

Exhibit B

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EXHIBIT B
DRAFT RESOLUTION

**Before the RMA Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

REY & CLARK - PLN180438

RESOLUTION NO.---

Resolution by the Monterey Zoning Administrator:

- 1) Finding the project exempt from CEQA per Section 15303 of the CEQA Guidelines; and
- 2) Approving an Administrative Permit and Design Approval for the construction of a 3,415 square foot one-story single family dwelling with a detached 1,021 square foot detached garage/storage and workshop, a new inground swimming pool, and a 1,000 square ground mounted photovoltaic system and conversion of 1.4 acres of uncultivated land to an olive tree orchard. Grading associated with the proposed development is approximately 1,430 cubic yards of cut and 3,200 cubic yards of fill.

[Rey & Clark, 11850 Paseo Escondido Road,
Carmel Valley, Greater Monterey Peninsula Area
Plan (APN: 416-082-022-000)]

The Rey & Clark application (PLN180438) came on for an administrative hearing before the Zoning Administrator on January 9th, 2020. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) Conformance Review: The project has been reviewed for consistency with the text, policies, and regulations in:

- The 2010 Monterey County General Plan;
- Greater Monterey Peninsula Area Plan;
- Monterey County Zoning Ordinance (Title 21);

No conflicts were found to exist. Communications received during the course of review of the project have been addressed. No inconsistencies with the text, policies, and regulations have been identified.

- b) Allowed Uses: The property is zoned Resource Conservation 10 acres/unit with a Design Control, and Site Plan Zoning Overlays (RC/10-D-S). The Resource Conservation zoning district allows single-family dwellings, accessory structures, and orchards on lots of 10 acres or more as principally permitted uses for the site. The lot is

more than 10 acres. Furthermore, development in “S” district requires an Administrative Permit pursuant to provisions of Chapter 21.70 except those provided in Section 21.45.040(c). The project involves the request for a new single-family dwelling, detached garage and workshop, and 1.4 acres of olive trees. Therefore, the project includes an allowed use on the site subject to an Administrative Permit and Design Approval.

- c) Design Approval: The project is subject to Design Control standards contained in Chapter 21.44 of the Inland Zoning Ordinance Title 21. The project includes a Design Approval and the requirements to grant the Design Approval are met in this case. The purpose of the Design Control district is to review siting, design, colors, and materials to ensure that the development will blend with the site and the surrounding neighborhood. RMA staff has reviewed the proposal and determined that the development has been appropriately sited and designed and the development meets all required site development standards in the (RC/10-D-S) zoning district. Colors and materials at the site are consistent with the surrounding area and neighborhood character. The project has been designed to blend with the natural environment consistent with other homes in the area, and the proposed structures are not visible from any public viewing area. Colors are white with earth tones trims. The materials are clay barrel tile roofing, copper half round gutter, bronze aluminum clad doors and windows and a natural mahogany front door to incorporate the rustic and traditional Spanish Mediterranean architecture. These colors and materials are consistent and compatible with residences in the immediate area. Therefore, the project is consistent with the Design Approval criteria contained in Chapter 21.44 of the Inland Zoning Ordinance, Title 21.44.
- d) Site: The project site is within a Site Plan Review (S) standards contained in Chapter 21.45 of the Inland Zoning Ordinance district overlay, which is intended to provide district regulations where development, by reason of its location has the potential to adversely affect or be adversely affected by natural resources or site constraints, without imposing undue restrictions on private property. A site plan was included with the application. The design and location of the proposed development are appropriate for the site. No tree removal has been proposed, slopes in excess of 25% are avoided, and the development will not adversely affect resources at the site or be adversely affected by those resources. Therefore, the project is consistent with requirements of the S district overlay.
- e) LUAC: The project was not originally referred to the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review when it was scheduled for an administrative approval. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because the proposed project does not require CEQA review (i.e. did not require an initial study); the project does not involve a lot line adjustment with conflicts; and the project did not include a variance;. However, the project was elevated to a public hearing, therefore, it was sent to LUAC for review. On November 19, 2019,

the Greater Monterey Peninsula LUAC reviewed this project. and unanimously recommended approval by a vote of 3-0. The only recommendation made was to design the sky light with an opaque glass to eliminate glare to the night sky. A condition (Condition No. 10) was incorporated in the project to protect the night sky.

- f) Referral to hearing: This application was originally scheduled for approval by the Chief of Planning on July 17, 2019. However, during the 10-day noticing period, Molly Erickson on behalf of the Open Monterey Project requested a public hearing on the matter. This item has been referred to the Zoning Administrator for consideration pursuant to Monterey County Code, Title 21, Section 21.70.060. The project concerns raised in the letter are summarized as:

1. Environmental review is required for the project pursuant to the California Environmental Quality Act (CEQA),
2. A violation exists from grading and vegetation removal that occurred at the site without permits;
3. The water supply and water demand for the project are not disclosed;
4. The project description did not conform to County requirements for project descriptions; and
5. A biological report should be required due to vegetation removal.

Comments and concerns raised in the letter have been considered. The CEQA determination is addressed in Finding 5, violations for grading and vegetation removal are addressed in Finding 4, and water supply and demand are addressed in Finding 2. The project description has been updated, as reflected in this resolution. With respect to the biological report, according to County's Geographic Information System (GIS) and the California Natural Diversity Database (CNDDB), oak savanna is the only identified sensitive habitat in the vicinity of the project site. Oaks and oak savanna will not be directly impacted by the proposed development and there are no other known biological resources. Pursuant to Monterey County Code, Section 21.66.020, a biological survey shall be required for all proposed development meeting one or more of the following criteria:

- a. The development is proposed within a known environmentally sensitive habitat, based on the most current resource maps, other reliable other available resource information, or through the planner's on-site investigation;
- b. The development is located within 100 feet of an environmentally sensitive habitat and has potential negative impact on the long-term maintenance of the habitat.

The proposed project does not meet either of the criteria listed above.

- g) Workshop and Garage: According to the applicant, the 345 square foot space connected to the garage is to be used as a workshop and not a guesthouse. A full bathroom and closet is not prohibited in a workshop. The floor plans submitted with the application show a garage with storage area separated by a wall from a workshop and bathroom. The workshop has French doors and the garage has garage doors. A garage with a workshop is an allowed accessory use in the Resource Conservation zoning district.
- h) Site Visit: The project planner conducted a site inspection on October 19, 2018 to verify that the project on the subject parcel conforms to the plans listed above and to verify that the site is suitable for this use.
- i) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN180438.

2. **FINDING:**

SITE SUITABILITY – The site is physically suitable for the use proposed.

- a) The project has been reviewed for site suitability by the following departments and agencies: RMA-Planning, Monterey County Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services and Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- b) Water for the new single family dwelling and workshop will come from a connection to the California American Water Hidden Hills unit which obtains its water from Bay Ridge well located in the Hidden Hills subdivision area. Water for the proposed olive tree orchard will come from an onsite irrigation well and rainwater collection system. Water demand for the house will be typical of a single family dwelling (approximately 0.4 acre feet per year) and irrigation for the orchard is only needed to get the orchard established. A letter dated August 5, 2019 was received from Monterey Peninsula Water Management District (MPWMD) from Stephanie Kister Campbell addressing the water issue for this site. The letter states MPWMD manages the water supply and processes water permits for all properties within its boundaries. The Hidden Hills neighborhood is served by a system known as Carmel Valley Mutual, a water company that was purchased by Cal-Am some years ago and is now known as the Hidden Hills unit. The system currently has water available for new connections and additions. MPWMD will process a water permit application for a new connection when a complete approved set of construction plans is submitted with a signed application. Cal -Am has filed a proposed moratorium on new connections for the Hidden Hills, Bishop, and Ryan Ranch units. This moratorium is under review by the California Public Utilities Commission (CPUC). Review may take anywhere from 5 months to 18 months. If a moratorium is approved before the meter is set, it would prevent the applicant from getting a connection to the system for the lot. A recent correspondence dated

November 19, 2019 received by Stephanie Locke at MPWMD states the soonest a moratorium will be approved or denied would be summer of 2020. However, it is likely that his timeline will be extended. In the meantime, there is no moratorium on new connections to the water system.

- c) Wastewater from the single family dwelling and workshop will be disposed of through an onsite septic system permitted through the Environmental Health Bureau.
- d) The project planner conducted site inspections on October 19, 2018 to verify that the project on the subject parcel conforms to the plans listed above and to verify that the site is suitable for this use. The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN180438

3 **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the RMA-Planning, Monterey County Regional Fire Protection District, RMA-Public Works, RMA-Environmental Services and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Staff conducted a site inspection on October 19, 2018 to verify that the site is suitable for this use.
 - c) Water for the project will be provided by California American Water for potable water and sewage disposal will be provided through an on-site septic system.
 - d) The project is located in a State Responsibility area and has been mapped as having a very high fire danger. Landscaping around the residence, as well as the proposed orchard will provide adequate defensible space according to Monterey Regional Fire. Fire suppression capabilities will be provided from onsite water tanks and new structures will be equipped with fire sprinklers. There will be 8 (5,000) storage water tanks on site for fire suppression and landscape irrigation.
 - e) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN180438.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in not compliance with all rules and regulations pertaining to grading and development. Violations exist on the property. The approval of this permit will correct the violations and bring the property into compliance.

- EVIDENCE:** a) Although no violation has been recorded on the site, it does appear that vegetation has been removed, and an area was graded for the installation of two 5,000 gallon water tanks. Grading for the water tank area consisted of approximately 230 cubic yards of cut. No grading permit was obtained for the grading and an after-the-fact grading permit is required to clear the violation. The vegetation removal did not involve grading and did not violate any County permitting requirements. Land clearing and vegetation removal in an area less than 1 acre, and on slopes of less than 15 percent, does not require a grading permit pursuant to Monterey County Code Section 16.12.080. The permit for the single family dwelling, garage/workshop, and orchard involves the need for additional grading of approximately 1,200 cubic yards of cut and 3,200 cubic yards of grading (total of 1,430 cy cut and 3,200 cy fill, inclusive of the water tank area). Since there was grading (Approx. 230 cubic yards) around the water tanks, this entitlement has been modified to include consideration of grading after-the-fact and to rectify the violation. A permit will be required through the Resource Management Agency Building Division for after-the-fact grading and for the proposed additional grading along with building permits for the proposed new structures.
- b) The application, plans and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN180438.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts up to three single-family residences and accessory structures. A new single-family dwelling, detached garage and workshop meets this exemption.
- b) No adverse environmental effects were identified during staff review of the development application during a site visit on October 19, 2019.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. The project will not impact sensitive environmental resources and there will be no significant effect on the environment due to unusual circumstances. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN180438.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** Section 21.80.040 of the Monterey County Zoning Ordinance (Title 21) states that the proposed project is appealable to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Director of RMA-Planning does hereby:

- A. Find the project is small structures, including a single-family residence and accessory dwelling unit in a residential zone, and therefore qualifies for an exemption from CEQA per Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- B. Approve an Administrative Permit and Design Approval for the construction of a 3,415 square foot one-story single family dwelling with a detached 1,021 square foot garage/storage and workshop, a new inground swimming pool and a 1,000 square foot ground mounted photovoltaic system with associated grading of approximately 1,430 cubic yards of cut and 3,200 cubic yards of fill.

Construction and uses authorized in this permit must be in general conformance with the attached sketch and is subject to the attached conditions.

PASSED AND ADOPTED this 9th day of January, 2020.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN180438

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit and Design Approval permit (PLN180438) allows the construction of a 3,415 square foot one-story single family dwelling with a a detached 1,021 square foot detached garage/storage and workshop, a new inground swimming pool, and a 1,000 square ground mounted photovoltaic system. The property is located at 11850 Paseo Escondido, Carmel Valley(Assessor's Parcel Number 416-082-022-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "An Administrative Permit and Design Approval (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 416-082-022-000 on January 9, 2020. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be Performed: shall provide proof of recordation of this notice to the RMA - Planning.

3. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: RMA-Planning

Condition/Mitigation The site shall be landscaped. Prior to the issuance of building permits, three (3)
Monitoring Measure: copies of a landscaping plan shall be submitted to the Director of RMA - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

Compliance or Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape
Monitoring Contractor/Licensed Landscape Architect shall submit landscape plans and
Action to be Performed: contractor's estimate to the RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PD049 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to RMA-Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to RMA-Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

6. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County RMA Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to the Development Services.

7. AS-BUILT CERTIFICATION

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: Prior to final inspection, the applicant shall provide a letter from a licensed engineer certifying that all development has been constructed in accordance with the recommendations in the Geotechnical and Percolation Investigation and the approved grading plan and stormwater control plan. (RMA- Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall provide RMA-Environmental Services a letter from a licensed practitioner.

8. GEOTECHNICAL PLAN REVIEW

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide certification from the licensed practitioner that their geotechnical recommendations have been incorporated into the approved grading plan and stormwater control plan. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall provide certification from the licensed practitioner(s).

9. GRADING PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a grading plan incorporating the recommendations in the project Geotechnical and Percolation Investigation prepared by Soil Surveys Group, Inc., dated November 13, 2018. The grading plan shall include contour lines and cross-sections that identify the existing grade, proposed grade, and the extent of any proposed excavation and/or fill. The grading plan shall include the geotechnical inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date. (RMA-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a grading plan to RMA-Environmental Services for review and approval.

10. SKYLIGHT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Applicant shall use an opaque glass for the skylight(s) to eliminate glare to the night sky.

Compliance or Monitoring Action to be Performed: Prior to final, Applicant shall submit photos as evidence to demonstrate that opaque glass was used for the skylight(s) to eliminate glare to the night sky.

- ON OR PUBLICATION BY ANY MEANS, IN WHOLE OR IN PART, IS PROHIBITED.

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLI

An aerial photograph of a rural landscape. A red dot with a black arrow pointing to it is located in the lower-left quadrant. The landscape features a mix of dark, wooded areas and lighter, open fields. In the upper-left, the text "Carmel College" is visible. A road or path winds through the upper-right portion of the image.

VICINITY MAP

3

SITE INFORMATION

1

[illegible]

REY-CLARK RESIDENCE
11850 PASEO ESCONDIDO
CARMEL VALLEY, CALIFORNIA

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| Job Number | 2018-18 |
| Date | 08-10-18 |
| Revision | |
| Drawn By | FDS |

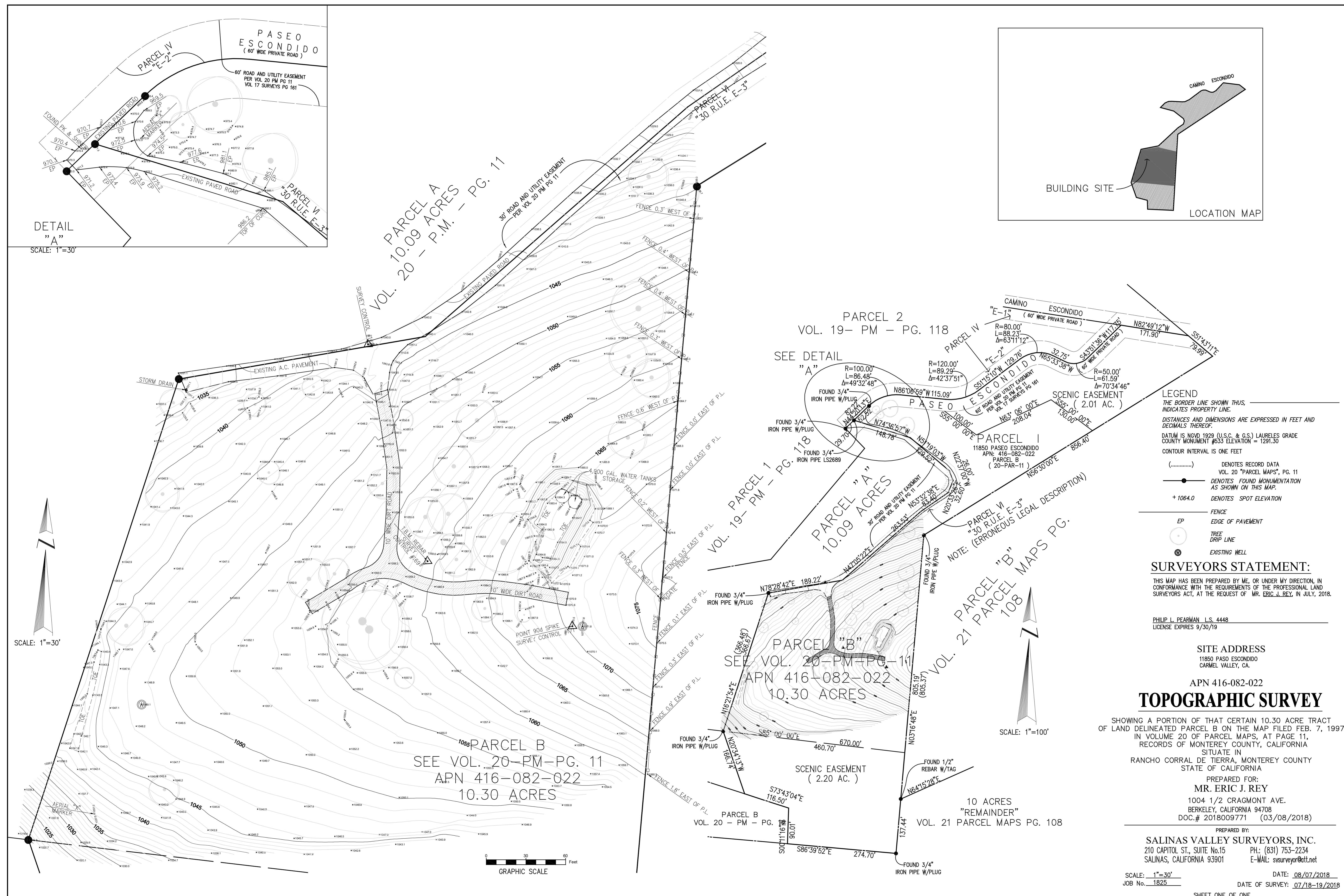
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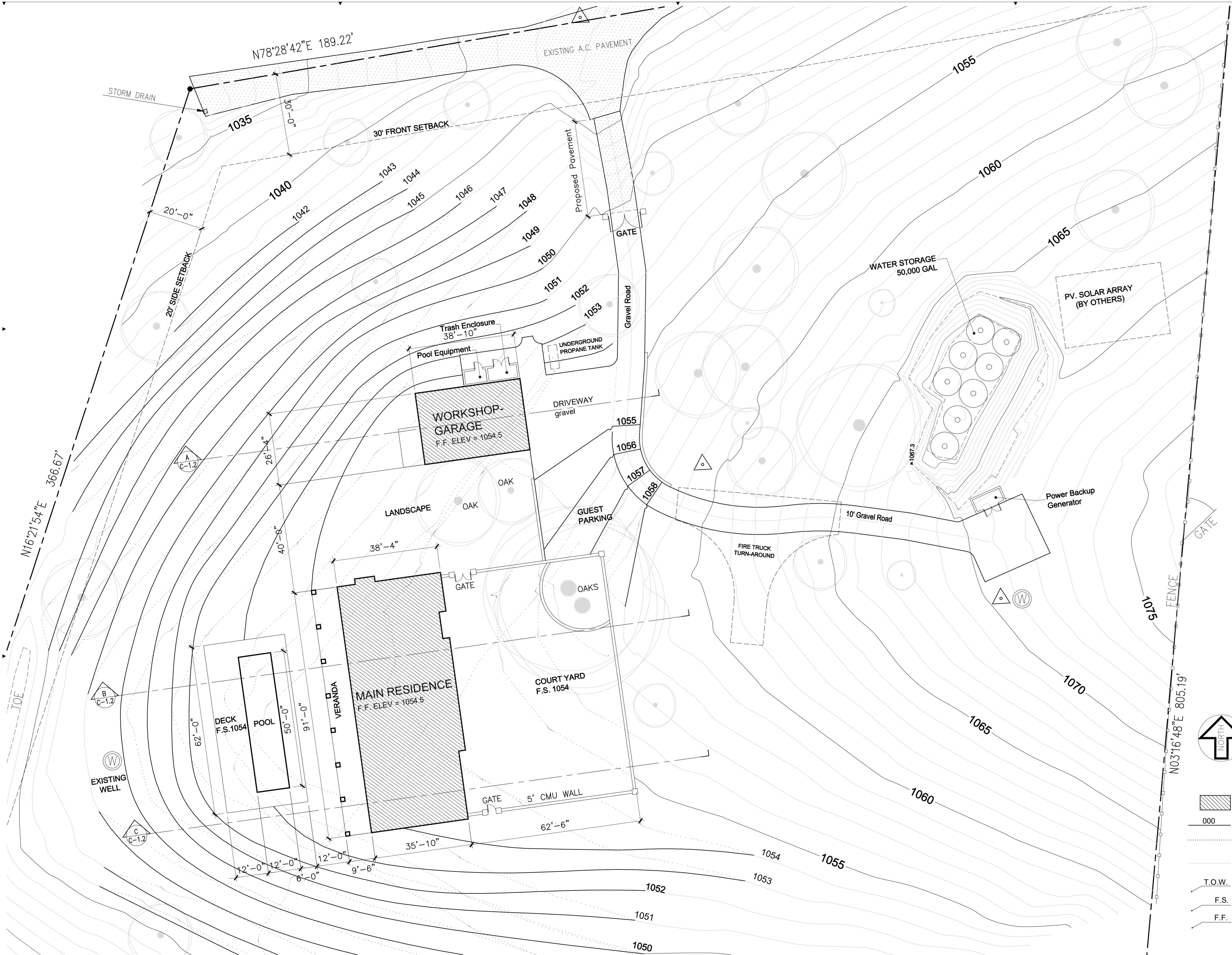
SITE PLAN

SHEET INDEX

2



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PROPOSED SITE PLAN

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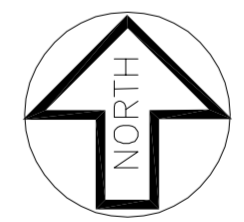
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P.O. Box 2094 Carmel, CA 93921
Ph 831.521.5924 Fx 270.682.9603
Mail:FormaStudio @ comcast.net

REY-CLARK RESIDENCE

11850 PASEO ESCONDIDO
CARMEL VALLEY, CALIFORNIA



SITE LEGEND

- PROPOSED STRUCTURES
- 000 INDICATES NEW GRADE CONTOUR
- INDICATES EXISTING CONTOUR TO BE MODIFIED
- INDICATES EXISTING CONTOUR TO REMAIN
- T.O.W. INDICATES ELEVATION OF TOP OF WALL
- F.S. INDICATES ELEVATION OF FINISHED SURFACE
- F.F. INDICATES ELEVATION OF FINISHED FLOOR

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| Job Number | 2018-18 |
| Date | 09-03-18 |
| Revision | |
| Drawn By | FDS |

Sheet Number

C-1.1

of: Sheets

SITE PLAN

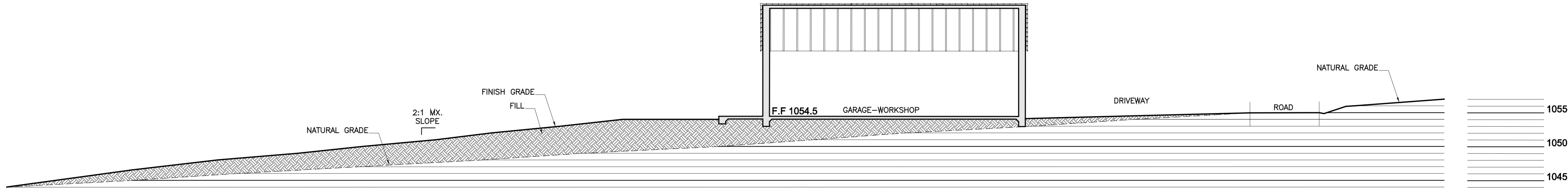
THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR REPLICATION BY ANY MEANS IN WHOLE OR IN PART IS PROHIBITED.

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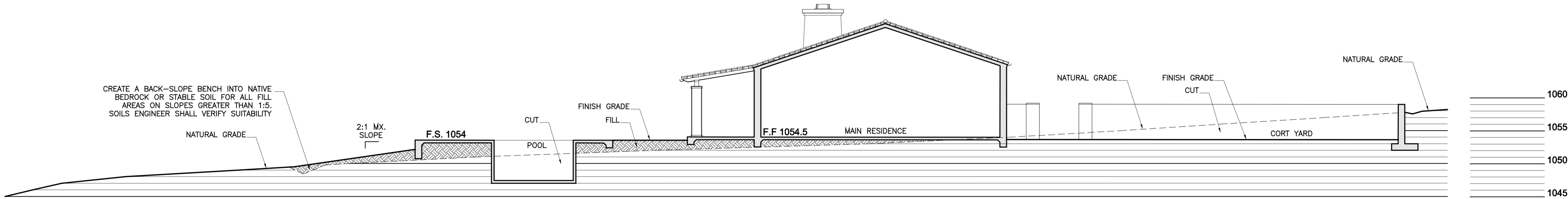


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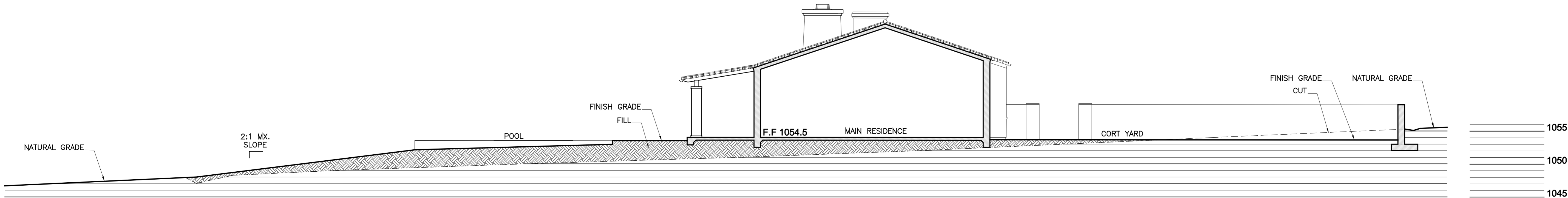
SITE SECTION

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SITE SECTION

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| Scale | B |
| 1/8"=1'-0" | |



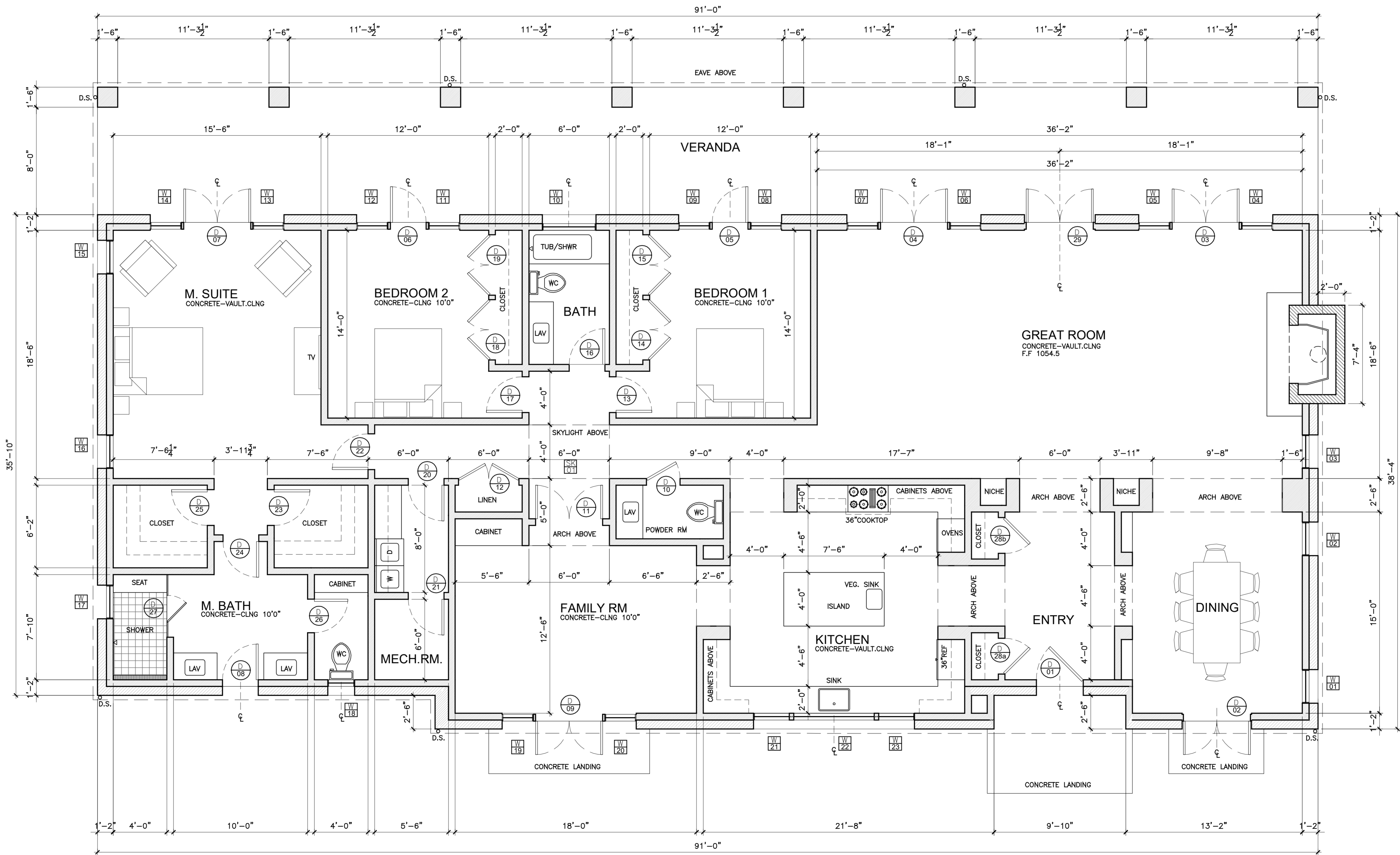
SITE SECTION

| | |
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| Scale | C |
| 1/8"=1'-0" | |

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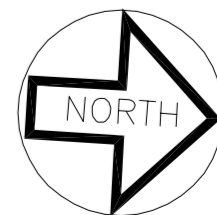
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MAIN RESIDENCE FLOOR PLAN

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| Scale | 1 |
| 1/4"=1'-0" | |

MAIN RESIDENCE FLOOR PLAN

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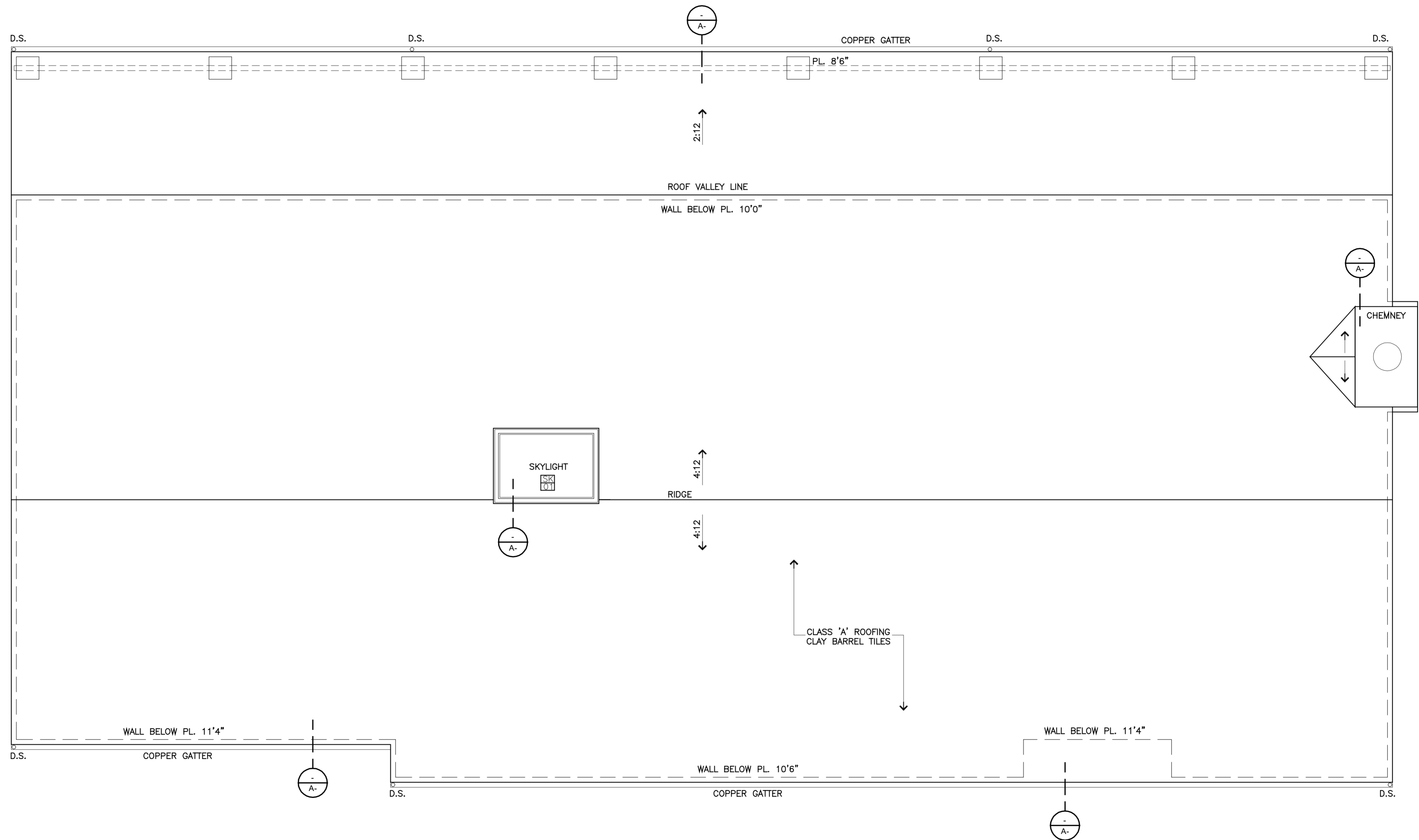
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MAIN RESIDENCE ROOF PLAN



MAIN RESIDENCE ROOF PLAN



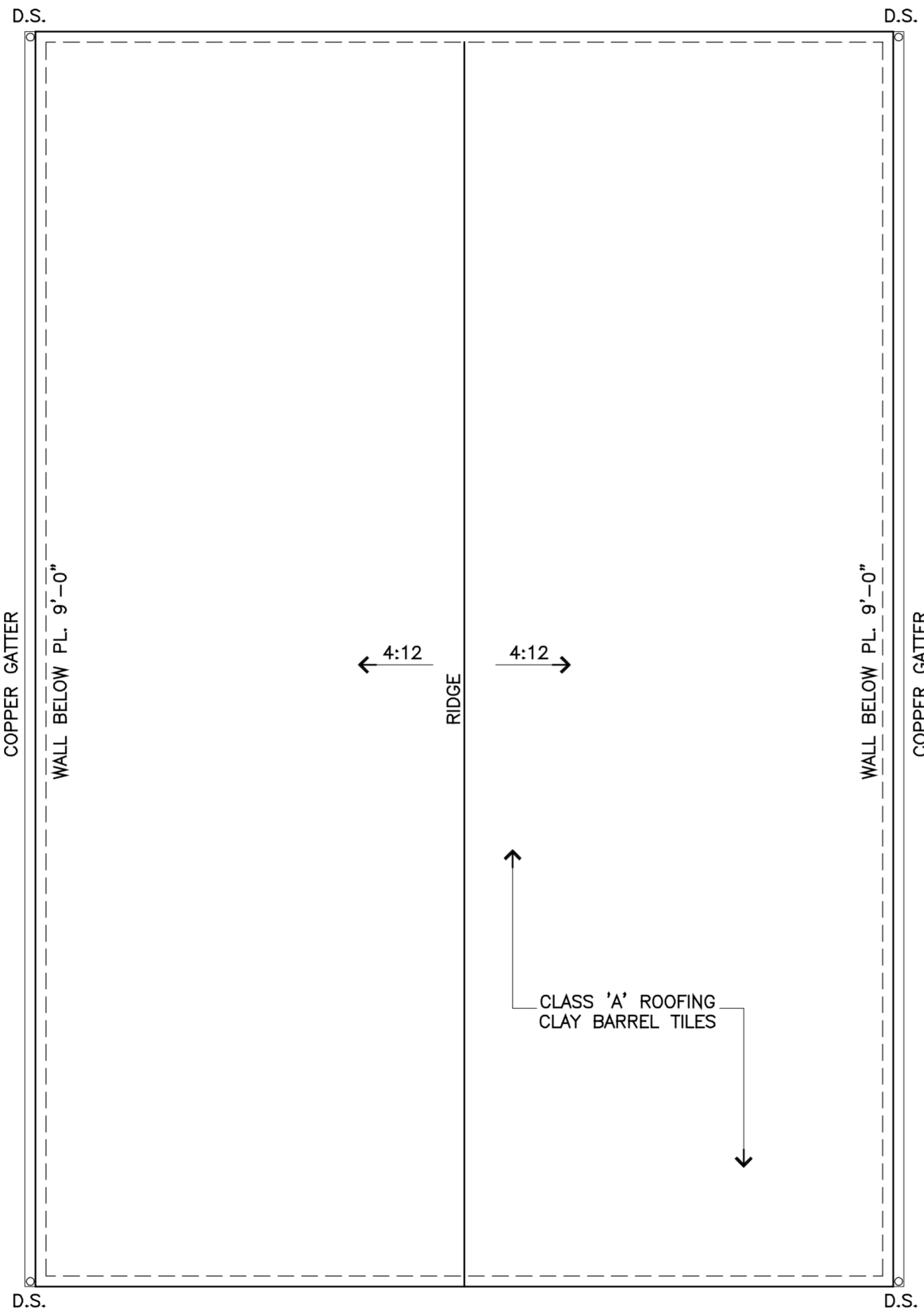
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|------------|---|
| Scale | 1 |
| 1/4"=1'-0" | |

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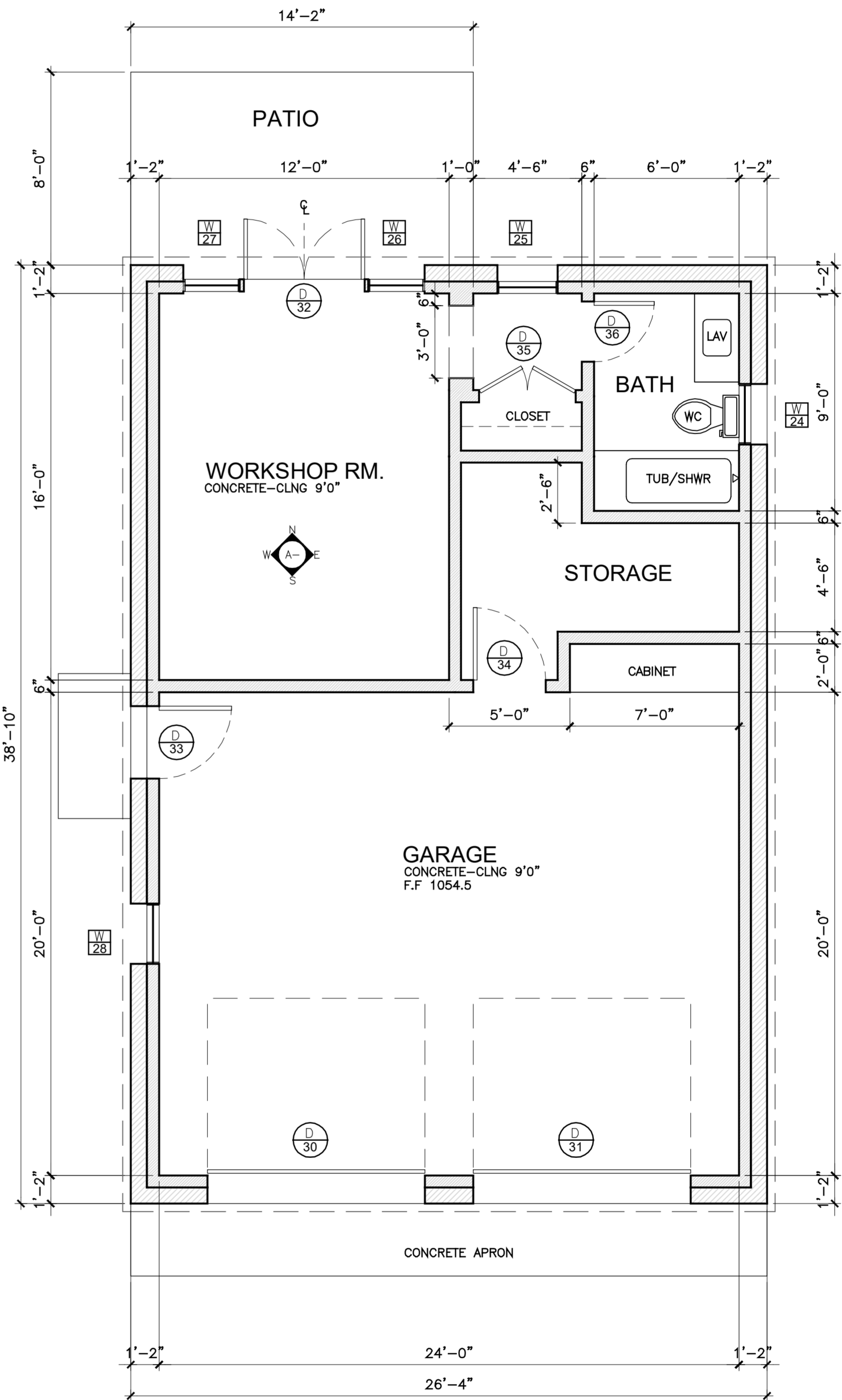
GARAGE-WORKSHOP ROOF PLAN

| | |
|------------|---|
| Scale | 2 |
| 1/4"=1'-0" | |



GARAGE-WORKSHOP FLOOR PLAN

| | |
|------------|---|
| Scale | 1 |
| 1/4"=1'-0" | |



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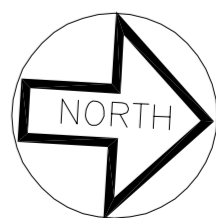
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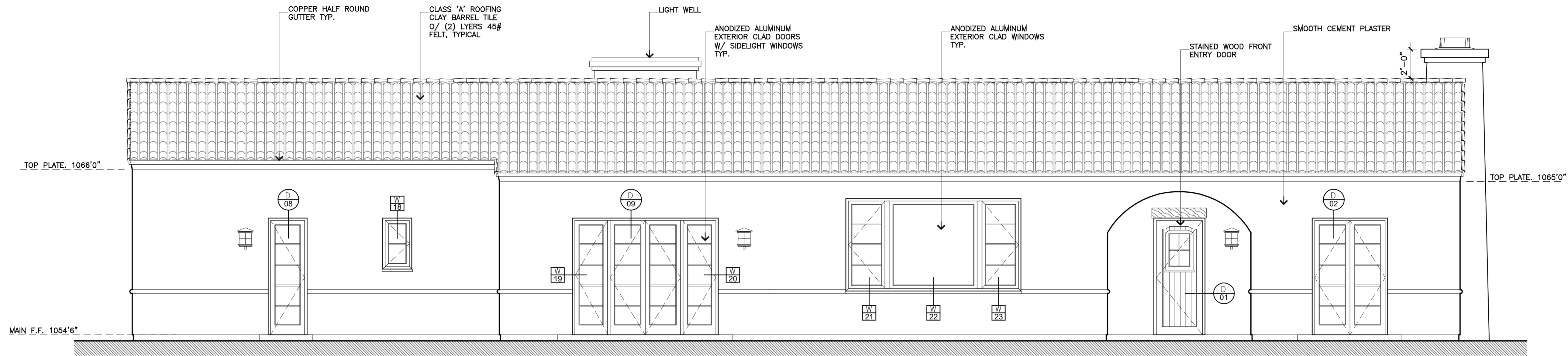
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FLOOR-ROOF PLAN



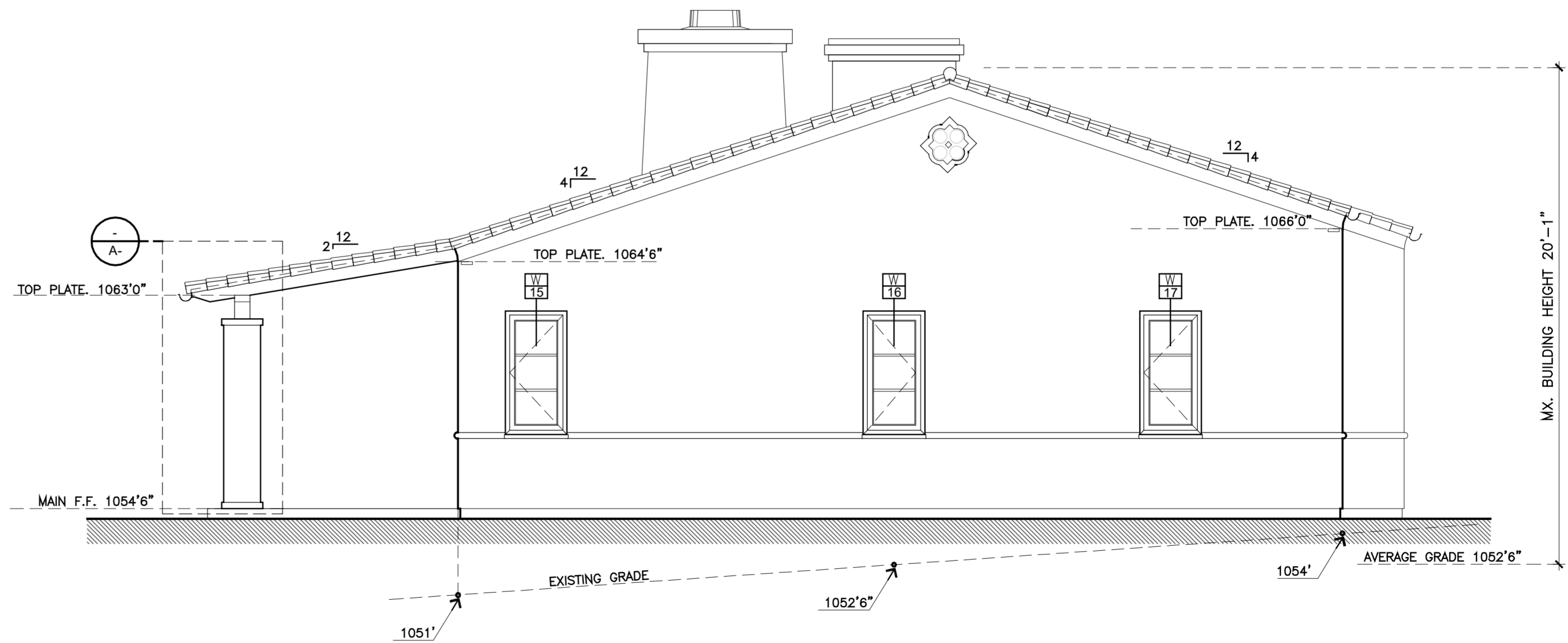
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MAIN RESIDENCE EAST EXTERIOR ELEVATION

| | |
|------------|---|
| Scale | E |
| 1/4"=1'-0" | |



MAIN RESIDENCE SOUTH EXTERIOR ELEVATION

| | |
|------------|---|
| Scale | S |
| 1/4"=1'-0" | |

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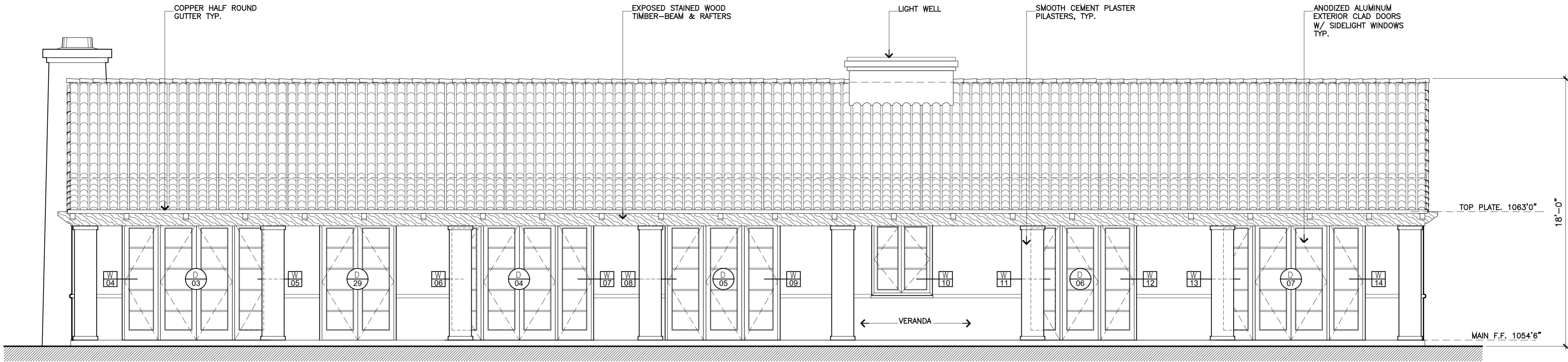
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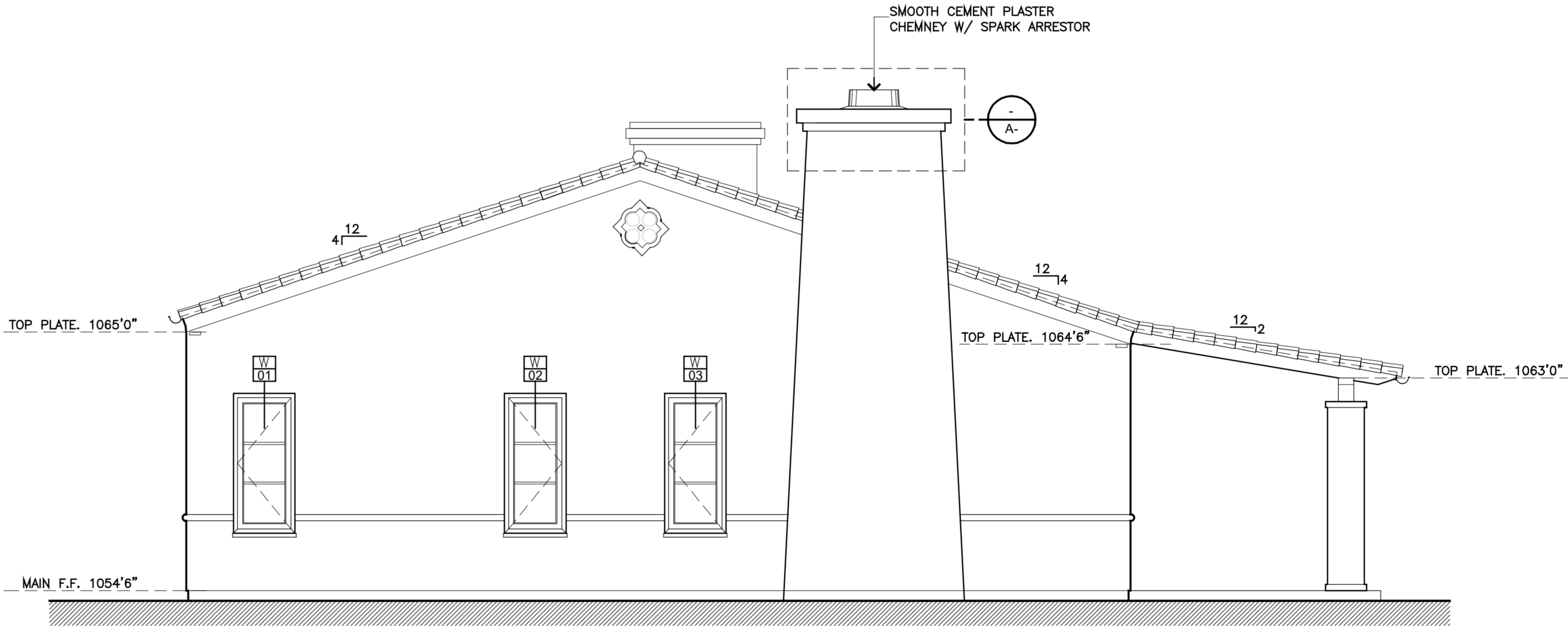
EXTERIOR ELEVATIONS

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MAIN RESIDENCE WEST EXTERIOR ELEVATION

| | |
|------------|---|
| Scale | W |
| 1/4"=1'-0" | |



MAIN RESIDENCE NORTH EXTERIOR ELEVATION

| | |
|------------|---|
| Scale | N |
| 1/4"=1'-0" | |

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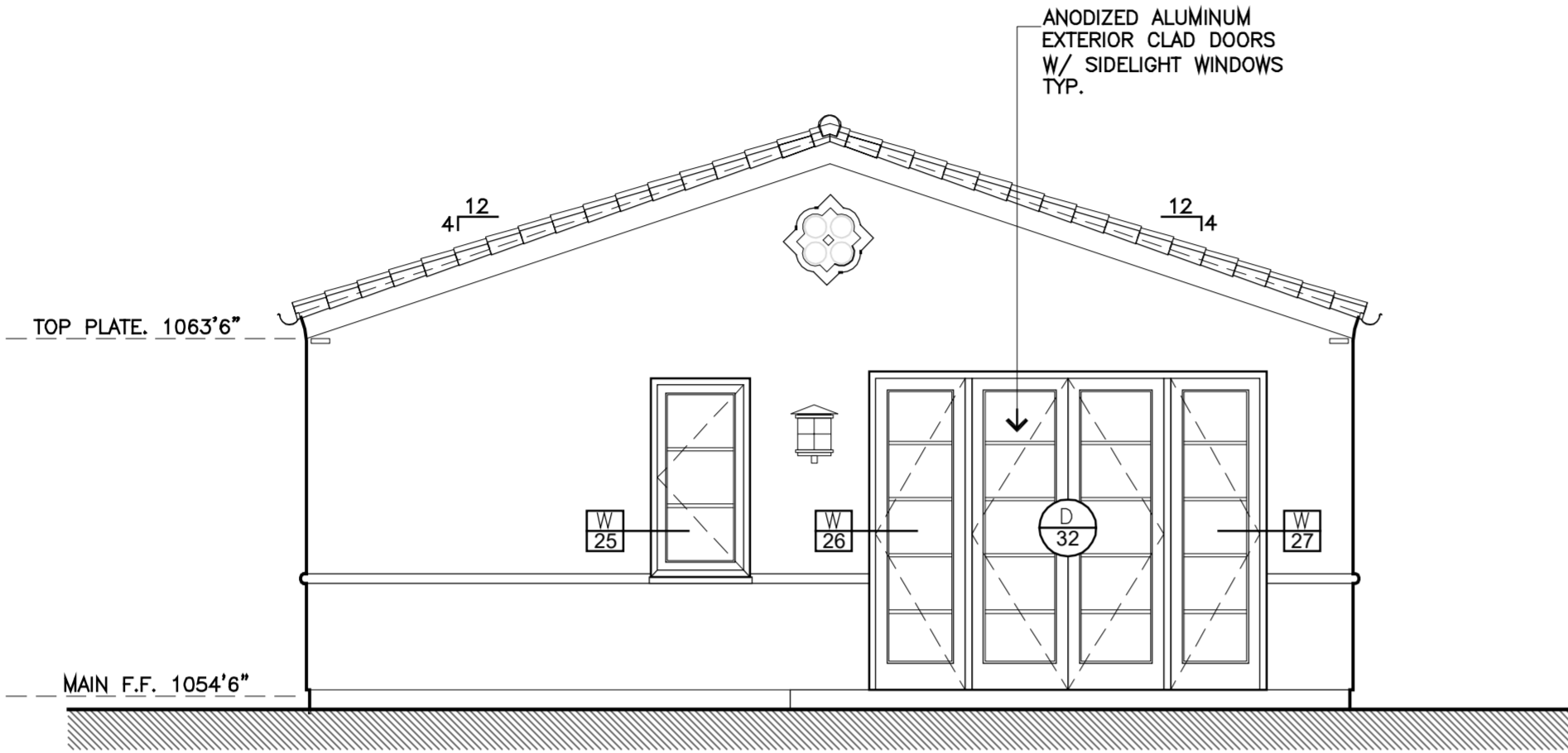
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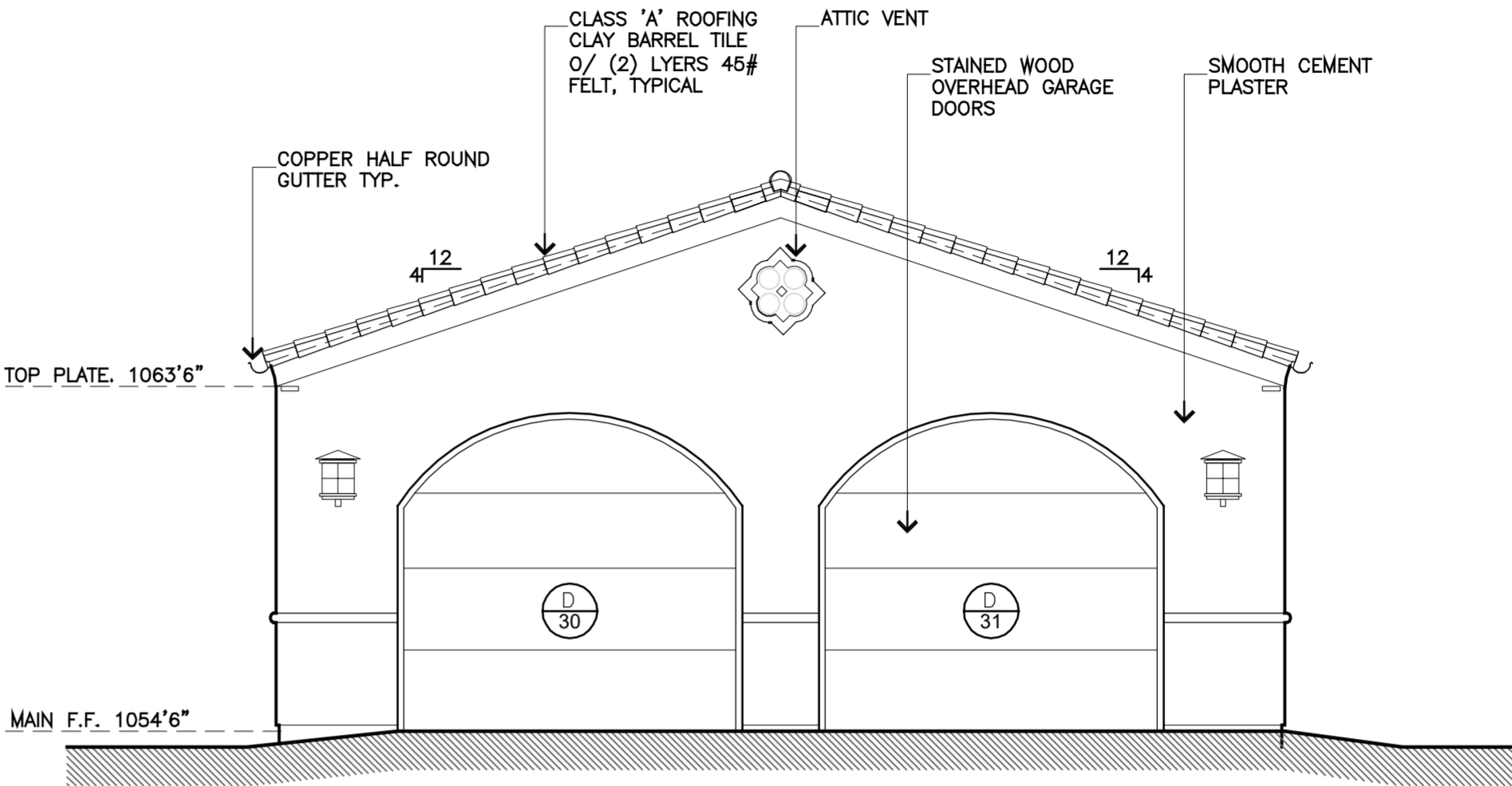
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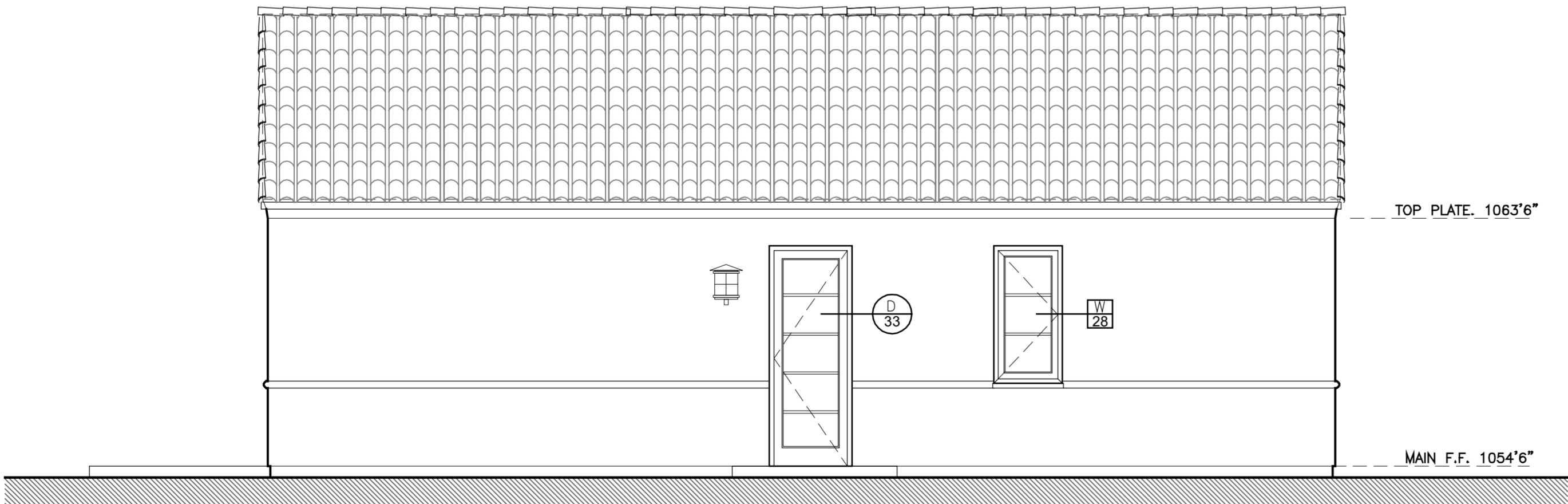
GARAGE-WORKSHOP WEST EXTERIOR ELEVATION

Scale
1/4"=1'-0" W



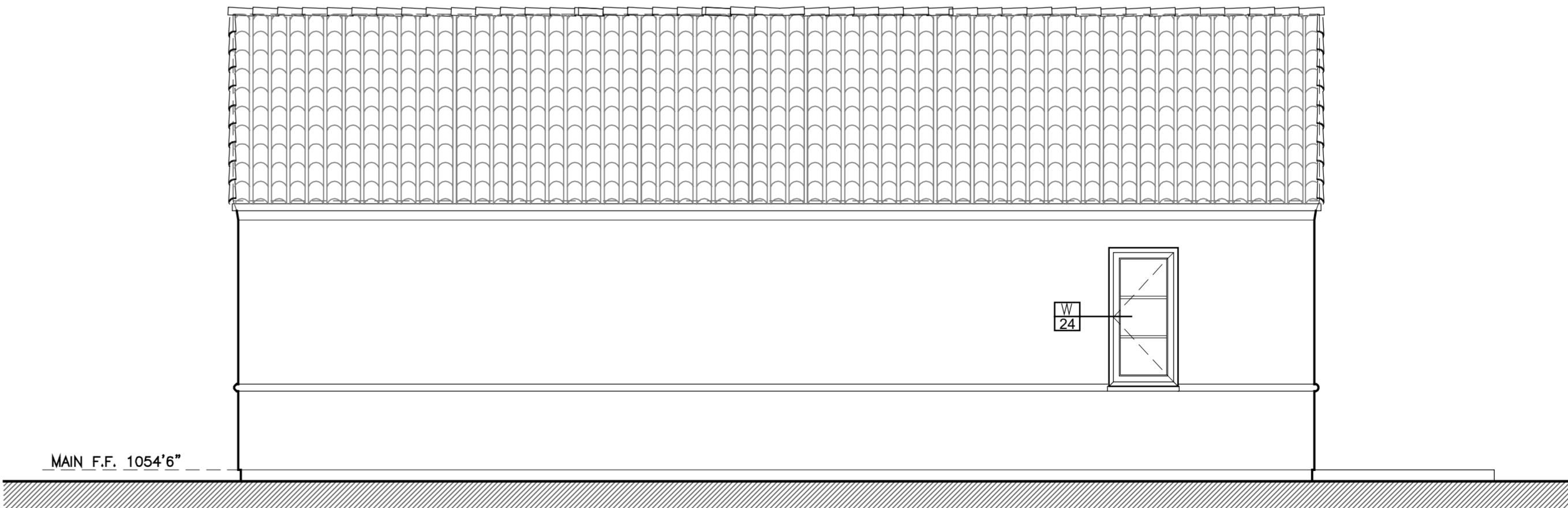
GARAGE-WORKSHOP EAST EXTERIOR ELEVATION

Scale
1/4"=1'-0" E



GARAGE-WORKSHOP SOUTH EXTERIOR ELEVATION

Scale
1/4"=1'-0" S



GARAGE-WORKSHOP NORTH EXTERIOR ELEVATION

Scale
1/4"=1'-0" N

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EXTERIOR ELEVATIONS

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| Scale | 1 |
| N.T.S. | |

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D&W SCHEDULE

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