonry Opening
MTD.	Mounted
MUL.	Mullion
MW/OVEN.	Microwave Oven
(N)	New
N.	North
N.I.C.	Not in Contract
NO. or #	Number
NOM.	Nominal
N.T.S.	Not to Scale
O.A.	Overall
OBS.	Obscure
O.C.	On Center
OCC.	Occupants
O.D.	Outside Diameter
O.F.D.	Overflow Drain
O.H.	Opposite Hand
OFF.	Office
OPNG.	Opening
OPP.	Opposite
PL.	Plate
P.LAM.	Plastic Laminate
PLAS.	Plaster
PLYWD.	Plywood
PNT.	Paint
PR.	Pair
PRCST.	Pre-Cast
PT.	Point
PTN.	Partition
P.TR	Preservative Treated Wood
Q.T.	Quarry Tile
R.	Riser
RAD.	Radius
R.B.	Resilient Base
R.D.	Roof Drain
REF.	Reference
REFR.	Refrigerator
REINF.	Reinforced
REQ.	Required
RESIL.	Resilient
RGTR.	Register
RJ.	Reveal Joint
RM.	Room
R.O.	Rough Opening
RWD.	Redwood
R.W.L.	Rainwater Leader
S.	South
S.C.	Solid Core
SCHED.	Schedule
SD.	Smoke Detector
SECT.	Section
SH.	Shelf
SHR.	Shower
SHT.	Sheet
SIM.	Similar
SJ.	Seismic Joint
SPEC.	Specification
SQ.	Square
S.S.	Sanitary Sewer
S.ST.	Stainless Steel
STA.	Station

STD.	Standard
STL.	Steel
STOR.	Storage
STRL.	Structural
SUSP.	Suspended
SYM.	Symmetrical
T.B.	Towel Bar
T.C.	Top of Curb
TEL.	Telephone
TER.	Terrazzo
T.&G.	Tongue and Groove
T.J.I.	Truss Joist
THK.	Thick
T.O.	Top of
T.O.C.	Top of Curb
T.O.P.	Top of Plate
T.O.S.	Top of Slab
T.P.	Top of Pavement
TRD.	Tread
T.V.	Television
T.W.	Top of Wall
TYP.	Typical
U.O.N.	Unless Otherwise Noted
VCT.	Vinyl Composition Tile
VERT.	Vertical
VEST.	Vestibule
V.I.F.	Verify In Field
W.	Water
W/	With
W.C.	Water Closet
WD.	Wood
WDB.	Wood Base
WH	Water Heater
W/O	Without
W.O.	Where Occurs
WP.	Waterproof
WSCT.	Wainscot
WT.	Weight

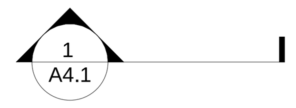
DRAWING REFERENCES

S.A.D.	See Architectural Drawings
S.C.D.	See Civil Drawings
S.E.D.	See Electrical Drawings
S.L.D.	See Landscape Drawings
S.M.D	See Mechanical Drawings
S.P.D.	See Plumbing Drawings
S.S.D.	See Structural Drawings

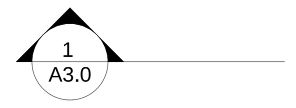
ARCHITECTURAL SYMBOLS



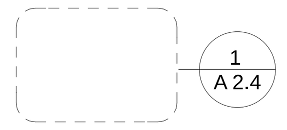
DETAIL BUBBLE



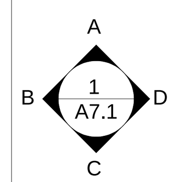
WALL SECTION SYMBOL



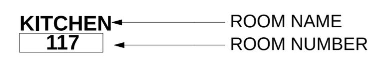
BUILDING SECTION OR
EXTERIOR ELEVATION



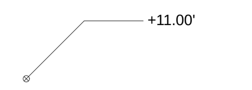
ENLARGED PLAN OR
DETAIL SYMBOL



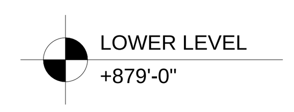
INTERIOR ELEVATIONS



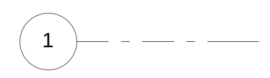
ROOM INFORMATION SYMBOL



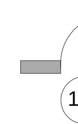
GRADE SYMBOL



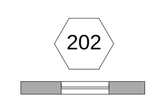
ELEVATION NOTATION



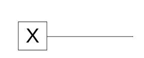
GRID LINE



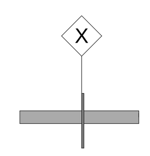
DOOR NUMBER
(a,b,c etc. = MULTIPLE DOORS IN A ROOM)
SEE DOOR SCHEDULE



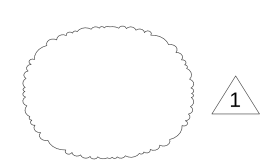
WINDOW NUMBER
(a,b,c etc. = MULTIPLE WINDOWS IN A ROOM)
SEE WINDOW SCHEDULE



KEYED NOTE SYMBOL
REFERENCE KEYED NOTES



WALL ASSEMBLY
REFERENCE A6.2 WALL ASSEMBLIES



REVISION BUBBLE

DIMENSIONING CONVENTIONS

1. DIMENSIONS AS NOTED IN THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. DIMENSIONS ARE FROM GRID LINE TO FACE OF CONCRETE OR STUD ON PLANS AND FACE OF FINISH ON ALL OTHER DRAWINGS, UNLESS OTHERWISE NOTED. ANY ERRORS, OMMISSIONS, OR AMBIGUITIES IN THE PLANS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. SEE ENLARGED PLANS, FOR ADDITIONAL DIMENSIONS & INFORMATION.
3. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE PLANS GOVERN OVER SMALL SCALE PLANS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. IF UNABLE TO LOCATE THE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE ARCHITECT PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS ON ELEVATIONS ARE INDICATED FROM FINISH FLOOR ELEVATION TO FIXTURE &/OR FINISH WALL UNLESS OTHERWISE NOTED.
5. ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF SLAB OR PLYWOOD, UNLESS NOTED "A.F.F."
6. DIMENSIONS ARE NOT ADJUSTABLE , UNLESS NOTED (+/-), WITHOUT ARCHITECT'S WRITTEN APPROVAL.
7. EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS:
   - STRUCTURAL OR DIMENSIONAL GRID LINES
   - CENTERLINE OF STEEL
   - CENTERLINE OF DOOR, WINDOW, OR CASED OPENING
8. WHERE WALLS AND / OR PARTITIONS OF UNEQUAL THICKNESS ABUT, ALIGN EXPOSED FACES, UNLESS OTHERWISE NOTED.

ARCHAEOLOGICAL NOTES

1. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY. (RMA - PLANNING).

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE 2007 CALIFORNIA BUILDING, PLUMBING, MECHANICAL AND FIRE CODES, 2004 CALIFORNIA ELECTRICAL CODE AND THE 2005 CALIFORNIA ENERGY CODE.
2. DIMENSIONS AS NOTED IN THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS ARE FROM GRID LINE TO FACE OF CONCRETE OR STUD UNLESS OTHERWISE NOTED. ANY ERRORS, OMMISSIONS, OR AMBIGUITIES IN THE PLANS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. SEE ENLARGED PLANS, FOR ADDITIONAL DIMENSIONS & INFORMATION.
3. ALL DIMENSIONS ON ELEVATIONS ARE INDICATED FROM FINISH FLOOR ELEVATION TO FIXTURE &/OR FINISH WALL UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS AT THE JOB SITE DURING CONSTRUCTION FOR THE USE OF ALL TRADES AND FOR FIELD INSPECTOR'S REVIEW. CONSTRUCTION DOCUMENTS SHALL INCLUDE THE PLANS & SPECIFICATIONS. PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES,AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION. THE CONTRACTOR MUST PROVIDE ADEQUATE SHORING AND BRACING OF THE STRUCTURE DURING CONSTRUCTION AND SHALL MAINTAIN THE SHORING AND BRACING UNTIL THE NEW PERMANENT STRUCTURE CAN PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT.
6. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY PORTION OF THE WORK WHICH IS PERFORMED WITHOUT A PERMIT ISSUED BY REGULATORY AUTHORITY OF MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
7. THE GENERAL CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATORY CITY AND STATE AGENCIES, UON.
8. THE GENERAL CONTRACTOR SHALL APPLY, PAY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY CITY AND STATE AGENCIES, UON.
9. THE CONTRACTOR AND SUBCONTRACTOR SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CERTIFICATES SHALL NAME THE OWNER AS ADDITIONALLY INSURED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITHE THE WORK INCLUDING BUT NOT LIMITED TO THE PROTECTION OF PEDESTRICANS AND ADJACENT PROPERTIES.
11. THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS.
12. THROUGHOUT THE DURATION OF THE PROJECT THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OF LIEN AGAINST THE OWNER BY SUBCONTACTORS OR SUPPLIERS OF MATERIALS, LABOR, SERVICE, OR EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE. APPROVAL FOR FINAL PAYENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO THE ARCHITECT UPON REQUEST THE SIGNED RELEASE FROM SUCH INDIVIDUALS OR COMPANIES.
13. INFORMATION RELATED TO THE EXISTING CONDITIONS GIVEN HEREIN WAS OBTAINED FROM OWNER-PROVIDED DOCUMENTATION AVAILABLE TO THE ARCHITECT AT THE TIME OF DESIGN. THE ACCURACY OF SUCH INFORMATION HAS NOT BEEN EXHAUSTIVELY VERIFIED. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE BUT EXACT DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND SHALL BE CHECKED BY THE CONTRACTOR.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND FOR CONFIMING THAT THE PROJECT IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH THE CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM IN WRITING AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. NO INFORMATION IS CURRENTLY AVAILABLE FOR THE ADJACENT FOUNDATIONS.
15. COMMENCEMENT OF WORK BY ANY TRADE SHALL CONSTITUTE CONTRACTOR'S DETERMINATION THAT CONDITIONS ARE ACCEPTABLE FOR SUCH WORK.
16. SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASON, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT.
17. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION. FAILURE TO OBTAIN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE WILL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
18. SHOP AND FIELD WORK SHALL BE PERFORED BY MECHANICS, CRAFTSMEN AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDNACE WITH THE BEST, ESTABLISHED PRACTICE OF THE INDUSTRY STANDARD FOR THE TRADES INVOLVED U.O.N. IN DRAWINGS OR SPECIFICATIONS.
19. ALL FURNISHED MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESECT FOR THE WORK IN QUESTION, U.O.N.
20. CONTRACTOR SHALL INSTALL PRODUCTS AND APPLY FINISHES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS UNLESS DIRECTED OTHERWISE BY ARCHITECT.
21. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR SUCH PORTION OF WORK.
22. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. REPLACEMENT OF DEFECTIVE WORK SHALL NOT BE LIMITED TO THE PROJECT WARRANTY PERIOD. SUCH WORK SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF TEH CONSTRUCTION CONTRACT. NO PAYMENT EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
23. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER CONTRACT DOCUMENTS, GOVERNING CODES OR ORDINANCES REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.
24. THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. EVERY EFFORT HAS BEEN MADE TO COORDINATE THE DRAWINGS AND SPECIFICATION OF THE ARCHITECT AND THE CONSULTING ENGINEERS. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMMISIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY THE SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED. ANY ITEM, INSTRUCTION, ETC., SHOWN IN ONE LOCATION SHALL BE REQUIRED AS IF SHOWN ON ALL APPLICABLE LOCATIONS. IN CASE OF DISCREPANCY, CONSULT WITH ARCHITECT BEFORE PROCEEDING.
25. WHEN PORTIONS OF THE PROJECT ARE PERFORMED BY THE CONTRACTOR ON A "DESIGN-BUILD" BASIS, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS AND FOR THE SECURING OF ALL ASSOCIATED PERMITS. THE GENERAL CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE DESIGN-BUILD SUBCONTRACTORS, WHO SHALL BE THE ENGINEERS OF RECORD FOR SUCH SYSTEMS. DESIGN-BUILD DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL U.O.N.
26. CONTRACTOR SHALL SCHEDULE AND PERFORM THE WORK DURING NORMAL WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. ANY OVERTIME REQUIRED SHALL BE INCLUDED IN THE BID. NO CHANGES IN THE CONTRACT AMOUNT WILL BE AUTHORIZED AS A RESULT OF OVERTIME INCURRED.
27. CONTRACTOR TO PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMINATING FROM THE CONSTRUCTION AREA. REMOVE AND LAWFULLY DISPOSE OFF SITE ALL RUBBISH AND DEBRIS RESULTING FROM THE CONTRACTOR'S OPERATIONS DAILY. REMOVE RUBBISH AND DEBRIS AS IT ACCUMULATES AND KEEP AREA BROOM CLEAN. CONTRACTOR SHALL NOT STORE RUBBISH ON SITE.
28. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL (E) FINISHED IN PUBLIC CORRIDORS AND SPAES, EXTERIOR GLAZING AND SITE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED THEREIN BY HO OR HIS SUBCONTRACTORS.
29. THE CONTRACTOR SHALL PREPARE AND SUBMIT A CONSTRUCTION SCHEDULE FOR THE WORK GIVING APPROXIMATE ON-SITE DELIVERY DATES FOR CONSTRUCTION MATERIALS. THE SCHEDULE SHALL BE SUBMITTED AS PART OF THE BID. THE SCHEDULE WITH NECESSARY MODIFICATIONS AS MUTUALLY AGREEABLE TO OWNER AND CONTRACTOR SHALL BECOME PART OF THE CONTRACT FOR CONSTRUCTION. SUBSTITUTIONS BASED UPON DELIVERY DATES OF SPECIFIED PRODUCTS WILL BE ACCEPTED AFTER CONSTRUCTION HAS COMMENCED.
30. THE WORK SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS, DELIVERY AND EQUIPMNET, INCLUDING SCAFFOLDING, SHORING, DISPOSAL, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION OF THE WORK AS INDICATED HEREIN ON THE CONSTRUCTION DOCUMENTS. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND MAUFACTURER'S REQUIREMENTS.
31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS SUPERVISION AND SHALL MAINTAIN CURRENT CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
32. THE GENERAL CONTRACTOR SHALL HAVE A SUPERINTENDANT AT THE JOB SITE WHENEVER AMY WORK IS BEING PERFORMED, IN ORDER TO PROVIDE CONSTANT SUPERVISION.
33. CONTRACTOR SHALL PROVIDE A DEDICATED TELEPHONE AND FAX MACHINE ON SEPARATE LINES AT THE JOB SITE DURING THE ENTIRE DURATION OF CONSTRUCTION.
34. THE CONTRACTOR SHALL PREPARE, REVIEW, APPROVE AND SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS. THE CONTRACTOR SHALL CHECK AND COORDINATE ALL PRODUCT DATA AND SAMPLES AND VERIFY THAT ALL MATERIALS, FIELD MEASUREMENTS AND RELATED FIELD CONSTRUCTION CRITERIA CONTAINED WITHIN SUCH SUBMITTALS CONFORMS WITH THE REQUIREMENTS OF WORK, THE PROJECT AND THE CONTRACT DOCUMENTS. USE THE ARCHITECT'S SUBMITTAL FORM. THE ARCHITECT WILL NOT REVIEW, APPROVE, OR TAKE THE APPROPRIATE ACTION ON SHOP DRAWINGS, PRODUCT DATA AND SAMPLES UNLESS THE CONTRACTOR HAS SUBMITTED A RECOMMENDATION FOR ACTION. SUBMIT SHOP DRAWINGS, MOCK-UPS, ASAMPLES AND OTHER REQUIRED SUBMITTALS IN A TIMELY MANNER SO AS NOT TO DELAY THE PROJECTS. ALLOW THE ARCHITECT ONE WEEK FOR REVIEW AND APPROVAL.
35. REQUIRED SUBMITTALS SHALL INCLUDE, (BUT NOT LIMITED) TO THE FOLLOWING:
    A. MILLWORK AND LAVATORY COUNTERTOPS
    B. ALL FINISH ITEMS
    C. DOORS, FRAMES, GLAZED PARTITIONS AND WINDOWS
    D. FIRE DOORS AND FINISH HARDWARE
    E. LIFE SAFETY DEVICES
    F. SECURITY DEVICES
    G. LIGHT FIXTURES
    H. ELECTRIC HARDWARE
    I. PLUMBING FICTURES AND FITTINGS
    J. HVAC DISTRIBUTION AND EQUIPMENT
    K. STRUCTURAL STEEL

    CONTRACTOR SHALL SUBMIT A MINIMUM OF FOUR SAMPLES OR FOUR COPIES OF SCHEDULES AND DATA FOR EACH ITEM. SUBMIT ONE REPRODUCIBLE AND THREE PRINTS OF EACH SHOP DRAWING.
36. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMNETS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S OR OWNER'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES, UNLESS THE CONTRACTOR HAS SPECIFICALLY NOTIFIED THE ARCHITECT OF SUCH DEVIATION IN WRITING AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN SPECIFIC APPROVAL TO THE SPECIFIC DEVIATION.
37. THER SHALL BE NOT SUBSTITUTION OF MATERIAL WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE QUALITY BASED UPON COMPLETE INFORMATION SUBMITTED BY THE CONTRACTOR. SUBSTITUTIONS SHALL NOT BE MADE UNLESS DRAWINGS AND / OR CUT SHEETS ARE SUBMITTED TO THE ARCHITECT FOR APPROVAL. USE ARCHITECT'S SUBMITTAL FORMS.
38. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, TELEPHONE, ELECTRICAL, SECURITY, LIFE SAFETY AND SPRINKLER WORK SO AS TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED. WHERE CONFLICTS OCCUR, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
39. FINAL LOCATIONS OF ALL EQUIPMENT, PANEL BOARDS, FIXTURES, ETC. SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
40. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY AND FREE OF VIBRATION. SEE MANUFACTURER'S RECOMMENDATIONS FOR ACOUSTICALLY SOUND CONTRCUTION METHODS.
41. THE CONTRACTOR SHALL ASSIST THE OWNER IN THE INSTALLATION AND / OR COORDINATION OF ALL ITEMS NOT IN CONTRACT, INCLUDING BUT NOT LIMITED TO APPLIANCES, FIXTURES, TELEPHONE, AUDIO-VISUAL, CABLE TELEVISION, ARTWORKS, SIGNAGE, ETC.
42. UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE CONTRACTOR SHALL DIRECT THE ARCHITECT AND ENGINEERS TO PREPARE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND / OR INCOMPLETE WORK. FINAL PAYMENT SHALL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER - CONTRACTOR AGREEMENT.
43. THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF REPRODUCIBLES OF THE CONTRACT DRAWINGS FOR RECORD MARK-UP PURPOSES THROUGHOUT THE CONTRACT TIME AND SHALL MARK-UP THESE DRAWINGS DURING THE COURSE OF WORK TO SHOW BOTH CHANGES AND ACTUAL INSTALLATION IN SUFFICIENT FORM TO COMPRISE A COMPLETE RECORD FOR THE OWNER'S PURPOSES. CONTRACTOR SHALL GIVE PARTICULAR ATTENTION TO WORK WHICH WILL BE CONCEALED AND DIFFICULT TO MEASURE OR RECORD AT A LETER DATE, AND TO WORK WHICH MAY REQUIRE SERVCING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. BIND PRINTS INTO MANAGEABLE SETS WITH DURABLE PAPER COVERS LABELED 'AS-BUILT' DRAWINGS.
44. THE CONTRACTOR SHALL FURINISH TO THE OWNER TWO COPIES OF MANUFACTURER'S INSTRUCTION, OPERATION, AND MAINTENANCE MANUALS FOR PRODUCTS AND EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS, INCLUDING SPECIAL TOOLS, ACCESSORIES, SPARE PARTS, ETC.
45. GENERAL CONTRACTOR SHALL PROVIDE WRITTEN ONE 91) YEAR WARRENTY FOR ALL WORK PERFORMED, EXCEPT WHERE NOTED OTHERWISE. WARRANTY PERIOD SHALL COMMENCE AT THE DATE OF OCCUPANCY.
46. ALL WORK SHALL PROVIDE FOR MATERIAL EXPANSION AND CONTRACTION, SHRINKAGE, BUILDING MOVEMENTS SUFFICIENT TO PREVENT CRACKS, BUCKLING, WARPING, OR OTHER DEFORMATION DUE TO HUMIDITY AND TEMPERATURE CHANG AND NORMAL LOADING.
47. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE. THE DRAWINGS SHOW ONLU SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR; THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.
48. DETAILS SHALL GOVERN OTHER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. SEE DIMENSIONING NOTES.
49. LIFE SAFETY SYSTEMS WORK SHALL BE PROVIDED ON A DESIGN-BUILD BASIS THROUGH THE GENERAL CONTRACTOR U.O.N. WORK TO COMPLY WITH APPLICABLE CODES.
50. MECHANICAL AND PLUMBING SYSTEMS WORK SHALL BE PROVIDED ON A DESIGN / BUILD BASIS THROUGH THE GENERAL CONTRACTOR U.O.N. WORK TO COMPLY WITH APPLICABLE CODES. CONTRACTOR TO FORWARD CUTSHEETS OF UNITS PRIOR TO FIRST FLOOR FRAMING AND NOTIFY ARCHITECT OF CLEARANCES REQUIRED BY UNITS.
51. ELECTRICAL SYSTEMS WORK SHALL BE PROVIDED ON A DESIGN / BUILD BASIS THROUGH THE GENERAL CONTRACTOR U.O.N. WORK TO COMPLY WITH APPLICABLE CODES.
52. THE APPEARANCE OF THE ARCHITECT'S IDENTIFICATION BLOCK ON DRAWINGS PREPARED BY OTHER FIRMS SHALL NOT BE CONSTRUED TO INDICATE RESPONSIBILITY FOR THE CONTENTS OF SUCH DRAWINGS ON THE PART OF THE ARCHITECT, EXCEPT AS REQUIRED BY LAW.
53. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE ARCHITECT.
54. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS, LEAD PAINT, OR OTHER HAZARDOUS MATERIALS ON THE PROJECT SITE. PRIOR TO STARTING WORK, THE CONTRACTOR SHALL MAKE A GOOD FAITH EFFORT TO IDENTIFY ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED PRIOR TO STARTING WORK, OR DURING DEMOLITION, STOP WORK IMMEDIATELY AND CONTACT THE OWNER AND ARCHITECT FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
55. SAGAN PIECHOTA ARCHITECTURE DOES NOT CARRY LIABILITY INSURANCE TO COVER WORK DONE REGARDING THE IDENTIFICATION, REPAIR, REMOVAL OR ENCAPSULATION OF HAZARDOUS MATERIALS. ANY WORK RELATED TO THE IDENTIFICATION AND REMOVAL OF HAZARDOUS MATERIALS IS SPECIFICALLY EXCLUDED FROM THE SCOPE OF WORK REPRESENTED IN THESE DOCUMENTS AND SHALL BE PERFORMED UNDER SEPARATE CONTRACT.

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4		
5		
6		

GENERAL NOTES

DATE: 5/7/18
SCALE: AS NOTED
DRAWING BY: CH / AL
CHECKED BY: DP

G0.2

SMOKE ALARM & CARBION MONOXIDE ALARM NOTES:

1. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS AS REQUIRED BY SECTION R314 OF THE 2016 CALIFORNIA RESIDENTIAL CODE (CRC) AND SECTION 13113.7 OF THE HEALTH AND SAFETY CODE.

2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLINGS WHICH CONTAIN FUEL BURNING APPLIANCES OR HAVING ATTACHED GARAGES. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING THE BASEMENT(S) AS REQUIRED BY SECTION R315 OF THE CALIFORNIA RESIDENTIAL CODE (CRC). CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND THE MANUFACTURER'S INSTRUCTIONS.

FIRE PREVENTION INSPECTION & DEVLOPMENTAL REVIEW NOTES:

FIRE SPRINKLER REQUIRED:

1. AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED. THE OWNER(S), OCCUPANT(S), AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. NOTE: COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE. FOR BUILDINGS 3,601 TO 6,200 SQUARE FEET, THE NUMBER OF DESIGN SPRINKLERS SHALL INCLUDE ALL SPRINKLERS WITHIN THE MOST REMOTE ROOM OR COMPARTMENT UP TO A MAXIMUM OF THREE (3) SPRINKLERS. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY MSMC.

WATER SUPPLY REQUIREMENTS:

1. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

CONSTRUCTION SITE FIRE SAFETY:

1. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CRC CHAPTER 33 AND MONTE SERENO STANDARD DETAIL AND SPECIFICATION SI-7.

ADDRESS IDENTIFICATION:

1. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED IDENTIFICATION PLACED IN A POSITION THAT IS LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SEC. 505.1

DEFENSIBLE SPACE REQUIREMENTS:

1. REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES. LIMB TREES 6 FEET UP FROM GROUND, REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL FIRE PROTECTION OR FIREBREAKS APPROVED BY THE REVIEWING AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITES:

*ALSO SEE SHEET CMP - CONSTRUCTION MANAGEMENT PLAN

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.

2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY FORCES OF WIND OR WATER.

3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM WEATHER. SPILLS MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED AS SOLID WASTE. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

4. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

5. ANY SLOPES WITH DISTURBED SOILS OR VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

WILD-LAND-URBAN INTERFACE FIRE AREA NOTES:

ROOFING:

1. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS, BE FIRE-STOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER COMBUSTIBLE DECKING PER CRC R327.5.2

2. WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 0.019" NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72 LB MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909, AT LEAST 36" WIDE RUNNING THE FULL LENGTH OF THE VALLEY PER CRC R327.5.3

3. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER PER CRC R327.5.4

VENTS:

1. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS, OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS PER CRC R327.6.2:

   1. THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8".
   2. THE MATERIALS USED SHALL BE NONCOMBUSTIBLE.
   3. THE MATERIALS USED SHALL BE CORROSION RESISTANT.

2. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES PER CRC R327.6.3

EXTERIOR COVERINGS:

1. THE EXTERIOR WALL COVERINGS OR WALL ASSEMBLY SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS PER CRC R327.7.3:

   1. NON-COMBUSTIBLE MATERIAL.
   2. IGNITION-RESISTANT MATERIAL.
   3. HEAVY TIMBER EXTERIOR WALL ASSEMBLY.
   4. LOG WALL CONSTRUCTION ASSEMBLY
   5. WALL ASSEMBLIES THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN SFM STANDARD 12-7A-1.

   EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE PER CRC R327.7.3.1

2. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF ONE OF THE FOLLOWING PER CRC R327.7.4:

   1. NON-COMBUSTIBLE MATERIAL.
   2. IGNITION-RESISTANT MATERIAL.
   3. ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK.
   4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.

3. THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES HAVING EITHER A BOXED-IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE, OR SLOPING RAFTER TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS, SHALL BE PROTECTED BY ONE OF THE FOLLOWING PER CRC R327.7.5:

   1. NON-COMBUSTIBLE MATERIAL.
   2. IGNITION-RESISTANT MATERIAL.
   3. ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT.
   4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
   5. BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES WITH HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CIRTERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.

4. THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY ONE OF THE FOLLOWING PER CRC R327.7.6:

   1. NON-COMBUSTIBLE MATERIAL.
   2. IGNITION-RESISTANT MATERIAL.
   3. ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPIED BEHIND THE EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.
   4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
   5. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN THE SFM STANDARD 12-7A-3.

5. THE EXPOSED UNDERSIDE OF A CANTILEVERED FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AN EXTERIOR WALL SHALL BE PROTECTED BY ONE OF THE FOLLOWING PER CRC R327.7.7:

   1. NON-COMBUSTIBLE MATERIAL.
   2. IGNITION-RESISTANT MATERIAL.
   3. ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
   4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE FLOOR PROJECTION INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
   5. THE UNDERSIDE OF A FLOOR PROJECTION ASSEMBLY THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.

6. THE UNDERFLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL CONSIST OF ONE OF THE FOLLOWING PER CRC R327.7.8:

   1. NON-COMBUSTIBLE MATERIAL.
   2. IGNITION-RESISTANT MATERIAL.
   3. ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
   4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE FLOOR INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
   5. THE UNDERSIDE OF A FLOOR ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.

7. WHEN REQUIRED BY THE ENFORCING AGENCY THE UNDERSIDE OF OVERHANGING APPENDAGES SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL CONSIST OF ONE OF THE FOLLOWING PER CRC R327.7.9:

   1. NON-COMBUSTIBLE MATERIAL
   2. IGNITION-RESISTANT MATERIAL
   3. ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
   4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE FLOOR INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
   5. THE UNDERSIDE OF A FLOOR ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.

GREEN POINT CHECKLIST: SINGLE FAMILY RESIDENCE

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CARMEL, CA, 93923

DRAWING ISSUE:

NO.	DATE	DESCRIPTION
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2	03/26/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL
3	05/07/2018	AREA & BUILDING SITE COVERAGE REVISIONS
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5		
6		

GENERAL NOTES, CONITINUED

DATE: 5/7/18 DRAWING BY: CH / AL
SCALE: AS NOTED CHECKED BY: DP

A0.3

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SHEET NOTES:

- AREA WITHIN **300'** OF SUBJECT PROPERTY
- SUBJECT PROPERTY
- NEIGHBORING PARCELS WITHIN 300' OF SUBJECT PROPERTY

SUBJECT PROPERTY:
2707 PRADERA ROAD
APN: 243-032-020

ADJACENT PROPERTIES LOCATED WITHIN 300 FEET OF SUBJECT PROPERTY:

1) 2697 PRADERA ROAD
APN: 243-032-001
2) 2700 RIBERA ROAD
APN: 243-032-002
3) 2730 RIBERA ROAD
APN: 243-032-003
4) 2740 RIBERA ROAD
APN: 243-032-004
5) 2760 RIBERA ROAD
APN: 243-032-005
6) 2780 RIBERA ROAD
APN: 243-032-006
7) 2790 RIBERA ROAD
APN: 243-032-007
8) 2800 RIBERA ROAD
APN: 243-032-008
9) 2810 RIBERA ROAD
APN: 243-032-009
10) 2757 PRADERA ROAD
APN: 243-032-015
11) 2747 PRADERA ROAD
APN: 243-032-016
12) 2737 PRADERA ROAD
APN: 243-032-017
13) 2727 PRADERA ROAD
APN: 243-032-018
14) 2717 PRADERA ROAD
APN: 243-032-019
15) 2718 PRADERA WAY
APN: 243-034-001
16) 2724 PRADERA ROAD
APN: 243-034-002
17) 2734 PRADERA ROAD
APN: 243-034-003
18) 2744 PRADERA ROAD
APN: 243-034-010
19) 2754 PRADERA ROAD
APN: 243-041-010
20) 2650 RIBERA ROAD
APN: 243-041-008
21) 2640 RIBERA ROAD
APN: 243-041-007
22) 2645 RIBERA ROAD
APN: 243-043-008
23) 2655 RIBERA ROAD
APN: 243-031-001
24) 2665 RIBERA ROAD
APN: 243-031-002
25) 2675 RIBERA ROAD
APN: 243-031-038
26) 2695 RIBERA ROAD
APN: 243-031-005
27) 2705 RIBERA ROAD
APN: 243-031-006
28) 2715 RIBERA ROAD
APN: 243-031-007
29) 2725 CALLE LA CRUZ
APN: 243-031-008
30) 2751 RIBERA ROAD
APN: 243-031-015
31) 2755 RIBERA ROAD
APN: 243-031-016
32) 2765 RIBERA ROAD
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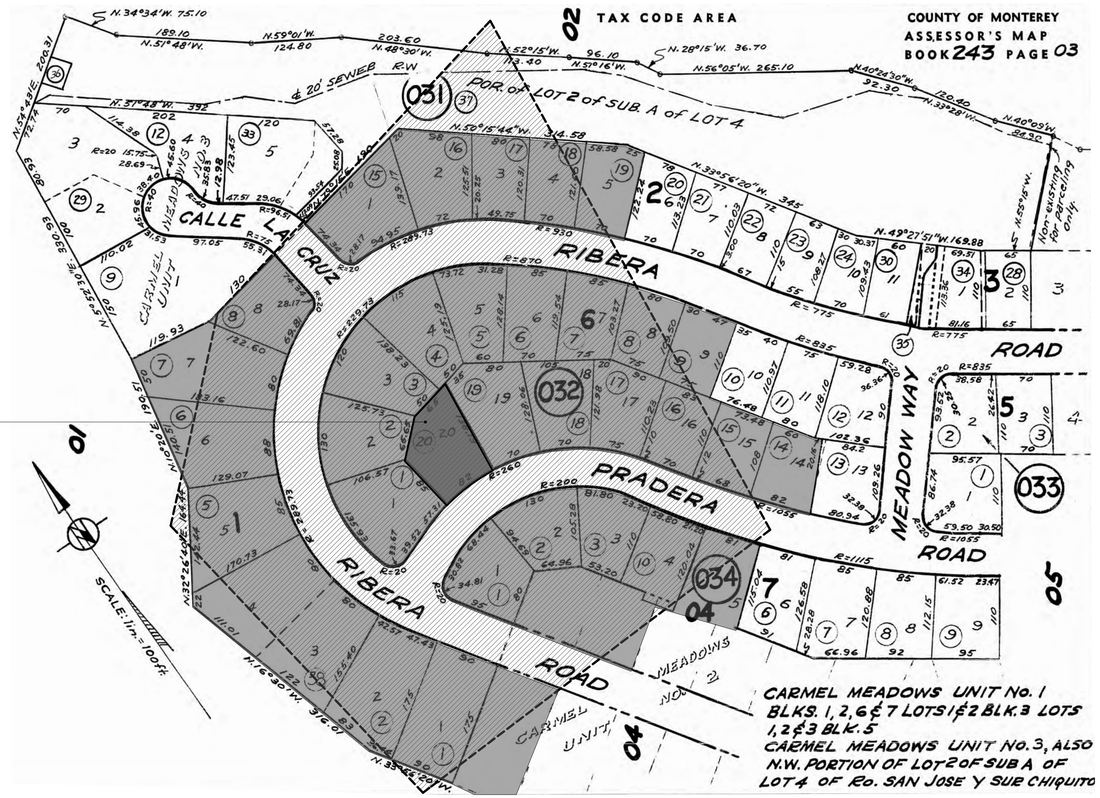
33) 2775 RIBERA ROAD
APN: 243-031-018
34) 2785 RIBERA ROAD
APN: 243-031-019



SUBJECT PROPERTY
2707 PRADERA ROAD
APN: 243-032-020

N

ACCESSOR'S PARCEL MAP
0 100' 200' SCALE: 1" =100'

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ACCESSOR'S PARCEL MAP

DATE: 5/7/18 DRAWING BY: CH / AL
SCALE: AS NOTED CHECKED BY: DP

G0.4

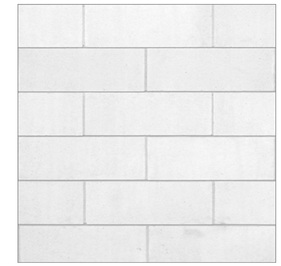
SOUTH FACADE

VIEW OF ENTRY FACADE AND DRIVEWAY FROM PRADERA ROAD

NORTHEAST CORNER

VIEW OF LIVING ROOM WING AND EAST FACADE

1 VERTICAL BOARD & BATTEN WOOD CLADDING - 2X2 BATTENS SPACED EVERY 4" O.C.; WHITE-WASH FINISH

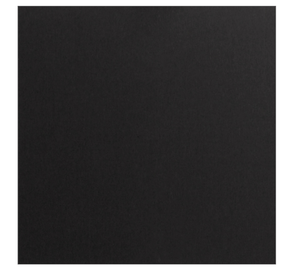


2 EXPOSED CONCRETE MASONRY UNIT (CMU) BLOCK - 4"X16"X8"; SMOOTH 'SACKED' WHITE-WASH PLASTER FINISH

3 VERTICAL GRAIN 'VG' WHITE OAK VENEER ENTRY DOOR - SOLID CORE; NATURAL COLOR WITH CLEAR OIL FINISH

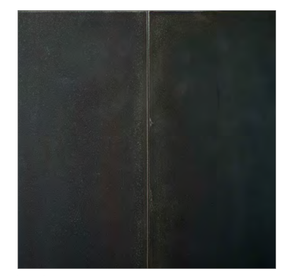
4 BRUSHED SEVILLE LIMESTONE, EXTERIOR PAVING AND DECKING

5 #3 ROOFING BALLAST- 1"-2" LARGE ROUNDED RIVER ROCK; WHITE AND LIGHT-GREY COLOR

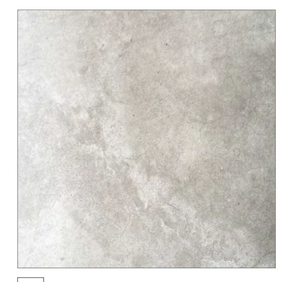


6 ZINC METAL OR PAINTED METAL (ALT.) ROOF & SILL FLASHING; COLOR TO MATCH ALUMINUM WINDOWS & DOORS

7 ALUMINUM EXTERIOR DOORS & WINDOW FRAMES - THERMALLY BROKEN; DARK-BRONZE ANODIZED COLOR



8 PAINTED AZEK PVC FASCIA AND WALL PANELS; COLOR TO MATCH EXTERIOR DOOR & WINDOW FRAMES



9 SMOOTH TROWELED CONCRETE; NATURAL WHITE / LIGHT-GREY COLOR

10 VERTICAL TIMBER WOOD SCREEN - 2X WD. BOARDS SPACED 4" O.C.; WHITE-WASH FINISH TO MATCH WOOD SIDING

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5		
6		

EXTERIOR MATERIAL PALETTE

DATE: 5/7/18
SCALE: AS NOTED
DRAWING BY: CH / AL
CHECKED BY: DP

G0.5

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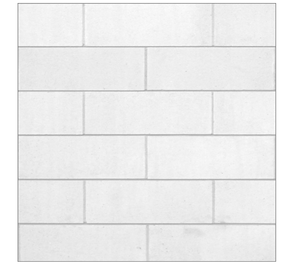
NORTH FACADE

VIEW OF INNER COURTYARD AND COVERED DECK FROM REAR YARD

NORTHWEST CORNER

VIEW OF MASTER WING AND WEST FACADE FROM REAR YARD

1 VERTICAL BOARD & BATTEN WOOD CLADDING - 2X2 BATTENS SPACED EVERY 4" O.C.; WHITE-WASH FINISH

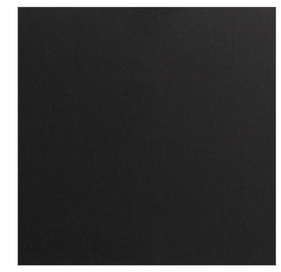


2 EXPOSED CONCRETE MASONRY UNIT (CMU) BLOCK - 4"X16"X8"; SMOOTH 'SACKED' WHITE-WASH PLASTER FINISH

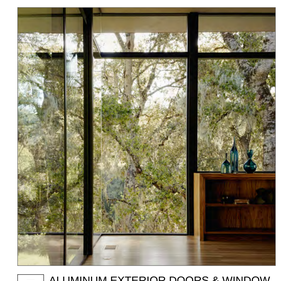
3 VERTICAL GRAIN 'VG' WHITE OAK VENEER ENTRY DOOR - SOLID CORE; NATURAL COLOR WITH CLEAR OIL FINISH

4 BRUSHED SEVILLE LIMESTONE, EXTERIOR PAVING AND DECKING

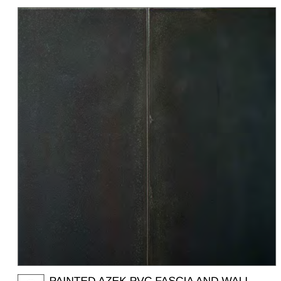
5 #3 ROOFING BALLAST- 1"-2" LARGE ROUNDED RIVER ROCK; WHITE AND LIGHT-GREY COLOR



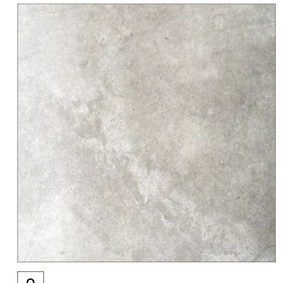
6 ZINC METAL OR PAINTED METAL (ALT.) ROOF & SILL FLASHING; COLOR TO MATCH ALUMINUM WINDOWS & DOORS



7 ALUMINUM EXTERIOR DOORS & WINDOW FRAMES - THERMALLY BROKEN; DARK-BRONZE ANODIZED COLOR



8 PAINTED AZEK PVC FASCIA AND WALL PANELS; COLOR TO MATCH EXTERIOR DOOR & WINDOW FRAMES



9 SMOOTH TROWELED CONCRETE; NATURAL WHITE / LIGHT-GREY COLOR

10 VERTICAL TIMBER WOOD SCREEN - 2X WD. BOARDS SPACED 4" O.C.; WHITE-WASH FINISH TO MATCH WOOD SIDING

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Daniel Piechota, Architect

LICENSED ARCHITECT DANIEL PIECHOTA NO. C22712 REN. 09/2019 STATE OF CALIFORNIA

WOUNG-CHAPMAN RESIDENCE
2707 PRADERA ROAD
CARMEL, CA. 93923

DRAWING ISSUE:

NO.	DATE	DESCRIPTION
1	03/23/2018	CARMEL MEADOWS ASSOCIATION SUBMITTAL
2	03/26/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL
3	05/07/2018	AREA & BUILDING SITE COVERAGE REVISIONS
4		
5		
6		

EXTERIOR MATERIAL PALETTE

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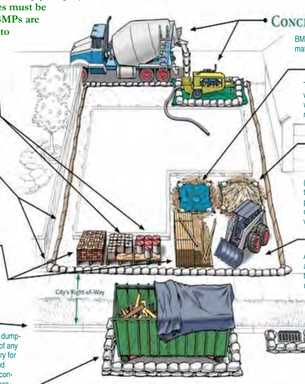
Construction Site Best Management Practices

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLU-

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.



Paint and Stucco

All paint and stucco material stored on the site must be contained and covered. It is illegal to dump unused paint or stucco in the sewer or storm drain system. Do not wash out brushes in the street or dump any residues in the storm drain. Paint brushes and spray guns must be washed/cleaned out into a hazardous materials drum or back into the original container and disposed of properly.

Perimeter Controls

Gravel bags, silt fences and straw wattles (weighted down) are acceptable perimeter controls, and must be used to surround the entire site. Avoid running over perimeter controls with vehicles or heavy equipment as they can damage the materials. Keep extra absorbent materials and/or wet-dry vacuum on site to quickly pick up unintended spills.

Building Materials/Staging Areas

Construction material must be stored on site at all times. Building materials should always be covered when not in use to prevent runoff caused by wind or rain. Flooding must also be prevented by monitoring the site before, during, and after rain events to ensure that BMPs are functioning and that there are no safety issues.

Traffic Control Permits

Prior to staging any materials or equipment in the right-of-way (such as dumpsters or trucks), please contact the applicable local jurisdiction to learn of any temporary encroachment permit or traffic control requirements necessary for right-of-way staging and loading areas, applicable stormwater BMPs and safety plan review requirements. Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.

Dumpsters

Always cover dumpsters with a rollback tarp. Areas around dumpsters should be swept daily. Perimeter controls around dumpster areas should be provided if pollutants are leaking or discharging from the dumpster.

Concrete Trucks / Pumpers / Finishers

BMPs such as tarps and gravel bags should be implemented to prevent materials and residue from entering into the storm drain system.

Washout Area

The disposal of "wet" construction materials should be handled in the washout area. This includes paint, stucco, and concrete. Use a berm with an impervious liner to contain wet materials and prevent runoff in nearby areas. The washout area must be checked and maintained daily to ensure compliance. All dried materials must be disposed of at the landfill.

Dirt and Grading

Mounds of dirt or gravel should be stored on site and sprayed daily with water to prevent excessive dust. During the rainy season (October 15th—April 15th) these materials should be covered. For those areas that are active and exposed, a wet weather triggered action plan including additional BMPs should be in place to protect the site during a rain event. Sites must have adequate tracking control to prevent the transport of dirt/gravel from the site.

Earthmoving Equipment

All earthmoving equipment should be stored on site. Maintenance of any equipment should be conducted on site, and mud tracks and dirt trails left by equipment leading to and from the site should be cleaned up immediately.

Storm Drains

Storm drains must be protected at all times with perimeter controls, such as gravel bags. Sand bags are typically not used for inlet protection because they do not permit flow-through. Replace ruptured or damaged gravel bags and remove the debris from the right-of-way immediately.

Protecting water resources improves and preserves quality of life for our children and future generations.

Questions? Contact the local Public Works Dept. in the jurisdiction your project resides or the MRSWMP Program Manager.

Pollution Prevention Planning

Every construction project must have an erosion and sediment control plan to prevent soil and materials from leaving the site. Basic steps for this plan include:

1. Understand local jurisdictional stormwater management requirements and create your plan to match your construction site and project needs.
2. Identify the storm drains and the conveyance system (s) nearest the construction site area and provide plan to protect them from worksite pollutants.
3. Obtain all local jurisdictional permits, including traffic control permits, if needed.
4. Schedule construction activities so that the soil is not exposed for long period of time. Limit grading to small areas; install key sediment control practices before site grading begins.
5. Contact the inspector assigned to your project to answer any questions and ensure compliance. Modify BMPs as job requires.

Photo courtesy USEPA.

Prevent Pollution and Avoid Fines (3 C's)

Control: The best line of defense is to use good housekeeping practices and sediment/erosion control BMPs to prevent materials and debris from entering the storm drain.

Contain: Isolate your work area to prevent discharges from leaving the site. Store materials out of the rain and in secondary containment, if necessary.

Capture: Sweep or vacuum up any material that could possibly run offsite. Dispose of wastes properly by checking product labels for disposal requirements.

Additional Tips to Support BMPs:

- Schedule site stabilization activities, such as landscaping, to be completed immediately after the land has been graded to its final contour.
- Inspect & maintain silt fences and straw wattles after each rainstorm. Make sure stormwater is not flowing around these devices or other vegetative buffers. Cover all dirt piles to protect from wind and rain.
- Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.
- Minimize amount of vegetation cleared from the site. Protect and install vegetative buffers along waterbodies to slow and filter stormwater runoff.
- Properly dispose of all waste materials. Never dump unused or waste product on the ground or in a storm drain. Don't hose off surfaces to clean. Sweep and place waste in dumpster.
- Break up long slopes with sediment barriers. Install structural BMPs to trap sediment on downslope sides of the lot.
- When in doubt, contact local jurisdiction for guidance.

Online Resources

California Storm Water Quality Association - www.cabmphandbooks.com
International BMP Database - www.bmpdatabase.org
California State Water Board - www.waterboards.ca.gov

Stormwater & Education Alliance
sea — www.montereysea.org

Cities of Carmel-by-the-Sea Del Rey Oaks Marina Monterey Pacific Grove Sand City Seaside

County of Monterey
Pebble Beach Company

Unified School Districts of Carmel Monterey Pacific Grove

5 Harris Ct., Bldg D
Monterey, CA 93940

Phone: (831) 645.4621
Fax: (831) 372.6178
Web: MontereySEA.org

Stormwater & Education Alliance — sea — **Monterey Regional Storm Water Program**

Got Construction?

A Storm Water Pollution Prevention Guide for the Construction Industry

MontereySEA.org
(831) 645-4621

CONSTRUCTION NOTES

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 8AM TO 5PM.
2. HAUL TRUCKS SHALL MAINTAIN 2 FEET FREEBOARD AND BE COVERED.
3. COVER INACTIVE STORAGE PILES.
4. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES AND COPIES ARE TO BE AVAILABLE FOR AGENCY REVIEW UPON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ON SITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE THE EROSION CONTROL PLAN FOR FURTHER SPECIFICATIONS.
6. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G.: CLEAN UP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF RAIN, INCLUDING COVERING EXPOSED PILES OF SOILS AND WASTES, DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER.)
7. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION RELATED RUNOFF AND / OR SEDIMENT FROM LEAVING THE SITE.
8. STOP WORK WITHIN 50 METERS (165 FT.) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.
9. DUE TO THE PROXIMITY OF EXISTING RECORDED ARCHAEOLOGICAL RESOURCES, THERE IS POTENTIAL FOR HUMAN REMAINS TO BE ACCIDENTALLY DISCOVERED. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE INADVERTENTLY ENCOUNTERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (165 FT.) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.

CONSTRUCTION COORDINATOR

1. CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRIES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF THE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

CONSTRUCTION ACTIVITY DESCRIPTION

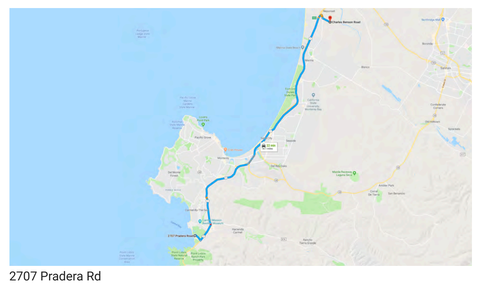
1. DURATION: JANUARY 2018 - DECEMBER 2020
2. MONDAY THRU FRIDAY, 8AM - 5PM
3. 10 WORKERS
   5 REGULAR PICKUP TRUCKS
4. 85% RECYCLE RATE FOR LUMBER
5. TRASH AND UN-RECYCLED DEBRIS ARE COLLECTED ON SITE IN A PORTABLE TRAILER AND REMOVED BY TOWING BEHIND REGULAR PICKUP TRUCK, ONCE A MONTH TO THE **MARINA LANDFILL.**
6. GRADING: 300 CY CUT / 1300 CY FILL = 100 CY OF IMPORT, DELIVERED AS NEEDED
   15 CY LOADS = 67 TRUCK LOADS

TREE PROTECTION

1. SEE LANDSCAPE DRAWINGS - TREE PROTECTION PLAN

TRUCK HAULING ROUTE

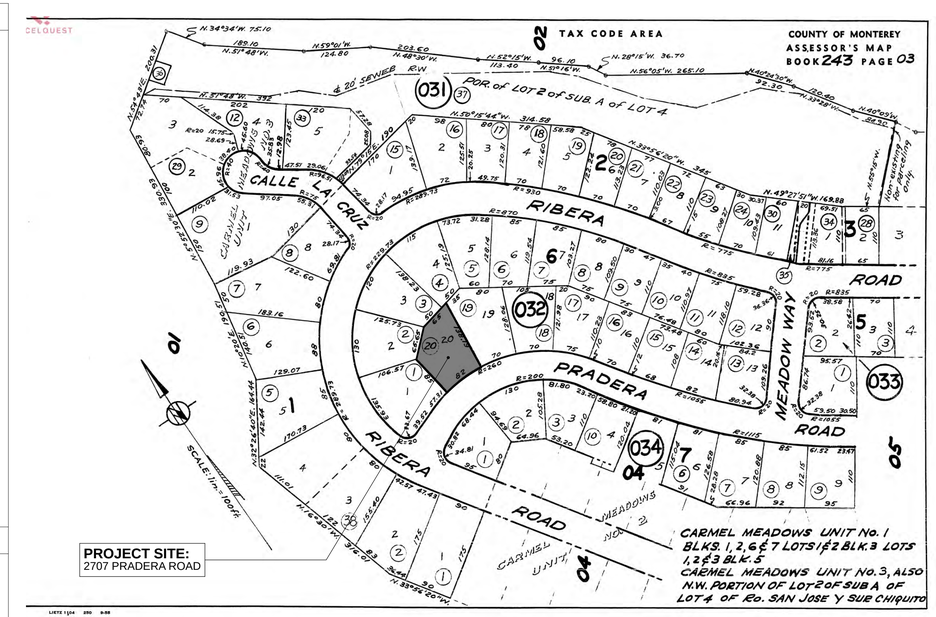
2707 PRADERA ROAD, CARMEL, CA - TO - CHALES BENSON ROAD, SALINAS, CA
DRIVE: 18.1 MILES, 23 MIN.



2707 Pradera Rd
Carmel-By-The-Sea, CA 93923

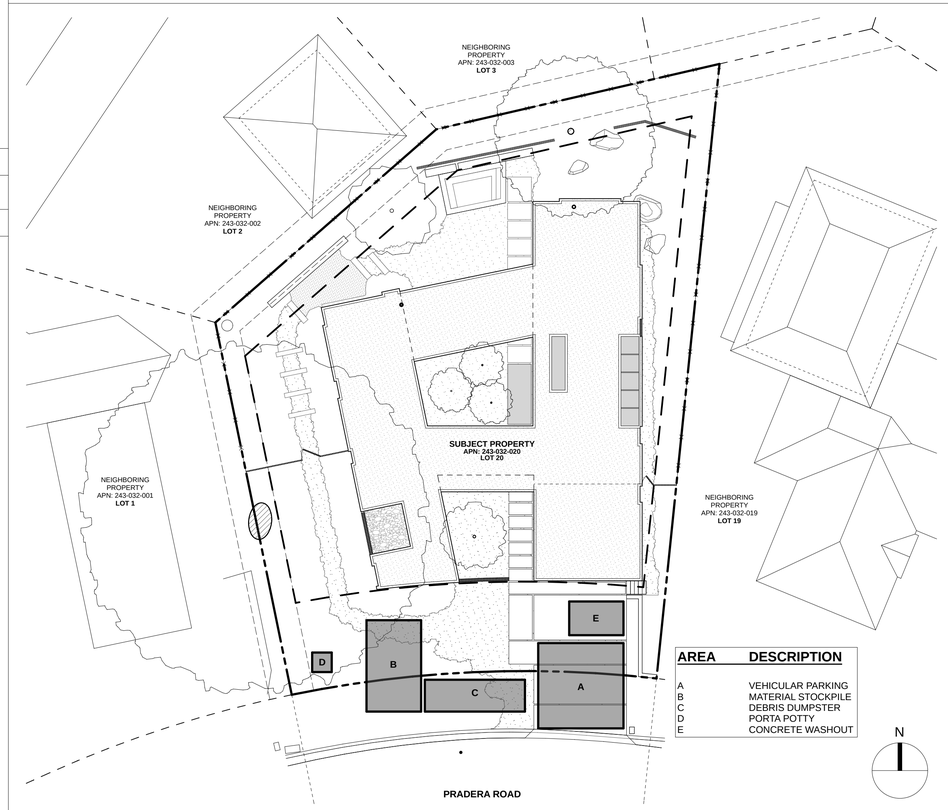
1. Head west on Pradera Rd toward Ribera Rd — 161 ft
2. Turn right onto Ribera Rd — 0.6 mi
3. Turn left onto CA-1 N — 16.6 mi
4. Take exit 412 for Del Monte Blvd — 0.3 mi
5. Turn right onto Del Monte Blvd — 0.2 mi
6. Turn left onto Charles Benson Rd — 0.5 mi
   Restricted usage road

Charles Benson Rd
Salinas, CA 93908



PROJECT SITE:
2707 PRADERA ROAD

ACCESSOR'S PARCEL MAP (VICINITY MAP)
NOT TO SCALE



AREA	DESCRIPTION
A	VEHICULAR PARKING
B	MATERIAL STOCKPILE
C	DEBRIS DUMPSTER
D	PORTA POTTY
E	CONCRETE WASHOUT

CONSTRUCTION MANAGEMENT PLAN
0 16' 32'
SCALE: 1/16" = 1'-0"

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LICENSED ARCHITECT DANIEL PIECHOTA NO. C22712 REN. 09/2019 STATE OF CALIFORNIA

WOUNG-CHAPMAN RESIDENCE
2707 PRADERA ROAD
CARMEL, CA. 93923

DRAWING ISSUE:

NO.	DATE	DESCRIPTION
1	03/23/2018	CARMEL MEADOWS ASSOCIATION SUBMITTAL
2	03/28/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL
3	05/07/2018	AREA & BUILDING SITE COVERAGE REVISIONS
4		
5		
6		

CONSTRUCTION MANAGEMENT PLAN

DATE: 5/7/18 DRAWING BY: CH / AL
SCALE: AS NOTED CHECKED BY: DP

CMP

GENERAL NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING:
– LATEST REVISION OF THE MONTEREY COUNTY DESIGN STANDARDS AND SPECIFICATIONS
– THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)
– THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEnC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRES CODE (CFC).

2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER.

3. IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. GRADING PERMITS EXPIRE 180 DAYS FROM ISSUANCE DATE.

4. THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

6. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227–2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND MAINTAIN A CURRENT DIG ALERT/811 TICKET THROUGHOUT THE PROJECT.

7. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.

8. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.

9. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF–HAUL AND DISPOSE OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: ASPHALT, CONCRETE STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE, EXCESS FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT–BALLS FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE.

11. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.

12. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AND BUILDING OFFICIALS AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.

13. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT–OF–WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

14. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH
B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

15. A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

16. PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

STORM DRAIN

1. ALL STORM DRAIN PIPING 6"–24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE–S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS–N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.

2. ALL STORM DRAIN PIPE SHALL BE RIGID. NO FLEX PIPE.

BENCHMARK

ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.

ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "BESTOR ENGINEERS" IN THE A.C. PAVEMENT OF PRADERA ROAD NEAR THE MIDPOINT OF THE SOUTHERLY PROPERTY LINE, SHOWN HEREON. SEE SHEET C2.

ELEVATION = 96.00 FEET (APPROX. NAVD88)

CONTOUR INTERVAL = ONE FOOT.

TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT SHOWN.

GRADING & DRAINAGE

1. CONTRACTOR SHALL NOTIFY COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.

2. ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT–OF–ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.

4. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.

5. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB–GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.

6. MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE DIRECTED.

7. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.

8. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOT–BALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.

9. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.

10. EARTHWORK QUANTITIES:
CUT = 186 CY
FILL = 229 CY
NET = 43 CY FILL

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

11. ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.

12. PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

13. INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB–DRAINS AND FOUNDATION SUB–DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.

14. BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.

15. ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.

16. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE TAKEN:

A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.

B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.

C. RUN–OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

D. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806–16.12.090)

17. ALL ROOF DRAINS SHALL DISCHARGE ONTO PAVED SURFACES, SPLASH BLOCKS OR BE HARD PIPED TO THE STORM DRAIN SYSTEM.

18. VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL.

19. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

20. PREPARATION OF GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY THE REMOVAL OF TOPSOIL AND OTHER UNSUITABLE MATERIALS.

21. PREPARATION OF THE GROUND. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON–COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL.

22. FILL MATERIAL PERMITTED. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILL EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.

23. THE ULTIMATE PURPOSE OF GRADING IS FOR THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE W/DRIVEWAY.

UNDERGROUND UTILITIES

1. CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.

2. ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.

3. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES, CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

4. PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.

5. SHOULD ANY WATER SYSTEM MAINS OR SERVICES BE DAMAGED BY THE CONTRACTOR, THE WATER SYSTEM SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS PER CALIFORNIA AMERICAN WATER.

TREE PROTECTION NOTES

THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

1. MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

2. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW ONTO THE GROUND. ALL CONTAMINANTS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CASAQ CONSTRUCTION BEST MANAGEMENT PRACTICES, SEE EROSION CONTROL PLAN SHEET C4.

3. TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

4. VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.

5. NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP–LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY FORESTER.

6. ROOT PRUNING: ALL ROOTS TWO INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

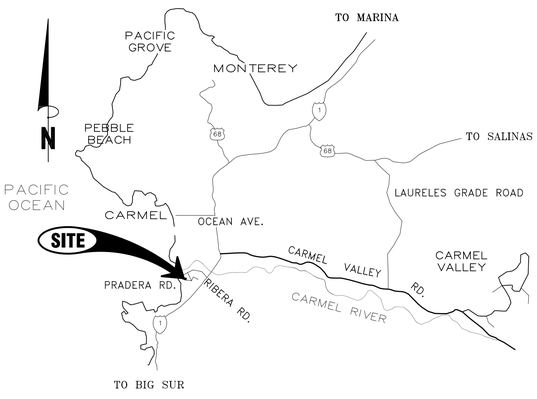
THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

1. PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY THE CITY FORESTER, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLE THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.

2. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.

3. PROTECTIVE FENCING SHALL BE AT LEAST FOUR (4) FEET HIGH, CLEARLY VISIBLE, AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.

4. THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN TEN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN TEN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH THE CITY FORESTER ON BARK PROTECTION REQUIREMENTS.



VICINITY MAP

LEGEND

EXISTING		PROPOSED
	BOUNDARY LINE	
	EASEMENT (ESMT)	
	CENTERLINE (CL)	
SD	STORM DRAIN MAIN	SD
	ROOF DRAIN LATERAL	
SS	SANITARY SEWER MAIN	SS
W	WATER MAIN	W
	DRAINAGE FLOW LINE	
	SAWCUT	
GB	GRADE BREAK	GB
	ACCESSIBLE PATH OF TRAVEL	
170	MAJOR CONTOUR	170
169	MINOR CONTOUR	169
X	FENCE	X
× 405.46	SPOT ELEVATION	FG 171.13
	DROP INLET (DI)	
	CURB INLET (CI)	
	AREA DRAIN (AD)	AD
SDMH	STORM DRAIN MANHOLE (SDMH)	SDMH
SSMH	SANITARY SEWER MANHOLE (SSMH)	SSMH
	FIRE DEPARTMENT CONNECTION (FDC)	FDC
FH	FIRE HYDRANT (FH)	FH
PIV	POST INDICATOR VALVE (PIV)	PIV
WM	WATER METER (WM)	WM
WV	WATER VALVE (WV)	
	CHECK VALVE	
	DOUBLE CHECK VALVE	
	CLEANOUT (CO)	

SHEET INDEX

C1 COVER & GENERAL NOTES
C2 GRADING & DRAINAGE PLAN
C3 SECTION
C4 EROSION CONTROL PLAN

GEOTECHNICAL INSPECTION SCHEDULE

WHEN THE INSPECTION IS TO BE COMPLETED:	WHO WILL CONDUCT THE INSPECTION:	INSPECTION ITEM:	INSPECTION COMPLETED BY:	DATE COMPLETED:
1) PRIOR TO BACKFILLING 2) DURING BACKFILL PLACEMENT – OPENING	GEOTECHNICAL INSPECTOR	INSPECT & TEST KEYWAY /SUBEXCAVATION /OVEREXCAVATON:		
1) PRIOR TO EXCAVATION FOOTINGS OR PLACEMENT OF SLAB–ON–GRADE MATERIALS	GEOTECHNICAL INSPECTOR	INSPECT & TEST PAD SUBGRADE:		
1) PRIOR TO CONCRETE PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT SLAB–ON–GRADE INSTALLATION:		
1) PRIOR TO REINFORCEMENT PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT FOUNDATION AND/OR RETAINING WALL FOOTING EXCAVATIONS:		
1) DURING BACKFILL PLACEMENT – ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST RETAINING WALL BACKFILL:		
1) DURING FILL PLACEMENT 2) SUBGRADE, PRIOR TO BASE ROCK PLACEMENT 3) BASEROCK PRIOR TO AC, CONCRETE OR PAVEMENT	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRIVEWAY FILL, SUBGRADE AND BASE ROCK PLACEMENT:		
1) AFTER PIPE PLACEMENT, PRIOR TO TO BACKFILL PLACEMENT 2) DURING BACKFILL PLACEMENT – ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRAINAGE INSTALLATION:		
1) AFTER TANK PLACEMENT 2) DURING BACKFILL PLACEMENT – ONGOING	GEOTECHNICAL INSPECTOR	INSPECT SEPTIC INSTALLATION:		

TABLE PROVIDED FOR REFERENCE ONLY. C3 ENGINEERING, INC. IS NOT RESPONSIBLE FOR INSPECTIONS, THE SCHEDULING OF INSPECTIONS OR VERIFYING INPECTIONS HAVE BEEN COMPLETED.

REV.	DATE	DESCRIPTION	BY
A	03/26/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL	

MADE IN THE USA

C3 ENGINEERING INCORPORATED
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Stormwater Control
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mail@C3Engineering.net

REGISTERED PROFESSIONAL ENGINEER FRANK J. CAMPO No. 61390 EXP. 06/30/19 CIVIL STATE OF CALIFORNIA

COVER SHEET & GENERAL NOTES

WOUNG-CHAPMAN
NEW RESIDENCE
APN# 243-032-020-000
Project Location: 2707 Pradera, Carmel-by-the-Sea, CA 93923
PREPARED FOR: COMBINED DEVELOPMENT PERMIT APPLICATION SUBMITTAL

SCALE:	AS NOTED
DATE:	03/26/2018
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	C1 OF 4 SHEETS
PROJECT#	118–104

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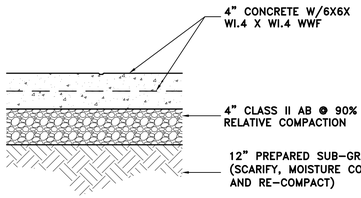
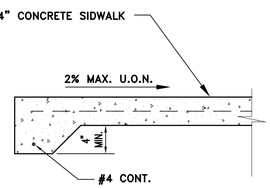
Plotted: Mar 26, 2018 – 12:11pm

SEE DETAIL B/C2 FOR THICKENED EDGE



A / C2 CONCRETE PAVEMENT

NTS



B / C2 THICKENED EDGE

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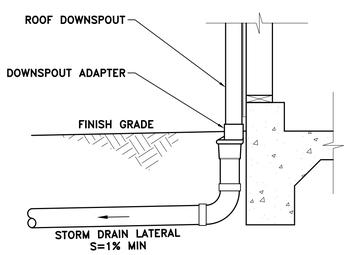

C / C3 ROOF DRAIN CONNECTION

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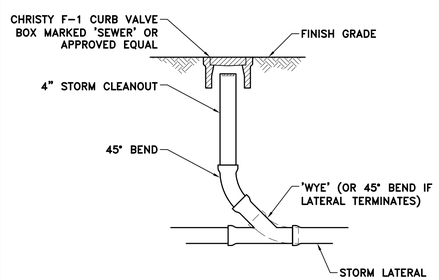
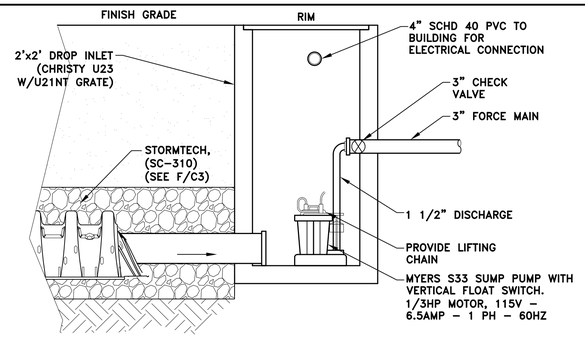


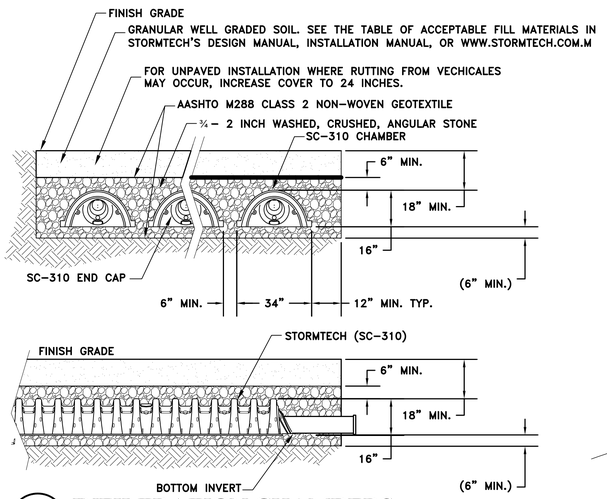
D / C3 CLEAN-OUT @ GRADE

NTS



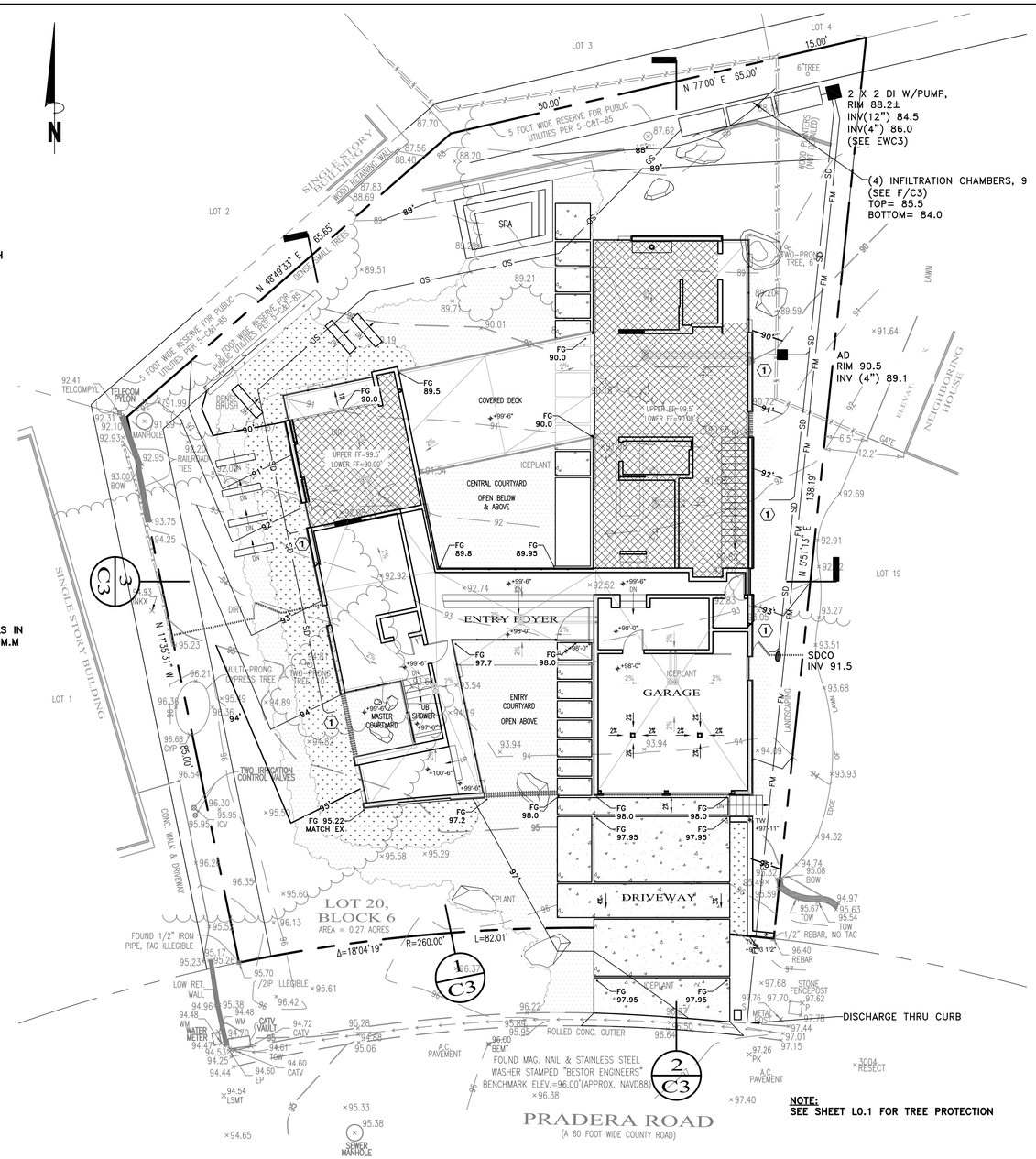
E / C3 S.D. LIFT STATION

NTS



F / C3 INFILTRATION CHAMBERS

NTS



GRADING & DRAINAGE

1" = 10'

NOTE:
SEE SHEET L0.1 FOR TREE PROTECTION

HATCH LEGEND

- CONCRETE, (SEE A/C2)
- LOWER LEVEL
- LANDSCAPE, (SEE LANDSCAPE PLANS)
- GRAVEL PEDESTRIAN (SEE LANDSCAPE PLANS)

KEY NOTES

1. FIELD LOCATE DOWNSPOUTS AND CONNECT TO SD, (SEE (C/C2)

PERVIOUS/IMPERVIOUS COVERAGE
LOT TOTAL 11,601 SF
IMPERVIOUS 4,877 SF
PERVIOUS 6,727 SF

10 0 10 20 30

Scale 1" = 10'

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GRADING & DRAINAGE

WOUNG-CHAPMAN
NEW RESIDENCE
APN# 243-032-020-000

Project Location: 2707 Pradera, Carmel-by-the-Sea, CA 93923
PREPARED FOR: COMBINED DEVELOPMENT PERMIT APPLICATION SUBMITTAL

SCALE:	AS NOTED
DATE:	03/26/2018
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OF	4 SHEETS
PROJECT#	118-104

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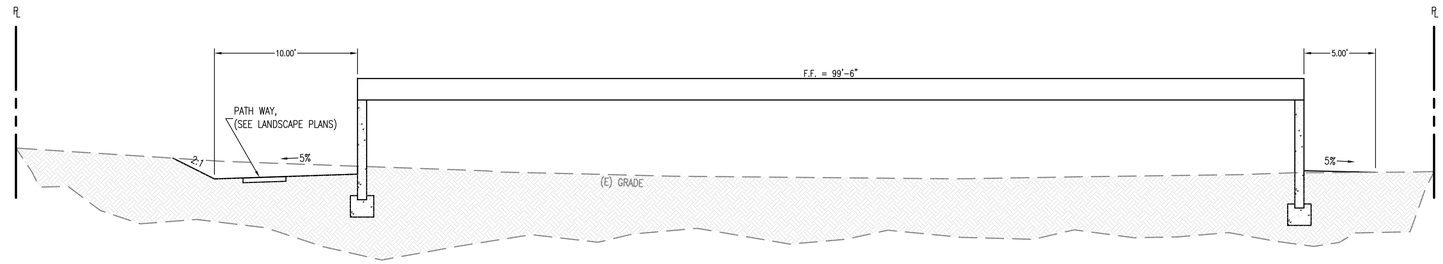
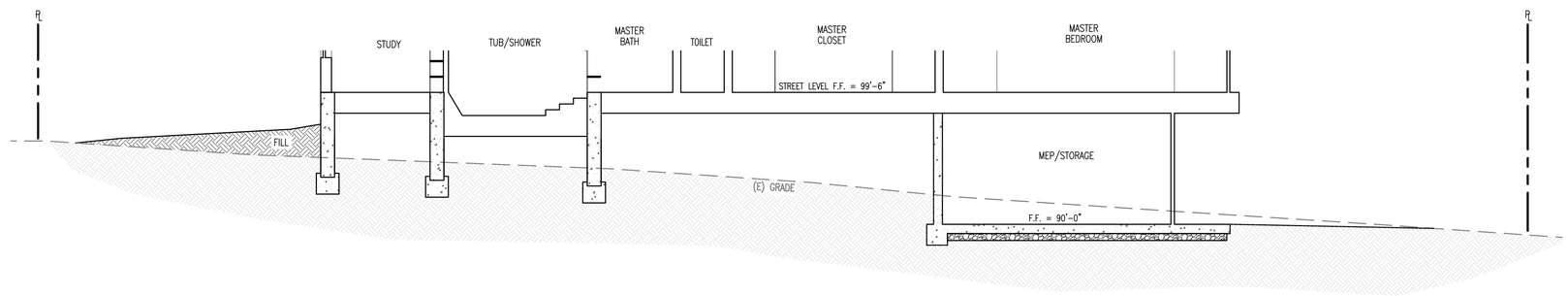


3 / C3 SECTION 3

HOR: 1" = 5' – VER: 1" = 5'



2 / C3 SECTION 2

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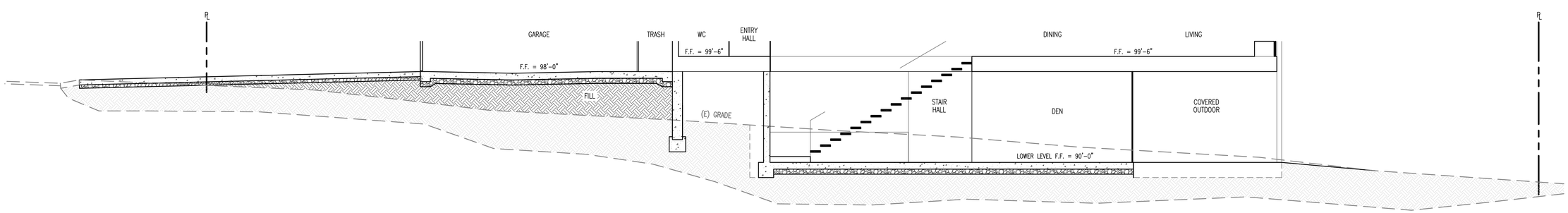

1 / C3 SECTION 1

HOR: 1" = 5' – VER: 1" = 5'

REV.	DATE	DESCRIPTION	BY
1	03/26/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL	

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REGISTERED PROFESSIONAL ENGINEER
FRANK J. CAMPO
No. 61390
EXP. 06/30/19
CIVIL
STATE OF CALIFORNIA

SECTIONS

WOUNG-CHAPMAN NEW RESIDENCE

APN# 243-032-020-000

Project Location: 2707 Pradera, Carmel-by-the-Sea, CA 93923
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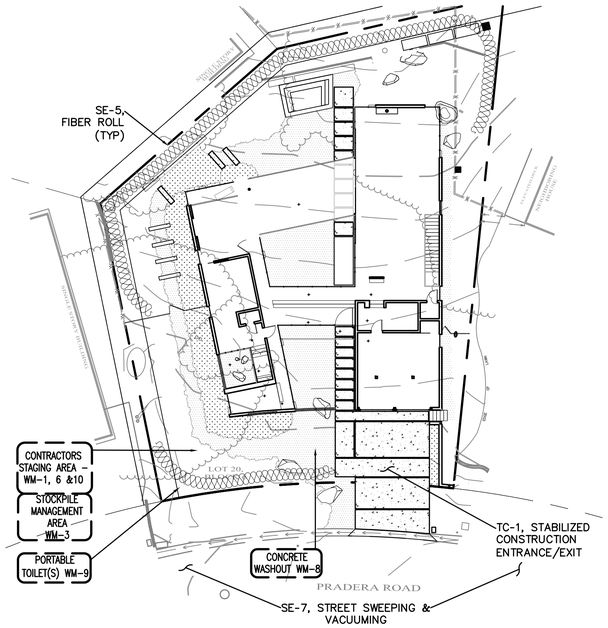


EROSION CONTROL PLAN

1" = 20'

LEGEND

FIBER ROLL

INLET PROTECTION (SEE DETAIL A/C4)

BMP'S

EROSION CONTROL:
EC-1 SCHEDULING
EC-2 PRESERVATION OF EXISTING VEGETATION
EC-3 HYDRAULIC MULCH
EC-4 HYDROSEEDING
EC-8 WOOD MULCHING
EC-16 NON-VEGETATIVE STABILIZATION

SEDIMENT CONTROL:
SE-1 SILT FENCE
SE-2 SEDIMENT BASINS
SE-3 SEDIMENT TRAP
SE-5 FIBER ROLL
SE-6 GRAVEL BAG BERM
SE-7 STREET SWEEPING AND VACUUMING
SE-8 SANDBAG BARRIER
SE-9 STRAW BALE BARRIER
SE-10 STORM DRAIN INLET PROTECTION
SE-13 COMPOST SOCKS AND BERMS
SE-14 BIOFILTER BAGS

TRACKING CONTROL:
TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
TC-3 ENTRANCE/OUTLET TIRE WASH

WIND EROSION CONTROL:
WE-1 WIND EROSION CONTROL

NON-STORM WATER MANAGEMENT:
NS-1 WATER CONSERVATION PRACTICES
NS-2 DEWATERING OPERATIONS
NS-3 PAVING AND GRINDING OPERATIONS
NS-6 ILLICIT CONNECTION/DISCHARGE
NS-7 POTABLE WATER/IRRIGATION
NS-8 VEHICLE AND EQUIPMENT CLEANING
NS-9 VEHICLE AND EQUIPMENT FUELING
NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
NS-12 CONCRETE CURING
NS-13 CONCRETE FINISHING
NS-14 MATERIAL AND EQUIPMENT USE

WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL:
WM-1 MATERIAL DELIVERY AND STORAGE
WM-2 MATERIAL USED
WM-3 STOCKPILE MANAGEMENT
WM-4 SPILL PREVENTION AND CONTROL
WM-5 SOLID WASTE MANAGEMENT
WM-6 HAZARDOUS WASTE MANAGEMENT
WM-7 CONTAMINATED SOIL MANAGEMENT
WM-8 CONCRETE WASTE MANAGEMENT
WM-9 SANITARY/SEPTIC WASTE MANAGEMENT
WM-10 LIQUID WASTE MANAGEMENT

REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

NOTE: DISCHARGE FROM DEWATERING OPERATIONS SHALL NOT BE ALLOWED INTO THE STORM DRAIN SYSTEM AND INSTEAD SHALL BE MANAGED ON SITE OR BE FILTERED AND DIRECTED TO THE SANITARY SEWER UNDER PERMIT BY THE CARMEL AREA WASTEWATER DISTRICT (CAWD). THE CONTRACTOR SHALL CONTACT CAWD PRIOR TO ANY SITE DEWATERING EFFORTS.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.

2. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

3. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.

4. DURING WINTER OPERATIONS (BETWEEN OCTOBER 1 AND APRIL 30), THE FOLLOWING MEASURES MUST BE TAKEN:

A) VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
C) RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
(GRADING/EROSION ORD. 2806-16.12.090)
E) THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

5. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

6. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY ARE CONTROLLED;

7. ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED;

8. SITE BMPS ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY

9. STABILIZATION BMPS INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETED.

10. BEST MANAGEMENT PRACTICES (BMPS) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY. FACT SHEETS, AND DETAILS FOR THE BMPS SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.

STORMWATER MANAGEMENT

THE FOLLOWING STANDARD BMPS SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MONTEREY REGIONAL STORMWATER MANAGEMENT PROGRAM:

PAINTING:
1. MINIMIZE USE OF OIL-BASED PAINTS
2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER.
3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE.
4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.

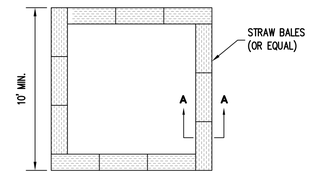
PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:
1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.
2. CONSERVE MATERIALS. DON'T MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.
4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.

READY-MIXED CONCRETE:
1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK.
2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION.
3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION.
4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BATCH PLANT FOR TREATMENT/RECYCLING.
5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.

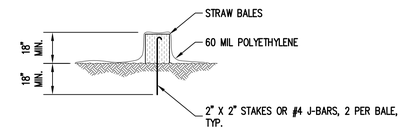
EARTH MOVING/GRADING:
1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN
3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.

REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

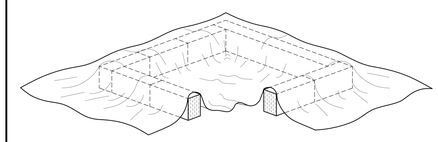
NOTE:
CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE & EQUIPMENT CLEANING, VEHICLE & EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION & CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT. IF STAGING IS REQUIRED IN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT AND PAY ALL APPLICABLE FEES. ALL BMP'S INCLUDING CONTAINMENTS SHALL APPLY TO THE PUBLIC RIGHT OF WAY AND SHALL BE KEPT IN FORCE AT ALL TIMES.



BALE CONFIGURATION



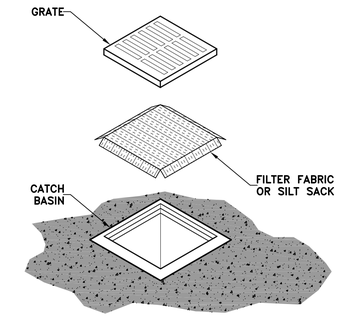
SECTION A-A



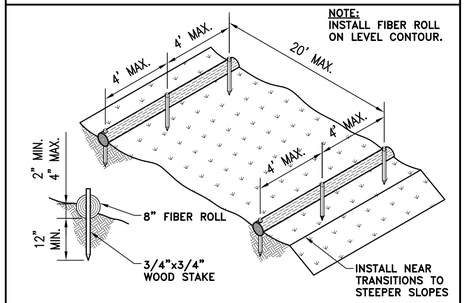
THIS SECTION REMOVED FOR GRAPHICAL REPRESENTATION ONLY. STRAW BALE PERIMETER SHALL BE CONTINUOUS.

NOTES:
1.- FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT
2.- CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES

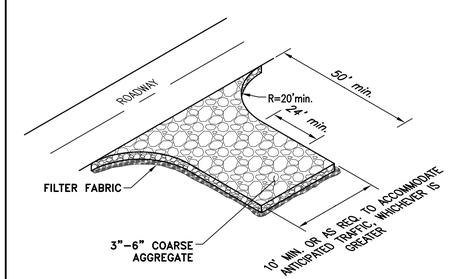
D/C4 CONCRETE WASHOUT
NTS



A/C4 DROP INLET PROTECTION (FLUSH)
NTS



B/C4 FIBER ROLL
NTS



C/C4 STABILIZE ENTRANCE
NTS

20 0 20 40 60
Scale 1" = 20'

C3 ENGINEERING INCORPORATED
Civil Engineering Land Development Stormwater Control
126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax (831) 647-1194
mail@C3Engineering.net

REV.	DATE	DESCRIPTION	BY
A	03/26/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL	

MADE IN THE USA

REGISTERED PROFESSIONAL ENGINEER FRANK J. CAMPO No. 61390 EXP. 06/30/19 CIVIL STATE OF CALIFORNIA

EROSION & SEDIMENT CONTROL PLAN

WOUNG-CHAPMAN
NEW RESIDENCE
APN# 243-032-020-000
Project Location: 2707 Pradera, Carmel-by-the-Sea, CA 93923
PREPARED FOR: COMBINED DEVELOPMENT PERMIT APPLICATION SUBMITTAL

SCALE:	AS NOTED
DATE:	03/26/2018
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	C4
OF	4 SHEETS
PROJECT#	118-104

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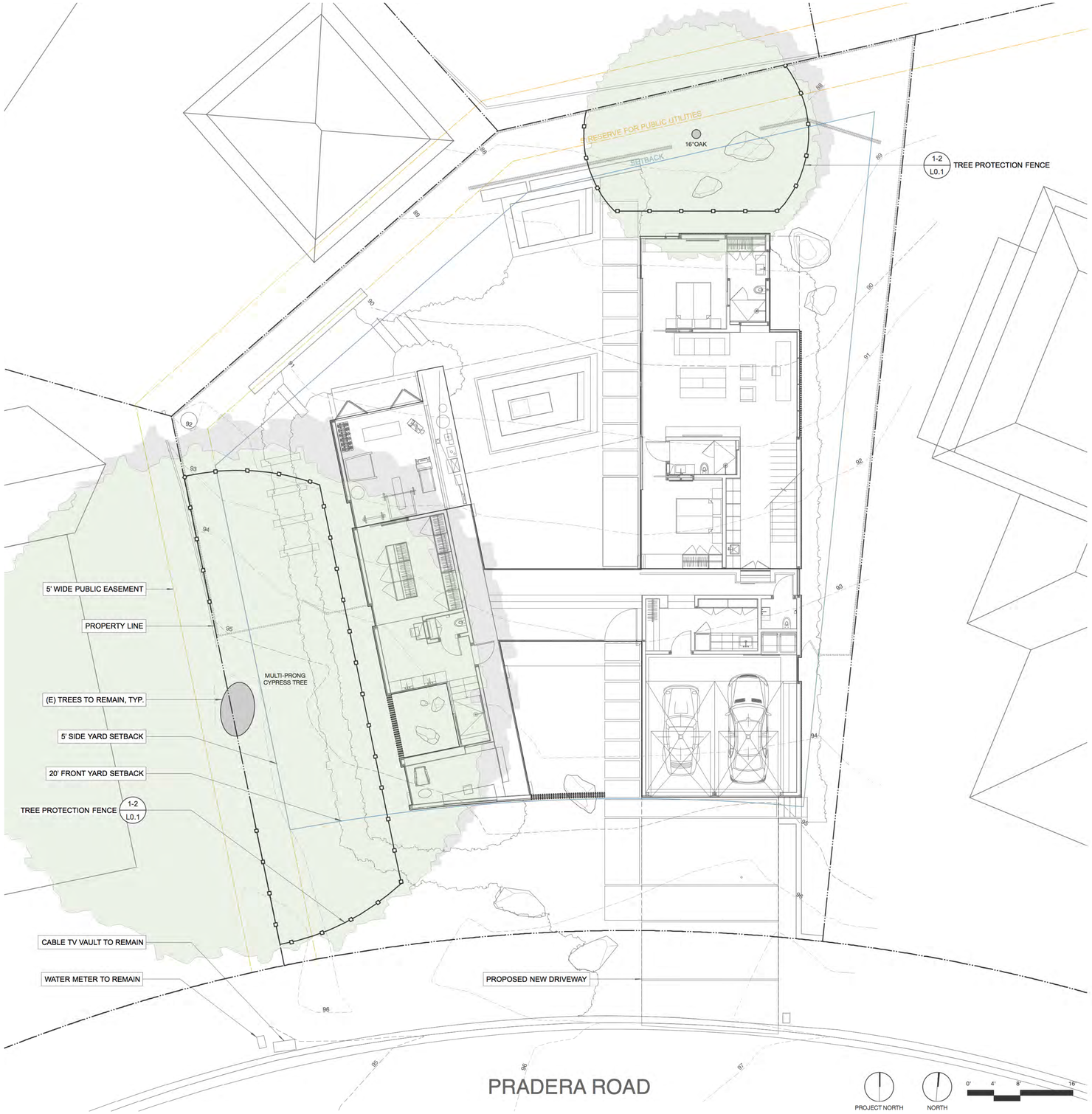
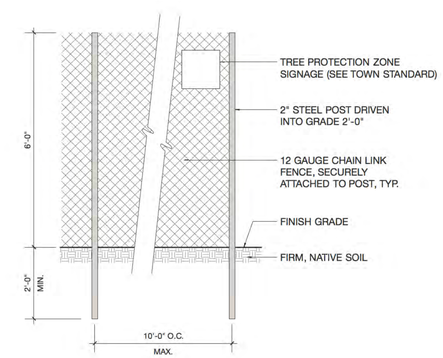
Plotted: Mar 26, 2018 - 12:16pm

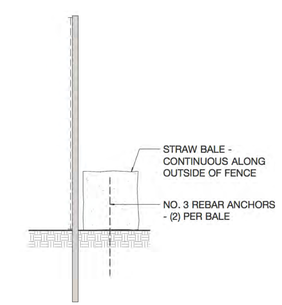


LEGEND

symbol	description
	(E) TREES TO REMAIN (REFER TO ARBORIST REPORT FOR SIZE AND DESCRIPTION)
	EXISTING TREE TO BE PROTECTED (REFER TO ARBORIST REPORT FOR CRITICAL ROOT ZONE INFORMATION)



1 L0.1 ELEVATION DETAIL: TREE PROTECTION FENCING
Scale: 1/2" = 1'-0"



2 L0.1 ELEVATION DETAIL: TREE PROTECTION FENCING
Scale: 1/2" = 1'-0"

BLISS
LANDSCAPE ARCHITECTURE
26344 Carmel Rancho Lane, Ste. 4U Carmel, CA 93923
www.blisslandscapearchitecture .com

Pradera Residence
2707 Pradera Road
Carmel, CA 93923

scale:	1/8"=1'-0"	apn:	243-032-020-000
date:	03.26.18	title:	Development Permit Submittal
drawn by:	OL		
sheet size:	24"x36"		

Rev:	Date:	Description:
	03.15.2018	Planning Permit Submittal
	03.26.2018	Development Permit Submittal

LICENSED LANDSCAPE ARCHITECT
MICHAEL J. BLISS
Signature
0430019
Expiration
03/06/18
Date
STATE OF CALIFORNIA

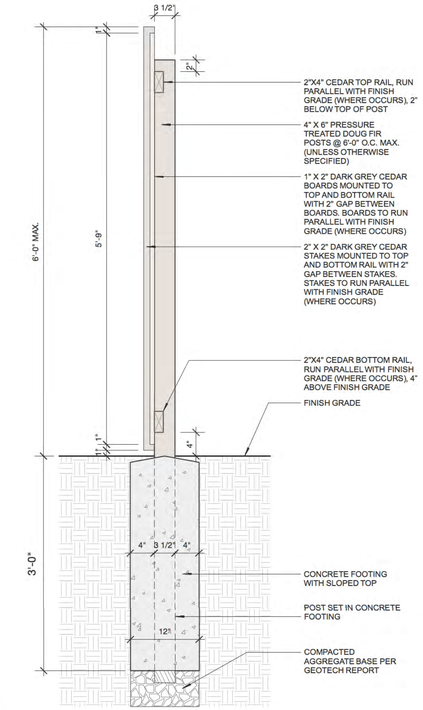
TREE PROTECTION PLAN

03.26.18 Combined Development Permit Application Submittal

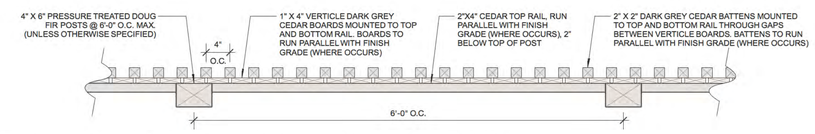
L0.1

LEGEND

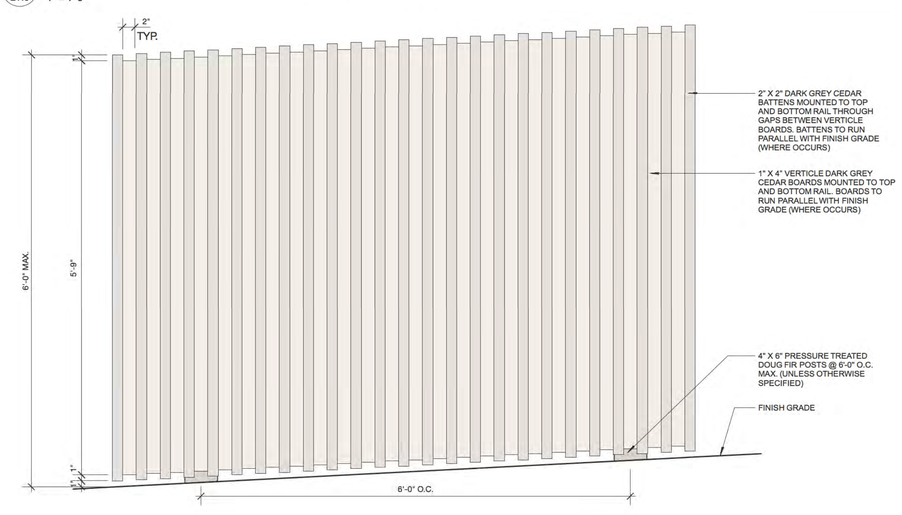
1. GRAVEL - PEDESTRIAN
2. CONCRETE PAVING @ DRIVEWAY
3. CONCRETE PAVERS
4. CONCRETE STEPS
5. CONCRETE STEPS W/ GRAVEL SPACER
6. TIMBER STEPS
7. CONCRETE PLANTER - SLOPES WITH DRIVE
8. CONCRETE SEAT WALL
9. WOOD FENCE + GATE
10. WOOD SCREEN
11. LANDSCAPE BOULDER
12. REFLECTION POOL
13. CONCRETE FIRE PIT
14. OUTDOOR SPA
15. WAVE BENCH
16. VIEW COURT
17. NATIVE TURF
18. MAIL BOX



4 L1.0 SECTION DETAIL: SINGLE-SIDED TIMBER FENCING TO 6'-0" HIGH MAX.
1" = 1'-0"



3 L1.0 ELEVATION DETAIL: SINGLE-SIDED PROPERTY LINE FENCING TO 6'-0" HIGH MAX.
1" = 1'-0"



2 L1.0 ELEVATION DETAIL: SINGLE-SIDED PROPERTY LINE FENCING TO 6'-0" HIGH MAX.
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BLISS
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sheet size:	24"x36"		

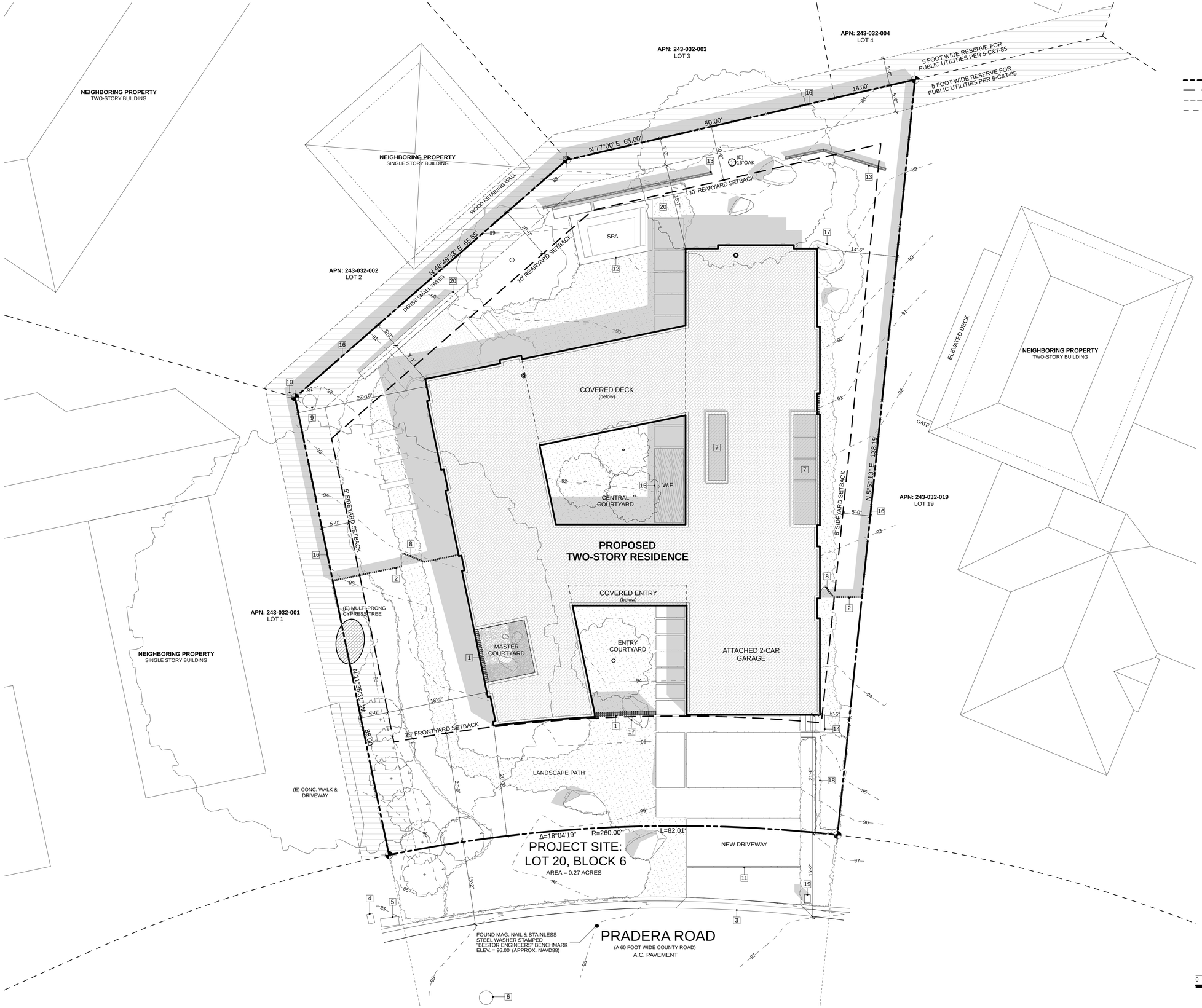
Rev:	Date:	Description:
	03.15.2018	Planning Permit Submittal
	03.26.2018	Development Permit Submittal

LICENSED LANDSCAPE ARCHITECT — MICHAEL J. BLISS — Signature — 04/30/19 Expiration — 03/26/18 Date — STATE OF CALIFORNIA

LANDSCAPE SITE PLAN

03.26.18 Combined Development Permit Application Submittal

L1.0



SITE PLAN

SCALE: 1/8" = 1'-0"

LEGEND:

- BUILDING FOOTPRINT
- HARDSCAPE
- UTILITY EASMENT
- PROPERTY LINE
- SETBACK LINE
- UTILITY EASEMENT LINE
- NEIGHBORING PROPERTY LINE

SHEET NOTES:

* REFER TO VICINITY MAP (SHEET G0.1) FOR LOCATION OF NEIGHBORING BUILDINGS WITHIN ADJACENT PROPERTIES

** REFER TO PROJECT SCOPE ON TITLE SHEET (G0.1) FOR ALL SITE AND BUILDING AREA CALCULATIONS, INCLUDING;
- PARCEL SIZE
- ZONING AND USE DESIGNATIONS
- LOT COVERAGE
- FLOOR AREA RATIO (FAR)
- IMPERVIOUS COVERAGE
- PERVIOUS COVERAGE

1. **AVERAGE NATURAL GRADE = 92'-2"**
   MAXIMUM BUILDING HEIGHT = 110'-2"
2. TOTAL GRADING CUT: 186 CU. YDS.,
   TOTAL GRADING FILL: 229 CU. YDS.,
   TOTAL NET: 43 CU. YDS. (FILL)
   SEE CIVIL DRAWINGS
3. REFER TO ARBORIST REPORT & S.L.D. FOR PROPOSED TREE REMOVAL & TREE PRESERVATION NOTES
4. FIRETRUCK TURNAROUND: NA
5. PRIOR TO START OF CONSTRUCTION THE APPLICANT/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT (SEC 106.3.3 AND 108.1)
6. MINIMUM 5% GRADE SLOPE AWAY FROM FOUNDATION, TYP. (SEC 1804.7 & 1806.5.5)
7. REFER TO CIVIL DRAWINGS FOR ALL GRADING & DRAINAGE PLAN SHEET NOTES; SEE DRAINAGE DIRECTION INFORMATION, FEATURES & PROPOSED GRADING
8. REFER TO LANDSCAPE DRAWINGS FOR ALL IRRIGATION PLANS, NOTES & DETAILS
9. **ADDRESS NOTES:**
   (SEE LANDSCAPE PLANS FOR DETAILS)
   a. THE ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM STREET
   b. ADDRESS NUMBERS SHALL BE 4" HIGH, MIN.
   c. ADDRESS NUMBERS SHALL BE CONTRASTING COLOR TO THEIR BACKGROUND, BRASS OR GOLD NUMBERS SHALL NOT BE POSTED (ADDRESS #S ON CURBS ARE NOT ACCEPTABLE
   d. PERMANENT ADDRESS NUMBERS SHALL BE PROVIDED ON THE MAILBOX OR ON A PERMANENT SIGN OR POST ADJACENT TO THE DRIVEWAY ENTRANCE OF A FLAG LOT

TREE LEGEND:

(E) TREE TO REMAIN, REFER TO ARBORIST REPORT FOR SIZE & DESCRIPTION

(N) TREE; S.L.D. FOR TREE SPECIES, SIZE & LOCATION

KEYED NOTES:

1. EXTERIOR VERTICAL TIMBER WOOD SCREEN WALL
2. (N) WOOD DOG FENCE; +6'-0" MAX. TALL, S.L.D.
3. (E) ROLLED CONCRETE CURB AND GUTTER, S.L.D. AND S.C.D. FOR CURB CUT @ DRIVEWAY
4. (E) WATER METER
5. (E) CAT-5 VAULT
6. (E) MANHOLE COVER FOR SEWER AND UTILITY ACCESS AT CENTERLINE OF PRADERA ROAD
7. (N) SKYLIGHT
8. GATE @ DOG FENCE, S.L.D.
9. (E) MANHOLE COVER
10. (E) TELECOM PYLON
11. CONCRETE PAVING @ DRIVEWAY, S.L.D.
12. IN-GROUND OUTDOOR SPA, S.L.D.
13. VERTICAL WOOD, LANDSCAPE SCREEN WALL, S.L.D.
14. CONCRETE LANDCAPE STAIRS, S.L.D.
15. REFLECTING POOL, S.L.D.
16. VERTICAL WOOD PROPERTY LINE FENCE, +6'-0" MAX. TALL, TYP. (NO GAPS), S.L.D.
17. LANDSCAPE BOULDER, S.L.D.
18. CONCRETE LANDSCAPE RETAINING WALL, S.L.D.
19. NEW MAILBOX, S.L.D.
20. LANDSCAPE ELEVATION, S.L.D.

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Daniel Piechota, Architect
SAGAN PIECHOTA architecture
315 Linden Street San Francisco, 94102 Ph 415.5517600 Fax 415.5517601

LICENSED ARCHITECT
DANIEL PIECHOTA
NO. C22712
REN. 09/2019
STATE OF CALIFORNIA

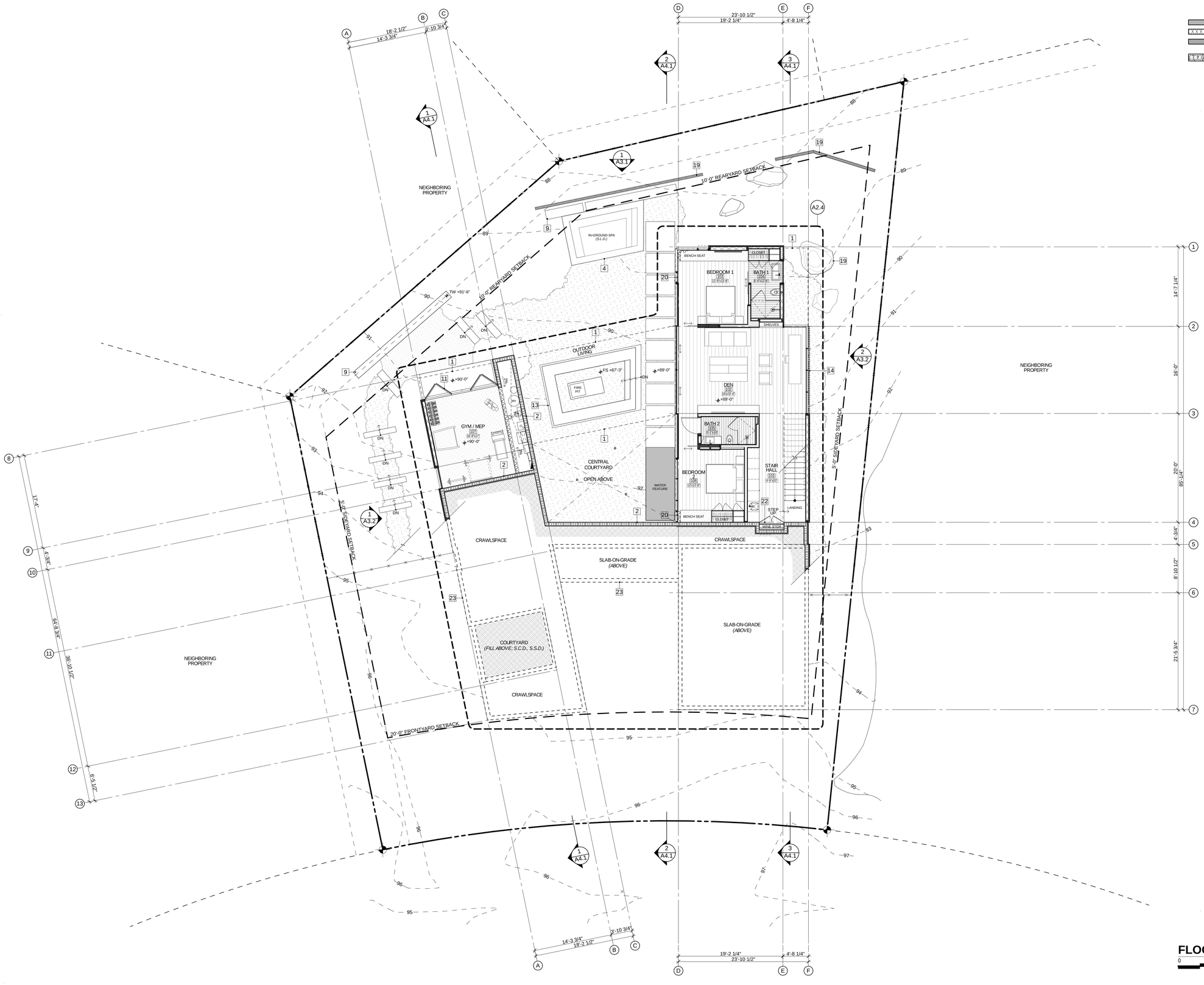
WOUNG-CHAPMAN RESIDENCE
2707 PRADERA ROAD
CARMEL, CA. 93923

DRAWING ISSUE:		
NO.	DATE	DESCRIPTION
1	03/23/2018	CARMEL MEADOWS ASSOCIATION SUBMITTAL
2	03/26/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL
3	05/07/2018	AREA & BUILDING SITE COVERAGE REVISIONS
4		
5		
6		

SITE PLAN

DATE: 5/7/18 DRAWING BY: CH / AL
SCALE: AS NOTED CHECKED BY: DP

A1.1



KEYED NOTES:

- 1-HR RATED WALL, SEE ASSEMBLIES
- EXTERIOR INSULATED WALL, SEE ASSEMBLIES
- INTERIOR WALL (W/ BATT-INSULATION); SEE ASSEMBLIES
- CONCRETE MASONRY UNIT WALL, SEE ASSEMBLIES

1. EDGE OF ROOF / FLOOR STRUCTURE ABOVE, SEE RCP AND ROOF PLAN
2. EXPOSED, 'SACKED' CMU BLOCK WALL, SEE WALL ASSEMBLIES
3. HARDSCAPE PAVING, S.L.D.
4. IN-GROUND SPA UNIT, S.L.D.
5. WOOD DOG FENCE; 6'-0" TALL, MAX., S.L.D.
6. EXTERIOR TIMBER WOOD SCREEN WALL, SEE ASSEMBLIES
7. GRAVEL PAVING, S.L.D.
8. FLUSH MOUNT, WOOD-CLAD GARAGE DOORS, TYP.
9. CUSTOM BENCH ELEMENT, S.L.D.
10. CONCRETE DRIVEWAY; SLOPE TOWARDS CURB, S.L.D., S.C.D.
11. FLUSH MOUNT, PANEL CLAD, BI-FOLD DOORS
12. CUSTOM STL. GUARDRAIL; +42" MIN. HT.
13. SUNKEN SEATING W/ UPHOLSTERED CUSHIONS, WOOD FLOOR DECKING, & CUSTOM CONCRETE GAS FIREPLACE, S.L.D.
14. VERTICAL EXT. WOOD SCREEN OVER GLAZING
15. BUILT-IN BBQ AND OUTDOOR KITCHENETTE
16. 5/8" TYPE 'X' GYP. BOARD FROM CONCRETE FLOOR TO CEILING AT GARAGE SIDE OF SEPARATION WALL BETWEEN GARAGE / TRASH RM. AND RESIDENCE; SEE WALL ASSEMBLIES
17. 1-3/8" MIN. SOLID CORE DOOR (OR 20-MIN. FIRE-RATED DOOR) WITH SELF CLOSER AT THE SEPARATION WALL BETWEEN GARAGE AND RESIDENCE; SEE DOOR SCHEDULE
18. CONCRETE LANDSCAPE RETAINING WALL, S.L.D.
19. LANDSCAPE ELEMENT, S.L.D.
20. EMERGENCY EGRESS WINDOW; SEE SHEET NOTES BELOW
21. LINEAR, FREE-STANDING GAS FIREPLACE
22. CLIMATE CONTROLLED GLASS ENCLOSURE
23. WOOD-FIRED PIZZA OVEN W/ EXPOSED, INSULATED FLUE-PIPE THROUGH ROOF

SHEET NOTES:

1. EMERGENCY EGRESS REQUIREMENTS FROM SLEEPING ROOMS

   -MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT

   -MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH

   -MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 SQ. FT. IN AREA

   -SILL HEIGHT OF SUCH OPENINGS SHALL NOT EXCEED 44" A.F.F.

2. EXIT DOOR LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL NOT LESS THAN 36" & BE AS WIDE AS DOOR OPENING, TYP. (SEC 1003.3.1.6, 1003.3.1.7)

3. **SPA TO BE FILED UNDER SEPARATE PERMIT**

   -PROVIDE ANTI-HAIR ENTANGLEMENT SKIMMERS AND ANTI-ENTRAPMENT DRAIN COVER. ANTI-ENTRAPMENT DRAIN COVER IS REQUIRED TO BE INSTALLED FOR SPA MEETING THE CURRENT STANDARDS OF THE ASTM AND ASME (AB2977), S.L.D.

AREA CALCULATIONS:

(GROSS SQUARE FEET)

LOWER LEVEL:	1,172 SQ. FT.
M.E.P. / GYM:	323 SQ. FT.
STREET LEVEL:	2,745 SQ. FT.
GARAGE:	515 SQ. FT.
TOTAL:	**4,755 SQ. FT.** *(CONDITIONED)*
COVERED DECK:	502 SQ. FT. *(UNCONDITIONED)*

N

FLOOR PLAN - LOWER LEVEL

0 8' 16'

SCALE: 1/8" = 1'-0"

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LICENSED ARCHITECT DANIEL PIECHOTA NO. C22712 REN. 09/2019 STATE OF CALIFORNIA

WOUNG-CHAPMAN RESIDENCE
2707 PRADERA ROAD
CARMEL, CA. 93923

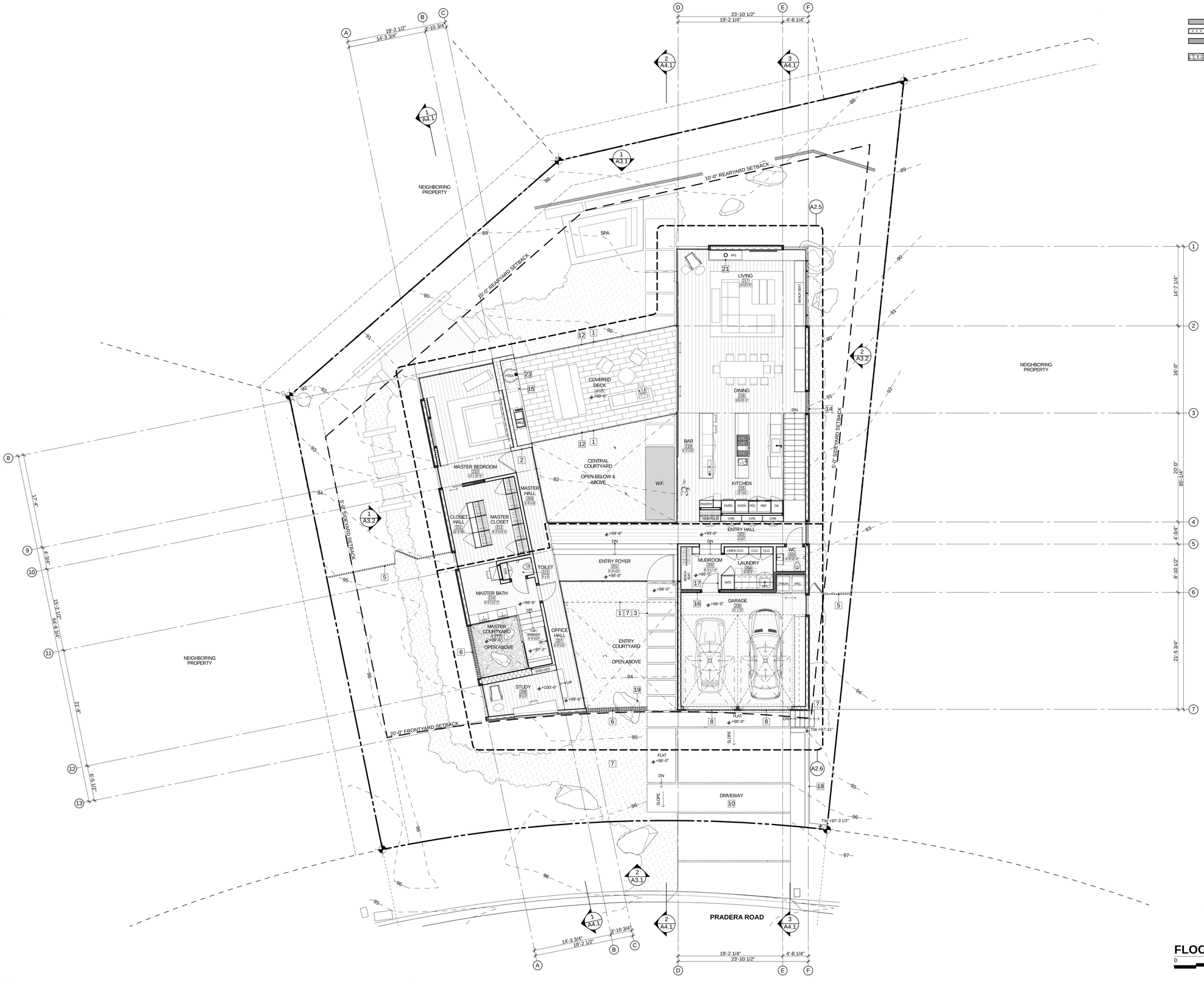
DRAWING ISSUE:

NO.	DATE	DESCRIPTION
1	03/23/2018	CARMEL MEADOWS ASSOCIATION SUBMITTAL
2	03/26/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL
3	05/07/2018	AREA & BUILDING SITE COVERAGE REVISIONS
4		
5		
6		

FLOOR PLAN - LOWER LEVEL

DATE: 5/7/18 DRAWING BY: CH / AL
SCALE: AS NOTED CHECKED BY: DP

A2.1



KEYED NOTES:

- 1-HR RATED WALL, SEE ASSEMBLIES
- EXTERIOR INSULATED WALL, SEE ASSEMBLIES
- INTERIOR WALL (W/ BATT-INSULATION); SEE ASSEMBLIES
- CONCRETE MASONRY UNIT WALL, SEE ASSEMBLIES

1. EDGE OF ROOF / FLOOR STRUCTURE ABOVE, SEE RCP AND ROOF PLAN
2. EXPOSED, 'SACKED' CMU BLOCK WALL, SEE WALL ASSEMBLIES
3. HARDSCAPE PAVING, S.L.D.
4. IN-GROUND SPA UNIT, S.L.D.
5. WOOD DOG FENCE; 6'-0" TALL, MAX., S.L.D.
6. EXTERIOR TIMBER WOOD SCREEN WALL, SEE ASSEMBLIES
7. GRAVEL PAVING, S.L.D.
8. FLUSH MOUNT, WOOD-CLAD GARAGE DOORS, TYP.
9. CUSTOM BENCH ELEMENT, S.L.D.
10. CONCRETE DRIVEWAY; SLOPE TOWARDS CURB, S.L.D., S.C.D.
11. FLUSH MOUNT, PANEL CLAD, BI-FOLD DOORS
12. CUSTOM STL. GUARDRAIL; +42" MIN. HT.
13. SUNKEN SEATING W/ UPHOLSTERED CUSHIONS, WOOD FLOOR DECKING, & CUSTOM CONCRETE GAS FIREPLACE, S.L.D.
14. VERTICAL EXT. WOOD SCREEN OVER GLAZING
15. BUILT-IN BBQ AND OUTDOOR KITCHENETTE
16. 5/8" TYPE 'X' GYP. BOARD FROM CONCRETE FLOOR TO CEILING AT GARAGE SIDE OF SEPARATION WALL BETWEEN GARAGE / TRASH RM. AND RESIDENCE; SEE WALL ASSEMBLIES
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TOTAL:	**4,755 SQ. FT.** *(CONDITIONED)*
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FLOOR PLAN - STREET LEVEL

0 8' 16'

SCALE: 1/8" = 1'-0"

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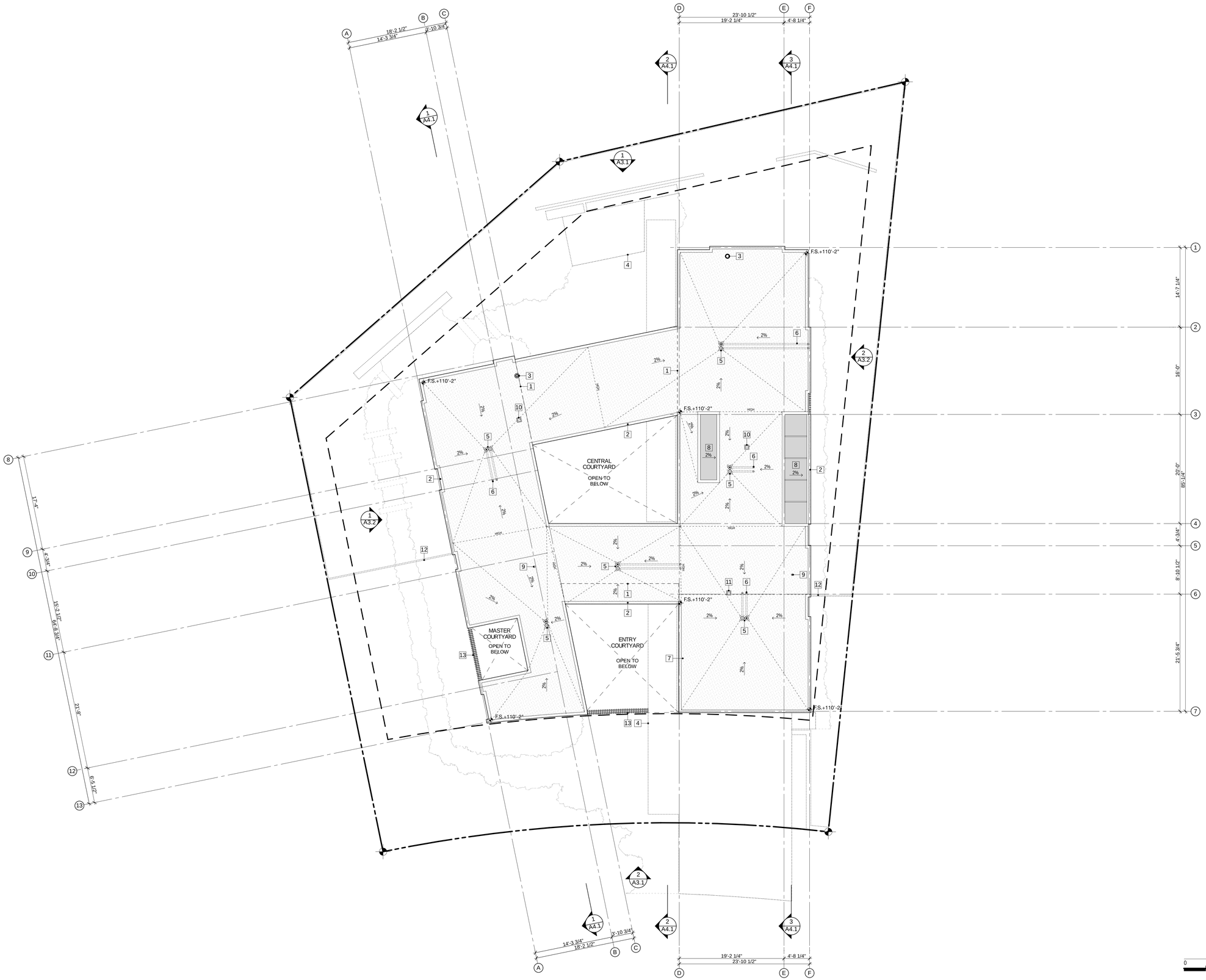
FLOOR PLAN - STREET LEVEL

DATE: 5/7/18 DRAWING BY: CH / AL
SCALE: AS NOTED CHECKED BY: DP

A2.2



KEYED NOTES:

1. EXTERIOR LINE OF BUILDING BELOW
2. ZINC METAL OR PTD. METAL (ALT.) FLASHING AT ROOF CURB, SEE ROOF DETAILS
3. FIREPLACE / OVEN FLUE W/ SPARK ARRESTOR AND PERFORATED ZINC METAL CHIMNEY CAP, 3'-0" MIN. ABOVE ROOF; SEE F.P. AND OVEN DETAILS & SPECS
4. OUTLINE OF LANDSCAPE BELOW, S.L.D.
5. ONE-PIECE COMBINATION ROOF DRAIN AND SECONDARY OVERFLOW; WATTS RD-250 OR SIM.
6. DRAIN PIPE; INTERNALLY SLOPED TO WALL AND HIDDEN DOWNSPOUT
7. ROUND PEBBLE STONE BALLAST ROOF; SEE ASSEMBLIES
8. LOW-PROFILE FIXED SKYLIGHT, SLOPED TO DRAIN; SEE SKYLIGHT SCHEDULE AND DETAILS
9. PLUMBING VENT STACK, 12" A.F.S., TYP.
10. EXHASUT HOOD ROOF VENT, TYP.
11. DRYER ROOF VENT, TYP.
12. LINE OF GATE & DOG FENCE BELOW
13. VERTICAL WOOD SCREEN WALL, BELOW

SHEET NOTES:

* **TOP OF OF CURB = +110'-2" TYPICAL, U.O.N.**

1. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF (PER R1003.9)
2. SLOPED RIGID INSULATION AT BUILT-UP ROOF TO BE NO LESS THAN 1/2" MIN. AT ITS THINNEST POINT, TYP.; SEE ROOF ASSEMBLIES
3. DOWNSPOUTS, PIPING AND/OR OTHER NON-EROSIVE DEVICES SHALL BE PROVIDED TO COLLECT AND CONDUCT RAINWATER TO A STREET, STORM DRAIN, OR OTHER APPROVED WATER COURSE OR DISPOSAL AREA.

N

0 8' 16'

ROOF PLAN
SCALE: 1/8" = 1'-0"

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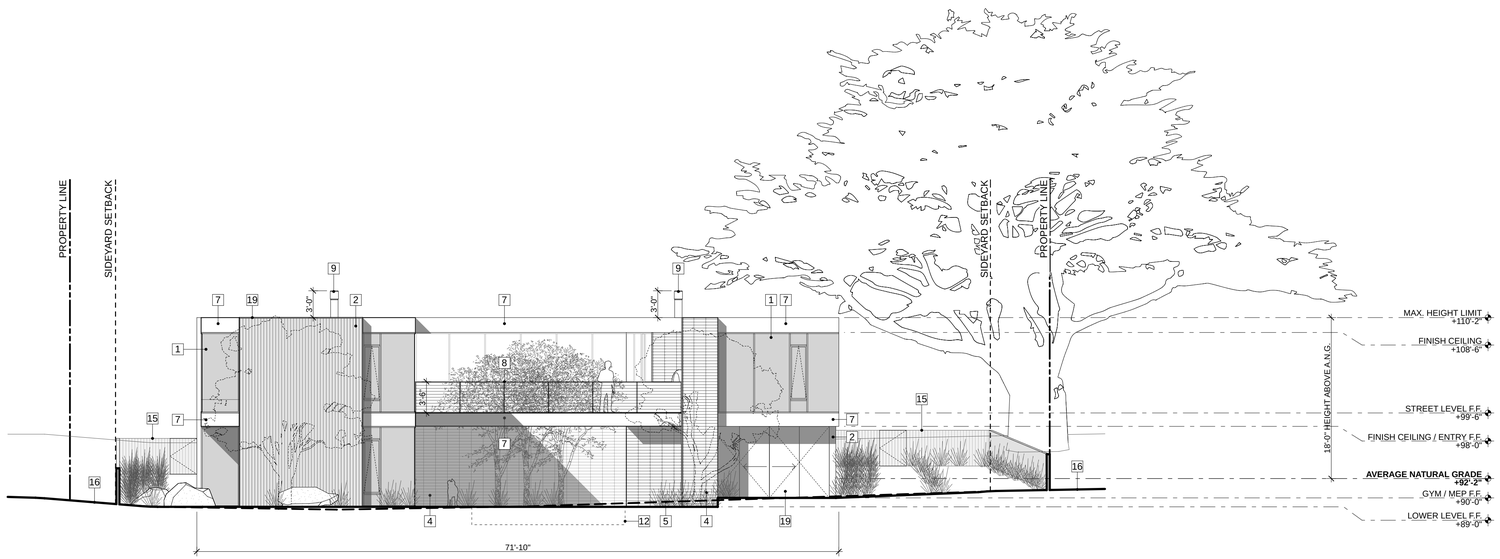
ROOF PLAN

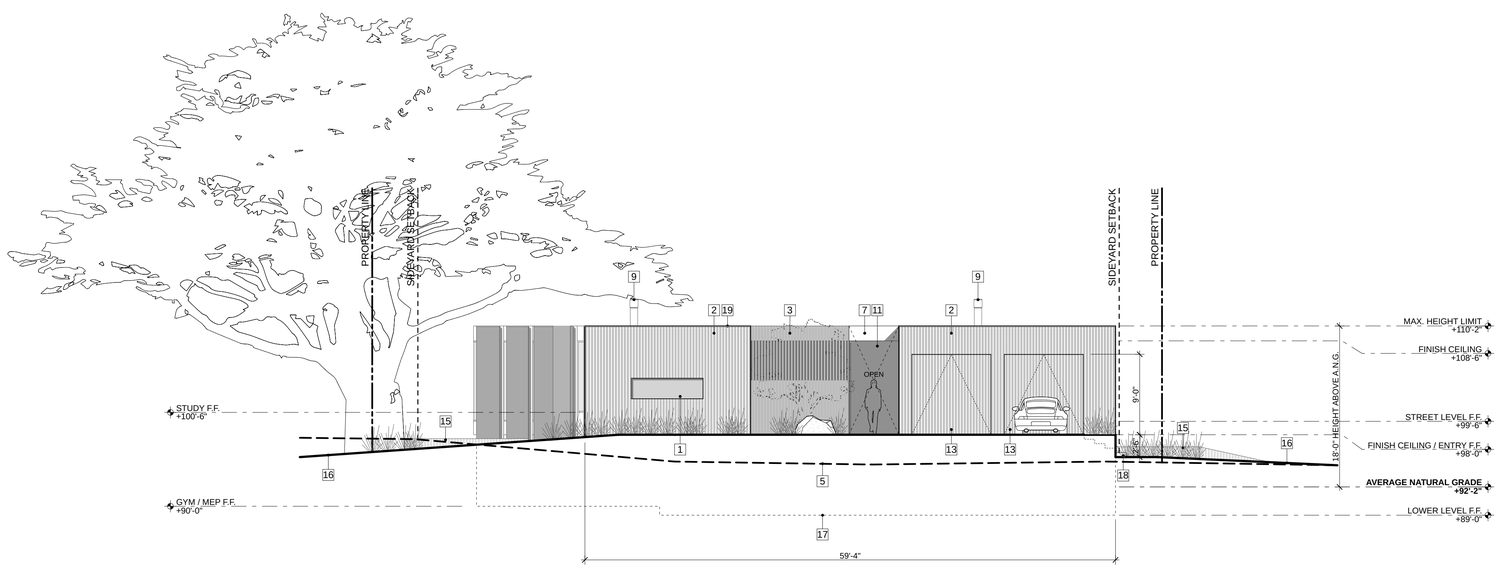
DATE: 5/7/18 DRAWING BY: CH / AL
SCALE: AS NOTED CHECKED BY: DP

A2.3



NORTH ELEVATION 1

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION 2

SCALE: 1/8" = 1'-0"

KEYED NOTES:

1. ALUMINUM DOOR AND WINDOW SYSTEM
2. VERTICAL BOARD-AND-BATTEN WOOD CLADDING, TYP.
3. VERTICAL WOOD SCREEN WALL
4. EXPOSED CMU WALL WITH SMOOTH, 'SACKED' PLASTER FINISH
5. EXISTING NATURAL GRADE
6. LANDSCAPE / HARDSCAPE ELEMENT, S.L.D.
7. PAINTED AZEC PVC FASCIA AND WALL PANEL; COLOR TO MATCH ALUMINUM DOOR AND WINDOW FRAMES
8. CUSTOM METAL GUARDRAIL; +42" A.F.F.
9. PAINTED METAL CHIMNEY CAP; +3'-0" ABOVE ROOF, TYP.
10. EXTERIOR BBQ AND PIZZA OVEN
11. WOOD PIVOT DOOR - MAIN ENTRY
12. SUNKEN SEATING IN LANDSCAPE BEYOND, S.L.D.
13. HIDDEN, FLUSH-MOUNT, WOOD-CLAD GARAGE DOOR
14. FIXED, DARK-TINTED GLASS IN FRONT OF BUILT-IN BENCH, TYP.
15. 6' TALL WOOD FENCE AND GATE, S.L.D.
16. FINISH GRADE, S.L.D., S.C.D.
17. FINISH FLOOR (BEYOND)
18. LANDSCAPE STAIRS, S.L.D.; +30" MAX. ABOVE GRADE, TYP.
19. FLUSH MOUNT, PANEL-CLAD, BIFOLD DOORS
20. (E) LANDSCAPE HEDGE @ PROPERTY LINE TO REMAIN; HEIGHT = 10-12' A.N.G.
21. (E) DENSE TREES @ PROPERTY LINE TO REMAIN; HEIGHT = 12-15' A.N.G.

SHEET NOTES:

AVERAGE NATURAL (EXISTING) GRADE:
(97'-0" + 87'-4") / 2 = **92'-2"**

MAXIMUM BUILDING HEIGHT = 110'-2"

BUILDING HEIGHT ABOVE A.N.G.:
110'-2" - 92'-2" = **18'-0"**

1. **EXTERIOR WOOD STUD WALL SHALL BE COVERED** ON THE OUTSIDE W/ THE MATERIALS & IN THE MANNER SPECIFIED IN THE CURRENT EDITION (2016) OF THE CBC & CALIFORNIA RESIDENTIAL CODE**:**

   ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES & BREAKS, COMPLYING W/ ASTM D 226 FOR TYPE 1 FELT OR OTHER APPROVED WATER-RESISTIVE BARRIER, SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS. APPLY MATERIAL HORIZONTALLY, W/ THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2". WHERE JOINTS OCCUR, FELT SHALL BE LAPPED NOT LESS THAN 6". MATERIAL SHALL BE CONTINUOUS TO THE TOP OF WALLS & TERMINATED AT PENETRATIONS & BUILDING APPENDAGES IN A MANNER TO MEET THE REQUIREMENTS OF THE EXTERIOR WALL ENVEOPE AS DESCRIBED IN CRC R703.1

2. WOOD SIDING: VERTICAL JOINTS IN PANEL SIDING SHALL OCCUR OVER FRAMING MEMBERS UNLESS WOOD OR WOOD STRUCTURAL PANEL SHEATHING IS USED AND SHALL BE SHIPLAPPED OR COVERED W/ A BATTON. HORIZONTAL JOINTS IN PANEL SIDING SHALL BE SHIPLAPPED

3. FLASHING: APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY W/ AAMA 711. THE FLASHING SHALL EXTEND TO THE SURFAE OF THE EXTERIOR WALL FINISH. SEE CRC R703.8 FOR ALL REQUIRED FLASHING LOCATIONS

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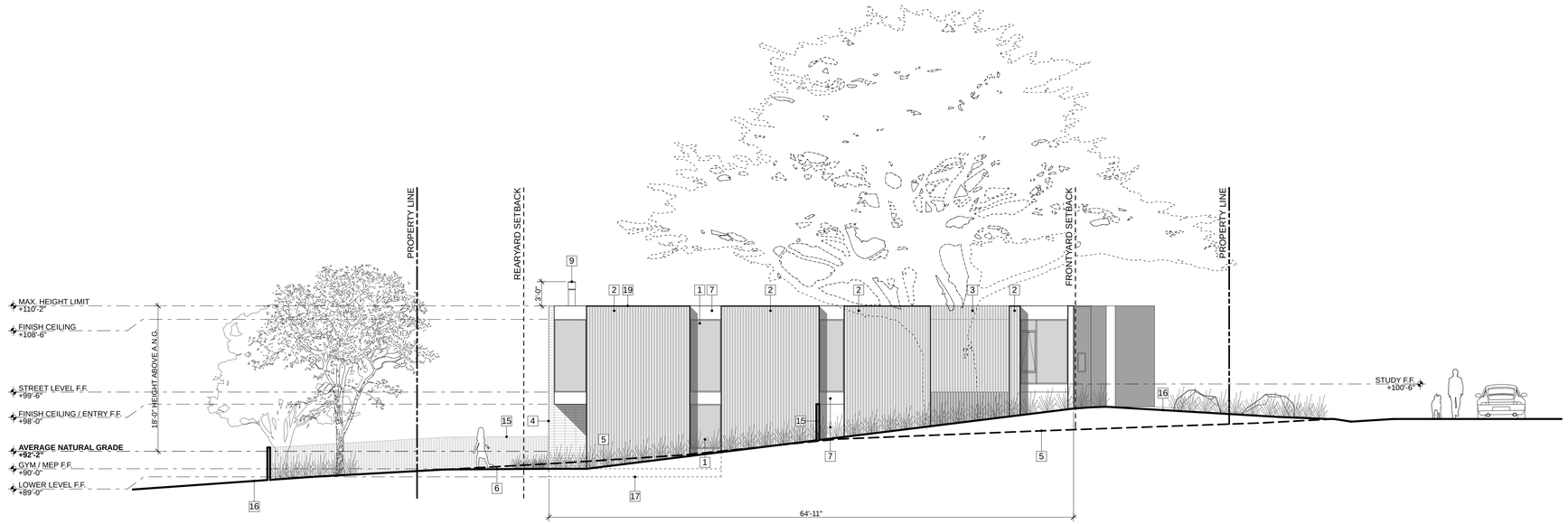
ELEVATIONS

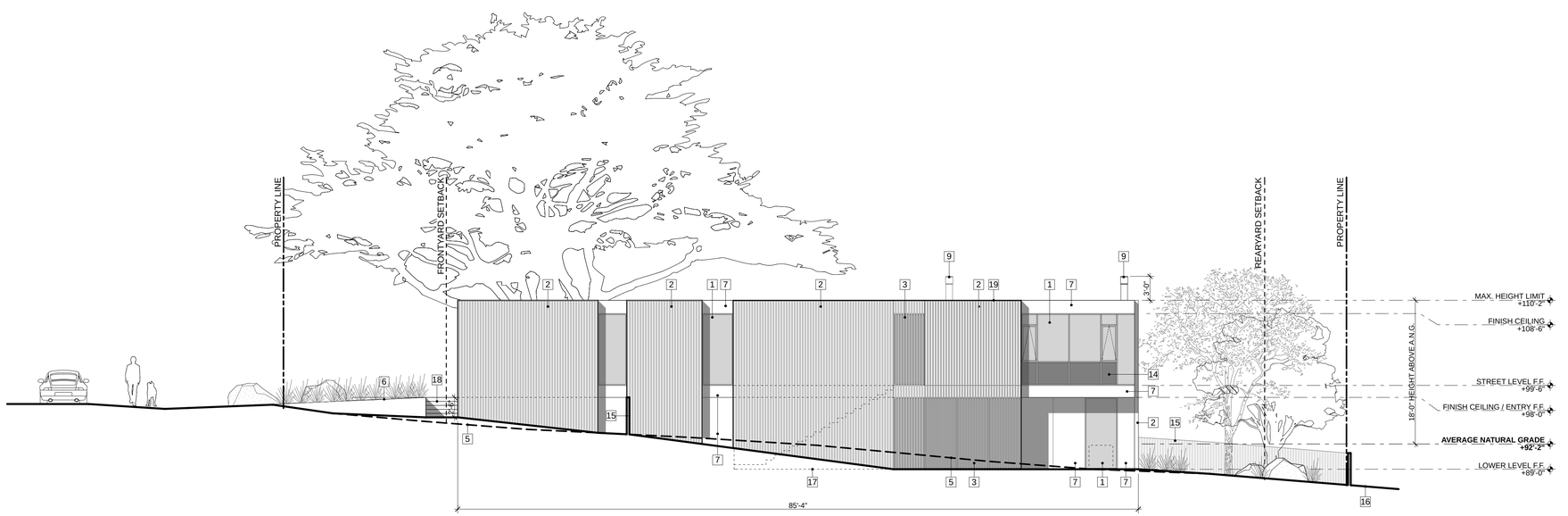
DATE: 5/7/18
SCALE: AS NOTED
DRAWING BY: CH / AL
CHECKED BY: DP

A3.1



WEST ELEVATION 1

SCALE: 1/8" = 1'-0"



EAST ELEVATION 2

SCALE: 1/8" = 1'-0"

KEYED NOTES:

1. ALUMINUM DOOR AND WINDOW SYSTEM
2. VERTICAL BOARD-AND-BATTEN WOOD CLADDING, TYP.
3. VERTICAL WOOD SCREEN WALL
4. EXPOSED CMU WALL WITH SMOOTH, 'SACKED' PLASTER FINISH
5. EXISTING NATURAL GRADE
6. LANDSCAPE / HARDSCAPE ELEMENT, S.L.D.
7. PAINTED AZEC PVC FASCIA AND WALL PANEL; COLOR TO MATCH ALUMINUM DOOR AND WINDOW FRAMES
8. CUSTOM METAL GUARDRAIL; +42" A.F.F.
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16. FINISH GRADE, S.L.D., S.C.D.
17. FINISH FLOOR (BEYOND)
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19. FLUSH MOUNT, PANEL-CLAD, BIFOLD DOORS
20. (E) LANDSCAPE HEDGE @ PROPERTY LINE TO REMAIN; HEIGHT = 10-12' A.N.G.
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SHEET NOTES:

AVERAGE NATURAL (EXISTING) GRADE:
(97'-0" + 87'-4") / 2 = **92'-2"**

MAXIMUM BUILDING HEIGHT = 110'-2"

BUILDING HEIGHT ABOVE A.N.G.:
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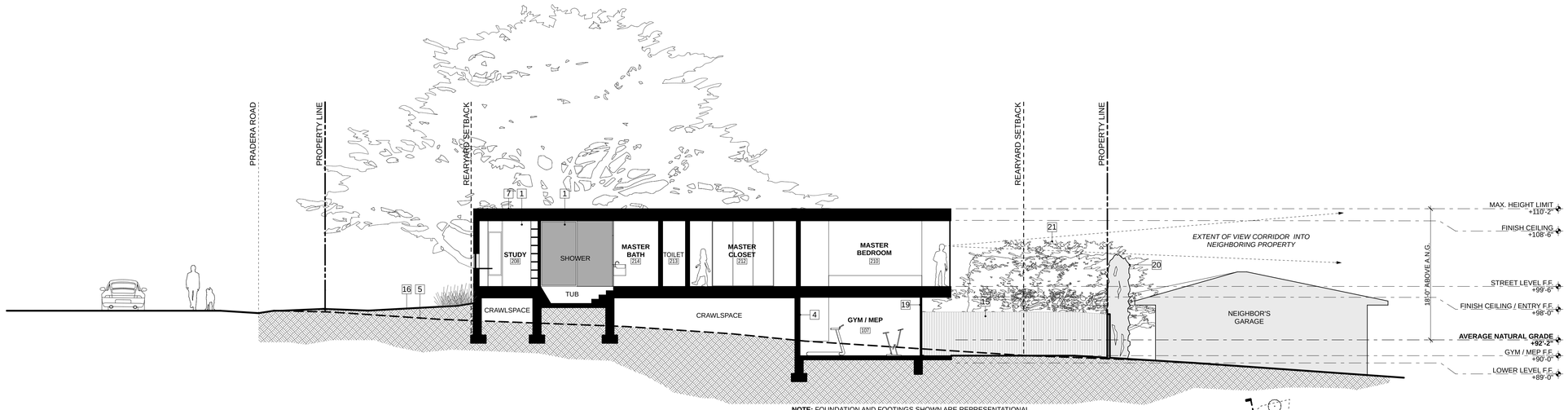
ELEVATIONS

DATE: 5/7/18 DRAWING BY: CH / AL
SCALE: AS NOTED CHECKED BY: DP

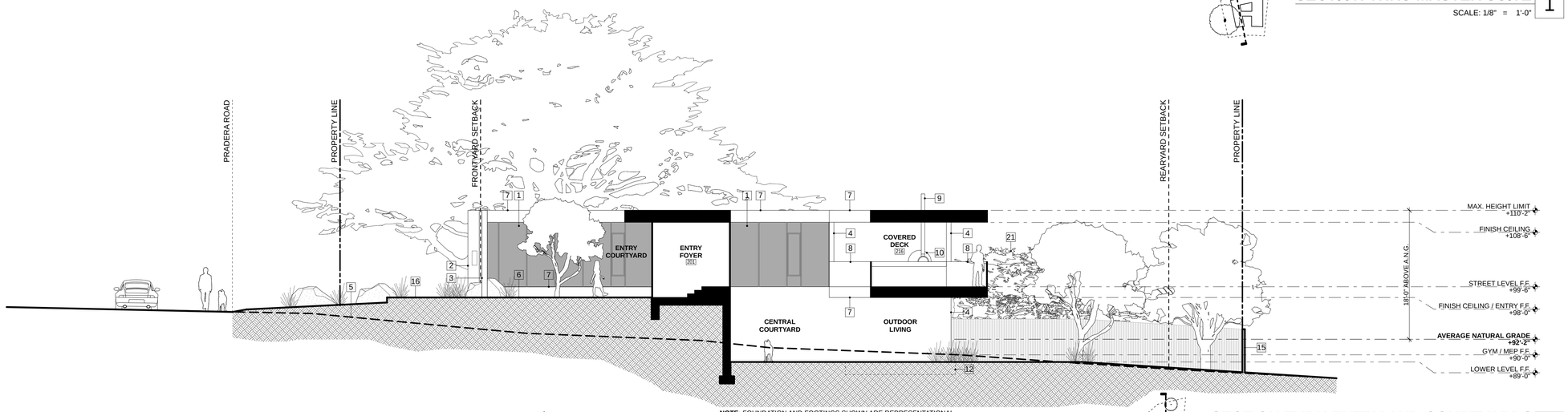
A3.2



NOTE: FOUNDATION AND FOOTINGS SHOWN ARE REPRESENTATIONAL,
SEE STRUCTUIRAL DRAWINGS FOR FOUNDATION DETAILS AND SPECIFICATIONS

SECTION THRU MASTER SUITE 1

SCALE: 1/8" = 1'-0"



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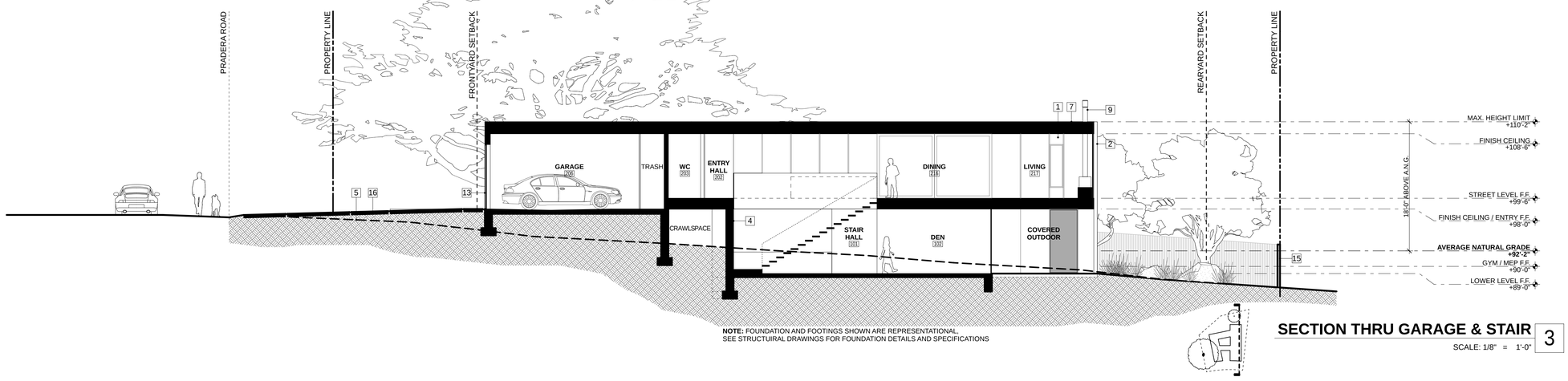
SECTION THRU ENTRY AND COURTYARDS 2

SCALE: 1/8" = 1'-0"



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SECTION THRU GARAGE & STAIR 3

SCALE: 1/8" = 1'-0"

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18. LANDSCAPE STAIRS, S.L.D.; +30" MAX. ABOVE GRADE, TYP.
19. FLUSH MOUNT, PANEL-CLAD, BIFOLD DOORS
20. (E) LANDSCAPE HEDGE @ PROPERTY LINE TO REMAIN; HEIGHT = 10-12' A.N.G.
21. (E) DENSE TREES @ PROPERTY LINE TO REMAIN; HEIGHT = 12-15' A.N.G.

SHEET NOTES:

AVERAGE NATURAL (EXISTING) GRADE:
(97'-0" + 87'-4") / 2 = **92'-2"**

MAXIMUM BUILDING HEIGHT = 110'-2"

BUILDING HEIGHT ABOVE A.N.G.:
110'-2" - 92'-2" = **18'-0"**

1. **EXTERIOR WOOD STUD WALL SHALL BE COVERED** ON THE OUTSIDE W/ THE MATERIALS & IN THE MANNER SPECIFIED IN THE CURRENT EDITION (2016) OF THE CBC & CALIFORNIA RESIDENTIAL CODE:

   ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES & BREAKS, COMPLYING W/ ASTM D 226 FOR TYPE 1 FELT OR OTHER APPROVED WATER-RESISTIVE BARRIER, SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS. APPLY MATERIAL HORIZONTALLY, W/ THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2". WHERE JOINTS OCCUR, FELT SHALL BE LAPPED NOT LESS THAN 6". MATERIAL SHALL BE CONTINUOUS TO THE TOP OF WALLS & TERMINATED AT PENETRATIONS & BUILDING APPENDAGES IN A MANNER TO MEET THE REQUIREMENTS OF THE EXTERIOR WALL ENVEOPE AS DESCRIBED IN CRC R703.1

2. WOOD SIDING: VERTICAL JOINTS IN PANEL SIDING SHALL OCCUR OVER FRAMING MEMBERS UNLESS WOOD OR WOOD STRUCTURAL PANEL SHEATHING IS USED AND SHALL BE SHIPLAPPED OR COVERED W/ A BATTON. HORIZONTAL JOINTS IN PANEL SIDING SHALL BE SHIPLAPPED

3. FLASHING: APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY W/ AAMA 711. THE FLASHING SHALL EXTEND TO THE SURFAE OF THE EXTERIOR WALL FINISH. SEE CRC R703.8 FOR ALL REQUIRED FLASHING LOCATIONS

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REN. 09/2019
STATE OF CALIFORNIA

WOUNG-CHAPMAN RESIDENCE
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DRAWING ISSUE:

NO.	DATE	DESCRIPTION
1	03/23/2018	CARMEL MEADOWS ASSOCIATION SUBMITTAL
2	03/26/2018	COMBINED DEVELOPMENT PERMIT SUBMITTAL
3	05/07/2018	AREA & BUILDING SITE COVERAGE REVISIONS
4		
5		
6		

BUILDING SECTIONS

DATE: 5/7/18 DRAWING BY: CH / AL
SCALE: AS NOTED CHECKED BY: DP

A4.1