

Exhibit B

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

CLS SAN LLC (HUBBARD) (PLN190014)

RESOLUTION NO. ----

Resolution by the Monterey County Planning
Commission:

1. Finding that the project involves the construction of a new single family dwelling, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 (a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2;
2. Approving a Design Approval to allow the construction of an approximately 3,200 square foot two-story single family dwelling which includes an attached two-car garage; and
3. Approving a Use Permit to allow the development on slopes in excess of 25%.

[PLN190014, CLS San LLC (Hubbard), 24790 Outlook Drive, Carmel (Assessor's Parcel Number 015-032-004-000), Carmel Valley Master Plan]

The CLS SAN LLC (HUBBARD) application (PLN190014) came on for a public hearing before the Monterey County Planning Commission on July 31, 2019. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) The project has been reviewed for consistency with the text, policies, and regulations in:
 - 2010 Monterey County General Plan (General Plan);
 - Carmel Valley Mast Plan (Master Plan); and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. The subject property is not located within the coastal zone; therefore, the 1982 Monterey County General Plan does not apply.

- b) Allowed Use. The subject property (0.508 acres) is located at 24790 Outlook Drive, Carmel (Assessor's Parcel Number 015-032-004-000), Carmel Valley Master Plan. The subject parcel is zoned Low Density Residential with a Building Site 6, Design Control, Site Plan and Residential Allocation Zoning Overlays or "LDR/B-6-D-S-RAZ." Title 21 Section 21.14.030.A allows for the development of the first single family dwelling per lot. Therefore, the project is an allowed use.
- c) Lot Legality. The subject property is a vacant lot created through the Carmel Views Subdivision No. 4, identified as Lot 16 in Block Numbered 1, as shown on Map of Tract No. 723 Carmel Views No. 4 in Volume 12 of Cities and Towns at page 41.
- d) Cultural Resources. Title 21 Section 21.66.050, states that a Phase 1 Archaeological assessment shall be provided for moderate archaeological sensitivity zones and if the project requires an environmental assessment. The subject property is in an area identified in the Monterey County Geographic Informational System (GIS) as having a moderate archaeological sensitivity and although the project is categorically exempt from CEQA (Finding 5), the applicant provided a Phase 1 Archaeological Assessment (Finding 2, Evidence "c"). The report concluded that there is no evidence that any cultural resources would be disturbed. The nearest archaeological site is approximately one and a half miles away from the subject property. The potential for inadvertent impacts to cultural resources is limited. Further, the project will not result in any excavation or grading.
- e) Design Review and Visual Analysis. The project is subject to the Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, materials and colors of the structures to assure protection of the public viewshed and neighborhood character. The single family dwelling has a modern architectural style with colors and materials consisting of: brown wood siding with dark brown lattice accents, bronze aluminum windows and weathered wood shingle roofing. The neighborhood consists of homes similar in architectural style with a variation in size. Properties with similar site constraints have existing single family dwellings that are either sited into the hill on leveled ground or set back a few feet away from the road to avoid site constraints. The placement of the development is 15 feet away from the road to avoid cutting into the hillside. This results in a more prominent view of the single family dwelling from Outlook Drive.

CVMP Policy 1-20 states that areas with a "D" and site control "S" overlay district designations shall consider the visual compatibility with the character of the valley and surrounding areas, the materials, colors, height and bulk of the development, minimizing disruption of

views from existing homes, and minimizing erosion and grading through the use of step or pole foundations. The development is sited and constructed in manner to be consistent with this policy in regard to erosion and grading. The single family dwelling has been placed on pier and post foundations to limit the amount of grading necessary. Due to the location of the subject property, the development appears to have a height and mass that will be highly visible within the neighborhood particularly, when viewed from Outlook Drive. Although there are existing homes within the neighborhood that have portions of the home with similar foundations, the siting and location is not as visual as the proposed development.

The applicant submitted revised plans to try to achieve the design policy of the CVMP while still taking into consideration the slope regulations of Title 21. Plans were reviewed to reduce the plate height of the roof by a few feet and to add architectural accents such as lattices, and vegetation screening to the rear of the house to reduce the appearance of the mass and height of the proposed single family dwelling, which could appear much larger when viewed from neighboring properties down slope from the subject property. These revisions are reflected within the plans of this resolution. The revisions and proposed screening better achieves the CVMP Policy 1-20 by reducing the height and adding architectural features to reduce the mass appearance. Colors and materials are subordinate to the surrounding environment and minimize erosion and grading. The project is not visible from Highway 68 or any common public viewing area such as Carmel Valley Road. Therefore, the project, as conditioned, does not create any visual impacts on scenic road corridors.

- f) Review of Development Standards. The subject parcel is zoned Low Density Residential with a Building Site 6, Design Control, Site Plan and Residential Allocation Zoning Overlays or “LDR/B-6-D-S-RAZ.” Title 21 Section 21.14.060 identifies site development standards for the property but since the zoning is combined with B-6 Overlay, the setbacks within Title 21 Section 21.42.030 are applicable. Further, the subject property was granted a Variance as described in Finding 6 that allowed for a special front setback

The single family dwelling has a front setback of 15 feet, a rear setback of approximately 95 feet, and side setback of 23 feet east and 24 feet west. The height of the structure will be at 28 feet, below the allowed height for this zoning district, which is 30 feet. The site coverage maximum is 25%. The subject property is 0.508 acre lot, which would allow site coverage of 5,805 square feet. The project results in structural site coverage of 12.1% or 2,815 square feet.

Therefore, the project is consistent with the Variance granted and the development standards as outline in Title 21.

- g) Slopes in Excess of 25%. As demonstrated in Finding 6 below, the project is consistent with the applicable regulations for development on slopes in excess of 25%.
- h) Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors, the project was referred to the Carmel Highlands LUAC for review on May 6, 2019. The LUAC recommended approval of the project with recommendations to provide more parking and to give consideration to siting the single family dwelling lower onto the property. The development includes the construction of a two-car garage, which meets the parking regulations specified for residential development as outlined in Title 21, Section 21.58.040. The driveway has the ability to accommodate 3-4 parking spaces for guests in the event that additional parking is needed. Further, since this meeting, the applicant has submitted revised plans to reduce the plate height of the roof by a few feet and to add architectural accents as discussed above to the appearance of the mass. These plans are reflected with this resolution. The development has been sited and designed to minimize grading and erosion.
- i) Staff conducted site inspections on May 1, 2019, May 6, 2019 and July 12, 2019 to verify that the project on the subject property conforms to the plans attached.
- j) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development found in RMA-Planning File No. PLN190014.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed use.

- EVIDENCE:**
- a) The project includes a new single family dwelling associated with an established residential use in a residential neighborhood. Therefore, the use is suitable for the site.
 - b) The project was reviewed by RMA-Planning, Monterey Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - c) The following reports have been prepared and submitted with the application:
 - Preliminary Archaeological Assessment (LIB190104) prepared by Susan Morley, M.A., Marina, CA in February 2019
 - Geotechnical Evaluation (LIB190103) prepared by Soils Surveys Group, Inc., Salinas, CA on January 18, 2019

County staff independently reviewed these reports and concurs with their conclusions. There are no further physical or environmental constraints that would indicate that the site is not suitable for the use proposed. All development shall be in accordance with these reports.

- d) Staff conducted site inspections on May 1, 2019, May 6, 2019 and July 12, 2019 to verify that the site is suitable for this use.
- e) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development are found in Project File PLN190014.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA-Planning, Cypress Fire Protection District, RMA-Public Works, RMA-Environmental Services and Environmental Health Bureau (EHB). Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) The project was reviewed by RMA-Environmental Services and due to the slopes on the subject property, there are specific setbacks required by code. Conditions have been added (Conditions No. 4 and 5) for the applicant to submit an updated geotechnical report has been required to support the request for an alternative setback and for a stormwater control plan to reduce any storm-water runoff.
 - c) The project would result in the use of public County roads. To ensure measures are taken to minimize traffic impacts during the construction phase of the project, RMA-Public Works has added a condition (Condition No. 6) to identify the proposed haul routes, hours of operation, estimated number of truck trips and location of on-site or off-site parking.
 - d) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development found in RMA-Planning File No. PLN190014.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA-Planning and RMA-Building Services records and is not aware of any violations existing on subject property.

- b) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development are found in Project File PLN190014.
5. **FINDING:** **CEQA (Categorically Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 (a) categorically exempts the construction of new single family dwellings in residential zones. The project is to construct an approximately 3,200 square foot two-story single family dwelling with an attached two-car garage; therefore, the project qualifies for a Class 3 categorical exemption pursuant to Sections 15303 (a) of the CEQA guidelines.
 - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. No adverse environmental effects were identified during staff review of the development application.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the development found in Project File PLN190014.
6. **FINDING:** **SLOPES IN EXCESS OF 25%** – The project has no feasible alternative option which would allow for development to occur on slopes less than 25%.
- EVIDENCE:**
- a) General Plan Policy OS-3.5 states that development on slopes in excess of 25% shall be prohibited, except where there is no feasible alternative or the proposed development better achieves the goals and policies of the General Plan and Area Plan. Development on slopes in excess of 25% is subject to a Use Permit as outlined in Title 21 Section 21.64.230 of the zoning ordinance which implements the General Plan policy. A Use Permit has been applied for and the findings to grant the Use Permit can be made in this case because there is no feasible alternative design or location that would allow development of a single family dwelling on slopes of less than 25%.

The subject property is a vacant lot, approximately 0.5 acres, that was created through the Carmel Views Subdivision No. 4. Many of the lots within this subdivision contain slopes, including the lot that is the subject of this report. The subject property slopes steeply down and away from Outlook Drive which would be the primary access road to the site. In recognition of the sloped character of the area, lots within this subdivision, including the lot on which the development is proposed, were granted a Variance (Monterey County Planning File No.

ZA-2057), approved on December 13, 1974 by the Monterey County Zoning Administrator. The Variance reduced the required front yard setback from 20 feet to 15 feet, due to the topography and shape of the lots. The Monterey County Geographic Informational System (GIS) and site plans provided by the applicant indicate the subject property constrained with slopes in excess of 25%. The single family dwelling has been appropriately sited and designed given the circumstances. The proposed development is set 15 feet from the road to eliminate construction within the hillside, the driveway will be elevated to create direct garage access without a steep driveway, and the home steps down the hillside with pier and post foundation supports rather than the typical perimeter footings. This is also consistent with CVMP Policy CV-3.4 which states that alternations of hillsides and natural landforms caused by cutting, filling, grading, or vegetation removal shall be minimized through sensitive siting and design of all improvements and maximum feasible restoration. Further, the development, in this case, has no feasible alternative than to develop the single family dwelling on slopes in excess of 25% due to the entire subject property containing slopes in excess of 25%.

- c) Staff conducted site inspections on May 1, 2019, May 6, 2019 and July 12, 2019 to verify that the project on the subject property conforms to the plans attached.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN190014.

7. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Board of Supervisors. Pursuant to Title 20 Section 20.86.030, an appeal of the Planning Commission’s approval for this project may be made to the Board of Supervisors by any public agency or person aggrieved by their decision.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project involves the construction of a new single family dwelling, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 (a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2;
2. Approve a Design Approval to allow the construction of an approximately 3,200 square foot two-story single family dwelling which includes an attached two-car garage; and
3. Approve a Use Permit to allow the development on slopes in excess of 25%.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 31st day of July 2019 upon motion of Commissioner _____, seconded by Commissioner _____, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Brandon Swanson, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS NOT LOCATED IN THE COASTAL ZONE AND IS NOT APPEALABLE TO THE COASTAL COMMISSION.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190014

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This permit (PLN190014) is a Design Approval to allow the construction of an approximately 3,200 square foot two-story single family dwelling and Use Permit to allow the development on slopes in excess of 25%. The property is located at 24790 Outlook Drive, Carmel (Assessor's Parcel Number 015-032-004-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval and Use Permit (Resolution Number _____) was approved by Monterey County Planning Commission for Assessor's Parcel Number 015-032-004-000 on July 31, 2019. The permit was granted subject to six (6) conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the RMA Chief of Planning prior to issuance of grading and building permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

4. SLOPE SETBACK PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an updated geotechnical report that supports the request for an alternate setback. The report shall consider the material, height of slope, slope gradient, load intensity, and erosion characteristics of slope material to demonstrate the intent of the setback requirement has been satisfied. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit the information to RMA-Environmental Services for review and approval.

5. STORMWATER CONTROL PLAN (PR1)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a stormwater control plan addressing the Post-Construction Requirements (PCRs) for Development Projects in the Central Coast Region. The stormwater control plan shall incorporate the measures identified on the completed the Site Design and Runoff Reduction Checklist. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a stormwater control plan to RMA-Environmental Services for review and approval.

6. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to RMA-Planning and RMA - Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

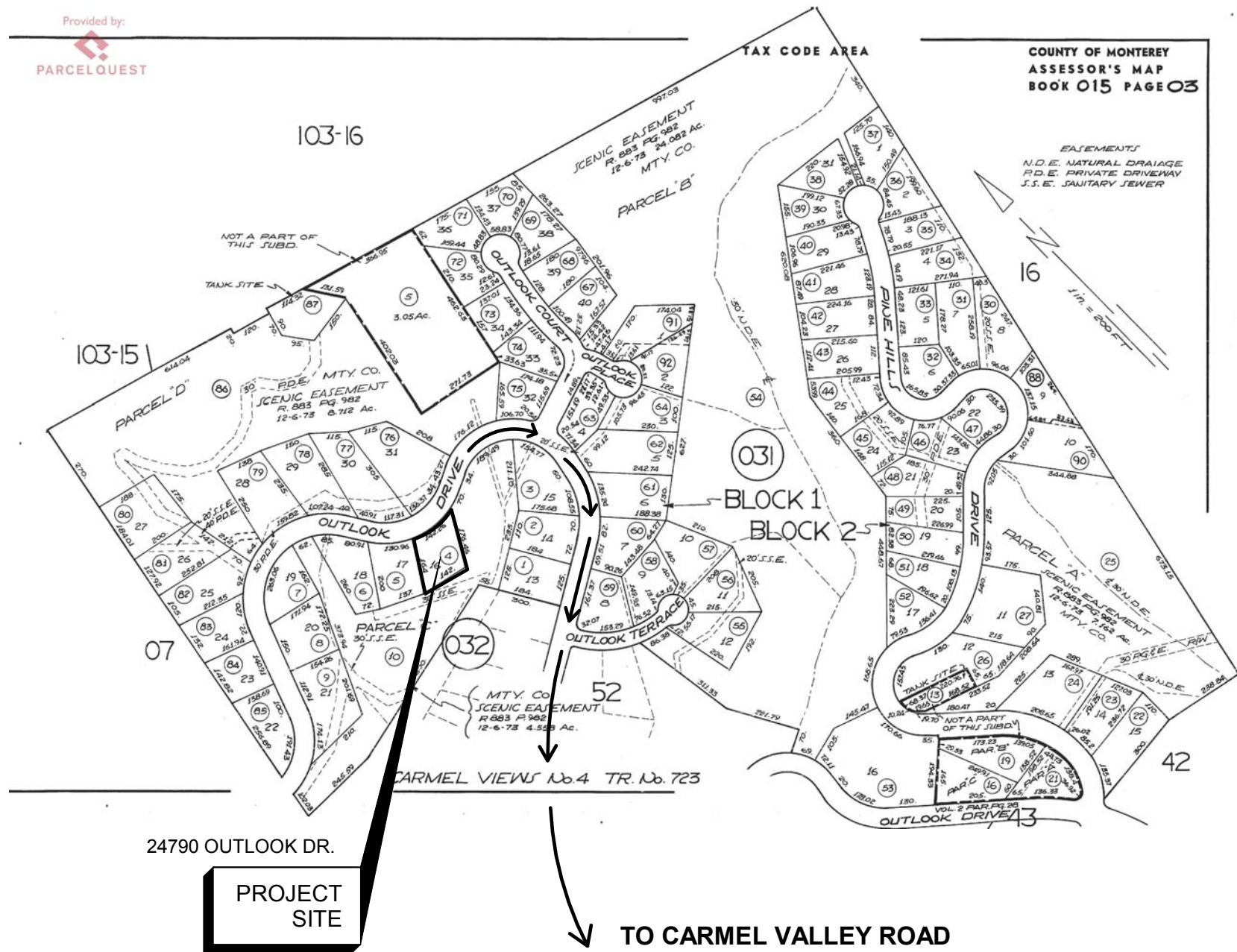
24790 OUTLOOK

24790 OUTLOOK DRIVE
CARMEL, CA 93923

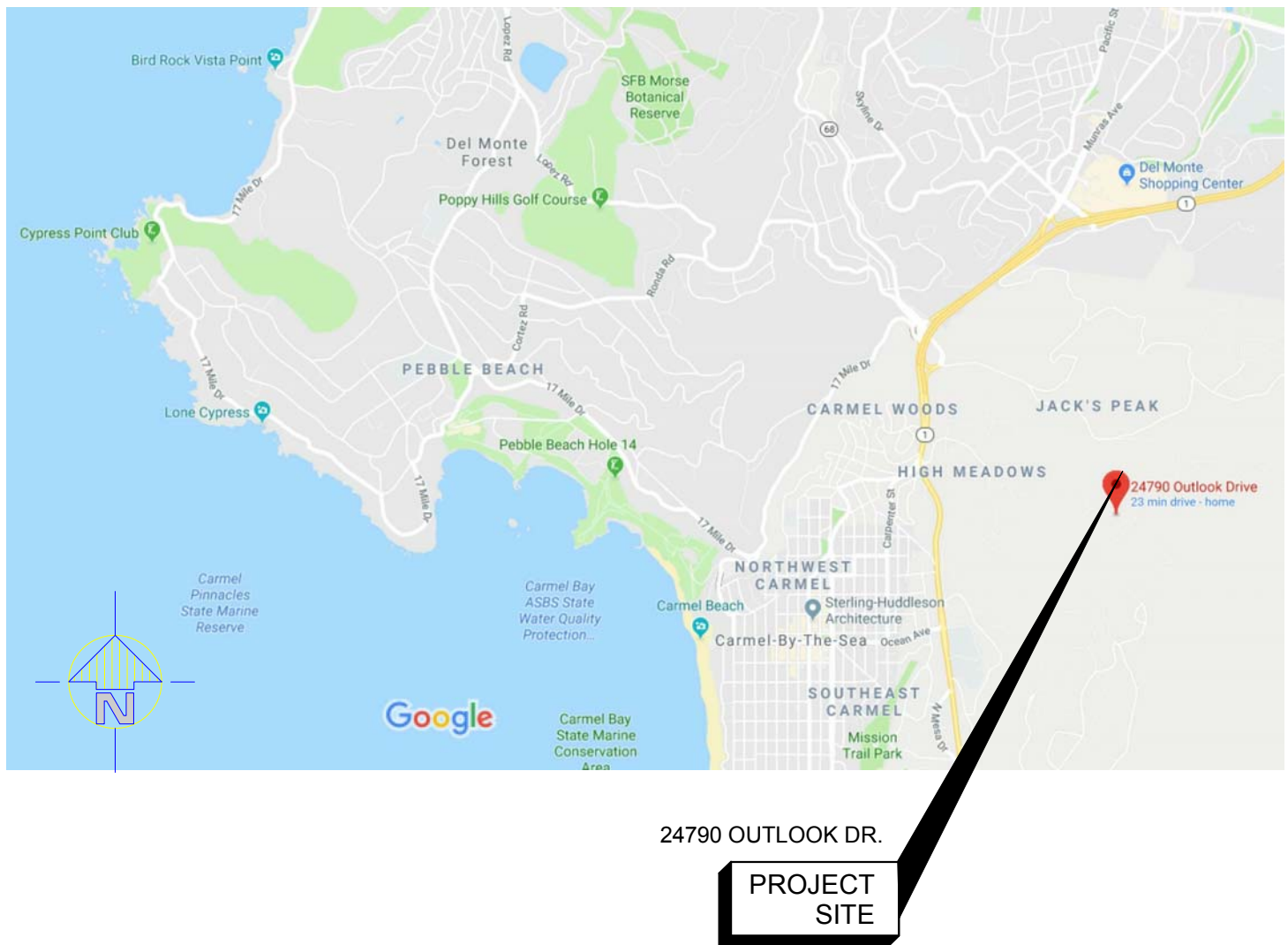


NORTH (FRONT) ELEVATION

ASSESSOR'S MAP



VICINITY MAP



ARCHITECT/OWNER'S REP:

SAFWAT MALEK
ENVIRO-INTERNATIONAL, INC.
P.O. BOX 1734
PEBBLE BEACH, CA 93953
650-619-8760

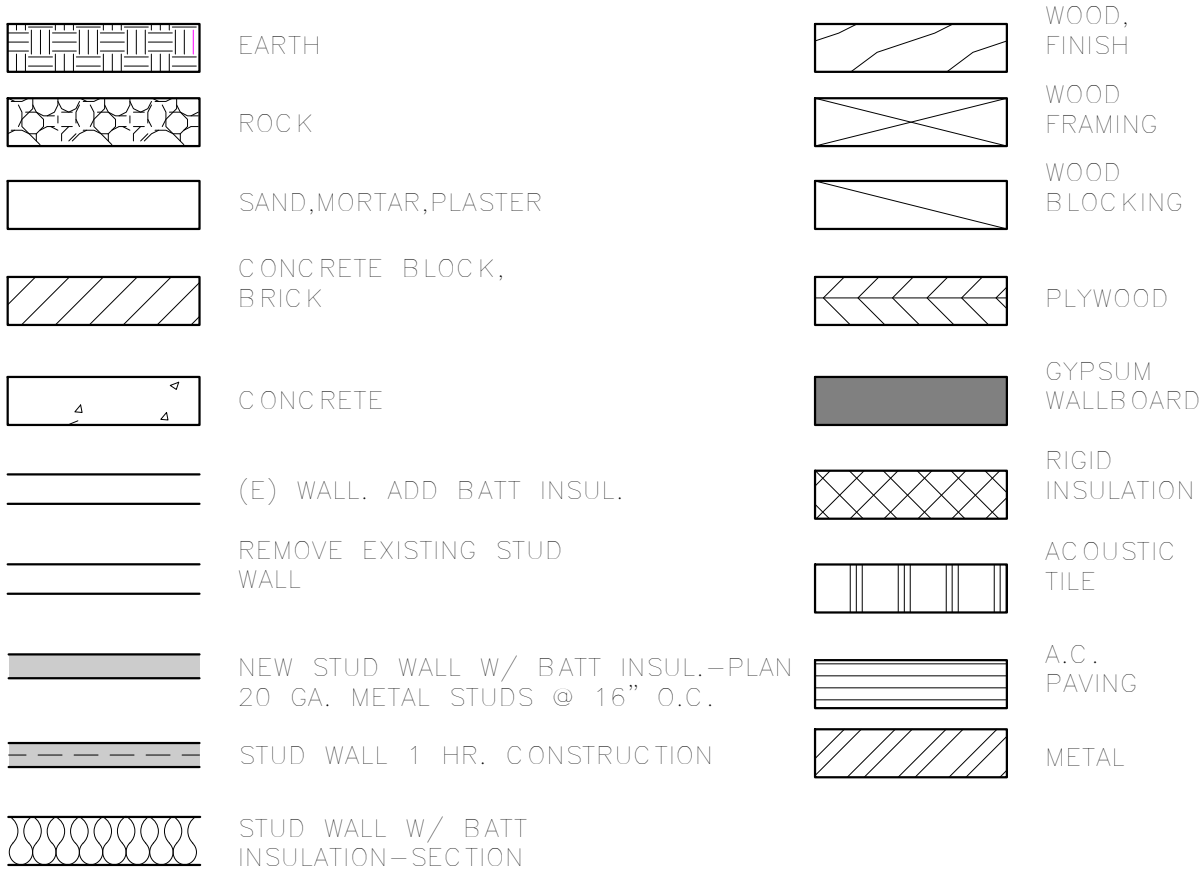
ABBREVIATIONS

A.B.	ANCHOR BOLT	INSUL.	INSULATION
A.C.	ASPHALTIC CONCRETE	INT.	INTERIOR
A.D.	AREA DRAIN	JT.	JOINT
ADJ.	ADJUSTABLE	LAM.	LAMINATE
ALUM.	ALUMINUM	LAV.	LAVATORY
ANOD.	ANODIZED	LT.	LIGHT
BD.	BOARD	MAX.	MAXIMUM
BLDG.	BUILDING	M.B.	MACHINE BOLT
BLK.	BLOCK	M.C.	MEDICINE CABINET
B.M.	BEAM	MECH.	MECHANICAL
C.B.	CATCH BASIN	MEMB.	MEMBRANE
CEM.	CEMENT	MFR.	MANUFACTURER
C.I.	CAST IRON	MIN.	MINIMUM
C.J.	CONSTRUCTION JOINT	MISC.	MISCELLANEOUS
CLG.	CEILING	(N)	NEW
C.M.U.	CONCRETE MASONRY UNIT	N.O.C.or	NOT IN CONTRACT
COL.	COLUMN	#	NUMBER
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CONN.	CONNECTION	OB.S	OBSCURE
CONT.	CONTINUOUS	O.C.	ON CENTER
C.O.	CLEAN OUT	PL.	PLATE
DRL.	DOUBLE	P.LAM.	PLASTIC LAMINATE
D.F.	DRINKING FOUNTAIN	PLAST.	PLASTER
D.F.	DOUGLAS FIR	PWD.	PLYWOOD
DET.	DETAIL	PR.	PAIR
DIA.	DIAMETER	P.S.F	POUNDS per SQUARE FOOT
DN.	DOWN	P.S.I.	POUNDS per SQUARE INCH
DR.	DOOR	P.T.	PRESSURE TREATED
DS.	DOWN SPOUT	P.V.C.	POLY VINYL CHLORIDE PLASTIC
DWG.	DRAWING	R.	RISER
(E)	EXISTING	R.D.	ROOF DRAIN
EA.	EACH	REF.	REFRIGERATOR
E.J.	EXPANSION JOINT	REF.	REFRIGERATOR
E.P.D.M.	ETHYLENE PROPYLENE DIENE MONOMER RUBBER CLOSURE STRIP	REINF.	REINFORCED
EQ.	EQUAL	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
F.A.	FIRE ALARM	RWD.	REDWOOD
F.D.	FLOOR DRAIN	S.B.	SOLID BLOCKING
F.E.	FIRE EXTINGUISHER	S.C.	SOLID CORE
EWC.	ELECTRIC WATER COOLER	SHT.	SHEET
F.E.C.	FIRE EXTINGUISHER CAB	SH.	SIMILAR
FIN.	FINISH	S.M.	SHEET METAL
FLR.	FLOOR	S&P	SHELF ANDPOLE
FLASH.	FLASHING	SPEC.	SPECIFICATION
FLUOR.	FLUORESCENT	SQ.	SQUARE
F.O.C.	FACE OF CONCRETE	S.S.	STAINLESS STEEL
F.O.M.	FACE OF MASONRY	T.	TREAD
F.O.S.	FACE OF STUD	T.B.N.	TYPICAL BOUNDARY NAILING
F.R.P.	FIBER REINFORCEDB PLASTIC	T.C.	TOP OF CURB
FT.	FOOT or FEET	T.E.N.	TYPICAL EDGE NAILING
FURR.	FURRING	T&G	TONGUE AND GROOVE
GA.	GAUGE	T.S.	TUBE STEEL
GALV.	GALVANIZED	T.V.	TELEVISION
G.I.	GALVANIZED IRON	TYP.	TYPICAL
G.B.	GRAB BAR	U.O.N.	UNLESS OTHERWISE NOTED
GL.	GLASS	V.G.	VERTICAL GRAIN
GYP.	GYP-SUM	W.	WOOD
GWB.	GYP-SUM WALL BOARD	W.D.	WATER DRAIN
H.B.	HOSE BIB	W.H.	WATER HEATER
H.C.	HOLLOW CORE	W/O	WITH OUT
HDR.	HEADER	W.P.M.	WATERPROOFMEMBRANE
H.M.	HOLLOW METAL	WT.	WEIGHT
HORIZ.	HORIZONTAL	W.W.M	WELDED WIRE MESH
HR.	HOUR	W.W.F.	WELDED WIRE FABRIC

SYMBOLS



MATERIALS



DRAWING INDEX

SHEET SCHEDULE:

ARCHITECTURAL:

- A-0 INDEX, LEGENDS & NOTES
- C-0 SURVEY
- A-1.0 SITE PLAN
- A-1.1 SITE SECTIONS
- A-1.2 CONSTRUCTION MANAGEMENT PLAN
- A-2 MAIN LEVEL FLOOR PLAN
- A-3 LOWER LEVEL FLOOR PLAN
- A-4 ROOF PLAN
- A-5.0 EXTERIOR ELEVATIONS
- A-5.1 EXTERIOR ELEVATIONS
- A-5.2 EXT. ELEVATIONS W/ LANDSCAPE
- A-6 EXTERIOR LIGHTING PLAN

SCOPE OF WORK

PROPOSAL FOR A NEW TWO-STORY, 2,800 SF SINGLE FAMILY RESIDENCE WITH 4 BEDROOMS & 4 BATHS AND A 384 SF TWO CAR GARAGE.

PROJECT DATA

OWNER:	CARMELLO SANTIAGO CLS SAN, LLC
PROJECT ADDRESS:	24790 OUTLOOK DRIVE CARMEL, CA 93923
PROJECT TYPE:	SINGLE FAMILY RESIDENCE
APN:	015-032-004
COUNTY:	MONTEREY
AREA PLAN =	CARMEL VALLEY MASTER PLAN
LEGAL LOT =	CARMEL VIEWS #4
ZONING:	LDR / B-6-D-S-RAZ LOW DENSITY RESIDENTIAL
LOT AREA =	23,219 S.F. 0.508 ACRES
SITE COVERGE: ACTUAL:	2,815 SF 12.1% COVERAGE (25% PERMITTED)
CONSTRUCTION:	TYPE V-B NON-RATED W/ NEW AUTOMATIC FIRE SPRINKLER SYSTEM ADDED.
OCCUPANCY GROUP:	*R-3 SINGLE FAMILY RESIDENCE

LDZ ZONE SETBACKS	PROPOSED AREA
FRONT-15'	MAIN LEVEL 1,602 SF
SIDE-15'	LOWER LEVEL 1,198 SF
REAR-20'	TOTAL 2,800 SF
HEIGHT-30'	GARAGE 390 SF

Project Name:

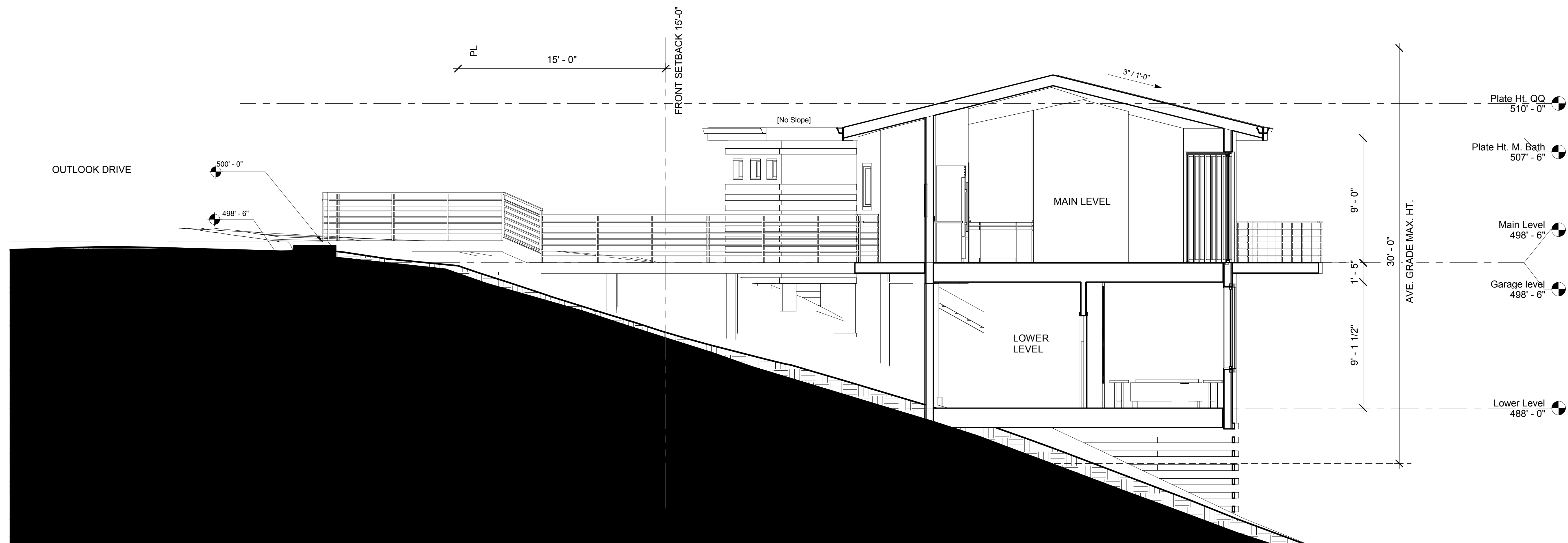
24790 OUTLOOK DR.
CARMEL, CA 93923

Cover Sheet

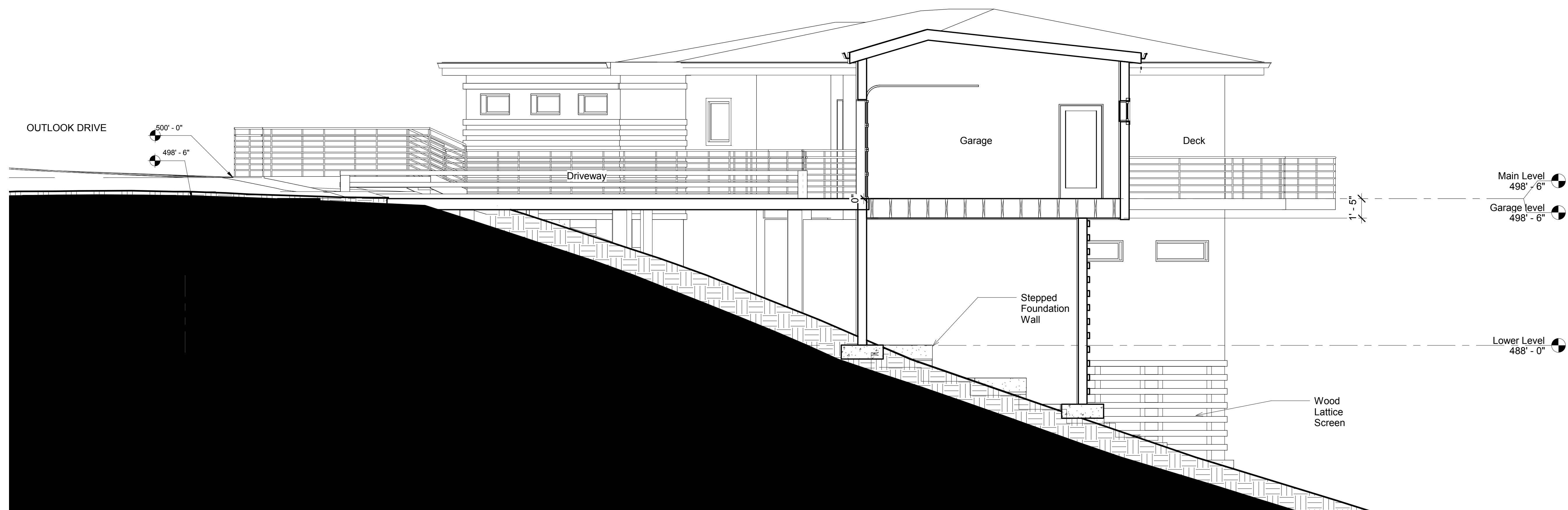
Project number	00003.01
Date	June 7, 2019
Drawn by	JT
Checked by	SM

A-0

Scale



1 Site Section 1
1/4" = 1'-0"



2 Site Section 2
1/4" = 1'-0"

[illegible]

Safwat Malek, President
safwat@enviro-international.com

Cell: 650.619.8760
PO Box 1734 • Pebble Beach, CA 93953-1734

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Project Name:

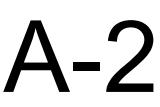
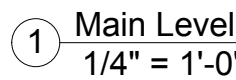
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Site Sections

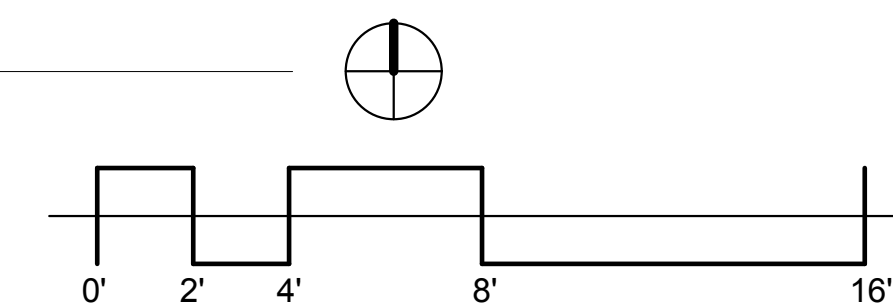
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Date	June 7, 2019
Drawn by	JT
Checked by	SM

A-1.1

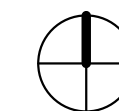
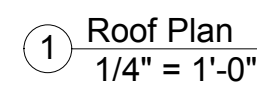
Scale 1/4" = 1'-0"



Scale $1/4" = 1' - 0"$



Scale	1/4"
	1' = 4"

[illegible]

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Project Name:

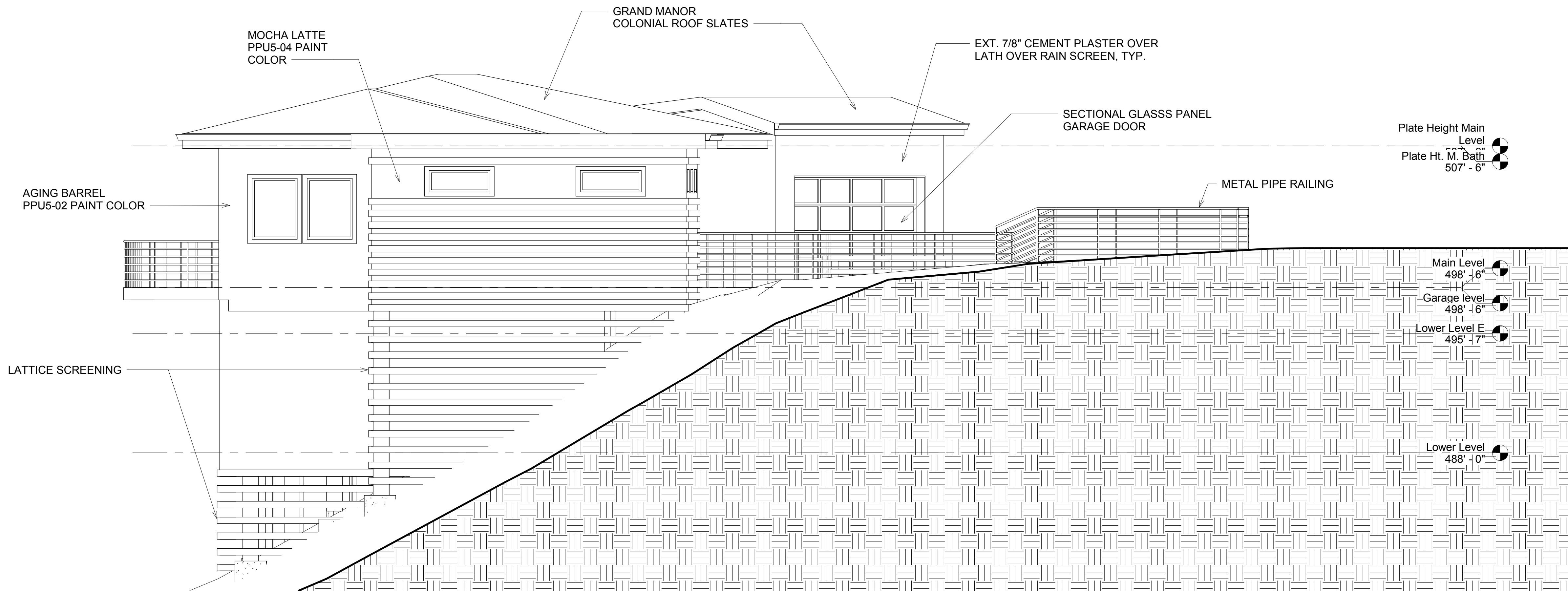
24790 OUTLOOK DR.
CARMEL, CA 93923

Roof Plan

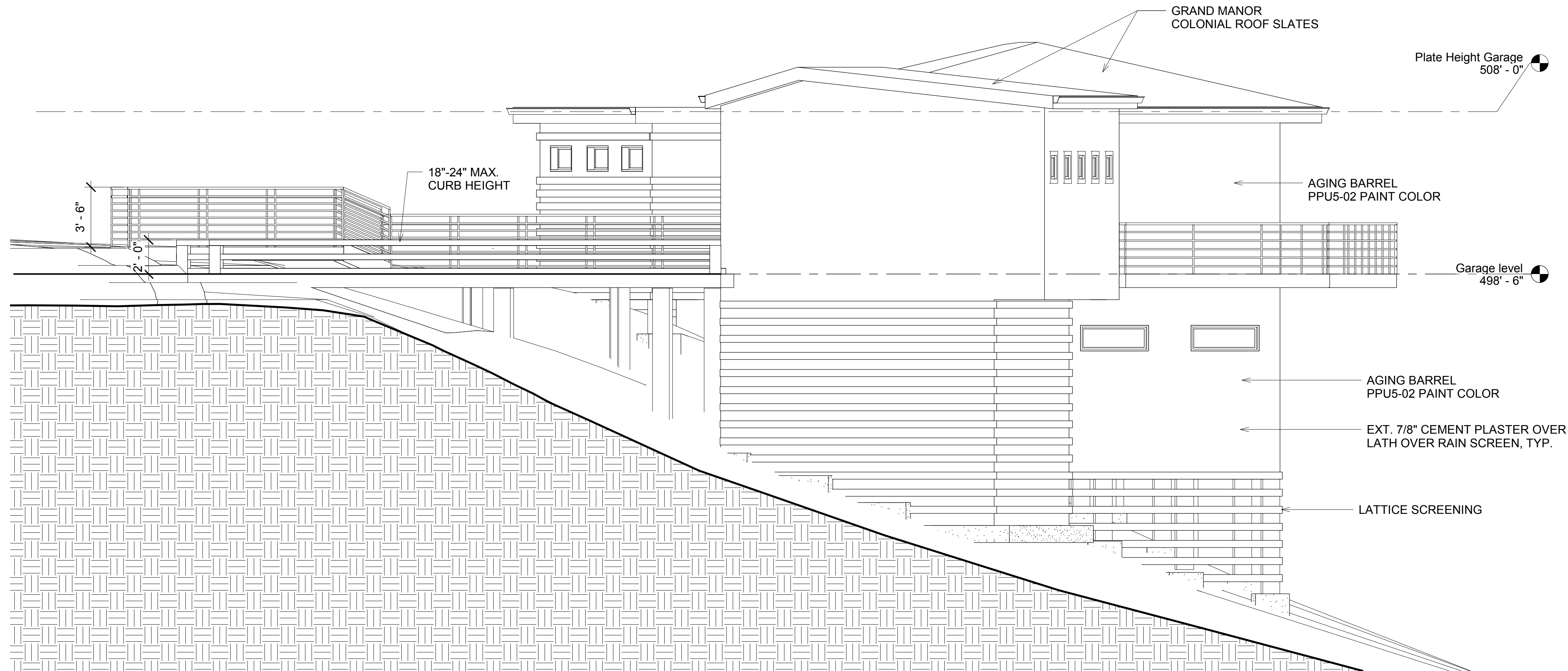
Project number	00003.01
Date	June 7, 2019
Drawn by	Author
Checked by	Checker

A-4

Scale 1/4" = 1'-0"



① East Elevation
1/4" = 1'-0"



② West Elevation
1/4" = 1'-0"

REVISIONS

ENVIRO
INTERNATIONAL INC

Architects 7308 • Builders 330234

Safwat Malek President
safwat@enviro-international.com

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Project Name:

**24790 OUTLOOK DR.
CARMEL, CA 93923**

Elevations

Project number	00003.01
Date	June 7, 2019
Drawn by	Author
Checked by	Checker

A-5.1

Scale	1/4" = 1'-0"
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PANDORA Exterior Sconce
WS-W30507 / WS-W30509 / WS-W30511

MODERN FORMS

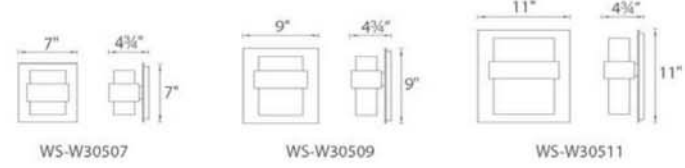


Fixture Type:

Catalog Number:

Project:

Location:



PRODUCT DESCRIPTION

A popular understated design updated with a sleek black finish, Pandora brings sculptural sophistication and high-powered energy-efficient LEDs to your overall lighting scheme, whether you mount it inside or out. With its tiered, minimalist form and two points of illumination, you'll never regret opening this box.

FEATURES

- Up and down illumination
- No transformer or driver needed
- Color Temperature: 3000K
- Dimmer: ELV
- CRI: 85
- Rated Life: 50,000 hours

SPECIFICATIONS

Construction: Aluminum hardware, glass diffuser

Light Source: High output LED

Finish: Black, Oil Rubbed Bronze

Standards: ETL & cETL listed, Wet Location, IP65

ORDER NUMBER

Model	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W30507	7W	120V	270	200	BK Black
WS-W30509	9W	20W 120V	546	410	ORB Oil Rubbed Bronze
WS-W30511	11W	28W	550	415	

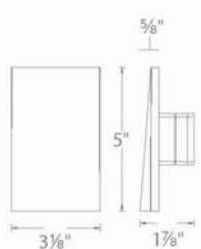
Example: WS-W30509-ORB

modernforms.com Phone (866) 810-6615 Fax (800) 526-2585	Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050	Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122	Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760
---	---	---	---

Modern Forms retains the right to modify the design of our products at any time as part of the company's continuous improvement program. Feb 2018

Model: WL-LED210
Step Light

WAC LIGHTING
Responsible Lighting®



Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Vertical rectangle Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Fluid decorative profile with full cut-off illumination
- Die Cast Aluminum construction with abrasion resistant powder coat finish or plated Brushed Nickel finish
- Magnetized design for easy installation and maintenance
- Title 24 Compliant (120V only)
- 50,000 hour rated life

SPECIFICATIONS

Construction: Die-cast aluminum

Input: 120V or 277VAC 50/60Hz

Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

Lumens: Up to 2lm

Mounting: Fits into a switch box or a 2" x 4" Junction Box with minimum inside dimensions of 3L x 2" W x 2.5" D

Dimming: 100% - 10% ELV (120V only)

CRI: 90

Standards: IP66, ETL & cETL Listed for wet locations

Voltage	Power	Model	Color Temp	Finishes
120V	3.5W	WL-LED210-C	3000K	BK Black on Aluminum
		WL-LED210-AM	Amber	BN* Brushed Nickel
277V	3W	WL-LED210F-C	3000K	BZ Bronze on Aluminum
		WL-LED210F-AM	Amber	WT White on Aluminum

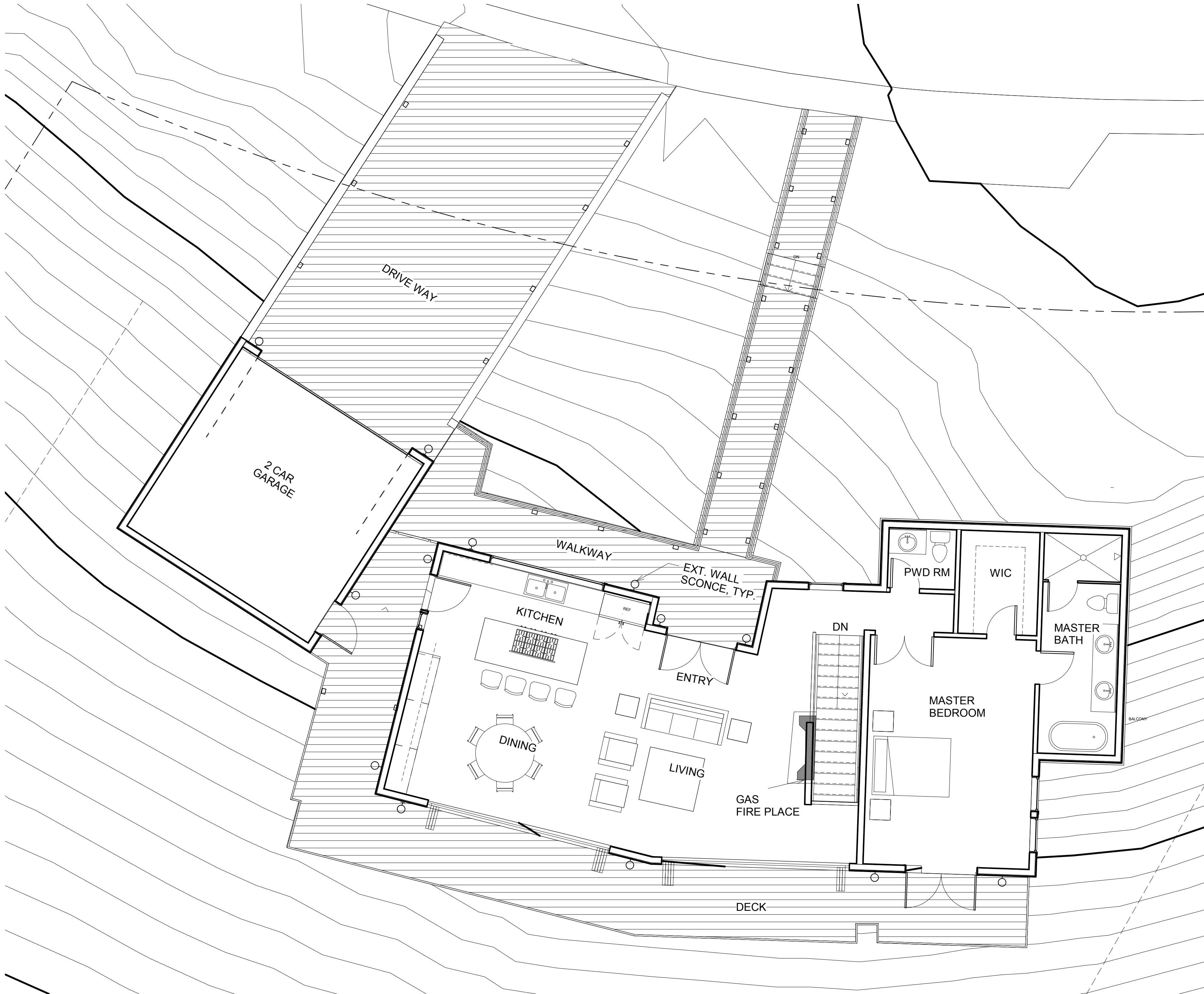
*Brushed Nickel Finish is for interior use only



Example: WL-LED210-C-BK

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585	Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050	Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122	Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760
--	---	---	---

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUN 2017



1 Exterior Lighting Plan
3/16" = 1'-0"

EXTERIOR LIGHTING LEGEND

- WALL SCONCE
- STEP LIGHT

EXTERIOR LIGHTING SCHEDULE

DESCRIPTION	FINISH	WATTAGE	QUANTITY
PANDORA EXTERIOR WALL SCONCE	BRONZE	28 WATTS	36
WAC STEP LIGHT	BRONZE ON ALUMINUM	3.5 WATTS	14

EXTERIOR LIGHTING NOTES:

1. ALL LIGHT CIRCUITS SHALL REMAIN SEPARATE FROM THE ELECTRICAL CIRCUITS.
2. ALL FIXTURES AND SWITCH LOCATIONS ARE SCHEMATIC. CONTRACTOR SHALL PERFORM A WALK THROUGH WITH THE OWNER FOR VERIFICATION OF LOCATIONS PRIOR TO INSTALLATION.
3. ALL LIGHTING LOCATED OUTDOORS SHALL BE HIGH EFFICIENCY LUMINAIRES.
4. LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE INSTALLED SO THAT WATER CANNOT ENTER OR ACCUMULATE IN WIRING COMPONENTS, LAMP HOLDERS, OR OTHER ELECTRICAL PARTS AND SHOULD BE MARKED "SUITABLE FOR WET OR DAMP LOCATIONS" AND SHALL BE SHIELDED TO PREVENT GLARE OR DIRECT ILLUMINATION ON PUBLIC STREETS OR ADJACENT PROPERTIES.
5. ALL EXTERIOR STAIRS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE STAIRS, INCLUDING LANDINGS AND TREADS.

24790 OUTLOOK DR.
CARMEL, CA 93923

Project Name:

Exterior Lighting Plan

Project number	00003.01
Date	June 7, 2019
Drawn by	JT
Checked by	SM

A-6

Scale	3/16" = 1'-0"
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NOTE:
The existing site is devoid of trees. Existing shrubs and ground covers consist of the following:
a. Baccharis species
b. Artemesia
c. Lampranthus species
d. Genista species
e. Adenostoma species

DESIGN STATEMENT:
The landscape design intent is to preserve the existing native plant material on the site. Where construction activities impact the site, new native plantings consisting of trees, shrubs and ground covers will be installed. In addition, large, dense evergreen native shrubs will be installed at the base of proposed support columns. The shrub mass will mitigate the appearance of the column heights. See Plant Legend for proposed species. Plants were derived from the Monterey Native Plant Society lists and Sunset Western Garden Book.

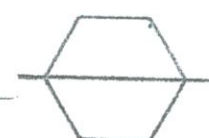



Water Use Key:
VL Very Low
L Low
M Medium
H High

Planting Legend:						
Symbol	Botanical Name	Common Name	Size	H2O	Quantity	
Trees:						
A	Arbutus 'Marina'	N.C.N.	24" Box Std	L	1	
B	Quercus agrifolia	Coast Live Oak	24" Box Std	VL	2	
Shrubs:						
1	Ceanothus thyrsiflorus	Blue Blossom	1 g.c.	L	3	
2	Arctostaphylos d. 'H.McMinn'	Manzanita	5 g.c.	L	5	
3	Frangula californica	California Coffeeberry	5 g.c.	L	3	
4	Rhus ovata	Sugar Bush	5 g.c.	L	8	
5	Heteromeles arbutifolia	Toyon	5 g.c.	L	10	

Ground covers:
 Baccharis pillars 'Pigeon Point'
Dwarf Coyote Brush
Plant 1 g.c. @ 72" o.c.
L

- Planting Notes:
1. Circles shown indicate approximate mature size of plant material.
 2. Contractor shall be responsible for adequate erosion control measures during construction.
 3. Care shall be taken to avoid construction activity and/or staging under the dripline of existing trees in order to prevent soil compaction, root or tree damage. All work to be done under the dripline of trees shall be done by hand. No plant shall be planted in a drainage swale regardless of position on plan.
 4. No plant shall be installed until a fully automatic drip irrigation system, covering all planter areas, is installed, tested and is fully operational.
 5. PLANTING OF TREES, SHRUBS & VINES: Unless otherwise noted, All trees shall be planted per detail 1. All shrubs shall be planted per detail 2.
 6. All planter pits shall receive the following back fill mix:
 1. 60% soil of the site
 2. 20% nitrogen stabilized redwood shavings
 3. 20% Nitrohumus or Gro-power or equal
 4. Acid loving plants shall receive peat moss
 5. Fertilizer tablets (Agrim 21 gram: 20-10-5) or equal, applied per manufacturer's recommendations.
 7. Contractor shall guarantee all trees, shrubs and groundcovers to live and grow in an acceptable condition for a period of 90 (ninety) days from the date of installation completion. Contractor shall also guarantee all trees and shrubs 24 box size and larger for a period of 1(one) year from the date of installation completion.
 8. MAINTENANCE PERIOD: Contractor shall maintain the site for a period of 90 calendar days after acceptance by owner. Maintenance shall include weeding of all ground cover areas including slopes; removal of all trash and debris from planter areas and hardscape areas; pruning and trimming of all plant materials required; replacement of all dead or dying plant material & 2 applications of fertilizer.
 9. Contractor shall comply with all features of the County of Monterey Water Efficient Landscape Ordinance.

Tree  Symbol
Quantity

Shrub  Symbol
Quantity



THOMAS SCHERER
ASSOCIATES
Landscape Architecture

P.O. Box 68, Aptos, CA 95001
Tel (831) 688-8913
Fax (831) 688-3135



LICENSED LANDSCAPE ARCHITECT
Thomas Scherer, 1987
Signature
Renewal Date
State of California

sheet title

Landscape
Concept
Plan

project

Residence
24790 Outlook Drive
Carmel, CA 93921
APN: 015-032-004

revisions



5-6-2019 TS
Additional Screening
Trees & Shrubs

date 3-7-2019

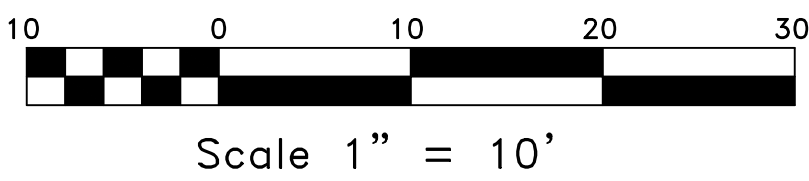
drawn TS

sheet no

L-2




of 4

Drawing file: Z:\Projects\119117 Malek - Santiago\DWG\119117 XBase.dwg
Plotted: Jun 17, 2019 - 11:46am



① FIELD LOCATE DOWNSPOUTS AND CONNECT TO SD, (SEE D/C4)

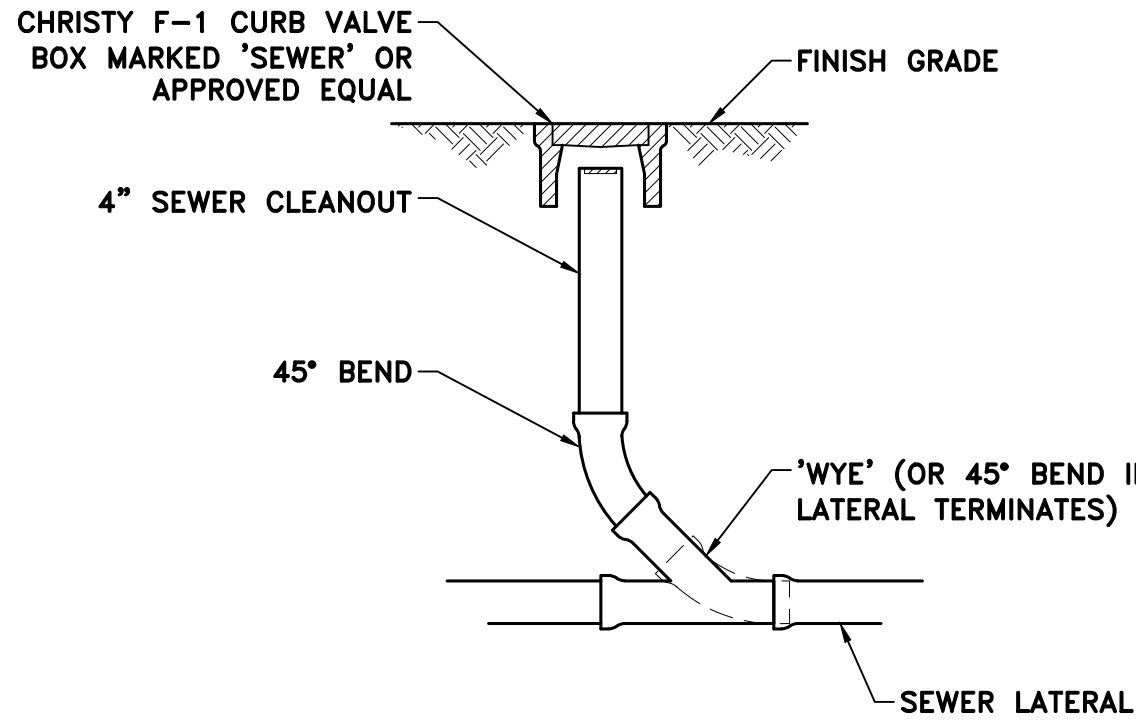
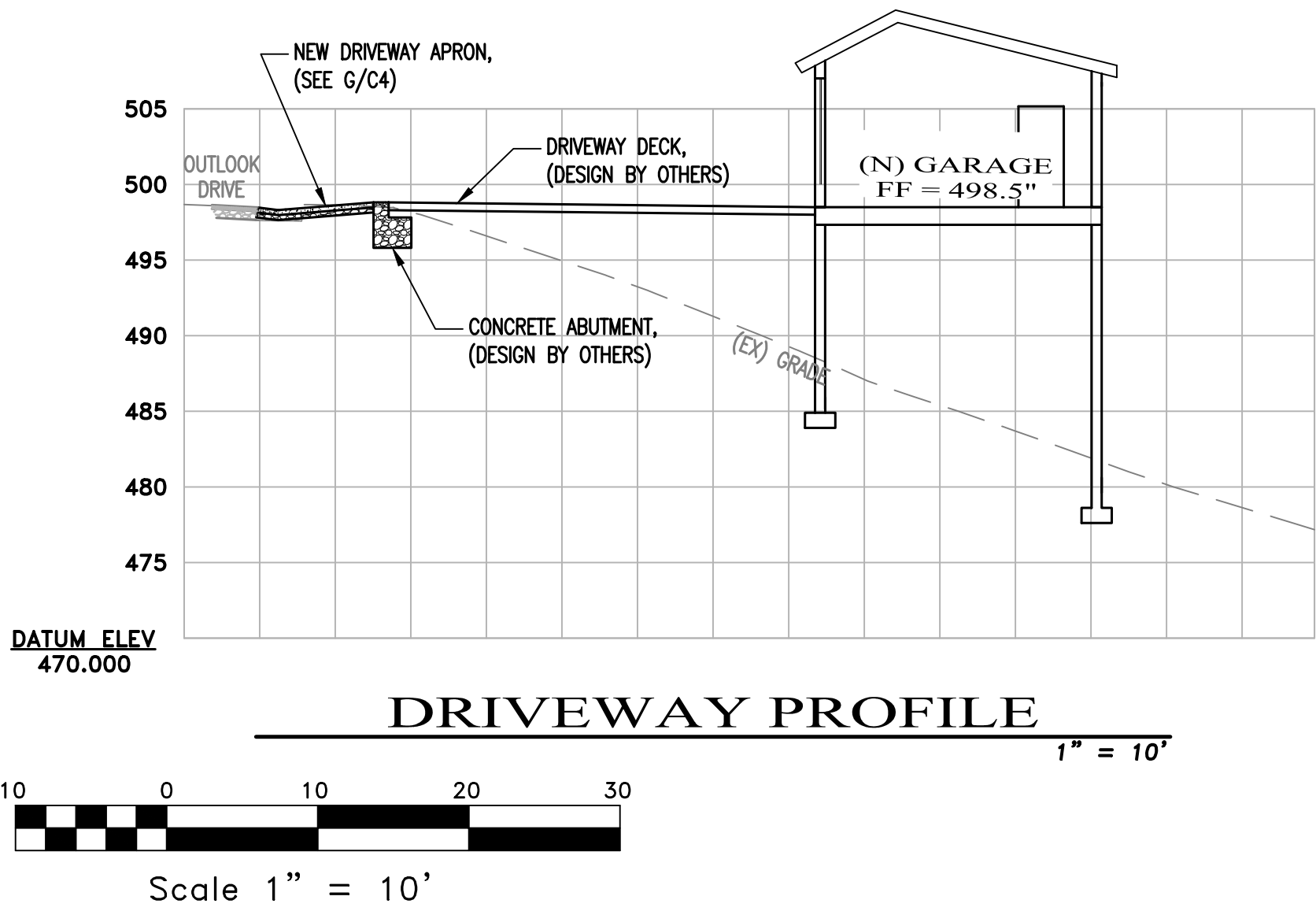
② DAYLIGHT TO ENERGY DISSIPATER, (SEE F/C4)

 <p>AC3 ENGINEERING INCORPORATED Civil Engineering Land Development Stormwater Management</p> <p>126 Bonifacio Place, Suite C, Monterey, CA 93940 Phone: (831) 647-1192 Fax (831) 647-1194 mail@AC3Engineering.net</p>		GRADING & DRAINAGE	
		SANTIAGO RESIDENCE 115-032-004	
		Project Location: 24790 OUTLOOK DR. CARMEL, CA 93921 PREPARED FOR: SANTIAGO	
		SCALE:	AS NOTED
		DATE:	06/10/2019
		DESIGN BY:	FJC
		DRAWN BY:	ECH
		CHECKED BY:	FJC
		SHEET NUMBER:	
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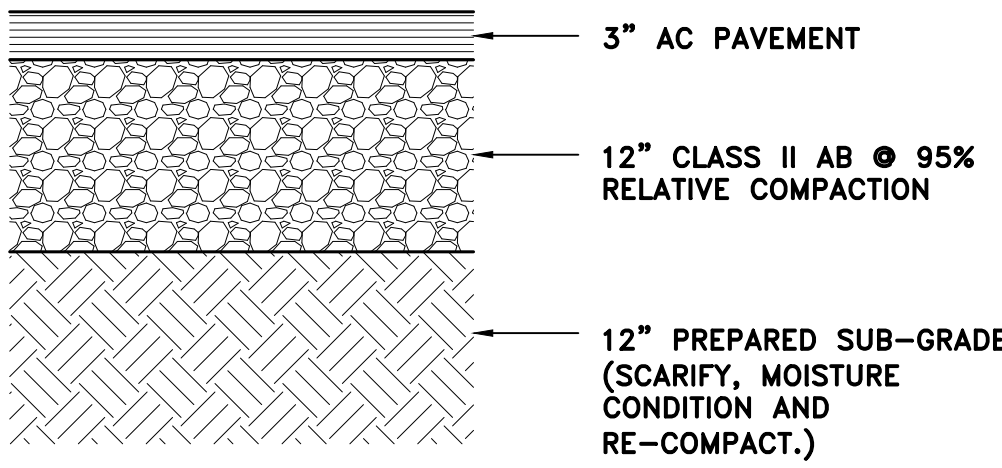
Project Location: 24790 OUTLOOK DR. CARMEL, CA 93921
PREPARED FOR: SANTIAGO

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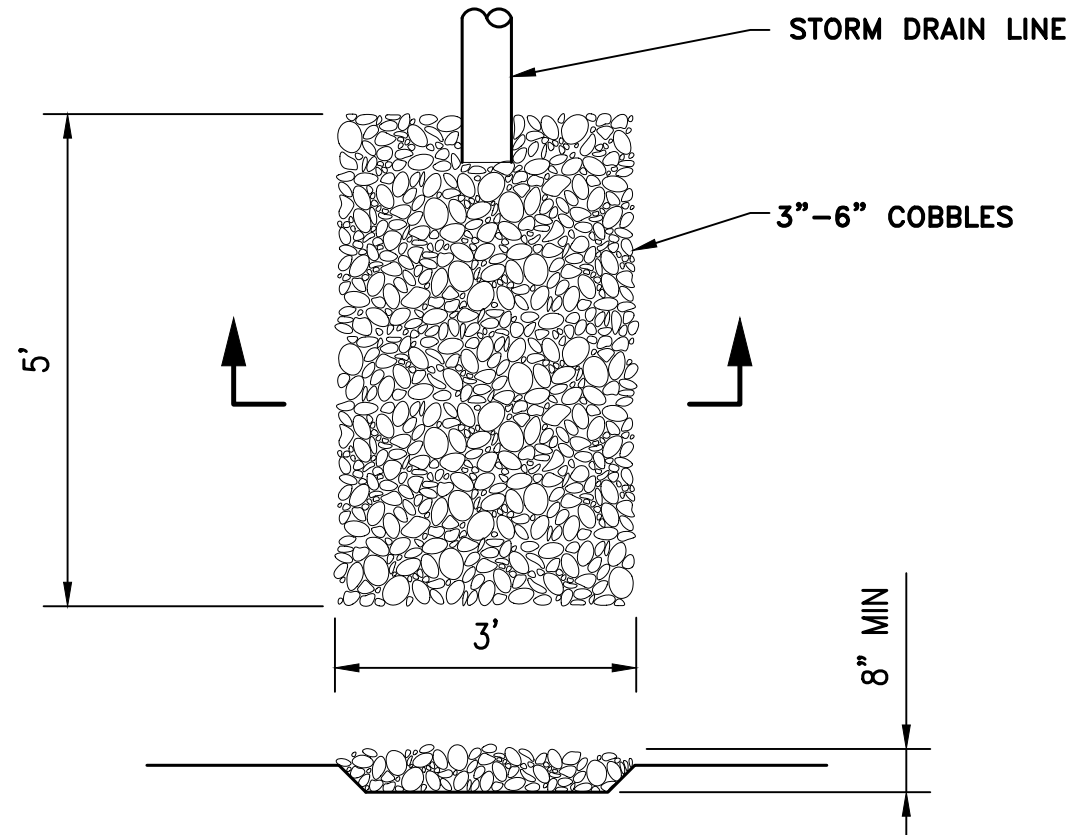
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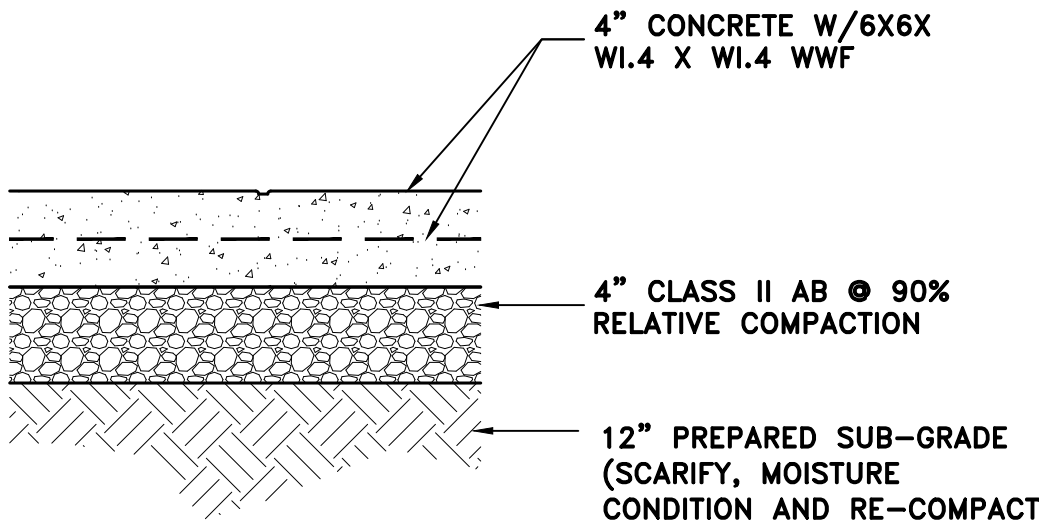
E CLEAN-OUT @ GRADE
C4 NTS



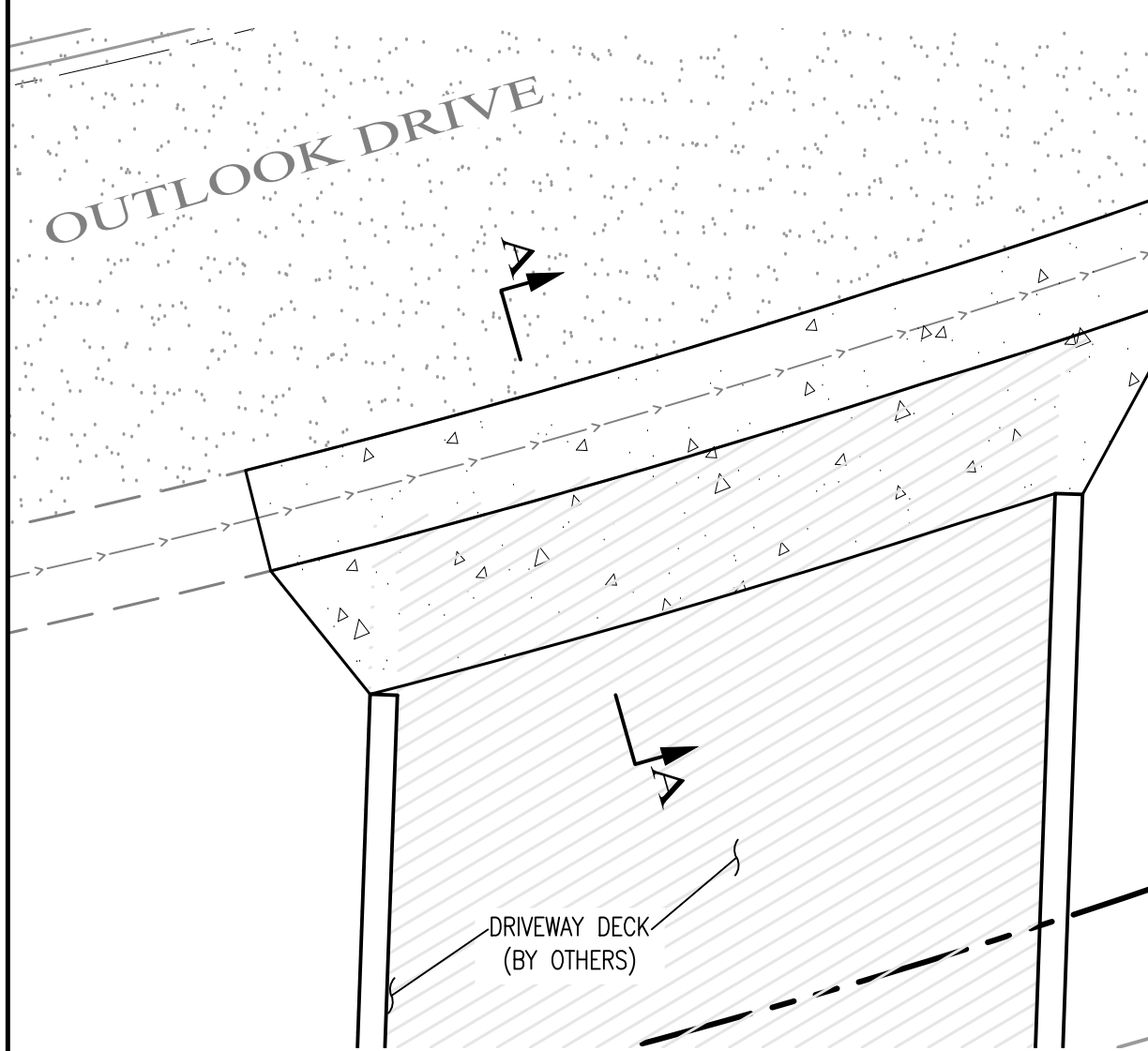
A A.C. PAVEMENT SECT.
C4 NTS



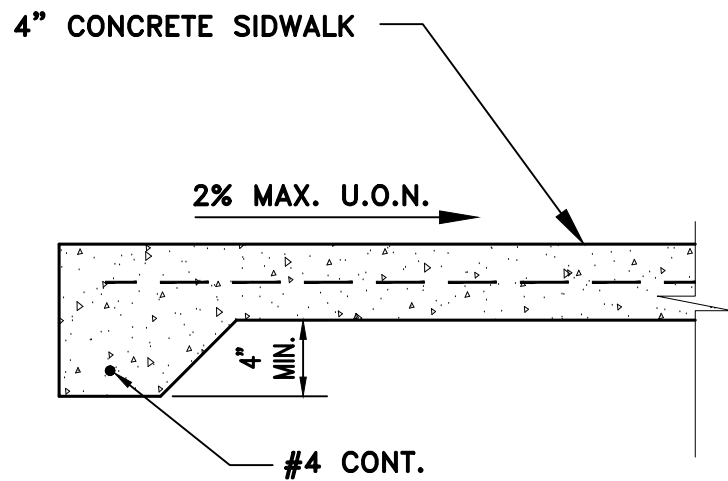
F ENERGY DISSIPATER
C4 NTS



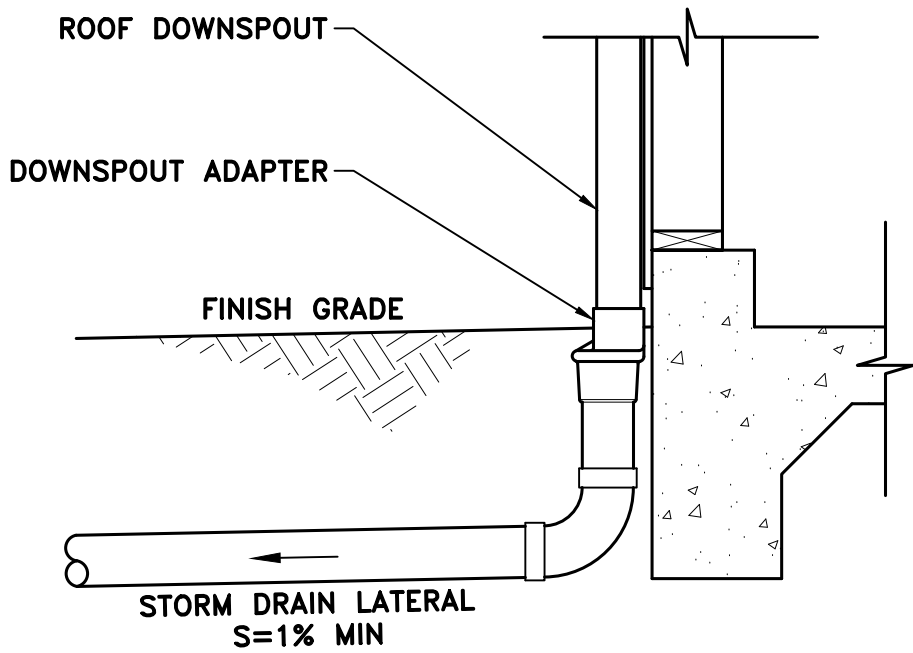
B CONCRETE PAVEMENT
C4 NTS



G DRIVEWAY APRON
C4 NTS



C THICKENED EDGE
C4 NTS



D ROOF DRAIN CONNECTION
C4 NTS

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mail@C3Engineering.net



SECTIONS & DETAILS
SANTIAGO RESIDENCE
115-032-004
Project Location: 24790 OUTLOOK DR. CARMEL, CA 93921
PREPARED FOR: SANTIAGO

SCALE:	AS NOTED
DATE:	06/10/2019
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	

C3
OF 4 SHEETS
PROJECT# 119117

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