Before the Zoning Administrator
in and for the County of Monterey, State of California

In the matter of the application of:
HARWELL JOHN D & MARY BADING TRS (PLN170958)
RESOLUTION NO. 18-055
Resolution by the Monterey County Zoning Administrator:

1) Finding construction of the accessory structure qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(e) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2 of the CEQA Guidelines; and
2) Approving a Combined Development Permit consisting of:
    a) Administrative Permit and Design Approval to allow construction of a two story workshop and home office (approximately 1,835 sq. ft.); and
    b) Use Permit to allow development on slopes in excess of 25%.

[PLN170958, **HARWELL JOHN D & MARY BADING TRS**, 5 La Pradera Lane, Carmel, Greater Monterey Peninsula Area Plan (APN: 103-151-012-000)]

The Harwell & Bading application (PLN170958) for Combined Development Permit came on for public hearing before the Monterey County Zoning Administrator on 27 September 2018. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE:

a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
    - *2010 Monterey County General Plan*;
    - Greater Monterey Peninsula Area Plan; and
    - Monterey County Zoning Ordinance (Title 21)

    No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

b) The property is located at 5 La Pradera Lane, Carmel (Assessor's Parcel Number 103-151-012-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Rural Density Residential with Urban Reserve, Site Design, and Design Control overlays and maximum density of 5.1 acres per unit (RDR/5.1-UR-D-S).

c) The request for a Use Permit to allow development on slopes over 25% is combined with the request for a non-habitable accessory structure which is an allowed use. A Combined Development Permit

requires a public hearing. Therefore, the Zoning Administrator is the appropriate hearing body.

d) In accordance with the *2010 General Plan*, exterior lighting be shall be unobtrusive, reduce off-site glare, and only light an intended area, the project is required to adhere to Chapter 21.63 – Design Guidelines for Exterior Lighting of Title 21. Therefore, Condition No. 10 requires submittal of an Exterior Lighting Plan to the RMA Chief of Planning for review and approval.

e) The project was referred to the Greater Monterey Peninsula (GMP) Land Use Advisory Committee (LUAC) for review. Based on LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors (Resolution No. 15-103), this application warranted referral to the LUAC because the project includes a public hearing design approval. The GMP LUAC meeting 2 May 2018 resulted in a 4-0 vote in favor of supporting recommendation of the project.

f) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170958.

2. **FINDING:** **SITE SUITABILITY –** The site is physically suitable for the use proposed.

EVIDENCE:

a) The project has been reviewed for site suitability by the following departments and agencies: RMA-Planning, RMA-Environmental Services, Monterey County Regional Fire Protection District (MCRFPD), RMA-Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

b) The project is proposed on slopes greater than 25%. See Finding 3 below.

d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170958.

3. **FINDING:** **CONSISTENCY – SLOPES OVER 25%:** There is no feasible alternative that would allow development of the proposed structure on slopes less than 25% and is most consistent with the *2010 Monterey County General Plan* Goal OS-3: Safety that requires development prevent soil erosion to conserve soils and enhance water quality.

EVIDENCE:

a) The parcel is developed with an existing single family dwelling and detached guesthouse, both of which are located on the available areas that are less than 25% slope. Development on the remaining areas of less than 25% slope would require tree removal and additional grading and paving over slopes greater than 25% in order to accommodate placement of the new structure. Access to the new home office and workshop in the proposed location exists with the least amount of additional paving and grading and no tree removal.

b) The proposed location best achieves objectives of the *2010 Monterey County General Plan* by avoiding the need for additional paving that contributes to runoff which in turn, contributes to erosion. Further, avoiding tree removal on slopes greater than 25% prevents erosion and stabilizes the soil. Therefore, erosion is minimized in location of the new structure.

c) The project Geotechnical Report prepared by Soil Surveys Group, Inc. 26 March 2018 (LIB180158) confirms the site is suitable for the proposed development with the implementation of recommendations provided in the report. Condition No. 17 requires submittal of a Grading Plan that incorporates recommendations of this Geotechnical Report. Condition No. 16 requires certification that verifies recommendations of the project Geotechnical Report have been incorporated into the Grading Plan submittal.

4. **FINDING:** **HEALTH AND SAFETY -** The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

a) The project was reviewed by the RMA-Planning, Monterey County Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

b) Staff conducted a site inspection on 2 May 2018 to verify that the site is suitable for this use.

c) The project is proposed on slopes greater than 25%. See Finding 3 above.

d) The subject parcel is in a State Responsibility Area (SRA) and rated as Very High risk for fire. Monterey County Regional Fire Protection District reviewed the project and will require that the development meets the current Fire Code Standards including maintaining vegetation around the structure, providing adequate access for emergency purposes, and providing appropriate fire suppression systems within the structure. Therefore, no indication exists that implementation of the proposed project would compromise safety in a fire hazard.

e) Condition No. 7 requires recording of a deed restriction indicating that any future replacement or expansion of the existing onsite wastewater treatment system on the property may require the installation and ongoing use of an alternative onsite wastewater treatment system.

f) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170958.

5. **FINDING:** **NO VIOLATIONS -** The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

a) Staff reviewed Monterey County RMA - Planning and Building Services Department records and is not aware of any violations existing on subject property.

b) Staff conducted a site inspection on 2 May 2018 and researched County records to assess if any violation exists on the subject property.

c) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN170958.

6. **FINDING:** **CEQA (Exempt): -** The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

a) California Environmental Quality Act (CEQA) Guidelines Section 15303(e) categorically exempts construction of accessory structures.

b) The proposed project is construction of a workshop and home office accessory to the existing residence. Therefore, the project is categorically exempt.

c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project is not located in a sensitive environment; would not cause cumulative impacts or significant impact on the environment; would not damage scenic or historical resources; and is not registered on the Cortese List as a Superfund cleanup site.

d) No adverse environmental effects were identified during staff review of the development application or during a site visit on 2 May 2018.

e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN170958.

7. **FINDING:** **APPEALABILITY -** The decision on this project may be appealed to the Planning Commission.

EVIDENCE:

a) Section 21.80.040.D of Title 21 designates the Planning Commission as the appropriate authority to hear an appeal of the decision on this application.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find construction of the accessory structure qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(e) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2 of the CEQA Guidelines; and
2. Approve a Combined Development Permit consisting of:
   a) Administrative Permit and Design Approval to allow construction of a two story workshop and home office (approximately 1,835 sq. ft.); and
   b) Use Permit to allow development on slopes in excess of 25%

in general conformance with the attached Plan set and subject to the seventeen (17) Conditions of Approval, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 27th day of September 2018 by:

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON SEP 28 2018

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE : OCT 08 2018

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

   Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

   Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN170958

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN170958) allows construction of a two-story workshop (upstairs) and home office (downstairs) and a Use Permit for development on slope greater than 25%. The property is located at 5 La Pradera Lane, Carmel (Assessor's Parcel Number 103-151-012-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number 18-055) was approved by the Zoning Administrator for Assessor's Parcel Number 103-151-012-000 on 27 September 2018. The permit was granted subject to 17 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD002(A) - ATTACH RESOLUTION TO CONSTRUCTION PLANS

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A copy of the Resolution of Approval (Resolution No. 18-055) for the Combined Development Permit (Planning File No.: PLN170958) shall be incorporated onto the construction plans for the project prior to the issuance of a grading or building permit. The Contractor/Owner/Applicant shall be responsible for compliance with all conditions of approval. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of any grading or construction activities, the Owner/Applicant shall submit evidence to RMA-Planning for review and approval, that the Resolution of Approval, for the project, has been incorporated onto the construction plans for the project/approved development.

Ongoing throughout construction and until all Conditions of Approval and/or Mitigation Measures have been complied with, the Contractor/Owner/Applicant shall provide evidence of compliance with Conditions of Approval to the Responsible Land Use Department as specified in the "Condition of Approval Implementation Plan/Mitigation Monitoring Reporting Plan."

4. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

6. PD007- GRADING WINTER RESTRICTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: The Owner/Applicant, on an on-going basis, shall obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.

7. EHSP01 – DEED RESTRICTION: FUTURE ONSITE WASTEWATER TREATMENT SYSTEM REQUIREMENTS (NON-STANDA

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Owner shall record a deed restriction indicating that any future replacement or expansion of the existing onsite wastewater treatment system on the property may require the installation and ongoing use of an alternative onsite wastewater treatment system. The Property shall be subject to any and all applicable federal, state and/or local laws, regulations and ordinances in effect at the time of permit issuance regarding the permitting, operation and maintenance or monitoring of onsite wastewater treatment systems. The single exception to this term is that an alternative onsite wastewater treatment system will be subject to an annual operating permit from the Monterey County Health Department, Environmental Health Bureau upon adoption of any State or regional regulations and/or any local ordinance authorizing such a permit. Owner agrees to disclose the contents of the Deed Restriction to any potential purchaser of the subject Property and to any person or entity to whom the Property herein described shall be conveyed. Owner is responsible to reimburse EHB for costs associated with preparation of the Deed Restriction. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the applicant shall provide a legal description for the parcel and a copy of the Grant Deed to the Environmental Health Bureau ("EHB"). The EHB will prepare the deed restriction form.

Prior to final inspection of construction permits, the property owner shall sign and notarize the deed restriction form obtained from the EHB. Record the notarized deed restriction with the Monterey County Recorder. Proof of recordation shall be provided to the EHB.

8. PD021 - DEED RESTRICTION-FIRE HAZARD

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to the issuance of a building permit the applicant shall record a deed restriction which states: "The parcel is located in a high fire hazard area and development may be subject to certain restrictions as per the standards for development of residential property."
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit a signed and notarized document to the Director of RMA-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the Director of RMA-Planning.

9. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

10. PD014(B) - LIGHTING-EXTERIOR LIGHTING PLAN (VS & RIDGELINE)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lighting shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit three (3) copies of exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

11. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of RMA - Building Services for review and approval, that the height of the structure from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of RMA- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

12. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to RMA - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to RMA-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

13. WR049 - WATER AVAILABILITY CERTIFICATION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at: www.mcwra.co.monterey.ca.us.

14. AS-BUILT CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: Prior to final inspection, the applicant shall provide a letter from a licensed engineer certifying that all development has been constructed in accordance with the recommendations in the Geotechnical Investigation and the approved grading plan. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed professional engineer.

15. EROSION CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an erosion control plan in conformance with the requirements of Monterey County Code Chapter 16.12. The erosion control plan shall include a construction entrance, concrete washout, stockpile area(s), material storage area(s), portable sanitation facilities and waste collection area(s), as applicable. The plan shall also include RMA-Environmental Services standard inspection notes 1, 2, & 3. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit an erosion control plan to RMA-Environmental Services for review and approval. Standard inspection notes are available on the RMA-Environmental Services website.

16. GEOTECHNICAL PLAN REVIEW

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from the licensed practitioner that their geotechnical recommendations have been incorporated into the approved grading plan. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permit, the applicant shall provide certification from the licensed practitioner(s).

17. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a grading plan incorporating the recommendations from the project Geotechnical Investigation prepared by Soil Surveys Group, Inc. The grading plan shall include contour lines and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The grading plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

WORKSHOP

5 La Pradera
Carmel, CA 93923

PROJECT INFORMATION

PROJECT:	WORKSHOP AND HOME OFFICE ADDITION
LOCATION:	5 La Pradera Carmel, CA 93923
APN:	103-151-012
GENERAL PLAN LAND USE DESIGNATION	GREATER MONTEREY PENINSULA
ZONING:	RDR/5.1-UR-D-S
LOT SIZE:	4.9 ACRES = 213,951 S.F.
GRADING ESTIMATES:	CUT: 345 CU. YARDS 1 FILL: 29 CU. YARDS
OCCUPANCY:	R-3
CONSTRUCTION:	V-B
WATER COMPANY:	CALIFORNIA AMERICAN
SEWER:	ON-SITE WASTE WATER TREATMENT

EXISTING BUILDING AREA:

MAIN HOUSE:	
UPPER FLOOR	3,273 S.F.
LOWER FLOOR	848 S.F.
GUESTHOUSE	732 S.F.
TOTAL	4,853 S.F.

ADDITION:	1052 S.F. UPPER LEVEL 779 S.F. LOWER LEVEL 1831 S.F. TOTAL

IMPERVIOUS COVERAGE:	EXISTING:	8,952 S.F.
	PROPOSED:	9,480 S.F.
	NET CHANGE:	+ 528 S.F.

BUILDING SITE COVERAGE:	EXISTING:	1.8%
	NEW:	2.4%
	25% MAXIMUM ALLOWED	

EXISTING

MAIN HOUSE	3,272 S.F.
GUESTHOUSE	732 S.F.
TOTAL	4,004 S.F.

4,004/213,951 = 1.8%

NEW

MAIN HOUSE	3,272 S.F.
GUESTHOUSE	732 S.F.
WORKSHOP/OFFICE	1,052 S.F.
	5,056 S.F.

5,056/213,951 = 2.4%

STRUCTURE ON SLOPE GREATER THAN 25%:	APPROXIMATELY 990 S.F.

SHEET INDEX

SHT. #	SHEET TITLE
TITLE	
A001	COVER SHEET
A002	SITE PHOTOS
ARCHITECTURAL	
A101	SITE PLAN
A102	ENLARGED SITE PLAN
A103	GRADING AND EROSION CONTROL PLAN
A104	GRADING SECTIONS
A105	FUEL MANAGEMENT PLAN
A201	LOWER LEVEL FLOOR PLAN
A202	UPPER LEVEL FLOOR PLAN
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A701	BUILDING SECTIONS
LIGHTING	
L101	EXTERIOR LIGHTING PLAN

50
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ABREVIATIONS

&	AND
∠	ANGLE
@	AT
℄	CENTERLINE
Ø	DIAMETER OR ROUND
⊥	PERPENDICULAR
℞	PROPERTY LINE
#	POUND OR NUMBER
A.B.	ANCHOR BOLT
A.B.S.	ACRYLONITRILE BUTADIENE
ABV.	ABOVE
A.A.	ASPHALTIC CONCRETE
A/C	AIR CONDITIONING
ACOUS.	ACOUSTICAL
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
AGGR.	AGGREGATE
ALUM.	ALUMINUM
ANOD.	ANODIZED
A.P.A	AMERICAN PLYWOOD ASSOCIATION
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
A.S.	ADJUSTABLE SHELF
BD.	BOARD
BIT.	BITUMINOUS
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.M.	BENCH MARK
BOT.	BOTTOM
BRG.	BEARING
BTWN.	BETWEEN
B.U.R.	BUILD-UP ROOFING
B.W.	BOTH WAYS
CAB.	CABINET
C.B.	CATCH BASIN
CBC	CALIFORNIA BUILDING CODE
CEM.	CEMENT
CER.	CERAMIC
CFCI.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
C.F.	CUBIC FEET
C.I.	CAST IRON
C.J.	CONTROL JOINT
CL.	CLOSET
CLG.	CEILING
CLKG.	CAULKING
CLR.	CLEAR(ANCE)
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONN.	CONNECTION
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
COR.	CORRUGATED
C.O.T.G.	CLEAN-OUT TO GRADE
CSMT.	CASEMENT
CSWK.	CASEWORK
C.T.	CERAMIC TILE
CTR.	COUNTER
CTSK.	COUNTERSINK
C.Y.	CUBIC YARD
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
DF.	DRINKING FOUNTAIN
D.F.	DOUGLAS FIR
D.G.	DECOMPOSED GRANITE
D.H.	DOUBLE HUNG
DIAG.	DIAGONAL
DIA.	DIAMETER
DIMEN.	DIMENSION
DISP.	DISPENSER/DISPOSER
DN.	DOWN
DR.	DOOR
DRWG.	DRAWING
D.S.B.	DBL. STRENGTH B GRADE (GLASS)
D.S.	DOWNSPOUT
DWR.	DRAWER
D.W.	DISH WASHER
E.	EAST
EA.	EACH
E.J.	EXPANSION JOINT
ELEV.	ELEVATION, ELEVATOR
ELEC.	ELECTRIC(AL)
EMER.	EMERGENCY
ENCL.	ENCLOSURE
EQUIP.	EQUIPMENT N.I.C. W/ WITH
EWC.	ELECTRIC WATER COOLER
(E)	EXISTING
EXH.	EXHAUST
EXP.	EXPOSED/EXPANSION
EXT.	EXTERIOR
F.A.	FIRE ALARM
FAST.	FASTENER)
F.A.	FLAT BAR
F.D.	FLOOR DRAIN
FEC.	FIRE EXTINGUISHER CABINET
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FND.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.	FIBERGLASS
FIN.	FINISHED)
F.H.M.S.	FLATHEAD MECHANICAL SCREW
F.H.W.S.	FLATHEAD WOOD SCREW
FLASH.	FLASHING
FLR.	FLOOR(ING)
FLUOR.	FLUORESCENT
F.O.	FACE OF
F.O.B.	FACE OF BLOCK
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.P.	FIREPLACE
F.R.P.	FIBERGLASS REINF. PANEL
F.S.	FULL SIZE
FT.	FOOT/FEET
FTG.	FOOTING
FURR.	FURRED(ING)
FUT.	FUTURE
GA.	GAUGE/GAGE
GALV.	GALVANIZED
G.B.	GRAB BAR
G.I.	GALVANIZED IRON
GL.	GLASS/GLAZING
G.L.B.	GLUE-LAM BEAM
GR.	GRADE(ING)
G.W.B.	GYPSUM WALLBOARD
H.B.	HOSE BIB
HBD.	HARDBOARD
H.A.	HOLLOW CORE
HDR.	HEADER
HDWR.	HARDWARE
H.M.	HOLLOW METAL
HORZ.	HORIZONTAL
H.S.	HEAVY SHEET
HT.	HEIGHT
HTG.	HEATING
H.W.	HOT WATER
HWD.	HARDWOOD
HVAC.	HEATING/VENTILATING/AIR CONDITIONING
I.C.C.	INTERNATIONAL CODE COUNCIL
ID.	INSIDE DIAMETER
INCL.	INCLUDE(D) (ING)
INSUL.	INSULATE(D) (ING)
INT.	INTERIOR
INV.	INVERT
JAN.	JANITOR
J.H.	JOIST HANGER
JT.	JOINT
KIT.	KITCHEN
L.	LENGTH
LAM.	LAMINATE
LAV.	LAVATORY
L.B.	LAG BOLT
LOC.	LOCATE(ION)
L.V.L.	LAMINATED VENEER LUMBER
L.W.	LIGHTWEIGHT
MAS.	MASONRY
MAT.	MATERIAL(S)
MAX.	MAXIMUM
M.B.	MACHINE BOLT
M.C.	MEDICINE CABINET
M.H.	MAN HOLE
MECH.	MECHANICAL
MEMB.	MEMBRANE
MEZZ.	MEZZANINE
MFR.	MANUFACTURE(ER)
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
MLDG.	MOLDING/MOULDING
M.I.W.	MALLEABLE IRON WASHER
M.O.	MASONRY OPENING
MTD.	MOUNTED
MET.	METAL
MULL.	MULLION
N.	NORTH
(N)	NEW
NAT.	NATURAL
N.I.C.	NOT IN CONTRACT
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O/	OVER
OBS.	OBSCURE
O.C.	ON CENTER(S)
O.D.	OUTSIDE DIAMETER
OFF.	OFFICE
OFCI.	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI.	OWNER FURNISHED, OWNER INSTALLED
O.H.	OVER HANG
O.H.M.S.	OVALHEAD MACHINE SCREW
O.H.W.S.	OVALHEAD WOOD SCREW
OPNG.	OPENING
OPP.	OPPOSITE
P.A.F.	POWDER ACTUATED FASTENER
P.B.	PANIC BAR
PART. BD.	PARTICLE BOARD
PCF.	POUNDS PER CUBIC FOOT
P.D.	POWDER DRIVEN
P.G.	PAINT GRADE
PERF.	PERFORATE
PLF	POUNDS PER LINEAR FOOT
PLAS. LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PR.	PAIR
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
PART.	PARTITION
P.T. DISP.	PAPER TOWEL DISPENSER
P.V.C.	POLYVINYL CHLORIDE
R.	RISER
R.A.	RETURN AIR
RAD.	RADIUS
R.D.	ROOF DRAIN
REG.	REGISTER
REF.	REFRIGERATOR
REINF.	REINFORCED
REQ'D.	REQUIRED
REQMT.	REQUIREMENT
RESIL.	RESILIENT
REV	REVERSED
R.H.M.S.	ROUNDHEAD MACHINE SCREW
R.H.W.S.	ROUNDHEAD WOOD SCREW
RM.	ROOM
R.O.	ROUGH OPENING
R.O.W.	RIGHT OF WAY
R.S.	RESAWN
RUB.	RUBBER
RWD.	REDWOOD
R.W.L.	RAIN WATER LEADER
S.	SOUTH
S.B.	SOLID BLOCKING
S.C.	SOLID CORE
SCHED.	SCHEDULE
S.A.	STORM DRAIN
SECT.	SECTION
SERV.	SERVICE
S.F.	SQUARE FOOT
S.G.	STAIN GRADE
SH.	SHELF/SHELVING
SHWR.	SHOWER
SHT.	SHEET
SHT'G.	SHEATHING
SIM.	SIMILAR
S.S.	STAINLESS STEEL SERVICE SINK
S.S.D.	SEE STRUCTURAL DRAWINGS
S.M.	SHEET METAL
S.M.S.	SHEET METAL SCREW
SPEC.	SPECIFICATION
SQ.	SQUARE
STL.	STEEL
STD.	STANDARD
STAG.	STAGGERED
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMMETRY(ICAL)
SYS.	SYSTEM
T.	TREAD
T.B.	TOWEL BAR
T.B.D.	TO BE DETERMINED
T.C.	TOP OF CURB
TEL.	TELEPHONE
TEMP.	TEMPERED
T.E.N.	TYPICAL EDGE NAILING
T & G	TONGUE & GROOVE
THK.	THICK(NESS)
THRESH.	THRESHOLD
T.J.I.	TRUSS JOIST INTERNATIONAL
T.O.	TOP OF
T.P.H.	TOILET PAPER HOLDER
T.Q.	TOP OF PAVEMENT
TV	TELEVISION
T.W.	TOP OF WALL
TYP.	TYPICAL
U/L	UNDERWRITER'S LABORATORY
U.N.O.	UNLESS NOTED OTHERWISE
U.O.N.	UNLESS OTHERWISE NOTED
UR.	URINAL
V.I.F.	VERIFY IN FIELD
W.	WEST/WIDTH/WIDE
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
WDW.	WINDOW
W.H.	WATER HEATER
WI.	WOODWORK INSTITUTE
W/O	WITHOUT
W.P.	WATERPROOF(ING)
W.R.	WATER RESISTANT
W.S.	WOOD SCREW
WSCT.	WAINSCOT
WT.	WEIGHT
W.W.M.	WELDED WIRE MESH

LEGEND

- EARTH
- ROCK
- SAND, MORTAR, PLASTER
- CONCRETE BLOCK
- CAST-IN-PLACE (C.I.P.) CONCRETE
- (E) STUD WALL
- (N) STUD WALL
- (E) STUD WALL TO BE REMOVED
- SOUND INSULATED STUD WALL
- METAL
- WOOD FINISH
- WOOD FRAMING CONTINUOUS MEMBER
- WOOD BLOCKING
- PLYWOOD
- GYPSUM WALLBOARD
- A.C. PAVING

SYMBOLS

- XXX — DOOR SYMBOL
- XX — WINDOW SYMBOL
- X — KEY TAG
- XX — DEMOLITION TAG
- MATCH LINE
- WORK POINT, DATUM POINT OR CONTROL
- XX — VERTICAL OR HORIZONTAL DIAPHRAGM KEY
- SECTION
  - X — SECTION IDENTIFICATION
  - A.X.X — SHEET WHERE SECTION IS DRAWN
- DETAIL
  - X — DETAIL IDENTIFICATION
  - A.X.X — SHEET WHERE DETAIL IS DRAWN
- FINISH GRADE (SPOT)
  - +XXX.X — ELEVATION
  - +XXX.X — SURFACE
- EXISTING GRADE (SPOT)
  - +XXX.X — ELEVATION
  - +XXX.X — SURFACE
- PROPERTY LINE
- REVISION
  - X

PROJECT TEAM

OWNER

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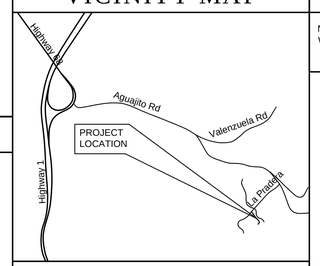
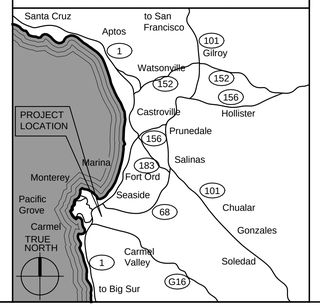
VICINITY MAP



LOCATION MAP



PROJECT INFORMATION

APPLICABLE BUILDING CODES & STANDARDS

2016 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (C.C.R.)

2016 CALIFORNIA RESIDENTIAL CODE (CBC), PART 2.5, TITLE 24 C.C.R.

2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.

2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.

2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.

2016 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.

2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.

2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.

TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

PARTIAL LIST OF APPLICABLE STATE STANDARDS

NFPA 13, AUTOMATIC SPRINKLER SYSTEMS, (CA AMENDED) 2007 EDITION

NFPA 72, NATIONAL FIRE ALARM CODE, (CA AMENDED) 2007 EDITION

SCOPE OF WORK

NEW CONSTRUCTION OF A DETACHED TWO STORY, 1831 S.F. STRUCTURE CONTAINING WORKSHOP, HOME OFFICE AND POWDER ROOM. 1

PRELIMINARY
NOT FOR CONSTRUCTION

HARWELL GARAGE
JOHN HARWELL
5 LA PRADERA
CARMEL, CA 93923

A.P.N.: 103-151-012

JOB NO.:
JOB# 16149

PRINT DATE:	
PLOT DATE:	7.23.2018
DRAWN BY:	DD
CHECKED BY:	-
SET ISSUED:	
7/23/2018	RESUBMITTAL TO PLANNING FOR APPROVAL

SHEET NAME:
COVER SHEET

SHEET NO.:
A001

FILE NAME: 16149-A001

EXISTING CONDITIONS

EXISTING GUESTHOUSE

EXISTING MAIN HOUSE

EXISTING GARAGE

STAKING AND FLAGGING

PRELIMINARY
NOT FOR CONSTRUCTION

WALD RUHNKE & DOST
ARCHITECTS LLP

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MONTEREY, CALIFORNIA 93940
PHONE: 831.649.4642
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HARWELL GARAGE

JOHN HARWELL
5 LA PRADERA
CARMEL, CA 93923

A.P.N.: 103-151-012

JOB NO.:
JOB# 16149

PRINT DATE:
PLOT DATE: 7.23.2018
DRAWN BY: DD
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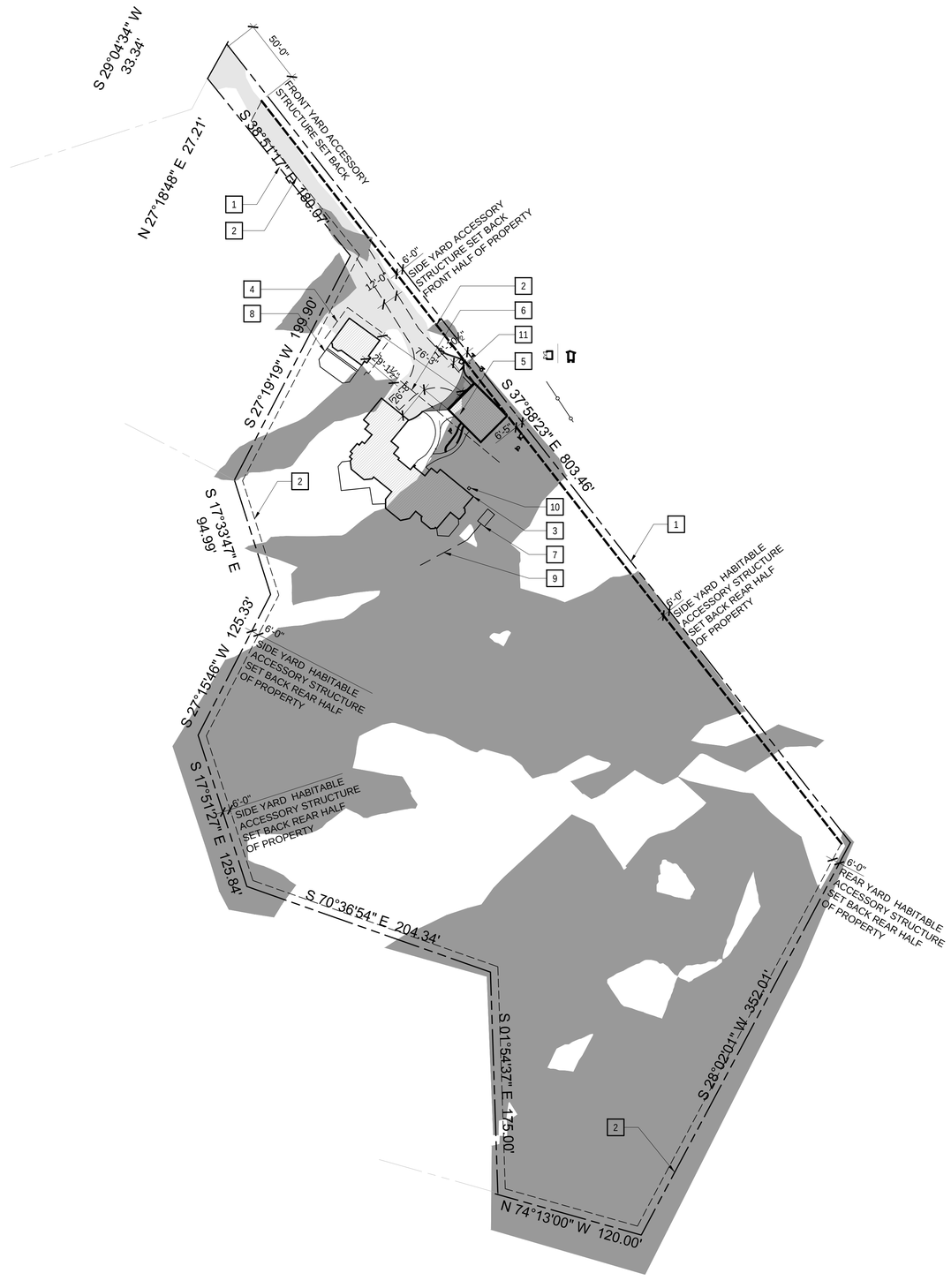
SET ISSUED:
7/23/2018 RESUBMITTAL TO PLANNING FOR APPROVAL

SHEET NAME:
SITE PHOTOS

SHEET NO.:
A002

FILE NAME: 16149-A002



TRUE NORTH
PLAN NORTH

SITE PLAN

SCALE: 1"=50'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1. PROPERTY LINE
2. ACCESSORY STRUCTURE SIDE YARD SET BACK
3. EXISTING RESIDENCE WITH ATTACHED GARAGE NO PROPOSED WORK
4. 6'-0" ACCESSORY BUILDING TO ACCESSORY BUILDING SETBACK
5. LOCATION OF NEW WORKSHOP AND HOME OFFICE
6. 20'-0" MAIN STRUCTURE TO ACCESSORY BUILDING SETBACK
7. APPROXIMATE LOCATION OF EXISTING 3000 GALLON SEPTIC SYSTEM
8. EXISTING GUESTHOUSE NO PROPOSED WORK
9. EXISTING LEACHFIELD
10. APPROXIMATE LOCATION OF SEPTIC CLEAN OUT
11. FIRE TRUCK TURNAROUND

GENERAL NOTES

1. NO NEW LANDSCAPING WILL BE INSTALLED

LEGEND

SLOPES OF 25% OR GREATER

EXISTING STRUCTURES

PROPOSED WORKSHOP/HOME OFFICE

PRELIMINARY
NOT FOR CONSTRUCTION

50

WRD

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HARWELL GARAGE

JOHN HARWELL
5 LA PRADERA
CARMEL, CA 93923

A.P.N.: 103-151-012

JOB NO.:
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PRINT DATE:
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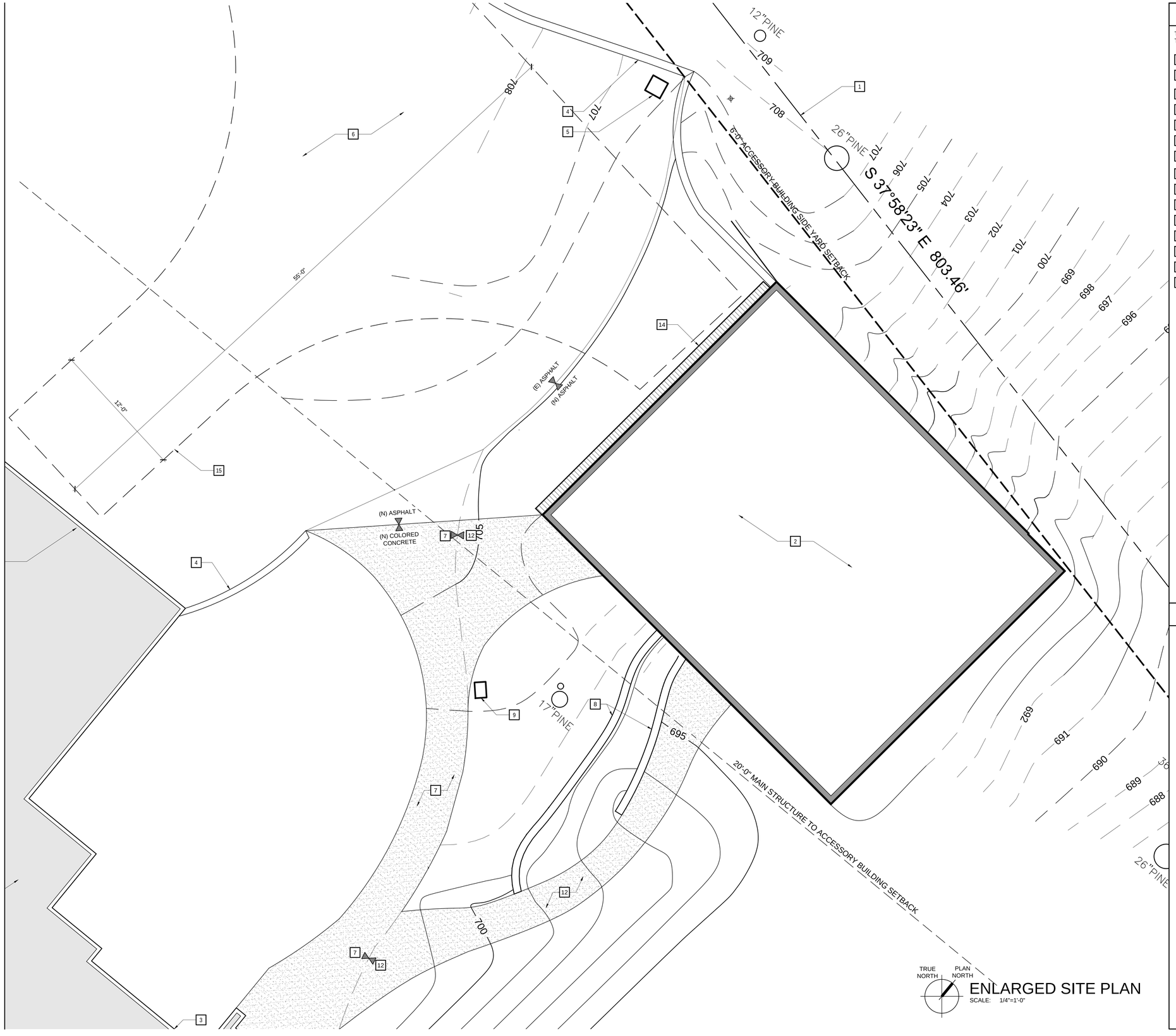
7/23/2018 RESUBMITTAL TO PLANNING FOR APPROVAL

SHEET NAME:
SITE PLAN

SHEET NO.:
A101

FILE NAME: 16149-A101



ENLARGED SITE PLAN
SCALE: 1/4"=1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1. PROPERTY LINE
2. FLOOR PLAN OF WORKSHOP LEVEL SHOWN, SEE A202 FOR ADDITIONAL INFORMATION
3. EXISTING RESIDENCE WITH ATTACHED GARAGE
4. EXISTING ASPHALT CURB
5. EXISTING AREA DRAIN
6. EXISTING ASPHALT DRIVEWAY
7. EXISTING AGGREGATE WALKWAY TO BE REMOVED AND REPLACED WITH NEW COLOR CONCRETE
8. NEW RETAINING WALL
9. EXISTING IRRIGATION CONTROL VALVE BOX
10. OVERHANG
11. NEW GLASS GUARDRAIL
12. NEW COLORED CONCRETE WALKWAY
13. NEW ASPHALT CURB
14. NEW TRENCH DRAIN
15. FIRE TRUCK TURNAROUND

LEGEND

(E) MINOR CONTOUR
(E) MAJOR CONTOUR
(N) MINOR CONTOUR
(N) MAJOR CONTOUR
EXISTING STRUCTURES
NEW ASPHALT
NEW PAVED WALKWAY

PRELIMINARY
NOT FOR CONSTRUCTION

50
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A.P.N.: 103-151-012

HARWELL GARAGE

JOHN HARWELL
5 LA PRADERA
CARMEL, CA 93923

JOB NO.: JOB# 16149
PRINT DATE:
PLOT DATE: 7.23.2018
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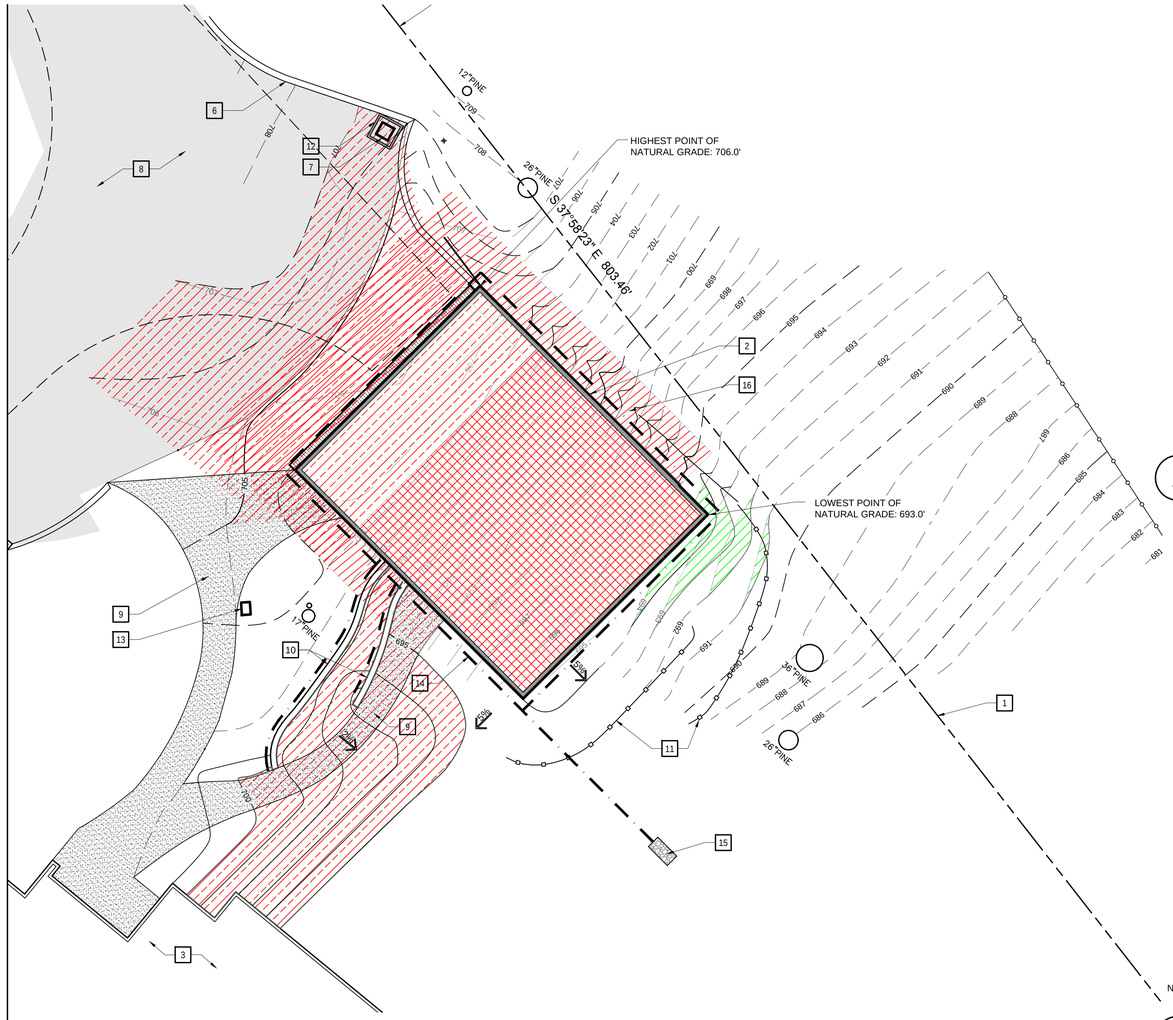
SET ISSUED:
7/23/2018 RESUBMITTAL TO PLANNING FOR APPROVAL

SHEET NAME:
ENLARGED SITE PLAN

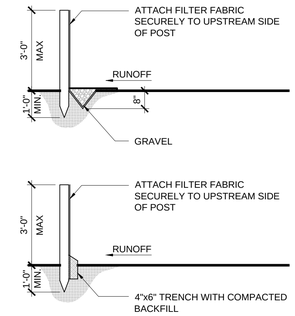
SHEET NO.:
A102

FILE NAME: 16149-A102



GRADING AND EROSION CONTROL PLAN

SCALE: 1/8"=1'-0"

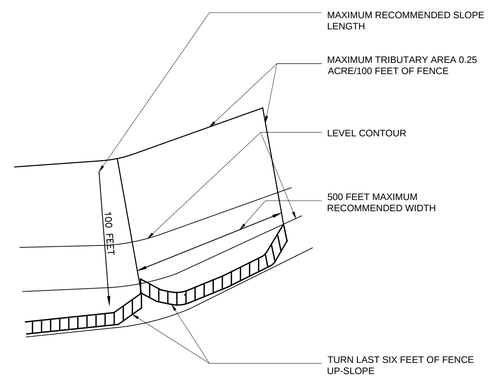


MAINTENANCE

- SILT FENCE AND FILTER BARRIERS SHALL BE INSPECTED DURING AND IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. AN REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE DURING THE TIME THE FENCE OR BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPLTY
- SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ½ THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED
- SILT BUILDUP MUST BE REMOVED WHEN BULGES DEVELOP IN THE FENCE REGARDLESS OF DEPTH OF DEPOSITION

1 SILT FENCING DETAIL

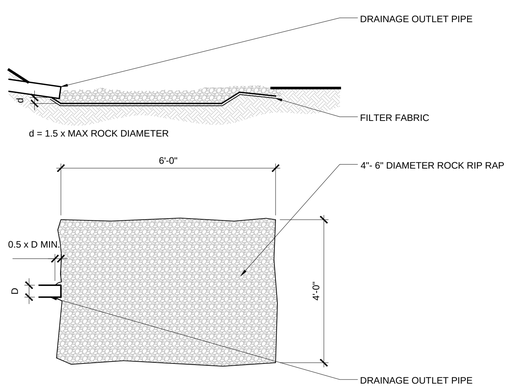
SCALE: 3" = 1'-0"



NOTE: LOCATE SILT FENCE ALONG A LEVEL CONTOUR.

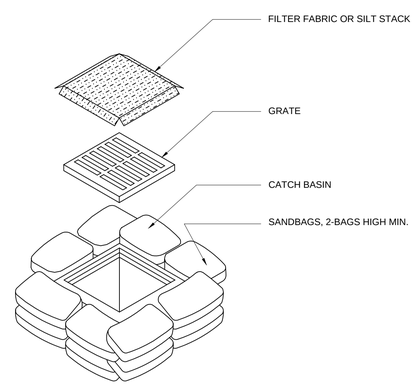
2 SILT FENCING LAYOUT

SCALE: 3" = 1'-0"



4 DRAINAGE ENERGY DISSAPATOR

SCALE: NTS



3 STORM DRAIN INLET PROTECTION

SCALE: 3" = 1'-0"

KEY NOTES

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1. PROPERTY LINE
2. FOOTPRINT OF NEW STRUCTURE
3. EXISTING RESIDENCE
4. NOT USED
5. NOT USED
6. EXISTING ASPHALT CURB
7. EXISTING AREA DRAIN
8. EXISTING ASPHALT DRIVEWAY
9. NEW COLORED CONCRETE WALKWAY
10. NEW RETAINING WALL
11. SILT FENCING PER 1 & 2/~
12. STORM DRAIN INLET PROTECTION PER 3/~
13. EXISTING IRRIGATION CONTROL VALVE BOX
14. NEW FOUNDATION DRAIN, PERFORATED 4" Ø PIPE, MINIMUM SLOPE OF 2% DRAIN TO DAYLIGHT
15. ENERGY DISSIPATER, SEE 4/~
16. LINE OF NEW SWALE

EROSION CONTROL NOTES

AT ALL TIMES THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE SOIL EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF BERMS, SWALES, SILTING BASINS, CHECK DAMS, SILT FENCES, GRAVEL BAG BARRIERS, FIBER ROLLS, STABILIZED CONSTRUCTION ENTRANCES AND OR STABILIZING EXPOSED SLOPES.

1. ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.

2. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.

3. THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 15 AND APRIL 15.
   A. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND TUCKED IN TO PREVENT MOVEMENT DURING WATER FLOW.
   B. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
   C. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
   D. THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
   E. CUT AND FILL SLOPES SHALL BE PLANTED WITH ANNUAL RYE GRASS (40 LBS/ACRE) AND COVERED WITH STRAW.

4. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR. CONTRACTOR SHALL INITIATE AND ENFORCE DUST CONTROL METHODS IN COMPLIANCE WITH COUNTY OF MONTEREY.

5. INSPECTION-DURING ACTIVE CONSTRUCTION: THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPS INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

6. INSPECTION-FOLLOWING ACTIVE CONSTRUCTION: THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

7. INSPECTION-PRIOR TO LAND DISTURBANCE: THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

LEGEND

- BELOW GRADE DRAINAGE
- (E) MINOR CONTOUR TBR
- (E) MAJOR CONTOUR TBR
- (E) MINOR CONTOUR
- (E) MAJOR CONTOUR
- (N) MINOR CONTOUR
- (N) MAJOR CONTOUR
- SILT FENCING
- STORM DRAIN INLET PROTECTION
- 2% SLOPE AT PAVED SURFACES — 2%
- MIN 5% SLOPE FOR 10 FEET AT GRADE — 5%
- APPROXIMATE EXTENT OF GRADING CUT FOR LOWER FLOOR OF STRUCTURE
- APPROXIMATE EXTENT 5'-0" OVER EXCAVATION FOR ACCESS TO BELOW GRADE WALLS
- APPROXIMATE GRADING CUT FOR CRAWL SPACE
- APPROXIMATE GRADING FILL

PRELIMINARY
NOT FOR CONSTRUCTION

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A.P.N.: 103-151-012

HARWELL GARAGE

JOHN HARWELL
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CARMEL, CA 93923

JOB NO.: JOB# 16149

PRINT DATE:
PLOT DATE: 7.24.2018
DRAWN BY: DD
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SET ISSUED:
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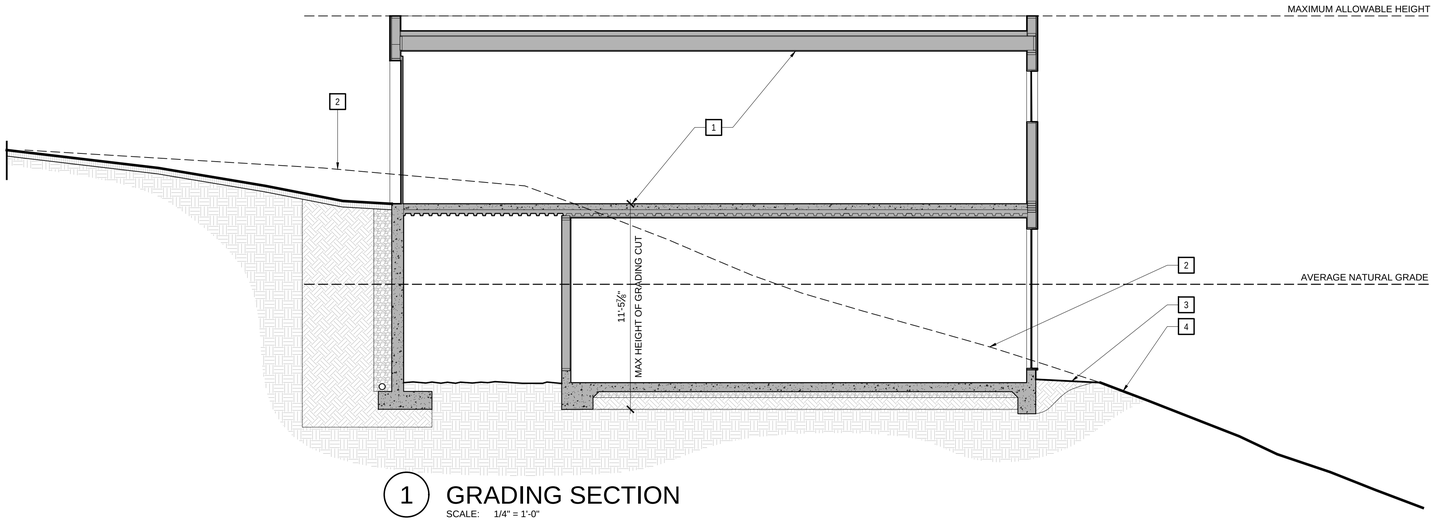
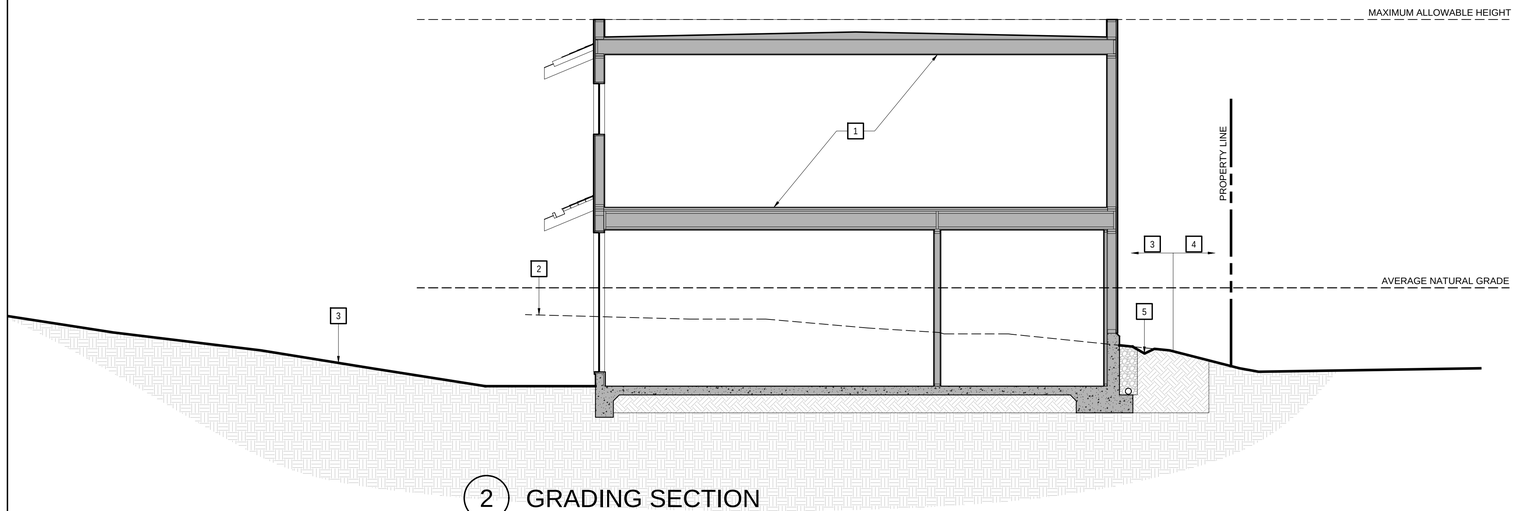
SHEET NAME: GRADING & EROSION CONTROL PLAN

SHEET NO.: A103

FILE NAME: 16149-A103



1 GRADING SECTION
SCALE: 1/4" = 1'-0"



2 GRADING SECTION
SCALE: 1/4" = 1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1. PROPOSED STRUCTURE
2. LINE OF EXISTING GRADE
3. LINE OF EXISTING GRADE TO BE ALTERED
4. LINE OF EXISTING GRADE TO REMAIN
5. NEW SWALE

LEGEND

APPROXIMATE AREAS OF UNDISTURBED SOIL

APPROXIMATE AREAS OF BACK FILLED/ DISTURBED SOIL

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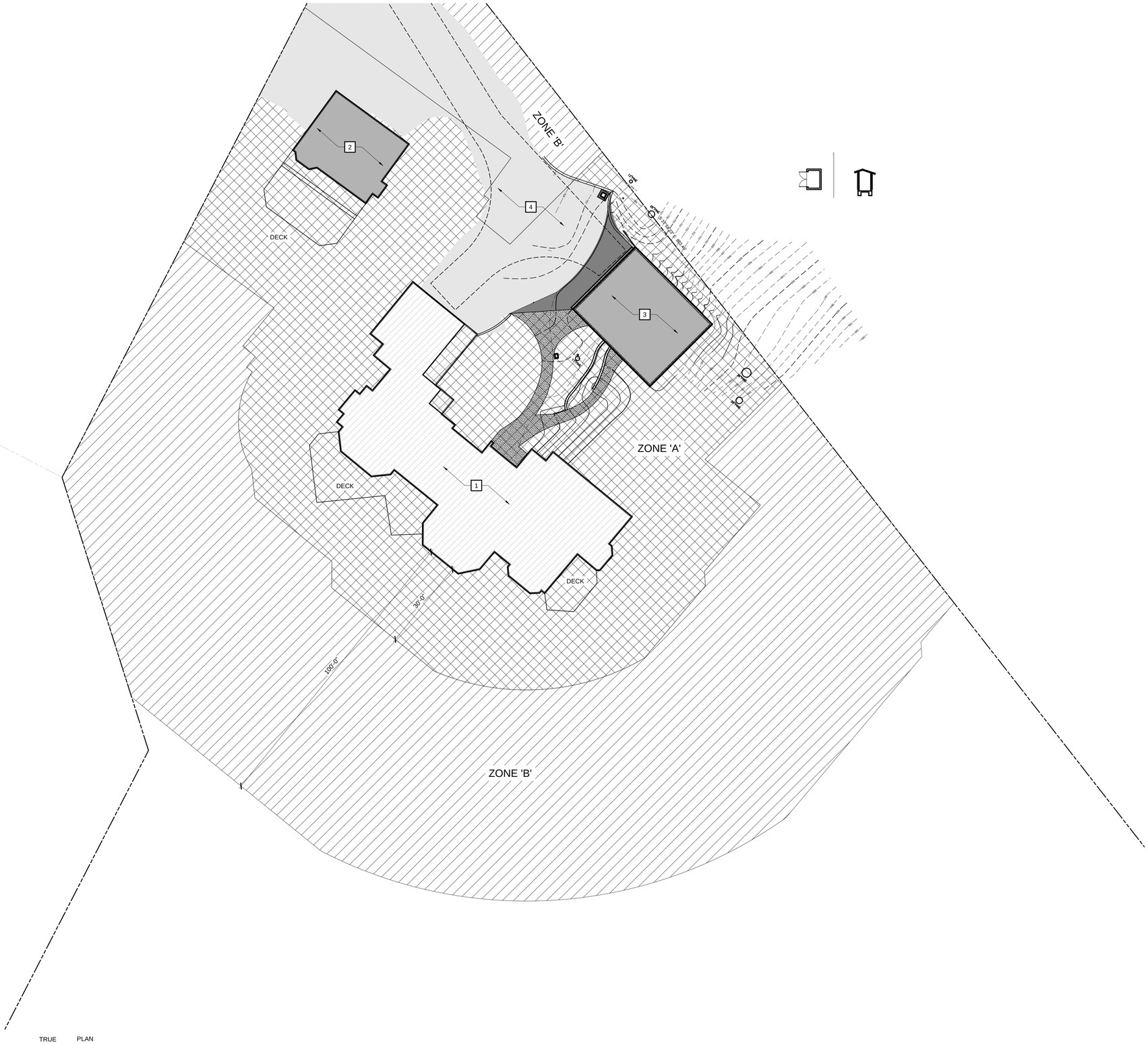
SHEET NAME:
GRADING SECTIONS

SHEET NO.:
A104

FILE NAME: 16149-A104



TRUE NORTH
PLAN NORTH

FUEL MANAGEMENT PLAN

SCALE: 1/16"=1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1. EXISTING HOUSE
2. EXISTING GUESTHOUSE
3. PROPOSED WORKSHOP
4. EXISTING ASPHALT PAVING

FUEL MODIFICATION NOTES

PRELIMINARY FUEL MODIFICATION ZONES:

ZONE A: WITHIN 30 'OF ALL STRUCTURES, (ALSO CALLED GREEN ZONE.)

ZONE A SHALL BE CONSIDERED A GREENBELT CHARACTERIZED BY IRRIGATED PLANTING AREAS WHICH INCLUDE FIRE RESISTANT/FIRE RETARDANT PLANTS STRATEGICALLY LOCATED TO SEPARATE STRUCTURES AND WILDLAND FUELS WHICH EITHER SLOWS OR PREVENTS THE ADVANCEMENT OF GROUND SURFACE FIRES.

PROPER MAINTENANCE OF THE LANDSCAPE AREA BY REMOVING DEAD BRANCHES FROM SHRUBS AND TREES, CLEARING LEAF LITTER FROM THE GROUND, AND PRUNING LOWER BRANCHES TO INCREASE CLEARANCE ABOVE THE GROUND WILL REDUCE FIRE LOAD

ZONE B: BETWEEN 30 - 100' OF STRUCTURES, (ALSO CALLED DEFENSIBLE SPACE.)

ELIMINATE FIRE LADDERS - AN ARRANGEMENT OF PLANTS THAT PROVIDE FUEL FOR A FIRE TO CLIMB FROM GROUND COVERS OR GRASSES TO SHRUBS TO TREE TOPS OF STRUCTURES.

ELIMINATE CONTINUOUS FUEL BEDS; AREAS IN THE LANDSCAPE WHICH CONTAIN FUEL (PATCHES OF VEGETATION) WHICH ARE TOO CLOSE OR CONTINUOUS. REDUCE THE AMOUNT OF HORIZONTAL CONTINUITY THROUGH THE INCORPORATION OF HARD AND/OR NON-FLAMMABLE SURFACES SUCH AS BARE GROUND OR PAVEMENT.

PROPER MAINTENANCE OF THE LANDSCAPE AREA BY REMOVING DEAD BRANCHES FROM SHRUBS AND TREES, CLEARING LEAF LITTER FROM THE GROUND, PRUNING LOWER BRANCHES TO INCREASE CLEARANCE ABOVE THE GROUND WILL REDUCE FIRE LOAD

LANDSCAPE ARCHITECT HAS MADE EVERY EFFORT TO INCORPORATE FIRE RESISTANT VEGETATION AND PLANTS WITH DEEP ROOTS TO ENHANCE FIRE PROTECTION AND EROSION CONTROL IF A FIRE DOES OCCUR. FIRE-PRONE PLANTS MATERIALS AND HIGHLY FLAMMABLE MULCHES SHALL BE AVOIDED.

OWNER SHALL IMPLEMENT AND ANNUALLY MAINTAIN A DEFENSIBLE SPACE ACCORDING TO CALIFORNIA FIRE CODE AND PUBLIC RESOURCES CODE. WITHIN DEFENSIBLE SPACE, 2 TIMES DURING A YEAR, PROVIDING GROWTH REDUCTION ACTIVITIES THROUGHOUT ALL FUEL MODIFICATION ZONES. PERFORM MAINTENANCE FROM MID TO LATE SPRING ONCE AGAIN IN EARLY TO MID-FALL. INCLUDE MAINTENANCE OF IRRIGATION SYSTEMS, REPLACEMENT OF DEAD OR DYING VEGETATION, AND REMOVAL OF DEAD PLANT MATERIAL

OWNER OR OWNER'S AGENT SHALL INSPECT THE FUEL MODIFICATION ZONES THROUGHOUT THE YEAR TO IDENTIFY WHERE SPECIFIC AREAS NEED TO BE ADDRESSED. OWNER SHALL RETAIN ALL APPROVED FUEL MODIFICATION PLANS. PLANS SHALL BE USED TO PERFORM MAINTENANCE.

MONTEREY COUNTY PLANNING DEPARTMENT'S FUEL MANAGEMENT REQUIREMENTS, (SEE ENERGY AND WATER EFFICIENCY LANDSCAPE ORDINANCE AND MANUEL, REF 11056, DATED MARCH 25, 2015), AND MONTEREY COUNTY LANDSCAPE MANUEL DATED MARCH 16, 2015, SHALL BE INCLUDED AS A PART OF THIS PLAN.

LEGEND

FUEL MODIFICATION ZONE 'A'
WITHIN 30' OF ALL STRUCTURES

FUEL MODIFICATION ZONE 'B'
30'-100' OF STRUCTURES

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A.P.N.: 103-151-012

HARWELL GARAGE

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JOB NO.:
JOB# 16149

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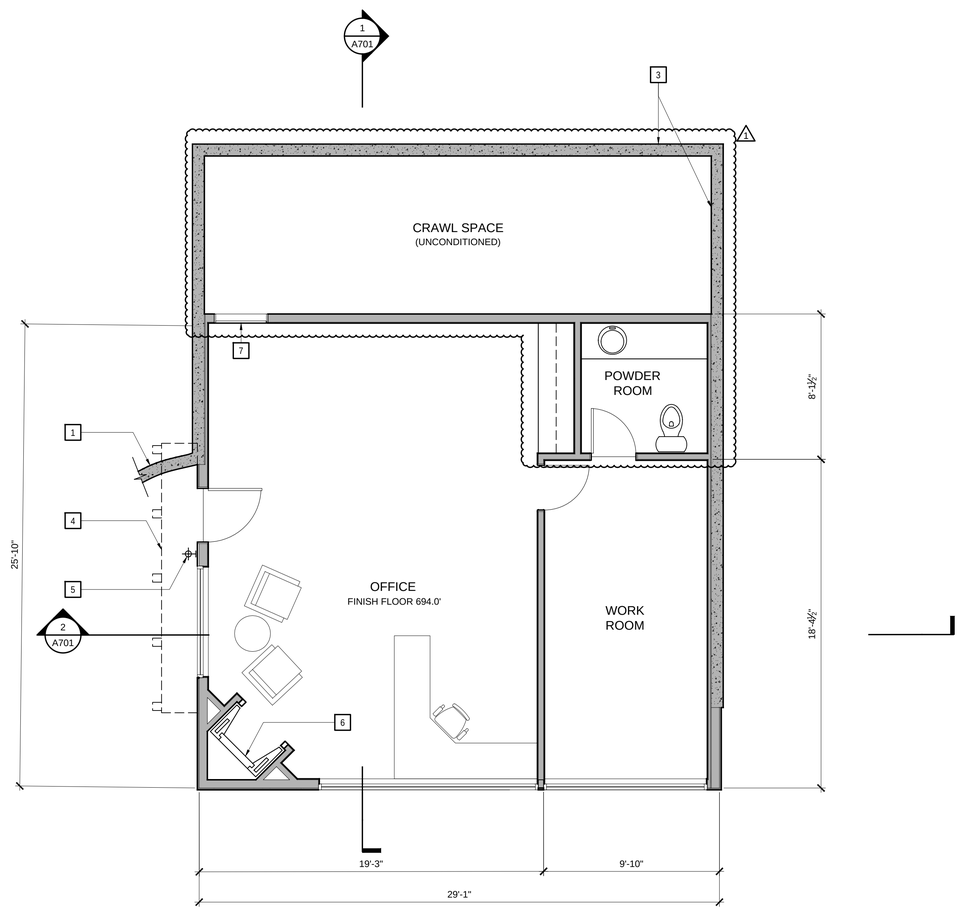
FUEL MANAGEMENT PLAN

SHEET NO.:
A105

FILE NAME: 16149-A105



TRUE NORTH

PLAN NORTH

LOWER FLOOR PLAN

SCALE: 1/4"=1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1. NEW RETAINING WALL, SEE SITE PLAN FOR ADDITIONAL INFORMATION
2. LINE OF STRUCTURE ABOVE
3. BELOW GRADE RETAINING WALL
4. OVERHANG ABOVE
5. NEW SCONCE, SEE L100 FOR ADDITIONAL INFORMATION
6. NEW FIREPLACE
7. ACCESS TO CRAWL SPACE

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HARWELL GARAGE

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PLOT DATE: 7.24.2018

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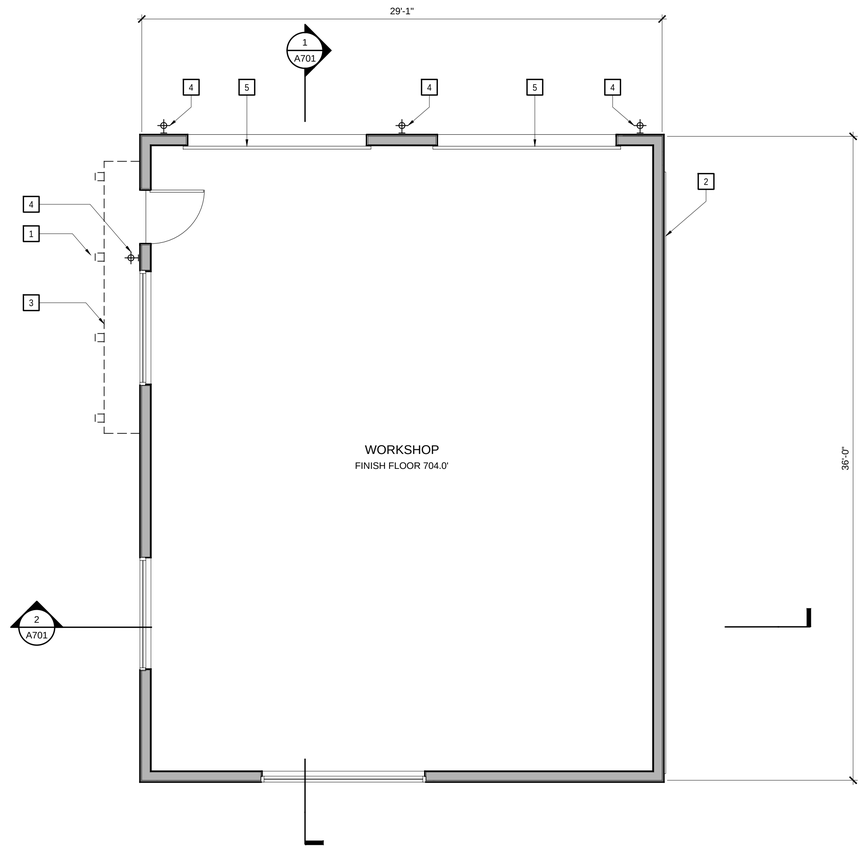
SHEET NAME:

FLOOR PLAN

SHEET NO.:

A201

FILE NAME: 16149-A201



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1. NOT USED
2. LINE OF CONCRETE WALL BELOW
3. OVERHANG
4. NEW SCONCE, SEE L100 FOR ADDITIONAL INFORMATION
5. OVERHEAD DOOR

PRELIMINARY
NOT FOR CONSTRUCTION

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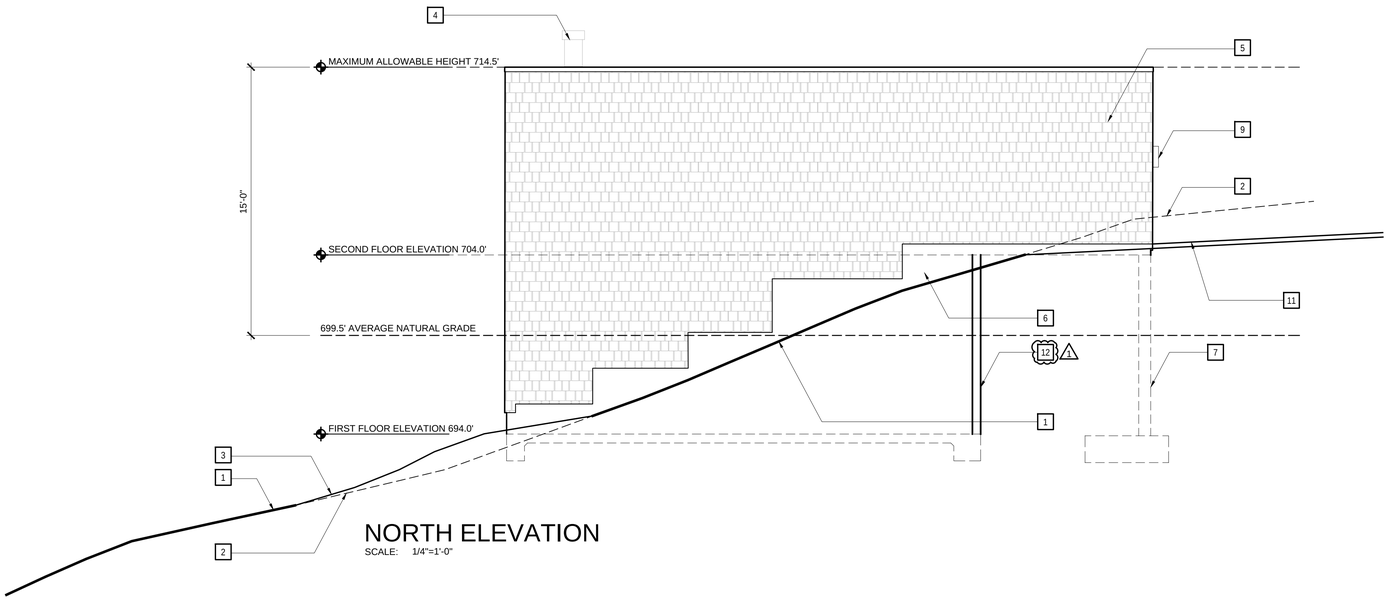
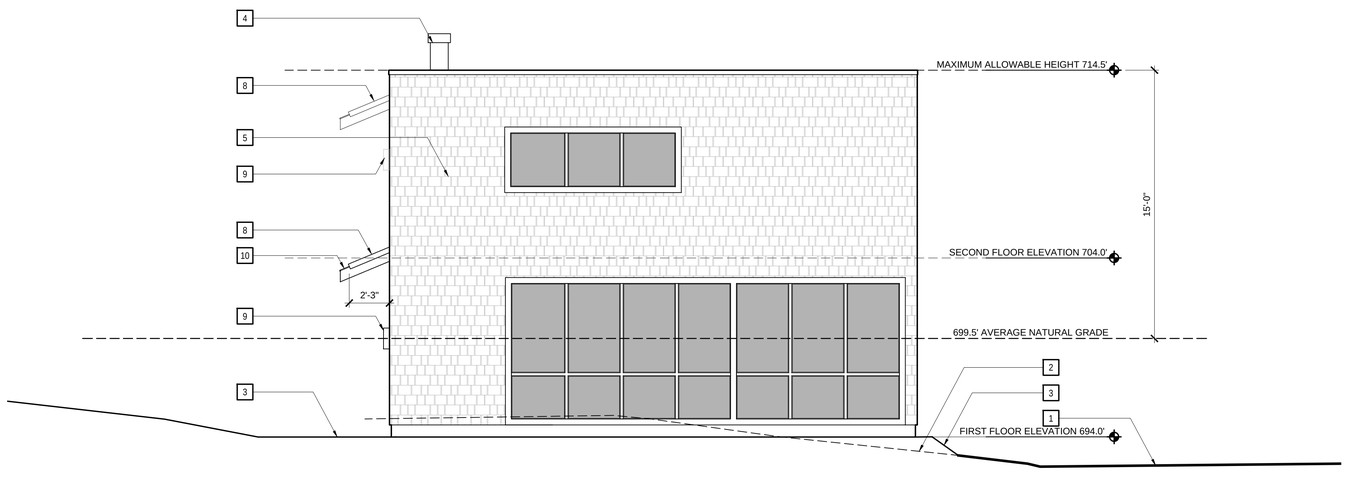
SHEET NAME:
FLOOR PLAN

SHEET NO.:
A202

FILE NAME: 16149-A202



NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1. LINE OF GRADE EXISTING GRADE TO REMAIN
2. LINE OF GRADE EXISTING GRADE TO BE ALTERED
3. LINE OF NEW GRADE
4. FIREPLACE FLUE
5. SHINGLE SIDING AND COLOR TO MATCH EXISTING HOUSE
6. CONCRETE RETAINING WALL
7. LINE OF STRUCTURE BELOW GRADE
8. OVERHANG
9. EXTERIOR SCONCE, SEE E100 FOR ADDITIONAL INFORMATION
10. EXPOSED RAFTER TAILS
11. NEW ASPHALT CURB
12. WOOD FRAMED WALL, LIMIT OF CONDITIONED SPACE 1

PRELIMINARY
NOT FOR CONSTRUCTION

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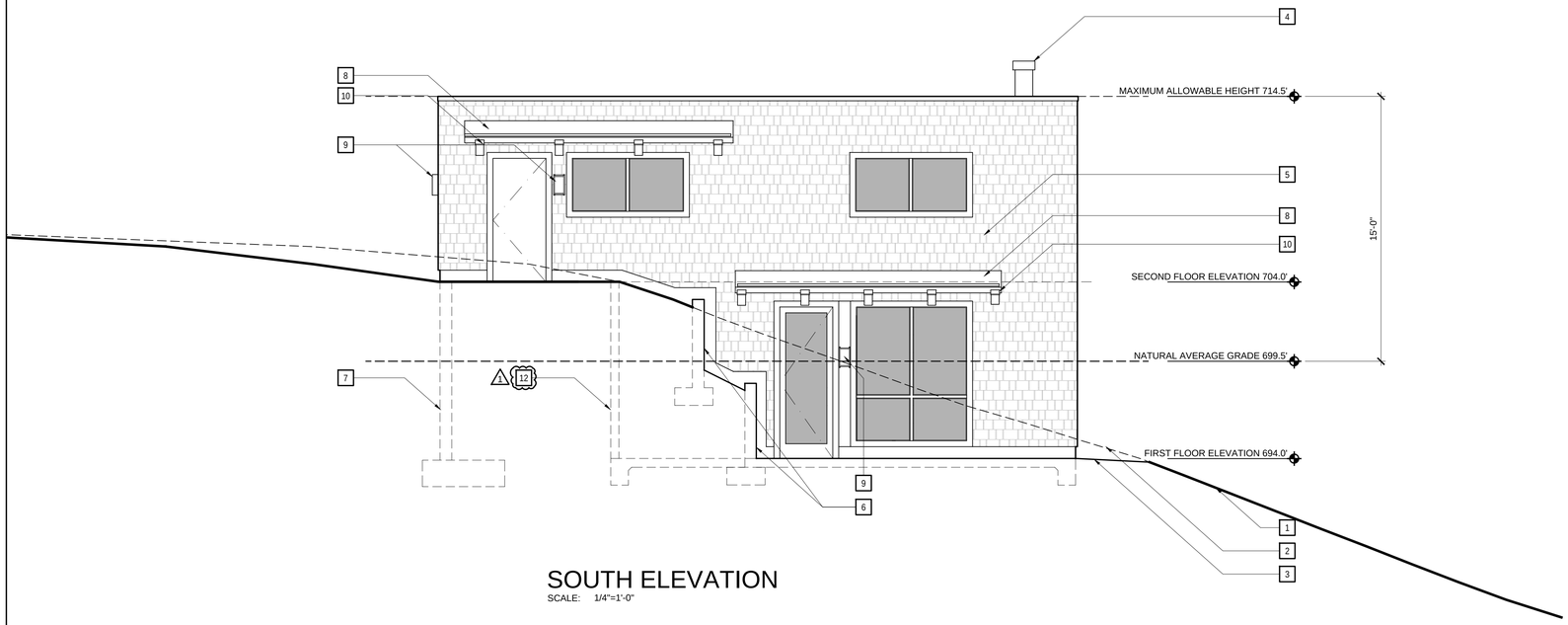
SHEET NAME:
EXTERIOR ELEVATIONS

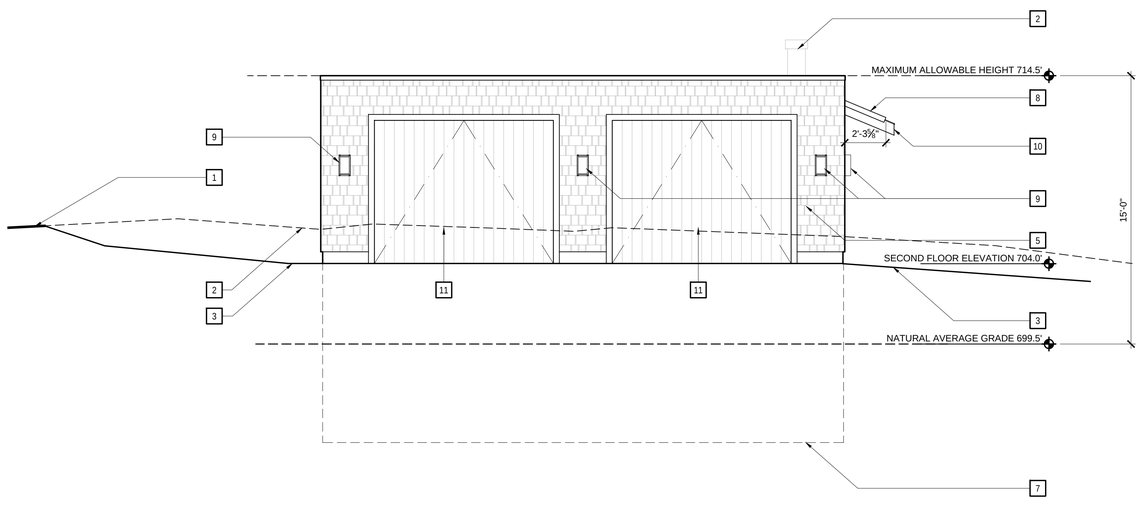
SHEET NO.:
A401

FILE NAME: 16149-A401



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

KEY NOTES

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1. LINE OF GRADE EXISTING GRADE TO REMAIN
2. LINE OF GRADE EXISTING GRADE TO BE ALTERED
3. LINE OF NEW GRADE
4. FIREPLACE FLUE
5. SHINGLE SIDING AND COLOR TO MATCH EXISTING HOUSE
6. CONCRETE RETAINING WALL
7. LINE OF STRUCTURE BELOW GRADE
8. OVERHANG WITH ASPHALT SINGLES
9. EXTERIOR SCONCE, LIGHTING FIXTURE 'A'. SEE E100 FOR ADDITIONAL INFORMATION
10. EXPOSED RAFTER TAILS
11. OVERHEAD DOOR
12. WOOD FRAMED WALL, LIMIT OF CONDITIONED SPACE (1)

PRELIMINARY
NOT FOR CONSTRUCTION

50

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JOB NO.:
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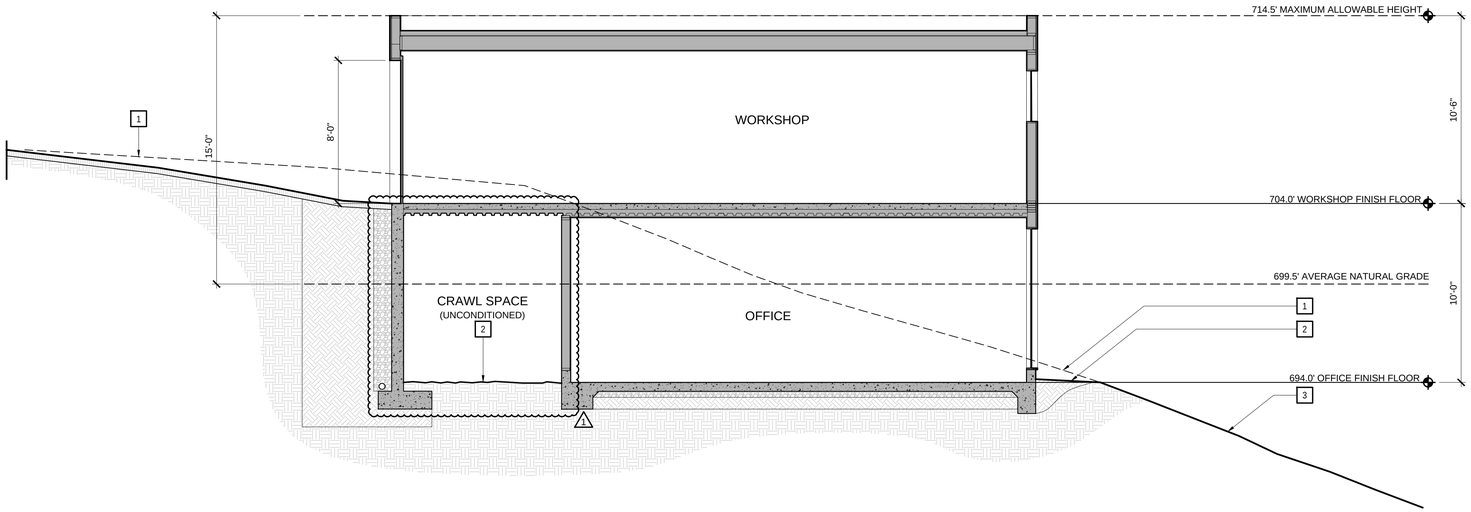
SHEET NAME:

EXTERIOR ELEVATIONS

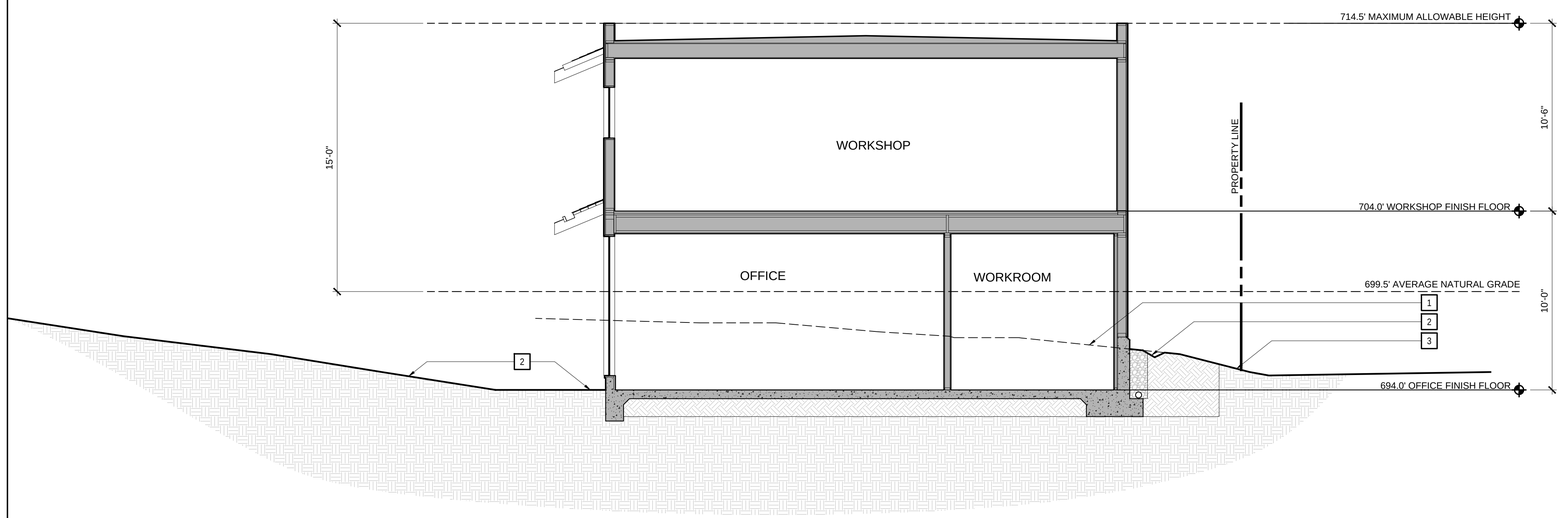
SHEET NO.:

A402

FILE NAME: 16149-A402



1 SECTION
SCALE: 1/4" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"

KEY NOTES

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1. LINE OF EXISTING GRADE
2. LINE OF NEW GRADE
3. LINE OF EXISTING GRADE TO REMAIN

PRELIMINARY
NOT FOR CONSTRUCTION

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JOB NO.:
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