

**Before the RMA Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

**PREMIER REAL ESTATE, INC. AND LAZARO (PLN190304)
RESOLUTION NO. 20-009**

Resolution by the Monterey Zoning Administrator:

- 1) Finding the project involves the construction of a single family dwelling in a residential area, which qualifies as a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines; and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval for the construction of a 2,384 square foot manufactured home including attached two-car garage.

[PLN190304 Premier Real Estate, Inc. and Alberto Lazaro, 11140 Crane St., Castroville, Castroville Community Plan (APN: 030-116-018-000)]

The Premier Real Estate, Inc. and Lazaro application (PLN190304) came for a public hearing before the Zoning Administrator on April 9, 2020. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY/DESIGN** – The Project is consistent with the applicable plans and policies which designate this area as appropriate for development, and is consistent with design standards for the area.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Castroville Community Plan;
 - Monterey County Zoning Ordinance (Title 21);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The property is located at 11140 Crane Street, Castroville (Assessor's Parcel Number 030-116-018-000), Castroville Community Plan. The proposed project is located on a 0.15 acre (6,678 square feet) lot created by a subdivision approved by the Chief of Planning in September, 2018 (Resolution No. 18-054).

- c) Lot Legality. The subject parcel is a legal lot of record. It is identified as parcel 2 in the 3-lot parcel map recorded on May 23, 2019 as Volume 23, page 89 (Recorded Document No. 2019020761).
- d) The project meets applicable development standards in the Castroville Community Plan. The parcel is currently a vacant lot, zoned Medium Density Residential-Castroville (MDR-C) and is considered an “infill site.” Policy LU-2.21 of the 2010 General Plan designates Castroville as a “Community Area” and Policy LU-2.20 emphasizes Community Areas as the preferred location for growth in the unincorporated areas. A Community Plan has been adopted for the Castroville area which designates the site for Medium Density Residential use (MDR-C). The Community Plan requires a minimum lot size of 5,000 square feet for standard lot single family residential development; the subject parcel is 6,678 square feet in size. Pursuant to the Castroville Community Plan, setbacks for standard lot single family are 20 feet front, 5 feet sides, and 15 feet rear. The manufactured home and garage are planned to have 20 feet front, 6 feet and 10 feet sides, and 15 feet rear setbacks. The height limit for standard lot single family is 30 feet, and the manufactured home and garage are 12 feet, 8 inches in height. The allowable lot coverage for standard lot single family is 40%, and the project is 36.7%. The project has two parking spaces, which is the development standard for the Community Plan.
- e) Pursuant to the Castroville Community Plan, the Project site and surrounding area are designated as a Design Control District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. Therefore, a Design Approval is required for the proposed development and the criteria to grant a Design Approval are met in this case. See Evidences e, f, g, h, and i below.
- f) The applicant proposes a single family manufactured home with attached two-car garage that incorporates architectural aesthetics in the Colonial revival style. The proposed architectural style, while not one of the preferred styles of the Castroville Community Plan Design Guidelines, are consistent with the surrounding residential neighborhood character.
- g) Material and Color Finishes. The applicant proposes exterior colors and materials that are consistent with the residential setting. The primary colors and materials include tan fiber cement lap siding, white wood trims and brown asphalt shingles. The proposed exterior finishes are consistent with the surrounding residential neighborhood character.
- h) The applicant submitted a Landscape Plan for the front and sides of the lot which conforms with Castroville Community Plan and Title 21 requirements. The Landscape Plan was made by a licensed professional and utilizes drought-tolerant native cultivars that are listed as acceptable in North County coastal areas in the Drought Resistant Plants for Monterey County brochure (1988).
- i) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding residential neighborhood

character (i.e., structural design features, colors, and material finishes). As proposed, the project is consistent with neighborhood character, and assures visual integrity.

The project was referred to the Castroville Land Use Advisory Committee (LUAC) for review on October 21, 2019. The members present voted to support design approval (4-0), 1 absent.

The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN190304.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:** a) In September 2018, the RMA Chief of Planning approved the subdivision of a 24,000-square foot parcel at the corner of Crane and McDougall, resulting in three parcels. The parcels were reviewed for site suitability by RMA Planning, RMA Public Works, RMA Environmental Services, North County Fire District, Environmental Health Bureau, and Water Resources Agency. RMA Planning identified potential impacts to archaeological resources and soils; two reports were prepared. “Preliminary Cultural Resources,” January 2018 (LIB180286) by Susan Morley, M.A., Registered Professional Archaeologist concluded that there were no archaeological or cultural constraints that would indicate the site was not suitable for development. “Preliminary Geotechnical Investigation Report,” September 2018 by Grice Engineering, Inc., Salinas CA concluded that there were no physical or environmental constraints that would indicate the site was not suitable for development. The subdivision was consistent with the 2010 Monterey County General Plan, which specifies that Community Area districts are the top priority for development in the unincorporated areas of the County because they are planned population centers with adequate public facilities and services. The property has existing public sewer and water through the Castroville Community Services District.
- b) The project planner conducted a virtual site inspection on February 25, 2020 to verify that the project on the subject parcel conforms to the plans listed above and to verify that the site is suitable for this use.
- c) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN190304.
3. **FINDING:** **HEALTH AND SAFETY** – Construction of this single family dwelling and garage will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:** a) The project was reviewed by RMA-Planning. The project planner has recommended three conditions to ensure that the project will not have

an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

The project has sewer and water lines onsite, with service provided by Castroville Community Service District.

The application, project plans, and related support materials

- b) submitted by the project applicant to Monterey County RMA-Planning for the proposed development are found in Project File PLN190304.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA-Planning and RMA-Building Services records and is not aware of any violations existing on subject property.
 - b) See preceding and following findings and evidence.

5. **FINDING** **CEQA (Exempt):** - The project is a single family dwelling, which is categorically exempt from environmental review, and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a), Class 3 grants categorical exemption for construction of first residence on a vacant lot zoned for that purpose. The proposed project is consistent with the parameters of this Class 3 exemption.
 - b) No adverse environmental effects were identified during staff review of the development application or during October 4, 2019 site review.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact.
 - d) See preceding and following findings and evidence.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.

- EVIDENCE:** Section 21.80.040.A of the Monterey County Zoning Ordinance (Planning Commission).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find the project includes construction of a single family dwelling in a residential area that qualifies for a Class 3 Categorical Exemption pursuant to Section 15303(a) of the CEQA Guidelines; and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval for the construction of a 2,384 square foot manufactured home including a two-car garage, in general conformance with the attached plans and subject to the attached conditions which are both attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 9th day of April, 2020.



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **APR 22 2020**.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **MAY 04 2020**.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

This permit expires 3 year after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190304

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This discretionary Design Approval permit (PLN190304) allows the construction of a single family dwelling and attached garage. The property is located at 11140 Crane Street (Assessor's Parcel Number 030-116-018-000), Castroville Community Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the RMA Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number 20-009) was approved by the Zoning Administrator for Assessor's Parcel Number 030-116-018-000 on April 9, 2020. The permit was granted subject to 3 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the RMA Chief of Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

GENERAL NOTES

- 1-ALL CONSTRUCTION shall conform to applicable codes 2016 CRC codes NFPA standards required by currently adopted codes.) and compliance with 2016 calgreen code mandatory Measures
- 2-ELECTRICAL CODE, applicable california 2016 CEC
- 3-MECHANICAL CODE, applicable california 2016 CMC
- 4-PLUMBING CODE, applicable california 2016 CPC
- 5-CALIFORNIA FIRE CODE, applicable california 2016 edition,
- 6-ENERGY, applicable california 2016 energy code.
- 7- 2016 california Green Building standards code.
- 8-NAILING- nailing will be in compliance with CRC Table R602.3 (1)
- 10-LUMBER-2X4 studs douglas fir number 2
and blocking douglas fir number 2 and beams douglas fir number 2

ENERGY NOTE

- 1-HERS verification is required (R106.1.1.)

SITE PLAN NOTES

1. **Site Plan:** "lots shall be 5% grade slope away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. 2016 CRC(R401.3.

Site plan requirements notes

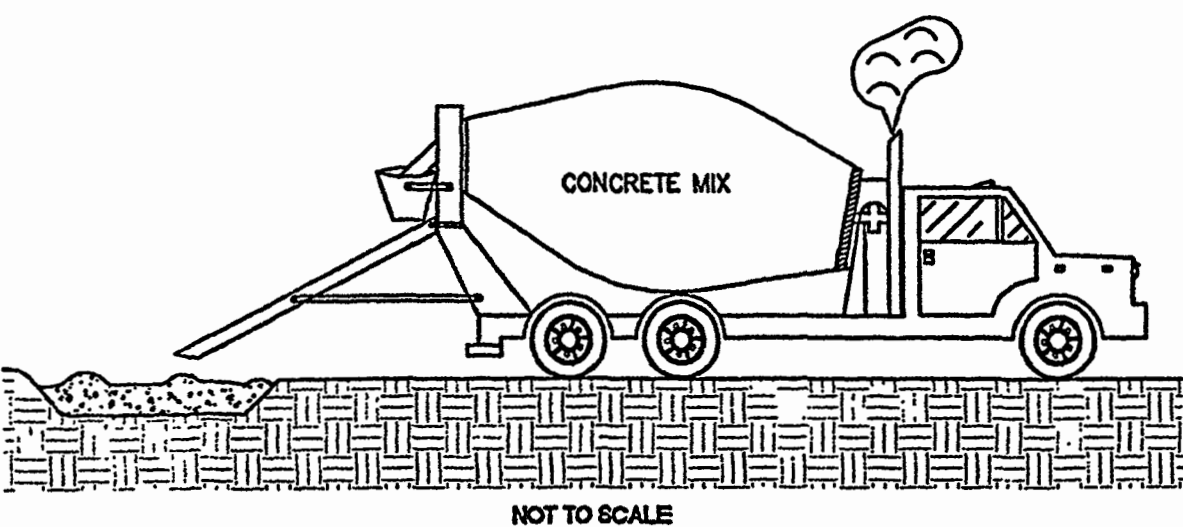
1. contractor, requiring the general contractor to call prior to any site excavation. CRC 2016, Sect. R106.1
2. a minimum 5% grade slope away from the foundation. Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet . CRC 2016, Sect. R401.3
Exception: Where lot lines, walls, slopes or other physical barriers prohibit 6 inches of fall within 10 feet (3048 mm), drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building
3. the following Drainage notes
a) During winter operations (between October 15 and April 15), the following measures must be taken:
1) Disturbed surfaces not involved in the immediate operations must be protected by mulching and/or other effective means of soil protection.
2) All roads and driveways shall have drainage facilities sufficient to prevent erosion on or adjacent to the roadway or on the downhill properties.
3) Runoff from the site shall be detained or filtered by berms, vegetated filter strips, and/or catch basins to prevent the escape of sediment from the site.
4) Drainage control measures shall be maintained and in place at the end of each day and continuously throughout the life of the project during winter operations.
4. **BMP plan.** Identify the location of erosion control measures; Identify the location of concrete washout, identify the location of recycling and garbage containers; Identify the location of material drop off and identify the location for construction workers parking. CRC 2016, Sect. R106.1

SCOPE OF WORK

New manufactured home 1955 sqf
New 2 car garage 429 sqf

PROJECT DATA

New manufactured home 1955 sqf
New 2 car garage 429 sqf
Zoning - residential
Fire isprinklers -yes
Occupancy group (R3 residential and u for garage
Construction type VB
Parcel size 6678 sqf
Parcel #030-116-018-000
LOT COVER 35.69 %



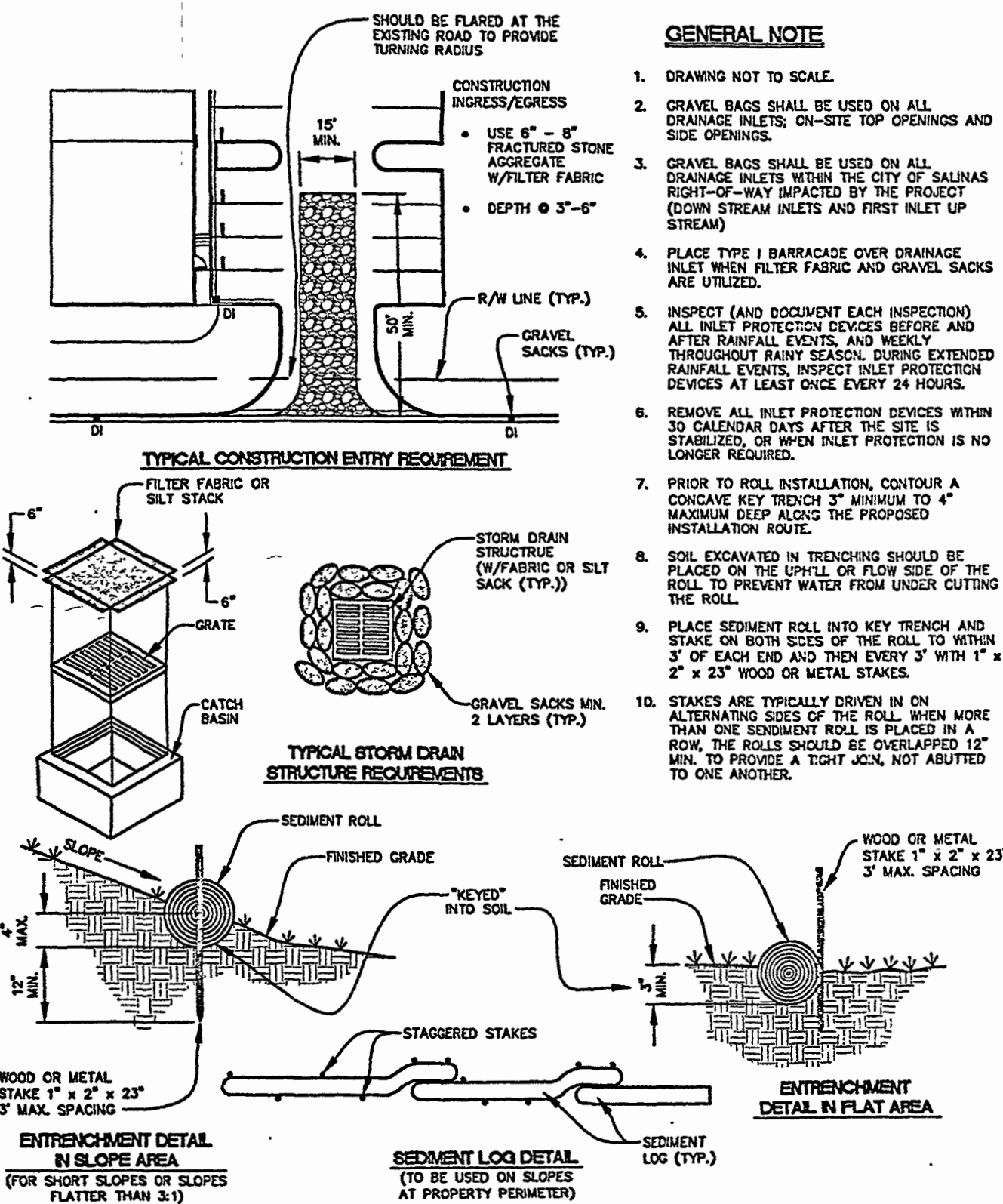
DESCRIPTION

PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

APPROACH

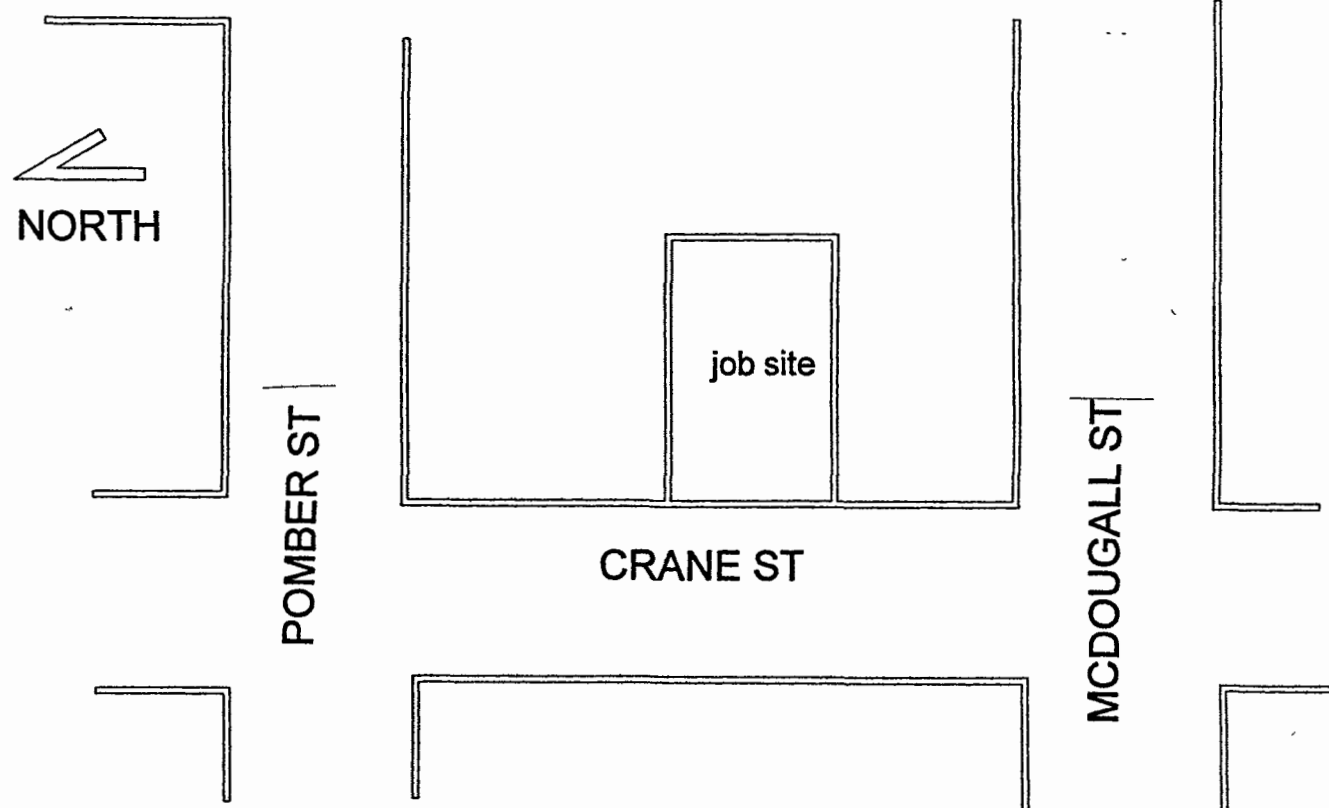
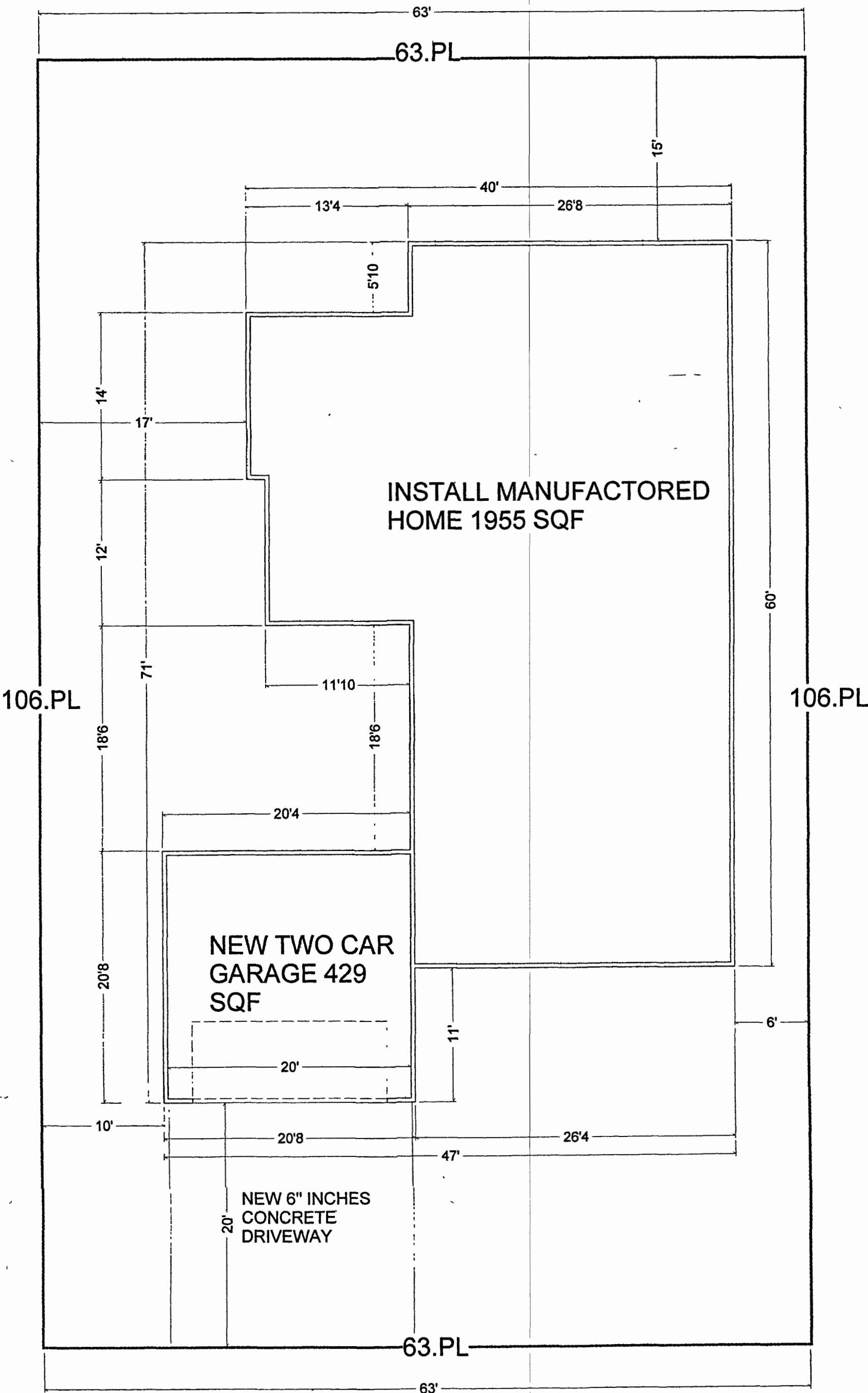
THE FOLLOWING STEPS SHALL HELP REDUCE STORM WATER POLLUTION FROM CONCRETE WASTES:

- STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
- PERFORM WASHOUT OF CONCRETE TRUCKS OFF SITE OR IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS.
- FOR ON-SITE WASHOUTS:
 - LOCATE WASHOUT AREA AT LEAST 50' FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
 - WASH CUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER TO A BERMED OR LEVEL AREA.
- DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN. COLLECT AND RETURN SWEEPINGS TO AGGREGATE BASE STOCK PILE, OR DISPOSE IN THE TRASH.



GENERAL NOTE

1. DRAWING NOT TO SCALE.
2. GRAVEL BAGS SHALL BE USED ON ALL DRAINAGE INLETS, ON-SITE TOP OPENINGS AND SIDE OPENINGS.
3. GRAVEL BAGS SHALL BE USED ON ALL DRAINAGE INLETS WITHIN THE CITY OF SALINAS RIGHT-OF-WAY IMPACTED BY THE PROJECT (DOWN STREAM INLETS AND FIRST INLET UP STREAM).
4. PLACE TYPE I BARRICADE OVER DRAINAGE INLET WHEN FILTER FABRIC AND GRAVEL BAGS ARE UTILIZED.
5. INSPECT (AND DOCUMENT EACH INSPECTION) ALL INLET PROTECTION DEVICES BEFORE AND AFTER RAINFALL EVENTS, AND WEEKLY THROUGHOUT RAINY SEASON. DURING EXTENDED RAINFALL EVENTS, INSPECT INLET PROTECTION DEVICES AT LEAST ONCE EVERY 24 HOURS.
6. REMOVE ALL INLET PROTECTION DEVICES WITHIN 30 CALENDAR DAYS AFTER THE SITE IS STABILIZED, OR WHEN INLET PROTECTION IS NO LONGER REQUIRED.
7. PRIOR TO ROLL INSTALLATION, CONTOUR A CONCAVE KEY TRENCH 3" MINIMUM TO 4" MAXIMUM DEEP ALONG THE PROPOSED INSTALLATION ROUTE.
8. SOIL EXCAVATED IN TRENCHING SHOULD BE PLACED ON THE UPHILL OR FLOW SIDE OF THE ROLL TO PREVENT WATER FROM UNDER CUTTING THE ROLL.
9. PLACE SEDIMENT ROLL INTO KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL TO WITHIN 3" OF EACH END AND THEN EVERY 3' WITH 1" x 2" x 23" WOOD OR METAL STAKES.
10. STAKES ARE TYPICALLY DRIVEN IN ON ALTERNATING SIDES OF THE ROLL WHEN MORE THAN ONE SEDIMENT ROLL IS PLACED IN A ROW. THE ROLLS SHOULD BE OVERLAPPED 12" MIN. TO PROVIDE A TIGHT JCN, NOT ADJUTED TO ONE ANOTHER.



VICINITY MAP

DEVELOPMENT & ENGINEERING SERVICES DEPARTMENT	
ENGINEERING SERVICES DIVISION	
TITLE: CONCRETE WASTE WASHOUT MANAGEMENT PLAN	STANDARD PLAN
DESIGNED BY: STNY	59B
CADD BY: STNY	

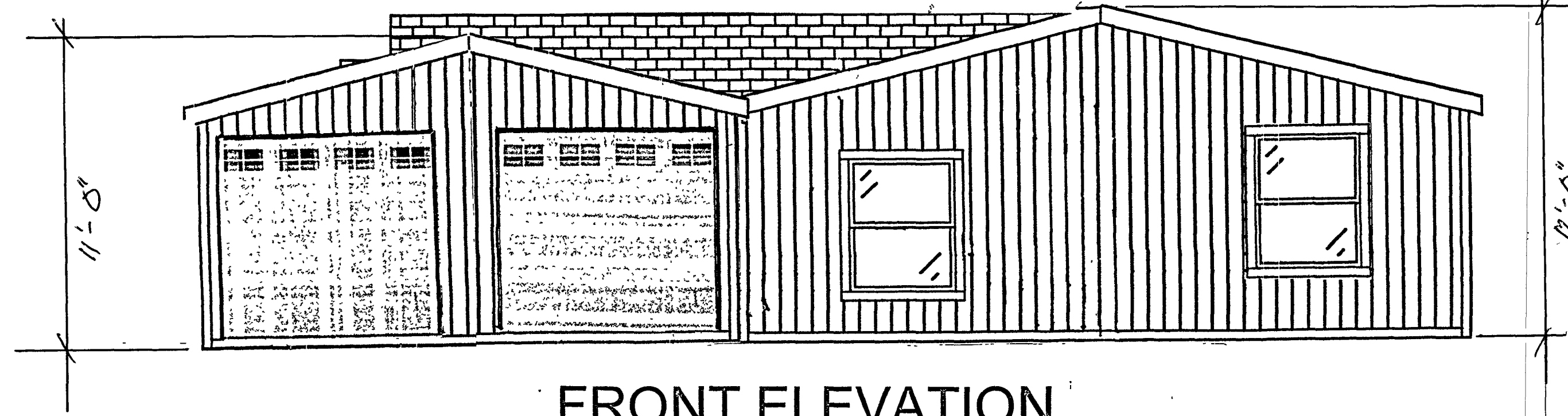
DEVELOPMENT & ENGINEERING SERVICES DEPARTMENT	
ENGINEERING SERVICES DIVISION	
TITLE: BEST MANAGEMENT PRACTICES	STANDARD PLAN
	59A

CRANE ST

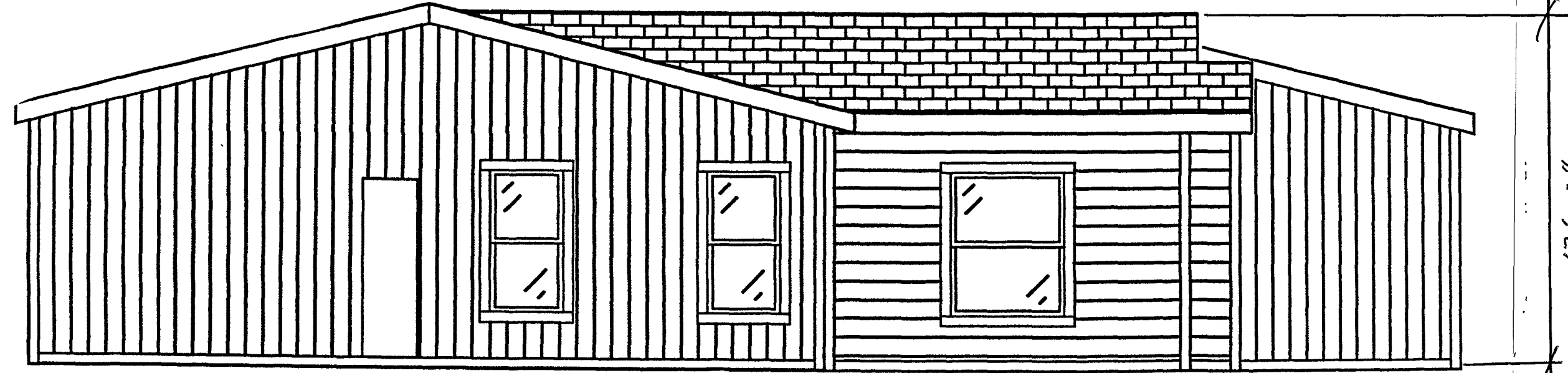
NORTH

SITE PLAN SCALE 1/8"=1'-0"

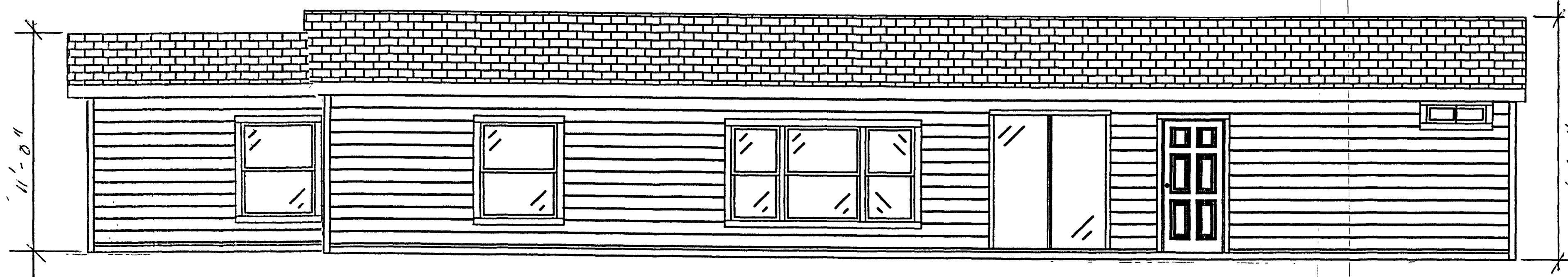
PLANS DESIGN	PLANS TO	SHEET TITLE
JOSE LUIS VASQUEZ PO BOX 4807 SALINAS CA 93912 831-276-5897	HECTOR MONTEJANO 11140 CRANE ST CASTROVILLE CA 95012 831-262-6735	SITE PLAN NOTES STANDARD PLAN59A STANDARD PLAN59B VICINITY MAP
YEAR 2019	DATE 11-13-2019	SHEET 1 OF 7



FRONT ELEVATION

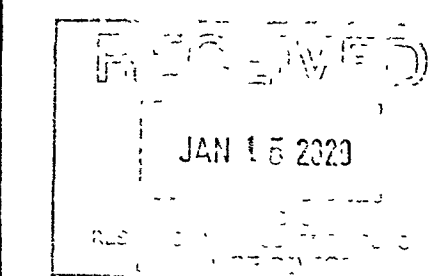


BACK ELEVATION







SCALE = 1/4" = 1'

11140 Crane Street
Castroville, California
APN: 030-116-018-000

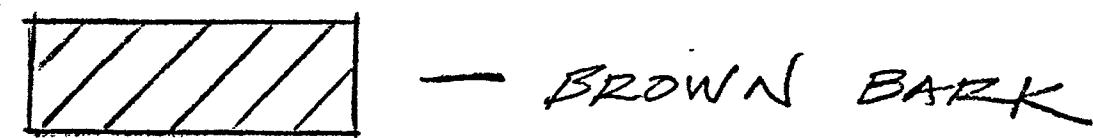


OWNER:
Hector Montejano
346 Paul Ave.
Salinas, California 93006

PLANT LIST

-  — 1 GAL. *DODONEA VISCOSA* (30) HORSEWEED BUSH
-  — 1 GAL. *ROSMARINUS OFFICINALIS* (52) ROSEMARY
-  — 1 GAL. *SANTOLINA VIRENS* (55) LAVENDER
-  — 1 GAL. *GANZANIA* (35) GROUND COVER

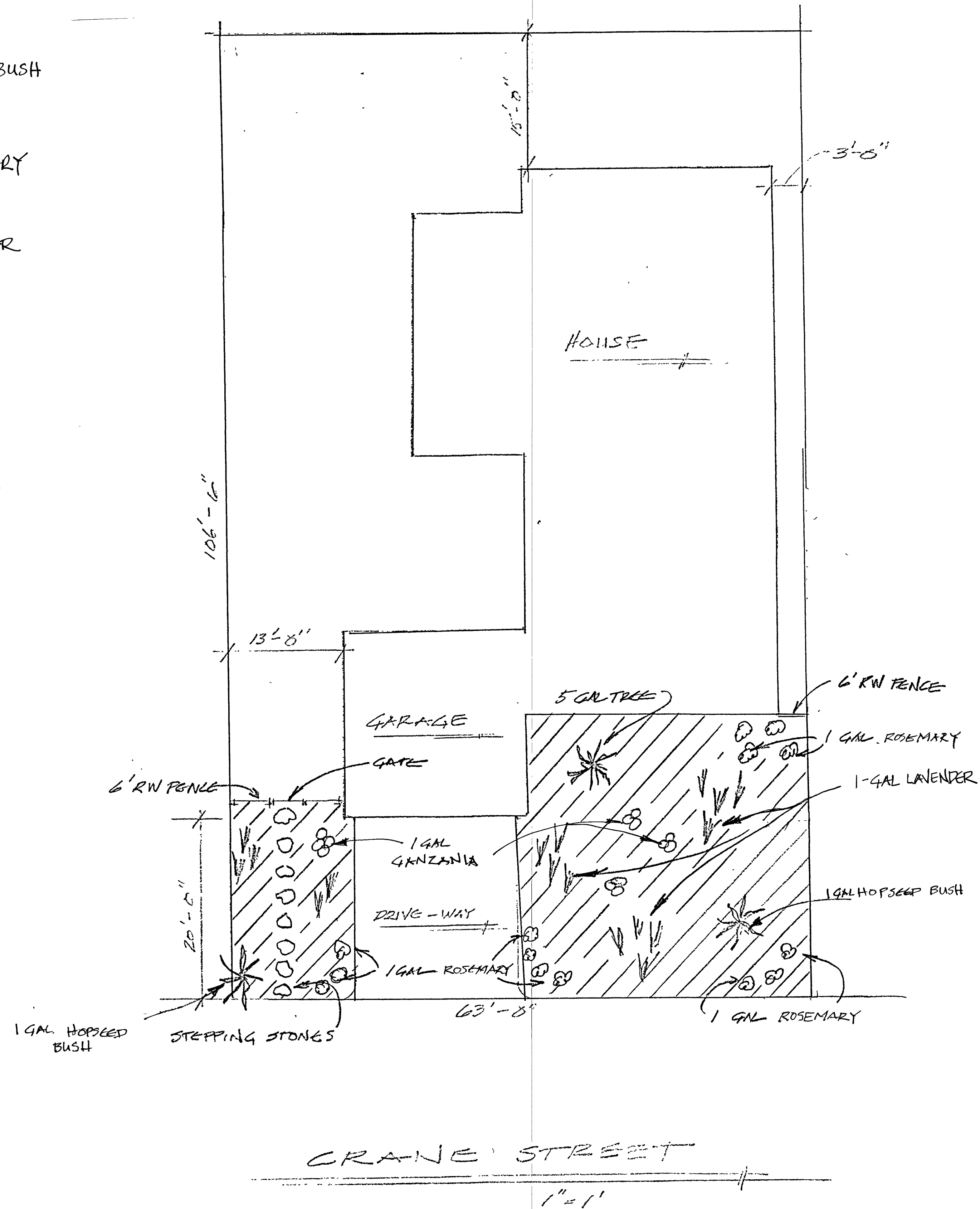
GROUND COVER



IRRIGATION SYSTEM

ORBIT "4" STATION TIMER

- 1 GAL PLANTS .25 G/H DRIP
- 5 GAL PLANTS 1 G/H DRIP



LANDSCAPING

DRAWN BY:

JACK PAQUIN
448 RAMONA ST.
MONTEREY, CA 93940
831.915.2026
paquin37@yahoo.com

ENGINEER OF RECORD:

STRUCTURES ENG., INC.
1676 FREMONT BLVD. SUITE G
SEASIDE, CA 93955
831.809.7469
structures@structuresenginc.com

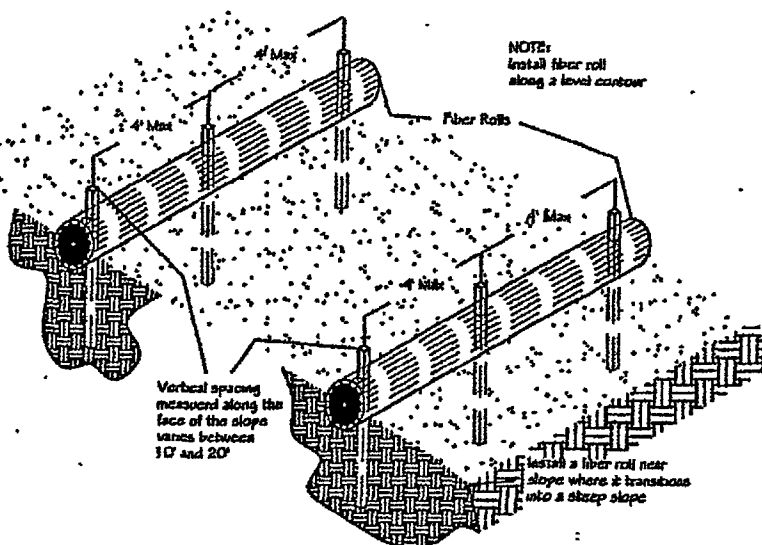
OWNER:

Hector Montejano
346 Paul Ave.
Salinas, California 93006
11140 Crane Street
Castroville, California
APN: 030-116-018-000

SHEET

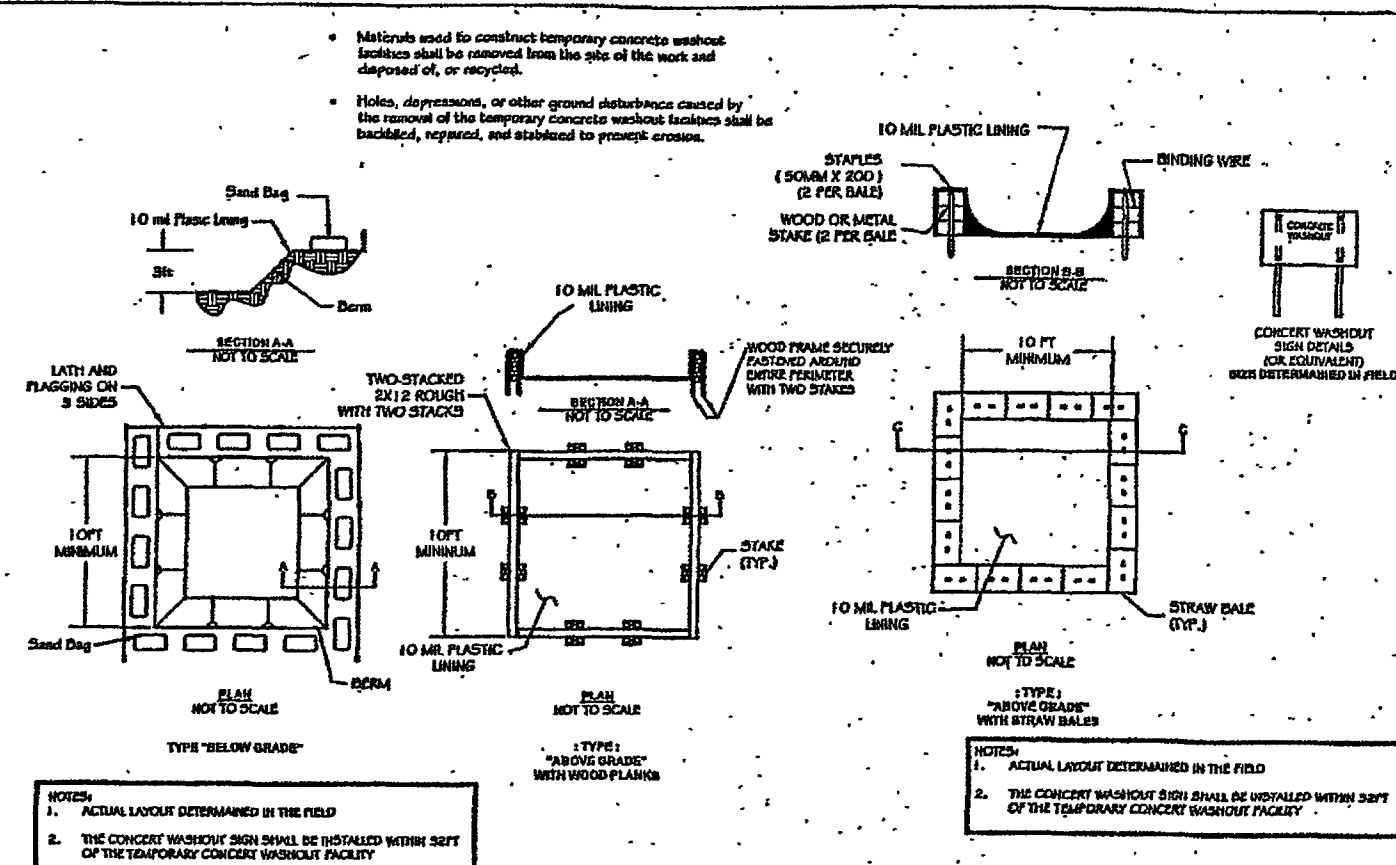
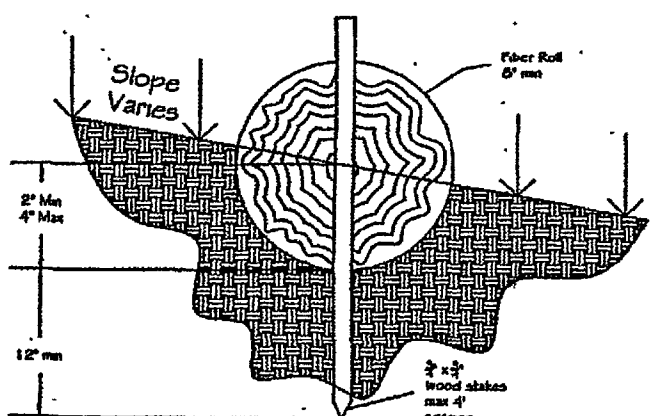
OF

Seed and straw mulch is to be used for soil disturbed area as a means for temporary protection until permanent stabilization is established. It may be used on slopes up to 3:1 H:V (33%). Seed and straw mulch shall consist of spreading seed (a minimum of 5lbs/1000 sq. ft.) over disturbed areas, then placing a uniform layer of straw (2-3 bales/1000 sq. ft.) incorporating it into the soil with a tilled rolling implement. Areas with a crackle stabilizing emulsion. Note: In areas that are sensitive habitat, the seed shall be annual winter barley, and the straw shall be derived from rice, barley, or wheat. In areas that are sensitive habitat, the seed mix, and straw shall be as recommended by the project biologist, be indicated on the plans, and approved by the Planning Department.

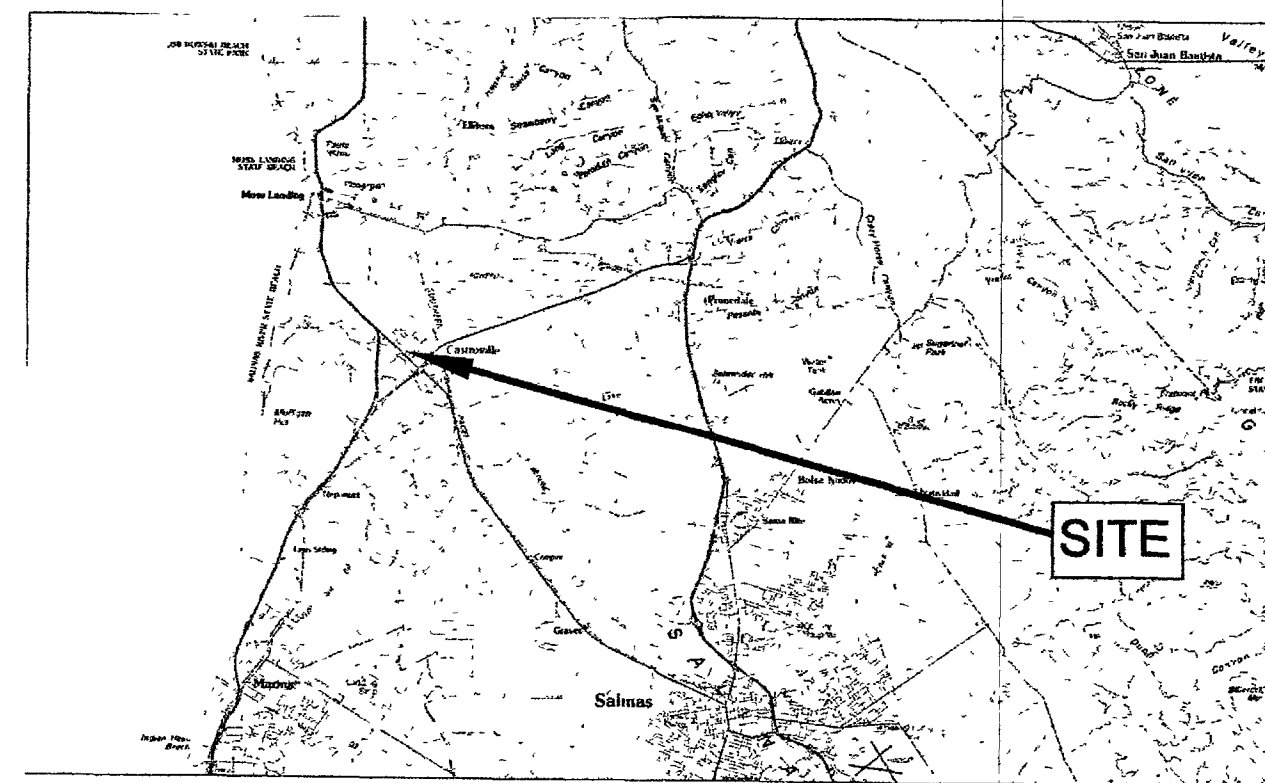


TYPICAL FIBER ROLL INSTALLATION

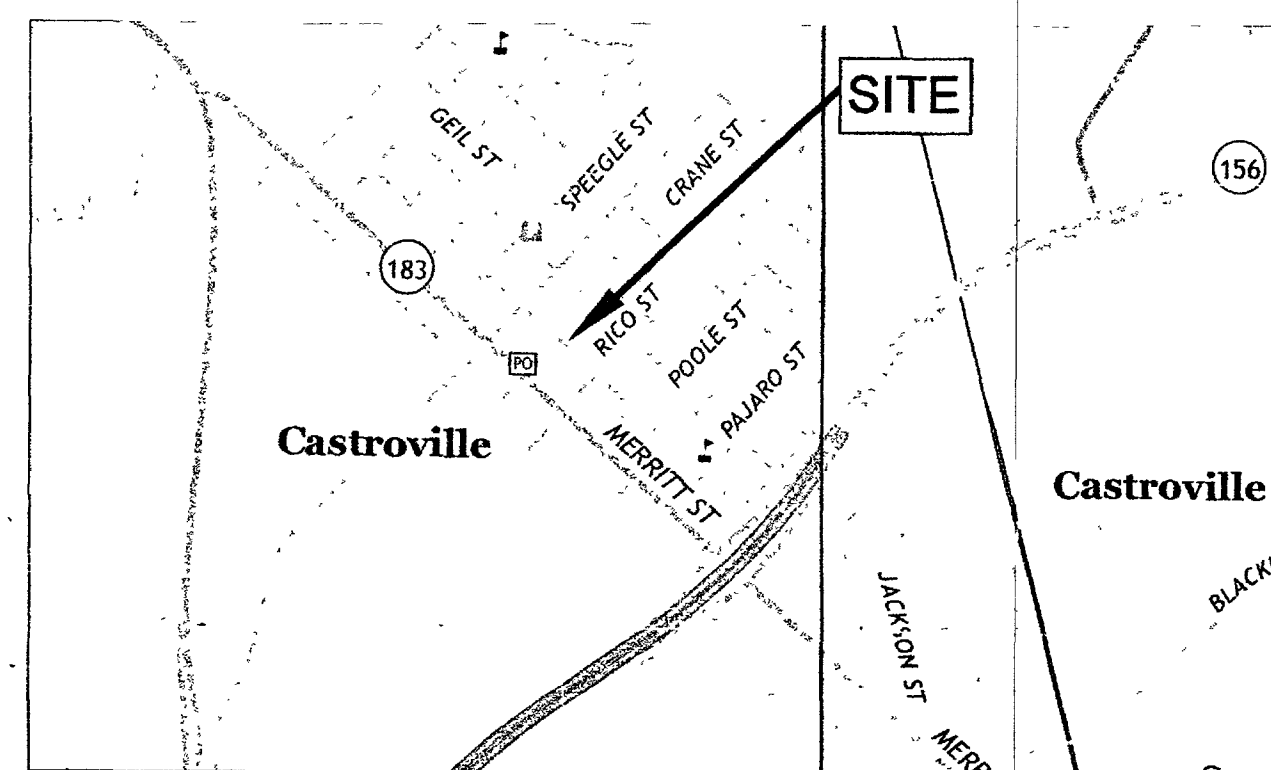
N.T.S



1. Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations.
2. During construction, the owner/applicant shall schedule an inspection to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point.
3. Prior to final inspection, the owner/applicant shall schedule an inspection to ensure that all disturbed areas have been stabilized and that all temporary erosion and sediment control measures that are no longer needed have been removed.



Vicinity Map



Location Map

ENGINEERING GEOTECHNICS SEPTIC HYDROLOGY
FOUNDATIONS SOILS EARTH STRUCTURES

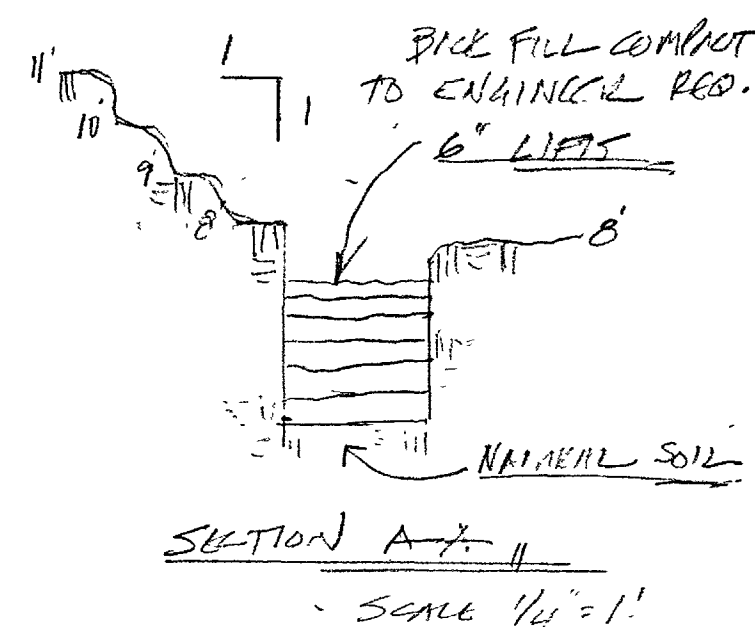
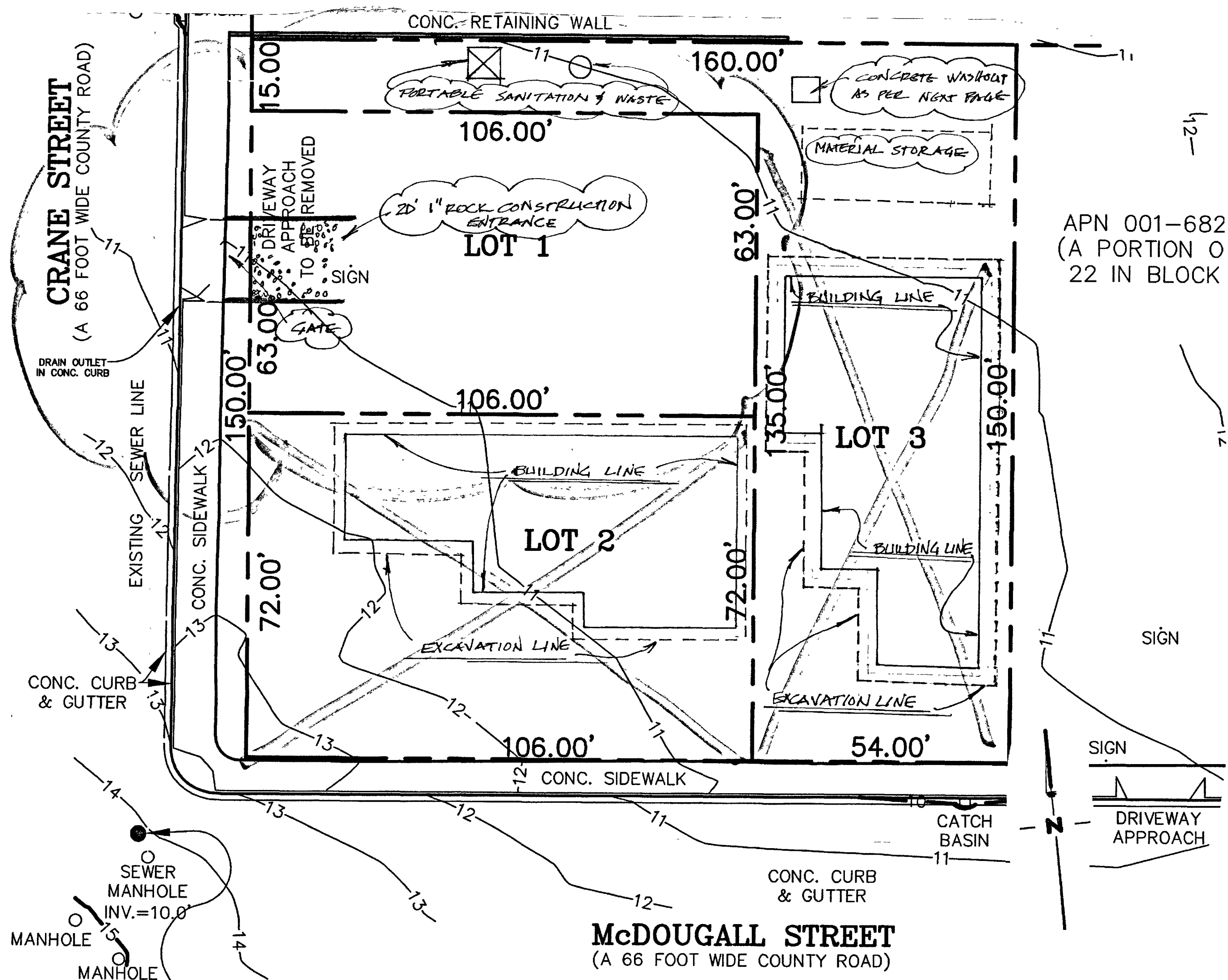
561A Brunken Avenue
Salinas, California 93901
griceengineering@sbcglobal.net

Salinas: (831) 422-9619
Monterey: (831) 375-1198
FAX: (831) 422-1896

Excavation of approximately 300 cubic/ yards
of soil, under supervision of
GRICE ENGINEERING.

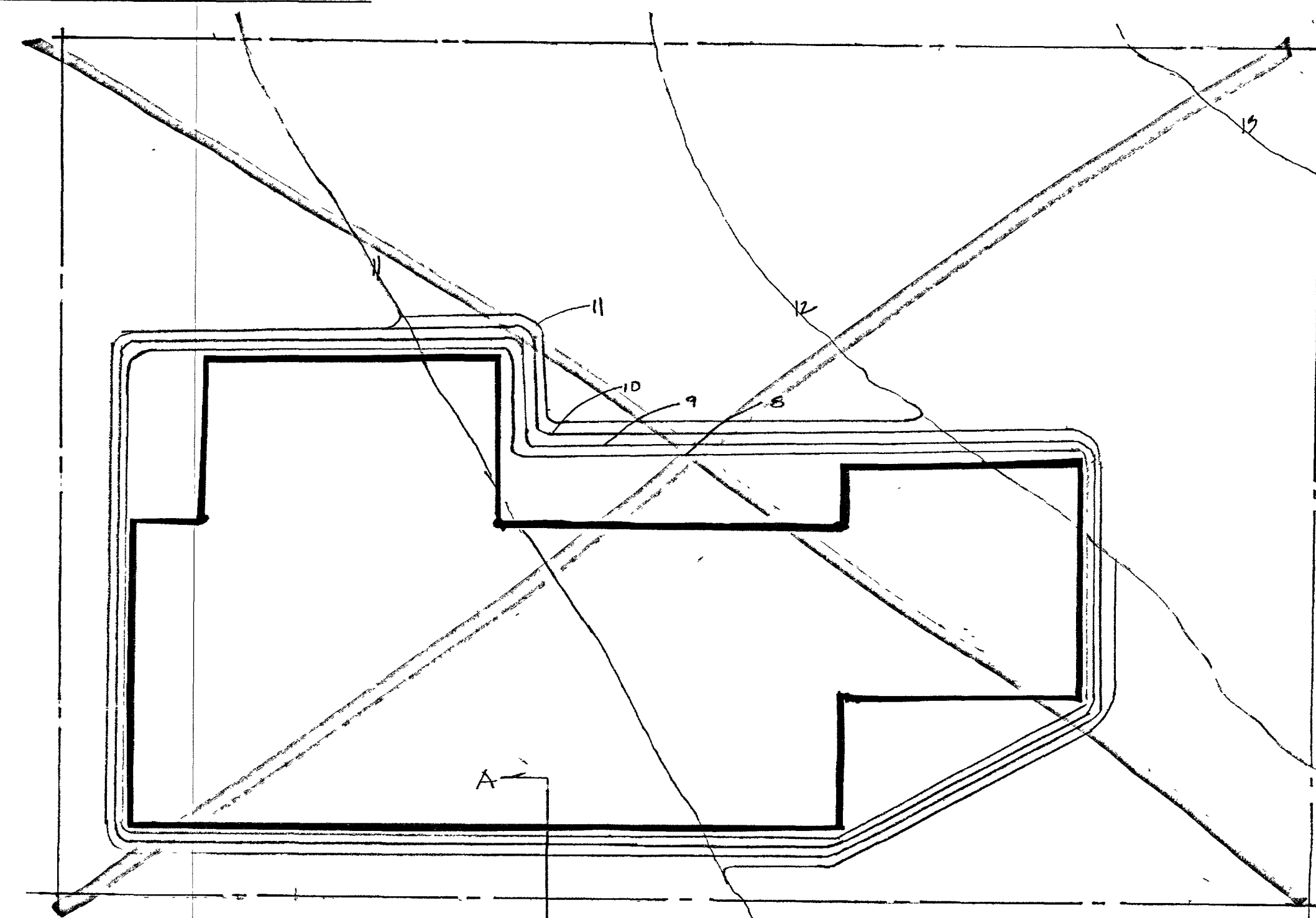
Soil will be retained on site for processing and reuse under engineers recommendations.

All back fill will be done in 6 inch intervals to engineers satisfaction and tested for compaction to meet GRICE ENGINEERING report dated September 22, 2017 attached here to for grading permit.



Under engineer supervision -inspections at 6" lifts

Grice Engineering INC.
561A Brunken Ave. Salinas, Calif. 93901
(831)422-9619



Grading quantities - approx. 300 cu/ yds

11140 Crane Street
Castroville, California
APN: 030-116-018-000

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GENERAL NOTES:

- DESIGN CODES, STANDARDS AND REFERENCES:
 - 2016 CALIFORNIA RESIDENTIAL CODE.
 - ASCE7-10
 - ACI 318-14
 - TITLE 25, DIV. 1, CHAPTER 2 MOBILE HOME PARKS ACT.
 - MOBILE HOME INSTALLATION GUIDE, STATE OF CALIFORNIA.
 - MANUFACTURED HOME SETUP AND INSTALLATION MANUAL, CHAMPION HOME BUILDERS CO.
- CROSS VENTILATION PER TITLE 25 1346(B), SHALL BE PROVIDED BY OPENINGS HAVING A NET AREA OF NOT LESS THAN ONE AND ONE-HALF (1.5) SQUARE FEET FOR EACH TWENTY-FIVE (25) LINEAR FEET OF THE MH-UNIT AND INCLUDING ALL SKIRTED STRUCTURES SUCH AS PORCHES. THE OPENINGS SHALL BE PROVIDED ON AT LEAST THE TWO (2) OPPOSITE SIDES ALONG THE GREATEST LENGTH OF THE UNIT AND SHALL BE INSTALLED AS CLOSE TO ALL THE CORNERS AS PRACTICAL. THE LOCATION AND QUANTITY OF VENTS SHOWN OF FOUNDATION PLAN ARE FOR "EXAMPLE ONLY". SEE DETAIL G FOR AN EXAMPLE OF VENT OPENING SIZE AND SPACING FOR A 14' X 60' EXAMPLE.
- CRAWL SPACE ACCESS HOLE SHALL BE 18" X 24". CONTRACTOR TO LOCATE OR DETERMINE ACTUAL LOCATION.
- FOUNDATION SYSTEM MAY BE GOVERNED BY LOCAL CODES AND MAY BE SUBJECT TO APPROVAL BY LOCAL BUILDING DEPARTMENTS. CHECK LOCAL SOIL CONDITIONS.
- CONTRACTOR TO VERIFY ALL AS-BUILT BUILDING DIMENSIONS AND CONDITIONS AT THE SITE.
- DESIGN LOADS SHALL BE CONSISTENT WITH THOSE ESTABLISHED FOR PERMANENT BUILDINGS WITHIN THE SPECIFIC LOCAL AREA.
- ALL DIMENSIONS (LENGTH AND WIDTH) OF FOUNDATION TO FIT SPECIFIC MODEL TO BE INSTALLED.
- SEE MANUFACTURER'S SETUP AND INSTALLATION MANUAL FOR SPECIFIC SPACING AND LOAD REQUIREMENTS FOR CHASSIS RAIL SUPPORTS.
- SEE MANUFACTURER'S SETUP AND INSTALLATION MANUAL FOR SIZE AND LOCATION OF RIDGE BEAM SUPPORTS. LOCATION TO FIT SPECIFIC MODEL.
- SEE MANUFACTURER'S SETUP AND INSTALLATION MANUAL FOR SPECIFIC SPACING AND LOAD REQUIREMENTS FOR MARRIAGE WALL SUPPORTS.
- THIS FOUNDATION SYSTEM SUPERCEDES ANY REQUIREMENT FOR TIE-DOWNS AND GROUND ANCHORS SPECIFIED IN THE MANUFACTURER'S SETUP AND INSTALLATION MANUAL.
- THIS FOUNDATION SYSTEM IS APPLICABLE TO ONE-STORY HOUSES WITH LIGHT FRAMING, BEARING WALLS AND SHEARWALL LATERAL FORCE RESISTING SYSTEMS ONLY.
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF SIX (6) INCHES WITHIN THE FIRST TEN (10) FEET.
- NOT DESIGNED FOR USE IN FLOOD HAZARD AREA.
- THE GRADE UNDER THE HOME SHALL HAVE A 1% SLOPE TO A STORM DRAIN COLLECTION Point

CONCRETE NOTES:

- MATERIALS SPECIFICATIONS:
 - PORTLAND CEMENT: ASTM C150.
 - NORMAL WEIGHT AGGREGATES: ASTM C33.
 - MIXING WATER: ASTM C1602.
- FOR LOCATIONS WITH ALL THE FOLLOWING EXPOSURE CATEGORIES:
 - FO (CONCRETE NOT EXPOSED TO FREEZING AND THAWING CYCLES)
 - SO (WATER-SOLUBLE SULPHATES IN SOIL PERCENT BY MASS <0.1)
 - WO (CONCRETE DRY IN SERVICE OR IN CONTACT WITH WATER AND LOW PERMEABILITY IS NOT REQUIRED)
 - CO (CORROSION PROTECTION OF REINFORCEMENT: CONCRETE DRY OR PROTECTED FROM MOISTURE)

THE CONCRETE MIX SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

 - MINIMUM CONCRETE $f_c' = 2500$ PSI @ 28 DAYS.
 - MAXIMUM WATER / CEMENT RATIO OF 0.5.
 - MAXIMUM SIZE OF AGGREGATES = 1 IN.
 - MAXIMUM WATER SOLUBLE CHLORIDE ION CONTENT IN CONCRETE, PERCENT BY WEIGHT OF CEMENT = 1.00.

FOR ALL OTHER EXPOSURE CATEGORIES, A LICENSED DESIGN PROFESSIONAL SHALL PROVIDE A CONCRETE MIX DESIGN.
- CONCRETE PLACEMENT AND CONSOLIDATION:
 - DEBRIS AND ICE SHALL BE REMOVED FROM SPACES TO BE OCCUPIED BY CONCRETE BEFORE PLACEMENT.
 - STANDING WATER SHALL BE REMOVED FROM PLACE OF DEPOSIT BEFORE CONCRETE IS PLACED UNLESS A TERMIE IS TO BE USED OR UNLESS OTHERWISE PERMITTED BY BOTH THE LICENSED DESIGN PROFESSIONAL AND THE BUILDING OFFICIAL.
 - MASONRY FILLER UNITS THAT WILL BE IN CONTACT WITH CONCRETE SHALL BE PREWETTED PRIOR TO PLACING CONCRETE.
 - EQUIPMENT USED TO CONVEY CONCRETE FROM THE MIXER TO THE LOCATION OF FINAL PLACEMENT SHALL HAVE CAPABILITIES TO ACHIEVE THE PLACEMENT REQUIREMENTS.
- CONCRETE PRODUCTION:
 - CEMENTITIOUS MATERIALS AND AGGREGATES SHALL BE STORED TO PREVENT DETERIORATION OR CONTAMINATION.
 - MATERIALS THAT HAVE BEEN DETERIORATED OR CONTAMINATED SHALL NOT BE USED IN CONCRETE.
 - EQUIPMENT FOR MIXING AND TRANSPORTING CONCRETE SHALL CONFORM TO ASTM C94 OR ASTM C 685.
 - READY-MIXED AND SITE-MIXED CONCRETE SHALL BE BATCHED, MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C94 OR ASTM C 685.
 - CONCRETE SHALL NOT BE PUMPED THROUGH PIPE MADE OF ALUMINUM OR ALUMINUM ALLOYS
 - CONCRETE SHALL BE PLACED IN ACCORDANCE WITH (i) THROUGH (v):
 - AT A RATE TO PROVIDE AN ADEQUATE SUPPLY OF CONCRETE AT THE LOCATION OF PLACEMENT.
 - AT A RATE SO CONCRETE AT ALL TIMES HAS SUFFICIENT WORKABILITY SUCH THAT IT CAN BE CONSOLIDATED BY THE INTENDED METHODS.
 - WITHOUT SEGREGATION OR LOSS OF MATERIALS.
 - WITHOUT INTERRUPTIONS SUFFICIENT TO PERMIT LOSS OF WORKABILITY BETWEEN SUCCESSIVE PLACEMENTS THAT WILL RESULT IN COLD JOINTS.
 - DEPOSITED AS NEAR TO ITS FINAL LOCATION AS PRACTICABLE TO AVOID SEGREGATION DUE TO REHANDLING OR FLOWING.
 - CONCRETE THAT HAS BEEN CONTAMINATED OR HAS LOST ITS INITIAL WORKABILITY TO THE EXTENT THAT IT CAN NO LONGER BE CONSOLIDATED BY THE INTENDED METHODS SHALL NOT BE USED.
 - RETEMPERING CONCRETE IN ACCORDANCE WITH THE LIMITS OF ASTM C94 SHALL BE PERMITTED UNLESS OTHERWISE RESTRICTED BY THE LICENSED DESIGN PROFESSIONAL.
 - AFTER STARTING, CONCRETING SHALL BE CARRIED OUT AS A CONTINUOUS OPERATION UNTIL THE COMPLETION OF A PANEL OR SECTION, AS DEFINED BY ITS BOUNDARIES OR PREDETERMINED JOINTS.
 - CONCRETE SHALL BE CONSOLIDATED BY SUITABLE MEANS DURING PLACEMENT AND SHALL BE WORKED AROUND REINFORCEMENT AND EMBEDMENTS AND INTO CORNERS OF FORMS.
 - THE SURFACES OF VERTICALLY FORMED LIFTS SHALL BE GENERALLY LEVEL.
- CURING CONCRETE: CONCRETE OTHER THAN HIGH-ERLY-STRENGTH, SHALL BE MAINTAINED AT A TEMPERATURE OF AT LEAST 50 DEGREES F AND IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT, EXCEPT IF ACCELERATED CURING IS USED.
- CONCRETING IN COLD WEATHER: (TEMPERATURE LIMITS AS SPECIFIED IN ASTM C94, ACI 306R AND ACI 301)
 - ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER.
 - FROZEN MATERIALS OR MATERIALS CONTAINING ICE SHALL NOT BE USED.
 - FORMS, FILLERS AND GROUND WITH WHICH CONCRETE IS TO COME IN CONTACT SHALL BE FREE FROM FROST AND ICE.
 - CONCRETE MATERIALS AND PRODUCTION METHODS SHALL BE SELECTED SO THAT THE CONCRETE TEMPERATURE AT DELIVERY COMPLIES WITH THE SPECIFIED TEMPERATURE LIMITS.
- CONCRETING IN HOT WEATHER: (TEMPERATURE LIMITS AS SPECIFIED IN ACI 301 AND ACI 305.1)
 - CONCRETE MATERIALS AND PRODUCTION METHODS SHALL BE SELECTED SO THAT THE CONCRETE TEMPERATURE AT DELIVERY COMPLIES WITH THE SPECIFIED TEMPERATURE LIMITS.
 - HANDLING, PLACING, PROTECTION AND CURING PROCEDURES SHALL LIMIT CONCRETE TEMPERATURES OR WATER EVAPORATION THAT COULD REDUCE STRENGTH, SERVICEABILITY AND DURABILITY OF THE MEMBER OR STRUCTURE.

DESIGN SPECIFICATIONS :

- SOIL BEARING CAPACITY ASSUMED TO BE AT 1500 PSF MINIMUM.
- MASONRY UNITS TO CONFORM TO ASTM C - 90-14.
- ROOF LIVE LOAD MAY BE 20, 30, 40, 60 AND 80 PSF.
- WIND LOAD = 110 MPH (3-SECOND GUST) EXP C.
- SITE CLASS: D.
- SEISMIC DESIGN CATEGORY E 75% REDUCTION FOR SNOW LOADS.
- (FOR LOCAL JURISDICTIONS REQUIRING 50% REDUCTION, USE ANCHOR BOLT SPACING FOR TWICE THE SNOW LOAD. SEE DETAIL H.)
- ROOF PITCH = 6:12 MAXIMUM. SIDEWALL HEIGHT = 108" MAXIMUM.
- TYPICAL REQUIREMENTS FOR SUPPORT SYSTEMS USING LUMBER, PLYWOOD, AND GRAVEL BASE :
 - THIS TYPE OF SUPPORT SYSTEM CONSISTS OF A WOOD PAD AND FOUNDATION PIER WITH GRAVEL BASE.
 - ALL LUMBER AND PLYWOOD REQUIRED TO BE PRESERVATIVE TREATED SHALL COMPLY WITH THE TREATING, DRYING, RETENTION AND PENETRATION REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS BUREAU'S AWPB-FDN STANDARD.
 - EACH PIECE OF LUMBER OR PLYWOOD REQUIRED TO BE PRESERVATIVE TREATED SHALL BE IDENTIFIED AS FOLLOWS:
 - IDENTITY OF THE COMPANY DOING THE TREATING.
 - IDENTITY OF THE PLANT DOING THE TREATING.
 - DATE TREATED.
 - PRESERVATIVE IDENTIFICATION.
 - APPROVED QUALITY CONTROL AGENCY MARK.
 - GRADE MARK TO IDENTIFY LUMBER SPECIES AND GRADE.
 - THE LETTER "TSO" SPECIFYING TREATMENT AND SERVICE ONLY WHERE APPLICABLE.
 - WHERE PRESERVATIVE LUMBER IS CUT IN THE FIELD, THE CUT SURFACE SHALL BE TREATED WITH NOT LESS THAN 3% SOLUTION OF THE SAME PRESERVATIVE USED IN THE ORIGINAL TREATMENT.
 - COMPACTED CLASS 2 AGGREGATE WITH THE LEVEL TOP SURFACE EXTENDING A MINIMUM 12 INCHES BEYOND THE EDGE OF THE FOOTING.
 - FILLS FOR UNEVEN SURFACES EXCEEDING SIX (6) INCHES IN DEPTH SHALL BE MADE WITH POURED IN PLACE CONCRETE PER TITLE 25 1334(E) OR ALTERNATE ENGINEERED METHOD APPROVED BY ENFORCEMENT AGENCY. PER TITLE 25 1116(G), FILLS OVER 6" REQUIRE ADDITIONAL APPROVALS (SOILS TEST AND REPORT)
 - FASTENERS SHALL BE CORROSION RESISTANT AS FOLLOWS :
 - BELOW GRADE: TYPE 304 OR 316 STAINLESS STEEL
 - ABOVE GRADE: HOT DIPPED GALVANIZED OR HOT TUMBLED GALVANIZED NAILS, STAINLESS STEEL FASTENERS, SILICON BRONZE OR COPPER FASTENERS FOR PLYWOOD. LUMBER TO LUMBER FASTENER SHALL BE SAME AS BELOW GRADE.
 - FOOTINGS: WOOD FOOTINGS TO BE PLACED ON SURFACE OF THE GROUND-PLACED LEVEL ON CLEARED, FIRM UNDISTURBED SOIL OR COMPACTED FILL. CONCRETE FOOTINGS TO BE MINIMUM 6" THICK WITH DEPTH PER LOCAL FROST DEPTH. FOOTINGS ON UNEVEN SURFACES TO COMPLY WITH TITLE 25 1334.5 PER LOCAL JURISDICTION.
- MANUFACTURED LOAD BEARING SUPPORTS OR DEVICES SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY.
- WHERE MINIMUM FOOTING WIDTH IS 12 INCHES, USE OF A SINGLE WYTHE OF SOLID OR FULLY GROUTED 12-INCH NOMINAL CONCRETE MASONARY UNITS IS PERMITTED.

REINFORCEMENT NOTES:

- REINFORCEMENT SPECIFICATION: (2016 CRC SECTION R403.1.3.5.1) STEEL REINFORCEMENT SHALL BE ASTM A615 OR A706 WITH MINIMUM YIELD STRENGTH OF 40,000 PSI (GRADE 40)
- CONCRETE COVER REQUIREMENTS: (2016 CRC SECTION R403.1.3.5.3)
 - 3" FOR CONCRETE CAST AGAINST THE EARTH
 - 1 1/2" FOR CONCRETE CAST IN REMOVABLE FORMS THAT WILL BE EXPOSED TO THE EARTH OR WEATHER FOR No. 5 AND SMALLER BARS.
 - 2" FOR CONCRETE CAST IN REMOVABLE FORMS THAT WILL BE EXPOSED TO THE EARTH OR WEATHER FOR No. 6 AND LARGER BARS
 - 3/4" FOR CONCRETE CAST IN REMOVABLE FORMS THAT WILL NOT BE EXPOSED TO THE EARTH OR WEATHER AND FOR CONCRETE CAST IN STAY-IN-PLACE FORMS.
- REINFORCEMENT LAP SPLICES: (2016 CRC SECTION R403.1.3.5.4 AND TABLE R608.5.4(1))
 - 20" FOR No. 4 BARS GRADE 40 AND 30" No. 4 BARS GRADE 60
 - 25" FOR No. 5 BARS GRADE 40 AND 38" No. 5 BARS GRADE 60
 - 30" FOR No. 6 BARS GRADE 40 AND 45" No. 6 BARS GRADE 60

MAXIMUM GAP BETWEEN NONCONTACT PARALLEL BARS SHALL NOT EXCEED THE SMALLEST OF ONE-FIFTH THE REQUIRED LAP LENGTH AND 6 INCHES.
- AT THE TIME CONCRETE IS PLACED, REINFORCEMENT SHALL BE CLEAN OF ICE, MUD, OIL, DELETERIOUS COATING THAT DECREASE BOND.



MANUFACTURED HOME/MOBILE HOME
FOUNDATION SYSTEM
HEALTH AND SAFETY CODE, SECTION 18551
APPROVED

APPROVAL DOES NOT AUTHORIZE OR APPROVE ANY
OMISSIONS OR DEVIATION FROM REQUIREMENTS OF
APPLICABLE STATE LAWS AND REGULATIONS
State of California
Department of Housing and Community Development

BY [Signature] DATE 9/5/18
SPA NO. 24-7F (signature)
This Plan Approval Expires 4/13/20

Champion
HOME BUILDERS CO.

REDMAN HOMES
6420 W. ALLISON RD
CHANDLER, AZ 85226

Silvercrest
CHAMPION CHAMPION BUILDERS, INC.
259 N. Smith Ave., Corona CA 92880

RADCO
A TRIMCO COMPANY

MANUFACTURED
HOME
FOUNDATION
SYSTEM

TRIPLE WIDE
ROOF LIVE
LOAD 20 PSF TO
100 PSF

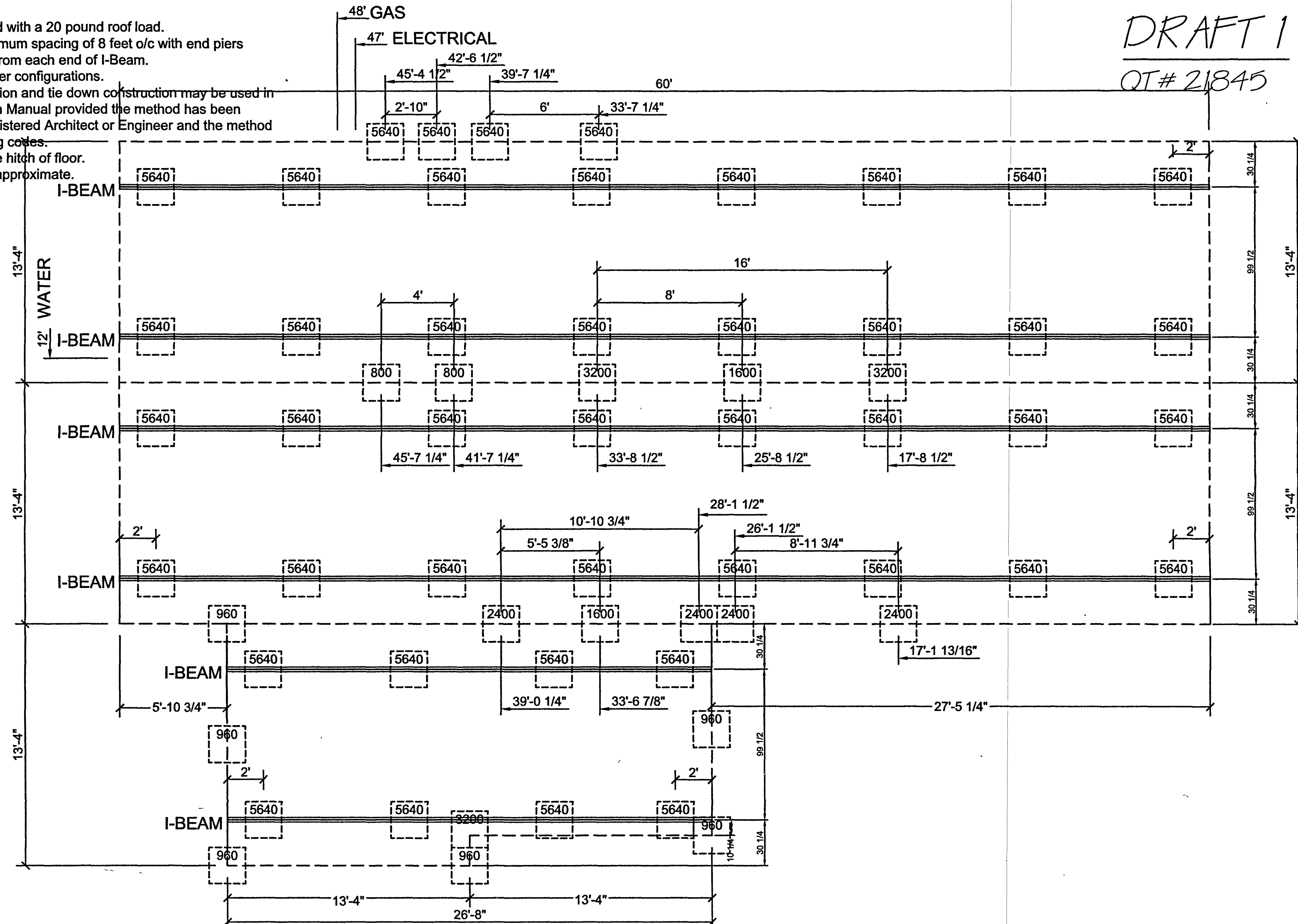
SPA 24-7F

DATE: 11/21/16
SCALE: N.T.S.
DRAWING No: 1 OF 3
REVISIONS
11/21/16 2016 CRC
08/24/18 ADDING SIZE

617

PIER PLACEMENT GENERAL NOTES

1. This plan has been calculated with a 20 pound roof load.
2. All I-Beam piers have a maximum spacing of 8 feet o/c with end piers located no more than 2 feet from each end of I-Beam.
3. See installation manual for pier configurations.
4. Alternate methods of foundation and tie down construction may be used in lieu of the Champion Installation Manual provided the method has been designed and stamped by a registered Architect or Engineer and the method meets local and/or state building codes.
5. All dimensions taken from the hitch of floor.
6. All utility measurements are approximate.



DRAFT 1
QT# 21845

**THIS PAGE IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED TO BE USED AS A FOUNDATION PLAN.
PLEASE REFER TO INSTALLATION MANUAL FOR ALL DETAILS REGARDING THE PIER FOUNDATION.**

CHAMPION 

840 PALM AVE. P.O. BOX 429 LINDSAY, CA 93247

DAPIA SEAL

MODIFICATIONS

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MODEL: 09-CM-7623U

TITLE: PIER FOUNDATION

DRAWN BY: M. Soto

SCALE: 1/4"=1'-0"

DATE: 9-17-18

APPLICABLE MODEL #
009-000

SHEET:

F-101

OWNER:

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7/7

SHEET OF

PROJECT FILE NO. PCN190304

PHOTOGRAPHS



Date: _____ Site Address: _____

Description: _____

VACANT SITE

APR
CASTROVILLE, CA

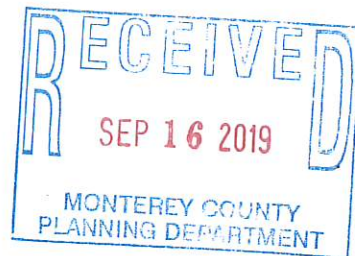


10841 McDougall St

Planner: _____

PROJECT FILE NO. _____

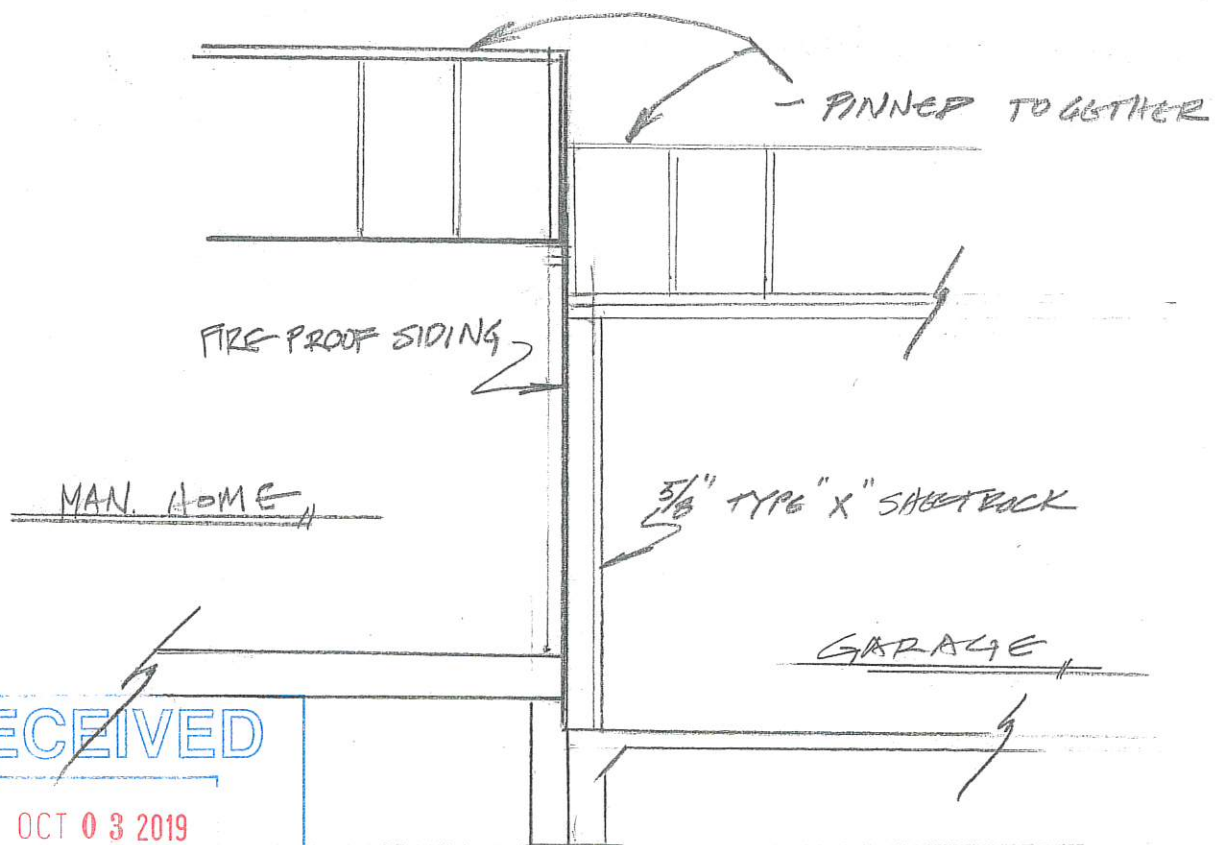
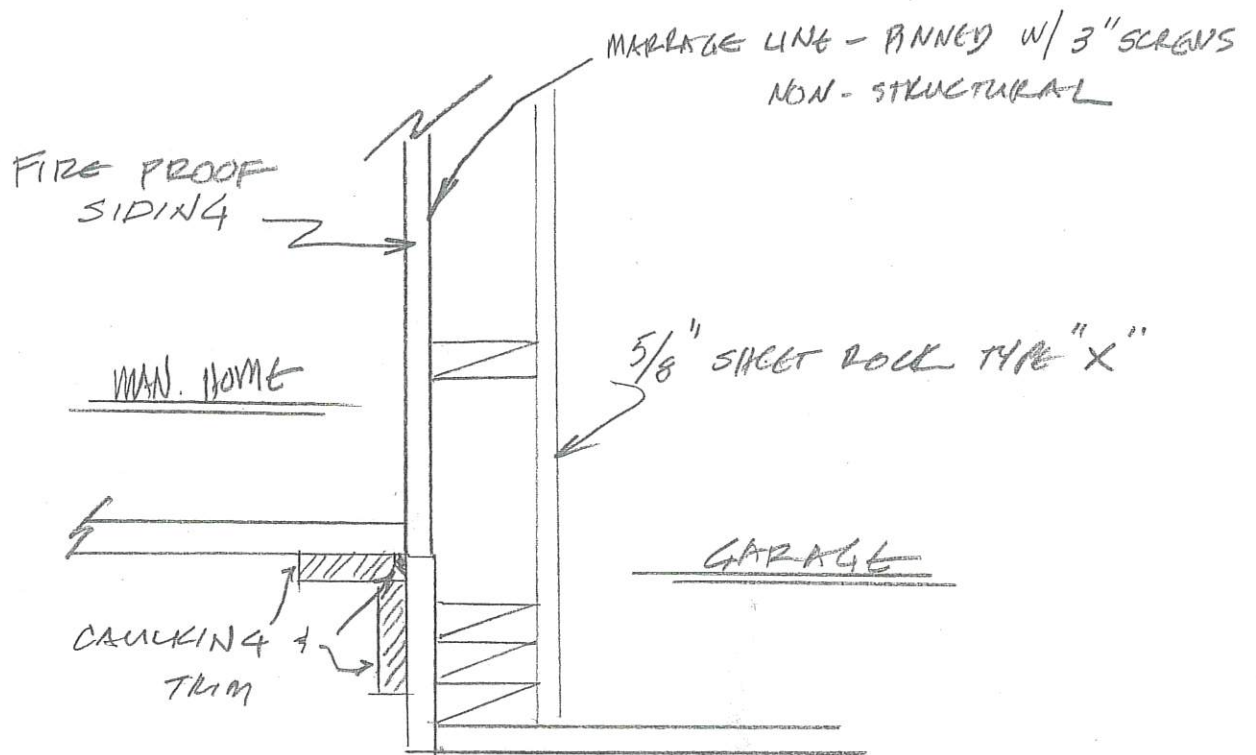
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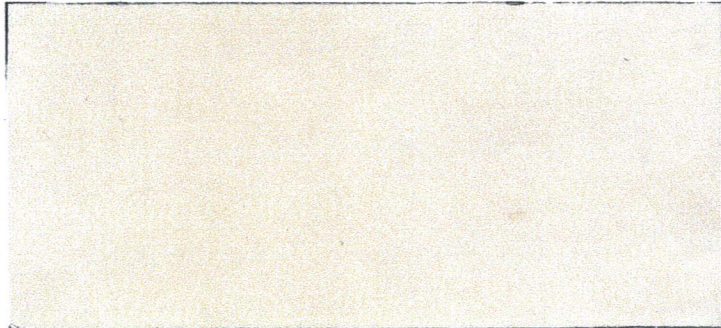
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OCT 03 2019

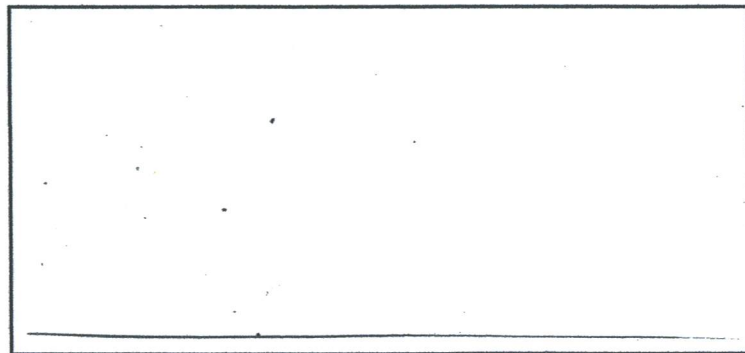
MONTEREY COUNTY
RESOURCE MANAGEMENT AGENCY
LAND USE DIVISION

PLN190304

11140 CRANE ST CASTROVILLE CA. 95012. APN 03-116-018.
COLOR SAMPLES FOR PROJECT FILE NO. PLAN 190304
FOR HOUSE & GARAGE



Materials: HARDEPLANK Colors: TAN
Description: Exterior



Materials: WOOD Colors: WHITE
Description: TRIM



Materials: TAN RO ASPHALT SHINGLES Colors: BROWN
Description: ROOF

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