

# Exhibit B

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**EXHIBIT B  
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the  
County of Monterey, State of California**

In the matter of the application of:

**MARSHALL DAVID R & LINDA H TRS  
(PLN190147)**

**RESOLUTION NO. 19 - \_\_\_\_**

Resolution by the Monterey County Zoning  
Administrator:

- 1) Finding that the project is for the repair and maintenance of an historical resource which qualifies as a Class 31 Categorical Exemption per section 15331 of the CEQA Guidelines; and
- 2) Approving a Follow-up Coastal Development Permit to an Emergency Coastal Development Permit (PLN190006) for the construction of a new foundation under an existing legal non-conforming log cabin straddling the Palo Colorado Creek (within 100 feet of environmentally sensitive habitat area) and to allow new improvements including replacement of a deck and skylights.

[36963 Palo Colorado Road, Carmel, Big Sur Land  
Use Plan, Coastal Zone (APN: 418-031-012-000)]

**The Marshall application (PLN190147) came on for public hearing before the Monterey County Zoning Administrator on December 05, 2019. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

**FINDINGS AND EVIDENCE**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
  - Big Sur Coast Land Use Plan;
  - Monterey County Coastal Implementation Plan Part 3; and
  - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The proposed project is a Follow-up Coastal Development Permit to an Emergency Coastal Development Permit (PLN190006) allowing the redwood log foundation of an existing log cabin to be replaced with a new concrete foundation and for additional work to include replacement of existing decks, and replacing existing bubble skylights with flat skylights. All work is within 100 feet of environmentally sensitive habitat area (Palo Colorado Creek and Redwood forest). The project is located at 36963 Palo Colorado Road, Carmel subject to the Big Sur Land Use Plan in the Coastal Zone.
- c) The project site is zoned Rural Density Residential, 40 acres per unit, with a Design Control overlay in the Coastal Zone [RDR/40-D (CZ)]. The project includes repair and maintenance of a single family dwelling, which is an allowed use for this site.
- d) Environmentally Sensitive Habitat: See Finding No. 7.
- e) Archaeological/Cultural Resources: County records identify that the project is within an area of high sensitivity for archaeological resources. An archaeological survey (LIB180338) prepared for the project site concluded that no archaeological resources were identified within or adjacent to the project site.
- f) Legal Nonconforming: The location of the current cabin is not in conformance with Big Sur Land Use Plan policies regarding riparian setbacks and it does not meet the required front setback from Palo Colorado Road; however, this log cabin was constructed 100 years ago and is therefore is a legal nonconforming structure.
- g) Staff has reviewed the project for conformance with the Big Sur Land Use Plan Policies dealing with Environmentally Sensitive Habitat and Historic resources. Policy 3.3.3.4 of the Big Sur Land Use Plan requires that development be setback 150 feet from each side of a streambank to protect riparian plant communities unless a narrower corridor can be demonstrated to be sufficient to protect existing vegetation. Moving the building would harm the integrity of the historic resource and would result in more disturbance to environmentally sensitive habitat. Due to the physical constraints of the lot including size, shape, topography, and vegetation, the cabin could not be moved to a location that would bring the structure into conformance with the riparian setbacks.
- h) The project was not referred to the Big Sur Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did not warrant referral to the LUAC because the project was originally approved under an Emergency Permit. This follow-up permit was referred to the Historic Resources Review Board (HRRB) for review and recommendation. See Finding 9 with supporting evidence.
- i) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN190147.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning, CALFIRE Coastal (Fire Protection District), RMA - Public Works, RMA – Environmental Resources, and the Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to Archaeological Resources, Biological Resources, Soil/Slope Stability, and Visual Resources. The following reports have been prepared:
    - Preliminary Cultural Resources Reconnaissance of Assessor's Parcel Number 418-031-012 (LIB180338) prepared by Susan Morley, September 2018.
    - Biological Sensitive Species Resource Review (LIB180334) prepared by Fred Ballerini, September 5, 2018.
    - Historic Assessment (LIB190078) prepared by Kent Seavey, November 15, 2019.The above-mentioned technical reports indicated there are no physical or environmental constraints that would indicate that the sites are not suitable for the uses proposed. County staff has independently reviewed these reports and concurs with their conclusions.
  - c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project Files PLN190006 and PLN190147.
3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by RMA - Planning, CALFIRE Coastal (Fire Protection District), RMA - Public Works, RMA – Environmental Services, and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) The project allows improvements authorized by Emergency Coastal Development Permit PLN190006 to remain as permanent installations to lessen the potential of detriment to the public health, safety, and welfare. The foundation repair was engineered to support the structure without impeding the flow of the creek. The concrete foundation spans the creek and rests on concrete pillars placed on both sides of the creek bed.

- c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project Files PLN190006 and PLN190147.
4. **FINDING:** **NO VIOLATIONS** - The subject properties are in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the properties.
- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning and Building Services records and is not aware of any violations existing on the subject properties.
  - b) There are no known violations on the subject parcels.
  - c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project Files PLN190006 and PLN190147.
5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15331 categorically exempts maintenance, repair and stabilization of historic structures.
  - b) This project involved demolition and reconstruction of the foundation of an existing log cabin that had been destabilized by age and environmental factors. The foundation repair stabilized an unsafe situation that was threatening the stability of the historic resources. Measures were implemented during the emergency foundation repair to avoid impacts to the creek and surrounding habitat to the extent feasible. The foundation repair, deck replacement, and skylight replacement have been determined to be consistent with the Secretary of the Interior's Guidelines for restoration of historic resources by the project historian and by the Historic Resource Review Board.
  - c) The County authorized the foundation demolition and reconstruction work under an Emergency Coastal Development Permit (Project File PLN190006) approved on April 30, 2019. The emergency work allowed, and completed under, PLN190006 was deemed to be statutorily exempt under CEQA Guidelines Section 15269(b). The County, by allowing certain improvements identified in Finding No. 1 to remain indefinitely, has determined these improvements to be consistent with the parameters of the categorical exemption per Evidence 5a above.
  - d) Technical reports prepared for the project do not identify any potential significant or cumulative impacts, and no evidence of significant adverse environmental effects were identified during staff review of the development application.
  - e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning

Department for the proposed development found in Project Files PLN190006 and PLN190147.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- a) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 3 [Trails Plan - North and Central Sections] in the Big Sur Coast Land Use Plan).
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over these properties or project sites.
  - c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project Files PLN190006 and PLN190147.
7. **FINDING:** **ESHA** – The subject project minimizes impacts on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the Big Sur Land Use Plan.
- EVIDENCE:**
- a) The project involves development within 100 feet of environmentally sensitive habitat areas (ESHA). In accordance with the applicable policies of the Big Sur Coast Land Use Plan (LUP) and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the criteria to grant said permit have been met.
  - b) Policies in Chapter 3.3 of the Big Sur Coast LUP are directed at maintaining, protecting, and where possible enhancing sensitive habitats. As designed and installed, the project is consistent with applicable policies regarding protection of habitat.
  - c) The project site lies within environmentally sensitive redwood forest, potential nesting habitat, and riparian habitat. Therefore, the applicant submitted a biological survey and addendum to assess the project impacts. As noted in the survey and the addendum, disturbance to ESHA would be minimal. The project site is located over a streambed; however, due to the type of work proposed, the emergency project will have no significant impact on special-status species, sensitive habitat, or other significant biological resources. The retrofit of the foundation replaced the existing cabin foundation and is the minimum work necessary to ensure stabilization of the structure. At the time of permit issuance, staff found development would minimally impact the creek bed while providing a permanent long-term solution.
  - d) Policy 3.3.3.4 of the Big Sur Land Use Plan requires that development be setback 150 feet from each side of a streambank to protect riparian plant communities unless a narrower corridor can be demonstrated to be sufficient to protect existing vegetation. The site also contains a mature redwood forest and steep slopes on the north side of the creek. In these situations, Policy 3.3.2.4 of the Big Sur Land Use Plan applies to developments approved within environmentally sensitive habitat. This

policy states that removal of indigenous vegetation and land disturbance shall be limited to that needed for the structural improvements themselves with a guiding philosophy to maximize maintenance of the natural topography of the site. In this case, repairs to the foundation are considered the least intrusive option. Moving the home would not bring the home into conformance with riparian setback requirements because there is not sufficient building space on the site to accommodate relocation of the cabin without significant grading and removal of mature redwood trees. Therefore, moving the cabin would harm the integrity of the historic resource and would result in more grading, tree removal and disturbance to habitat at this site.

- e) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project Files PLN190006 and PLN190147.

8. **FINDING:** **HISTORICAL RESOURCES** – The existing log cabin is eligible to be listed on the County’s Register of Historic Resources. The proposed improvements would not adversely affect the historic resource.

- EVIDENCE:**
- a) The Big Sur Coast Land Use Plan as well as the CEQA Guidelines identify the importance of preserving the historic buildings.
  - b) A Phase 1 Historic Assessment was prepared on November 15, 2018 by a Monterey County qualified historical consultant. The Phase 1 Historic Assessment determined the house is significant at the local level in architecture for its method of construction, as one of the few remaining examples of vernacular log cabins in the northern part of Big Sur and, therefore, is eligible to be listed on the County’s Registry of Historic Resources. The applicant submitted a supplemental letter to the historic assessment dated March 15, 2019 that discussed how exterior modifications (skylights) to the cabin will not cause a significant adverse effect on the historic resource or its environment.
  - c) This item was presented before the Historical Resources Review Board on April 4, 2019 and was approved by a vote of six to zero with one absence.
  - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project Files PLN190006 and PLN190147.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors: Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20) allows an appeal to be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
  - b) California Coastal Commission: Sections 20.86.080.A.2 and A.3 of the Monterey County Zoning Ordinance (Title 20). The project is subject to appeal by/to the California Coastal Commission because it involves development within 100 feet of a stream and development that is permitted in the underlying zone as a conditional use.



## **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project is for the repair maintenance and of an historical resource which qualifies as a Class 31 Categorical Exemption per section 15331 of the CEQA Guidelines; and
2. Approve a Follow-up Coastal Development Permit to an Emergency Coastal Development Permit (PLN190006) for the construction of a new foundation under an existing legal non-conforming log cabin straddling the Palo Colorado Creek (within 100 feet of environmentally sensitive habitat area) and to allow new improvements including replacement of a deck and skylights.

In general conformance with the attached plans and subject to four (4) conditions, both being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 5th day of December, 2019.

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Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

# Monterey County RMA Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190147

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Follow-up Coastal Development Permit (PLN190147) to an Emergency Coastal Development Permit (PLN190006) is for the construction of a new foundation under an existing legal non-conforming log cabin straddling the Palo Colorado Creek (within 100 feet of environmentally sensitive habitat area), and to allow new improvements including replacement of a deck and skylights. The property is located at 36963 Palo Colorado Road in Carmel (Assessor's Parcel Number 418-031-012-000), Big Sur Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation** The applicant shall record a Permit Approval Notice. This notice shall state:

**Monitoring Measure:**

"A Follow-up Coastal Development Permit (Resolution Number 19- ) was approved by the Zoning Administrator for Assessor's Parcel Number 418-031-012-000 on December 5, 2019. The permit was granted subject to four (4) conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

**Compliance or  
Monitoring  
Action to be Performed:**

Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation  
Monitoring Measure:**

If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (RMA - Planning)

**Compliance or  
Monitoring  
Action to be Performed:**

The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. POST CONSTRUCTION BIOLOGICAL SURVEY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** In order to minimize disturbance to environmentally sensitive habitat area, the Owner/Applicant/Agent shall adhere to the recommendations outlined in the biological survey dated September 5, 2018, which was submitted with the application. (RMA Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant/Agent shall place biological recommendations as notes on the building plans, and the biological recommendations shall be followed during construction.

Prior to final of building permits, the Owner/Applicant/Agent shall submit to the RMA Chief of Planning, for review and approval, a letter from a qualified biologist stating that recommendations were followed.

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



## SHEET INDEX

AND	(E)	EAST	JAN.	JANITOR	R	RADIUS / RISER	
ANGLE	(E)	EXISTING	JT.	JOINT	R.A.	RETURN AIR	
@	AT	EACH			R.D.	ROOF DRAIN	
+							
3	DIAMETER	E.J.	EXPANSION JOINT	L	ANGLE	REF.	REFRIGERATOR
2CP	2 COAT PLASTER	EL	ELEVATION	LB.	POUND	REF.	REINFORCED
3CP	3 COAT PLASTER	ELEC.	ELECTRICAL	LG.	LONG LENGTH	RESIN	REVISION
		ELEV.	ELEVATOR	LAM	LAMINATE(ION)	REV.	REVISION(ION)
AB.	AGGREGATE BASE	EMER.	EMERGENCY	LAV	LAVATORY	REOD.	REQUIRED
A.B.T	ANCHOR BOLT	E.M.R	ELEVATOR MACHINE RM.	LLH	LONG LEG HORIZ.	RM.	ROOM
ACD.	AIR CONDITIONER	ENCL	ENCLOSURE, ENCLOSED	LLV	LONG LEG VERT.	R.O.	ROUGH OPENING
ACT.	ACCESS DOOR	ENGR.	ENGINEER	LT(G)	LIGHT(ING)		
ACT.	ACOUSTIC TILE	ENTR.	ENTRANCE	LV.	LOUVER	S	SOUTH
A.D.A	AREA DRAIN	EO.	EQUAL			S.F.B	SOUND ATTENUATION FIRE
	AMERICANS WITH	EQ.	EQUIPMENT	MACH	MACHINE	SC	SEALED CONCRETE SOLID
	DISABILITIES ACT	EST.	ESTIMATE	MAX.	MAXIMUM	SCH	SCHEDULE
ADJ.	ADJUSTABLE	EX.	EXISTING	MECH.	MECHANICAL	SCP	SKIM COAT PLASTER
A.F.F.	ABOVE FINISH FLOOR	EXP.	EXHAUST	MEMB.	MEMBRANE	SEC.	SECTION
AL.	ALUMINUM	EXP.	EXPANSION	MEZZ	MEZZANINE	S.F.	SQUARE FEET
ANOD.	ANODIZED	EXT.	EXTERIOR	MFR.	MANUFACTURER	SHT.	SHEET
A.P.	ACCESS PANEL	F.A.I.	FRESH AIR INTAKE	MH.	MAN HOLE	SIG.	SOUND INSULATING GLASS
ARCH.	ARCHITECTURAL	F.D.	FIRE DRAIN	MIN.	MINIMUM	SM.	SIMILAR
AVG.	AVERAGE	FDN.	FOUNDATION	MISC.	MISCELLANEOUS	SP	Structural Insulated Panel
		FE	FIRE EXTINGUISHER	M.O.	MASONRY OPENING	S.J.	SCORED JOINT
BO.	BOARD	FF	FIRE FLOOR OR FINISHED FACE	MTD.	MOUNTED	SPKLR	SPRINKLER
BITUM.	BITUMINOUS	F.F	FINISH FLOOR OR FINISHED FACE	MTG.	MOUNTING	SPKR.	SPEAKER
BLDG.	BUILDING	F.G.	FINISH GRADE	MTL.	METAL	SQ.	SQUARE
BLK.	BLOCKING	FGL	FIBERGLASS			S.S.	STAINLESS STEEL
BM.	BEAM	F.H.	FIRE HYDRANT, FLAT HEAD	N	NORTH	SMI	SEE MANUFACTURERS INST.
B.M.	BENCH MARK	H.C.	FIRE HOSE CABINET	NAT.	NATURAL	SED.	SEE ENGINEERING DRAWING
B.O.	BOTTOM OF	FL.	FINISH	N.I.C.	NOT IN CONTRACT	SSD	SEE STRUCTURAL DRAWING
BR.	BRASS	FLR.	FLOOR	NO.	NUMBER	ST	STONE TILE / STONE
BRK.	BRICK	FL.	FLUORESCENT	NOM.	NOMINAL	STL.	STEEL
B.S.	BOTH SIDES	F.O.	FACE OF	NRC	NOISE REDUCTION	STC.	STANDARD TRANSMISSION CO.
BSMT.	BASEMENT	F.O.C.	FACE OF CONC.		COEFFICIENT	STD.	STANDARD
B.U.R.	BUILT-UP ROOF	F.O.M.	FACE OF MASONRY	N.T.S.	NOT TO SCALE	STOR.	STORAGE
		F.O.S	FACE OF STUD	O	OVER	STRUCT	STRUCTURAL
CAB.	CABINET	F.P.	FIRE PROOFING	O.I.	ON CENTER	SUSP.	SUSPENDED
CAP.	CAPACITY	FR.	FRAME / FIRE RATED	O.C.	ON CENTER	SW.	STAINED WOOD
CAT.	CATALOG	F.S.	FULL SIZE	O.D.	OUTSIDE DIAMETER		
C.C.F.I.	CLOSED CELL	FT.	FOOT/FEET	OFF.	OFFICE		
C.B.	CATCH BASIN	FTG.	FOOTING	OFF.	OFFICE	T	TREAD
C.E.	CEDAR	FTXR.	FIXTURE	O.H.	OPPOSITE HAND	T.B.	TILE BACKER BOARD
CEM.	CEMENTITIOUS	GA.	GAUGE	OPG.	OPENING	T.C.	TERRA COTTA
CFM	CERAMIC	GA.	GAUGE	OPP.	OPPOSITE	TEL.	TELEPHONE
CFM	CUBIC FEET/MIN.	GALV.	GALVANIZED	OVHD.	OVERHEAD	TEMP.	TEMPORARY
CER.	CERAMIC	G.C.	GENERAL CONTRACTOR			TCR.	TONGUE AND GROOVE
C.I.	CAST IRON	GEN.	GENERAL			TAG	TONGUE AND GROOVE
C.L.	CENTERLINE	GFCI.	GROUND FAULT	PERF.	PERFORATED	THK.	THICK
CLOS.	CLOSE		CIRCUIT INTERRUPTER	PL.	PLATE	THRU.	THROUGH
CLOS.	CLOSE	G.I.	GALVANIZED IRON	PLAS.	PLASTER	TMPO	TEMPERED
CLR.	CLEAR	GL.	GLASS	PLBG.	PLUMBING	(T)	TEMPERED
CL.W.	CLEAR FINISH WOOD	GLM	GLUE/LAM	PLG.	PANELLING	T.O.P.	TOP OF PLATE
CL.	CONTROL JOINT	GLZ	GLAZING	PLY	PLYWOOD	T.O.S	TOP OF STUD
CNCU.	CONC. MASONRY UNIT	GMT.	GLASS MOSAIC TILE	PERF.	PERF. MTL	T.O.W.	TOP OF WALL
CMR.	COUNTER	GR.	GRADE	POL.	POLISHED	T.S.S.	TOP OF STRUCTURAL STEEL
C.O.	CLEANOUT	GT.	GLASS TILE	PR.	PAIR	TY.	TYPICAL
CONF.	CONFERENCE	GW.B	GYPSUM WALL BOARD	PT.	PAINTED	TZ	TERRAZZO
CON.	COLUMN	GYP.	GYPSUM	PTN.	PARTITION		
COL.	COMMUNICATION			PT.	PAINTED WOOD	UNF.	UNFINISHED
CONC.	CONCRETE	HC.	HOLLOW CORE	QW.	QUARRY TILE	UN.O	UNLESS NOTED OTHERWISE
CONST.	CONSTRUCTION	HD.R	HARDWOOD	QTY.	QUANTITY	UPD.	UPHOLSTERED
CONT.	CONTRIBUTION	HDWR.	HARDWARE				
CORR.	CORRIDOR	H.M.	HOLLOW MTL.			VENT.	VENTILATION
CPT.	CARPET	H.M.	HORIZONTAL			VERT.	VERTICAL
CRS.	CERAMIC	HR.	HOUR			VEST.	VESTIBULE
CT.	CERAMIC TILE	H.S.	HEADED STUD			VF.	VERIFY IN FIELD
CW.	CENTER	H.T.	HEIGHT			V.R.	VENEER PLASTER
CW	COLD WATER	HTG.	HEATING			V.P.	VENETIAN PLASTER
		HTR.	HEATER				
		HVAC	HEATING VENTILATION & AIR CONDITIONING			W	WIDE
DBL.	DOUBLE					W(O)	WITH (OR WITHOUT)
DEMO	DEMOLITION					W.	WALNUT
DET.	DETAIL	HW	HOT WATER			W.C.	WATER CLOSET
DF.	DOUGLAS FIR					WD.	WOOD
DIA.	DIAMETER	ID.	IMPERIAL BOARD			WDW.	WINDOW
DNG.	DIAGONAL	I.B.	INSIDE DIAMETER			WLP.	WALL PAPER
DM.	DIMENSION	IN.	INCHES			W.P.	WATERPROOFING
DKG.	DECKING	INS.	INSULATION			W.	WEIGHT
DN.	DOWN	INVL.	INVERT			W.R.B.	WATER RESISTIVE BARRIER
D.O.	DOOR OPENING						
D.R.	DOOR					YD	YARD

PHASE 1:  
VOLUNTARY FOUNDATION RETROFIT OF A PARTIALLY DAMAGED  
FOUNDATION FOR AN EXISTING 903 SF LOG CABIN. DEMOLITION  
OF (E) DECKS. COMPLETED UNDER EMERGENCY PERMIT #  
PLN190006

PHASE 2:  
RECONSTRUCTION OF (E) DECKS AND REPLACEMENT OF  
DESTROYED FOOTBRIDGE W/ WRAP AROUND DECK. REMOVE  
AND REPLACE (E) BUBBLE SKYLIGHTS W/ NEW FLAT SKYLIGHTS.  
NEW 200 AMP ELECTRICAL PANEL. INSTALL ON-DEMAND HOT  
WATER HEATER. NEW 320 GAL PROPANE TANK.

## PROJECT TEAM

<b>OWNER</b>	<b>DAVID MARSHALL &amp; FAMILY</b> 200 North Orange Avenue Lodi, CA 95240
<b>ARCHITECT</b>	<b>STUDIO CARVER ARCHITECTS</b> P.O. Box 2684, Carmel, CA 93921 Phone: (831) 624-2304 Fax: (831) 624-0364 E-mail: Robert@StudioCarver.com Contact: Robert Carver, AIA, Leed AP
<b>SURVEYOR</b>	<b>MONTEREY BAY ENGINEERS, INC.</b> 607 Charles Avenue, Suite B Seaside, CA 93955 (831) 899-7899 Email: mbayengr@mbay.net
<b>STRUCTURAL ENGINEER</b>	<b>DUCKBREW ENGINEERING, INC.</b> PO Box 831 Carmel Valley, CA 93924 (831) 659-3825 Email: duckcfc@yahoo.com
<b>CONTRACTOR</b>	<b>PACIFIC LAND WATER &amp; HOME</b> 26352 Carmel Rancho Lane, Suite 203 Carmel, CA 93923 (831) 625-5900 Email: seth@pacificlwh.com

PROJECT INFORMATION	
PROPERTY ADDRESS	36963 PALO COLORADO DR. CARMEL, CA 93923
APN	418-031-012-000
ZONING	RDR/40-D(CZ)
GENERAL PLAN LAND USE DESIGNATION	RESIDENTIAL
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE
AVERAGE NATURAL GRADE	97' - 4 1/2"
ALLOWED HEIGHT LIMIT ABOVE A.N.G	30' - 0"
(E) HEIGHT ABOVE A.N.G.	13' - 7 7/8"
(P) HEIGHT ABOVE A.N.G	13' - 7 7/8"
PERMIT #	PLN190006 PLN190147 18CP02345

**LOT SIZE** 1.39 Acres (60,852 sf)  
(Per Monterey County Assessors Office)

<b>(E) BUILDING AREA:</b>		
(E) SHEDS	483	SF
(E) SHED DECK	485	SF
(E) CABIN	903	SF
(E) CABIN DECKS	573	SF

<b>(P) BUILDING AREA:</b>		
(E) SHEDS	483	SF
(E) SHED DECK	485	SF
(P) CABIN	903	SF
(P) CABIN DECKS	992	SF

**ALLOWABLE LOT COVERAGE** 25% OR 15,213 SF

<b>(E) LOT COVERAGE:</b>		
(E) FOOTBRIDGE	99	SF
(E) SHEDS	483	SF
(E) SHED DECK	485	SF
(E) CABIN	903	SF
(E) CABIN DECKS	572	SF
TOTAL	2,542	SF OR 4.2%

<b>(P) LOT COVERAGE</b>		
(E) SHEDS	483	SF
(E) SHED DECK	485	SF
(P) CABIN	903	SF
(P) CABIN DECKS	992	SF
TOTAL	2,863	SF OR 4.7%

**NO GRADING PROPOSED FOR PHASE 2**

WATER SOURCE	(E) PRIVATE WATER SOURCE
1. <u>Public Water</u>	
2. <u>Private Water</u>	
3. <u>Other Water</u>	
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## SEWER SYSTEM (E) SEPTIC SYSTEM

**TREES TO BE REMOVED** 0

**REQUIRED PARKING** 2 SPACES

<b>EXISTING PARKING</b>	<b>4 SPACES</b>
-------------------------	-----------------

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

THE 2016 CALIFORNIA RESIDENTIAL CODE (CRC),

THE 2016 CALIFORNIA RESIDENTIAL CODE (CRC)  
THE 2016 CALIFORNIA MECHANICAL CODE (CMC)  
THE 2016 CALIFORNIA PLUMBING CODE (CPC)  
THE 2016 CALIFORNIA ELECTRICAL CODE (CEC)  
THE 2016 CALIFORNIA ENERGY CODE (CEC)  
THE 2016 CALIFORNIA FIRE CODE  
THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

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△ REVISION #	
1	9/17/2018 BLDG. REV #1
3	4/30/2019 PLANNING RREV #1
4	8/9/2019 BLDG. REV #2
5	8/9/2109 CDP REV #1

**ARCHITECTURAL**  
**COVER SHEET**

Scale: 1/8" = 1'-0"  
@ 24x36  
Drawn By: DP  
Job: 1612

G1.0

8/12/2019



LOT 8  
MARSHALL  
APN: 418-031-012

EASTERLY BOUNDARY LINE SHOWN IS ABANDONED  
EXISTING EASTERLY LINE WAS NOT SURVEYED

LOT 9

# NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
2. DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
3. THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
4. CONTOUR INTERVAL = 1 FOOT.
5. ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. THE BENCHMARK IS THE FINISHED FLOOR. ELEVATION = 100.00'.
6.  $\pm 99.99'$  DENOTES DECK ELEVATIONS AS SHOWN.
7. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
8.  $\oplus 99.99'$  DENOTES ROOFPEAK ELEVATIONS AS SHOWN.
9.  $\bullet$  DENOTES A FOUND 1" IRON PIPE TAGGED "MONTEREY COUNTY SURVEY". UNLESS OTHERWISE NOTED.
10. SHADED AREA INDICATES A SLOPE OF 30% OR GREATER.
11. ELEVATIONS UNDER BUILDING & DECKS MAY NOT BE ACCURATE. THEY ARE BASED ON ELEVATIONS AROUND THE SIDELINE OF THE STRUCTURES.

## LEGEND:

—	FENCE LINE
CONC.	CONCRETE
EB	ELECTRIC BOX
EP	EDGE OF PAVEMENT
FFE	FINISHED FLOOR ELEVATION
HB	HOSE BIB
K	OAK
MRW	MASONRY RETAINING WALL
R	REDWOOD
S	STUMP
SSCO	SANITARY SEWER CLEAN OUT
T	TREE, SPECIES NOT SPECIFIED
UP	UTILITY POLE

## GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.



## TOPOGRAPHIC SURVEY

OF  
A PORTION OF LOT 8  
PALO COLORADO CAÑON  
VOLUME 2, MAPS & GRANTS, PAGE 25

COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR  
DAVID MARSHALL

BY  
MONTEREY BAY ENGINEERS, INC.

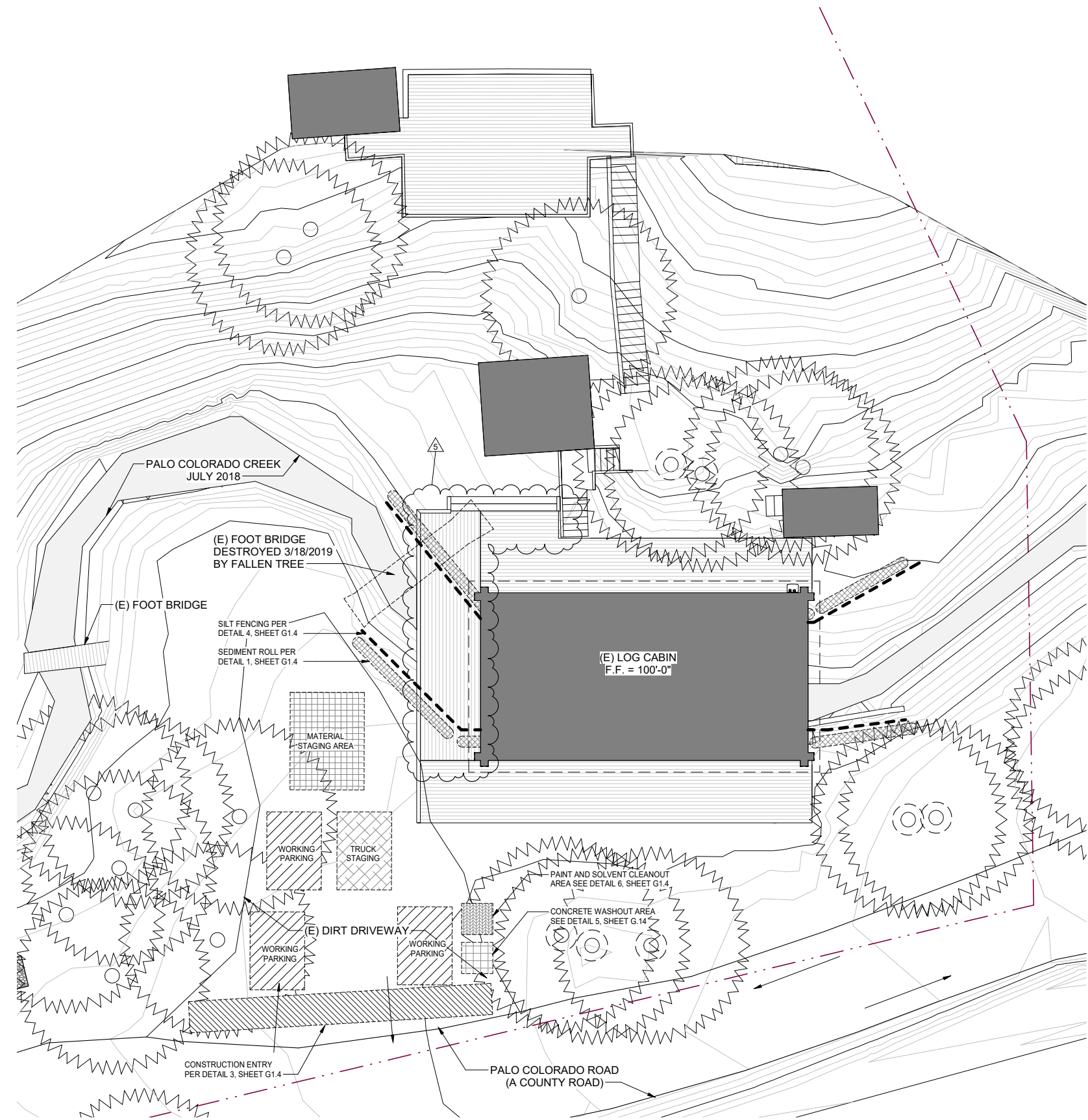
CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING  
607 Charles Ave Suite B Seaside, California 93955  
Phone: (831) 899-7899

SCALE: 1" = 10' JOB No. 18-064 JULY 2018

LOT 26

LOT 25

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1 EROSION CONTROL / CONSTRUCTION MANAGEMENT / GRADING PLAN  
1/8" = 1'-0"

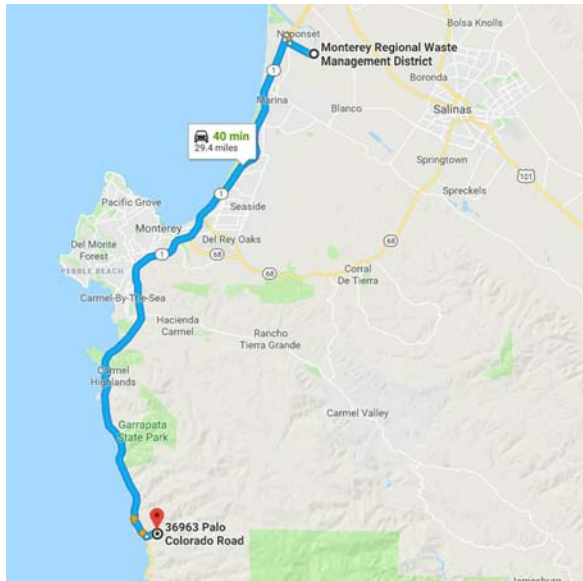
### GRADING GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPENCIES.
- CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
- CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".
- TOPOGRAPHY WAS PREPARED BY MONTEREY BAY ENGINEERS, INC.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS AS REFERENCE ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.
- DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- IN ORDER TO RESTRICT CAISSON SPOILS FROM ENTERING THE CREEK BANKS OR CREEK BED, GRADING SHALL BE MONITORED ALONG THE SOUTH AREA (FRONT OF HOUSE) AND AVOID SEVERING ROOT IMPACTS TO MAJOR REDWOOD TREE ROOTS GREATER THAN 2" DIAMETER. ENGLISH IVY REMOVAL SHALL BE CONDUCTED PRIOR TO GRADING IN ORDER TO PREVENT THE UNINTENTIONAL RELOCATION/DISTRIBUTION OF INVASIVE IVY. SITE SHALL BE RESTORED WITH NATIVE REDWOOD DUFF AND SITE APPROPRIATE NATIVE PLANT SPECIES TO STABILIZE GRADED SOILS. SITE PARKING AND CONSTRUCTION STAGING SHALL OCCUR IN PRE-EXISTING PARKING AREAS TO PREVENT FURTHER SOIL COMPACTION IN OUTLINING AREAS NEAR REDWOOD TREES. NATIVE HABITAT AREAS SHALL BE FENCED WITH HABITAT PROTECTION FENCING TO PREVENT UNWARRANTED CONSTRUCTION IMPACTS TO NATIVE REDWOOD FOREST UNDERSTORY NATURAL COMMUNITIES. (RMA-PLANNING)

### GRADING ESTIMATES

NO GRADING PROPOSED FOR PHASE 2

### HAUL MAP



### CONSTRUCTION MANAGEMENT NOTES:

- DURATION OF CONSTRUCTION IS ESTIMATED TO BE 2-3 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
- WORK SHALL BE PERFORMED ON WEEKDAYS BETWEEN THE HOURS OF 7 AM AND 7 PM AND ON SATURDAYS FROM 8 AM TO 6 PM. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR).
- TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING HIGHWAY 1 VIA PALO COLORADO RD. ESTIMATED NUMBER OF TRUCK TRIPS (4).
- THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
- EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS PRIOR TO THE START OF CONSTRUCTION.
- STERILE STRAW WATTLES SHALL BE PLACED BEFORE AND DURING RAIN STORM EVENTS TO CONTAIN STORM WATER AND EROSION DURING CONSTRUCTION.
- ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES.
- SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
- USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE. SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
- CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
- DUST CONTROL MEASURES WILL BE IMPLEMENTED INCLUDING THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE.
- ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.

### LEGEND

- CONSTRUCTION ENTRY
- WORKER PARKING
- EQUIPMENT PARKING AND MATERIAL STAGING AREA
- TRUCK STAGING
- PAINT AND SOLVENT CLEANOUT AREA
- CONCRETE WASHOUT AREA
- TREE AND ROOT PROTECTION MEASURES PER ARBORIST
- STRAW WATTLE EROSION CONTROL
- TRAFFIC
- SILT FENCE
- PROPOSED CUT



## MARSHALL CABIN REPAIR

36963 Palo Colorado Road,  
Carmel, California 93923



PLANNING  
DEPT.  
SUBMITTAL

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### REVISION #

- |   |          |            |
|---|----------|------------|
| 4 | 8/9/2019 | BLDG. REV  |
| 5 | 8/9/2019 | CDP REV #1 |

### ARCHITECTURAL EROSION CONTROL / CONST MGMNT / GRADING PLAN

Scale: As indicated  
@ 24x36  
Drawn By: DP  
Job: 1612

G1.5

8/12/2019

8/9/2019 4:10:10 PM



EROSION CONTROL NOTES:

EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THE EROSION CONTROL PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERATIONAL PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.

2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.

3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.

4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.

5. APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTER SEEDING. ANCHOR STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.

6. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF: 1) SEED, MULCH, FERTILIZER; 2) BLOWN STRAW; 3) TACKIFIER AND MULCH.

7. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.

8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.

EMPLOYEE TRAINING

1. STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- SPILL PREVENTION AND RESPONSE;
- LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
- GOOD HOUSEKEEPING;
- FINES AND PENALTIES;
- MATERIAL MANAGEMENT PRACTICES.

OBSERVATION AND MAINTENANCE

1. VISUALLY OBSERVE AND MAINTAIN BMPs AS FOLLOWS: A. INSPECT BMPs: • WEEKLY, AND • WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND • WITHIN 48 HOURS AFTER EACH STORM EVENT.
- B. REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
- C. SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP. IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
- D. TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
- E. REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
- F. REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

NON-STORM WATER DISCHARGES

1. NON-STORM WATER DISCHARGES INCLUDE: A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
2. MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
3. HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:

- FIRE HYDRANT FLUSHING,
- IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
- PIPE FLUSHING AND TESTING,
- WATER TO CONTROL DUST,
- UNCONTAMINATED GROUND WATER FROM DEWATERING,
- OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.

4. THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:

- THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
  - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT
  - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
  - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
  - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
  - THE DISCHARGE IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS
  - THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT
5. IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

1. ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
2. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL DURING OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS
3. THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 15 AND APRIL 15.
  - A. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW..
  - B. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
  - C. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
  - D. THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
  - E. CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
  - F. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.

4. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, AN IMMEDIATE REMEDY SHALL OCCUR.
8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
9. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.

10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
11. CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
12. WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.

13. ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF:
  - A. EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SLOPE STABILIZATION MATERIAL;
  - B. PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES OR OTHER VEGETATION, PURSUANT TO THE "COUNTY'S LANDSCAPE CRITERIA" WHEN THE PROJECT IS COMPLETED;
  - C. MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION, ON SLOPES LESS THAN 20%, TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.

14. GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA HALL BE PLANTED UNDER THE PROVISIONS OF SECTION 16.08.340 TO CONTROL ROSION. (MCC 16.08.300 C.1)

15. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION. (MCC 6.08.300 C.2)

16. DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.

17. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)

18. LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION REMOVAL SHALL BE KEPT TO THAT AMOUNT NECESSARY FOR BUILDING, ACCESS AND CONSTRUCTION AS SHOWN ON THE APPROVED EROSION CONTROL PLAN.

19. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL. (MCC 16.08.310 D)

20. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

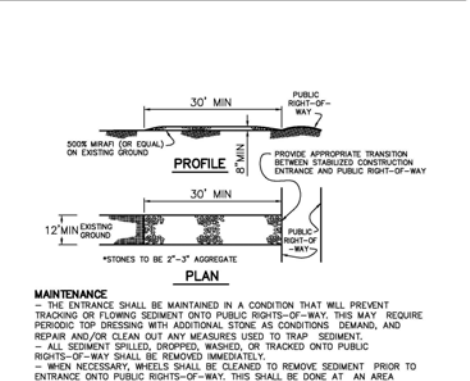
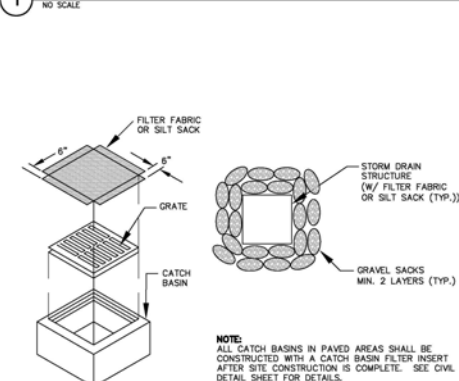
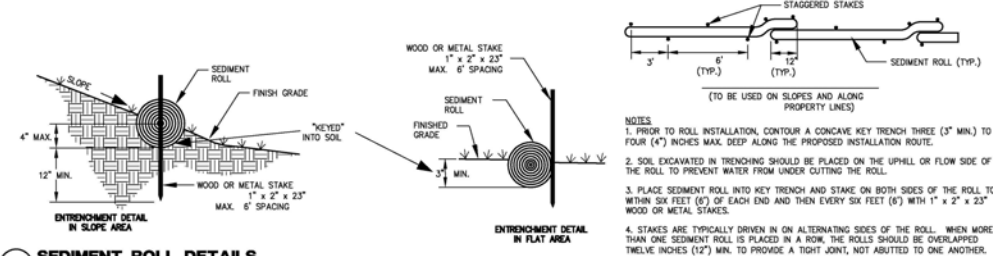
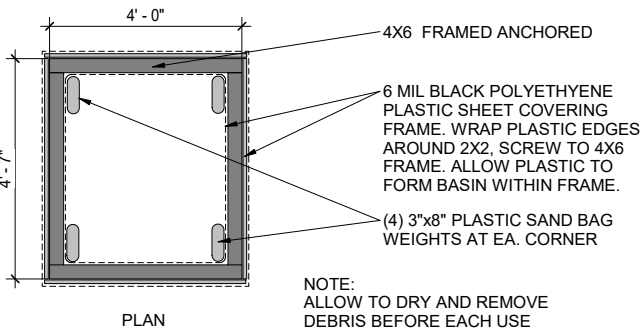
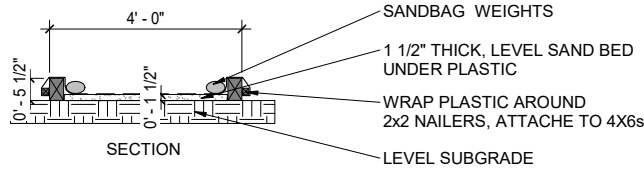
21. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

22. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

EROSION CONTROL MAINTENANCE NOTES

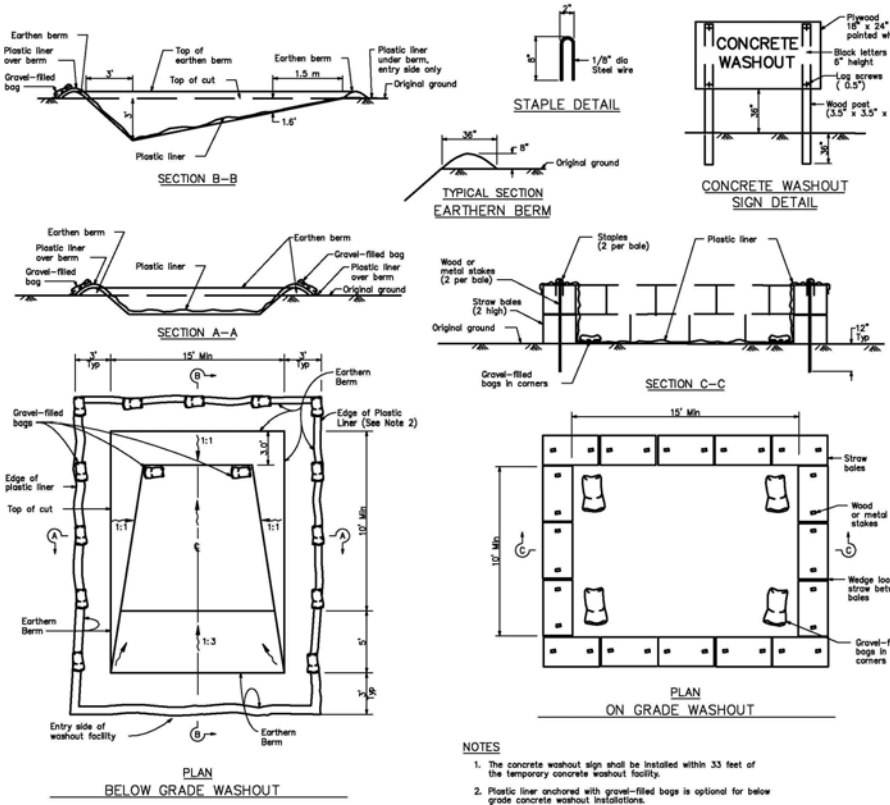
1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - F. RILLS AND GULLIES MUST BE REPAIRED.

2. STRAW BALE INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FOOT.



6. PAINT AND SOLVENT CLEANOUT AREA

1/2" = 1'-0"

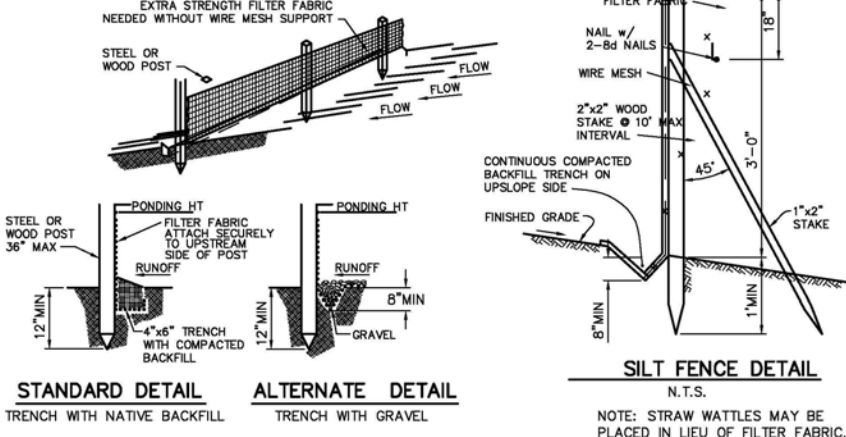


5. CONCRETE WASHOUT AREA

NO SCALE

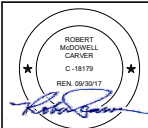
4. SILT FENCE DETAIL

NO SCALE



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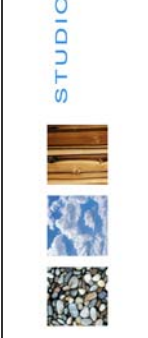
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ARCHITECTURAL EROSION CONTROL / CONSTRUCTION MGMNT NOTES

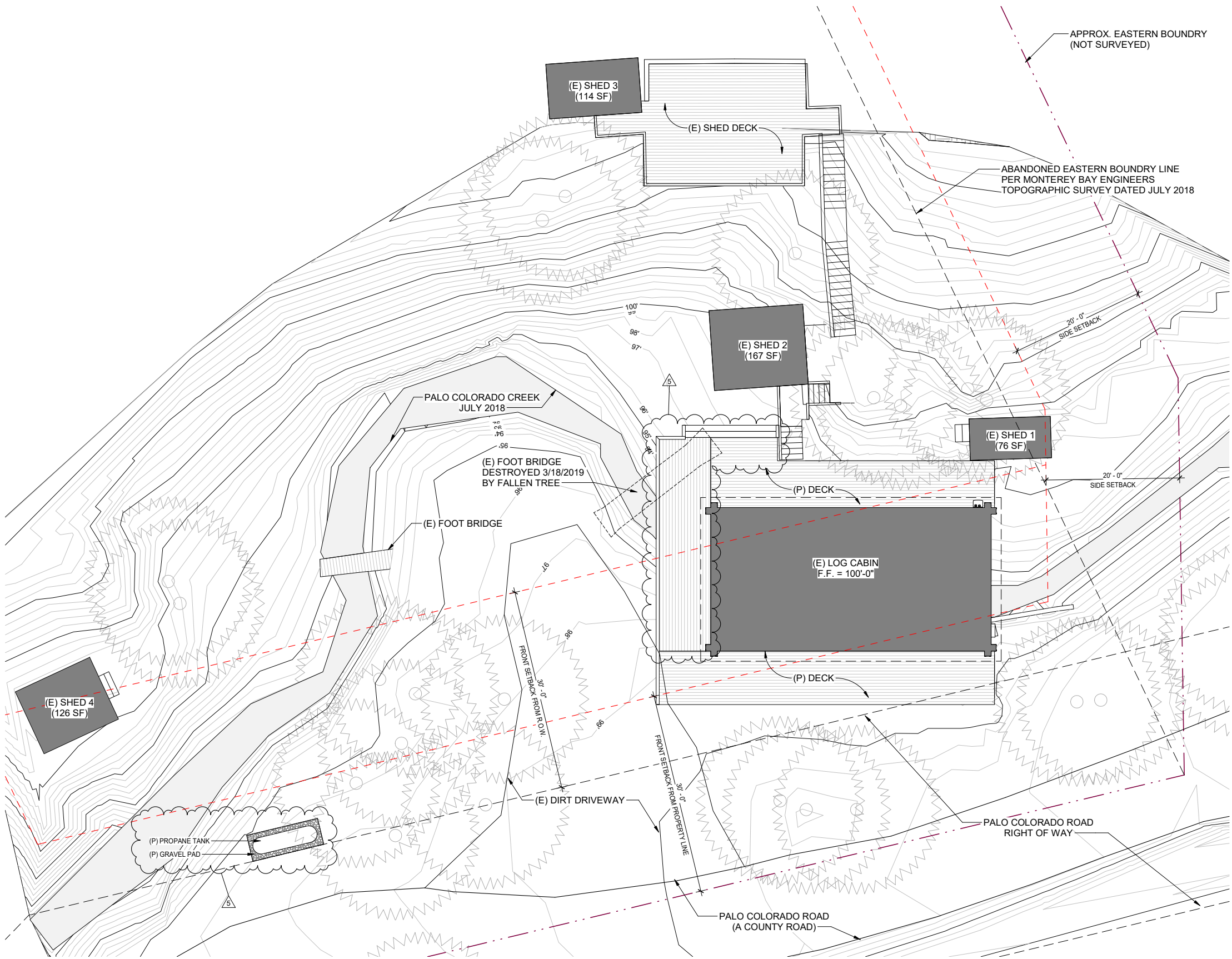
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@ 24x36  
Drawn By: DP  
Job: 1612

G1.6

8/12/2019



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1 SITE PLAN  
1/8" = 1'-0"

## GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. ALL EXTERIOR SWINGING EXIT DOORS SHALL HAVE A THRESHOLD THAT SHALL NOT EXCEED 1-1/2" IN HEIGHT.
4. CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".
5. MINIMUM 65% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IS MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGSBC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL.
6. THE PERSON(S) COMPLETING THE EMERGENCY WORK SHOULD PREVENT RAW CEMENT, CONCRETE, OR WASHINGS THEREOF, ASPHALT, PAINT, OR OTHER COATING MATERIAL, OIL OR OTHER PETROLEUM PRODUCTS, OR ANY OTHER SUBSTANCE WHICH CAN BE DELETERIOUS TO AQUATIC LIFE FROM CONTAMINATING SOIL AND/OR ENTERING A RIVER, STREAM, LAKE OR OTHER WATERS OF THE STATE. (SEE FISH AND GAME CODE SECTION 9650.)
7. THE PERSON(S) COMPLETING THE EMERGENCY WORK SHOULD MINIMIZE THE DISTURBANCE OR REMOVAL OF VEGETATION IN COMPLETING THE WORK.

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3	4/30/2019 PLANNING REV #1
4	8/9/2019 BLDG. REV #2
5	8/9/2109 CDP REV #1

ARCHITECTURAL  
SITE PLAN

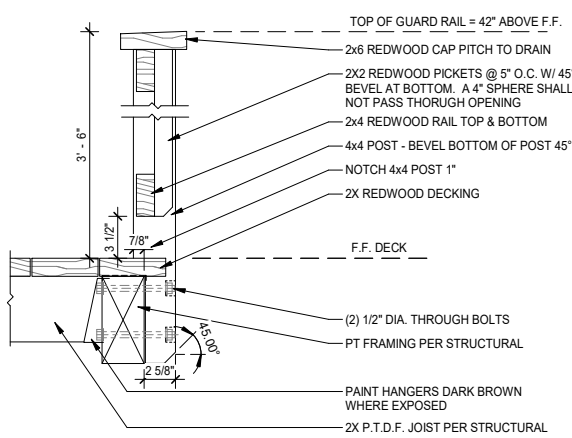
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@ 24x36  
Drawn By: DP  
Job: 1612

A1.0

8/12/2019



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Wall legend

NEW WALL

EXISTING WALL TO REMAIN

EXISTING WALL TO REMOVE

ELECTRICAL SYMBOL LEGEND

TAMPER RESISTANT DUPLEX OUTLET

TAMPER RESISTANT TRIPLEX OUTLET (IN-FLOOR OUTLET)

TAMPER RESISTANT TRIPLEX OUTLET

GROUND FAULT CIRCUIT INTERRUPT OUTLET / TAMPER RESISTANT

WATER PROOF EXTERIOR OUTLET / TAMPER RESISTANT

SWITCHED OUTLET / TAMPER RESISTANT

DEDICATED OUTLET -VERIFY W/ EQUIP. MFG. TAMPER RESISTANT

DUAL CAT5E / TELEPHONE JACK

CABLE TV JACK

HOSE BIBB

PROPANE GAS VALVE

DEMOLITION LEGEND

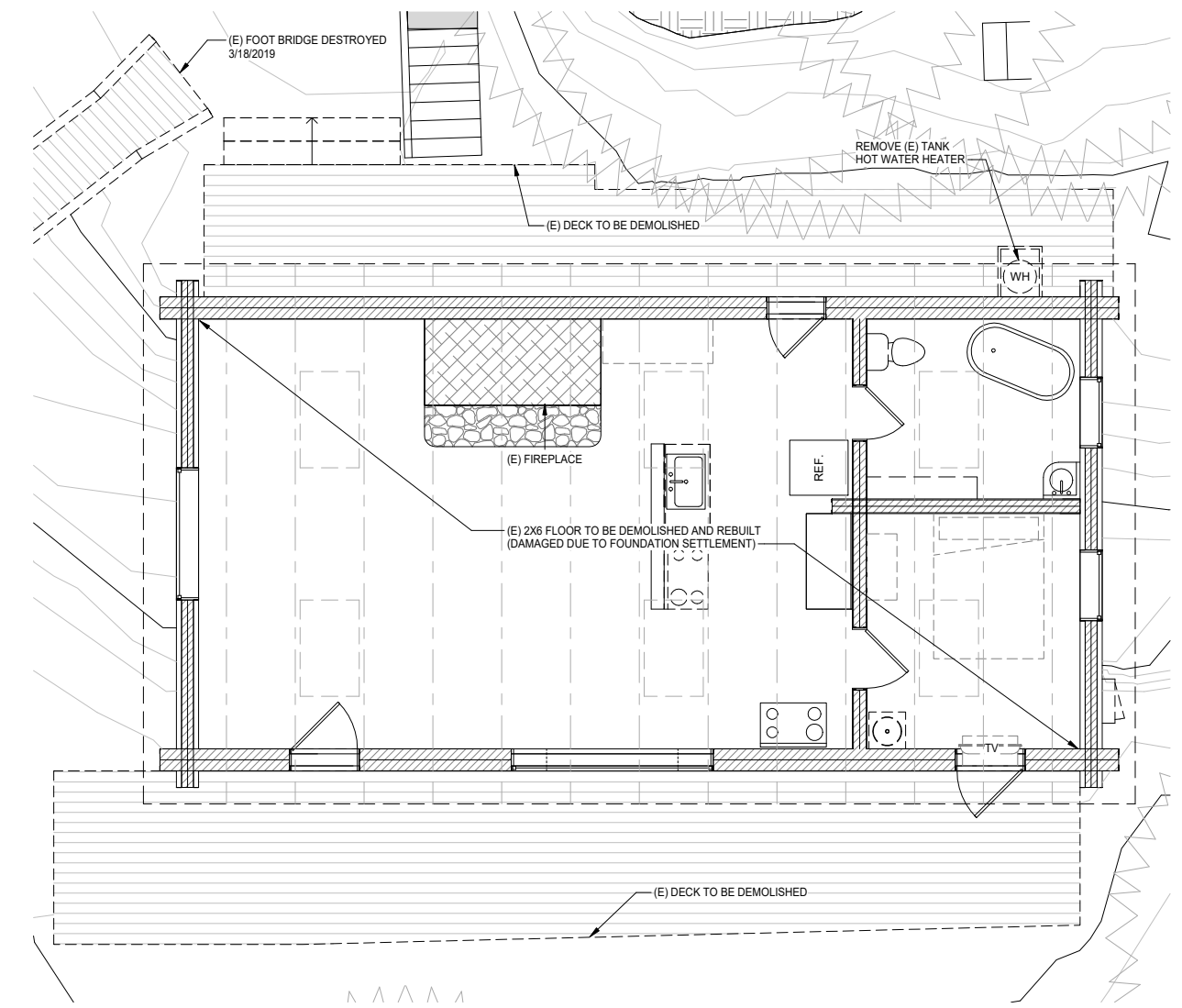
EXISTING WALL TO REMAIN

EXISTING DOOR TO REMAIN

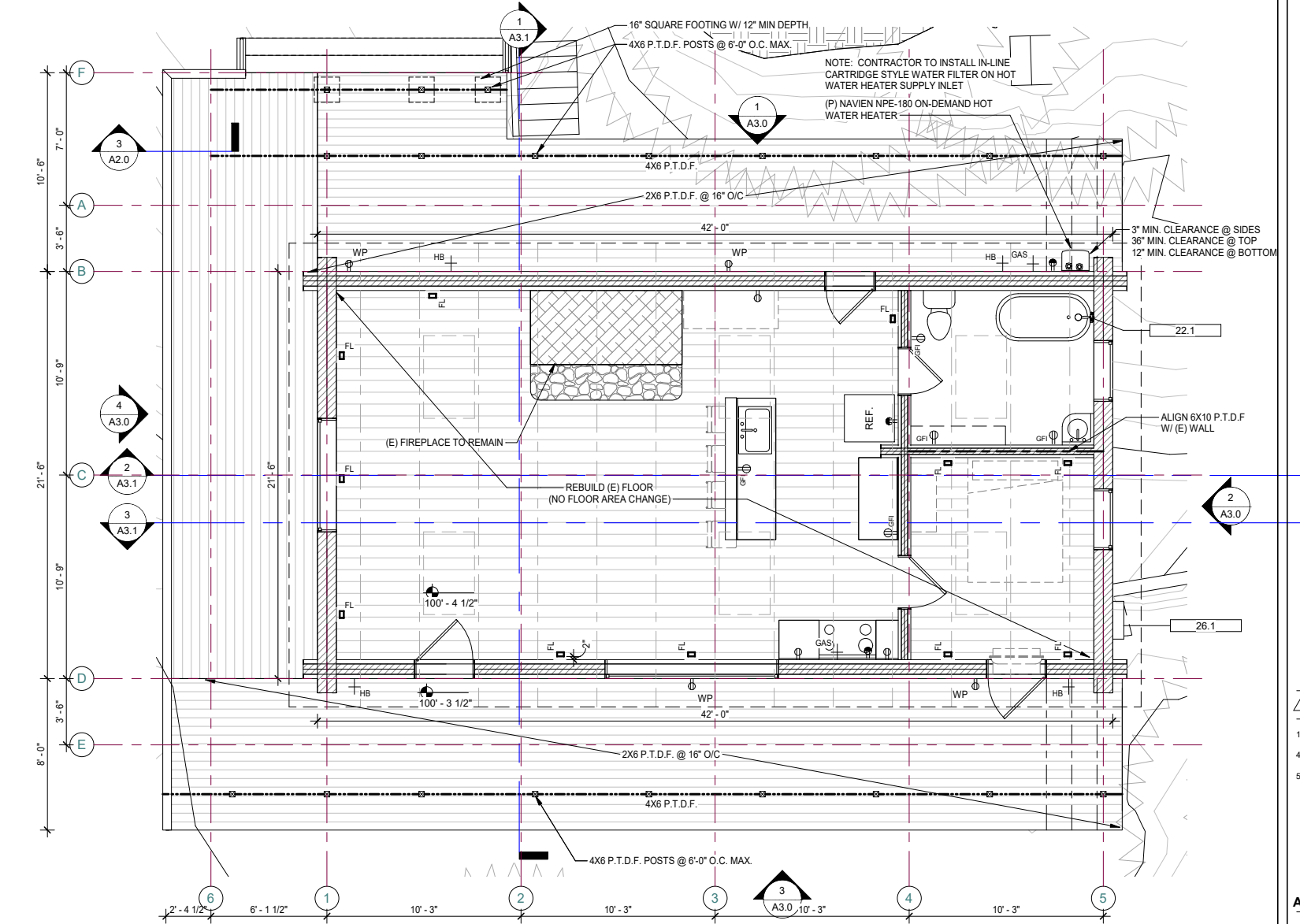
EXISTING WALL TO BE DEMOLISHED

EXISTING DOOR TO BE DEMOLISHED

3 06.43 GUARDRAIL WOOD W/ PICKETS 1.5" 1 1/2" = 1'-0"



1 EXISTING/DEMO FLOOR PLAN 1/4" = 1'-0"

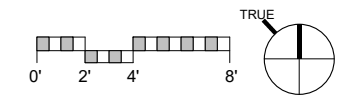


2 FLOOR PLAN 1/4" = 1'-0"

KEYNOTE LEGEND

22.1 CPC 408.3 INDIVIDUAL SHOWER AND TUB-SHOWER COMBINATION CONTROL VALVES. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. MULTIPLE SHOWER HEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES.

26.1 NEW 200 AMP ELECTRICAL PANEL WITH EXTERIOR DISCONNECT FOR FIRE DEPT. ELECTRICAL LOAD CALCULATIONS WILL BE REQ'D PRIOR TO FIRST ELECTRICAL INSPECTION



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ARCHITECTURAL FLOOR PLAN

Scale: As indicated @ 24x36

Drawn By: DP

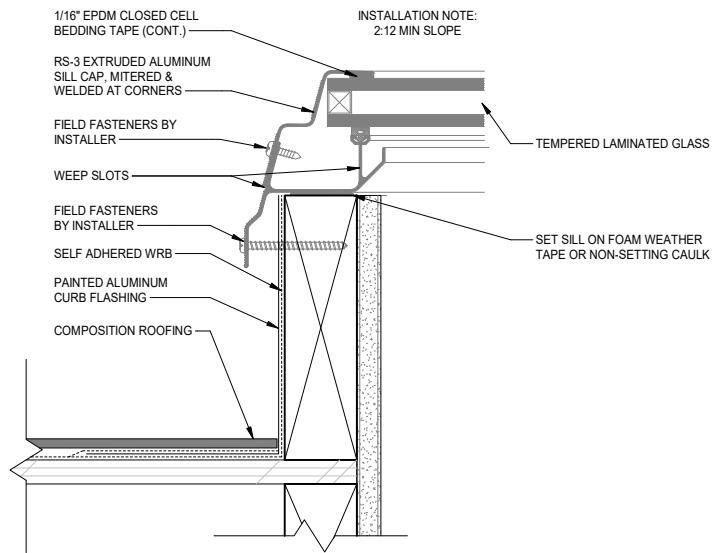
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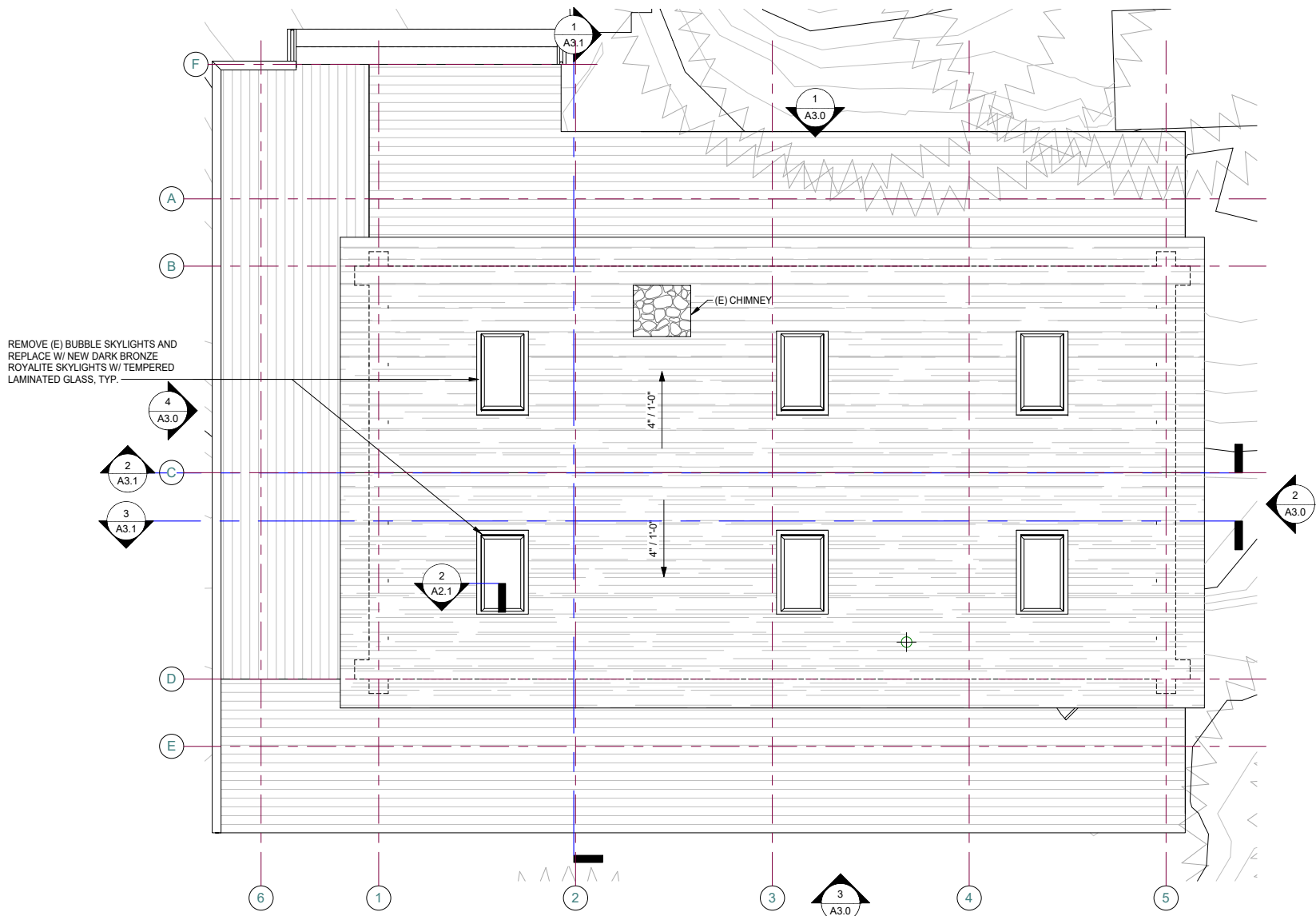
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2 SKYLIGHT DETAIL  
6" = 1'-0"



1 ROOF PLAN  
1/4" = 1'-0"



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ARCHITECTURAL  
ROOF PLAN

Scale: As indicated  
@ 24x36  
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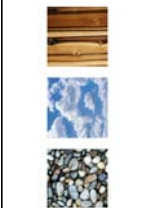
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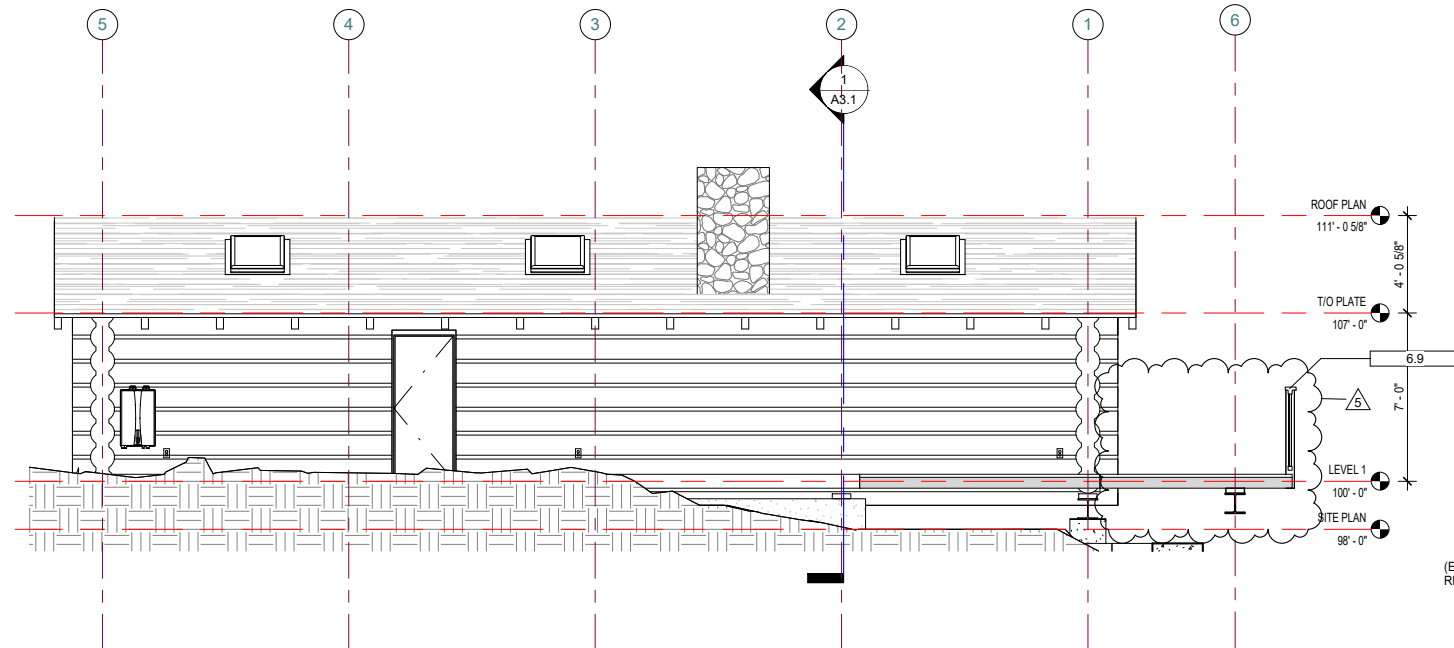
4 8/9/2019 BLDG. REV  
5 8/9/2019 CDP REV #1

ARCHITECTURAL  
EXTERIOR  
ELEVATIONS

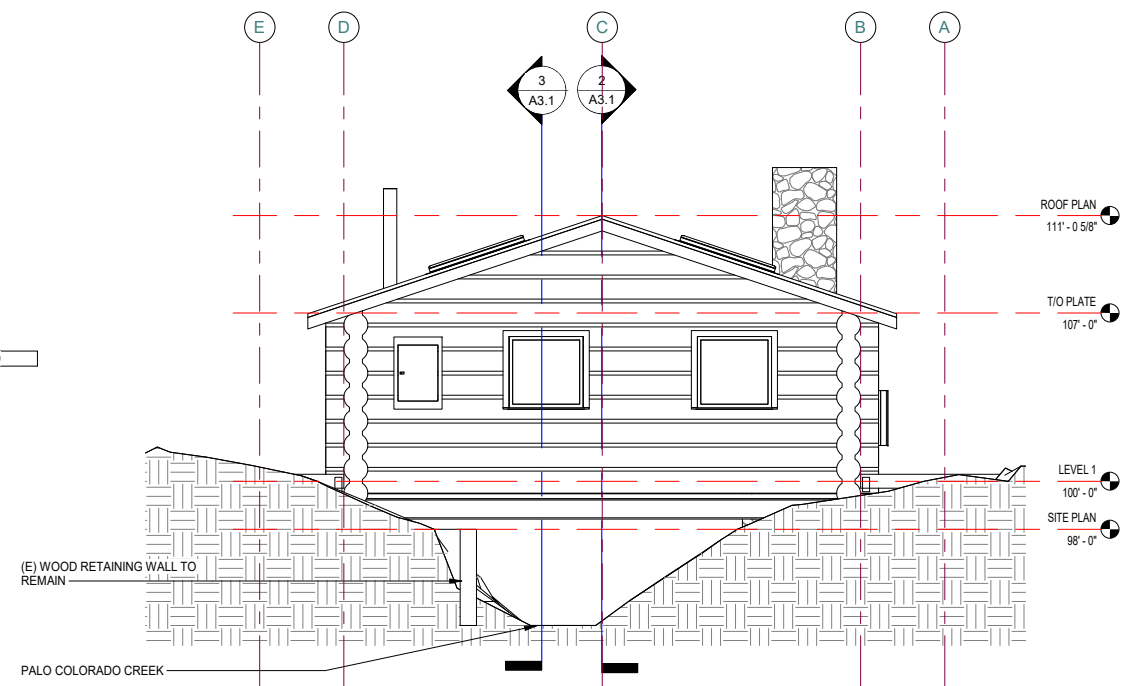
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A3.0  
8/12/2019

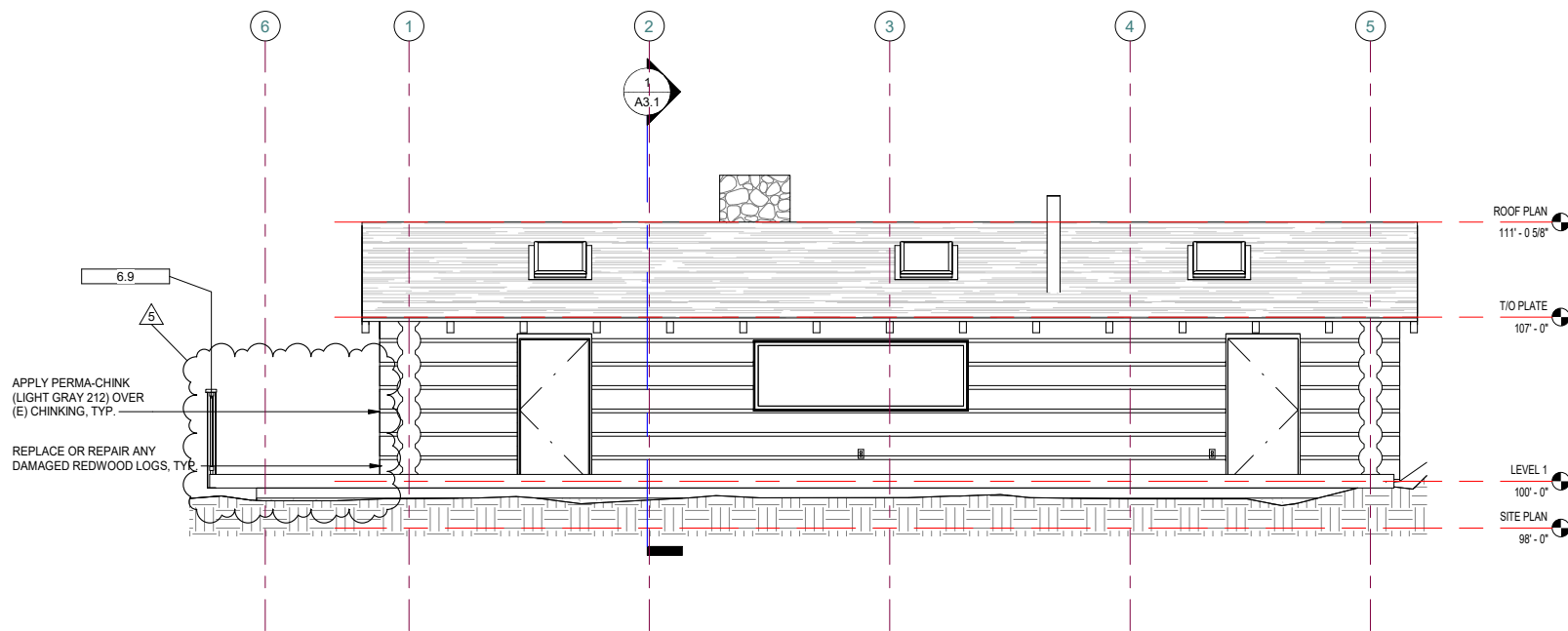
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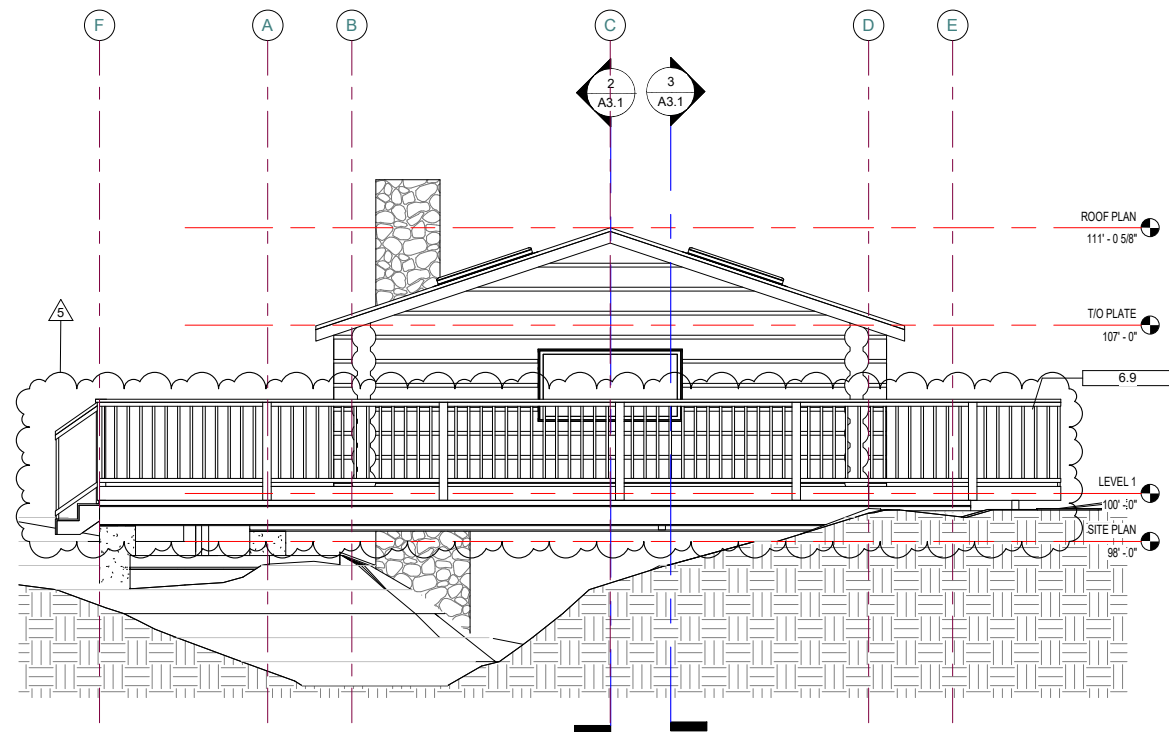
1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



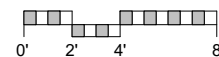
3 SOUTH ELEVATION  
1/4" = 1'-0"



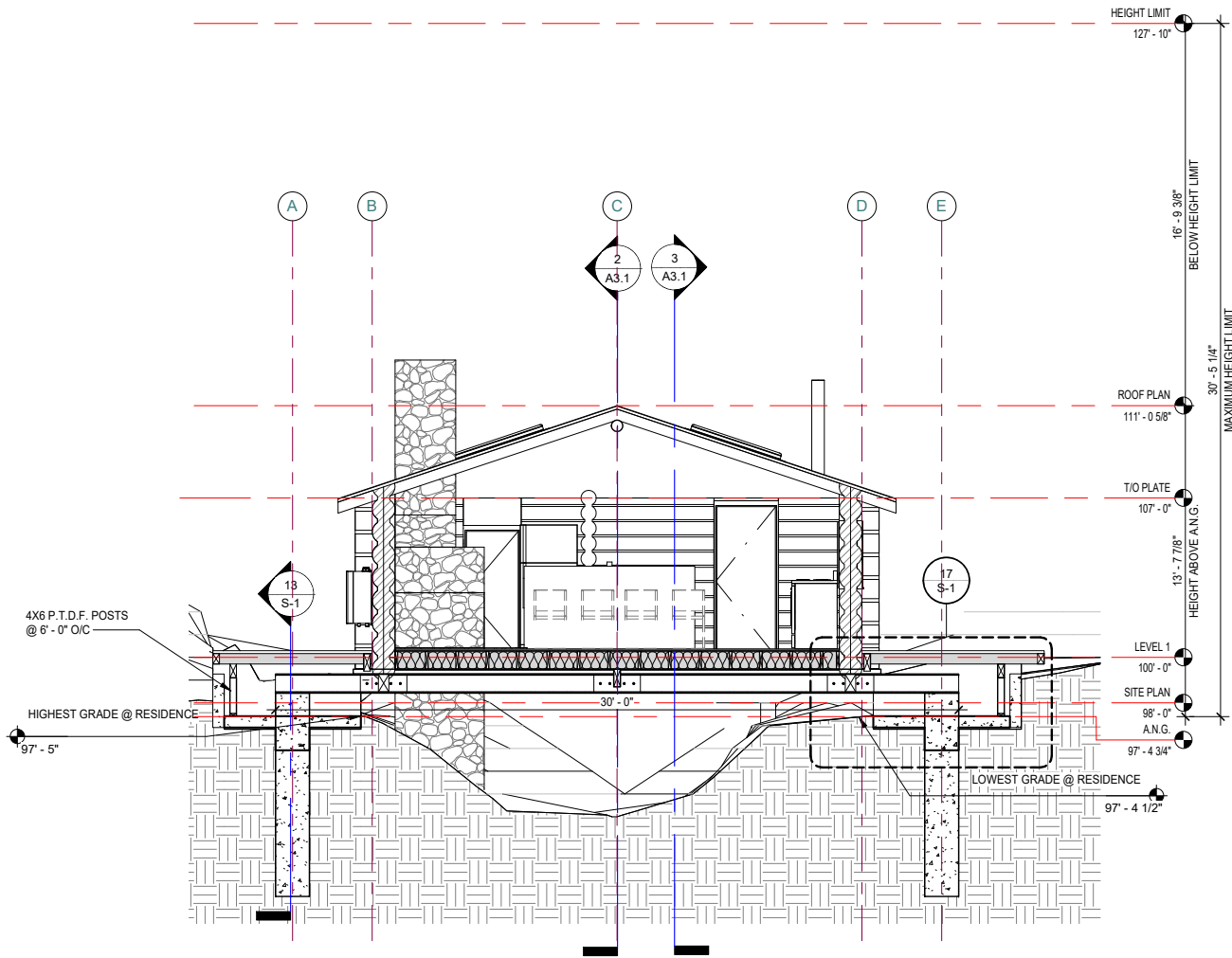
4 WEST ELEVATION  
1/4" = 1'-0"

KEYNOTE LEGEND

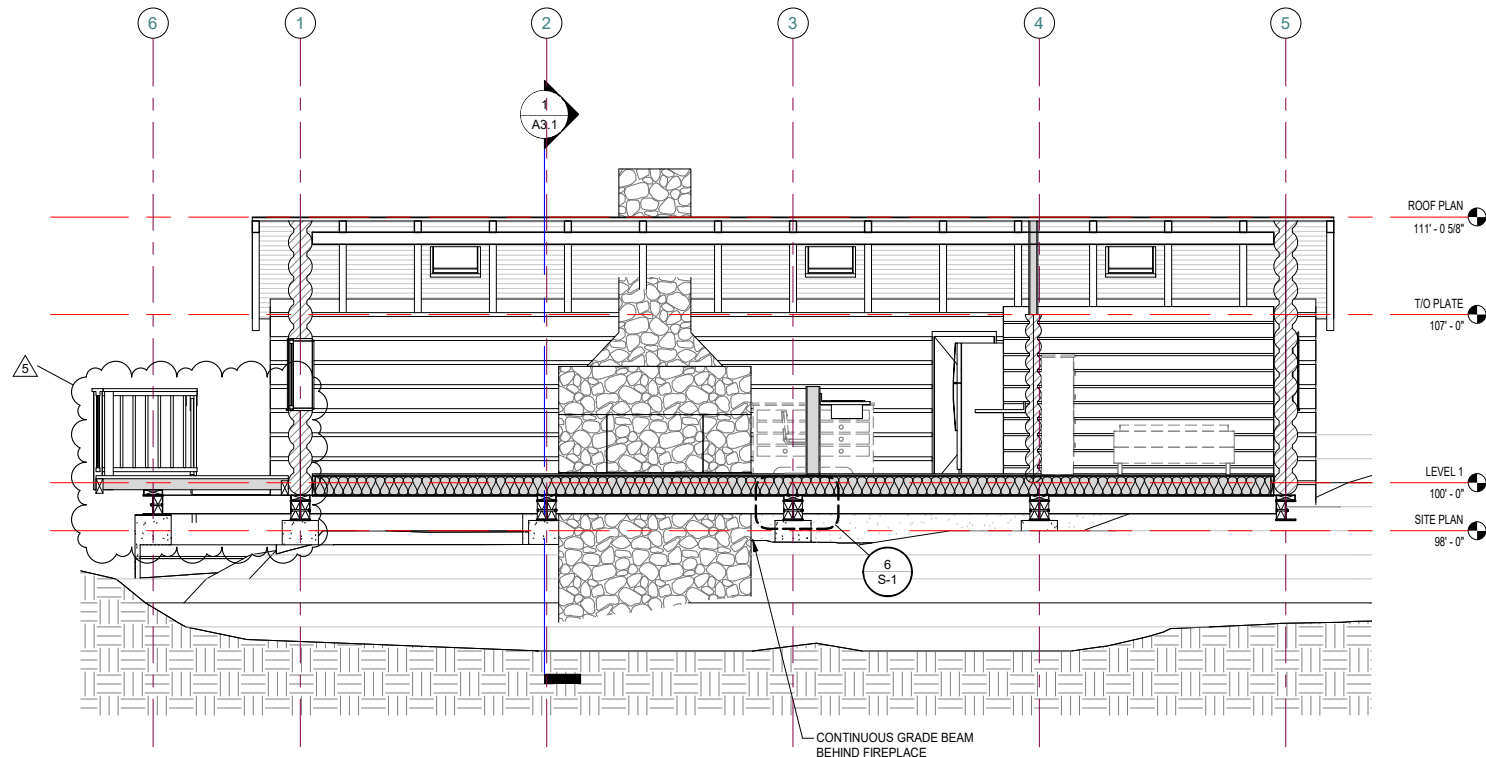
6.9 42" HIGH (A.F.F.) WOOD PICKET AND WOOD POST GUARD RAIL



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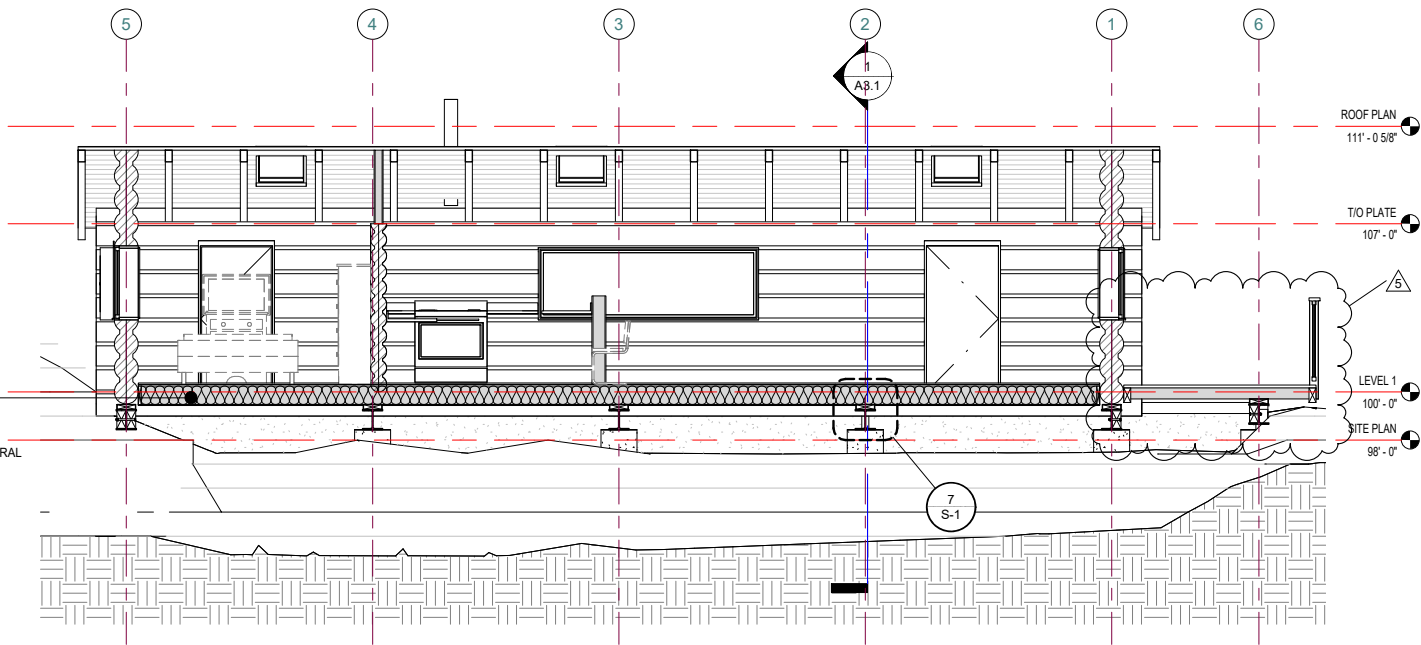


1 N/S SECTION  
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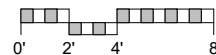


2 E/W SECTION  
1/4" = 1'-0"

TYPICAL FLOOR ASSEMBLY  
5/8" HARDWOOD FLOOR  
PLYWOOD PER STRUCTURAL  
2X P.T.D.F. FRAMING @ 16" O/C PER STRUCTURAL  
SPRAY APPLIED CLOSED CELL INSULATION  
CEMENT BOARD



3 E/W SECTION 2  
1/4" = 1'-0"



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## ARCHITECTURAL BUILDING SECTIONS

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