Exhibit B



DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

CLS SAN LLC (HUBBARD) (PLN190014) **RESOLUTION NO. ----**

Resolution by the Monterey County Planning Commission:

- 1. Finding that the project involves construction of a new single family dwelling, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 (a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2;
- 2. Approving a Design Approval to allow the construction of an approximately 3,200 square foot two-story single family dwelling which includes an attached two-car garage; and
- 3. Approving a Use Permit to allow the development on slopes in excess of 25%.

[PLN190014, CLS San LLC (Hubbard), 24790 Outlook Drive, Carmel (Assessor's Parcel Number 015-032-004-000), Carmel Valley Master Plan

The CLS SAN LLC (HUBBARD) application (PLN190014) came on for a public hearing before the Monterey County Planning Commission on July 31, 2019. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING: CONSISTENCY** – The project, as conditioned, is consistent with the

applicable plans and policies which designate this area as appropriate

for development.

The project has been reviewed for consistency with the text, policies, **EVIDENCE:** and regulations in:

2010 Monterey County General Plan (General Plan);

Carmel Valley Mast Plan (Master Plan); and

Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. The subject property is not located within the coastal zone; therefore, the 1982 Monterey County General Plan does not apply.

- b) Allowed Use. The subject property (0.508 acres) is located at 24790 Outlook Drive, Carmel (Assessor's Parcel Number 015-032-004-000), Carmel Valley Master Plan. The subject parcel is zoned Low Density Residential with a Building Site 6, Design Control, Site Plan and Residential Allocation Zoning Overlays or "LDR/B-6-D-S-RAZ." Title 21 Section 21.14.030.A allows for the development of the first single family dwelling per lot. Therefore, the project is an allowed use.
- c) <u>Lot Legality</u>. The subject property is a vacant lot created through the Carmel Views Subdivision No. 4, identified as Lot 16 in Block Numbered 1, as shown on Map of Tract No. 723 Carmel Views No. 4 in Volume 12 of Cities and Towns at page 41.
- d) <u>Cultural Resources</u>. Title 21 Section 21.66.050, states that a Phase 1 Archaeological assessment shall be provided for moderate archaeological sensitivity zones and if the project requires an environmental assessment. The subject property is in an area identified in the Monterey County Geographic Informational System (GIS) as having a moderate archaeological sensitivity and although the project is categorically exempt from CEQA (Finding 5), the applicant provided a Phase 1 Archaeological Assessment (Finding 2, Evidence "c"). The report concluded that there is no evidence that any cultural resources would be disturbed. The nearest archaeological site is approximately one and a half miles away from the subject property. The potential for inadvertent impacts to cultural resources is limited. Further, the project will not result in any excavation or grading.
- Design Review and Visual Analysis. The project is subject to the Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, materials and colors of the structures to assure protection of the public viewshed and neighborhood character. The single family dwelling has a modern architectural style with colors and materials consisting of: brown wood siding with dark brown lattice accents, bronze aluminum windows and weathered wood shingle roofing. The neighborhood consists of homes similar in architectural style with a variation in size. Properties with similar site constraints have existing single family dwellings that are either sited into the hill on leveled ground or set back a few feet away from the road to avoid site constraints. The placement of the development is 15 feet away from the road to avoid cutting into the hillside. This results in a more prominent view of the single family dwelling from Outlook Drive.

CVMP Policy 1-20 states that areas with a "D" and site control "S" overlay district designations shall consider the visual compatibility with the character of the valley and surrounding areas, the materials, colors, height and bulk of the development, minimizing disruption of

views from existing homes, and minimizing erosion and grading through the use of step or pole foundations. The development is sited and constructed in manner to be consistent with this policy in regard to erosion and grading. The single family dwelling has been placed on pier and post foundations to limit the amount of grading necessary. Due to the location of the subject property, the development appears to have a height and mass that will be highly visible within the neighborhood particularly, when viewed from Outlook Drive. Although there are existing homes within the neighborhood that have portions of the home with similar foundations, the siting and location is not as visual as the proposed development.

The applicant submitted revised plans to try to achieve the design policy of the CVMP while still taking into consideration the slope regulations of Title 21. Plans were reviewed to reduce the plate height of the roof by a few feet and to add architectural accents such as lattices, and vegetation screening to the rear of the house to reduce the appearance of the mass and height of the proposed single family dwelling, which could appear much larger when viewed from neighboring properties down slope from the subject property. These revisions are reflected within the plans of this resolution. The revisions and proposed screening better achieves the CVMP Policy 1-20 by reducing the height and adding architectural features to reduce the mass appearance. Colors and materials are subordinate to the surrounding environment and minimize erosion and grading. The project is not visible from Highway 68 or any common public viewing area such as Carmel Valley Road. Therefore, the project, as conditioned, does not create any visual impacts on scenic road corridors.

f) Review of Development Standards. The subject parcel is zoned Low Density Residential with a Building Site 6, Design Control, Site Plan and Residential Allocation Zoning Overlays or "LDR/B-6-D-S-RAZ." Title 21 Section 21.14.060 identifies site development standards for the property but since the zoning is combined with B-6 Overlay, the setbacks within Title 21 Section 21.42.030 are applicable. Further, the subject property was granted a Variance as described in Finding 6 that allowed for a special front setback

The single family dwelling has a front setback of 15 feet, a rear setback of approximately 95 feet, and side setback of 23 feet east and 24 feet west. The height of the structure will be at 28 feet, below the allowed height for this zoning district, which is 30 feet. The site coverage maximum is 25%. The subject property is 0.508 acre lot, which would allow site coverage of 5,805 square feet. The project results in structural site coverage of 12.1% or 2,815 square feet.

- Therefore, the project is consistent with the Variance granted and the development standards as outline in Title 21.
- g) <u>Slopes in Excess of 25%</u>. As demonstrated in Finding 6 below, the project is consistent with the applicable regulations for development on slopes in excess of 25%.
- Based on the Land Use Advisory Committee (LUAC) procedure h) guidelines adopted by the Monterey County Board of Supervisors, the project was referred to the Carmel Highlands LUAC for review on May 6, 2019. The LUAC recommended approval of the project with recommendations to provide more parking and to give consideration to siting the single family dwelling lower onto the property. The development includes the construction of a two-car garage, which meets the parking regulations specified for residential development as outlined in Title 21, Section 21.58.040. The driveway has the ability to accommodate 3-4 parking spaces for guests in the event that additional parking is needed. Further, since this meeting, the applicant has submitted revised plans to reduce the plate height of the roof by a few feet and to add architectural accents as discussed above to the appearance of the mass. These plans are reflected with this resolution. The development has been sited and designed to minimize grading and erosion.
- i) Staff conducted site inspections on May 1, 2019, May 6, 2019 and July 12, 2019 to verify that the project on the subject property conforms to the plans attached.
- j) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development found in RMA-Planning File No. PLN190014.
- 2. **FINDING: SITE SUITABILITY** The site is physically suitable for the proposed use.
 - **EVIDENCE:** a) The project includes a new single family dwelling associated with an established residential use in a residential neighborhood. Therefore, the use is suitable for the site.
 - b) The project was reviewed by RMA-Planning, Monterey Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - c) The following reports have been prepared and submitted with the application:
 - Preliminary Archaeological Assessment (LIB190104)
 prepared by Susan Morley, M.A., Marina, CA in February 2019
 - Geotechnical Evaluation (LIB190103) prepared by Soils Surveys Group, Inc., Salinas, CA on January 18, 2019

- County staff independently reviewed these reports and concurs with their conclusions. There are no further physical or environmental constraints that would indicate that the site is not suitable for the use proposed. All development shall be in accordance with these reports.
- d) Staff conducted site inspections on May 1, 2019, May 6, 2019 and July 12, 2019 to verify that the site is suitable for this use.
- e) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development are found in Project File PLN190014.

3. **FINDING:**

HEALTH AND SAFETY – The establishment, maintenance, or operation of the project will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: a)

- The project was reviewed by RMA-Planning, Cypress Fire Protection District, RMA-Public Works, RMA-Environmental Services and Environmental Health Bureau (EHB). Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) The project was reviewed by RMA-Environmental Services and due to the slopes on the subject property, there are specific setbacks required by code. Conditions have been added (Conditions No. 4 and 5) for the applicant to submit an updated geotechnical report has been required to support the request for an alternative setback and for a stormwater control plan to reduce any storm-water runoff.
- c) The project would result in the use of public County roads. To ensure measures are taken to minimize traffic impacts during the construction phase of the project, RMA-Public Works has added a condition (Condition No. 6) to identify the proposed haul routes, hours of operation, estimated number of truck trips and location of on-site or off-site parking.
- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development found in RMA-Planning File No. PLN190014.

4. **FINDING:**

NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff reviewed Monterey County RMA-Planning and RMA-Building Services records and is not aware of any violations existing on subject property.

b) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the development are found in Project File PLN190014.

5. **FINDING:**

CEQA (Categorically Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the project.

EVIDENCE:

- California Environmental Quality Act (CEQA) Guidelines Section 15303 (a) categorically exempts the construction of new single family dwellings s in residential zones. The project is to construct an approximately 3,200 square foot two-story single family dwelling with an attached two-car garage; therefore, the project qualifies for a Class 3 categorical exemption pursuant to Sections 15303 (a) of the CEQA guidelines.
- b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. No adverse environmental effects were identified during staff review of the development application.
- The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the development found in Project File PLN190014.

6. **FINDING:**

SLOPES IN EXCESS OF 25% – The project has no feasible alternative option which would allow for development to occur on slopes less than 25%.

EVIDENCE: a)

General Plan Policy OS-3.5 states that development on slopes in excess of 25% shall be prohibited, except where there is no feasible alternative or the proposed development better achieves the goals and policies of the General Plan and Area Plan. Development on slopes in excess of 25% is subject to a Use Permit as outlined in Title 21 Section 21.64.230 of the zoning ordinance which implements the General Plan policy. A Use Permit has been applied for and the findings to grant the Use Permit can be made in this case because there is no feasible alternative design or location that would allow development of a single family dwelling on slopes of less than 25%.

The subject property is a vacant lot, approximately 0.5 acres, that was created through the Carmel Views Subdivision No. 4. Many of the lots within this subdivision contain slopes, including the lot that is the subject of this report. The subject property slopes steeply down and away from Outlook Drive which would be the primary access road to the site. In recognition of the sloped character of the area, lots within this subdivision, including the lot on which the development is proposed, were granted a Variance (Monterey County Planning File No.

ZA-2057), approved on December 13, 1974 by the Monterey County Zoning Administrator. The Variance reduced the required front yard setback from 20 feet to 15 feet, due to the topography and shape of the lots. The Monterey County Geographic Informational System (GIS) and site plans provided by the applicant indicate the subject property constrained with slopes in excess of 25%. The single family dwelling has been appropriately sited and designed given the circumstances. The proposed development is set 15 feet from the road to eliminate construction within the hillside, the driveway will be elevated to create direct garage access without a steep driveway, and the home steps down the hillside with pier and post foundation supports rather than the typical perimeter footings. This is also consistent with CVMP Policy CV-3.4 which states that alternations of hillsides and natural landforms caused by cutting, filling, grading, or vegetation removal shall be minimized through sensitive siting and design of all improvements and maximum feasible restoration. Further, the development, in this case, has no feasible alternative than to develop the single family dwelling on slopes in excess of 25% due to the entire subject property containing slopes in excess of 25%.

- c) Staff conducted site inspections on May 1, 2019, May 6, 2019 and July 12, 2019 to verify that the project on the subject property conforms to the plans attached.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN190014.
- 7. **FINDING: APPEALABILITY** The decision on this project may be appealed to

the Board of Supervisors.

EVIDENCE:Board of Supervisors. Pursuant to Title 20 Section 20.86.030, an appeal of the Planning Commission's approval for this project may be made to the Board of Supervisors by any public agency or person aggrieved by their decision.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

- 1. Find that the project involves the construction of a new single family dwelling, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 (a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2;
- 2. Approve a Design Approval to allow the construction of an approximately 3,200 square foot two-story single family dwelling which includes an attached two-car garage; and
- 3. Approve a Use Permit to allow the development on slopes in excess of 25%.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 31st day of July 2019 upon motion of Commissioner	
seconded by Commissioner, by the following vote:	
AYES: NOES: ABSENT: ABSTAIN:	
Brandon Swanson, Planning Commission Secretary	
COPY OF THIS DECISION MAILED TO APPLICANT ON	
THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.	
IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE	
THIS PROJECT IS NOT LOCATED IN THE COASTAL ZONE AND IS NOT APPEALABLE TO THE COASTAL COMMISSION.	
This decision, if this is the final administrative decision, is subject to judicial review pursuant to California	

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with

the Court no later than the 90th day following the date on which this decision becomes final.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190014

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This permit (PLN190014) is a Design Approval to allow the construction of an approximately 3,200 square foot two-story single family dwelling and Use Permit to allow the development on slopes in excess of 25%. The property is located at 24790 Outlook Drive, Carmel (Assessor's Parcel Number 015-032-004-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure:

The applicant shall record a Permit Approval Notice. This notice shall state:

"A Design Approval and Use Permit (Resolution Number _____) was approved by Monterey County Planning Commission for Assessor's Parcel Number 015-032-004-000 on July 31, 2019. The permit was granted subject to six (6) conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the RMA Chief of Planning prior to issuance of grading and building permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed:

Prior to the issuance of grading and building permits, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

Print Date: 7/15/2019 9:25:17AM Page 1 of 3

3. CC01 INDEMNIFICATION AGREEMENT

Responsible Department:

County Counsel-Risk Management

Condition/Mitigation Monitoring Measure:

The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

4. SLOPE SETBACK PLAN

Responsible Department:

Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an updated geotechnical report that supports the request for an alternate setback. The report shall consider the material, height of slope, slope gradient, load intensity, and erosion characteristics of slope material to demonstrate the intent of the setback requirement has been satisfied. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit the information to RMA-Environmental Services for review and approval.

Print Date: 7/15/2019 9:25:17AM Page 2 of 3

5. STORMWATER CONTROL PLAN (PR1)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure:

The applicant shall submit a stormwater control plan addressing the Post-Construction Requirements (PCRs) for Development Projects in the Central Coast Region. The stormwater control plan shall incorporate the measures identified on the completed the Site Design and Runoff Reduction Checklist. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed:

Prior to issuance of any grading or building permits, the applicant shall submit a stormwater control plan to RMA-Environmental Services for review and approval.

6. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure:

The applicant shall submit a Construction Management Plan (CMP) to RMA-Planning and RMA - Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/ Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the

Department of Public Works for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the

approved measures during the construction/grading phase of the project.

Print Date: 7/15/2019 9:25:17AM Page 3 of 3

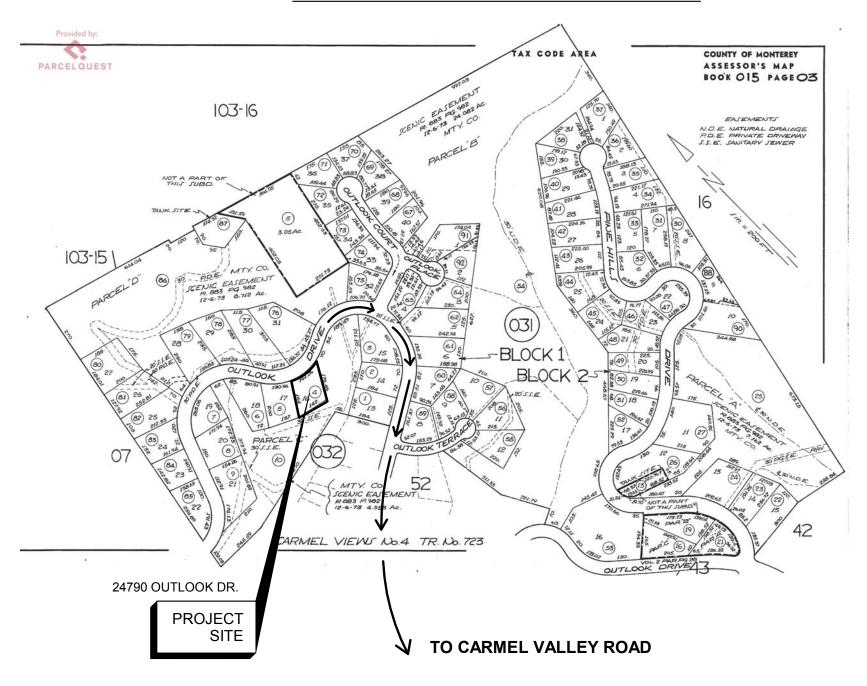
24790 OUTLOOK

24790 OUTLOOK DRIVE CARMEL, CA 93923

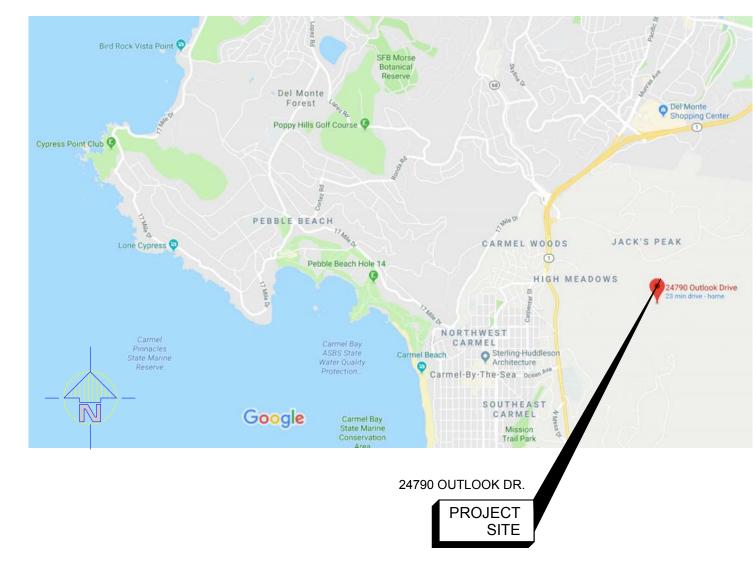


NORTH (FRONT) ELEVATION

ASSESSOR'S MAP



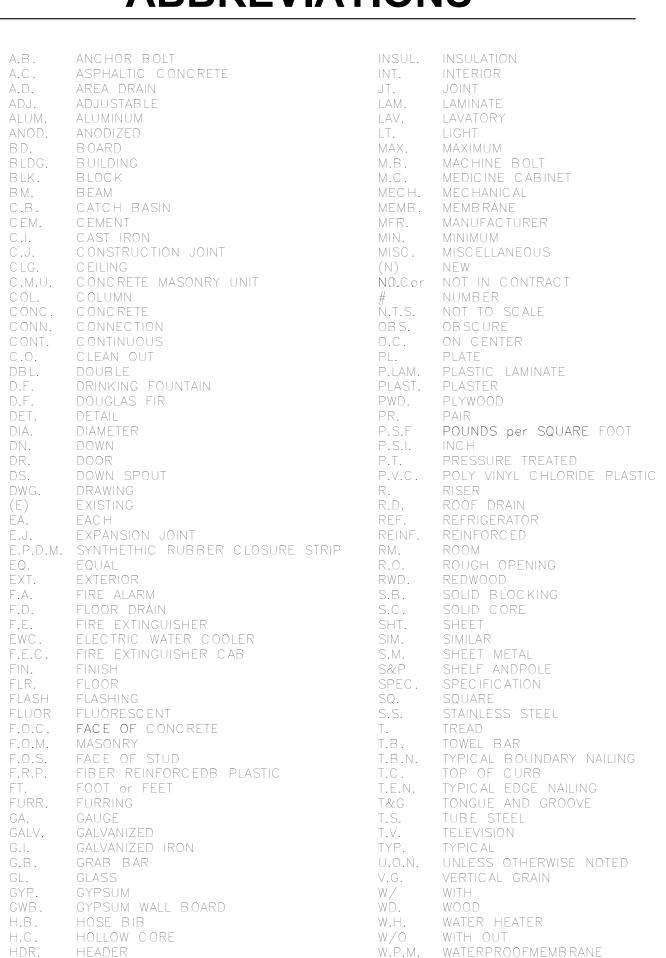
VICINITY MAP



ARCHITECT/OWNER'S REP:

SAFWAT MALEK ENVIRO-INTERNATIONAL, INC. P.O. BOX 1734 PEBBLE BEACH, CA 93953 650-619-8760

ABBREVIATIONS

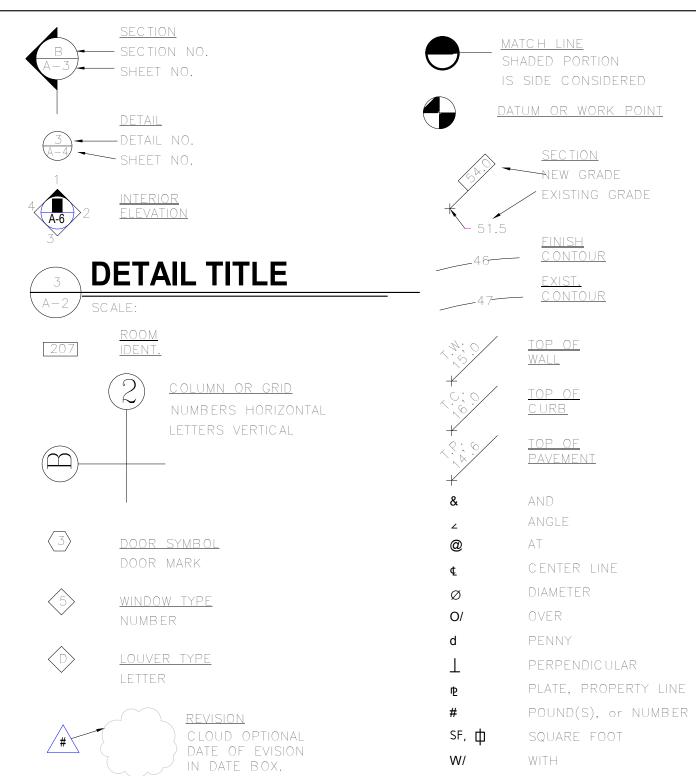


WT. WEIGHT

W.W.F. FABRIC

W.W.M WELDED WIRE MESH

SYMBOLS



CODE SUMMARY

2016 BUILDING STANDARDS ADMIN CODE,	PART 1, CBSC
2016 CALIFORNIA BUILDING CODE (CBC),	PART 2, CBSC
2016 CALIFORNIA RESIDENTIAL CODE (CRĆ),	T-24 PART 2-5
2016 CALIFORNIA ELECTRICAL CODE (CEC),	PART 3, CBSC
2016 CALIFORNIA MECHANICAL CODE (CMC),	PART 4, CBSC
2016 CALIFORNIA PLUMBING CODE (CPC),	PART 5, CBSC
2016 CALIFORNIA ENERGY CODE,	PART 6, CBSC
2016 CALIFORNIA FIRE CODE,	PART 9,CBSC
2016 CA GREEN BLDG STDS CODE (CALGREEN)	PART 11, CSBC

MATERIALS

	EARTH	WOOD, FINISH
	ROCK	WOOD FRAMING
	SAND,MORTAR,PLASTER	WOOD BLOCKING
	CONCRETE BLOCK, BRICK	PLYWOOD
Δ Δ Δ	C ONC RETE	GYPSUM WALLBOARD
	(E) WALL. ADD BATT INSUL.	RIGID INSULATION
	REMOVE EXISTING STUD WALL	AC OUSTIC TILE
	NEW STUD WALL W/ BATT INSULPLAN 20 GA. METAL STUDS @ 16" O.C.	A.C. PAVING
	STUD WALL 1 HR. CONSTRUCTION	METAL
	STUD WALL W/ BATT INSULATION-SECTION	

DRAWING INDEX

SHEET SCHEDULE:

ARCHITECTURAL:

A-0 INDEX, LEGENDS & NOTES

C-0 SURVEY

A-1.0 SITE PLAN

A-1.1 SITE SECTIONS

A-1.2 CONSTRUCTION MANAGEMENT PLAN

A-2 MAIN LEVEL FLOOR PLAN

A-3 LOWER LEVEL FLOOR PLAN

A-4 ROOF PLAN

A-5.0 EXTERIOR ELEVATIONS

A-5.1 EXTERIOR ELEVATIONS

A-5.2 EXT. ELEVATIONS W/ LANDSCAPE

A-6 EXTERIOR LIGHTING PLAN

SCOPE OF WORK

PROPOSAL FOR A NEW TWO-STORY, 2,800 SF SINGLE FAMILY RESIDNECE WITH 4 BEDROOMS & 4 BATHS AND A 384 SF TWO CAR GARAGE.

PROJECT DATA

CARMELLO SANTIAGO CLS SAN, LLC

PROJECT ADDRESS:	24790 OUTLOOK DI CARMEL, CA 93923	
PROJECT TYPE:	SINGLE FAMILY RESIDE	NCE
APN:	015-032	2-004
COUNTY:	MONTE	REY
AREA PLAN =	CARMEL VAL MASTER P	
LEGAL LOT =	CARMEL VIEW	S #4
ZONING:	LDR / B-6-D-S-LOW DENSITY RESIDEN	
LOT AREA =	23,219 0.508 AC	
SITE COVERGE: ACTUAL:	2,81 12.1% COVER (25% PERMIT	
CONSTRUCTION:	TYPE V-B NON-RA W/ NEW AUTOMATIC F SPRINKLER SYSTEM ADD	IRE
OCCUPANCY GROUP:	*R-3 SINGLE FAMILY RESIDEN	NCE
LDR ZONE SETBACKS	PROPOSED AREA	
FRONT-15'	MAIN LEVEL	1,602 SF
SIDE-15' REAR-20'	LOWER LEVEL	1,198 SF
HEIGHT-30'	TOTAL	2,800 SF

GARAGE

390 SF



safwat@enviro-international.com

Cell: **650.619.8760** PO Box 1734 • Pebble Beach, CA 93953-1734

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

Copyright 2016-2017. All rights reserved.

30 OUTLOOK DE RMEL, CA 93923

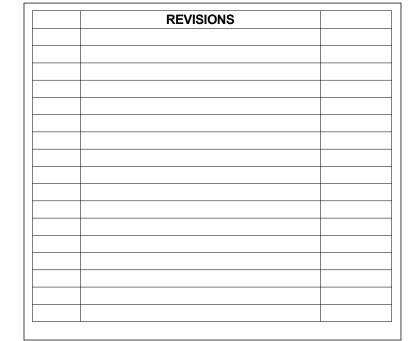
Cover Sheet

Project number	00003.01
Date	June 7, 2019
Drawn by	JT
Checked by	SM

A-0

cale.







Safwat Malek, President safwat@enviro-international.com

Cell: **650.619.8760**PO Box 1734 • Pebble Beach, CA 93953-1734

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

Copyright 2016-2017. All rights reserved.

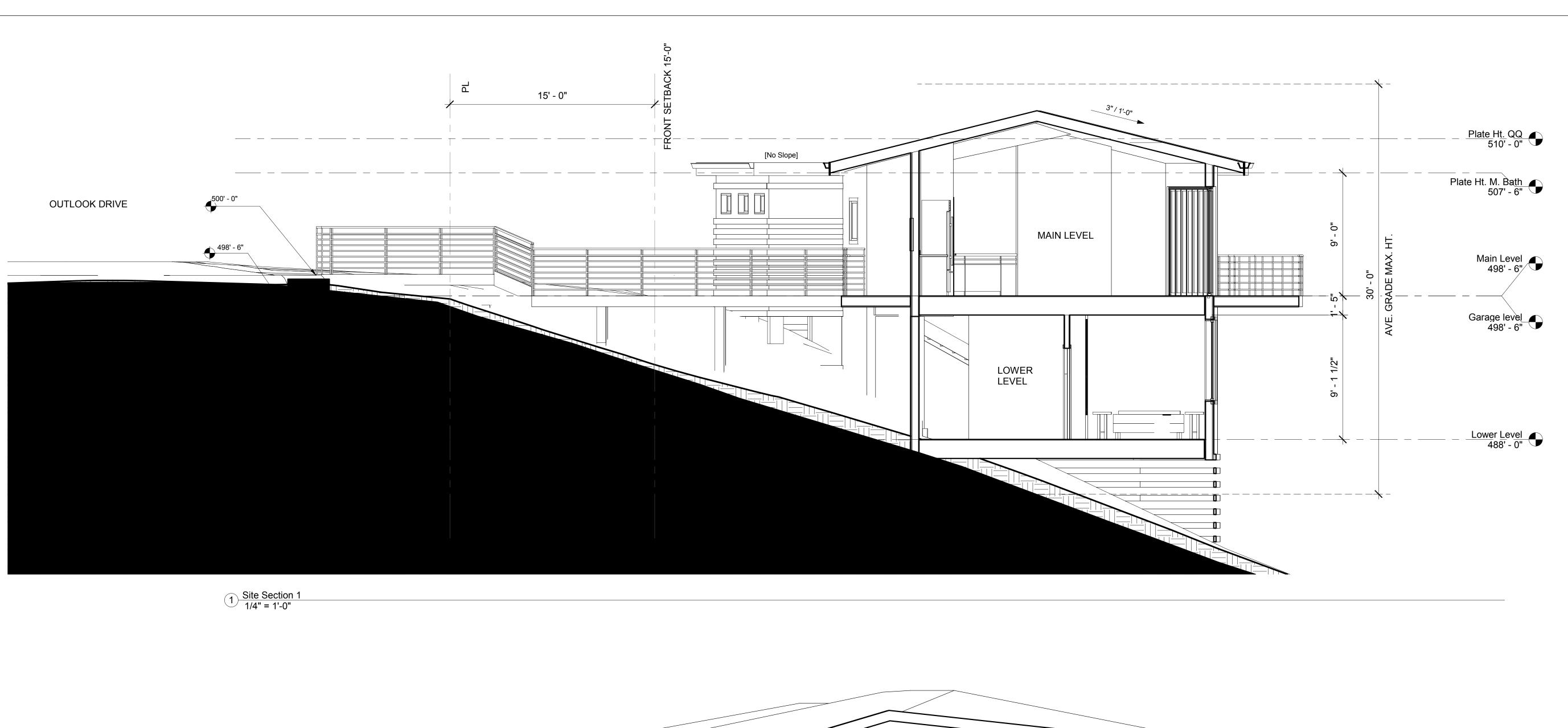
24790 OUTLOOK DR. CARMEL, CA 93923

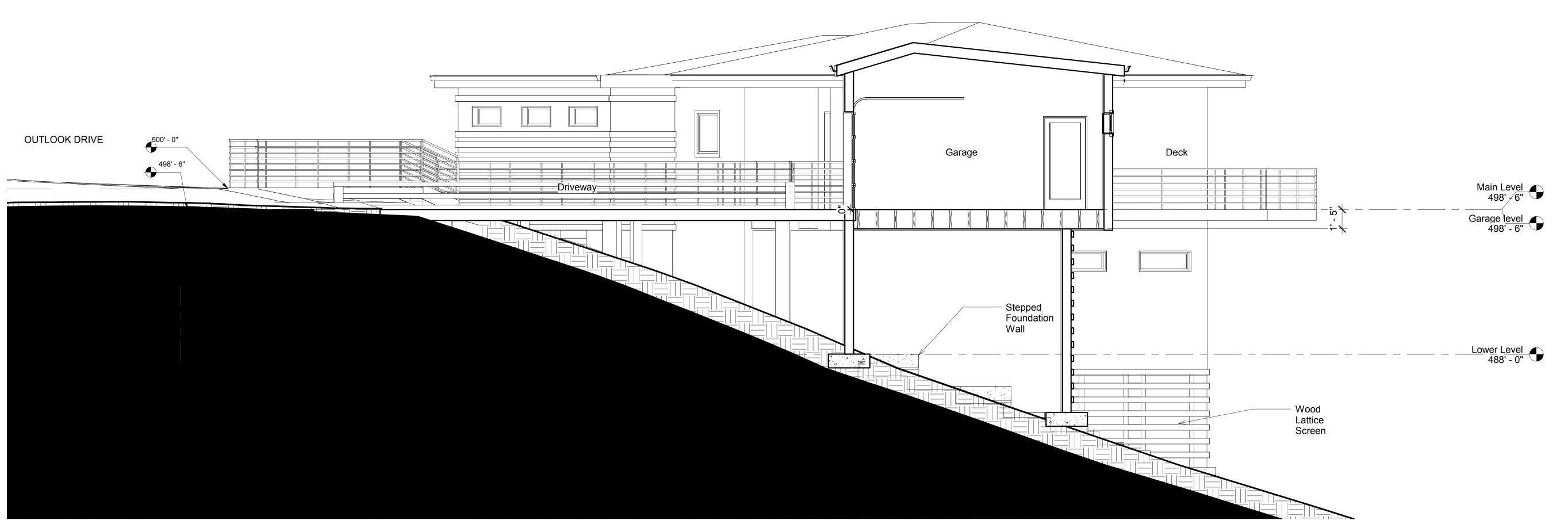
Site Plan

Project number	00003.01
Date	June 7, 2019
Drawn by	JT
Checked by	SM

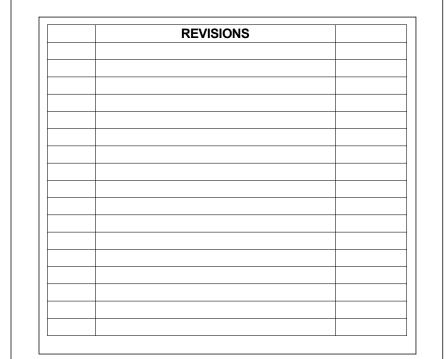
A-1.0

Scale 1" = 10'-0"





2 Site Section 2 1/4" = 1'-0"





Safwat Malek, President safwat@enviro-international.com

Cell: **650.619.8760** PO Box 1734 • Pebble Beach, CA 93953-1734

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

Copyright 2016-2017. All rights reserved.

24790 OUTLOOK DR. CARMEL, CA 93923

Project Name:

Site Sections

Project number	00003.01
Date	June 7, 2019
Drawn by	JT
Checked by	SM

A-1.1

Scale 1/4" = 1'-0"

EROSION AND SEDIMENT CONTROL GENERAL NOTES

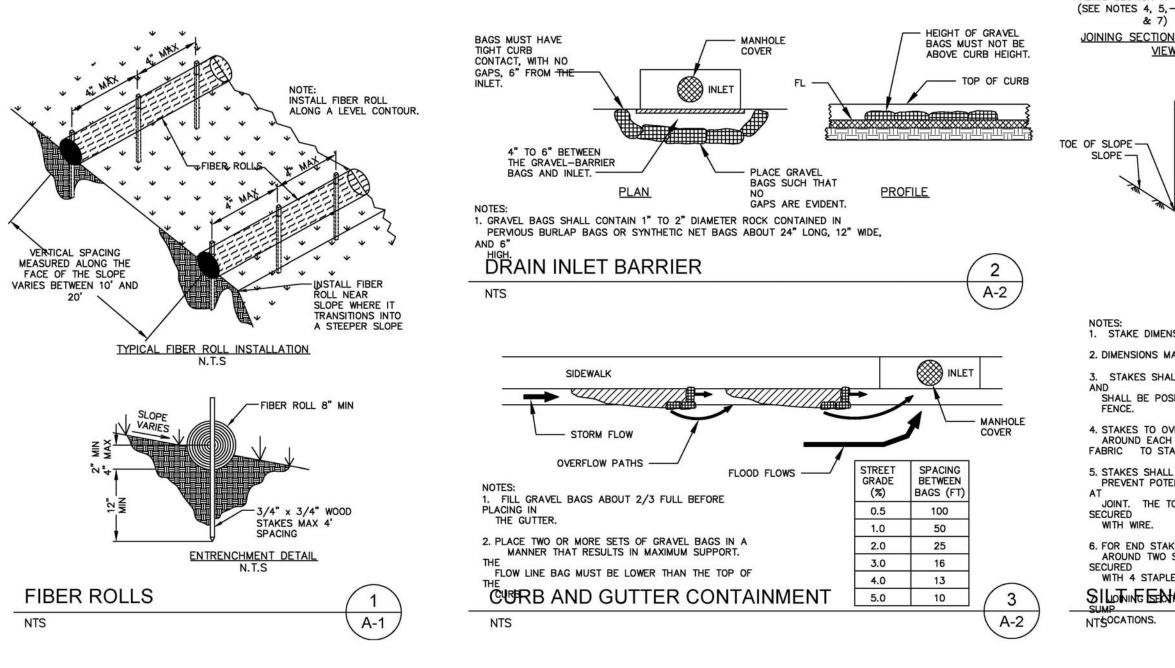
- 1. BEST MANAGEMENT PRACTICES (BMPS) AT A MINIMUM, THE FOLLOWING BMPS ARE REQUIRED REGARDLESS OF WEATHER CONDITIONS, AND AS APPLICABLE TO THE CONSTRUCTION
- PLANNED. VERIFY ALL OF THE BELOW MEASURES ARE ADDRESSED ON THE ESCP SUBMITTAL, AS APPLICABLE.

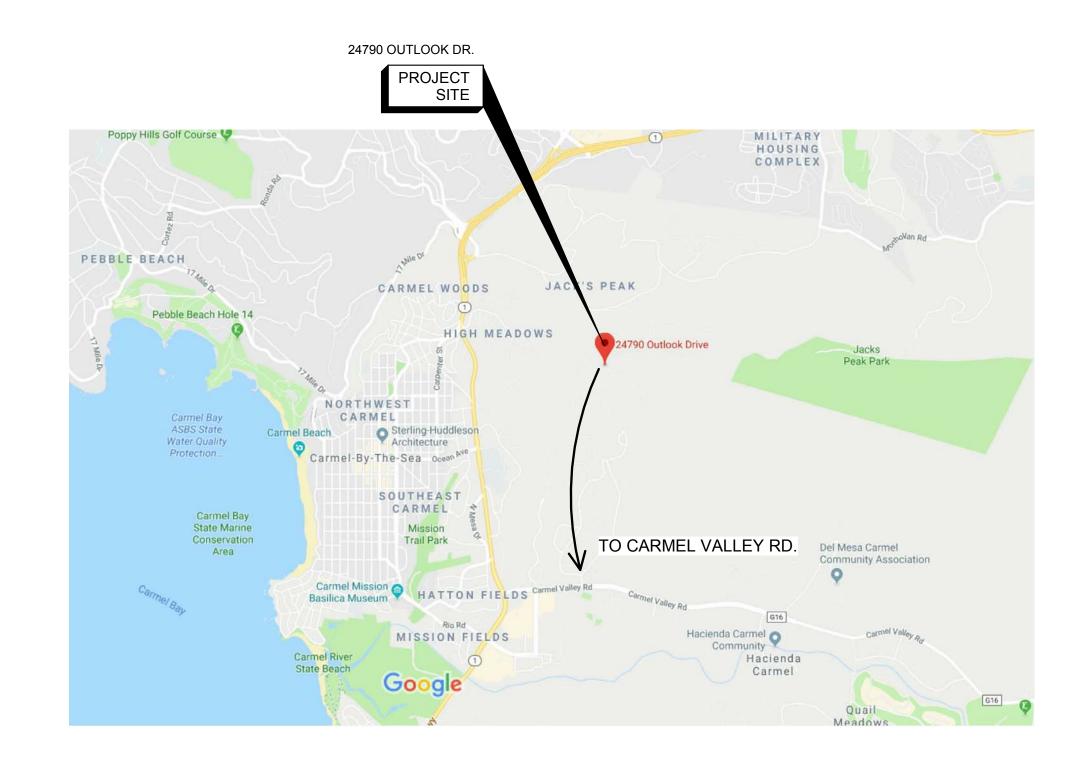
PRE-RAIN INSTALL.

- A. WET WEATHER MEASURES IF POSSIBLE, AVOID LAND-DISTURBING ACTIVITIES DURING THE WEATHER SEASON - OCTOBER 15 THROUGH APRIL 15. OTHERWISE, EXTRA BMP MATERIALS (FILTERS, FIBER ROLLS, GRAVEL BAGS, MULCH/STRAW, PLASTIC COVERS) SHALL BE KEPT ON-SITE FOR
- B. EXISTING VEGETATION PROTECT EXISTING VEGETATION; AVOID REMOVAL AS REQUIRED AND WHEREVER POSSIBLE; INSTALLAPPROPRIATE/PROTECTIVE FENCING, PERIMETER CONTROLS PRIOR TO WORK.
- C. EROSION AND SEDIMENT CONTROL AS APPLICABLE, SLOPE AND SOIL STABILIZATION BMPS SHALL BE UTILIZED TO PREVENT SLOPE EROSION AND SOIL MOVEMENTON-SITE AND OFF-SITE. NO SEDIMENT MAY LEAVE THE SITE, BE DEPOSITED OFF-SITE, OR POLLUTE STORM WATER RUNOFF FROM THE CONSTRUCTION SITE.
- D. STOCKPILE MANAGEMENT 1.) ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY. 2.) STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS. 3.) NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
- E. WASTE MANAGEMENT ALL CONSTRUCTION WASTE SHALL BE CONTAINED AND SECURELY COVERED ONSITE, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAINTAINED AND ITS CONTENTS DISPOSED OF PROPERLY; NO MATERIAL SHALL BE WASHED INTO STREET.
- F. VEHICLES AND EQUIPMENT RESPONSIBLE PARTIES MUST ENSURE ALL VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET. INACTIVE VEHICLES/EQUIPMENT MUST USE COVER AND/OR DRIP PANS.
- G. DRAIN/INLET PROTECTION & PERIMETER CONTROLS DRAINS/INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD, DIRT, OR ANY DEBRIS, AND INCLUDE GUTTER CONTROLS AND FILTRATION WHERE APPLICABLE IN A MANNER NOT IMPEDING TRAFFIC OR SAFETY. PROPERLY INSTALLED SILT FENCING OR EQUIVALENT LINEAR CONTROL SHALL BE EVIDENT ALONG SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF-SITE. ALSO, CHANGING CONSTRUCTION CONDITIONS NECESSITATE THAT THE TYPE OF INLET AND DRAIN PROTECTION IMPLEMENTED BE CHANGED AND/OR ADJUSTED BY THE CONTRACTOR TO ADEQUATELY PROTECT THE STORM DRAIN SYSTEM DURING THE VARIOUS CONSTRUCTION PHASES.
- H. SWEEPING ALL IMPERVIOUS SURFACES (DRIVEWAYS, STREETS) SHALL BE PHYSICALLY SWEPT (NOT WASHED OR HOSED DOWN), AND MAINTAINED FREE OF DEBRIS AND ACCUMULATIONS OF DIRT. NO TRACKING OFF-SITE.
- I. DEWATERING NO DEWATERING IS ALLOWED FROM CONSTRUCTION SITES UNLESS DISCHARGE IS AN EXCEPTION TO THE DISCHARGE PROHIBITION PER CITY CODE CH. 31.5-12(C). ASBS DRAINAGES HAVE GREATER RESTRICTIONS. ANY PROPOSED DEWATERING MUST BE REVIEWED/CLEARED BY CITY AND APPLICABLE REGULATORY
- J. STORMWATER MIXED WITH NON-STORMWATER SHALL BE MANAGED AS NON-STORM WATER.

CODE SECTIONS CITED REFER TO THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN), CCR T-24, PART 11. REVIEW ALL APPLICABLE CODE SECTIONS CITED FOR FURTHER INFORMATION AND

DEFINITION OF WORK TO BE INCLUDED.





ROUTE OF HAULING: OUTLOOK DRIVE TO CARMEL VALLEY ROAD TO HIGHWAY 1 NORTH

SENSITIVE RECEPTORS: SEE MAP

LOCATION OF PARKING: ON OUTLOOK DRIVE BY THE PROJECT LOCATION

STOCKPILES: NONE

CAL GREEN GENERAL NOTES:

(SEE NOTES 4, 5

SETBACK

VARIES (SEE

NOTE 2)

-2" x 2" WOOD

(SEE NOTE 3)

FABRIC

STAKE B-

JOINING SECTION DETAIL (TOP

VIEW)

NOTES:
1. STAKE DIMENSIONS ARE NOMINAL.

2. DIMENSIONS MAY VARY TO FIT FIELD CONDITIONS.

3. STAKES SHALL BE SPACED AT 8'-0" MAXIMUM

SHALL BE POSITIONED ON DOWNSTREAM SIDE OF

4. STAKES TO OVERLAP AND FENCE FABRIC TO FOLD AROUND EACH STAKE AND FULL TURN. SECURE FABRIC TO STAKE WITH 4 STAPLES.

5. STAKES SHALL BE DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT

FOR END STAKE, FENCE FABRIC SHALL BE FOLDED AROUND TWO STAKES ONE FULL TURN AND

SILOTING SENTONE SHALL NOT BE PLACED AT 4

A-2

JOINT. THE TOPS OF THE STAKES SHALL BE SECURED

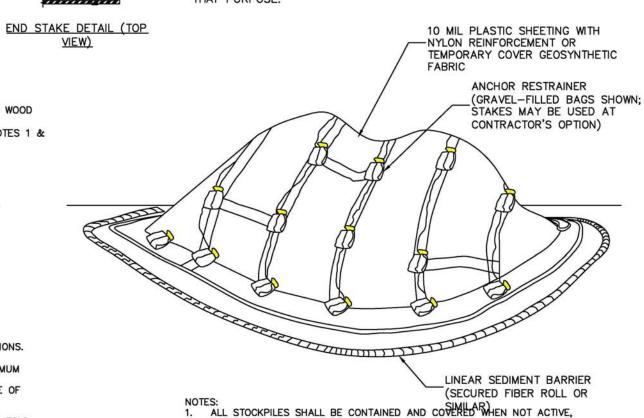
WITH WIRE.

NTSOCATIONS.

SECURED WITH 4 STAPLES.

FABRIC -

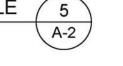
- 1. THESE MANDATORY MEASURES DESCRIBE WORK ITEMS, CONDITIONS PLACED ON WORK ITEMS, INCLUDING DESIGN, SPECIFICATION, AND DOCUMENTATION THAT MUST BE SATISFIED IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE WORK NECESSARY TO SATISFY ALL MANDATORY MEASURES.
- THESE CHECKLISTS WILL BE USED TO DETERMINE COMPLETENESS OF THE PROJECT. WHERE VERIFICATION IS NOTED, OR OTHERWISE REQUIRED TO SUBSTANTIATE COMPLIANCE, PROVIDE ALL DOCUMENTS NECESSARY FOR



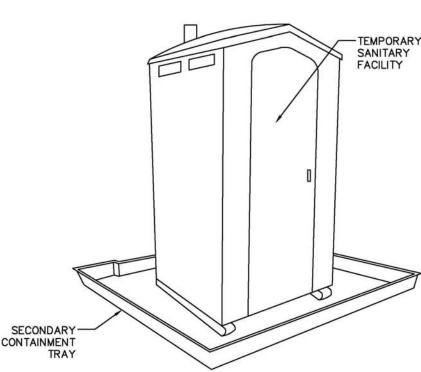
ALL STOCKPILES SHALL BE CONTAINED AND COSERED WHEN NOT ACTIVE. SECURED AT THE END OF EACH DAY.

- STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
- 3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD
 MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS

TEMPORATY COVER ON STOCKPILE NTS



NTS



STORAGE AND DISPOSAL PROCEDURES

1. TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION. IF SITE CONDITIONS ALLOW, PLACE PORTABLE FACILITIES A MINIMUM OF 50 FEET FROM DRAINAGE CONVEYANCES AND TRAFFIC

2. WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING. TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO

A-2

STORMWATER DRAINAGE SYSTEM OF THE RECEIVING WATER. 4. ARRANGE FOR REGULAR WASTE COLLECTION, DO NOT ALLOW SANITARY FACILITY TO BECOME OVERFULL. SANITARY WASTE MANAGEMENT

REVISIONS



Safwat Malek, President safwat@enviro-international.com

Cell: 650.619.8760 PO Box 1734 • Pebble Beach, CA 93953-1734

> All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inemational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the

Copyright 2016-2017. All rights reserved.

S

Construction Management Plan

00003.01 Project number June 7, 2019 Drawn by Author Checker Checked by

A-1.2

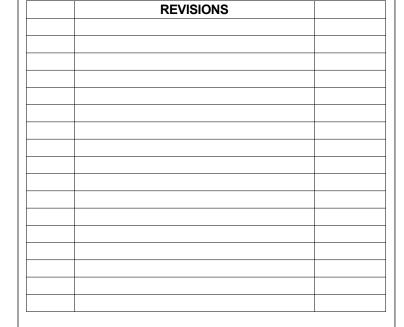
Scale

am

Ž

oje







Safwat Malek, President safwat@enviro-international.com

Cell: **650.619.8760** PO Box 1734 • Pebble Beach, CA 93953-1734

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

Copyright 2016-2017. All rights reserved.

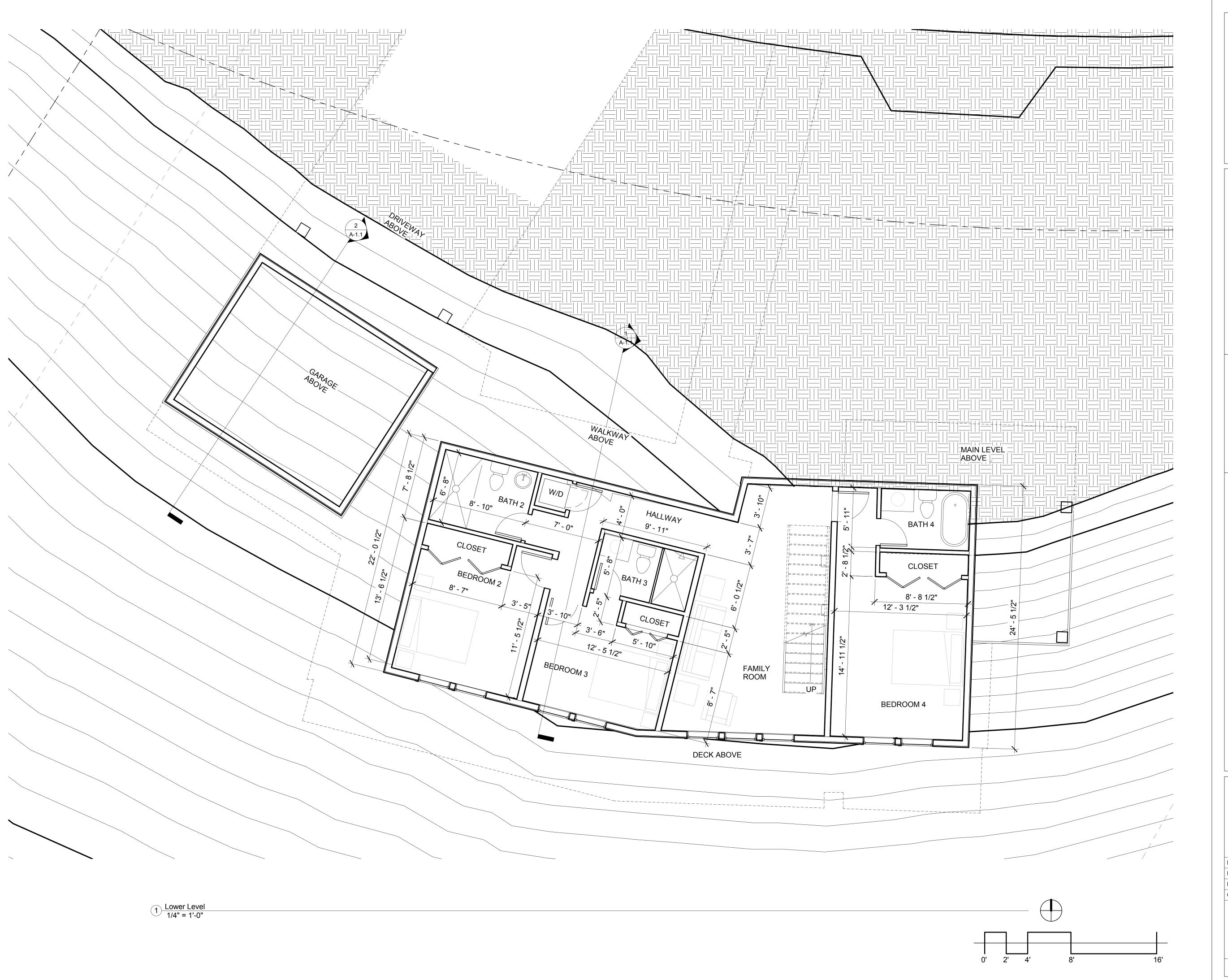
24790 OUTLOOK DR. CARMEL, CA 93923

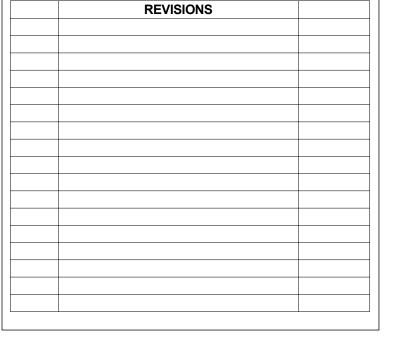
Project Name:

Main Level - Floor Plan

Project number	00003.01
Date	June 7, 2019
Drawn by	Author
Checked by	Checker

A-2





ENVIRO
INTERNATIONAL, INC.
Architects 7308 • Builders 330234

Safwat Malek, President safwat@enviro-international.com

Cell; **650.619.8760** PO Box 1734 • Pebble Beach, CA 93953-1734

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

Copyright 2016-2017. All rights reserved.

24790 OUTLOOK DR. CARMEL, CA 93923

Lower - Level Floor Plan

Project number 00003.01

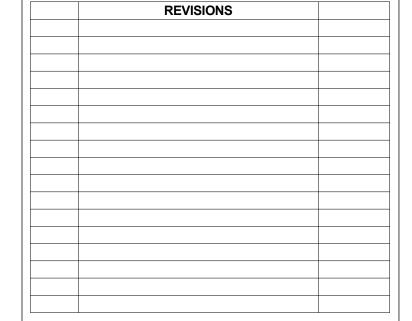
Date June 7, 2019

Drawn by Author

Checked by Checker

A-3







Safwat Malek, President safwat@enviro-international.com

Cell: **650.619.8760** PO Box 1734 • Pebble Beach, CA 93953-1734

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

Copyright 2016-2017. All rights reserved.

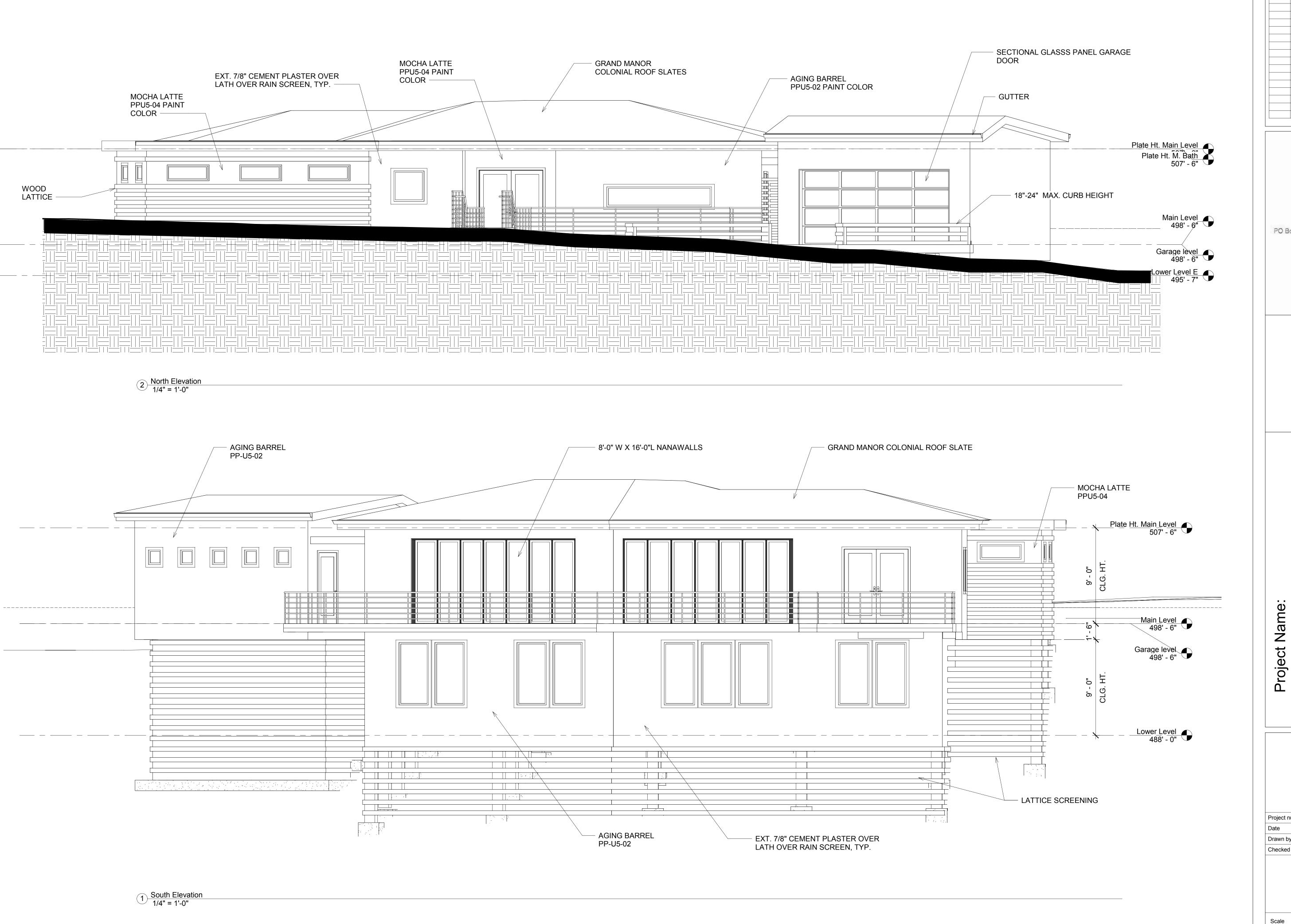
24790 OUTLOOK DR. CARMEL, CA 93923

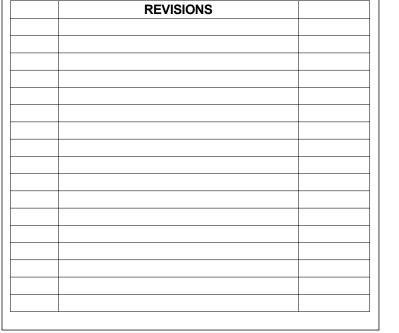
Project Name:

Roof Plan

Project number	00003.01
Date	June 7, 2019
Drawn by	Author
Checked by	Checker

A-4







Safwat Malek, President safwat@enviro-international.com

Cell: 650.619.8760 PO Box 1734 • Pebble Beach, CA 93953-1734

> All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

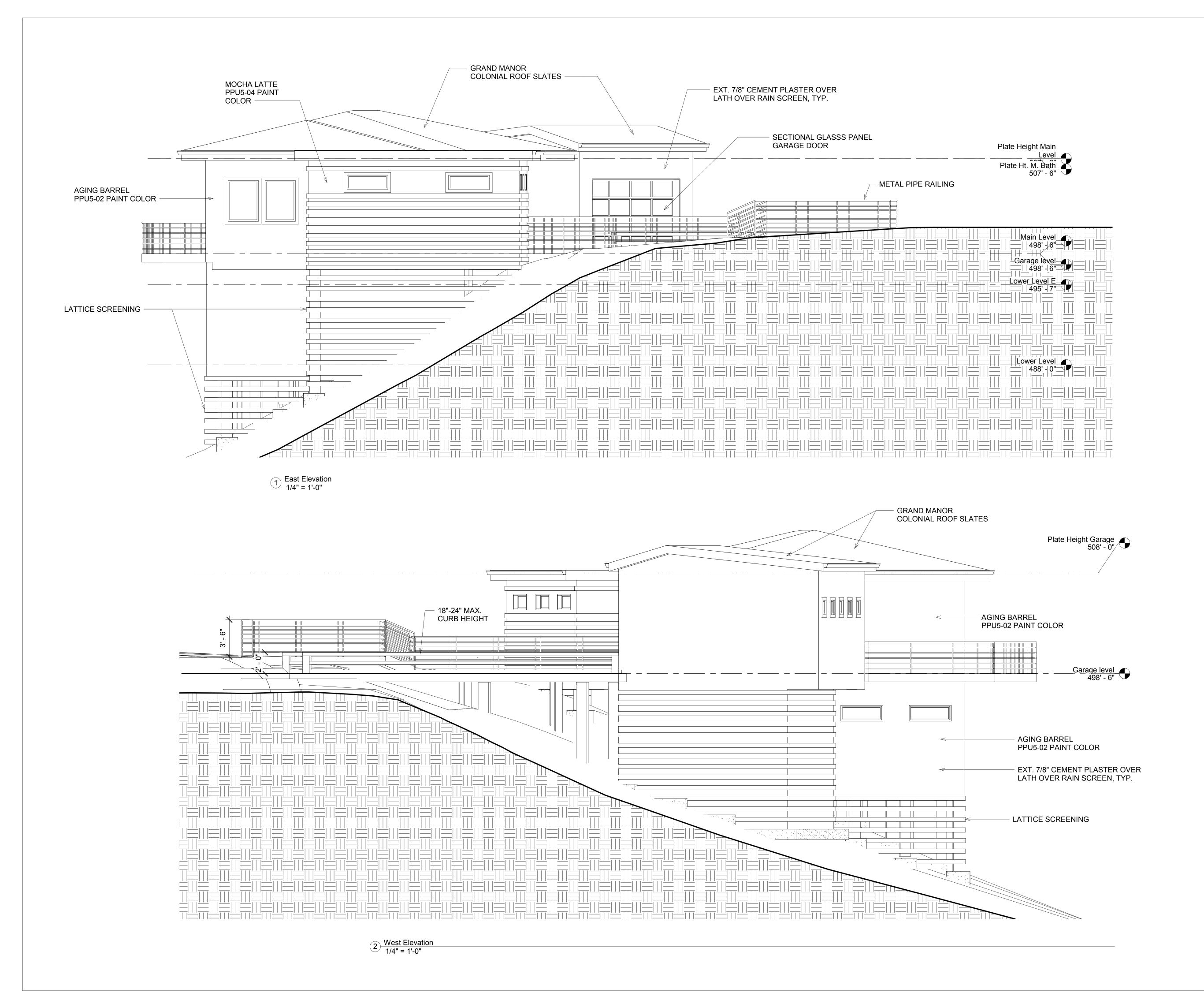
Copyright 2016-2017. All rights reserved.

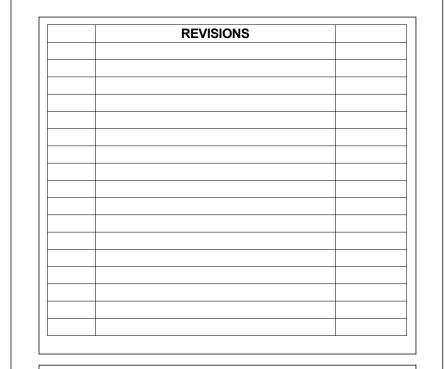
 \mathbb{R}^{2} OK DF 9392 ARME 4790 S

Elevations

Project number	00003.01
Date	June 7, 2019
Drawn by	Author
Checked by	Checker

A-5.0







Safwat Malek, President safwat@enviro-international.com

Cell; **650.619.8760** PO Box 1734 • Pebble Beach, CA 93953-1734

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

Copyright 2016-2017. All rights reserved.

790 OUTLOOK DE ARMEL, CA 93923

4

S

Name

Project |

Scale

Elevations

 Project number
 00003.01

 Date
 June 7, 2019

 Drawn by
 Author

 Checked by
 Checker

A-5.1



REVISIONS	



Safwat Malek, President safwat@enviro-international.com

Cell: **650.619.8760** PO Box 1734 • Pebble Beach, CA 93953-1734

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

Copyright 2016-2017. All rights reserved.

O OUTLOOK DE RMFI CA 93923

Rendered Elevations

	Project number	00003.01
	Date	June 7, 2019
	Drawn by	Autho
	Checked by	Checke

A-5.2

Scale

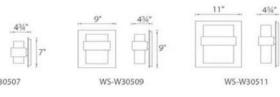


MODERN FORMS



Catalog Number:			
Catalog Number			
Project:			
Location:			
	Q* 43	11"	434"

WS-W30507



PRODUCT DESCRIPTION

A popular understated design updated with a sleek black finish, Pandora brings sculptural sophistication and high-powered energy-efficient LEDs to your overall lighting scheme, whether you mount it inside or out. With its tiered, minimalist form and two points of illumination, you'll never regret opening this box.

SPECIFICATIONS Construction: Aluminum hardware, glass diffuser

r you

Light Source: High output LED

Sinish: Black Oil Rubbed Bronze

Finish: Black, Oil Rubbed Bronze

Standards: ETL & cETL listed, Wet Location, IP65

FEATURES

- Up and down illumination
- No transformer or driver neededColor Temperature: 3000K
- Dimmer: ELV
- CRI: 85Rated Life: 50,000 hours

ORDER NUMBER

Model		Wattage	Voltage	LED Lumens	Delivered Lumens	Finish		
WS-W30507	7"	12W		270	200	12000	124 - 14	
WS-W30509	9"	20W	120V	546	410	BK	Black	
WS-W30511	11"	28W		550	415	ORB	Oil Rubbed Bronze	

Example: WS-W30509-ORB

 modernforms.com
 Headquarters/Ea

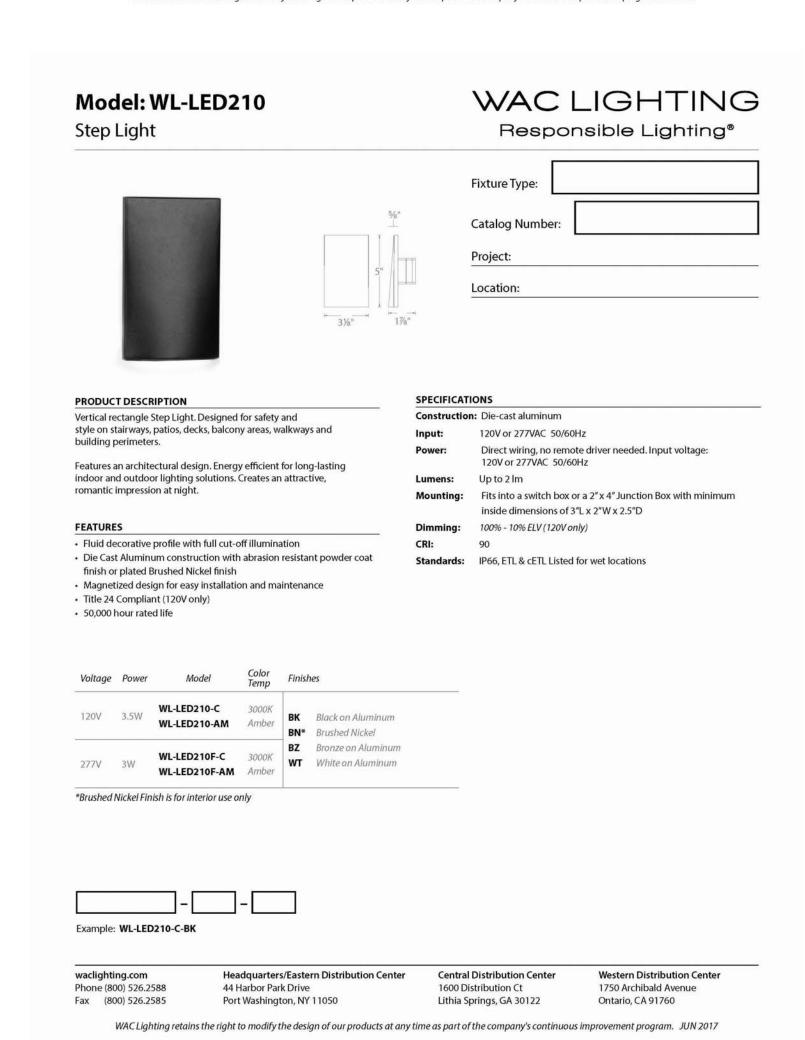
 Phone (866) 810.6615
 44 Harbor Park Dr

 Fax (800) 526.2585
 Port Washington,

Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050 Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122 Western Distribution Center 1750 Archibald Avenue

Ontario, CA 91760

Modern Forms retains the right to modify the design of our products at any time as part of the company's continuous improvement program. Feb 2018



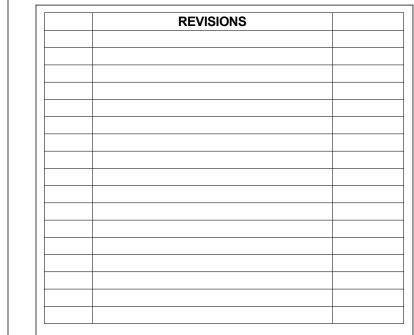


EXTERIOR LIGHTING LEGEND						
\bigcirc	WALL SCONCE					
	STEP LIGHT					

EXTERIOR LIGHTING SCHEDULE				
DESCRIPTION	FINISH	WATTAGE	QUANTITY	
PANDORA EXTERIOR WALL SCONCE	BRONZE	28 WATTS	36	
WAC STEP LIGHT	BRONZE ON ALUMINUM	3.5 WATTS	14	

EXTERIOR LIGHTING NOTES:

- 1. ALL LIGHT CIRCUITS SHALL REMAIN SEPARATE FROM THE ELECTRICAL CIRCUITS.
- 2. ALL FIXTURES AND SWITCH LOCATIONS ARE SCHEMATIC. CONTRACTOR SHALL PERFORM A WALK THROUGH WITH THE OWNER FOR VERIFICATION
- OF LOCATIONS PRIOR TO INSTALLATION.
 3. ALLLIGHTING LOCATED OUTDOORS SHALL BE HIGH EFFICINECY LUMINAIRES.
- 4. LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE INSTALLED SO THAT WATER CANNOT ENTER OR ACCUMULATE IN WIRING
- COMPONENTS, LAMPHOLDERS, OR OTHER ELECTRICAL PARTS AND SHOULD BE MARKED "SUITABLE FOR WET OR DAMP LOCATIONS" AND SHALL BE SHIELDED TO PREVENT. GLARE OR DIRECT ILLUMINATION ON PUBLIC STREETS OR ADJACENT PROPERTIES.
- 5. ALL EXTERIOR STAIRS SHALL BE PROVIDED WITHA MEANS TO ILLUMINATE STAIRS, INCLUDING LANDINGS AND TREADS.





Safwat Malek, President safwat@envirc-international.com

Cell: **650.619.8760**PO Box 1734 • Pebble Beach, CA 93953-1734

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of ENVIRO Inernational, INC. and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used, duplicated or copied by any mean for any purpose without the written permission of the Architect.

Copyright 2016-2017. All rights reserved.

90 OUTLOOK DANGEL, CA 9392

Project

Exterior Lighting Plan

4

	Project number	00003.01
	Date	June 7, 2019
	Drawn by	JT
	Checked by	SM
1		

A-6

ale 3/16" = 1'-0"

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN AND IRRIGATION DESIGN PLAN"



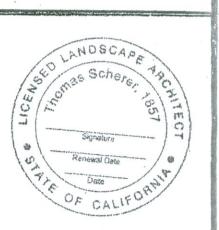
See the second s



THOMAS SCHERER
ASSOCIATES

Landscape Architecture

P.O. Box 68, Aptos, CA 95001 Tel (831) 688-8913 Fax (831) 688-3135



sheet title

Landscape Concept Plan

> Residence 24790 Outlook Drive Carmel, CA 93921 APN: 015-032-004

revisions

5-6-2019 TS
Additional Screening
Trees & Shrubs

date 3-7-2019

drawn TS

sheet no

L-2

- LATEST REVISION OF THE COUNTY OF MONTEREY DESIGN STANDARDS AND SPECIFICATIONS - THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND

SPECIFICATIONS (STATE SPECIFICATIONS) - THE PROJECT GEOTECHNICAL INVESTIGATION (DATED JANUARY 18, 2019, BY SOIL SURVEYS GROUP INC.) - THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEnC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRES CODE (CFC).

2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN

3. IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. GRADING PERMITS EXPIRE 180 DAYS FROM ISSUANCE DATE.

4. THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

6. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND MAINTAIN A CURRENT DIG ALERT/811 TICKET THROUGHOUT THE PROJECT.

7. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.

8. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.

9. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL AND DISPOSE OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: ASPHALT, CONCRETE STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE, EXCESS FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT-BALLS FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE.

11. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.

12. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AND BUILDING OFFICIALS AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.

13. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

14. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH

B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST. C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST. D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

15. A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

16. PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY

STORM DRAIN

1. ALL STORM DRAIN PIPING 6"-24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE-S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS-N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.

2. ALL STORM DRAIN PIPE SHALL BE RIGID. NO FLEX PIPE.

SANITARY SEWER

1. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PLASTIC GRAVITY SEWER PIPE WITH INTEGRAL WALL BELL AND SPIGOT JOINTS. ALL SOLID WALL PIPE, FITTINGS AND COUPLINGS IN 4" THROUGH 15" INCH DIAMETERS SHALL CONFORM TO ASTM 03033 AND ASTM 03034, SDR 35 MINIMUM.

2. SANITARY SEWER CLEAN OUTS SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET.

BENCHMARK

ELEVATION SHOWN ARE BASED ON A ASSUMED DATUM. PROJECT BENCHMARK ELEVATION - MAG NAIL & SHINER ON OUTLOOK DRIVE. ELEVATION = 500.00 FEET.

GRADING & DRAINAGE

1. CONTRACTOR SHALL NOTIFY COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.

2. ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE AND THE PROJECT SOILS REPORT.

3. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST THREE (3) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO

5. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOIL ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL INVESTIGATION. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.

6. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB-GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL AS DIRECTED IN THE FIELD BY THE SOIL ENGINEER.

7. MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE DIRECTED IN WRITING BY THE SOILS ENGINEER.

8. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.

9. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROO-TBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.

10. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.

11. EARTHWORK QUANTITIES:

CUT = 0 CYFILL = 0 CY

NET = 0 CY FILL

MAXIMUM HEIGHT OF EXCAVATION O MAXIMUM HEIGHT OF EMBANKMENT O

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

12. ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.

13. PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

14. INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB-DRAINS AND FOUNDATION SUB-DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.

15. BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN ALONG THE CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.

16. ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.

17. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE

A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.

B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.

C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

D. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806-16.12.090)

18. VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL.

19. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

20. PREPARATION OF GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY THE REMOVAL OF TOPSOIL AND OTHER UNSUITABLE MATERIALS.

21. PREPARATION OF GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY THE

REMOVAL OF TOPSOIL AND OTHER UNSUITABLE MATERIALS AS DETERMINED BY THE SOIL ENGINEER.

22. PREPARATION OF THE GROUND. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL.

23. FILL MATERIAL PERMITTED. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILL EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.

24. THE ULTIMATE PURPOSE OF GRADING IS FOR THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE WITH AND

UNDERGROUND UTILITIES

1. CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.

2. ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.

3. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

4. PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.

5. SHOULD ANY WATER SYSTEM MAINS OR SERVICES BE DAMAGED BY THE CONTRACTOR, THE WATER SYSTEM SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

TREE PROTECTION NOTES

THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

1. MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

2. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW ONTO THE GROUND. ALL CONTAMINANTS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CASAQ CONSTRUCTION BEST MANAGEMENT PRACTICES. SEE EROSION CONTROL PLAN SHEET C4.

3. TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

4. VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING. VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.

1. NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP-LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY FORESTER.

2. ROOT PRUNING: ALL ROOTS TWO INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

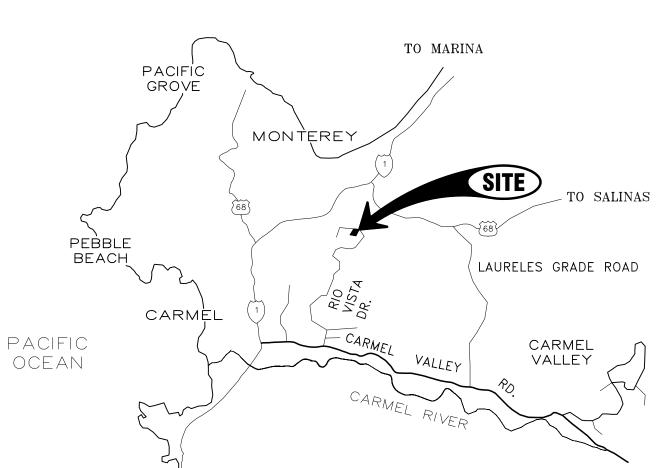
THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

1. PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY THE CITY FORESTER. FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLE THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.

2. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.

3. PROTECTIVE FENCING SHALL BE AT LEAST FOUR (4) FEET HIGH, CLEARLY VISIBLE, AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.

4. THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN TEN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN TEN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH THE CITY FORESTER ON BARK PROTECTION REQUIREMENTS.



VICINITY MAP

LEGEND

EXISTING		BOUNDARY LINE	PROPOSED
		EASEMENT (ESMT)	
		CENTERLINE (CL)	
SD		STORM DRAIN MAIN	SD
		ROOF DRAIN LATERAL	
SS		SANITARY SEWER MAIN	ss
——— W ———		WATER MAIN	w
	← ←	DRAINAGE FLOW LINE	$\longrightarrow \longrightarrow \longrightarrow \longrightarrow \longrightarrow \longrightarrow$
		SAWCUT	
GB GB GB	- GB GB	GRADE BREAK	——————————————————————————————————————
		ACCESSIBLE PATH OF TRAVEL	
— — ·170· —		MAJOR CONTOUR	170
— · · · · · · · · · · · · · · · · · · ·		MINOR CONTOUR	169
X X	_ ×	FENCE	xxx
	× 405.46	SPOT ELEVATION	∙FG 171.13
	-	DROP INLET (DI)	
		CURB INLET (CI)	
		AREA DRAIN (AD)	■ AD
	SDMH (STORM DRAIN MANHOLE (SDMH)	● SDMH
	SSMH (SANITARY SEWER MANHOLE (SSMH)	● SSMH
	\checkmark	FIRE DEPARTMENT CONNECTION (FDC)	Ŷ FDC
	FH 🏷	FIRE HYDRANT (FH)	₩FH
	SIN	POST INDICATOR VALVE (PIV)	PIL PIL
	WM M	WATER METER (WM)	WM
	$\forall \forall $	WATER VALVE (WV)	H
	\triangleright	CHECK VALVE	◀
		DOUBLE CHECK VALVE	4
	0	CLEANOUT (CO)	

SHEET INDEX

COVER & GENERAL NOTES

SLOPE MAR GRADING & DRAINAGE PLAN

DETAILS & SECTIONS EROSION CONTROL PLAN

WHEN THE INSPECTION IS TO BE COMPLETED:	WHO WILL CONDUCT THE INSPECTION:	INSPECTION ITEM:	INSPECTION COMPLETED BY:	DATE COMPLETED:
PRIOR TO BACKFILLING DURING BACKFILL PLACEMENT — OPENING	GEOTECHNICAL INSPECTOR	INSPECT & TEST KEYWAY /SUBEXCAVATION /OVEREXCAVATON:		
1) PRIOR TO EXCAVATION FOOTINGS OR PLACEMENT OF SLAB-ON-GRADE MATERIALS	GEOTECHNICAL INSPECTOR	INSPECT & TEST PAD SUBGRADE:		
1) PRIOR TO CONCRETE PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT SLAB-ON-GRADE INSTALLATION:		
1) PRIOR TO REINFORCEMENT PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT FOUNDATION AND/OR RETAINING WALL FOOTING EXCAVATIONS:		
1) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST RETAINING WALL BACKFILL:		
1) DURING FILL PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRIVEWAY FILL, SUBGRADE AND BASE ROCK PLACEMENT:		
2) SUBGRADE, PRIOR TO BASE ROCK PLACEMENT				
3) BASEROCK PRIOR TO AC, CONCRETE OR				
PAVEMENT				
1) AFTER PIPE PLACEMENT, PRIOR TO TO	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRAINAGE INSTALLATION:		
BACKFILL PLACEMENT 2) DURING BACKFILL PLACEMENT - ONGOING				
1) AFTER TANK PLACEMENT 2) DURING BACKFILL PLACEMENT — ONGOING	GEOTECHNICAL INSPECTOR	INSPECT SEPTIC INSTALLATION:		

TABLE PROVIDED FOR REFERENCE ONLY. C3 ENGINEERING, INC. IS NOT RESPONSIBLE FOR INSPECTIONS, THE SCHEDULING OF INSPECTIONS OR VERIFYING INPECTIONS HAVE BEEN COMPLETED.

ଶ୍ୟାୟାୟାୟାୟାୟା

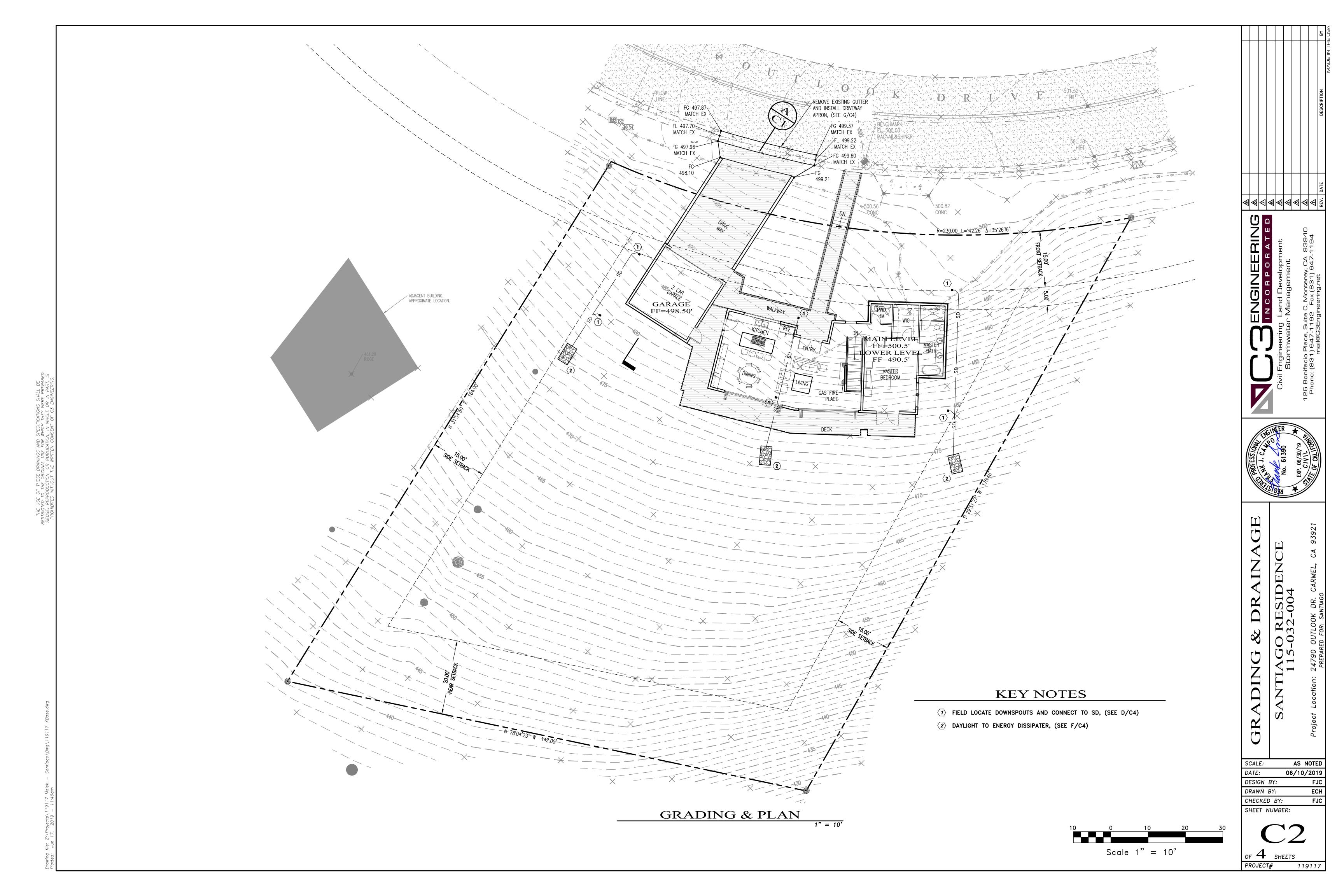
HEET NOT

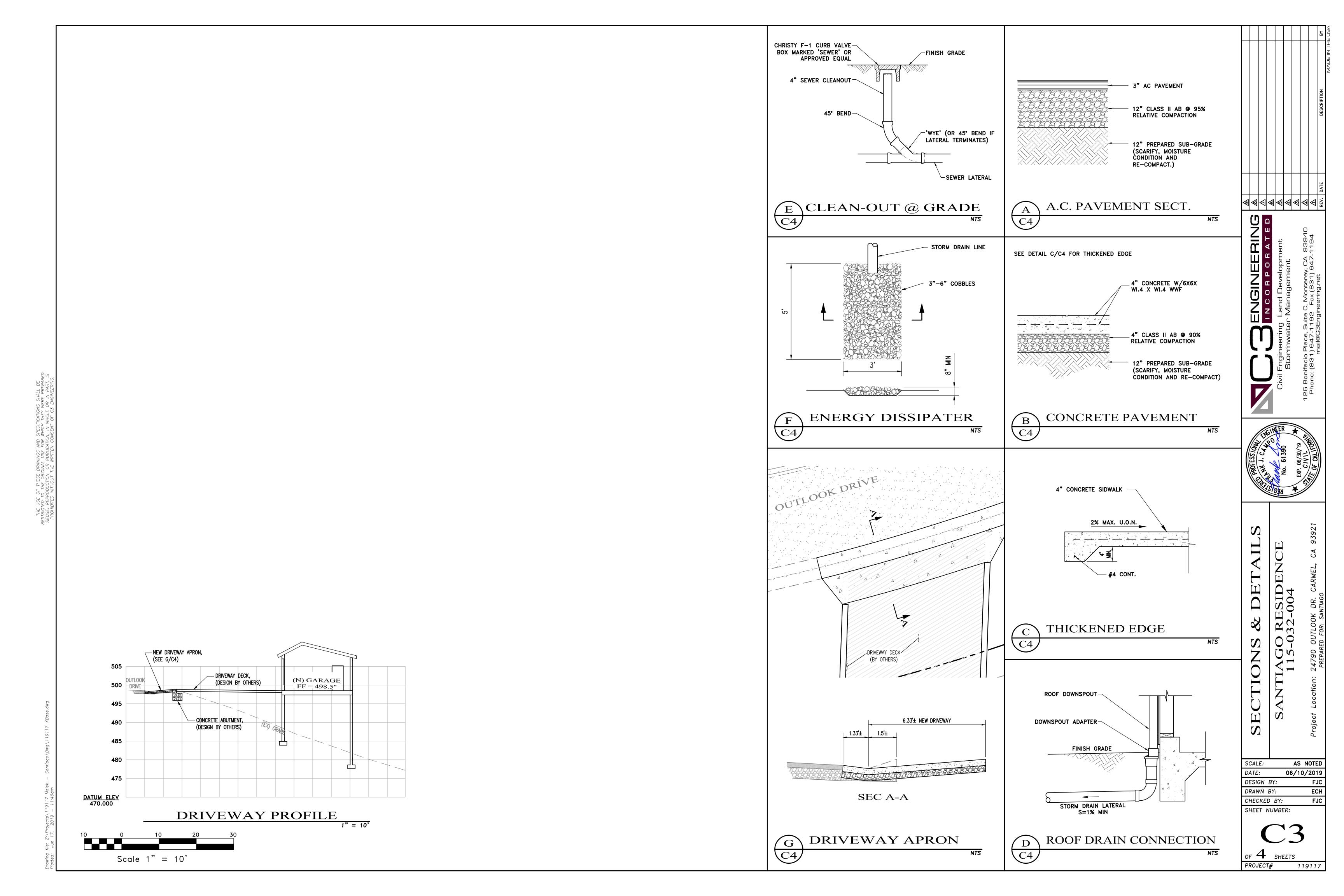
AS NOTED 06/10/2019 SIGN BY: FJC

ECH AWN BY: ECKED BY: EET NUMBER:

OF 🛨 SHEETS

PROJECT# 119117





EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.

C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST. D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.

2. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

3. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.

4. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:

A) VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.

B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES. C) RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS. VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF

THE PROJECT. D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.

(GRADING/EROSION ORD. 2806-16.12.090) E) THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

5. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

EROSION CONTROL NOTES

6. ALL POLLUTANTS AND THEIR SOURCES. INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY ARE CONTROLLED;

CONTROLLED, OR TREATED;

8. SITE BMPS ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY

9. STABILIZATION BMPS INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETED.

10. BEST MANAGEMENT PRACTICES (BMPS) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY. FACT SHEETS, AND DETAILS FOR THE BMPS SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE

11. CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE & EQUIPMENT CLEANING, VEHICLE & EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION & CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT.

INSPECTIONS

PRIOR TO LAND DISTURBANCE

THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPS INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

FOLLOWING ACTIVE CONSTRUCTION: THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

PRIOR TO FINAL INSPECTION: THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE WATER RESOURCES AGENCY TO ENSURE ALL NECESSARY DRIVEWAY RUNOFF MEASURES ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH RESPECTIVE WATER RESOURCES POLICIES.

7. ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED,

FILTER FABRIC.

SPILLWAY, 1-BAG HIGH SANDBAGS, 2-BAGS HIGH

→FLOW

1. INTENDED FOR SHORT-TERM USE. 2. USE TO INHIBIT NON-STORM WATER FLOW. 3. ALLOW FOR PROPER MAINTENANCE AND CLEANUP. 4. BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETE. 5. NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT

CURB INLET PROTECTION

BMP'S

EROSION CONTROL: EC-1 SCHEDULING

EC-2 PRESERVATION OF EXISTING VEGETATION EC-3 HYDRAULIC MULCH

EC-4 HYDROSEEDING EC-8 WOOD MULCHING EC-16 NON-VEGETATIVE STABILIZATION

SE-1 SILT FENCE SE-2 SEDIMENT BASINS

SE-3 SEDIMENT TRAP SE-5 FIBER ROLL SE-6 GRAVEL BAG BERM

SE-13 COMPOST SOCKS AND BERMS

SE-7 STREET SWEEPING AND VACUUMING SE-8 SANDBAG BARRIER SE-9 STRAW BALE BARRIER SE-10 STORM DRAIN INLET PROTECTION

SE-14 BIOFILTER BAGS **RACKING CONTROL:** TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT

WIND EROSION CONTROL:
WE-1 WIND EROSION CONTROL

TC-3 ENTRANCE/OUTLET TIRE WASH

NON-STORM WATER MANAGEMENT:

NS-1 WATER CONSERVATION PRACTICES NS-2 DEWATERING OPERATIONS NS-3 PAVING AND GRINDING OPERATIONS NS-6 ILLICIT CONNECTION/DISCHARGE

NS-7 POTABLE WATER/IRRIGATION NS-8 VEHICLE AND EQUIPMENT CLEANING NS-9 VEHICLE AND EQUIPMENT FUELING NS-10 VEHICLE AND EQUIPMENT MAINTENANCE

NS-12 CONCRETE CURING NS-13 CONCRETE FINISHING NS-14 MATERIAL AND EQUIPMENT USE

WASTE MANAGEMENT AND MATERIAL **POLLUTION CONTROL:**

WM-1 MATERIAL DELIVERY AND STORAGI WM-2 MATERIAL USED WM-3 STOCKPILE MANAGEMENT

WM-4 SPILL PREVENTION AND CONTROL WM-5 SOLID WASTE MANAGEMENT WM-6 HAZARDOUS WASTE MANAGEMEN WM-7 CONTAMINATED SOIL MANAGEMENT WM-8 CONCRETE WASTE MANAGEMENT

WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

WM-10 LIQUID WASTE MANAGEMENT

REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

LEGEND

PROPOSED DRAINAGE FLOW FIBER ROLL,

(SEE A/C5)

STORMWATER MANAGEMENT

THE FOLLOWING STANDARD BMPS SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MONTEREY REGIONAL STORMWATER MANAGEMENT PROGRAM:

1. MINIMIZE USE OF OIL-BASED PAINTS 2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER 3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE.

4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.

PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:

1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.

2. CONSERVE MATERIALS. DON'T MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS. 3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.

4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.

READY-MIXED CONCRETE: 1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY—MIX TRUCK.

IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION. 3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION.

4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BATCH PLANT FOR TREATMENT/RECYCLING. 5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT

EARTH MOVING/GRADING:

1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.

IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.

2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING

3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK. 4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS. 5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.

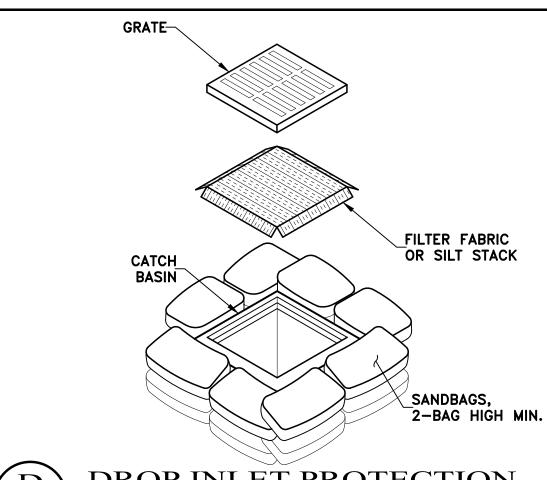
6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.

PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPS INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION. THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

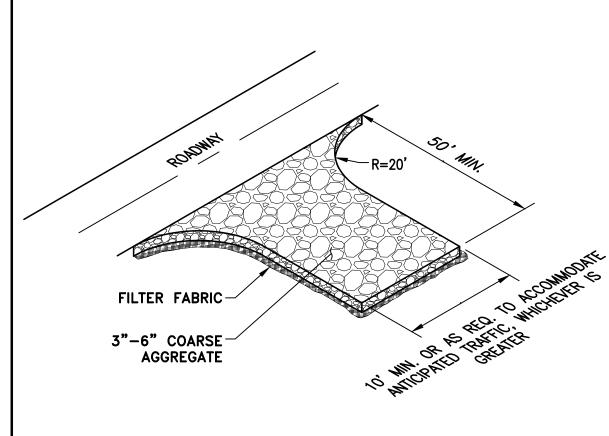
PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE RMA-ENVIRONMENTAL SERVICES A LETTER FROM A LICENSED PRACTITIONER.



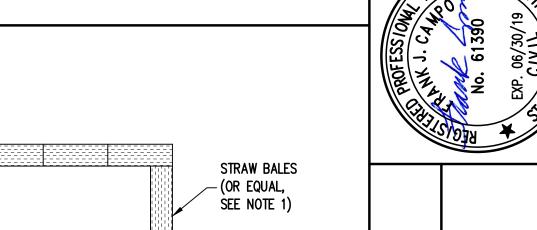
DROP INLET PROTECTION C5

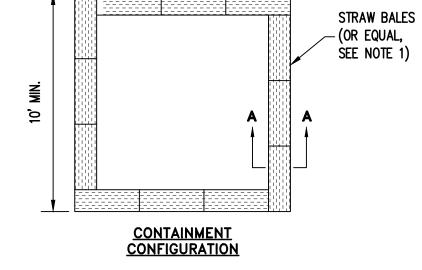
NOTE: INSTALL FIBER ROLL ON LEVEL CONTOUR. -INSTALL NEAR TRANSITIONS TO STEEPER SLOPES

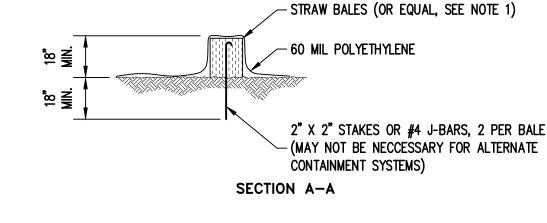


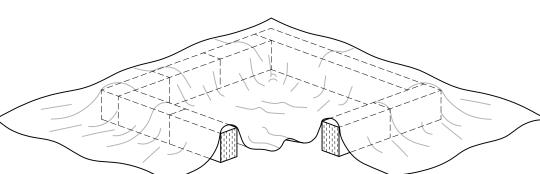








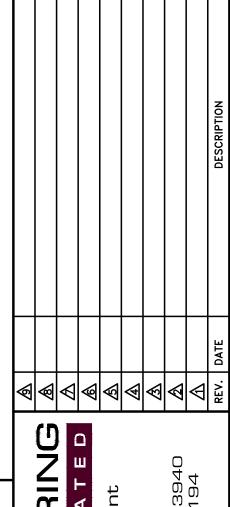


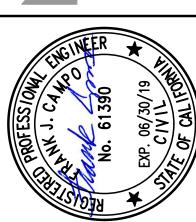


THIS SECTION REMOVED FOR GRAPHICAL REPRESENTATION ONLY. CONTAINMENT PERIMETER SHALL BE CONTINUOUS.

1. CONTRACTOR MAY FABRICATE OR USE PRE-FAB CONTAINER IN LIEU OF STRAW BAILS. 2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND AWAY FROM DRAINAGE INLETS OR WATERCOURSES







X

SCALE: AS NOTED 06/10/2019 DATE: DESIGN BY: FJC DRAWN BY: ECH CHECKED BY:

SHEET NUMBER:

OF 4 SHEETS PROJECT# 119117

This page intentionally left blank