

Exhibit G

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From: Ernie Lostrom
To: [Hussain, Yasmeen x6407](#)
Subject: 3226 San Lucas Road - Carmel
Date: Wednesday, September 19, 2018 3:12:02 PM
Attachments: [3226 San Lucas Issues.pdf](#)

Yasmine,

Thank you for taking the time to speak with me regarding the proposed development at 3226 San Lucas Road in Carmel. I am not against developing this property, as long as it is done properly with necessary input from neighbors who will be affected by same. You have my earlier comments, but there is a petition being circulated concerning the parking and setback issues for this project. I will bring same to the Zoning Administrator Hearing but wanted to give you an idea of the thoughts on same.

It seems that Parking regulations in section 2158 of the Monterey County Code, particularly section 2158.50 (section E) is particularly applicable as it states that "Parking spaces which are located in the front setback shall not count toward the amount of required parking unless an Administrative Permit is first secured". In this proposed development all of the parking is in the front setback.

It is my understanding that the existing structures which are outside of the front setback area are sometimes considered as "Grandfathered". These structures have occurred, without permits, and have morphed over the last 30 years by the owners of the property. Even if County were to allow them to remain as being "Grandfathered" there is nothing in the code that allow for the expansion of an existing nonconformity. With most of the shed already removed it seems that it should no longer even be considered for any treatment as a grandfathered structure.

The developer may say there is a hardship, but there is no hardship when there is a solution to the problem which would simply be to remove the carport and build a new garage or carport within the setback line on the North Eastern side of the property, as then they could comply with the on-site parking requirements and have room to safely maneuver their vehicles. The last owners of the property had to back out on an angle, blocking traffic, back into another neighbor's driveway to head west on San Lucas, as access to the east towards Highway One is not a preferred access route. They would have to find another location for their second 160 sf addition, but with a quarter of an acre I am sure they can find a space to do so.

The neighborhood is concerned as a parking problem is a problem for

the entire neighborhood.

I would A suggestion to the planning department would be to implement a pre-submittal inspection of a property being remodeled so that the baseline can be established, without same the building inspectors do not know what is new and what was existing. An appropriate fee for same could be charged and would help to eliminate trying to interpret a set of plans. In the subject case a pre-inspection would reveal that a large portion of the shed had been demolished and existing living room from the foundation to the roof had been demolished and rebuilt without necessary permits or inspections.

Thank you for your time and consideration. Please let me know that you have received this email.

Sincerely,

Ernie Lostrom

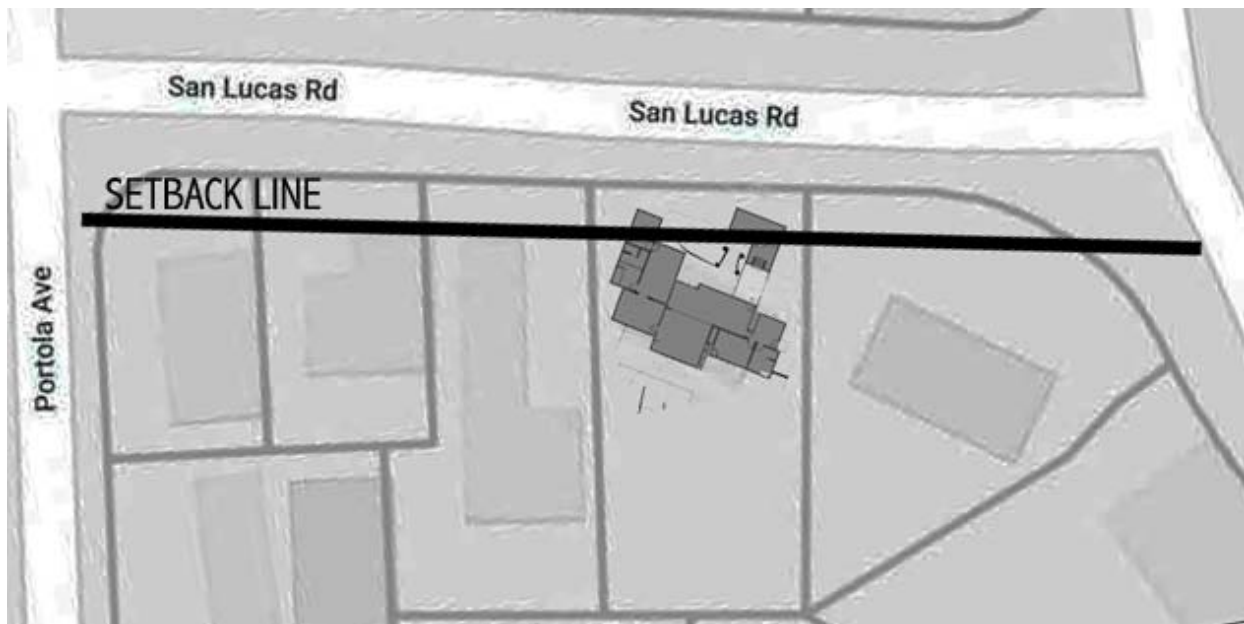
Post Office Box 3022
Carmel, CA 93921
(831)236-1918

**REGARDING : Revised PLN #180334 APN 009-051-003
3226 San Lucas Road, Carmel, CA**

Zoning Administrator
County of Monterey RMA
1441 Schilling Place, Second Floor
Salinas, CA 93901-4527

We are concerned about the proposed project and are opposed to allowing buildings to be allowed in the front setback area as they are visually unattractive. We are also concerned that there is not enough parking proposed for the site as a parking problem becomes everyone's problem.





You can see from the above representation taken from documents in public records that neighboring properties in this area do not have buildings in the setback and have parking spaces for at least 4 cars on their property plus garage space. The 20-foot front setbacks and the larger lots are a big part of what makes this neighborhood appealing.

Buildings that are in the front setback area do not appear to have been legally permitted and therefore they should not be eligible to be grandfathered. Additionally, approximately 80% of the shed building has already been demolished so there is little to be grandfathered.

The project should not be approved as submitted as, also there is not adequate on-site parking being provided and a proper covered parking space for at least 2 vehicles should be a condition of approval with same not being allowed in the front yard setback area.

The road is heavily travelled as most of the homes up on the hill use San Lucas Road as their main access to Carmel, and now it has become a shortcut for other areas of Carmel Woods to avoid traffic on Carpenter. With increasing traffic and a narrow road with a drainage ditch on the North side, it is becoming a dangerous road.

If the project is approved as submitted, it provides no parking other than in the front setback area, and only provides for a maximum of two parked in tandem. Knowing that tandem parking is always an inconvenience it would mean that there would often be cars parked on the street.



Here is a photo of the street during construction of the property. With only one parking space on site it will become a problem for the neighborhood.

The lot is over a quarter of an acre in size and has plenty of room for a proper driveway and garage, so there is no hardship for shortage of land.

Neighbors that reside at 24434 San Juan Road did a small remodel within the last 24 months where they only added 60 square feet to their home. As a condition of that approval they were required to add a two-car covered-parking area. If they had to add two covered parking spaces when they only added on 60 square feet, it certainly seems that on a much larger remodeling project like the subject should have that same condition, and it should not be allowed in the front yard setback. If there is a rule it should be applied fairly to everyone.

It should also be noted that the plans as submitted are misleading as they identify San Lucas Road as a 40' wide roadway, where in fact the actual paved road is only about 20' wide.

History - The Structures Located In The Setback Area

Potting Shed / “Guesthouse” – Like the garage/bonus room there are no permits in the file for same. It was originally a potting shed as it did not have sheetrock in the interior nor did it have any heat, electricity or plumbing. Prior to 2002 the owners converted it to an office / study apparently without permits. When it was listed for sale the listing specifically EXCLUDED THE SQUARE FOOTAGE OF THE UNATTACHED OFFICE. (See Listing Documents) Between 2002 and 2012 it was then converted to a guest house with electrical service and full bathroom added, and again without any permits for this work either. When the property was sold in 2017 the size of the house has mysteriously increased to include the guest house. The current new construction is not on the same grade, or roof height as the old guest house / potting shed and there should not be an approval to allow these illegal buildings not only to remain, but no enhancement in height or mass should be allowed.



Carport/Garage/Kennel - It was never part of a permit set as it was constructed after the house was built and apparently without permits. Owner prior to 2002 (Marsh) enclosed the carport as a garage. There is nothing in the permit file showing that permits were obtained for such work. The next owner of the property after 2002 (Driscoll), totally enclosed the garage and finished the interior so that it could be used as a dog kennel, also apparently without necessary permits to do so. Currently there is not even an operable garage door and has a curb to go over as it appears that they poured a small footing to turn the door into a wall. When put on the market for sale the listing refers to the converted garage as “Bonus Space” which implies that it is not included in the size of the building. It also says there is no garage, which is correct in that as it is currently constructed it is not a garage or parking space.

The photo below shows that the parking area and converted carport are located too close to the street and barely provide room for one vehicle as presently configured.

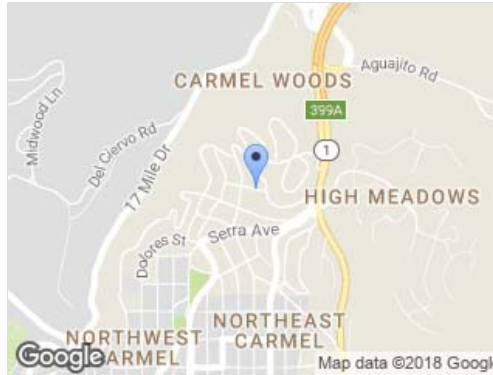


Because neither of these structures were originally legally permitted in the first place, they certainly should not be “Grandfathered” or allowed to remain. On a major full remodel the planning process should look to bringing the entire property back into compliance as a condition of any permits.

We urge you to not allow these illegal buildings to be grandfathered and to direct the developer of this property to develop to the same standards as other properties in the neighborhood, which have adequate covered parking on site and do not have structures in the 20 ‘-front setback.

#

2002 LISTING



MLS #: ML80223458
Beds: 2
Baths (F/P): 2 (2/0)
Apprx Bldg: 1,119 SqFt
Apprx Lot:
Apprx Acr: 0.270 Acres
Age/Yr Blt: 55/0
Parcel#: 009-051-003
DOM: 29
LA: [Les Zielinski](#)
LA Ph: (831) 622-1040
SA: [Candie Noel](#)
Walk Score:

3226 SAN LUCAS Road, Carmel 93923

County: Monterey
Area: 140 - Carmel Woods
Class: Res. Single Family / Detached
Land Use:
Comm: 3%
L.Type/Service: Exclusive Right to Sell,

Special Info: Not Applicable

Fin Terms: Cash or Conventional Loan

Public: CHARMING 2 BR,CARMELO STUCCO COTTAGE.2 FIREPLACES.CATHEDRAL CEILING. PEEKS OF OCEAN AND PT LOBOS.

FINISHED OFFICE NOT COUNTED IN SQ FT. TILE ROOF. CRML STONE PATIO. MOSTLY FENCED. GOOD DRAINAGE. LA HAS NOT VERIFIED SQ FT. BUYER TO

Private: SATISFY SELF. CALL LA FOR DETAILS. APPT. ONLY. HM 831-373-6838 OR 620-6124 VM.

Status:

Sold

Orig Price: \$895,000
List Price: **\$895,000**
Sale Price: **\$895,000**
\$/SqFt: \$799.82

Zoning: MDR

Possession: COE

Dates

Original: 05/13/2002
List: 05/13/2002
Sale: 06/11/2002
COE: 07/29/2002
Expires: 04/24/2003

Off Mrkt:

LOE: 48

Incorp:

City Limit:

Showing & Location

Showing Information

Occupied By: Owner

Show Contact:

Phone:

Instructions: Lockbox - None, Do Not Disturb Occupants, Appointment Only, Call Listing Agent

Map

X Street: PORTOLA

Directions:

Prop Faces:

Owner:

Show type:

Gt.Code:

Add Instruct:

School

Elem:

Middle:

High:

Building #:

Closing Details

offers:

Buyer Finance: Type - Conventional

Sold Remarks:

Concession:

LOE: 48

Features

Accessibility:

Bathroom: No Tub, Stall Shower - 2+

Bedroom:

Communication: Cable TV Available

Construct Type:

Cooling: None

Dining Rm: Formal Room

Energy Sav: Insulation - Unknown, Low Flow Shower, Low Flow Toilet

Ext. Amenities: Patio(s), Fenced

Family Room: No Separate Family Room, No Family Room

Fence:

Fireplace: # / Living Room, Other Location, Wood Burning, Gas Starter, Yes

Flooring: Hardwood - Partial, Carpet - Wall to Wall, Wood, Vinyl/Linoleum

Foundation: Concrete Perimeter

Heating: Baseboard, Wall Furnace, Forced Air, Gas

Garage/Parking

Garage:

Carport: 1

Open Parking:

Features: Detached Garage, Off-Street Parking, Uncovered Parking

Builder Nm:

Constr. Status:

Horse:

Interior: Window Covering(s), Vaulted Ceiling

Kitchen: Garbage Disposal, Dishwasher, Hookups - Gas, 220 Volt Outlet, Cooktop, Oven - Built-In, Refrigerator (s)

Laundry:

Lot Desc: Grade - Level, Grade - Sloped Down -

Other Rooms: Den/Study/Office

Pool YN: No

Pool / Spa: Pool - No

Prop Condition:

Roof: Tile

Security:

Soil Condition:

Stories: 1

Style: Cottage

View: Local/Neighborhood, Ocean

Structure(s)

Type:

O.S. Desc:

O.S. Size:

Model Name:

Price min:

ETA Complet.:

Price max:

Complex Name:

[Complex/HOA](#)

C. Amenities:

#Units N Com:

HOA Name:

C. Restrictions:

HOA Fee: \$0/

HOA Phone:

HOA Docs:

HOA Covers:

HOA Doc Fee:

HOA Trsfr Fee

#Units N Build

[Utilities](#)

Sewer:

Sewer Not Connected

Electricity:

Water:

Heater - Gas, Public

[Distribution](#)

Consumer Site: Yes

VOW-AVM: Yes

Address Format:

VOW-CommentYes

[Documents and Disclosures](#)

Green Rated:

TIC Agree:

POS Ord.:

Trnsf Tx: No

Hazard:

Flood Zone - See Report, Fault Zone - See Report, Geological/Flood Report

Other:

Home Warranty - No, Call L/A Before Writing Deposit Rcp't, Coastal Jurisdiction

Disclosures URL:

Public Docs: [See BuildFax](#)

(Subscription Needed)

[Contact Information](#)

LA:

[Les Zielinski](#)

LA Ph:

(831) 622-1040

LA Fx:

LA Lic#:

00631402

LA Em:

lesnpat@mbay.net

LO:

[Alain Pinel Realtors \(B.Lic#00703550\)](#)

LO Ph:

(831) 622-1040

LO Fx:

(831) 622-1050

SA:

[Candie Noel](#)

SA Ph:

SA Fx:

SA Lic#:

01339841

SA Em:

cnoel@baileyproperties.com

SO:

[Bailey Properties](#)

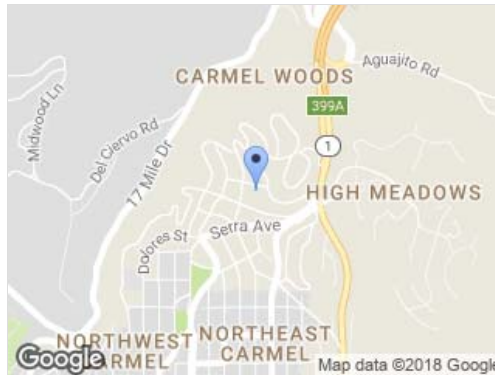
SO Ph:

SO Fx:

(831) 426-7830

[History](#)**Click Arrow for Property History**[Additional Photos](#)**Click Arrow for Photos****Disclaimer: The above information is deemed to be accurate but not guaranteed. Source: MLSListings ; ©2018 MLSListings Inc.**

2017 LISTING



MLS #: ML81638377
Beds: 2
Baths (F/P): 2 (2/0)
Apprx.Bldg: 1,350 SqFt (Other)
Apprx Lot: 11,900 SqFt (Tax)
Apprx Acr: 0.273 Acres
Age/Yr Blt: 70/1947 (Tax)
Parcel#: 009-051-003-000
DOM: 151
LA: Sharon Matthams
LA Ph: (831) 320-4161
SA: Gin Weathers
Walk Score: 34
[Get Homesnap Pro](#)

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3226 San Lucas Road, Carmel 93923

County: Monterey
Area: 140 - Carmel Woods
Class: Res. Single Family / Detached
Land Use:
Comm: 2.5%
L.Type/Service: Exclusive Agency, Full Service

Special Info: Not Applicable

Fin Terms: Cash or Conventional Loan

Public: This home is the definition of Carmel Cottage. Features include beautiful vaulted ceilings with exposed beams in the living room, fireplaces in the living room and master bedroom, filtered views of Point Lobos from the master bedroom and expansive back garden. In addition, the separate 'bonus room' is terrific for use as an office, studio, playroom or visitors space. Also included on the property is a separate structure that can accommodate lots of additional storage. The home is on a very large, very beautiful lot, it's like living in your own private Oasis; the measurement does not do this one justice; trust us, you need to see this one if you want a large yard to play in or a large lot to expand/build, it's also perfect if you have pets that need a fully fenced, secure area. Located on a Quiet street with quick, easy access to Carmel and all Monterey Peninsula cities, beaches, golf courses and restaurants. Welcome Home!

Private: Fell out of escrow, no fault of property. Buyers could not sell their home. Renters in house. DO NOT SHOW AT THIS TIME.

Status: Sold
Orig Price: \$1,299,000
List Price: \$1,199,000
Sale Price: \$1,174,000
\$/SqFt: \$869.63

Zoning: SFR

Possession: COE

Dates
Original: 02/09/2017
List: 02/09/2017
Sale: 08/11/2017
COE: 10/04/2017
Expires: 11/03/2017
Off Mkt:
LOE: 54
Incorp: Yes
City Limit: No

Showing & Location

Showing Information

Occupied By: Owner

Show Contact:

Phone: (831) 320-4161

Instructions: Leave Card, See Remarks

Map

X Street: Portola

Directions:

Prop Faces:

Owner:

Show type: Tenant

Add Instruct: Be CERTAIN back door locks, triple check! Deadbolt on front door not locked--push hard to open.

School

Elem: / Carmel Unified

Middle:

High: / Carmel Unified

Building #:

Closing Details

offers:

Buyer Finance: Type - Conventional

Sold Remarks:

Concession:

LOE: 54

Tour

02/14/2017 Carmel Pebble Beach Tour

02/28/2017 Carmel Pebble Beach Tour

Cute as a button and Great Potential in this adorable cottage.Large Lot.

03/28/2017 Carmel Pebble Beach Tour

Cute as a button with Pt. Lobos views, Huge Lot, tons of potential. Motivated

04/18/2017 Carmel Pebble Beach Tour

Come see this cute cottage on a large quiet lot with filtered Pt. Lobos views.

06/20/2017 Carmel Pebble Beach Tour

Big price reduction, seller says get it sold. Great location, big lot /views.

Monterey County Association of REALTORS

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Monterey County Association of REALTORS

Monterey County Association of REALTORS

Features

Accessibility:

Bathroom: Tile

Bedroom:

Communication:

Construct Type:

Cooling: None

Dining Rm: Dining Area

Energy Sav:

Ext. Amenities:

Horse: No

Interior: Vaulted Ceiling

Kitchen:

Laundry:

Lot Desc: Grade - Gently Sloped, Grade - Mostly Level, Private/Secluded, Views -

Other Rooms:

Pool YN: No

Pool / Spa:

Prop Condition:

Family Room: Separate Family Room
Fence: Fenced Back, Fenced Front
Fireplace: #2 / Wood Burning
Flooring: Hardwood
Foundation: Concrete Perimeter and Slab, Crawl Space
Heating: Central Forced Air - Gas, Fireplace, Forced Air

Roof: Tile
Security:
Soil Condition:
Stories: 1
Style:
View:

Garage/Parking

Garage: 0

Carport:

Open Parking: 2

Features: Off-Street Parking

Structure(s)

Type:

O.S. Desc:

O.S. Size:

Utilities

Sewer: Sewer Connected
Water: Public

Electricity: Public

Distribution

Consumer Site: Yes
Address Format: Show Full Address

VOW-AVM: Yes
VOW-CommentNo

Documents and Disclosures

Green Rated:
POS Ord.:
Hazard: Fault Zone - See Report
Other:
Disclosures URL:
Public Docs: [See BuildFax](#)

TIC Agree:
Trnsf Tx:

(Subscription Needed)

Contact Information

LA: [Sharon Matthams](#)
LA Lic#: 01883059
LO: [Coldwell Banker Residential Brokerage](#)
(B.Lic#01908304)
SA: [Gin Weathers](#)
SA Lic#: 01295292
SO: [Sotheby's Int'l Realty-Rancho](#)

LA Ph: (831) 320-4161 LA Fx: (831) 646-0418
LA Em: sharonmatthams@gmail.com
LO Ph: (831) 626-2223 LO Fx: (831) 626-2230
SA Ph: (831) 594-4752 SA Fx:
SA Em: gin@ginweathers.com
SO Ph: (831) 624-1566 SO Fx: (831) 624-1651

History**Click Arrow for Property History**

Additional Photos**Click Arrow for Photos**

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