

Exhibit B

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**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

BRADLEY (PLN180334)

RESOLUTION NO. _____

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving an after-the-fact Coastal Administrative Permit to allow demolition of a single family dwelling and Coastal Administrative Permit and Design Approval to allow construction of a new 4,263 square foot single family dwelling including attached garage.

[3226 San Lucas Road, Carmel, Carmel Area Land Use Plan (APN: 009-051-003-000)]

The Bradley application (PLN180334) came on for a public hearing before the Monterey County Zoning Administrator on October 31, 2019. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY/ SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Carmel Area Land Use Plan (LUP) and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.
EVIDENCE:
 - a) The proposed project includes construction of a 4,263 square foot single family dwelling and attached garage.
 - b) The property is 0.272-acre (11,846 square feet) in size and is located at 3226 San Lucas Road, Carmel (Assessor's Parcel Number 009-051-003-000), Carmel Area Land Use Plan, Coastal Zone. The parcel is zoned Medium Density Residential/2 units per acre, with a Design Control overly (Coastal Zone) [MDR/2-D(CZ)]. MDR zoning allows residential development as a principle use subject to the granting of a Coastal Administrative Permit in each case.
 - c) On October 19, 2017, an over-the-counter Design Approval was approved (PLN170878) allowing the construction of a 500 square foot addition to an existing single family dwelling and built up roof system. The applicant obtained a building permit on December 21, 2017 and began construction on the improvements. On January 16, 2018, staff became aware that the entire house had been demolished

which is beyond the scope of work authorized in the approved permits. A stop work order was placed on the property until appropriate permits were obtained. The applicant now proposes to obtain after-the-fact approval for demolition of the existing single family dwelling and a permit to allow construction of a new single family dwelling with an attached garage (4,263 square feet total).

- d) The County received communication from an interested member of the public indicating inconsistencies with the text, policies, and regulations in the applicable plans and Monterey County Code (MCC); however, revisions have been made to the project that address the concerns raised. As revised and conditioned, the project is consistent with the text, policies, and regulations in the Carmel Land Use Plan. Concerns expressed by the member of the public involve legal nonconforming setbacks of an existing garage and parking requirements. The applicant has amended their plans to remove the non-conforming garage located in the front setback and to construct a new garage attached to the single family dwelling (meeting setback requirements). See also, Evidence e and g below.
- e) Setbacks. MCC Title 20.12.060 outlines site development standards for the Medium Density Residential districts in the Coastal Zone. It requires main structures to have a front setback of 20 feet (front), 10 feet (rear), and 5 feet (sides). The proposed residence has a 20-foot front setback, 24-foot rear setback, and five-foot side setbacks. The applicant also proposes to use the property's natural topography to include a lower level to the home, which would make the height for this proposed residence 16 feet and eight inches, well below the height maximum of 30 feet. Floor area ratio for the MDR/2 zoning designation in the Carmel community is 45%, or 5,331 square feet. This home would be a total of 4,263 square feet. Therefore, the project as proposed meets all site development standards for the MDR/2 zoning district.
- f) Design. Pursuant to MCC Chapter 20.44, the proposed project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed exterior colors and materials include earth-tone stone veneer walls and existing clay roofing. The proposed exterior finishes blend with the existing colors, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- g) Parking. The property has been redesigned to ensure it meets front setbacks along with parking requirements under Title 20. The front setback for main structures is 20 feet and there must be one covered and one uncovered parking space for this home. The proposed two car attached garage is setback 20 feet from the property line and provides an area for parking two cars. This project therefore meets parking requirements for this zoning district.
- h) The following technical reports have been prepared:

- Phase I Historic Report (LIB180072) prepared by Kent L. Seavey, Pacific Grove, California, August 28, 2017.
- Arborist Survey (LIB180038) prepared by Andrew Tope, Pacific Grove, California, January 17, 2018.

County staff has independently reviewed these reports and concurs with their conclusions.

- i) The property is serviced by the Carmel Area Wastewater District for sewer and Monterey Peninsula Water Management District for water.
- j) Pursuant to the LUAC Procedure Guidelines adopted by the Monterey County Board of Supervisors, administrative (i.e., projects not requiring a public hearing) permits and design approvals are not normally sent to the LUACs for review. However, due to the requests for a public hearing, the project was referred to the Carmel Unincorporated/Highlands Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the proposal at a duly-noticed public meeting on May 20, 2019 and recommended approval of the project by a vote of 5-0. Neighbors who had voiced concerns reviewed changes of the site plan agreed with changes proposed.
- k) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN180334.

2. **FINDING:** **VIOLATIONS** – The subject property is in not compliance with all rules and regulations pertaining to zoning. Violations exist on the property. The approval of this permit will correct the violations and bring the property into compliance. The applicant performed demolition and construction work outside the scope of their original permit (PLN170878) so the County placed a stop work order on the property until the appropriate permits are obtained.

- a) On October 19, 2017, an over-the-counter Design Approval was approved (PLN170878) allowing the construction of a 500 square foot addition to an existing single family dwelling and built up roof system. The applicant obtained a building permit on December 21, 2017 and began construction on the improvements. On January 16, 2018, staff became aware that the entire house had been demolished which is beyond the scope of work authorized in the approved permits. A stop work order was placed on the property until appropriate permits were obtained. The applicant now proposes to obtain after-the-fact approval for demolition of the existing single family dwelling and a permit to allow construction of a new single family dwelling with an attached garage (4,263 square feet total).
- b) Twice the normal fee for the after-the-fact permit has been charged.
- c) Approval of this discretionary permit would allow the applicant to continue construction of the proposed single-family dwelling and garage.

3. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE: a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small

facilities or structures, including habitable and non-habitable structures accessory to a single-family dwelling or residential use.

- b) The subject project consists of demolition of an existing single family dwelling and construction of a single-family dwelling with an attached garage in a residential zone. Therefore, the proposed development is consistent with the exemption parameters of CEQA Guidelines Section 15303(a).
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact.
- d) No adverse environmental effects were identified during staff review of the development application.

4. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.146.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) The subject property is not described as an area where the applicable Local Coastal Program requires public access (Figure 3, Public Access, in the Carmel Area Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) The Carmel Area Land Use Plan Policy 5.3.3.4.c protects public visual access and requires that structures and landscaping placed upon land west of Highway 1 shall be sited and designed to retain public views of the shoreline. The subject property is located west of Highway 1; however, the subject property does not obstruct public views of the shoreline from the Highway 1, therefore construction of the proposed single-family dwelling will not obstruct public visual access.

5. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and not the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20). An appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), this project is not subject to appeal by/to the California Coastal Commission because: 1. The project is not between the sea and the first through public road paralleling the sea or located within 300 feet of the inland extent of any beach or of the mean high tide line of the sea; 2. It is not located

on tidelands, submerged lands, public trust lands, estuary, stream or within 300 feet of the top of the seaward face of any coastal bluff; 3. The project does not include development that is permitted in the underlying zone as a conditional use; and 4. It does not involve development which constitutes a major public works project or major energy facility.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project is a single-family dwelling which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approve an after-the-fact Coastal Administrative Permit to allow demolition of a single family dwelling and Coastal Administrative Permit and Design Approval to allow construction of a new 4,263 square foot single family dwelling including attached garage, in general conformance with the attached plans and five (5) conditions of approval, both being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 31st day of October, 2019.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN180334

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit and Design Approval (PLN180334) allows the demolition of an existing single family dwelling and the construction of a new 4,263 square foot single family dwelling including attached garage. The property is located at 3226 San Lucas Road in Carmel (Assessor's Parcel Number 009-051-003-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the RMA Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number) was approved by the Zoning Administrator for Assessor's Parcel Number 009-051-003-000 on October 31, 2019. The permit was granted subject to five (5) conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the RMA Chief of Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. STORMWATER CONTROL PLAN (PR1)

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a stormwater control plan addressing the Post-Construction Requirements (PCRs) for Development Projects in the Central Coast Region. The stormwater control plan shall incorporate the measures identified on the completed the Site Design and Runoff Reduction Checklist. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a stormwater control plan to RMA-Environmental Services for review and approval.

5. WINTER INSPECTIONS - AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)

Responsible Department: Environmental Services

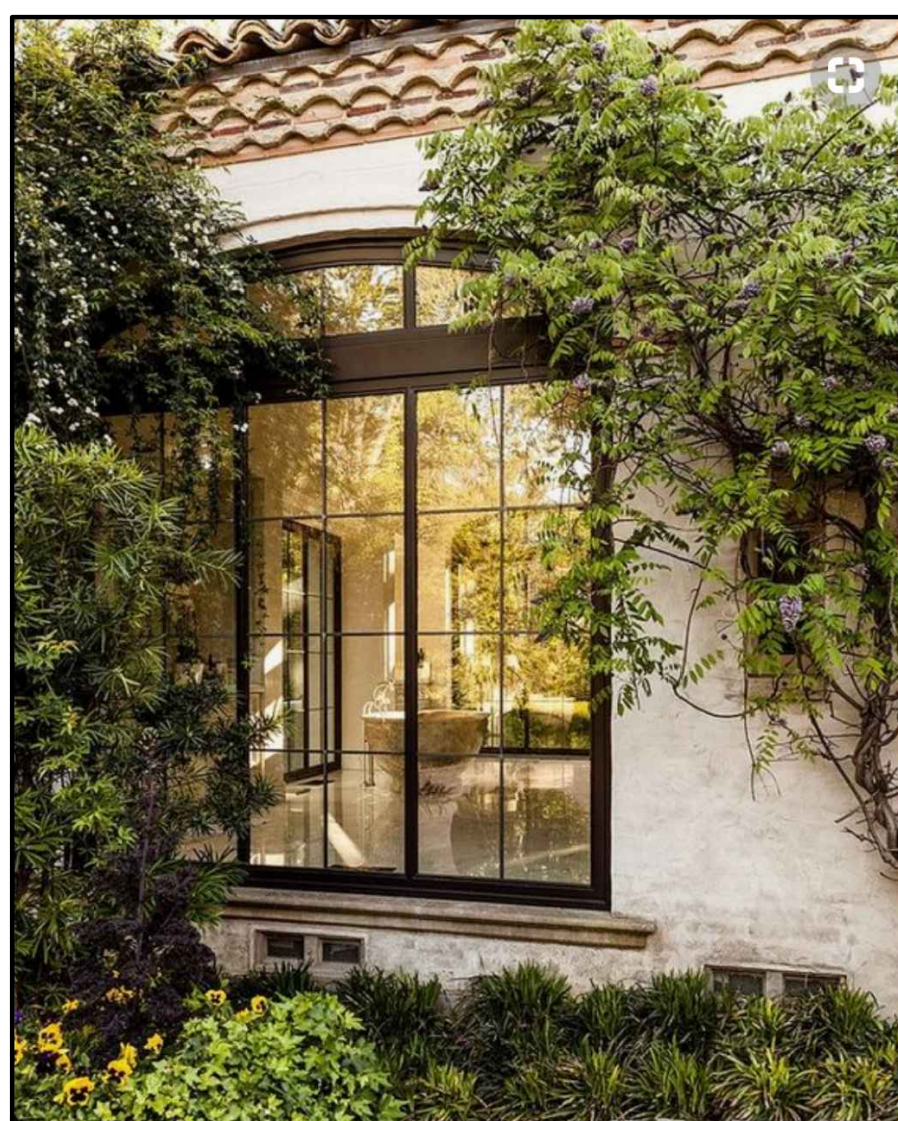
Condition/Mitigation Monitoring Measure: The owner/applicant shall schedule weekly inspections with RMA-Environmental Services during the rainy season, October 15th to April 15th, to ensure contaminants are not discharged into the Carmel Bay Area of Special Biological Significance. This inspection requirement shall be noted on the Erosion Control Plan. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: During construction, the owner/applicant shall schedule weekly inspections with RMA-Environmental Services in the rainy season (October 15th to April 15th).

1. THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA GREEN CODE, 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA ENERGY CODE (CENC).

SAMPLE PHOTOS OF PROPOSED MATERIALS AND ARCHITECTURAL STYLE

PROPOSED MATERIALS TO MATCH AND IMPROVE QUALITY OF EXISTING CLAY ROOFING TILES, LA HABRA EGG SHELL STUCCO WALLS, CARMEL STONE, A MIX OF METAL AND WOOD WINDOWS. ADD ARCHITECTURAL ACCENTS WITH METAL STANDING SEAM AWNINGS.



APRIL 12, 2019

DATE	December 20, 2018
SCALE	NTS
DRAWN BY	TR
JOB NUMBER	# 1714

TITLE
COVER SHEET, PROJECT DATA, MATERIAL SAMPLES

BRADLEY RESIDENCE

3226 SAN LUCAS ROAD, CARMEL CA 93923

SCOPE OF WORK

THE PROPOSED SCOPE OF WORK IS AN EXPANSION OF THE APPROVED SUBMITTALS, SEE PROJECT PERMIT HISTORY BELOW

- DEMOLISH (E)NON CONFORMING GARAGE
- DEMOLISH (E)NON CONFORMING GUEST HOUSE
- ADD 2664 SF OF LIVING SPACE AND 443SF OF ATTACHED GARAGE SPACE TO EXISTING 1156 SF SINGLE STORY RESIDENCE, FOR A TOTAL OF 4263SF. PROPOSED RESIDENCE WILL HAVE 4 BEDROOMS, 3 FULL BATHS, 2 HALF BATHS, A TWO CAR GARAGE AND A 778 EXERCISE ROOM AT A NEW LOWER LEVEL.
- SALVAGE AND REINSTALL (E) CLAY ROOF
- DEMO DRIVEWAY AND REPLACE WITH GRAVEL - ADDING 744SF FOR TURNAROUND
- ADD 1171 SF TO EXISTING STONE PATIO PARTIALLY COVERING LOWER FLOOR.
- IMPROVE QUALITY OF, BUT MATCH EXISTING FINISHES OF WHITE STUCCO, CARMEL STONE, A MIX OF METAL AND WOOD WINDOWS, AND ORIGINAL CLAY ROOFING. ADD ARCHITECTURAL ACCENTS WITH METAL STANDING SEAM AWNINGS.

SHEET INDEX

- A-0 COVER SHEET
- A-1 SITE SURVEY
- A-2 PROPOSED SITE PLAN
- A-3 EXISTING FLOORPLAN
- A-4 PROPOSED FLOORPLAN
- A-5 EXISTING ELEVATIONS
- A-6 PROPOSED ELEVATIONS (SOUTH & EAST)
- A-6.1 PROPOSED ELEVATIONS (NORTH & WEST)
- A-7 ROOFPLAN
- C-1 GRADING AND DRAINAGE PLAN
- C-2 EROSION CONTROL PLAN

RELEVANT PERMIT HISTORY

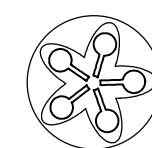
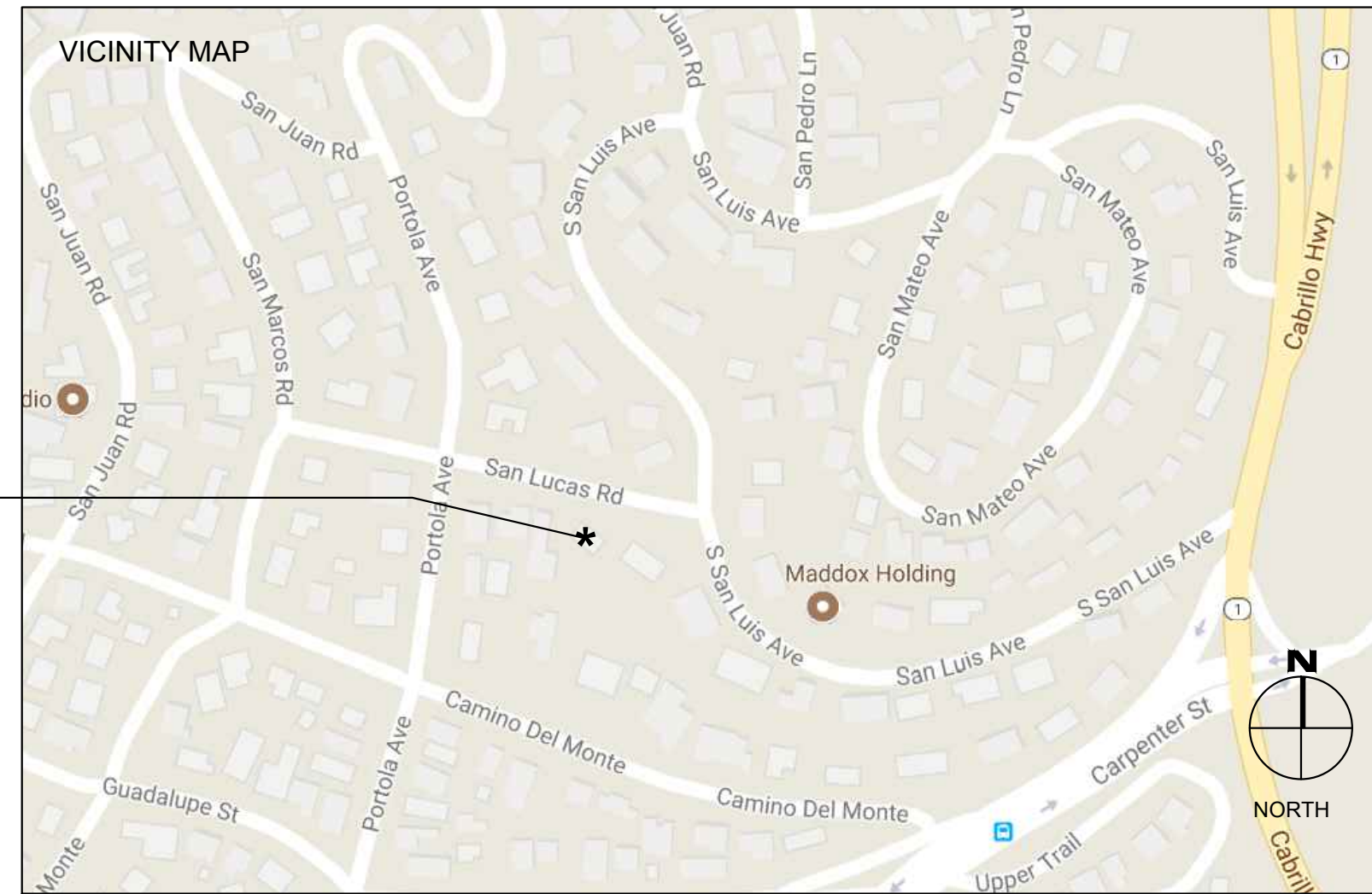
PLN	170878	PLANNING APPLICATION	APPROVED	10/19/17
CP	1703554	BUILDING PERMIT	SUBMITTED	12/05/17
CP	1703555	DEMOLITION PERMIT	APPROVED	12/05/17
CP	1703725	FOUNDATION PERMIT	APPROVED	12/20/17
CP	1703725	INSPECTION FOR FOUNDATION & PIERS	PASSED	01/04/18
		STOP WORK NOTICE		01/16/18

PROJECT DIRECTORY

OWNER	HARLAN & SAMANTHA BRADLEY 3226 SAN LUCAS ROAD CARMEL CA 93923 (831) 229-8002	
GENERAL CONTRACTOR & DESIGNER	HARLAN BRADLEY MASTERWORK BUILDERS CARMEL, CA 93921 (831) 229 - 8002	
ARCHITECT	THOMAS RETTENWENDER, ARCHITECT PO BOX 6451, CARMEL-BY-THE SEA, CA 93921 PHONE: 831-920-8333 E-MAIL: THOMAS@ECOLOGICDESIGNLAB.COM	
PROPERTY ADDRESS	3226 SAN LUCAS ROAD CARMEL CA 93923	
APN	009-051-003	
ZONING	MDR/2-D(CZ)	
TYPE OF CONSTRUCTION	TYPE V-B	
LOT SIZE	11846 SF (.27194 ACRES)	
(E) MAIN HOUSE	1156 SF +/-	TO BE DEMOLISHED
(E) GARAGE	280 SF +/-	
(E) GUESTHOUSE	210 SF +/-	
TOTAL EXISTING	1646 SF +/-	
(N) MAIN HOUSE - UPPER	3042 S F +/-	
(N) ATTACHED GARAGE	443 SF +/-	
(N) MAIN HOUSE - LOWER	778 SF +/-	
TOTAL PROPOSED	4263 SF +/-	

BUILDING SITE COVERAGE ALLOWED	4146 SQ.FT. (35% OF SITE)
BUILDING SITE COVERAGE PROPOSED	3485 MAIN HOUSE (UPPER) + GARAGE 661 PATIO - REAR 4146 TOTAL
HT. LIMIT	30' ABOVE AVG. NAT. GRD
PROPOSED HEIGHT	A.N.G. @ 988.5' (LOW PT = 981.0' ; HIGH PT. = 996.0') MAX RIDGE HEIGHT @ ± 16'-8" ABOVE A.N.G.
WATER SOURCE	MPWMD

SITE LOCATION



Ecologic Architects

Thomas Rettenwender, Architect
Post Office Box 6451 Carmel-by-the-Sea CA 93921 USA
(831) 920 8333
thomas@ecologicdesignlab.com

SHEET

A-0

Surveyor's Notes:

This map portrays the site at the time of the survey and does not show soils or geology information, underground conditions, easements, zoning or regulatory information or any other items not specifically requested by the property owner. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown herein.

Underground utilities, if any, were not located. Information regarding underground utility locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an arbitrarily assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

The cross symbol (+) marks the horizontal position of the spot elevation shown. Tree symbols are drawn to scale only approximately.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.

Map Legend:

Basis of Bearings: As shown or noted hereon.

Horizontal Datum: Assumed.

Vertical Datum: Assumed. Elevation 1000.00' assigned to Control Point #1 as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations

Record Map References:

R1 = Map of Second Addition to Carmel Woods recorded in Volume 3 of Maps "Cities & Towns", Page 41, filed in the Monterey County Recorder's Office, State of California.

R2 = Record of Survey recorded in Volume 24 of Surveys, Page 67, filed in the Monterey County Recorder's Office, State of California.

R3 = Corner Record #1236 filed April 24, 2007 in the Monterey County Surveyor's Office, State of California.

R4 = Corner Record #1445 filed June 29, 2010 in the Monterey County Surveyor's Office, State of California.

AC = ASPHALT CONCRETE	FEN-WR = WIRE FENCE	PK = PK NAIL
A.G.S. = ABOVE GROUND SURFACE	FH = FIRE HYDRANT	PLTR = PLANTER
AP = ANGLE POINT	FF = FINISHED FLOOR	PP = POWER/UTILITY POLE
BC = BRASS CAP OR BEGIN CURVE	FL = FLOW LINE	PTH = PATH
B.G.S. = BELOW GROUND SURFACE	FNIN = FOUNTAIN	PTO = PATIO
BL = BIKE LANE	FOB = FACE OF BUILDING	RCE = REGISTERED CIVIL ENGINEER
BLD = BUILDING	FP = FIRE PLACE	RCK = ROCK
BLDR(S) = BOULDER(S)	FS = FINISHED SURFACE	RDG = RIDGE
BM = BENCHMARK	FTG = FOOTING	ROW = RIGHT OF WAY
BL = BOUNDARY LINE	FW/FOW = FACE OF WALL	RSCO = SEWER CLEAN OUT
BTM/BOT = BOTTOM	F.T.C. = FROM TRUE CORNER	SDMH = STORM DRAIN MANHOLE
BW = BACK OF WALK	GAR = GARAGE	SDWK = SIDEWALK
C = CENTERLINE	G/GRD = GROUND ELEV.	SMH = SEWER MANHOLE
CATV = CABLE TV	GB = GRADE BREAK	SPK = SPIKE
CF = CURB FACE	GM=GAS METER	STC = STUCCO
CL = CENTERLINE	GPF = GREEN PIN FLAG	STN = STONE
CLM=COLUMN	GV = GAS VALVE	STP = STEP
COMM = COMMUNICATIONS	HC = HANDICAP	ST LT = STREET LIGHT
CONC. = CONCRETE	HOG = HEDGE	STRP = STRIPE
COR = CORNER	ICV = IRRIGATION CONTROL VALVE	SWL = SWALE
C/O = CLEAN OUT	I.P. = IRON PIPE	TBM = TEMPORARY BENCHMARK
CP = CONTROL POINT	INT = INTERSECTION	TC = TOP OF CURB
CTL = CONTROL	IRR = IRRIGATION	TCN = TOP OF CONCRETE
DG = DECOMPOSED GRANITE	L-T/L&T = LEAD & TAG	TEL/TELCO = TELEPHONE
DI = DROP INLET	LDG/LNDG = LANDING	THRESH = THRESHOLD
D.L. = DRIP LINE (TREE)	LP = EDGE OF CONC GUTTER	TG = TOP OF GRATE
DWY = DRIVEWAY	LS = LAND SURVEYOR	TOP = TOP OF SLOPE
EM = ELECTRIC METER	LT = LIGHT	TOE = TOE OF SLOPE
EO = ELECTRIC OUTLET	MB = MAIL BOX	TW/TOW = TOP OF WALL
ENG/ENGR = ENGINEER	M-T/M&T = MAG NAIL & TAG	UTIL = UTILITY
ENCL = ENCLOSURE	MAG = MAG NAIL	WD = WOOD
EP = EDGE OF PAVEMENT	MKD = MARKED	WH = WATER HEATER
FND/FND = FOUND	MON = MONUMENT	WL = WATER LINE
FEN = FENCE	N-T/N&T = NAIL & TAG	WLK = SIDEWALK
FEN-CL = CHAINLINK FENCE	NG = NATURAL GRADE	WM = WATER METER
FEN-GS = GRAPESTAKE FENCE	OPN = OPEN	WV = WATER VALVE
FEN-WI = WROUGHT IRON FENCE	P = POOL	
FEN-WD = WOOD FENCE	PB = PULL BOX	

Typical tree notation. Indicates an elevation of 301.26' at the tree trunk of a cypress tree with a 36" trunk diameter (inner circle) with a 40' diameter canopy (outer tree symbol)

	CONTROL POINT
	UTILITY POLE
	WATER METER
	WATER SHUTOFF
	INDICATES MONUMENT FOUND AS NOTED
	PARCEL BOUNDARY
	ADJOINING PARCEL BOUNDARY
	RIGHT OF WAY
	RIGHT OF WAY CENTERLINE
	OLD PARCEL LINE



Topographic Survey

3226 San Lucas Road, APN: 009-051-003
Located in Carmel, Monterey County, State of California

Prepared For & Requested By: Harlan Bradley

October 2017

Rasmussen Land Surveying, Inc.

2150 Garden Road, Suite A-3, Monterey, California 93942
P: 831.375.7240 F: 831.375.2545


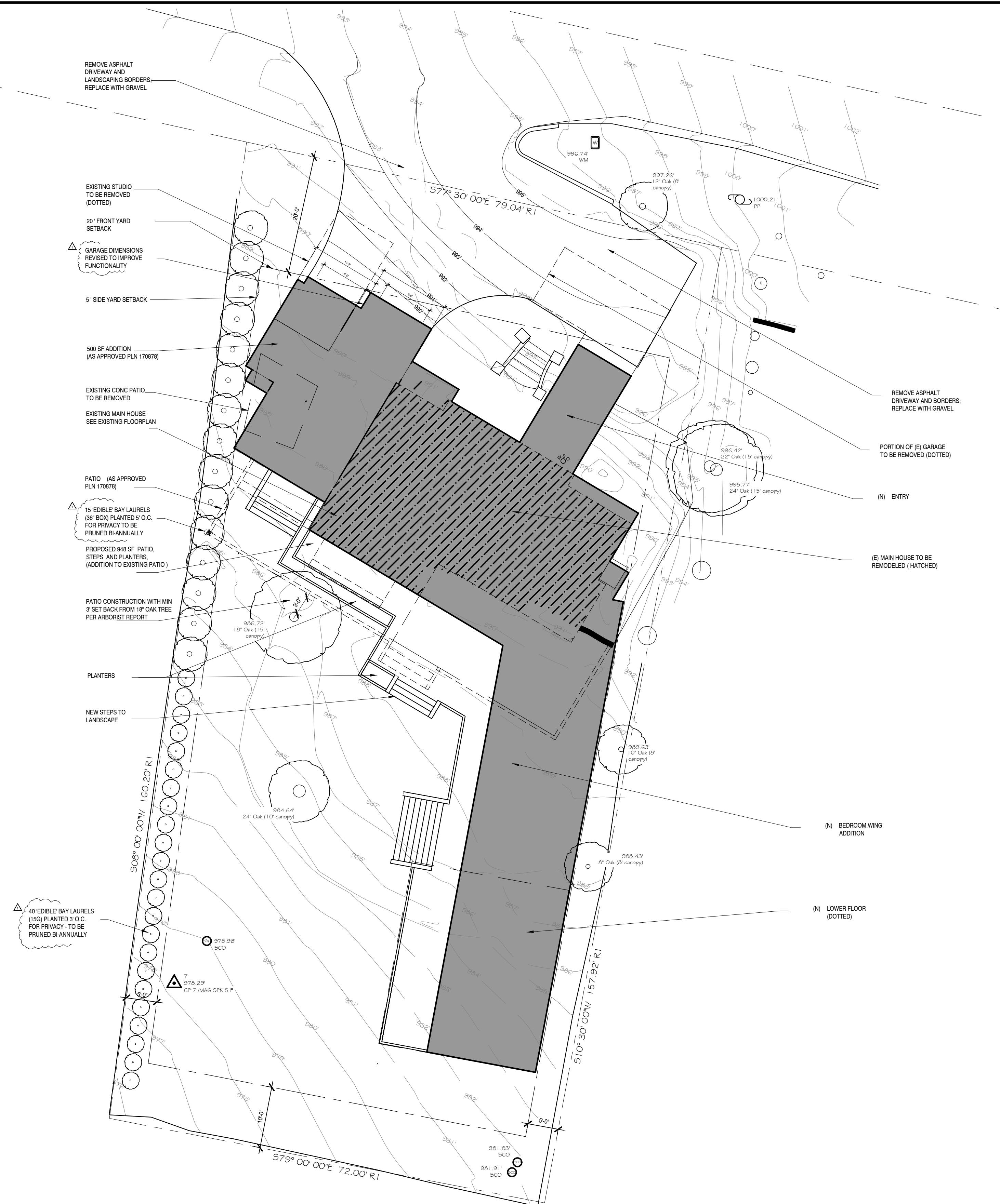
RLS W.O. # 2017-101

Sheet 1 of 1

DRAWING REVISIONS:
October 2017 - ORIGINAL SURVEY

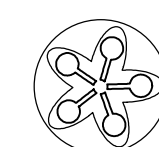
NOTE : PER SEC 20.62.040.D:
UNCOVERED DECKS, PORCHES, OR STAIRWAYS, FIRE ESCAPES
OR LANDING PLACES MAY EXTEND INTO ANY REQUIRED FRONT
OR REAR SETBACK NOT EXCEEDING 6 FEET, AND INTO ANY
REQUIRED SIDE SETBACK NOT EXCEEDING 3 FEET.

PROPOSED PATIO WALLS LESS THAN 6' HEIGHT FROM
AVERAGE NATURAL GRADE EXEMPT FROM SET BACK
REQUIREMENTS.



JOB NUMBER
1714

3226 SAN LUCAS ROAD, CARMEL CA 93923



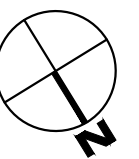
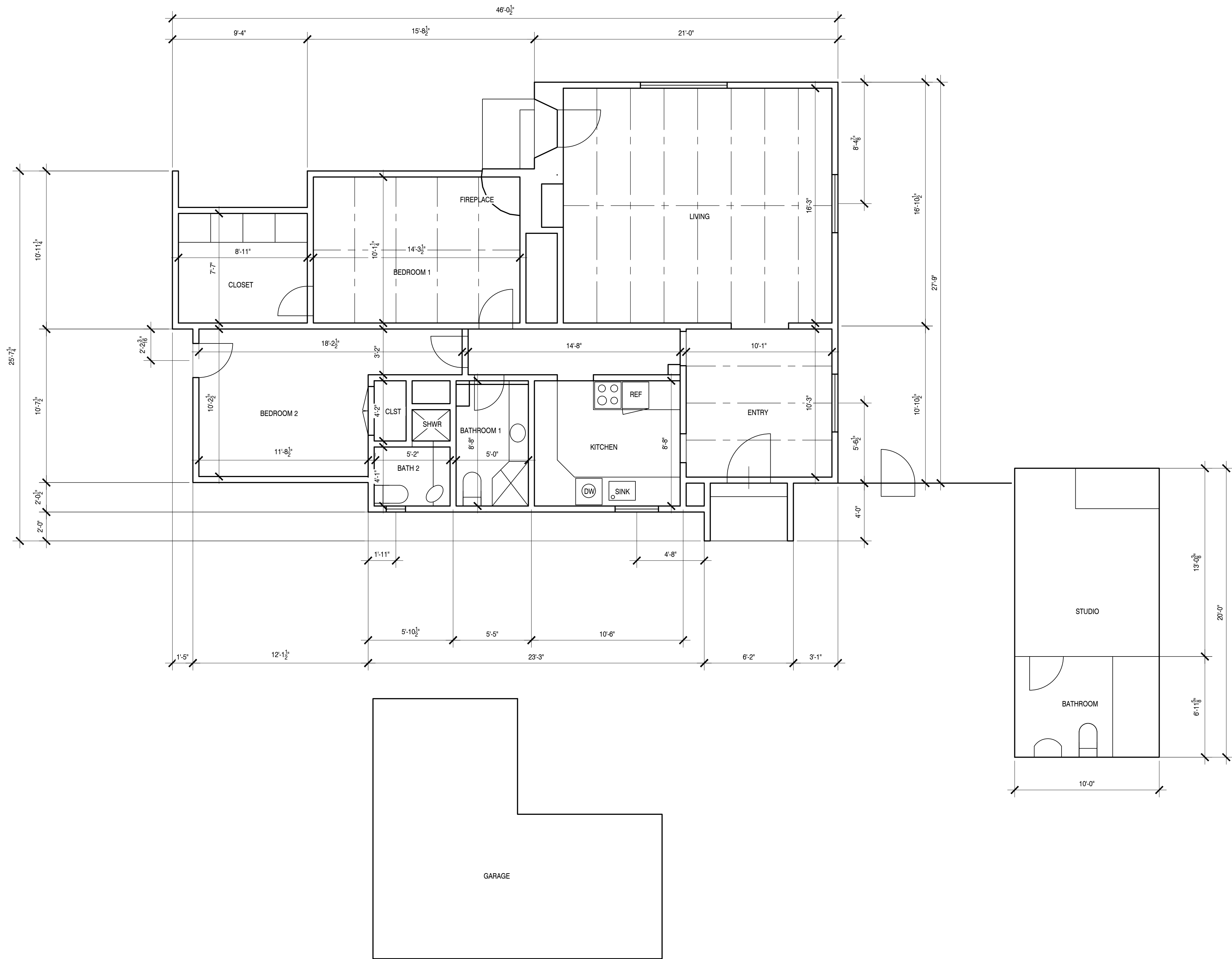
Ecologic Architects

thomas@ecologicdesignlab.com

SHEET

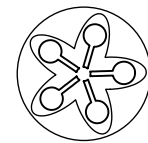
A-2

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DATE	December 20, 2018
SCALE	1/4"=1'0"
DRAWN BY	TR, CP
JOB NUMBER	# 1714

TITLE	EXISTING FLOOR PLAN
BRADLEY RESIDENCE 3226 SAN LUCAS ROAD, CARMEL CA 93923	



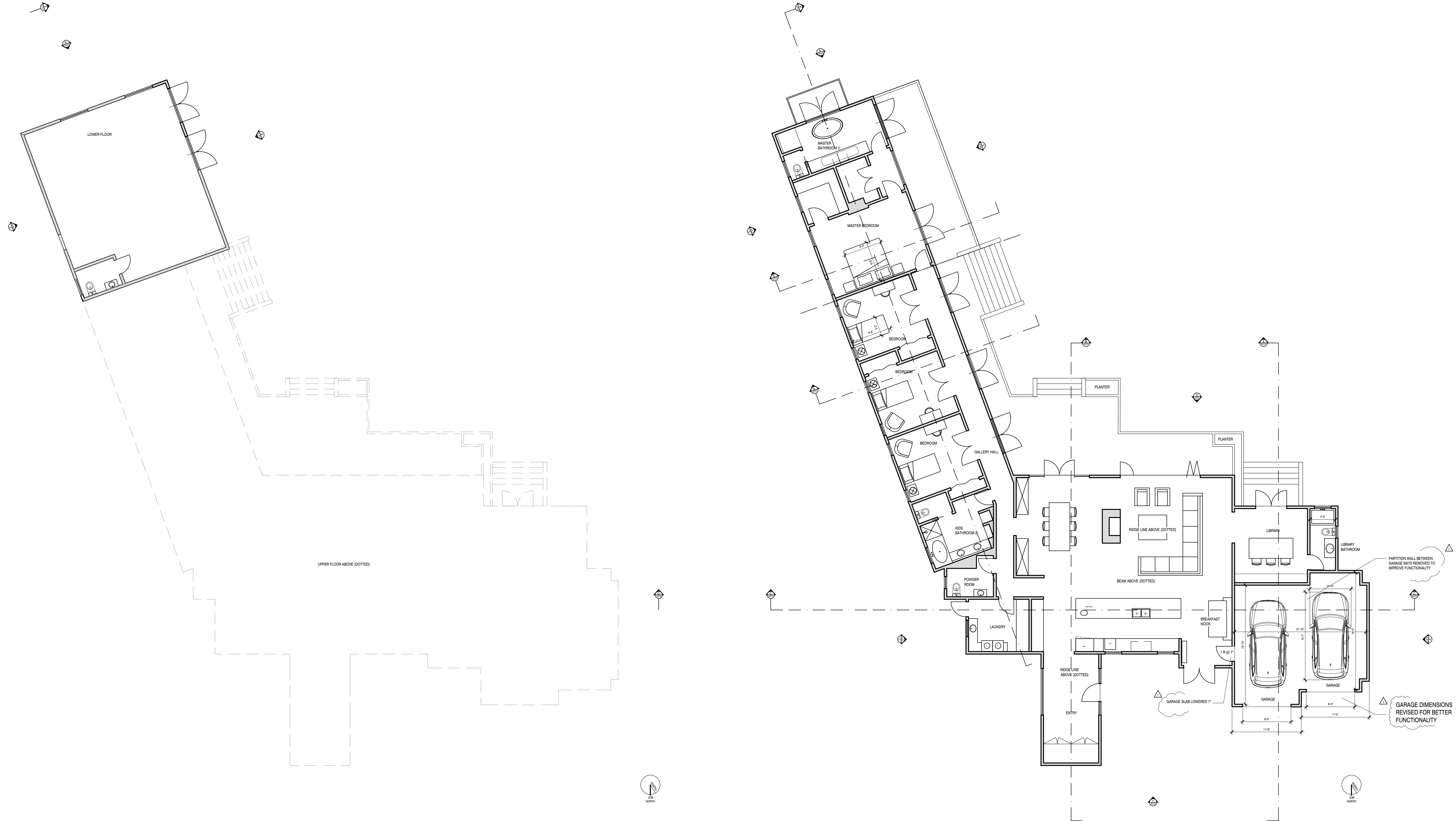
Ecologic Architects

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(831) 920 8333
thomas@ecologicdesignlab.com

SHEET

A-3

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1 APRIL 12, 2019

DATE
FEBRUARY 15, 2019

SCALE
1/8" = 1'-0"

DRAWN BY
TR

JOB NUMBER
1714

TITLE
PROPOSED FLOORPLAN UPPER AND LOWER

BRADLEY RESIDENCE
3226 SAN LUCAS ROAD, CARMEL CA 93923



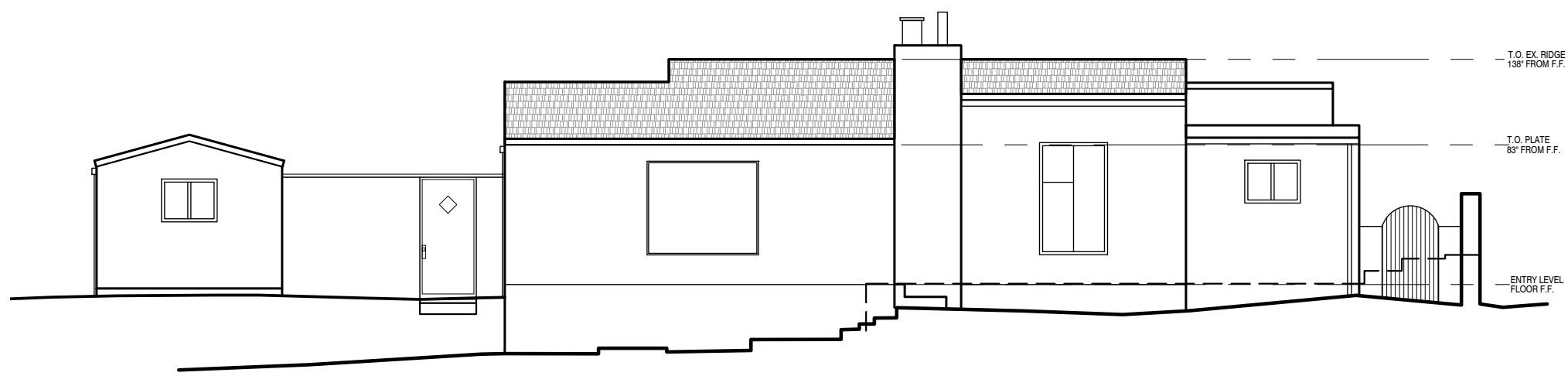
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(831) 920 8333
thomas@ecologicdesignlab.com

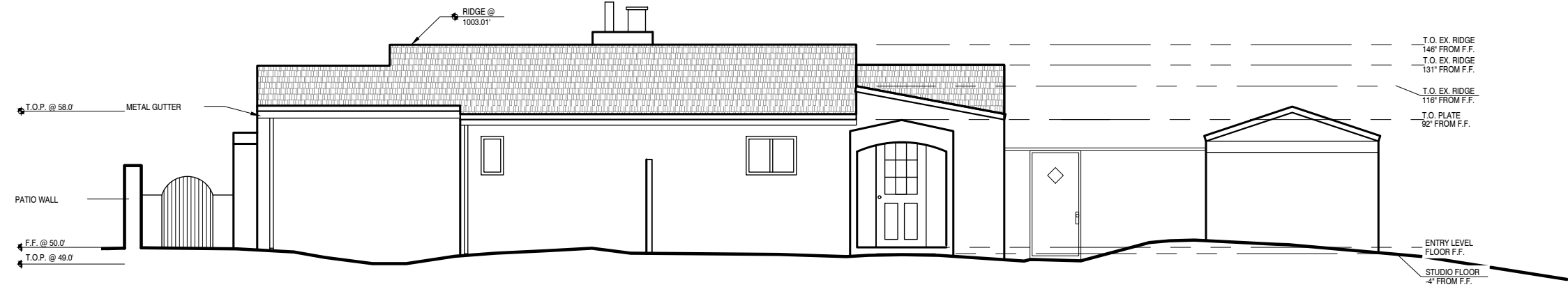
SHEET

A-4

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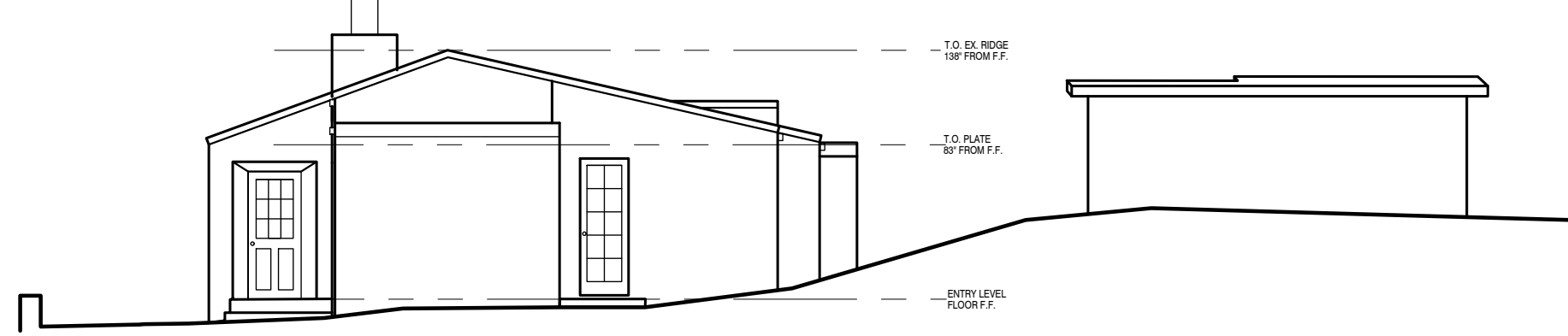
NORTH ELEVATION



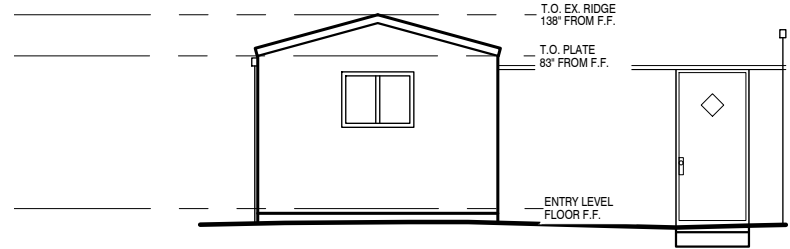
SOUTH ELEVATION



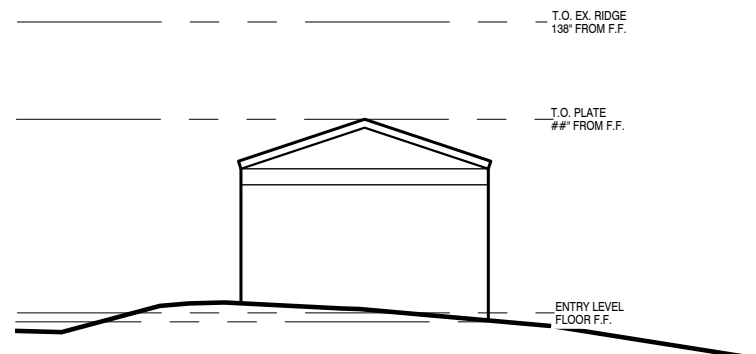
EAST ELEVATION



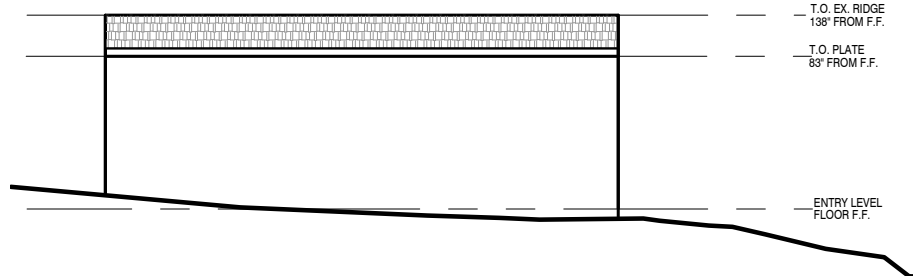
WEST ELEVATION



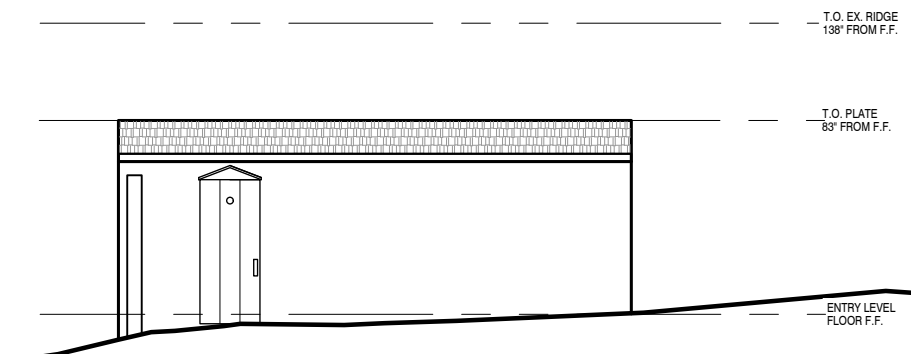
STUDIO NORTH ELEVATION



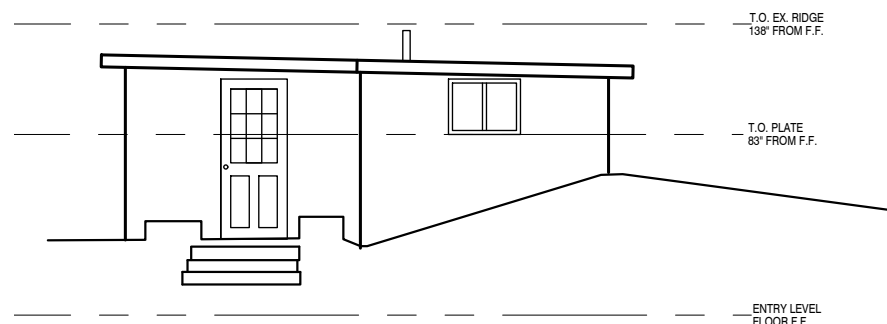
STUDIO SOUTH ELEVATION



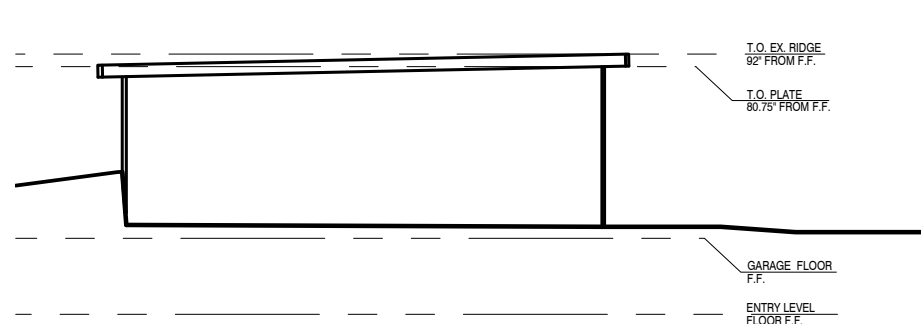
STUDIO EAST ELEVATION



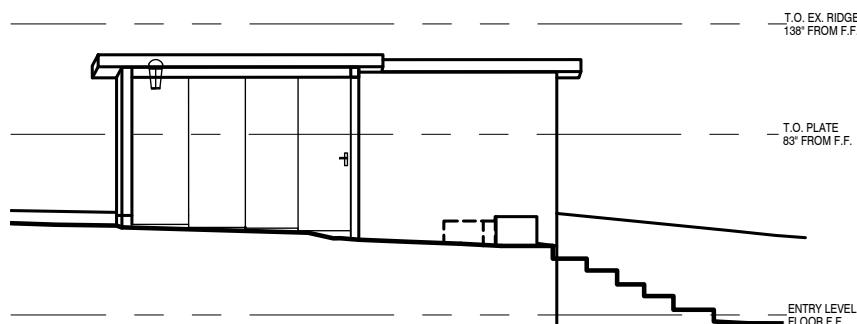
STUDIO WEST ELEVATION



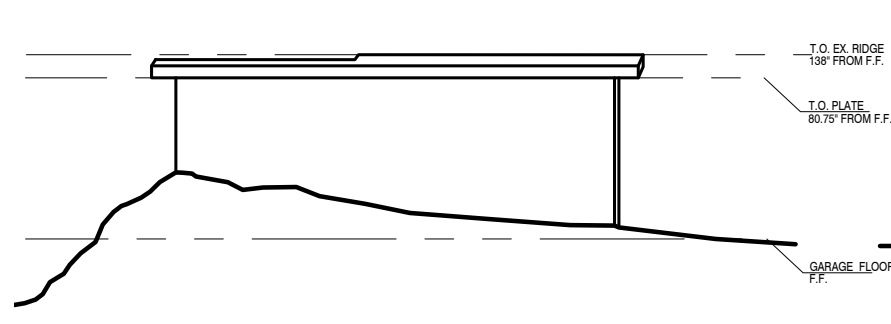
GARAGE NORTH ELEVATION



GARAGE SOUTH ELEVATION



GARAGE EAST ELEVATION



GARAGE WEST ELEVATION

DATE
December 20, 2018

SCALE
1/8"=1'0"

DRAWN BY
TR, CP

JOB NUMBER
1714

TITLE
EXISTING ELEVATIONS

BRADLEY RESIDENCE

3226 SAN LUCAS ROAD, CARMEL CA 93923



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thomas@ecologicdesignlab.com

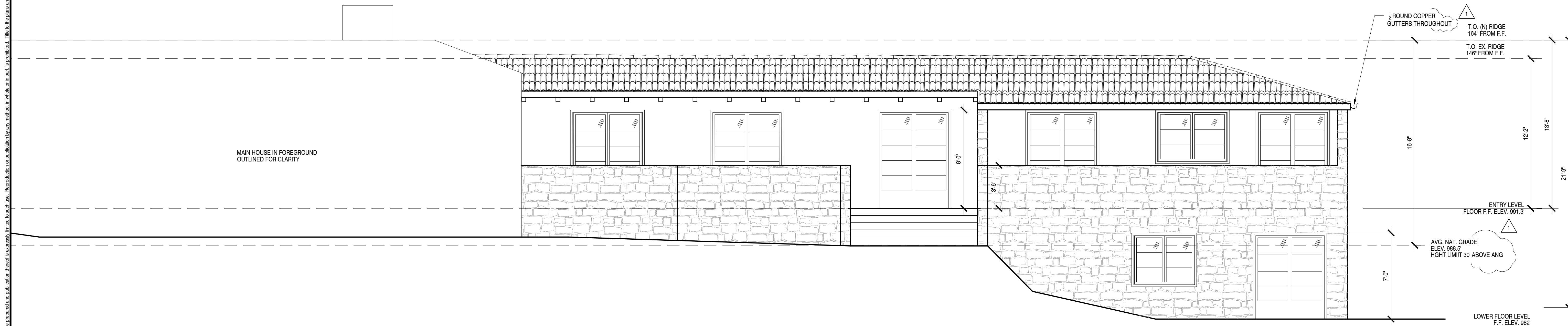
SHEET

A-5

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1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH - WEST ELEVATION
SCALE: 1/4" = 1'-0"

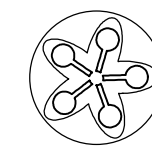
1 APRIL 12, 2019

DATE
18 February 2019
SCALE
1/4" = 1'-0"
DRAWN BY
JOB NUMBER
1714

TITLE
ELEVATIONS - PROPOSED

BRADLEY RESIDENCE

3226 SAN LUCAS ROAD, CARMEL CA 93923

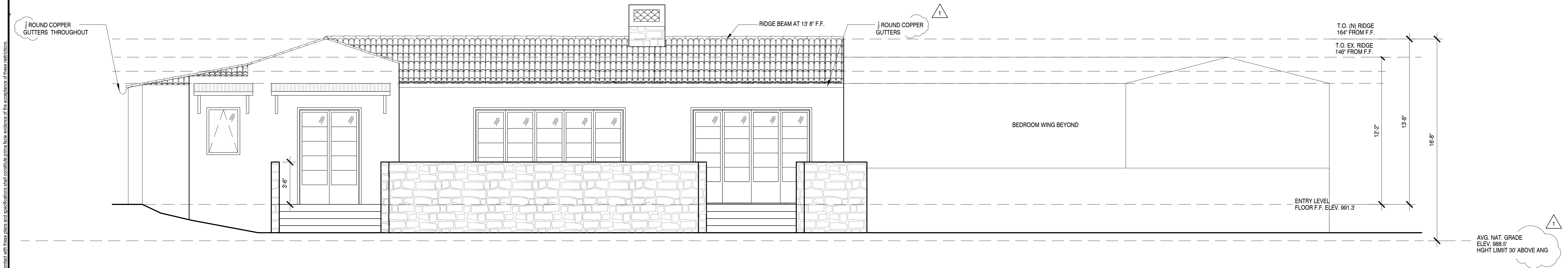


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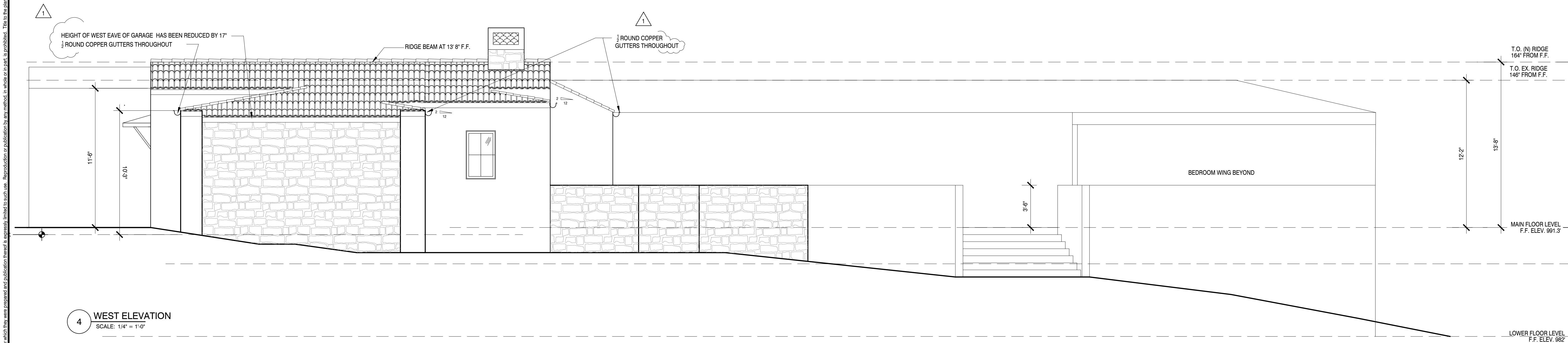
Thomas Rettenwender, Architect
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(831) 920 8333
thomas@ecologicdesignlab.com

SHEET

A6.0



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

1 APRIL 12, 2019

DATE	APRIL 12, 2019
SCALE	1/4" = 1'-0"
DRAWN BY	
JOB NUMBER	# 1714

TITLE
ELEVATIONS - PROPOSED

BRADLEY RESIDENCE

3226 SAN LUCAS ROAD, CARMEL CA 93923



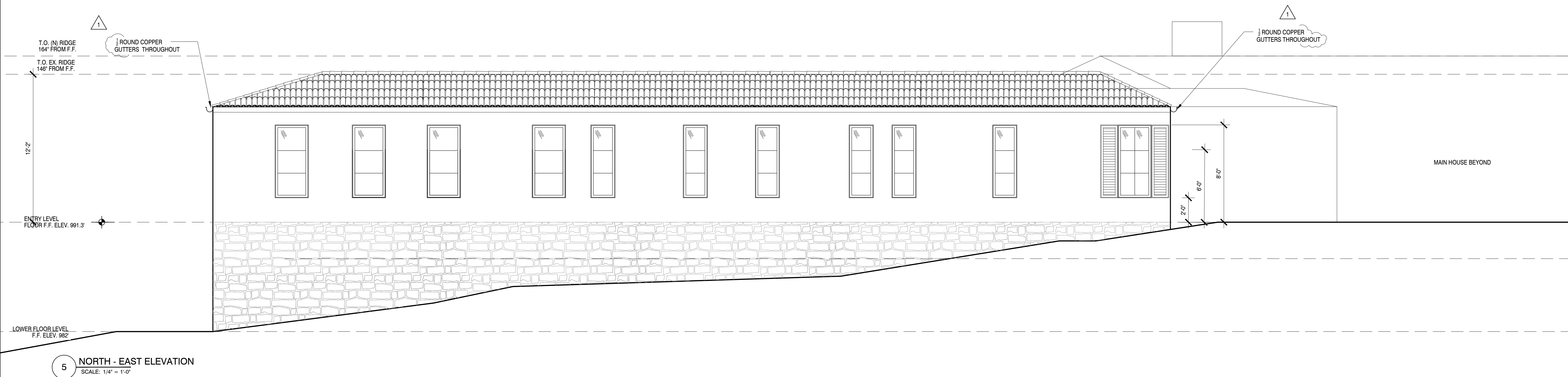
Ecologic Architects

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thomas@ecologicdesignlab.com

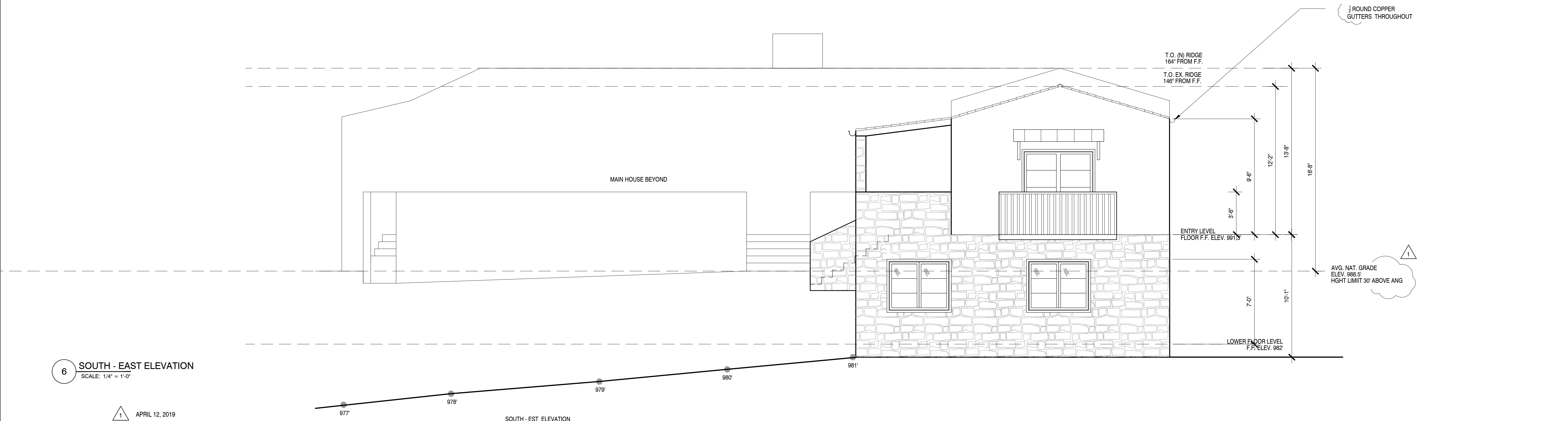
SHEET

A6.1

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5 NORTH - EAST ELEVATION
SCALE: 1/4" = 1'-0"

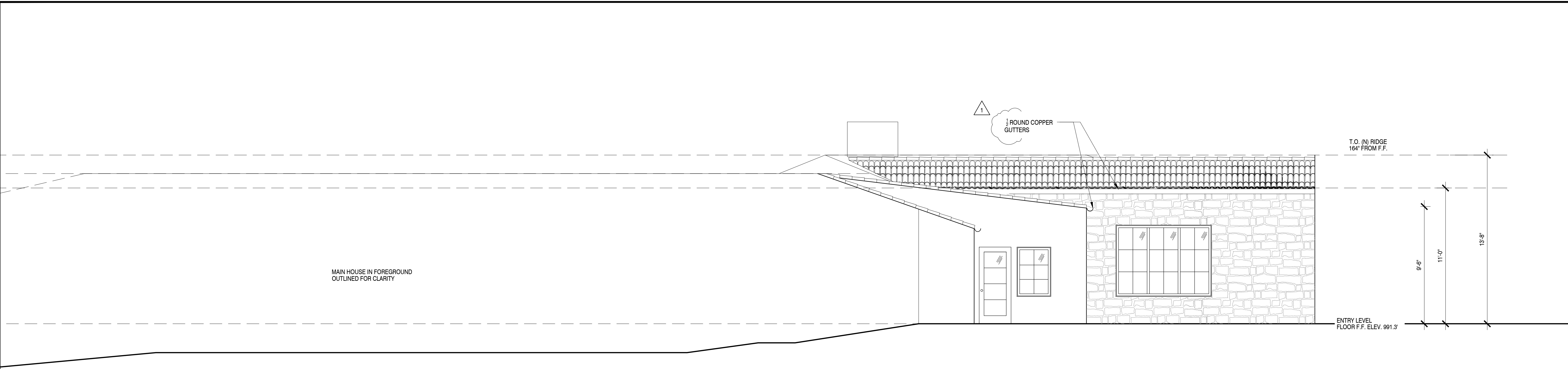


6 SOUTH - EAST ELEVATION
SCALE: 1/4" = 1'-0"

1 APRIL 12, 2019

DATE 18 February 2019	TITLE ELEVATIONS - PROPOSED	<div><div>Ecologic Architects</div><div>Thomas Rettenwender, Architect Post Office Box 6451 Carmel-by-the-Sea CA 93921 USA (831) 920 8333 thomas@ecologicdesignlab.com</div></div>	SHEET
SCALE 1 / 4" = 1' - 0"	<div>BRADLEY RESIDENCE</div> <div>3226 SAN LUCAS ROAD, CARMEL CA 93923</div>		A6.2
DRAWN BY			
JOB NUMBER # 1714			

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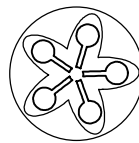


7 EAST ELEVATION
SCALE: 1/4" = 1'-0"

1 APRIL 12, 2019

DATE	18 February 2019
SCALE	1 / 4" = 1' - 0"
DRAWN BY	
JOB NUMBER	# 1714

TITLE
BRADLEY RESIDENCE 3226 SAN LUCAS ROAD, CARMEL CA 93923



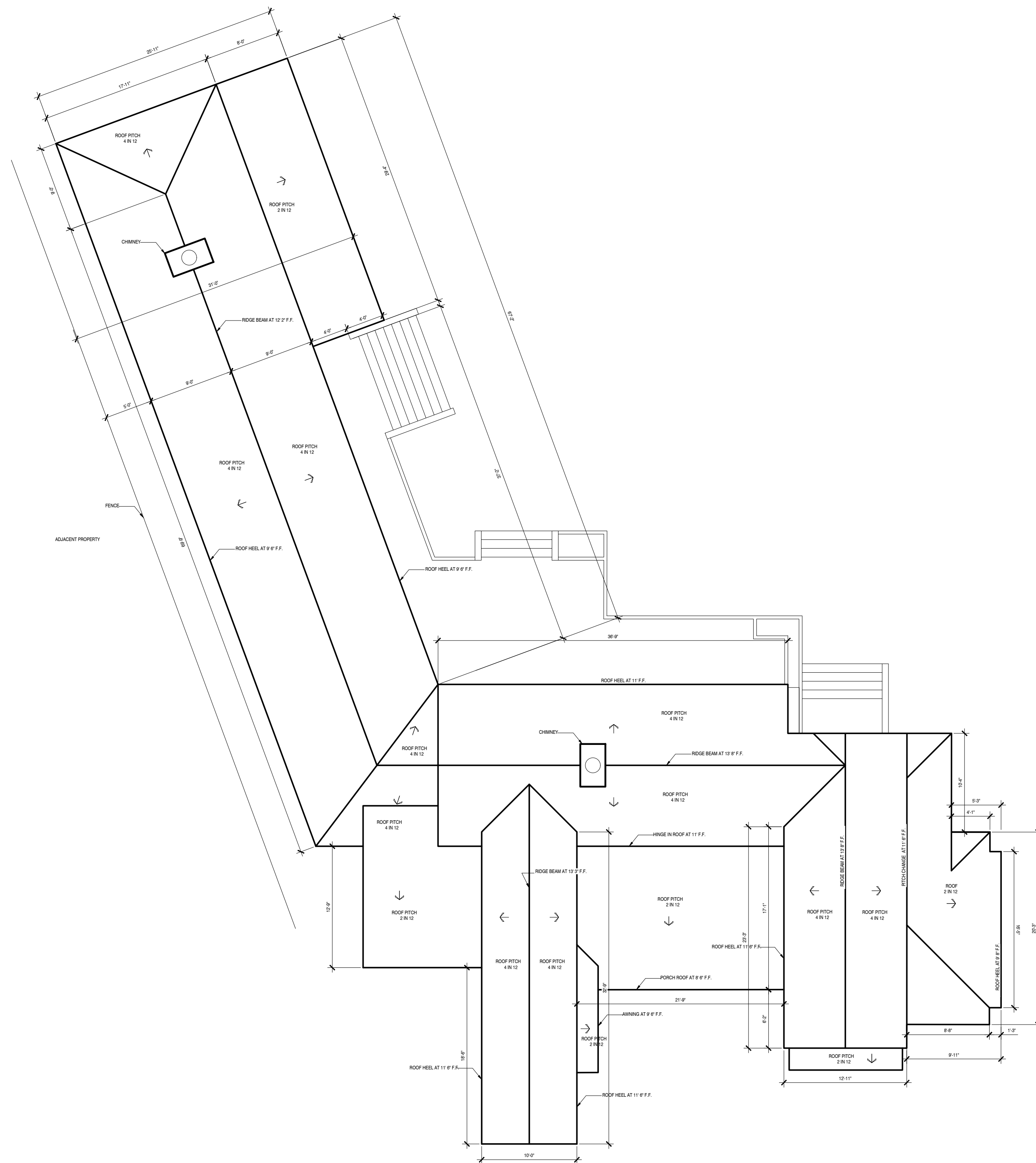
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SHEET

A6.3

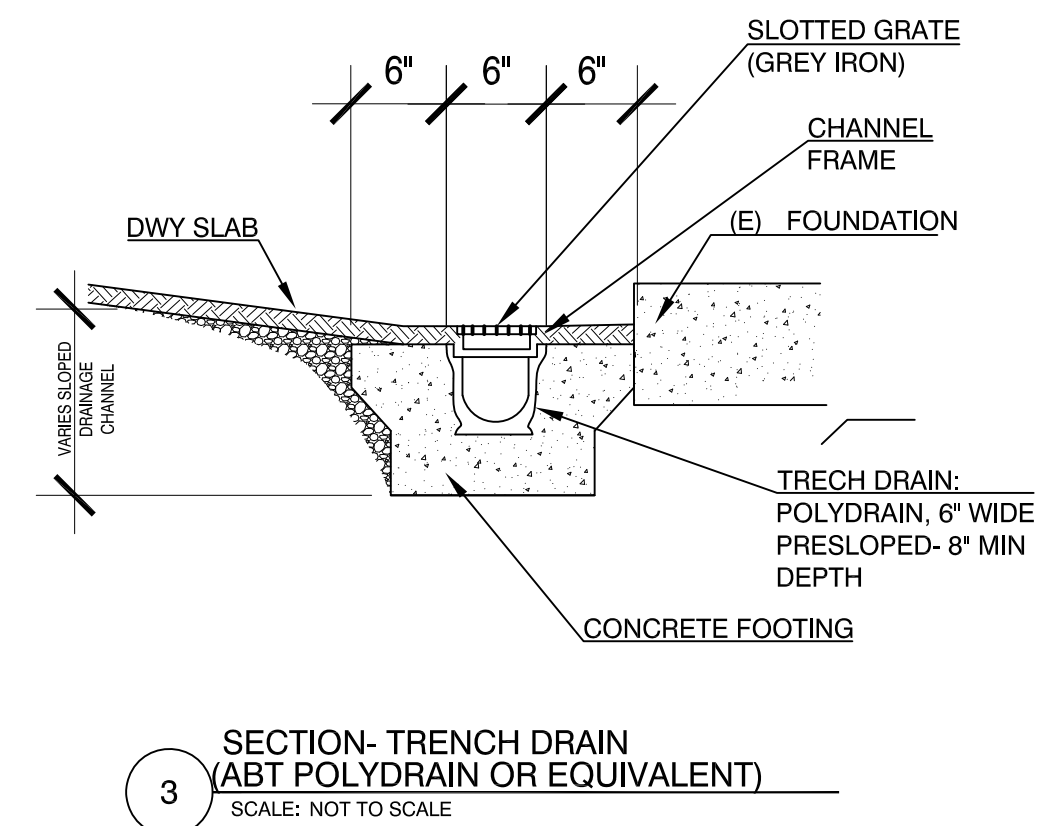
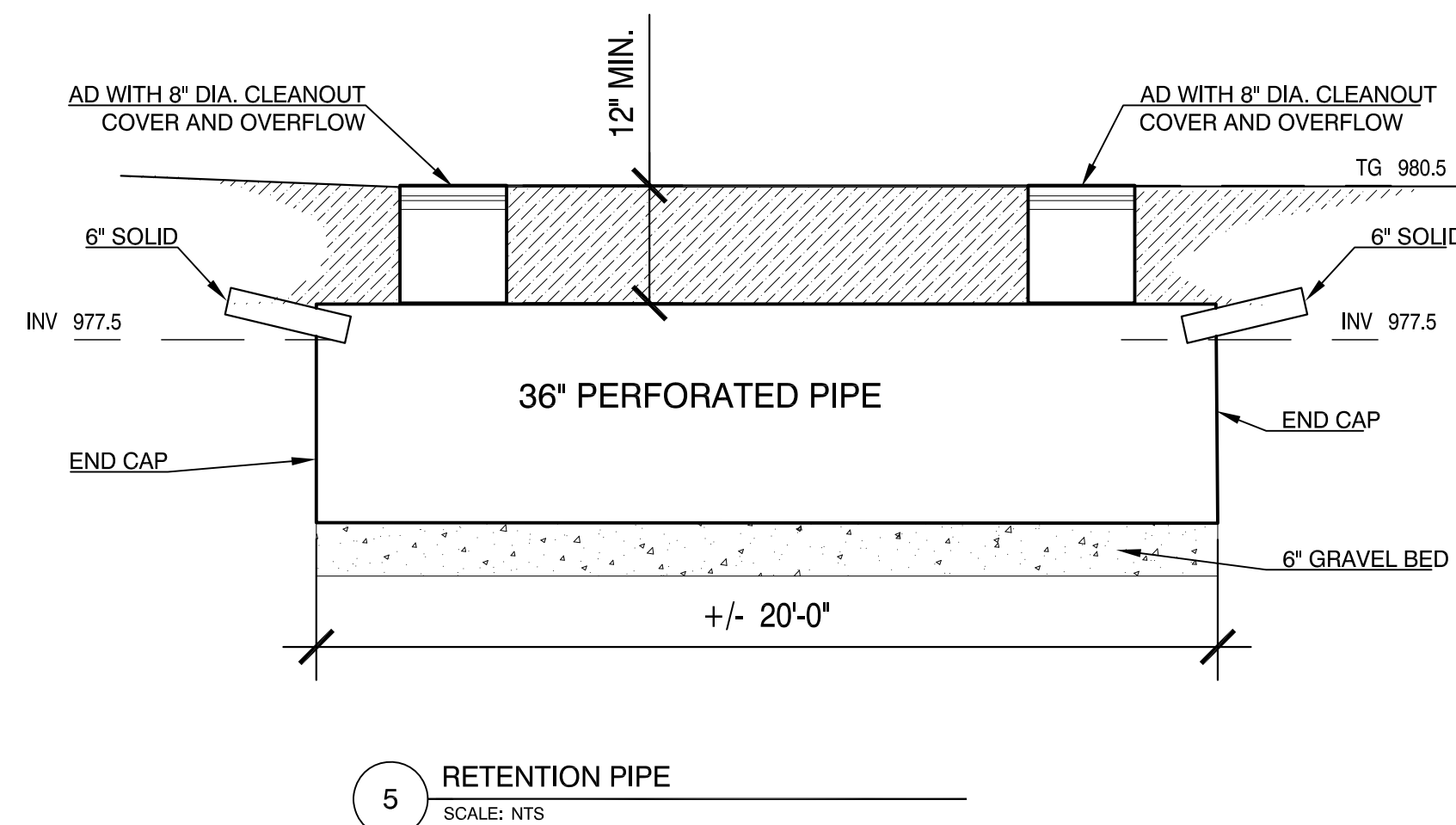
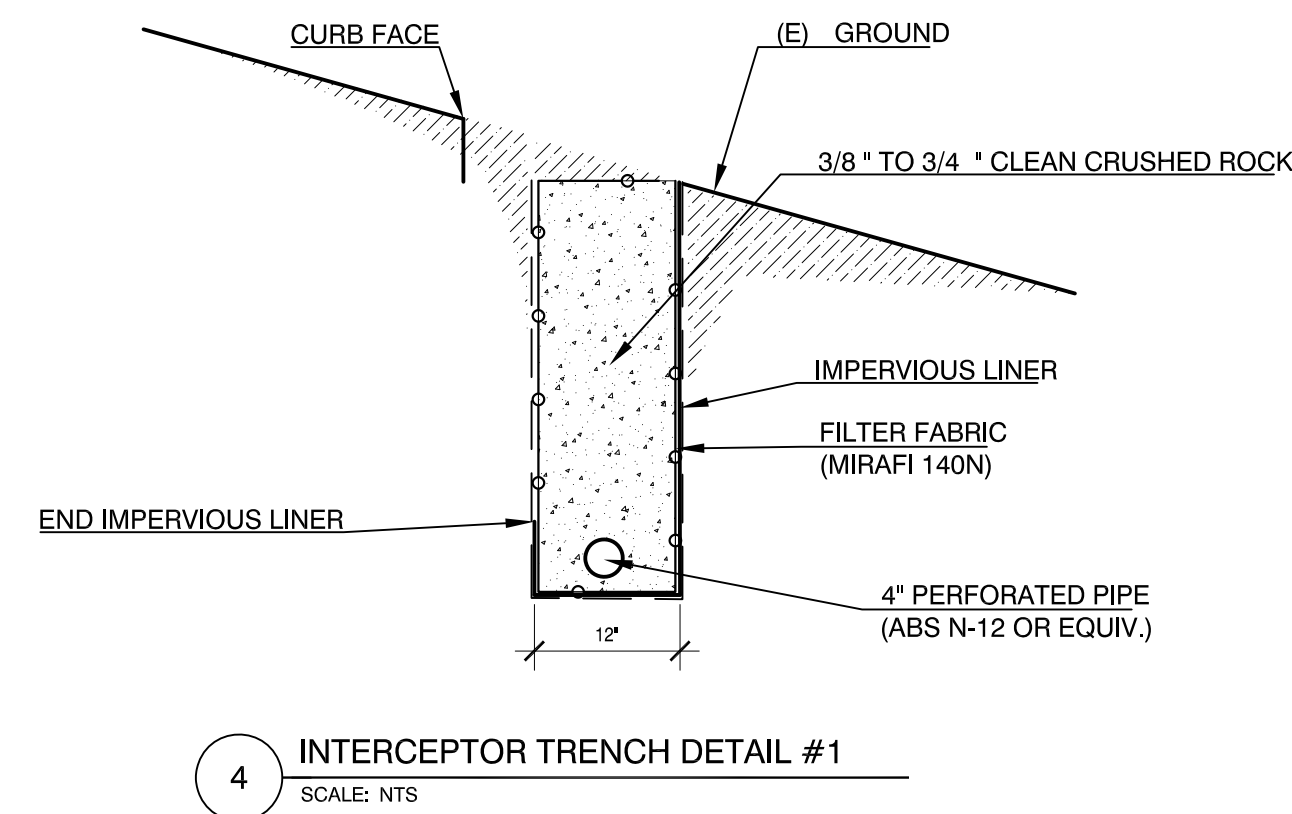
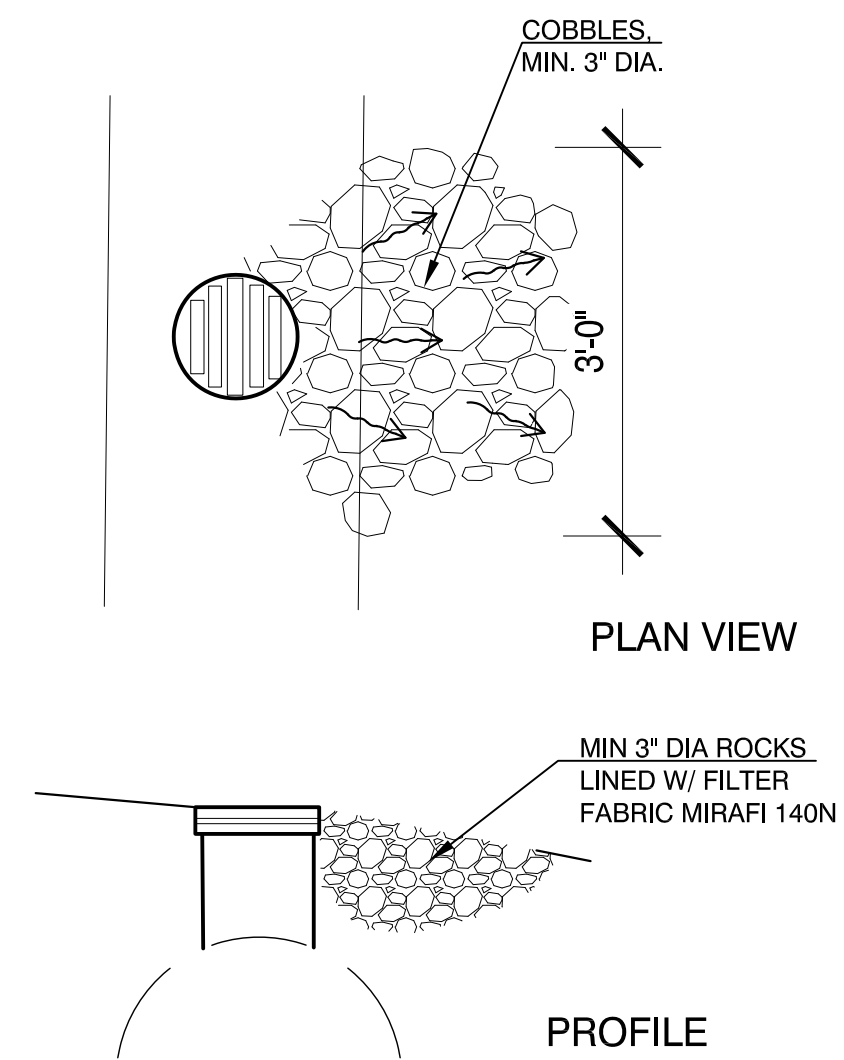
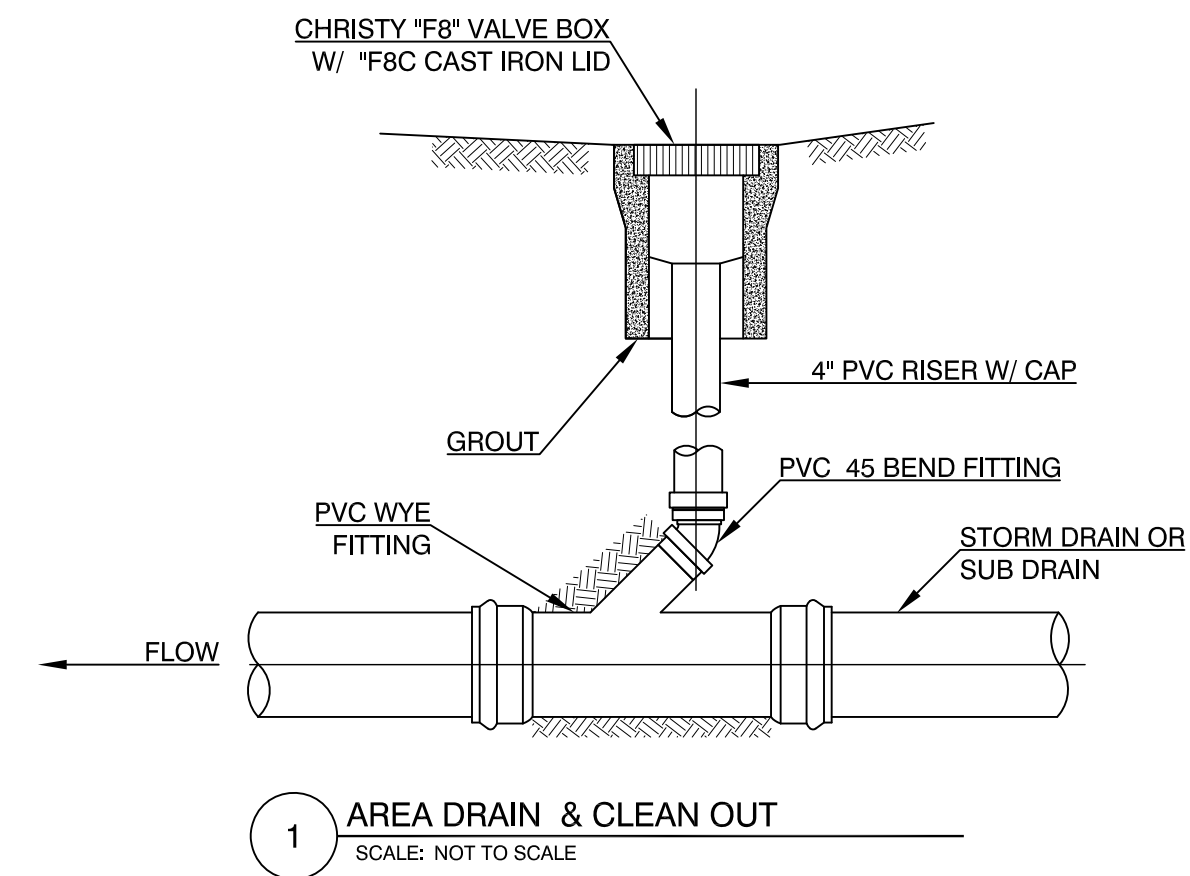
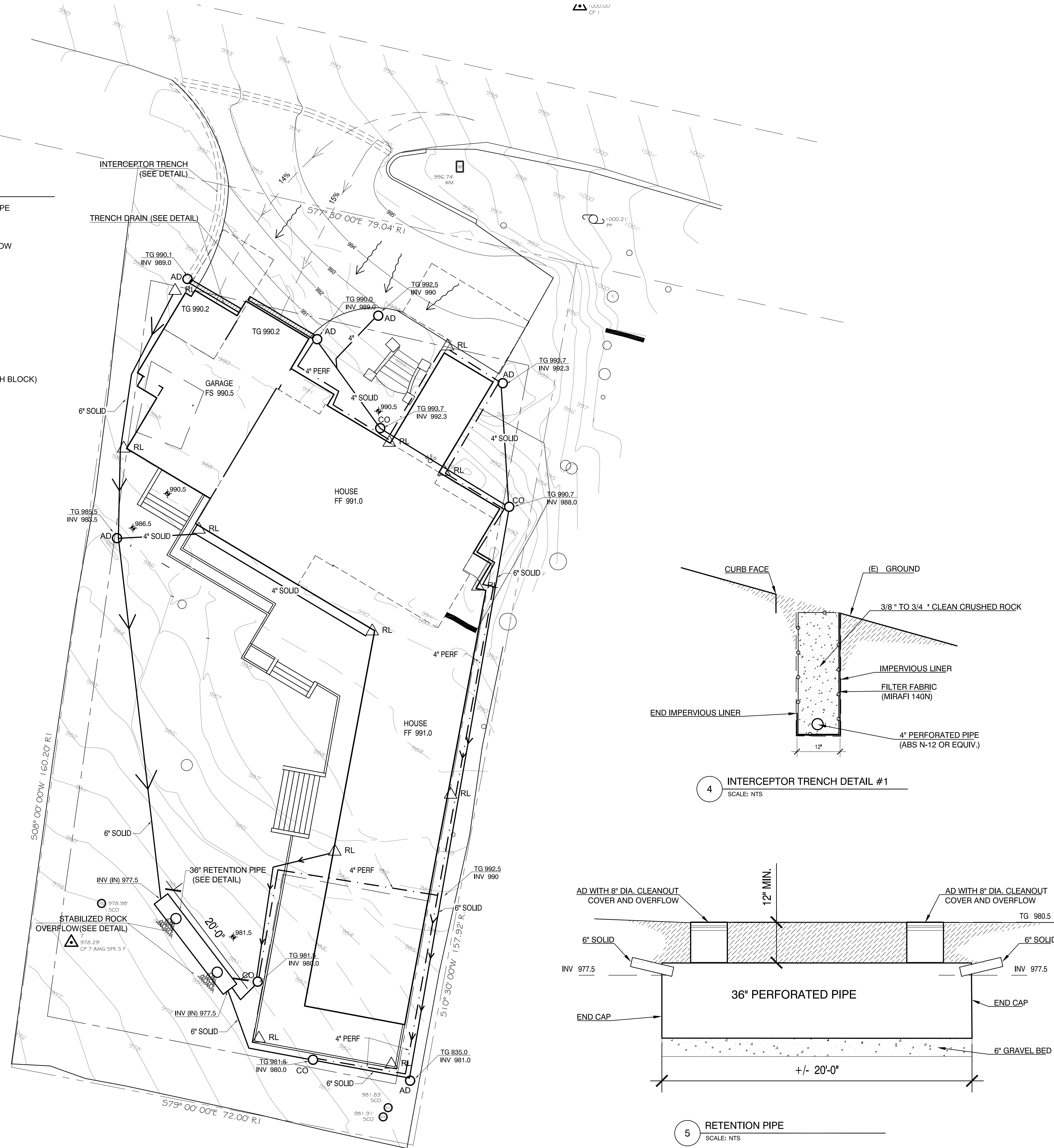
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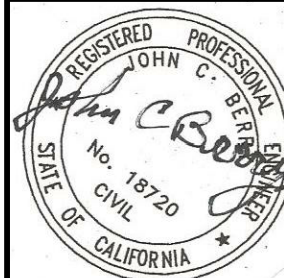
DATE December 20, 2017	TITLE PROPOSED ROOF PLAN	 <div>Ecologic Architects</div> <div> Thomas Rettenwender, Architect Post Office Box 6451 Carmel-by-the-Sea CA 93921 USA (831) 920 8333 thomas@ecologicdesignlab.com </div>	<div>A-7</div>
SCALE 1/8" = 1'-0"	<div>BRADLEY RESIDENCE</div> <div>3226 SAN LUCAS ROAD, CARMEL CA 93923</div>		
DRAWN BY TR			
JOB NUMBER # 1714			

LEGEND:

- PERFORATED SUB-DRAIN PIPE
SOLID STORM DRAIN PIPE
DIRECTION OF SURFACE FLOW
TG TOP OF GRATE ELEVATION
INV INVERT ELEVATION
AD AREA DRAIN (SEE DETAIL)
CO CLEAN OUT
(E) EXISTING
FF FINISH FLOOR ELEVATION
RL ROOF LEADER (WITH SPLASH BLOCK)
EP EDGE OF AC PAVING



Berry and Associates
1733 Woodside Road, Suite 335
Redwood City, CA 94061
Phone: (650) 368-0750



GRADING & DRAINAGE PLAN
3226 SAN LUCAS ROAD CARMEL CA 93923

CALIFORNIA

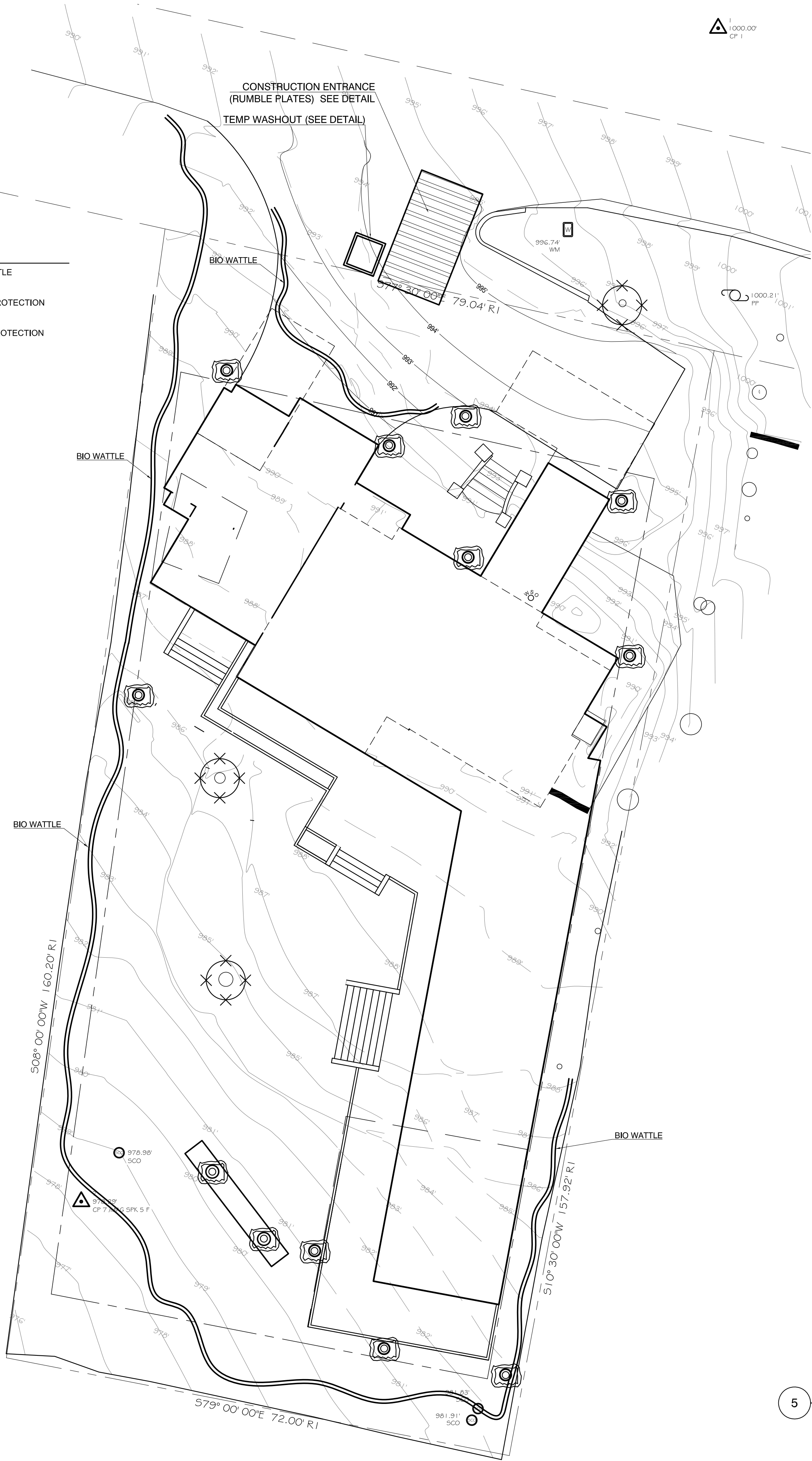
SAN MATEO COUNTY

SAN CARLOS

Revisions		No.
Date:	02-15-19	No.
Scale:	1"=XX'	
Design:	JCB	
Drawn:	XXX	
Approved:	JCB	
Job No.	XXXXX	

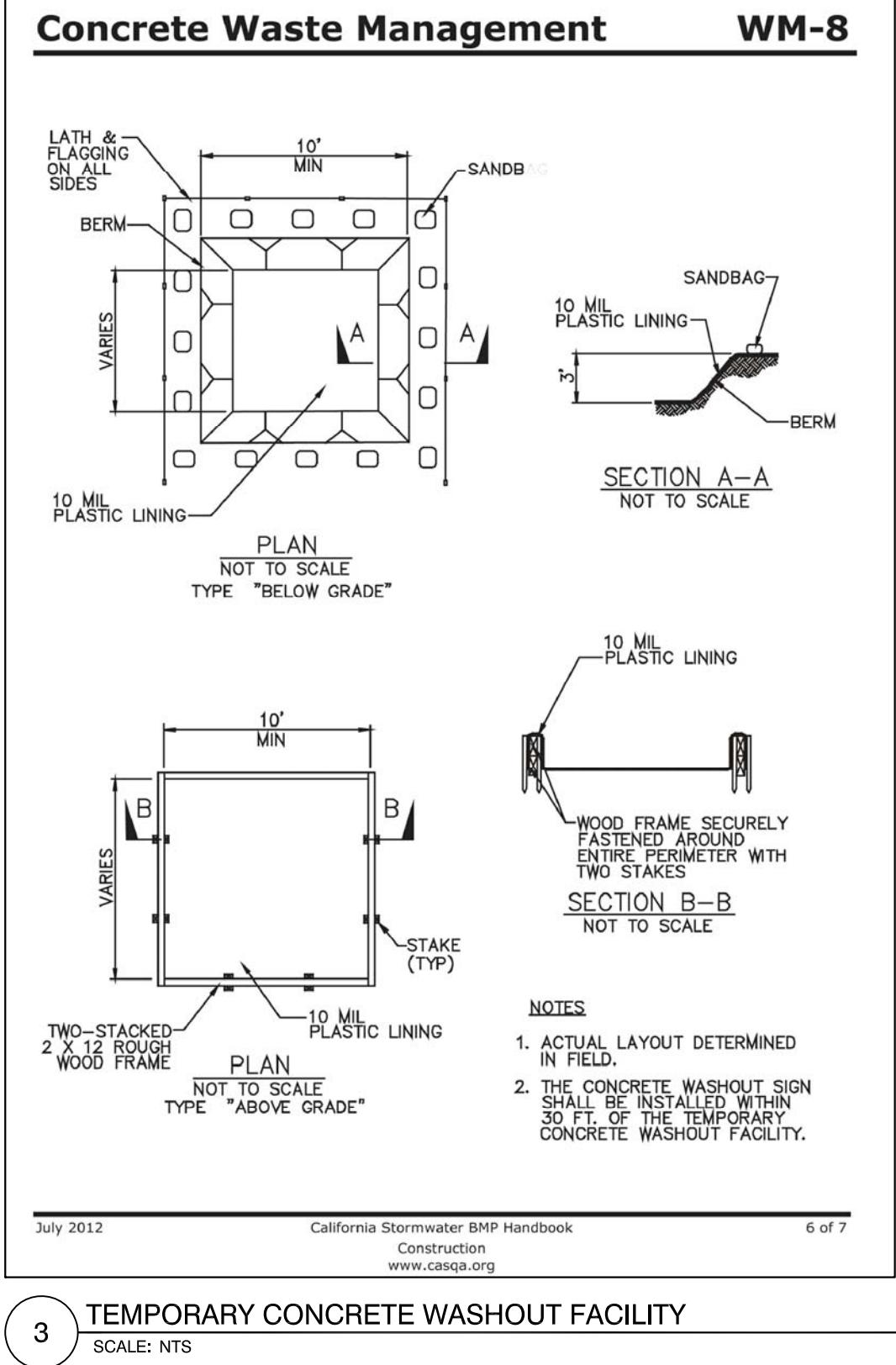
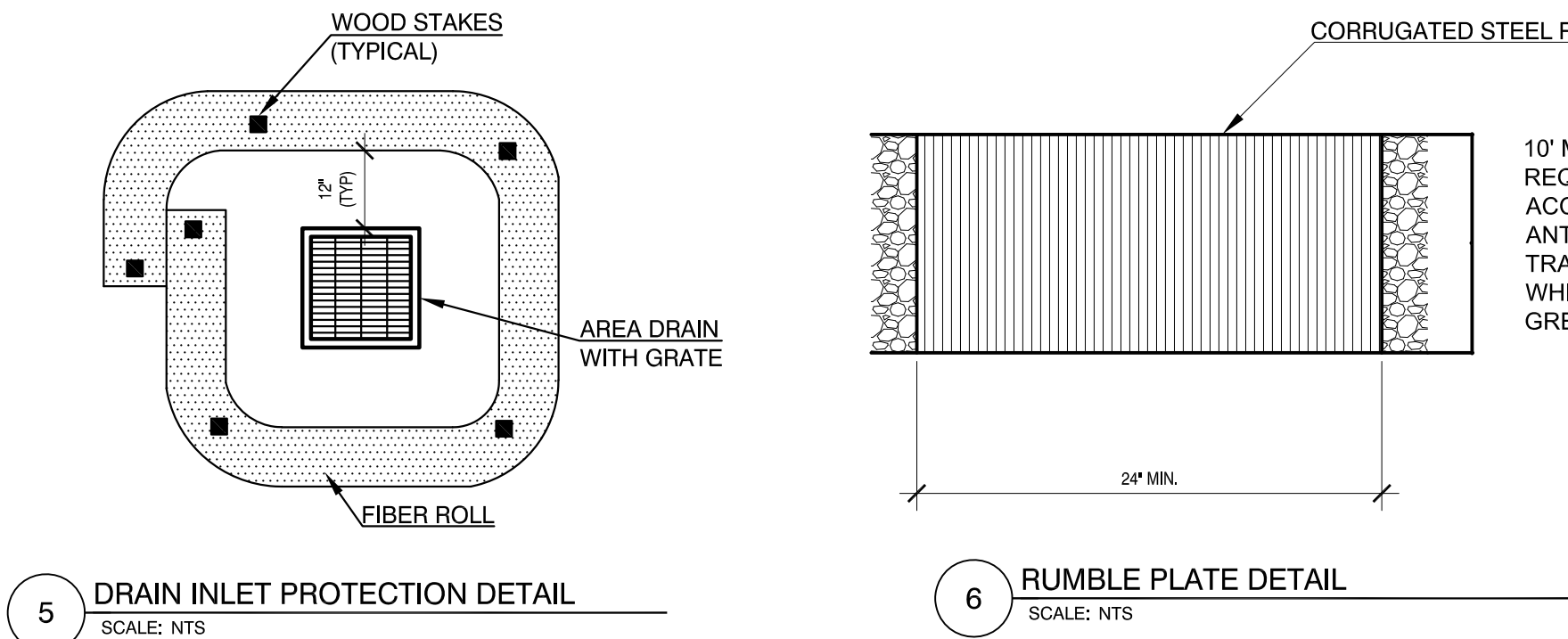
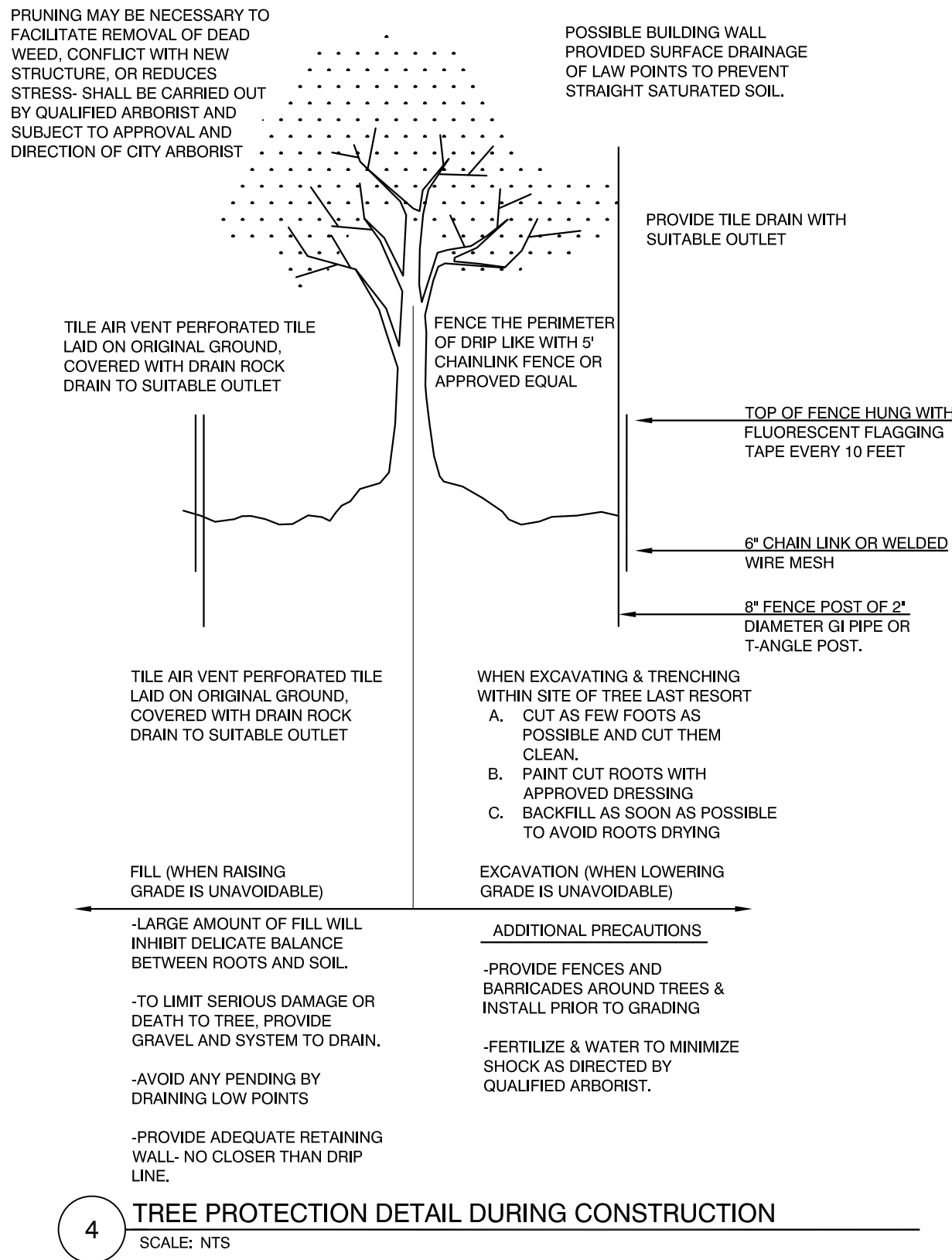
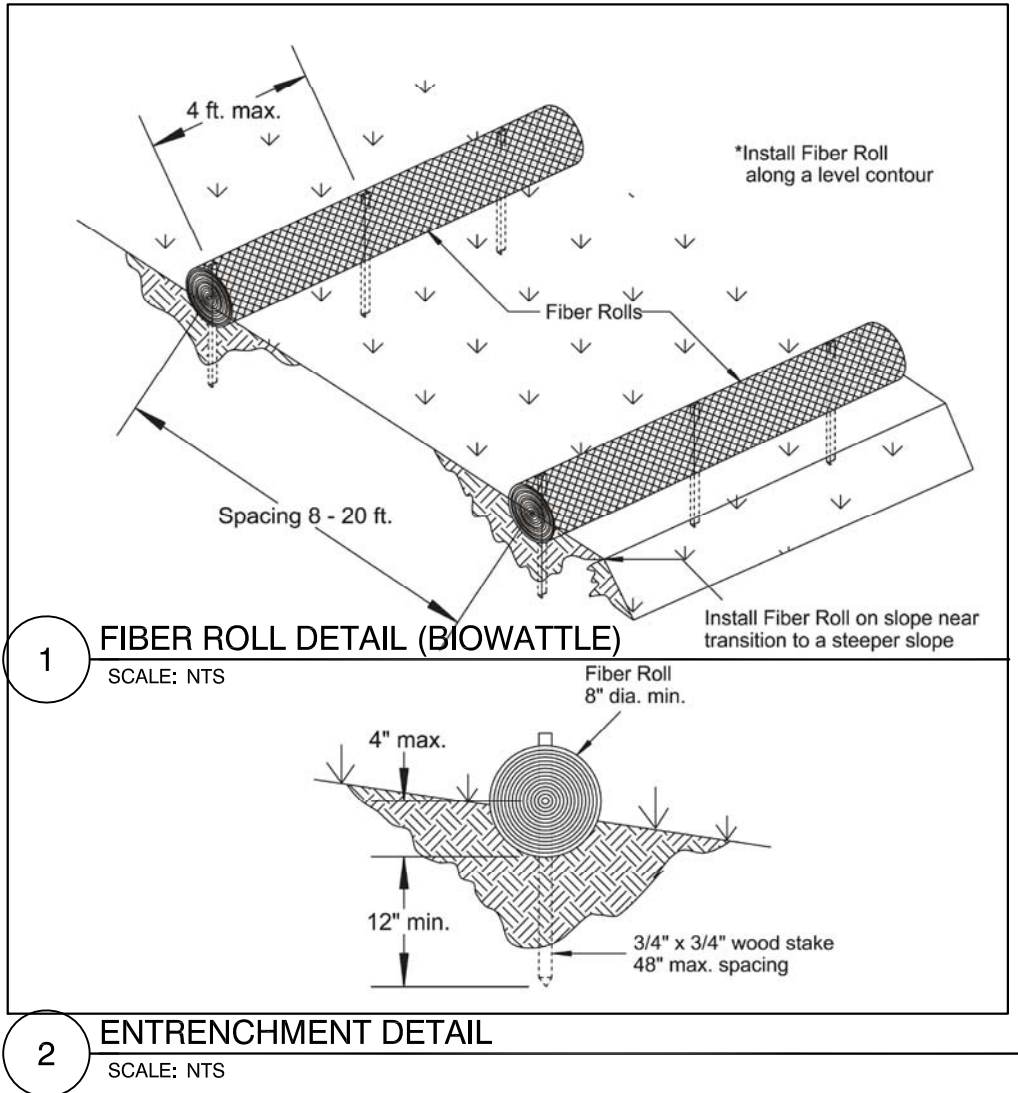
Drawing Number:

C-1



LEGEND:

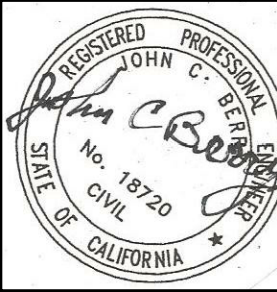
- BIO-WATTLE
- INLET PROTECTION
- TREE PROTECTION



EROSION CONTROL NOTES

- THE INTENT OF THE EROSION CONTROL PLAN IS TO MINIMIZE ANY WATER QUALITY IMPACTS IN THE FORM OF SEDIMENT POLLUTION TO MAIN CREEK & TRIBUTARIES.
- A CONSTRUCTION ENTRANCE WILL BE INSTALLED PRIOR TO GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE CONSTRUCTION ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR OF ANY MEASURES USED TO SEDIMENTS.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
- THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE ALL YEAR LONG, UNTIL GRADING AND INSTALLATION OF STORM DRAINAGE AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES WILL BE COMPLETED. NO GRADING WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 15 UNLESS AUTHORIZED BY THE CITY REPRESENTATIVE.
- DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAINAGE SYSTEM.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL FIELD MANUAL OF THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, 4TH EDITION, DATED AUGUST 2002.
- INSTALL TEMPORARY EROSION CONTROL OVER DISTURBED AREAS UTILIZING STRAW MULCH.
- BEST MANAGEMENT PRACTICES THE CONTRACTOR SHALL ADHERE TO BEST MANAGMENT PRACTICES (BMP'S) FOR STORM WATER POLUTION PREVENTION IN ALL CONSTRUCTION OPERATIONS.
- DUST CONTROL TO REDUCE DUST LEVELS, EXPOSED EARTH SURFACES SHALL BE WATERED AS NECESSARY. THE APPLICATION OF WATER SHALL BE MONITORED TO PREVENT RUN OFF INTO STORM DRAIN SYSTEM. SPILLAGE RESULTING FROM HAULING OPERATIONS ALONG OR ACROSS ANY PUBLIC OR PRIVATE PROPOERTY SHALL BE REMOVED IMMEDIATELY. DUST NUISANCES ORIGINATING FROM THE CONTRACTOR'S OPERATIONS, EITHER INSIDE OR OUTSIDE OF THE RIGHT OF WAY, SHALL BE CONTROLLED.

Berry and Associates
1733 Woodside Road, Suite 335
Redwood City, CA 94061
Phone: (650) 368-0750



EROSION CONTROL PLAN
3226 SAN LUCAS ROAD CARMEL CA 93923
SAN CARLOS
SAN MATEO COUNTY
CALIFORNIA

Revisions	
Date:	No.
02-15-19	1
Scale:	1"=XX'
Design:	JCB
Drawn:	XXX
Approved:	JCB
Job No.	xxxxx

Drawing Number:

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