

## Exhibit B

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## **DRAFT RESOLUTION**

### **Before the Zoning Administrator in and for the County of Monterey, State of California**

In the matter of the application of:

**PLN190370 – SUHL**

#### **RESOLUTION NO.**

Resolution by the Monterey County Zoning  
Administrator:

- a. Finding that the project includes demolition of the existing single-family dwelling and construction of a replacement single family dwelling with an attached garage; a detached guesthouse, and a detached one-car garage, which qualifies as a Class 3 Categorical Exemption pursuant to Sections 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- b. Approving a Combined Development Permit consisting of:
  1. Administrative Permit and Design Approval to allow the demolition of an existing 3,500 sq. ft. single-family dwelling, removal of one landmark Coast live oak tree, and construction of:
    - i. A 5,040 sq. ft. single-story, single-family dwelling and attached 1,000 square foot 3-car garage;
    - ii. A detached 600 sq. ft. guesthouse with a 120 sq. ft. covered porch
    - iii. A detached 460 sq. ft. garage
  2. Use Permit for development within the Carmel River Floodway.

The property is located at 6235 Brookdale Drive, Carmel Valley (Assessor's Parcel Number 015-192-006-000), Carmel Valley Master Plan.

**The Suhl application (PLN190370) came on for public hearing before the Monterey County Zoning Administrator on June 25, 2020. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

#### **FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
    - the 2010 Monterey County General Plan;
    - Carmel Valley Master Plan;
    - Monterey County Zoning Ordinance (Title 21); andNo conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) The property is located at 6235 Brookdale Drive, Carmel Valley (Assessor's Parcel Number 015-192-006-000), Carmel Valley Master Plan. The parcel is zoned LDR/2.5-D-S-RAZ [Design Control Overlay, Sight Plan Review, Residential Allocation Zone]. Single-family residential uses and guesthouses are an allowed use on the site. The project site is 0.959 acres (41,174 square feet) developed in 1959 with a single-family dwelling. Portions of the garage were converted to habitable space in 1993 and an addition was constructed in 1993. The project proposal includes the demolition of the existing single-family dwelling and construction of a replacement single-family dwelling and attached garage, and the construction of a detached guesthouse and construction of a detached garage. Therefore, the project is an allowed land use for this site.
  - c) Design: The site is subject to the Design Approval Standards contained in Chapter 21.44 of the zoning ordinance. Criteria to grant the design approval have been met. (See Finding No. 5).
  - d) Site Plan Review: The project site is located within the Carmel River Floodway and the development must comply with Federal flood standards. The project proposal complies with MCC Section 21.45, *Regulations for Site Plan Review*, and Section 21.64.130.D(3), *Regulations for land use within the Carmel Valley floodplain*. Criteria to grant the Site Plan Review approval have been met. (See Finding 6)
  - e) Residential Allocation Zone (RAZ): The property is in an area that the Carmel Valley Master Plan (CV-1.6) specifies limitations on the number of lots or housing units which may be created in a given period of time. The project proposal does not include the creation of any new lots and does not create any new housing units and is not subject to RAZ standards. (See Finding 7)
  - f) Development Standards: The proposed development meets minimum setback distances from property lines and maximum height allowances allowed in the LDR zone. The main residence has a front setback of 70 feet, a rear setback of 77 feet, 11 inches, and the nearest side property line is 26 feet. The proposed guesthouse has a front setback in excess of 100 feet, a rear setback of 40 feet, and the nearest side property line is 45 feet. The detached garage has a front setback in excess of 100 feet, a rear setback of 20 feet, and the nearest side property line is 10 feet. The maximum height of the proposed main dwelling is 27 feet, 3 inches. The maximum height of the detached guesthouse is 13 feet 7 inches; the detached garage has a maximum height of 14 feet. The LDR zone district allows for lot coverage of 25 percent. The property is 0.959 acres or 41,174 square feet, which would allow site coverage 10,293.5 square feet. The project includes demolition of the existing



development and construction of a new single-family dwelling and detached guesthouse and a detached garage, resulting in lot coverage of approximately 8,027 square feet, or approximately 19.5 percent. Thus, the proposed project complies with LDR standards contained in MCC Section 21.14.060. (See Finding 5)

- g) Cultural Resources: The project site is in an area identified in County records as having high archaeological sensitivity. However, the project site is not within 750 feet of a known archaeological resource. An archeological survey was conducted in January 2020 (Morley, LIB20024). The pedestrian reconnaissance did not observe any cultural resources. The project site is located within a built out residential neighborhood and includes the demolition of the existing SFD and construction of project proposed. Soils would be imported to raise the building pad to comply with Federal regulations relating to development in a floodway. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- h) Historical Review: The existing residence was constructed in 1959 and was subject to addition in 1993. The structure as it was constructed in 1959 was typical of the California ranch style one-story home built throughout the state. The 1993 additions compromised the architectural integrity of the residence and thus lost any possible historic stature. (See Finding 5)
- i) LUAC: The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. This application did warrant referral to the LUAC because it involves development requiring a Site Plan Review subject to review by the Zoning Administrator. The LUAC, at a duly-noticed public meeting on February 18, 2020, voted unanimously, 5 – 0, with one (1) absence, to support the project. However, the LUAC commented that the roof height should be lowered, a landmark oak tree should be preserved, and that the development should reflect a rural character. (See Findings 5 & 6)
- j) The project planner conducted a site inspection on February 18, 2020 to verify that the project on the subject parcel conforms to the plans and ordinances listed above.
- k) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN190370.

**2. FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

**EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Monterey County Regional Fire Protection District, RMA - Public Works Department, RMA - Environmental Services, and the Environmental Health Bureau.

- b) Staff identified unlikely impacts to cultural resources and no impacts to historical resources, substantiated findings for removal of one (1) landmark Coast live oak tree, and conformance to FEMA flood plain development standards. The following reports have been prepared:
  - Preliminary Cultural Resources Site Reconnaissance for Assessor's for APN 015-192-006 in Carmel Valley, Monterey County, California. Prepared by Susan Morley, MA, January 2020. (LIB200024)
  - Phase One Historic Assessment. Prepared by Seth A. Bergstein, Architectural Historian, December 11, 2019. (LIB200013)
  - Tree Assessment. Prepared by Amanda Gates, Consulting Arborist, April 2020. (LIB200072)
  - Soil Investigation Report. Prepared by GMD Engineers, December 1, 2019. (LIB200014)

All reports indicate that the site can be developed for the proposed residential use, provided recommendations are incorporated. County staff has independently reviewed these reports and concurs with their conclusions. Conditions of approval have been incorporated where necessary to ensure that report recommendations are followed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) The project planner conducted a site inspection on February 18, 2020 to verify that the project on the subject parcel conforms to the plans and ordinances listed above.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN190370.

**3. FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the RMA - Planning Department, Monterey County Regional Fire Protection District, RMA - Public Works Department, RMA - Environmental Services, and the Environmental Health Bureau. The respective agencies had recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood. Those recommendations were integrated into the project.
  - b) All necessary public facilities are available to the project site. Sewer service will be provided by an Onsite Wastewater Treatment System (OWTS) and water will be provided by California American Water through existing connections.

- c) The project planner conducted a site inspection on February 18, 2020 to verify that the project on the subject parcel conforms to the plans and ordinances listed above.
  - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN190370.
  
- 4. FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance.

**EVIDENCE:**

  - a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any open code violations existing on the subject property.
  - b) The project planner conducted a site inspection on February 18, 2020 to verify that the project on the subject parcel conforms to the plans and ordinances listed above. No violations were observed during the site inspection.
  - c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN190370.
  
- 5. FINDING: DESIGN** - The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

**EVIDENCE:**

  - a) Pursuant to Section 21.44, Title 21 (Monterey County Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
  - b) The existing residence was constructed in 1959 and because of the age, CEQA requires a historical analysis because of the potential for historical significance. The subject residence was constructed in the California ranch style, a common construction technique and styling throughout the California during the mid-20<sup>th</sup> century. A Historical Assessment was conducted in December 2019 and noted that additions were made in 1993, substantially altering the design of the residence and thus compromising the structure's potential historic integrity. Furthermore, the house was not associated with any events significant to local, state, or national history, nor was the residence designed by an architect of note. The Assessment concluded that the existing house is not historically significant.
  - c) The proposed project involves demolition of the existing single-family dwelling and attached garage and construction of a replacement single-family dwelling and attached garage in the same location as the existing structure, and a detached guesthouse and detached garage located on the back half of the property.
  - d) The architectural style is similar to Dutch colonial designs. The roof is steep pitched, gabled on the ends and features gabled dormers on the

front elevation. The primary materials and colors are wood siding in a white color with window trim and roof trim in white. The detached guesthouse and associated detached one-car garage feature gabled roofs and utilize the materials and colors of the main residence. The proposed development and the materials and colors would be compatible with other homes found in the neighborhood and are consistent with the surrounding character.

- e) The project proposal has been condition such that all exterior lighting would comply with the *Lighting* requirements of MCC Section 21.63.020.B. All exterior lights shall illuminate only the area intended, not be obtrusive to the neighboring parcels or neighborhood, and would reduce off-site glare. (Condition 4)
- f) Based on the evidence described above, the proposed structure and use are consistent with the surrounding character (i.e., structural design features, colors, and material finishes) and scale of development in the vicinity. As proposed, the project is consistent with and sustains the character found in a residential community.
- g) The project planner conducted a site inspection on February 18, 2020 to verify that the project on the subject parcel conforms to the plans and ordinances listed above.
- h) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN190370.

**6. FINDING:** **SITE PLAN REVIEW** – Proposed development in those areas of the County of Monterey where the development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints, shall be subject to review without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The project site is located within the Carmel River Floodway and is subject to special development standards that would protect the development from potential 100-year flood levels.
  - b) The project proposal is for the demolition of an existing single-family dwelling and the construction of a replacement single-family dwelling and detached guesthouse. The project is designed such that the *Finished Floor Elevation* for the main residence is one and one-half foot (1-1/2 ft.) above the 100-year flood level. The main residence would be constructed such that the finished floor would be at an elevation of 67 ft 2 inches, 1 ft 7 inches above the flood elevation. The existing finished grade on the property is approximately 64 ft 3 inches. The flood elevation is 65 ft. 6 inches. The project includes the importation of approximately 239 cubic yards of fill to raise the finished grade under the structural development of the site. The design and placement of the new construction conforms to MCC Section 21.45.050.B. The project proposal complies with MCC Section 21.64.130.D(3); the development will be eligible for Federal Flood Insurance because of the project design as described in paragraph (b) above.

- c) The project planner conducted a site inspection on February 18, 2020 to verify that the project on the subject parcel conforms to the plans and ordinances listed above.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN190370.

**7. FINDING: RESIDENTIAL ALLOCATION ZONING DISTRICT (RAZ)** –The project conforms to the Policies or ordinances within this district which specify limitations on the number of lots or units which may be created in a given period of time.

- EVIDENCE:**
- a) The project proposal consists of the demolition of an existing single-family residence and the construction of a replacement single-family residence and detached guesthouse and detached garage.
  - b) The project proposal does not include a subdivision of land or the creation of a new lot by other means. The property configuration, boundaries, and area would remain the same with the implementation of the project as proposed.
  - c) The proposed detached guesthouse is not considered a housing unit. The guesthouse is living unit, without a kitchen, that is subordinate to and incidental the proposed main residence on the property.
  - d) The project planner reviewed all plans and supporting documents, the 2010 Monterey County General Plan and Title 21 Zoning Ordinance to verify that the proposed project on the subject parcel conforms to the plans and ordinances listed above.
  - e) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN190370.

**8. FINDING: GUEST HOUSE** – The project meets the regulations, standards, and circumstances for a guesthouse in accordance with the applicable goals, policies, and regulations of MCC Section 21.64.020.

- EVIDENCE:**
- a) The proposed guesthouse will not, under the circumstances of the particular application, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the vicinity or to the general welfare of the County (see Finding Numbers 1 and 3).
  - b) Development of a guesthouse is identified as a *Principal Uses Allowed* pursuant to MCC Section 21.14.030.B.
  - c) As proposed, the Guesthouse would be 600 square feet. The guesthouse is comprised of a living room, two (2) bedrooms, and a bathroom. There is no kitchen or cooking facilities proposed. County staff reviewed the project application materials to verify that the proposed project conforms to applicable policies and standards, including the requirements of Monterey County Code Section 21.14.030.B, *Regulations for Guesthouses*.
  - d) The project is conditions such that a Deed Restriction would be recorded identifying and restricting the use. (Condition 5).

- e) The proposed guesthouse is incidental and subordinate to the proposed main residence and is in proximity to the main residence with approximately 13 feet separating the two structures. The proposed guesthouse reflects the architectural stylings, materials, and details of the proposed primary residence, would be visually consistent and compatible with the residential setting, and is complimentary of other residences in the area. (see Finding 5)
- f) Adequate water supply and sewage disposal exist or are readily available. Water will be provided by California American Water and wastewater treatment would be processed by an onsite wastewater treatment system (OWTS). The Environmental Health Bureau did not impose any conditions for project approval.
- g) The project planner conducted a site inspection on February 18, 2020 to verify that the project on the subject parcel conforms to the plans and ordinances listed above.
- h) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN190370.

9. **FINDING:** **TREE REMOVAL** - The tree removal is the minimum required under the circumstances and the removal will not involve a risk of adverse environmental impacts.
- EVIDENCE:**
- a) The project includes application for the removal of one (1) Coast live oak with a diameter of 29 inches. The tree is considered a *Landmark Tree* under the Carmel Valley Master Plan and Title 21, Monterey County zoning ordinance.
  - b) MCC Section 21.64.260.D.5(c) allows for removal of a landmark tree if the tree injured or in danger of falling near an existing or proposed structure. An arborist's report was prepared that assessed the tree's health (Gates LIB200072). The report noted that the tree canopy was in advanced decline with a live crown ratio of approximately 15 percent with dead wood dominating the structural composition of the crown.
  - c) The oak tree is located approximately five (5) feet from the existing dwelling's front elevation. The arborist noted that the tree leans toward the dwelling and is currently a hazard for the existing dwelling and would be a hazard to future development of the parcel.
  - d) The proposed removal of one (1) Coast live oak is the minimum required to implement the proposed development. Moreover, the tree is an advanced state of decline and is leaning, creating a safety hazard for the existing development and the proposed development.
  - e) The project is conditioned such that two (2) Coast live oak replacement trees be planted on the project site. The trees shall be five (5) gallon specimens. An Administrative Permit is required for the removal of the tree and the criteria to grant said permit have been met. (Condition 6)
  - f) The project planner conducted a site inspection on February 18, 2020 to verify that the project on the subject parcel conforms to the plans and ordinances listed above.
  - g) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN190370.

- 10. FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303, categorically exempt new construction of single-family dwellings and appurtenant structures. The project includes demolition of the existing single-family dwelling and construction of a replacement single-family dwelling and detached guesthouse and a detached garage. Therefore, the project is consistent with the parameters of the Class 3 categorical exemption.
  - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, or a hazardous waste site. The project site is located in a low-density residential area, located in proximity to Carmel Valley Road. The project site is not located within an ESHA. Therefore, there is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in cumulative significant impacts.
  - c) The project planner conducted a site inspection on February 18, 2020 to verify that the project on the subject parcel conforms to the plans and ordinances listed above.
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development can be found in Project File PLN190370.
- 11. FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:**
- a) Section 21.45.060 of the Monterey County Zoning Ordinance (Title 21) states that the proposed project is appealable to the Board of Supervisors.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- a. Find that the project includes demolition of the existing single-family dwelling and construction of a replacement single family dwelling with an attached garage; a detached guesthouse, and a detached one-car garage, which qualifies as a Class 3 Categorical Exemption pursuant to Sections 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- b. Approve: Combined Development Permit consisting of:
  - 1. Administrative Permit and Design Approval to allow the demolition of an existing 3,500 sq. ft. single-family dwelling, removal of one landmark Coast live oak tree and construction of:

- i. A 5,040 sq. ft. single-story, single-family dwelling and attached 1,000 square foot 3-car garage;
  - ii. A detached 600 sq. ft. guesthouse with a 120 sq. ft. covered porch
  - iii. A detached 460 sq. ft. garage
2. Use Permit for development within the Carmel River Floodway;

In general conformance with the attached plans and this approval is subject to twelve (12) conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 25<sup>th</sup> day of June 2020

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Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You may need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.



# Monterey County RMA Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190370

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Administrative Permit and Design Approval (PLN190370) allows the demolition of a 3,500 square foot single family dwelling and construction of a 5,040 square foot single family dwelling and attached 1,000 square foot three-car garage and a detached 600 square foot guest house with a 120 square foot covered porch and detached 460 square foot garage. The property is located at 6235 Brookdale Drive (Assessor's Parcel Number 015-192-006-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the RMA Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation** The applicant shall record a Permit Approval Notice. This notice shall state:

**Monitoring Measure:** "A Combined Development Permit (Resolution Number \_\_\_\_\_) was approved by the Monterey County Zoning Administrator for Assessor's Parcel Number 015-192-006-000 on June 25, 2020. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

**Compliance or** Prior to the issuance of grading and building permits, certificates of compliance, or  
**Monitoring** commencement of use, whichever occurs first and as applicable, the Owner/Applicant  
**Action to be Performed:** shall provide proof of recordation of this notice to the RMA - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** RMA-Planning

**Condition/Mitigation** If, during the course of construction, cultural, archaeological, historical or  
**Monitoring Measure:** paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(RMA - Planning)

**Compliance or** The Owner/Applicant shall adhere to this condition on an on-going basis.  
**Monitoring**  
**Action to be Performed:**

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits.  
(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 5. PD019(A) - DEED RESTRICTION-GUESTHOUSE (INLAND)

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a deed restriction stating the regulations applicable to a GUESTHOUSE (Inland) as follows:

- Only 1 guesthouse shall be allowed per lot.
- Detached guesthouses shall be located in close proximity to the principal residence.
  - Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
- The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
- The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.
- The guesthouse shall not exceed 600 square feet of livable floor area.
  - The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
  - Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
  - The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
  - The guesthouse height shall not exceed 15 feet nor be more than one story.

(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall submit the signed and notarized document to the Director of RMA-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the RMA-Planning.

## 6. TREE REPLACEMENT

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The owner shall replace the Coast live oak, on a 2:1 basis (2 trees) using nursery-grown 5-gallon specimen trees. The replacement shall occur on-site on the recommendation of a qualified Forester, and as approved by the Chief of Planning pursuant to Section 20.147.050.C.6. Replacement trees may include a mix of sizes depending on availability and quality of nursery stock and shall consist of Coast Live Oaks and/or Monterey Pines.

**Compliance or Monitoring Action to be Performed:** Seedlings and/or saplings should ideally be transplanted during the wet season following sufficient rainfall. Young plantings should be properly cared for (e.g., mulching and supplemental watering) and protected for a minimum one-year establishment period.

Prior to final of Building or Grading Permits, the owner shall have a qualified Forester submit a letter to the Chief of Planning for review and approval describing how this condition has been implemented.

## 7. ELEVATION CERTIFICATE

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide a FEMA Elevation Certificate, completed by a registered civil engineer or licensed land surveyor certifying the structure has been constructed in accordance with Chapter 16.16 of Monterey County Code. (RMA- Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to final inspection, the owner/applicant shall submit a FEMA Elevation Certificate, based on "finished construction", to RMA-Environmental Services for review and approval.

## 8. FLOODPLAIN NOTICE

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide a recorded floodplain notice for the subject parcel stating: "The property is located within or partially within a Special Flood Hazard Area and may be subject to building and/or land use restrictions." (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** The applicant shall submit a signed and notarized floodplain notice to RMA-Environmental Services for review and approval.

## 9. FOUNDATION PLAN (DETACHED GARAGE)

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide a foundation plan, prepared by a registered civil engineer or licensed architect, certifying the proposed development is compliant with the following regulations:

1. All fully enclosed areas subject to flooding shall be designed to allow for the automatic entry and exit of floodwaters. Each enclosed area shall be defined and include a minimum of two openings on different sides.
2. The vents shall have a total net area not less than one square inch for every square foot of enclosed area subject to flooding.
3. The bottom of all openings shall be no higher than one foot above grade.
4. The foundation plan shall include a vent detail, the location and dimensions of all vents, as well as internal and external grade elevations.
5. All new construction materials, subject to inundation, shall be resistant to flood damage. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permit, the owner/applicant shall submit a foundation plan to RMA-Environmental Services for review and approval.

## 10. STEMWALL INSPECTION

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide a FEMA Elevation Certificate, completed by a registered civil engineer or licensed land surveyor, certifying the lowest floor elevation, venting, external grades, and internal grades are compliant with Chapter 16.16 of Monterey County Code. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to the stemwall inspection, the owner/applicant shall submit a FEMA Elevation Certificate, based on "building under construction", to RMA-Environmental Services for review and approval.

## 11. ZONE AE ELEVATION REQUIREMENTS

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The lowest floor and attendant utilities shall be constructed at a minimum elevation of 66.60 feet (NAVD 1988). The applicant shall provide RMA-Environmental Services certification from a registered civil engineer or licensed land surveyor that a reference marker has been established at the building site to provide for the floodproofing and certification of the lowest floor elevation requirements. (RMA- Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any construction permit, the owner/applicant shall submit a letter, prepared by a registered civil engineer or licensed land surveyor, to RMA-Environmental Services for review and approval.

## 12. STORMWATER CONTROL PLAN (PR1)

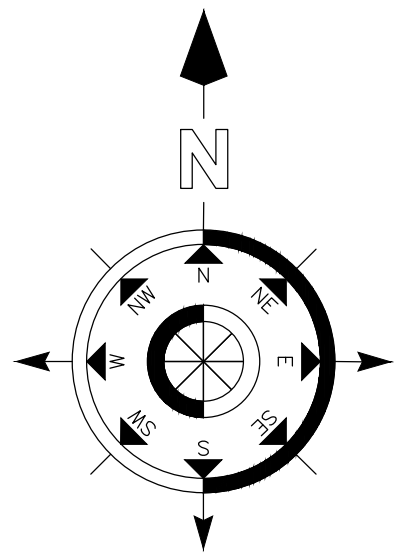
**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a stormwater control plan addressing the Post-Construction Requirements (PCRs) for Development Projects in the Central Coast Region. The stormwater control plan shall incorporate the measures identified on the completed Site Design and Runoff Reduction Checklist. Impervious surface stormwater runoff shall be dispersed at multiple points, on the least steep available slopes, away from and/or below any septic leach fields. (RMA-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a stormwater control plan to RMA-Environmental Services for review and approval.



PROJECT DATA	
INFORMATION	6235 BROOKDALE DR. CARMEL VALLEY, CA 93923 APN: 015-192-006-000 OCCUPANCY GROUP: R-3 / U TYPE OF CONSTRUCTION: V-B NUMBER OF STORIES: 1 ZONING: LDR/2.5-D-S-S-RAZ LAND USE DESIGNATION: RESIDENTIAL - LOW DENSITY 5-1 ACRES/UNIT PARCEL SIZE: 0.95873 AC YEAR BUILT: 1959
SCOPE OF WORK	1. PROPOSAL TO REBUILD EXISTING HOUSE. A. WITH THREE CAR GARAGE. B. WITH NEW COVERED PORCHES. 2. PROPOSAL TO BUILD A GUEST HOUSE 3. PROPOSAL TO BUILD A ONE-CAR DETACHED GARAGE.
REGULATIONS	ENERGY METHOD: YES SPRINKLER SYS: YES FIRE RET. ROOFING: N/A ENGINEERING CALCS: YES GEOTECHNICAL REPORT: YES TRUSS CALCS: YES
CODES	PROJECT SHALL COMPLY WITH THE COUNTY OF MONTEREY ZONING AND BUILDING CODE AND THE FOLLOWING LATEST CODES: • 2019 CALIFORNIA RESIDENTIAL CODE • 2019 CALIFORNIA FIRE CODE • 2019 CALIFORNIA MECHANICAL CODE • 2019 CALIFORNIA PLUMBING CODE • 2019 CALIFORNIA ELECTRICAL CODE • 2019 CALIFORNIA ENERGY CODE • 2019 CALIFORNIA GREEN CODE
LOT COVERAGE BY FOOTPRINT	LOT SITE: (0.9587 AC) 42,000.00 S.F. (E) LIVING AREA ± 3,074.50 S.F. (E) BREEZE WAY ± 110.50 S.F. (E) TOTAL LIVING AREA ± 3,185.00 S.F. (E) 2 CAR GARAGE ± 518.00 S.F. (E) REC. ROOM ± 413.00 S.F. (N) HOUSE: (N) TOTAL LIVING AREA + 5,040.00 S.F. (N) ATTACHED 3 CAR GARAGE + 1,000.00 S.F. (N) COVERED PORCHES + 987.00 S.F. TOTAL 7,027.00 S.F. (N) GUEST HOUSE: (N) TOTAL LIVING AREA + 600.00 S.F. (N) COVERED PORCH + 120.00 S.F. TOTAL 720.00 S.F. (N) SINGLE DETACHED GARAGE + 460.00 S.F. BUILDING COVERAGE (25% ALLOWED): % of building coverage=8,207/42,000.00=.1954 19.54%



SHEET INDEX	
T-1.1	TITLE SHEET
SHEET 1	TOPOGRAPHIC SURVEY
A-1.1	SITE PLAN
A-2.0	EXISTING FLOOR PLAN
A-2.1	PROPOSED FLOOR PLAN
A-2.2	ROOF PLAN
A-2.3	EXISTING ELEVATIONS
A-3.1	PROPOSED ELEVATIONS
A-3.2	PROPOSED ELEVATIONS
A-4.1	GUEST HOUSE & DETACHED GARAGE FLOOR PLAN AND ELEVATIONS
C-1.1	GRADING/ EROSION CONTROL PLAN
C-2.1	DRAINAGE PLAN
C-2.2	DRAINAGE DETAILS AND CROSS SECTIONS
BMP-1	IMPROVEMENT PLANS
BMP-2	IMPROVEMENT PLANS

<b>DIRECTORY</b>	
DESIGNER: JAIME BARCELOS –EIT	
TELEPHONE NUMBER	831-7560324
E-MAIL	barceloscruz@gmail.com
OWNER: CRAIG SUHL	
TELEPHONE NUMBER	650-2074776
E-MAIL	cjsuhl@yahoo.com

1. THE FOLLOWING NOTES, DETAILS, SCHEDULES, & SPECIFICATIONS SHALL APPLY TO ALL PHASES OF THIS PROJECT UNLESS SPECIFICALLY NOTED OTHERWISE. NOTES AND DETAILS ON THE STRUCTURAL PLANS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
2. ALL DRAWINGS ARE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY APPLICABLE CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR ENGINEER.
3. ALL INFORMATION ON EXISTING CONDITIONS SHOWN ON THE STRUCTURAL PLANS ARE BASED ON BEST PRESENT KNOWLEDGE AVAILABLE, BUT WITHOUT GUARANTEE OR ACCURACY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONING AND CONDITIONS AT THE SITE. ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND INFORMATION SHOWN ON THE DRAWINGS OR IN THE SPEC'S SHALL BE BROUGHT TO THE ATTENTION OF THE EOR PRIOR TO THE START OF CONSTRUCTION.
4. REFER TO THE ARCHITECTURAL PLANS FOR THE FOLLOWING:
  - a. DIMENSIONS
  - b. SIZE AND LOCATION OF ALL INTERIOR AND EXTERIOR WALL LOCATIONS
  - c. SIZE AND LOCATION OF ALL FLOOR, ROOF AND WALL OPENINGS.
  - d. SIZE AND LOCATION OF ALL DRAINS, SLOPES, DEPRESSIONS, STEPS, ETC.
  - e. SPECIFICATION OF ALL FINISHES AND WATERPROOFING
  - f. ALL OTHER NON-STRUCTURAL ELEMENTS
5. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR THE FOLLOWING:
  - a. SIZE AND LOCATION OF ALL EQUIPMENT
  - b. PIPE RUNS, SLEEVES, HANGERS AND TRENCHES
  - c. ALL OTHER MECHANICAL, ELECTRICAL OR PLUMBING RELATED ELEMENTS

1. Depositing fill, parking equipment, or staging construction materials near existing trees or close to areas of natural habitat shall be prohibited.
2. Less than one third of any branches shall be removed from any native tree or shrub that may need to be trimmed. Pruning shall be conducted so as to not unnecessarily injure the tree. General Principles of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May
3. Native trees are not adapted to summer watering and may develop crown or root rot as a result. Do not regularly irrigate within the drip line of oaks.
4. Less than one third of area under the dripline on any native tree or shrub should be paved.
5. Coast live oaks should not be trimmed from February through May. There should be no pavement closer than four feet from the trunks of trees unless permeable pavement is used in these areas and surface roots are deep enough to allow paving within an extensive range.
6. A mulch layer up to approximately 4 inches deep should be applied to the ground under selected trees following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the trunk of the ground cover (base) of trees. The best source of mulch should be from chipped material generated onsite.
7. If trees near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

Mitigation Measure No. 17 Protection of Cultural Resources

The subject parcel is located in the aboriginal territory of Ohlone/Costanoan-Esseen Nation (OCEN). Pursuant to AB 52, tribal consultation took place regarding the proposed project. In order to prevent impacts to Tribal/Cultural Resources, the following shall be included in the project's construction plan as a note on all grading and construction plans. The historical site shall "If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning, OCEN Tribal Council and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner, OCEN Tribal Council and the archaeologist shall determine the project site to determine the extent of the resources and to develop proper mitigation measures required for the recovery.

Prior to resuming any further project-related ground disturbance, Owner/Applicant shall coordinate with the project planner, OCEN Tribal Council and a qualified archaeologist to determine a strategy for either return to the Tribe or reburial. Any artifacts found that are not associated with a skeletal finding shall be returned to the aboriginal tribe.

If human remains are accidentally discovered during construction, the following steps will be taken:

There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent resources until:

- The corner of the county in which the remains are discovered must be contacted to determine that no investigation of the cause of death is required; and
- If the corner determines the remains to be Native American:

- The corner shall contact the Native American Heritage Commission and RMA - Planning within 24 hours.
- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esseen, Salinan, Costanoan/Ohlone and Chamush tribal groups, as appropriate, to be the most likely descendant.

The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, or

- Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:

1. The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 48 hours after being notified by the commission;
2. The descendant identified fails to make a recommendation; or
3. The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.

**SYSTEMS, SPRINKLERS REQUIRED:** The residence shall be protected with automatic fire sprinkler systems (S) as required by the Current edition of the California Fire Code and local amendments. Fire sprinklers are required in attached garages. Installation, approval, and maintenance shall be in compliance with applicable National Fire Protection Association Standard 13D and local amendments, and edition(s) of which shall be determined by the enforcing jurisdiction. Plans for fire sprinkler systems (S) must be submitted and approved prior to installation. Rough-in inspections must be completed prior to the installation of the fire sprinkler system.

**FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL):** For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 4,900 gallons, or development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply.

**FIRE ALARM FLOW SWITCH FIRE Alarm Flow Switch** shall be wired to the kitchen refrigerator circuit. Any deviations require approval from the fire department.

**PERMANENT ADDRESS NUMBERS:** Permanent address numbers shall be posted. Before construction begins, temporary address numbers shall be posted. Permanent address numbers shall be posted prior to the request of a final inspection. All address numbers (permanent or temporary) shall be posted on the property so as to be clearly visible from the road. Where visibility cannot be provided, a post or sign bearing the address numbers shall be set adjacent to the driveway or access road to the property. Address number posted shall be "Arabic" (1, 2, 3, etc.), not "Roman" (I, VI, X, etc) or written out in words (Thirteen, Seventy-six, etc.). Address numbers posted shall be a minimum number height of 4 inches, 1/2 inch wide stroke, and contrasting with the background colors of the sign. NOTE: If numbers are posted on a wall, the wall must be a light color and the numbers must be a dark color.

**SEPARATE ADDRESS REQUIRED:** Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address.

**ROOFING CLASS "A" or "B" REQUIRED:** Roofing requirements for all new buildings in Very High Hazard Severity Zones shall be a minimum Class "A" roof assembly as defined by the International Building Code. Roofing requirements for all new buildings in non-very high hazard severity zones shall be a minimum Class "B" roof assembly as defined by the International Building Code.

**FLAME RETARDANT:** All plants and shrubs, and other combustible growth shall at all times maintain clear distance of not less than 30 feet on each side from structures or buildings. This shall not apply to single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided that they do not form a means of rapidly transmitting fire from the native growth to the

PRIOR TO ISSUANCE OF THE PERMIT, THE APPLICANT SHALL SUBMIT A GEOTECHNICAL REPORT WITH PROJECT SPECIFIC RECOMMENDATIONS. THE REPORT SHALL INCLUDE DATA REGARDING THE NATURE, DISTRIBUTION, AND STRENGTH OF EXISTING SOILS, AS WELL AS, A DESCRIPTION OF THE SITE GEOLOGY AND ANY APPLICABLE GEOLOGIC HAZARDS. THE REPORT SHALL ALSO INCLUDE PROJECT SPECIFIC RECOMMENDATIONS AND CONCLUSIONS REGARDING DESIGN CRITERIA AND GRADING PROCEDURES.

a. SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION. BEFORE THE MATERIALS ARE PLACED IN THE DRAINAGE CAMPS INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

b. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

PRIOR TO LAND DISTURBANCE, THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

THAT INCLUDES A CROSS-SECTION SHOWING THE EXISTING GRADE, AND A PROJECT SPECIFIC GEOTECHNICAL INSPECTION SCHEDULE. THE GEOTECHNICAL INSPECTION SCHEDULE SHALL IDENTIFY WHEN THE INSPECTIONS WILL BE COMPLETED, WHO WILL CONDUCT THE INSPECTION (I.E., PG, PE, AND/OR SPECIAL INSPECTOR), A DESCRIPTION OF THE REQUIRED INSPECTION, INSPECTOR NAME, AND THE COMPLETION DATE. THE APPLICANT SHALL ALSO PROVIDE CERTIFICATION FROM THE LICENSED PRACTITIONER THAT THE GRADING PLAN INCORPORATES THEIR GEOTECHNICAL RECOMMENDATIONS.

PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL PROVIDE A LETTER FROM A LICENSED PRACTITIONER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.

**CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING**  
**4.408.1 Construction waste management.** Recycle and/or salvage a minimum of 65 percent the non hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4 of the California Green Building Code, or meet a more stringent local construction waste management ordinance.

**CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING**  
**4.408.1 Construction waste management.** Recycle and/or salvage a minimum of 65 percent the non hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4 of the California Green Building Code, or meet a more stringent local construction waste management ordinance.

structure. Additional fire protection or firebreak may be required when, because of extra hazardous conditions, a firebreak of only 30 feet around such structure is not sufficient to provide reasonable fire safety. Environmentally sensitive area may require alternative fire protection, to be determined by the Fire Chief and Director of Planning and Building. This project requires 30 feet clearance and 100' of defensible space.

**ACCESS DRIVEWAYS- General.** Access driveways shall be all-weather driving surface capable of supporting 12,000 lbs. per axle (22 tons) net, at least 12 feet wide of unobstructed width, a minimum of 13'6" or 15'0" vertical clearance, and a maximum 15 percent grade.

**DRIVEWAYS- TURNOUT REQUIRED-** Driveways shall not be less than 12 feet wide unobstructed. All driveways exceeding 250 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet in length, turnouts shall be provided at no greater than 400 foot intervals.

If the access road has a dead-end and is more than 150 feet long, add a turnout to the access road drawing on the project plans (see example B). Also, place the following note on the project plans:

**ACCESS ROADWAYS- TURNAROUND REQUIRED.** All dead-end access roads in excess of 150 feet in length shall be provided with a turnout around the turning point of the apparatus.

**PRIVACY GATES-** Electric gates shall be provided with a keyed switch meeting fire department specifications (Knex Switch). Manual gates shall be provided with fire department padlocks meeting fire department specifications. Gate entrances shall be at least the width of the traffic lane. But in no case less than 12 feet wide. Unobstructed vertical clearance shall no less than 15 feet.

**BRIDGES-** All new bridges shall be at least the width of the existing roadbed and berms but in no case less than 12 feet wide bridge width on all roads exceeding tertiary standards shall not be less than the width of two lanes with berms. All bridges shall be designed for HS 20-44 loading (standard specification for highway bridges) and have guard rails.

**BACK SETBACK FOR DEFENSIBLE SPACE (30ft.).** All parcels 1 acre and larger shall provide a minimum 30 foot setback for buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, or when a 30 foot minimum setback cannot be reached, alternate fuel modification standards may be imposed by the local fire jurisdiction to provide the same practical effect.

NO.	REVISIONS
REV.	2/25/2020

**SHCHALA**  
**Designs**  
Jaime Barcelos  
Tel: (831) 7560324,  
(831) 7376434  
barceloscruz@gmail.com

**Jaime Barcelos Cruz**

**Designs**  
(831) 7560324 / (831) 7376434

# RESIDENCE SINGLE FAMILY

ROOKDALE DR, CA  
VALLEY, CA 93923

# TITLE SHEET

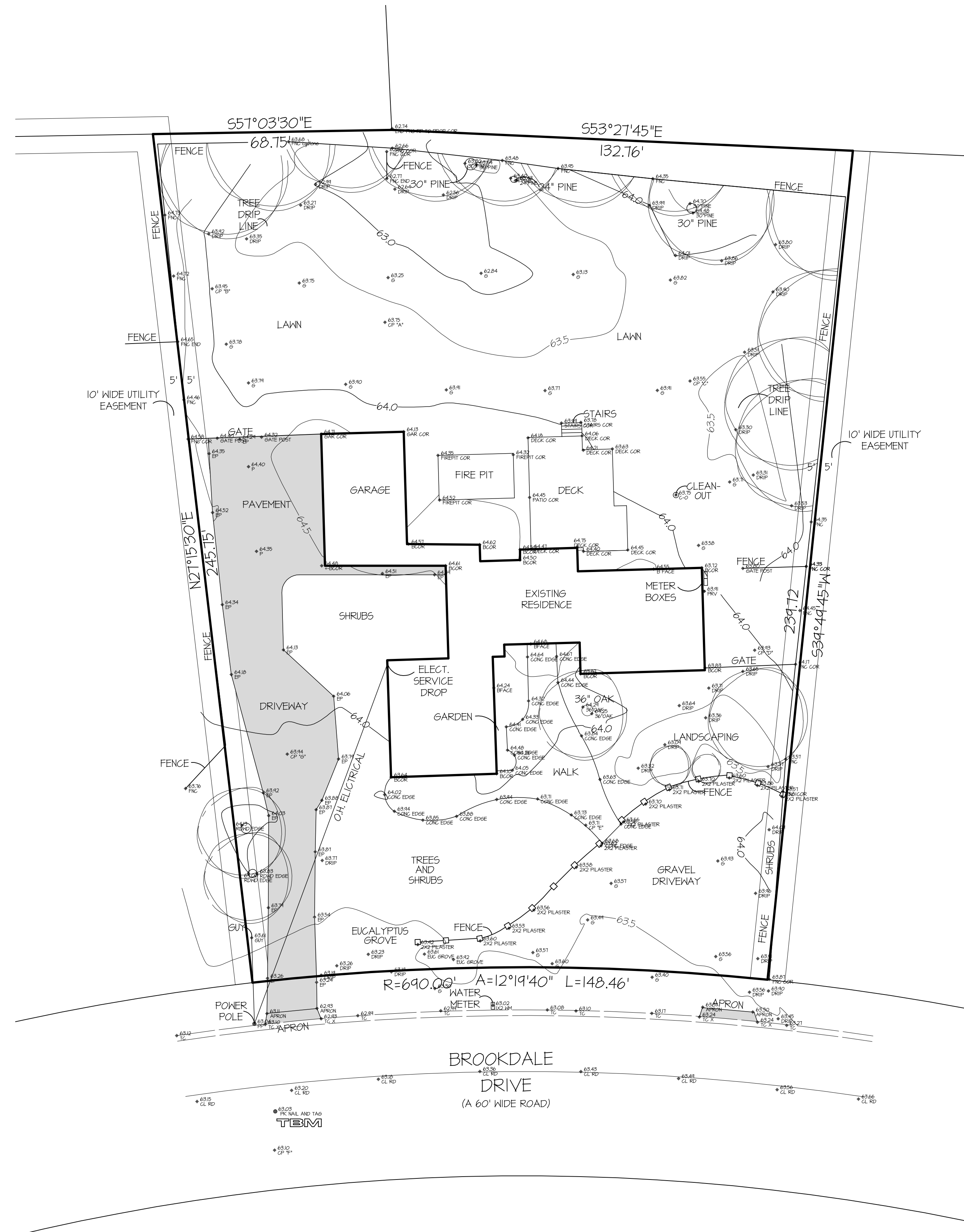
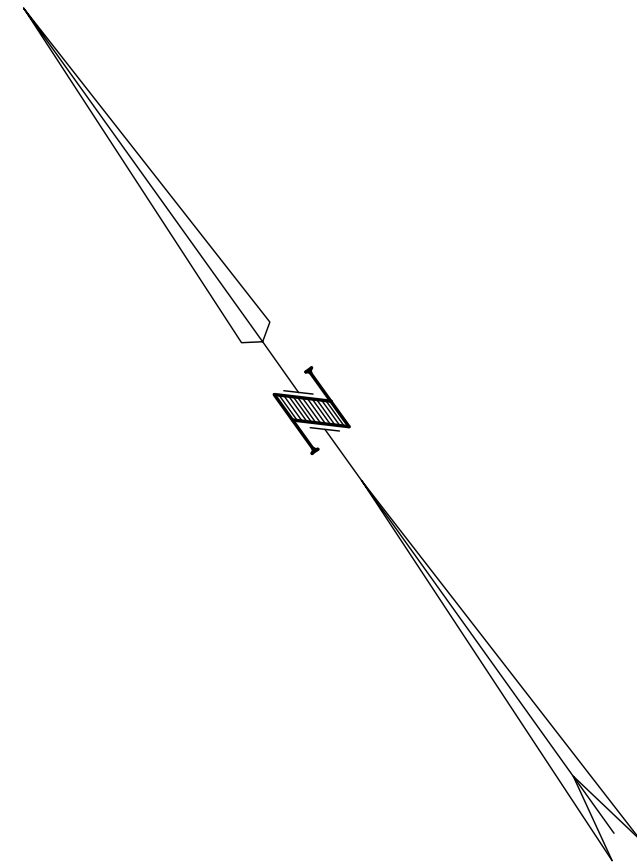
Sheet Content:

### Drawn

## T - 1.1

SHEET # \_\_\_\_\_ OF \_\_\_\_\_

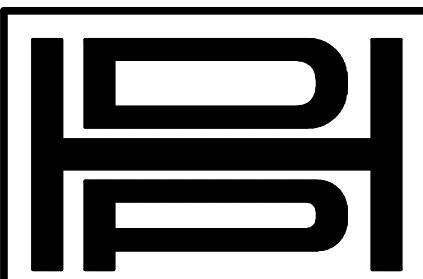




**NOTE:**

A TEMPORARY BENCHMARK (TBM) OF 63.03 NAVD 88 WAS ESTABLISHED AT A PK NAIL BROOKDALE DRIVE AS SHOWN HEREON.

THE BOUNDARY SHOWN HEREON WAS COMPILED FROM A COMBINATION OF RECORD DATA AND FOUND MONUMENTATION AND DOES NOT REPRESENT A BOUNDARY SURVEY.



**H. D. P E T E R S C O.**  
ENGINEERING - SURVEYING - LAND PLANNING  
119 CENTRAL AVENUE - POST OFFICE BOX 812 SALINAS, CALIFORNIA 93902 PH (831) 424-3961 FAX (831) 424-2746

**6235 BROOKDALE DRIVE**  
**APN: 015-192-006-000**  
BLOCK 2 LOT 6 PER VOLUME 6 CITIES & TOWNS AT PAGE 43

**TOPOGRAPHIC**  
**SURVEY**  
PREPARED FOR  
**MR. CRAIG SUHL**

SCALE 1"=20' DRAWN STAFF JOB NO. 4284  
DATE NOVEMBER, 2019 FILE NO. 4284.DWG

SHEET  
1  
OF 1

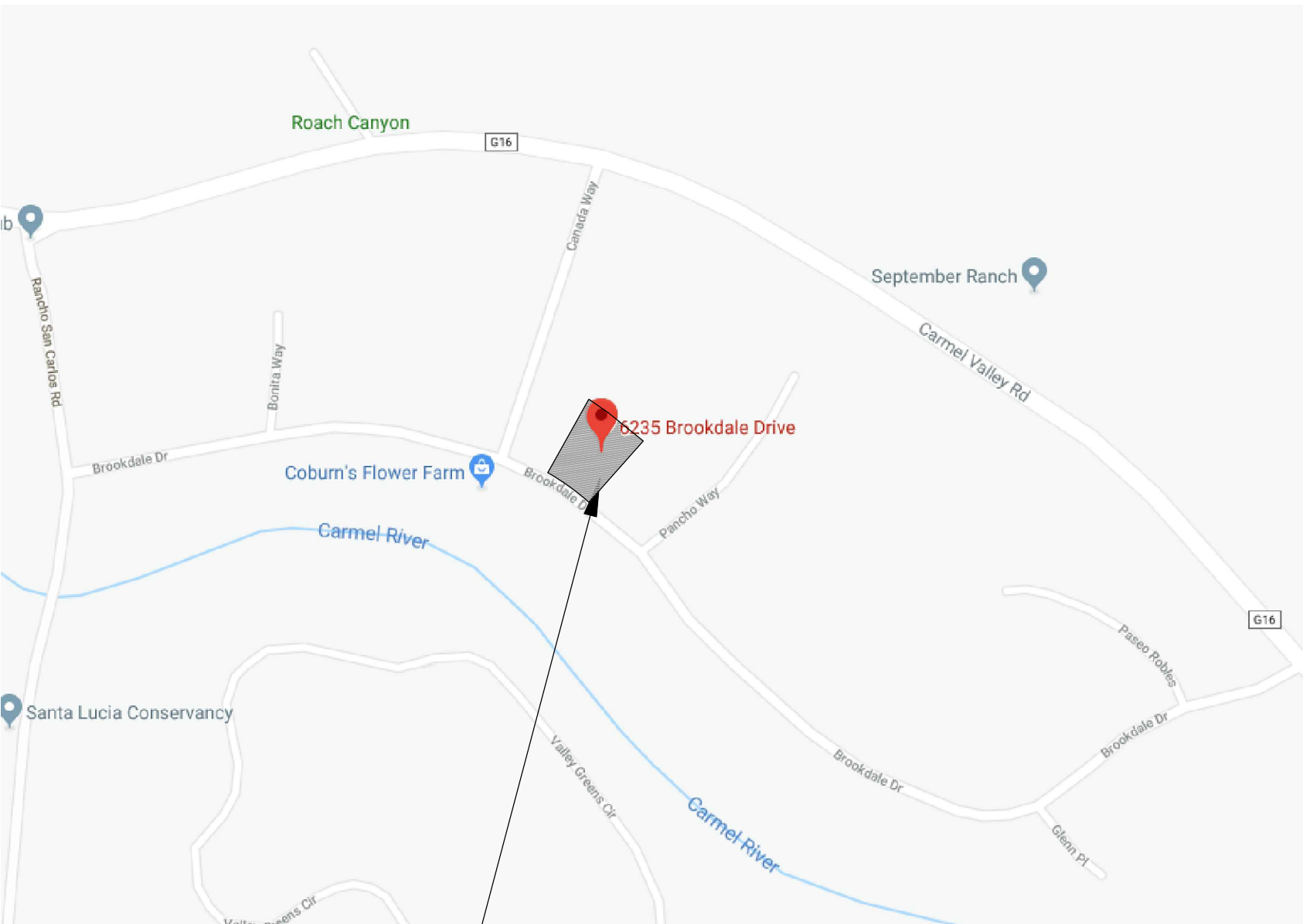


LEGEND

①	(N) MAIN SINGLE FAMILY DWELLING = 5,040.00 S.F.
②	(N) FRONT PORCH = 448.00 S.F.
③	(N) BACK PORCH = 539.00 S.F.
④	(N) THREE CAR GARAGE = 1,000.00 S.F.
⑤	(N) GUEST HOUSE = 600.00 S.F.
⑥	(N) FRONT PORCH GUEST HOUSE = 120.00 S.F.
⑦	(N) DETACHED GARAGE = 460.00 S.F.
⑧	(N) TANKLESS WATER HEATER.
⑨	(E) ELECTRICAL METER
⑩	(E) GAS METER TO BE RELOCATED
⑪	(N) 250 AMP. ELECTRICAL MAIN PANEL
⑫	(N) 60 AMP. ELECTRICAL SUB-PANEL
⑬	(E) WATER METER
⊙	CLEAN OUT
—SS—	SEWER LINE (2% SLOPE)
—GAS—	GAS LINE SUPPLY
—CW—	WATER LINE SUPPLY
—E—	ELECTRICAL LINE
⬜	EXISTING HOUSE FOOTPRINT

ABBREVIATIONS

SOV	SHUT-OFF VALVE	COTG	CLEAN-OUT TO GRADE
FCO	FLOOR CLEAN OUT	POC	POINT OF CONNECTION
WCO	WALL CLEAN OUT	FO	FLOOR DRAIN
VTR	VENT THRU ROOF		



SUBJECT  
PROPERTY

VICINITY MAP  
NTS

CONTOUR LEGEND

EXISTING CONTOURS @ 0.5'  
INTERVAL. FOR MORE INFO SEE  
TOPOGRAPHIC SURVEY ON SHEET 1

100 YR. FLOOD ELEVATION

FLOOD ELEVATION: 65.50  
FROM MAP#06053C0340G  
EFFECTIVE DATE: APRIL 2, 2009

NOTE:

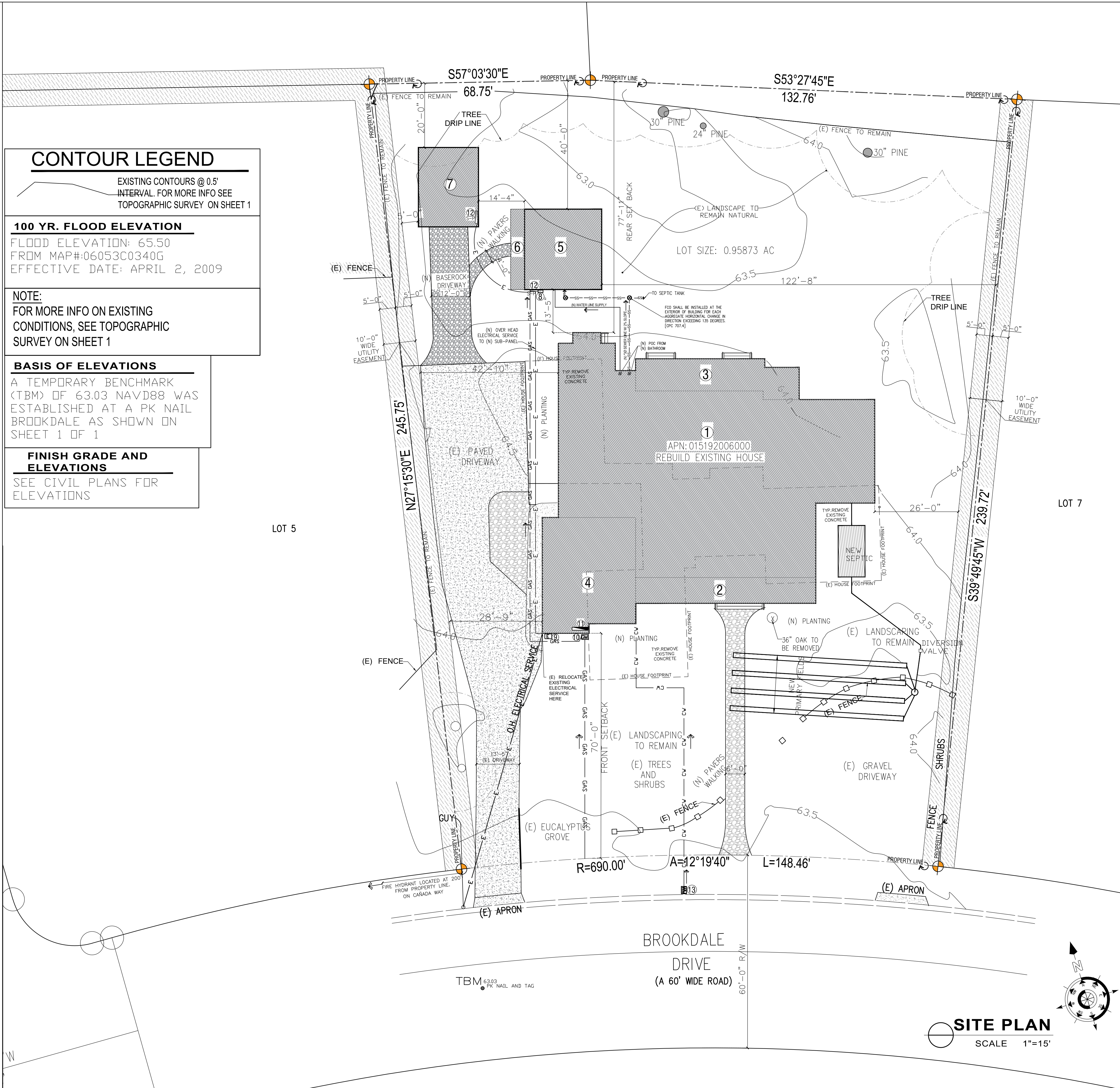
FOR MORE INFO ON EXISTING  
CONDITIONS, SEE TOPOGRAPHIC  
SURVEY ON SHEET 1

BASIS OF ELEVATIONS

A TEMPORARY BENCHMARK  
(TBM) OF 63.03 NAVD88 WAS  
ESTABLISHED AT A PK NAIL  
BROOKDALE AS SHOWN ON  
SHEET 1 OF 1

FINISH GRADE AND  
ELEVATIONS

SEE CIVIL PLANS FOR  
ELEVATIONS



NO.	REVISIONS
REV.	2/25/2020

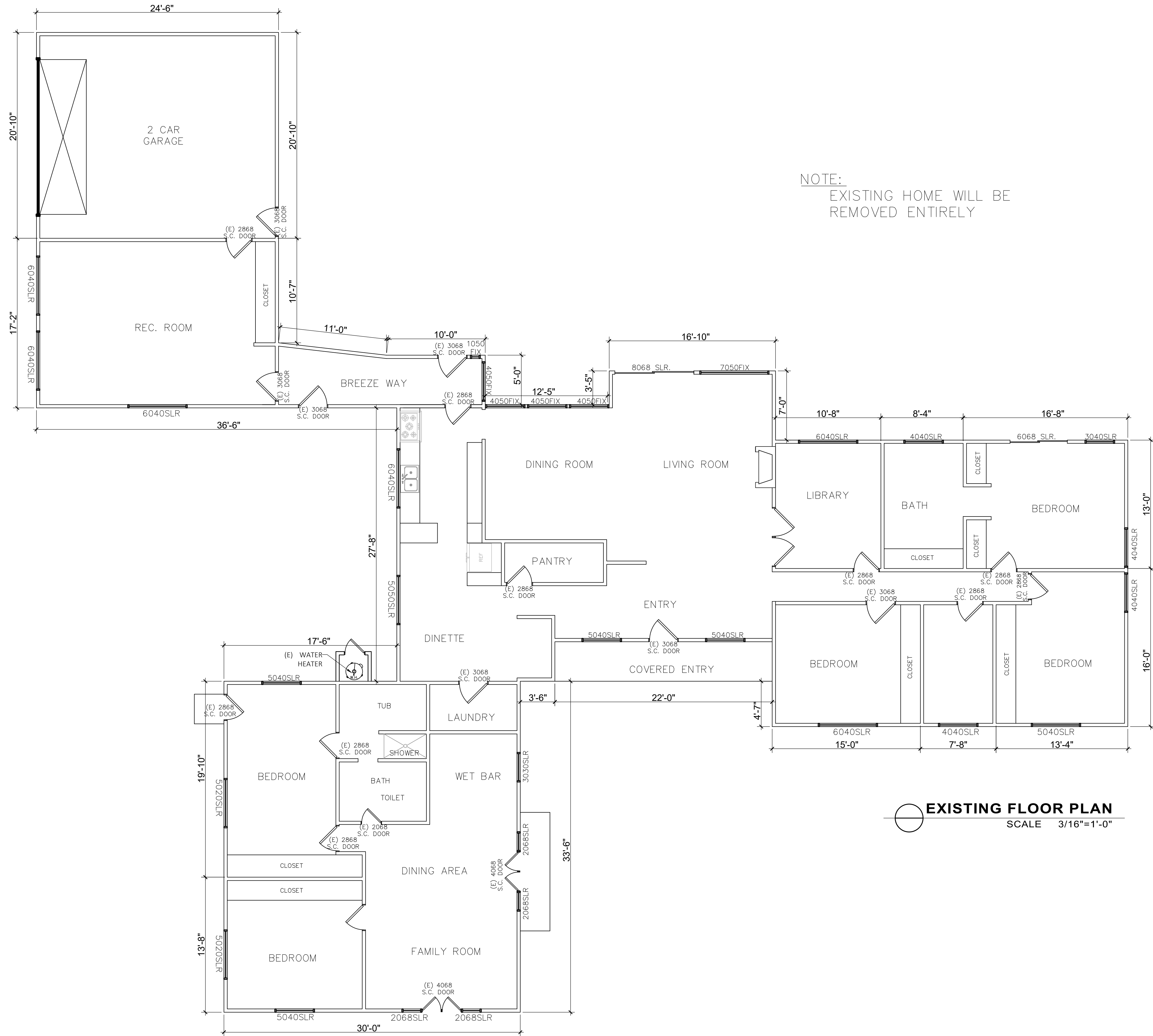
SHCHALA  
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Project: RESIDENCE SINGLE FAMILY  
Owner: CRAIG SUHL  
Address: 6235 BROOKDALE DR, CARMEL VALLEY, CA 93923

Sheet Content: SITE PLAN  
Drawn: 03  
A - 1.1  
SHEET # 1 OF 1





NOTE:  
EXISTING HOME WILL BE  
REMOVED ENTIRELY

EXISTING FLOOR PLAN  
SCALE 3/16"=1'-0"

NO.	REVISIONS

SHCHALA  
Designs

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Project:	RESIDENCE SINGLE FAMILY	
	Address:	6235 BROOKDALE DR. CARMEL VALLEY, CA 93923
Owner:	CRAIG SUHL	

Sheet Content:

EXISTING FLOOR PLAN

Drawn: 08

A - 2.0

SHEET # OF



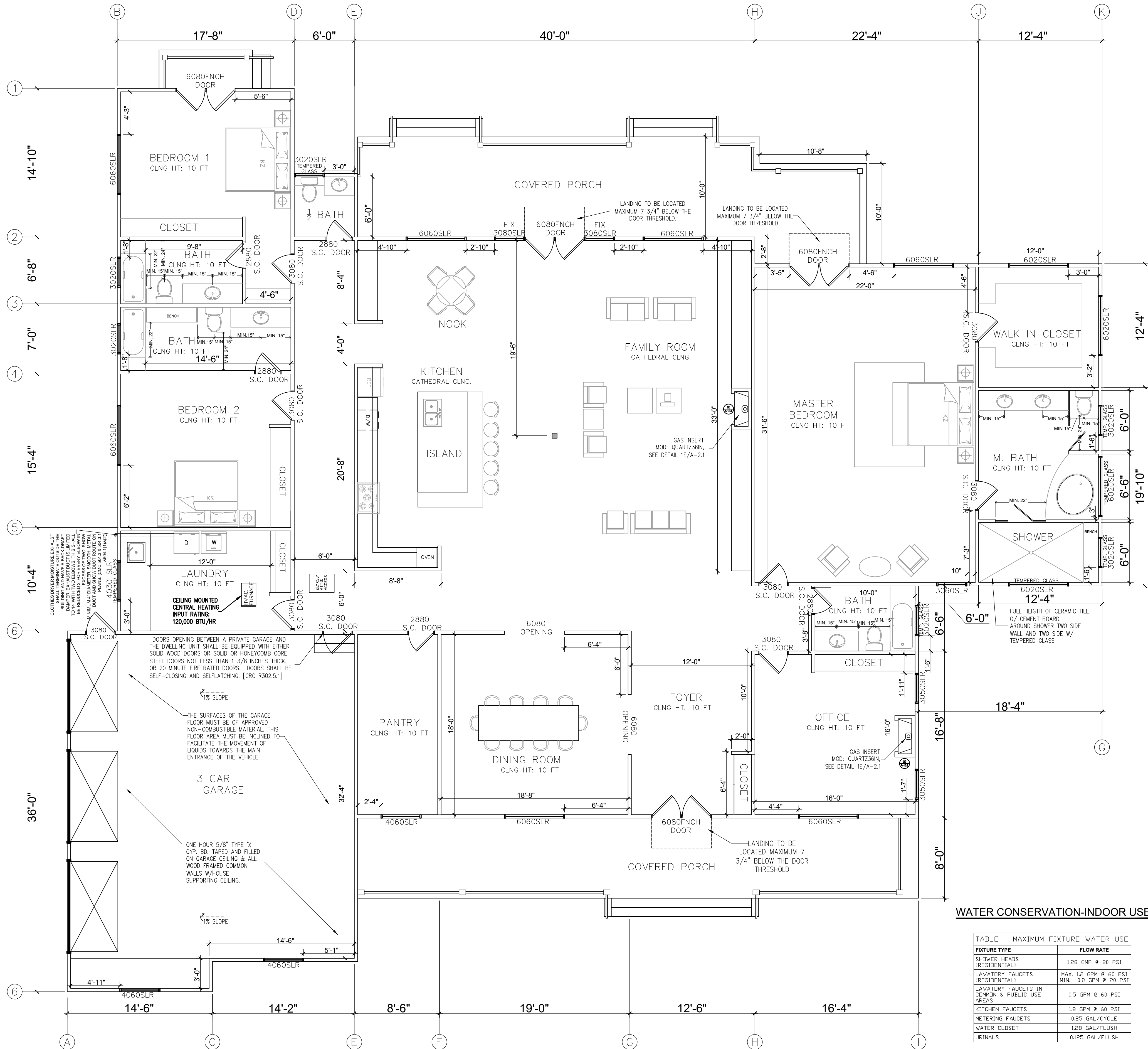


TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.28 GPM @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.25 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

## PROPOSED FLOOR PLAN

SCALE 3/16"=1'-0"

### PLAN NOTES

- A. REQUIRED NATURAL VENTILATION OF AN OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER OPENINGS TO THE OUTDOORS WITH THE MINIMUM OPEN AREA BEING 4% OF THE FLOOR AREA BEING VENTILATED. SEE EXCEPTIONS FOR MECHANICAL VENTILATION. [CRC R303.1]
- B. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. [CRC R303.1]
- C. NOTES FOR THE EMERGENCY EGRESS REQUIREMENTS FROM SLEEPING ROOMS: [CRC R310.1]
- C.A. MINIMUM NET CLEAR OPENING DIMENSION OF 24 INCHES IN HEIGHT.
- C.B. MINIMUM NET CLEAR OPENING DIMENSION 20 INCHES IN WIDTH.
- C.C. MINIMUM NET CLEAR OPENING DIMENSION OF 5.7 SQUARE FEET IN AREA.
- C.D. OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
- D. A LANDING AT EACH GRADE LEVEL EXIT THAT IS THE WIDTH OF THE DOOR AND A MINIMUM 36 INCHES IN THE DIRECTION OF TRAVEL. [CRC R311.3]
- E. FLOOR SURFACES OF GARAGES AND CARPORTS SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. INDICATE ON PLAN THAT THE FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. [CRC R309.1]
- F. FIRELOCKING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH CRC R302.11 IN THE FOLLOWING LOCATIONS:

- A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'. B) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS. [CBC 717.2.3]
- C) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL ALSO COMPLY WITH CRC R302.11 #4.
- D) INSTALL AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTIONS. THE MATERIAL FILLING THE ANNULAR SPACE CAN BE OF COMBUSTIBLE MATERIAL.
- E) ALL CONCEALED SPACES IN FLOORS AND CEILINGS THAT CHIMNEYS PASS THROUGH. THE FIRELOCKING MUST BE SELF-SUPPORTING OR SUPPORTED BY A NON-COMBUSTIBLE MATERIAL. [CRC R1003.19]
- G. ENVIRONMENTAL AIR DUCT EXHAUST (KITCHEN, BATHROOM, DRYERS) SHALL TERMINATE OUTSIDE THE BUILDING AND A MINIMUM OF THREE (3) FEET (914 MM) FROM PROPERTY LINE AND THREE (3) FEET (914 MM) FROM OPENINGS INTO THE BUILDING. DUCTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS. [504.1, 504.5 CMC].
- H. DUCTS FOR KITCHEN RANGES SHALL BE OF METAL AND BE EQUIPPED WITH BACK-DRAFT DAMPERS. [504.2 CMC]

### CARBON MONOXIDE & SMOKE DETECTOR ALARM

CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN NEW DWELLING UNITS AND SLEEPING UNITS WHICH HAVE FUEL-BURNING APPLIANCES INSTALLED OR HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION. WHERE MORE THAN CARBON MONOXIDE ALARM IS REQUIRED, THE ALARM SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM ACTIVATES ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. SINGLE- AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED TO COMPLY WITH UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED TO COMPLY WITH UL 2075. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 720 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

REQUIRED INSTALLATION OF SMOKE ALARMS ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.

### NOTES ON EXTERIOR DOORS

TYPICAL EXTERIOR DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NOT LESS THAN 1-1/4 INCHES THICK. SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM 7A-7.1. [R337.8.3]

ALL EXTERIOR DOORS MUST BE WEATHER-STRIPPED TO PREVENT AIR LEAKAGE PER MANDATORY 2019 ENERGY CODE REQUIREMENT PER SECTION 110.7. THIS ALSO APPLIES TO DOOR LEADING TO GARAGE.

### EXTERIOR WINDOWS & EXTERIOR GLAZED DOORS

EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [R337.8.2.1]

### NOTES ON WALL COVERING

EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AND EAVES AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. [R327.7.3.1]

### NOTES ON BATH AND SHOWERS

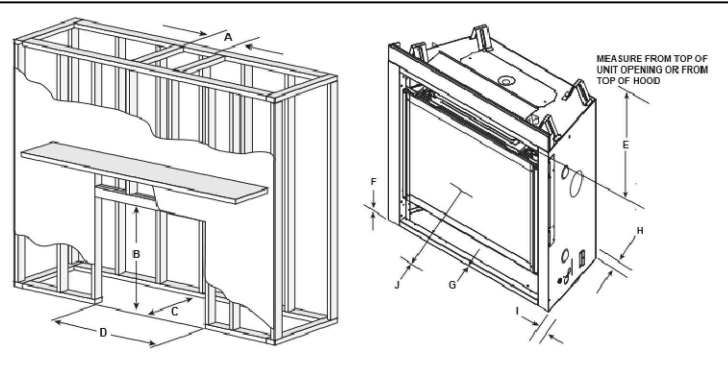
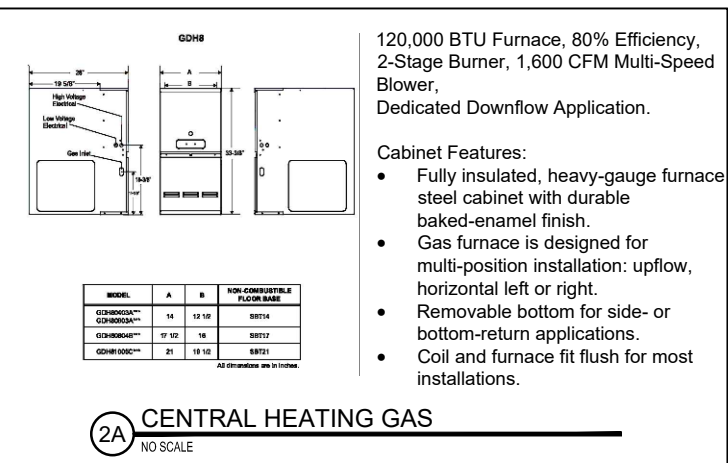
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. [CPC 408.9]
- LIGHTS IN BATHROOM SHALL BE OF HIGH EFFICACY LIGHTS CONTROLLED BY VACANCY SENSOR. 2019 CALIFORNIA ENERGY CODE 150.0(K)(2).
- BATHROOM AREA SHALL AT LEAST 1-20 AMP DEDICATED BRANCH CIRCUIT. [CEC 210.11(C)(3)]
- THE BATH/SHOWER COMPARTMENT HAS A NON-ABSORBENT MATERIAL TO A HEIGHT OF 72" ABOVE THE DRAIN INLET IF THERE IS A SHOWER HEAD INSTALLED. THE TILE BACKER SHALL BE A CEMENTITIOUS OR FIBER GLASS FACED MATERIAL. PLEASE SHOW ON PLANS. [CRC R307.2]

### COOKING APPLIANCES

COOKING APPLIANCES SHALL HAVE A CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30". A MINIMUM CLEARANCE OF 24" IS PERMITTED WHEN A VENTILATING HOOD CONSTRUCTED OF SHEET METAL NOT LESS THAN 0.0122" THICK IS INSTALLED ABOVE THE COOKING TOP WITH A CLEARANCE OF NOT LESS THAN 1/4" BETWEEN THE HOOD AND UNDERSIDE OF CABINET. [CMC 921.3.2]

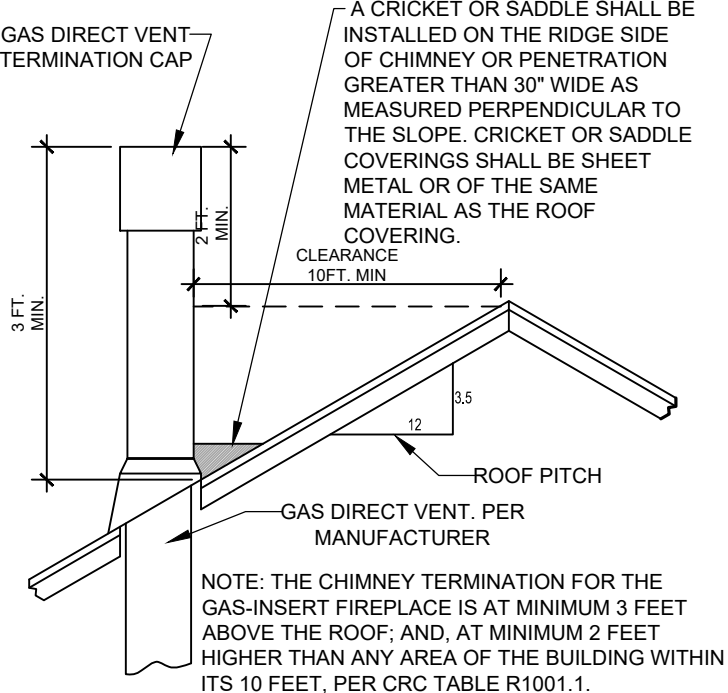
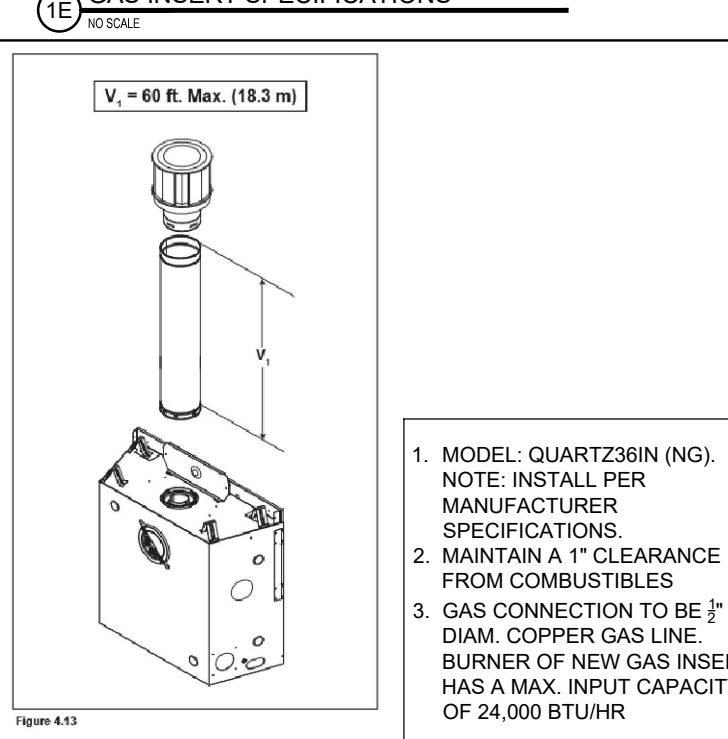
### SMOKE ALARM

REQUIRED INSTALLATION OF SMOKE ALARMS ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.



MINIMUM FURNACE REQUIREMENTS											
MODEL	Q/GP Fuel Input Type	Q/GP Fuel Input Type	Q/GP Fuel Input Type	Q/GP Fuel Input Type	Q/GP Fuel Input Type	Q/GP Fuel Input Type	Q/GP Fuel Input Type	Q/GP Fuel Input Type	Q/GP Fuel Input Type	Q/GP Fuel Input Type	Q/GP Fuel Input Type
QUARTZ323IN (NG)	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000
QUARTZ323IL (LP)	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000	14,000
QUARTZ326IN (NG)	24,000	24,000	24,000	24,000	24,000	24,000	24,000	24,000	24,000	24,000	24,000
QUARTZ326IL (LP)	24,000	24,000	24,000	24,000	24,000	24,000	24,000	24,000	24,000	24,000	24,000

C. BTU Specifications				
Models (U.S. or Canada)	Maximum Input BTU/h	Minimum Input BTU/h	Orifice Size (mm)	
QUARTZ323IN (NG)	21,000	15,000	#44	
QUARTZ323IL (LP)	18,500	14,000	#55	
QUARTZ326IN (NG)	24,000	17,000	#42	
QUARTZ326IL (LP)	20,500	16,000	#54	



NO.	REVISIONS
REV.	2/25/2020

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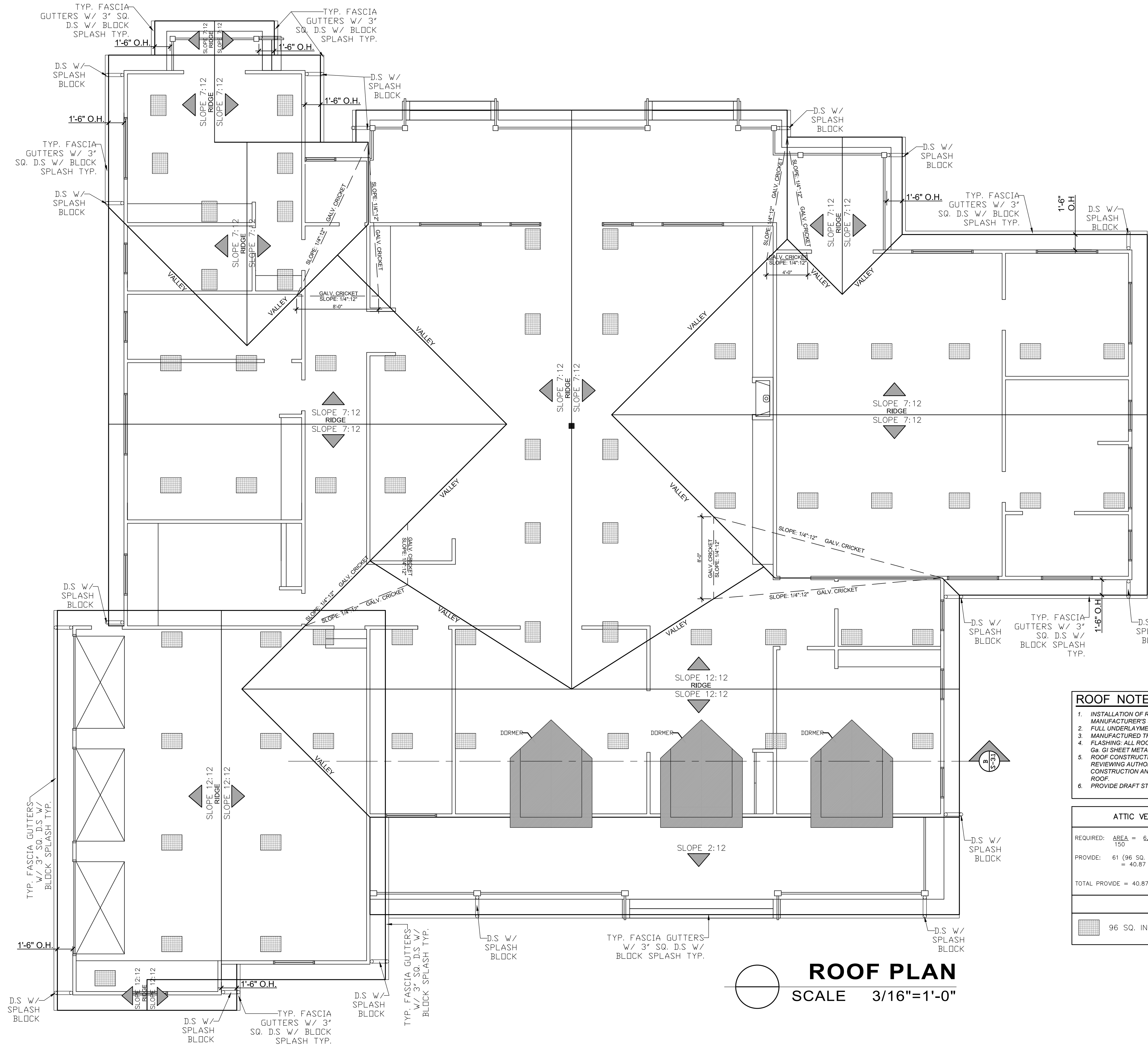
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**PROPOSED FLOOR PLAN**  
Project: Sheet Content: Drawn: 09

**A - 2.1**  
SHEET # 1 OF 1





**ROOF PLAN**  
SCALE 3/16"=1'-0"

- ROOF NOTES**
1. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS
  2. FULL UNDERLAYMENT SHALL BE #30 FELT
  3. MANUFACTURED TRUSS SHALL BE INSTALL PER MANUFACTURER
  4. FLASHING: ALL ROOF VALLEYS AND ROOF PENETRATIONS TO BE FLASHED WITH 26 GA. GI SHEET METAL
  5. ROOF CONSTRUCTION SHALL BE MIN. CLASS B OR AS APPROVED BY THE REVIEWING AUTHORITY. THIS REQUIREMENT SHALL APPLY TO ALL NEW CONSTRUCTION AND/OR REPAIRS THAT AFFECT 50% OR MORE OF AN EXISTING ROOF
  6. PROVIDE DRAFT STOPS

ATTIC VENTILATION (ADU)	
REQUIRED:	AREA = 6,040.00 = 40.26 SQ. FT. 150 150
PROVIDE:	61 (96 SQ. IN.(NET VENTILATION) O'HAGIN VENTS) = 40.87 SQ. FT.
TOTAL PROVIDE = 40.87 SQ. FT	
LEGEND	
	96 SQ. IN. O'HAGIN ROOF VENTS

**FINISH GRADE AND ELEVATIONS**  
SEE CIVIL PLANS FOR ELEVATIONS

NO.	REVISIONS
REV.	2/25/2020

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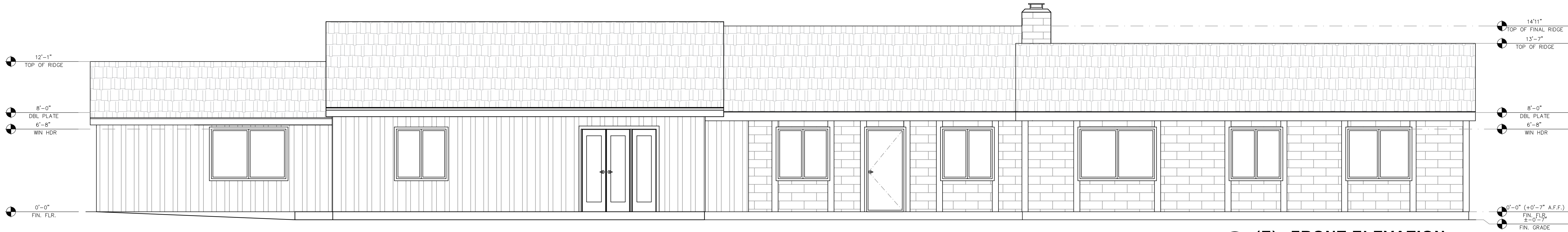
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**Owner:** CRAIG SUHL

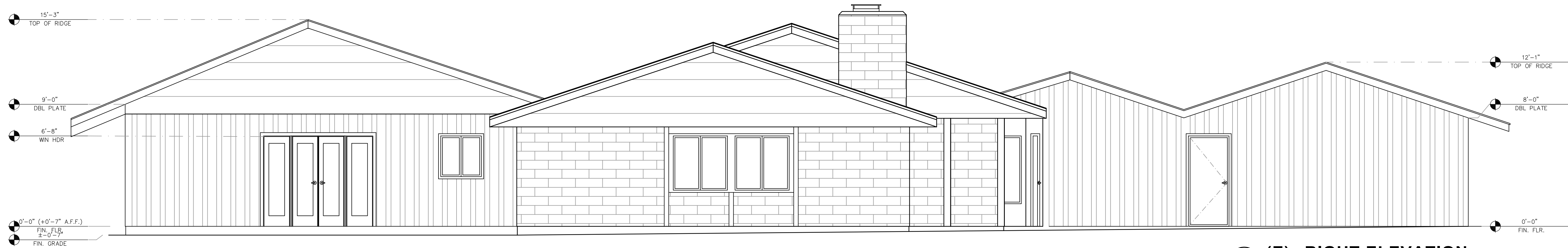
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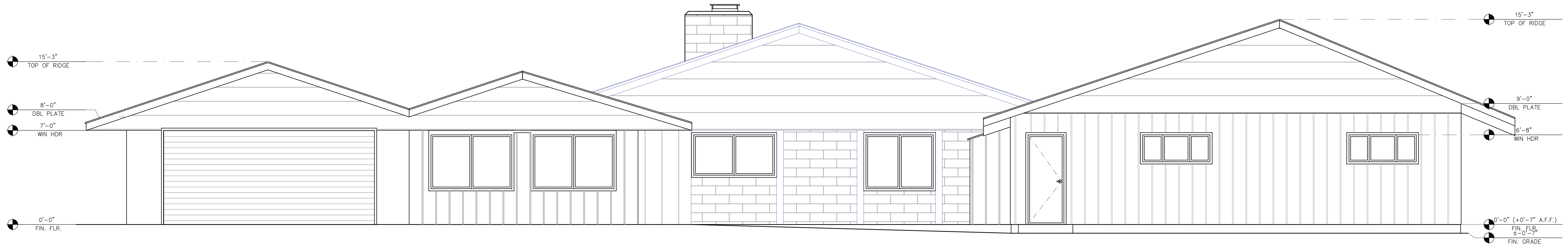
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SHEET # 1 OF 1



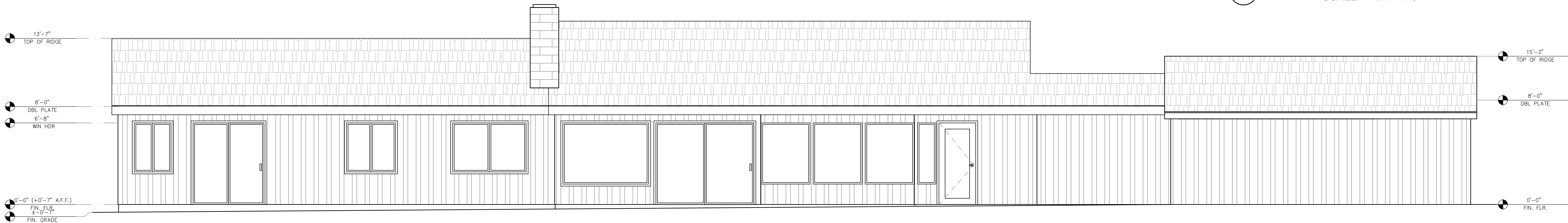
(E) FRONT ELEVATION  
SCALE 1/4"=1'-0"



(E) RIGHT ELEVATION  
SCALE 1/4"=1'-0"



(E) LEFT ELEVATION  
SCALE 1/4"=1'-0"



(E) REAR ELEVATION  
SCALE 1/4"=1'-0"

NO.	REVISIONS

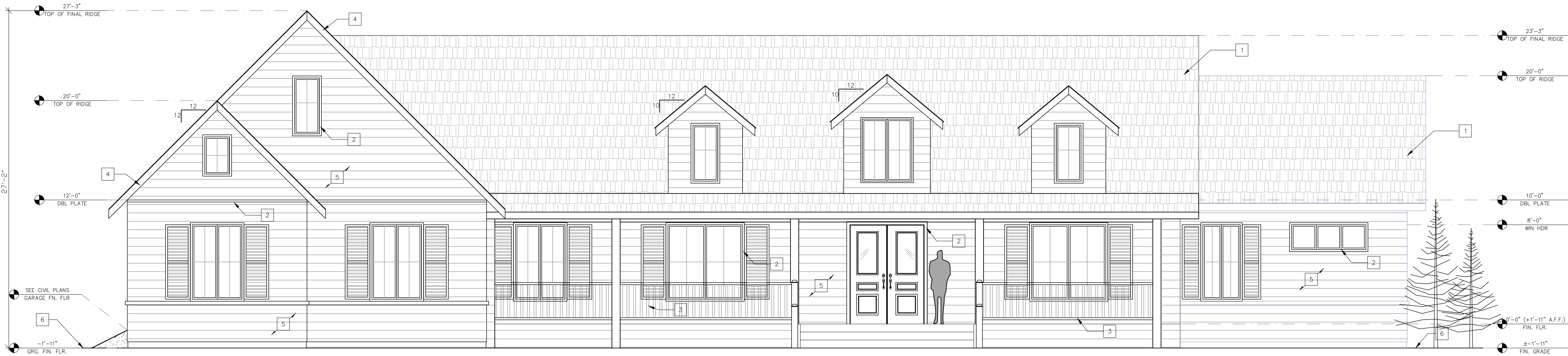
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**Sheet Content:** (E) ELEVATIONS  
**Drawn:** 08

**A - 2.3**  
SHEET # OF



FRONT ELEVATION  
SCALE 1/4"=1'-0"



RIGHT ELEVATION  
SCALE 1/4"=1'-0"

ELEVATIONS PLAN KEYNOTES

- 1 ASPHALT SHINGLE ROOFING (TIMBERLINE HD CLASS A-3D SHINGLES) OVER 15/32 PLYWOOD NAILED W/ 8D @ 6" O.C EDGES - 12" O.C. FIELD W/ 30 # FELT UNDERLAYMENT. COLOR: DARK GRAY
- 2 PAINTED WOOD/GLASS WINDOWS AND DOOR TYP. TRIM COLOR: WHITE
- 3 MIN. 34" HT. GUARD RAIL @ STAIRS, SEE DETAIL. COLOR: WHITE (CRC TABLE R301.5)
- 4 PAINTED "WOOD" FACIA, TYP. COLOR: WHITE
- 5 WOOD SIDING (T1-11) O/ #30 FELT UNDERLAYMENT COLOR: WHITE.
- 6 FINISH GRADE. (E) SLOPE AWAY FROM BUILDING. SEE CIVIL PLANS

FINISH GRADE AND  
ELEVATIONS

SEE CIVIL PLANS FOR  
ELEVATIONS

NO.	REVISIONS
REV.	2/25/2020

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Sheet Content:

Drawn:

A - 3.1  
SHEET # OF



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Sheet Content:  
PROPOSED  
ELEVATIONS

Drawn:

8

A - 3.2

SHEET # OF



LEFT ELEVATION

SCALE 1/4"=1'-0"



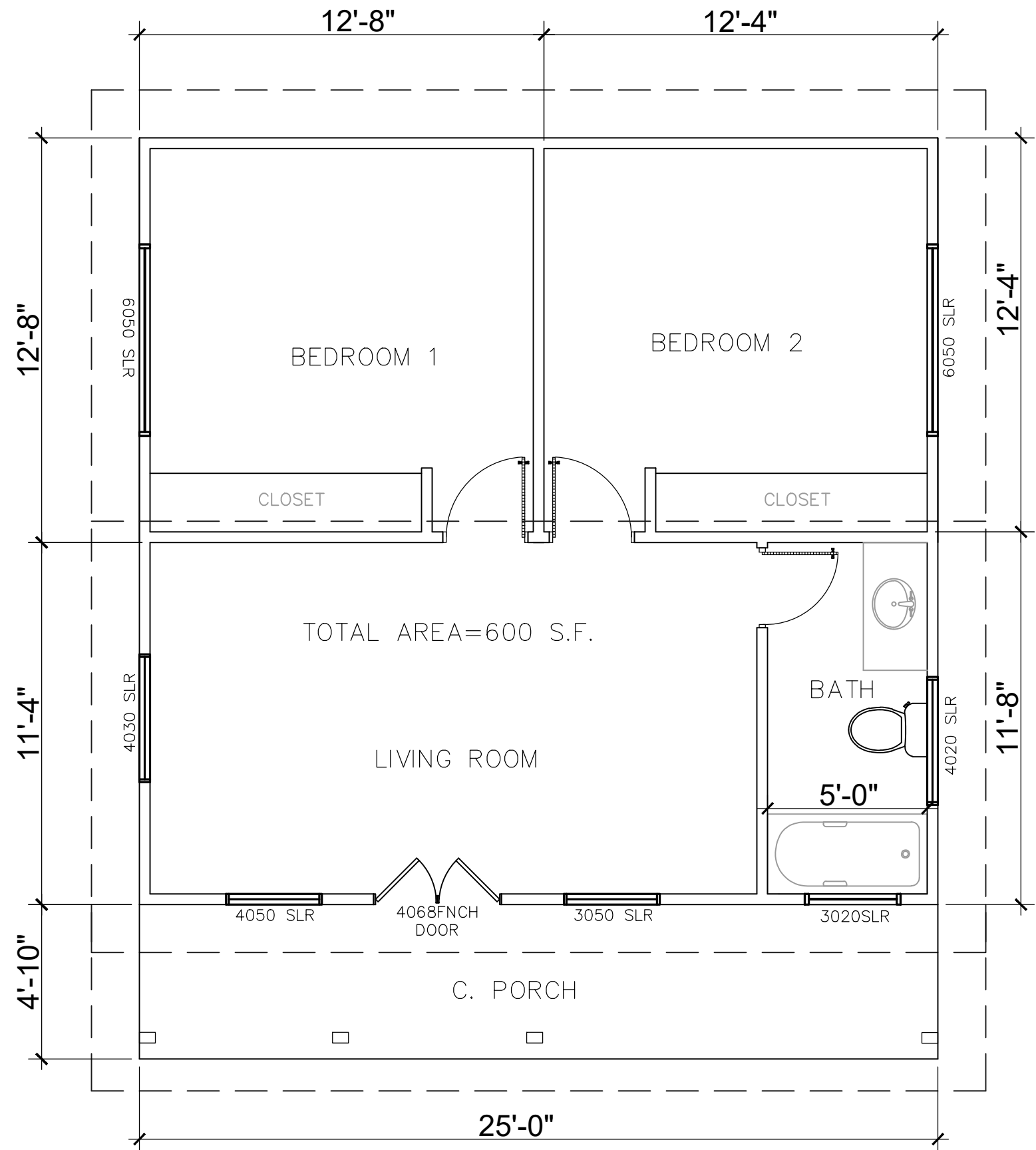
REAR ELEVATION

SCALE 1/4"=1'-0"

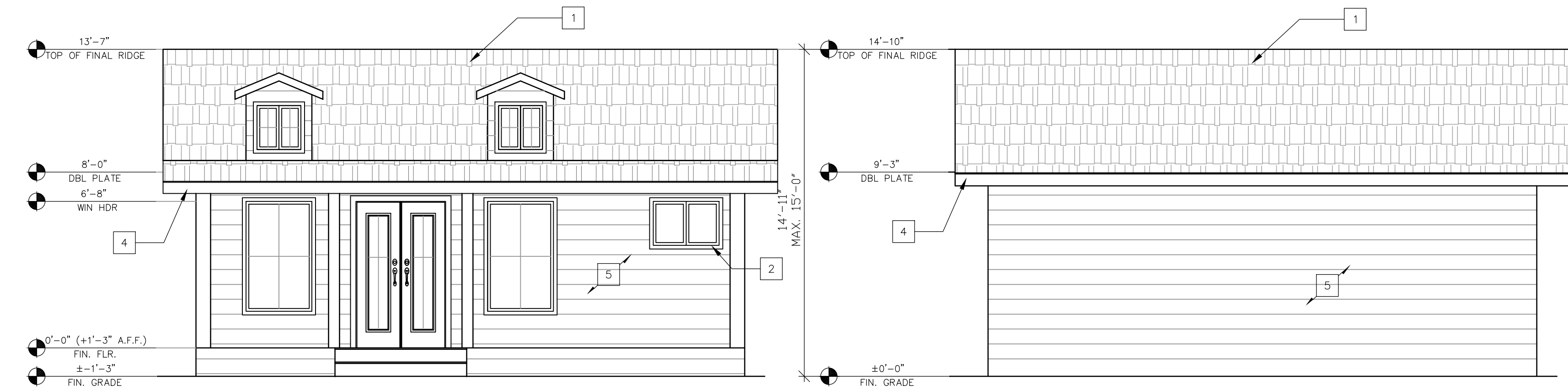
ELEVATIONS PLAN KEYNOTES

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FINISH GRADE AND  
ELEVATIONS  
SEE CIVIL PLANS FOR  
ELEVATIONS

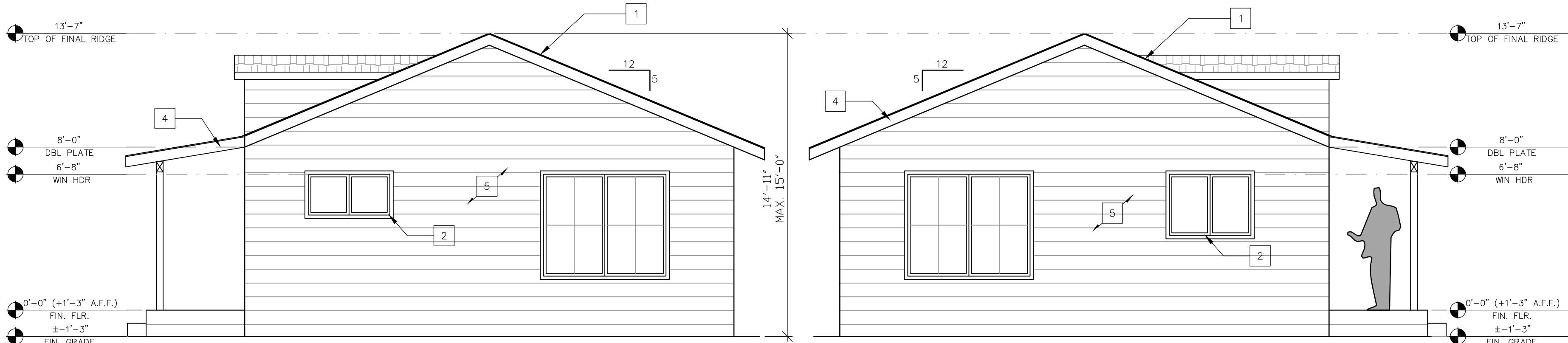


**FLOOR PLAN**  
**GUEST HOUSE**  
SCALE 1/4"=1'-0"



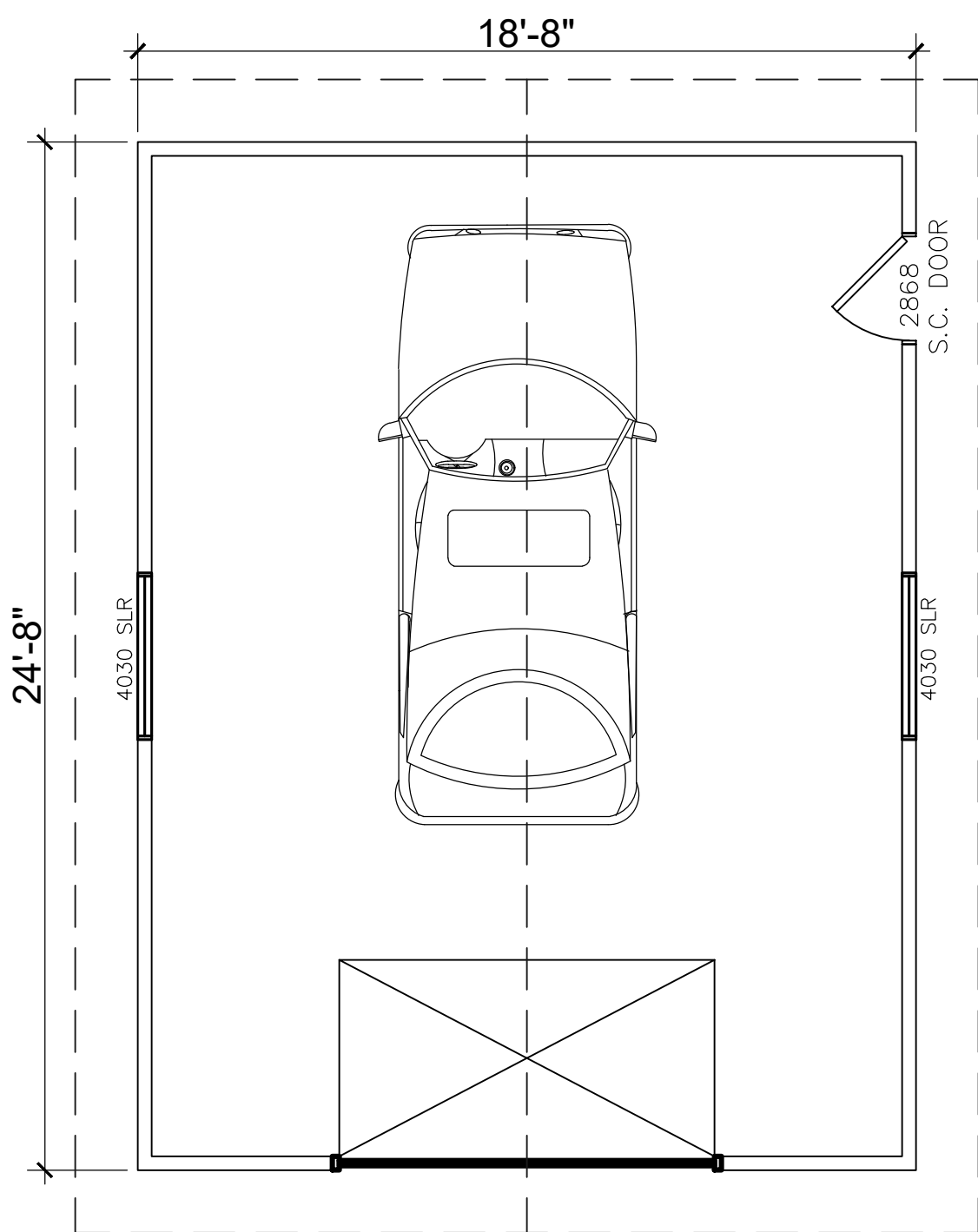
**FRONT ELEVATION**  
SCALE 1/4"=1'-0"

**REAR ELEVATION**  
SCALE 1/4"=1'-0"

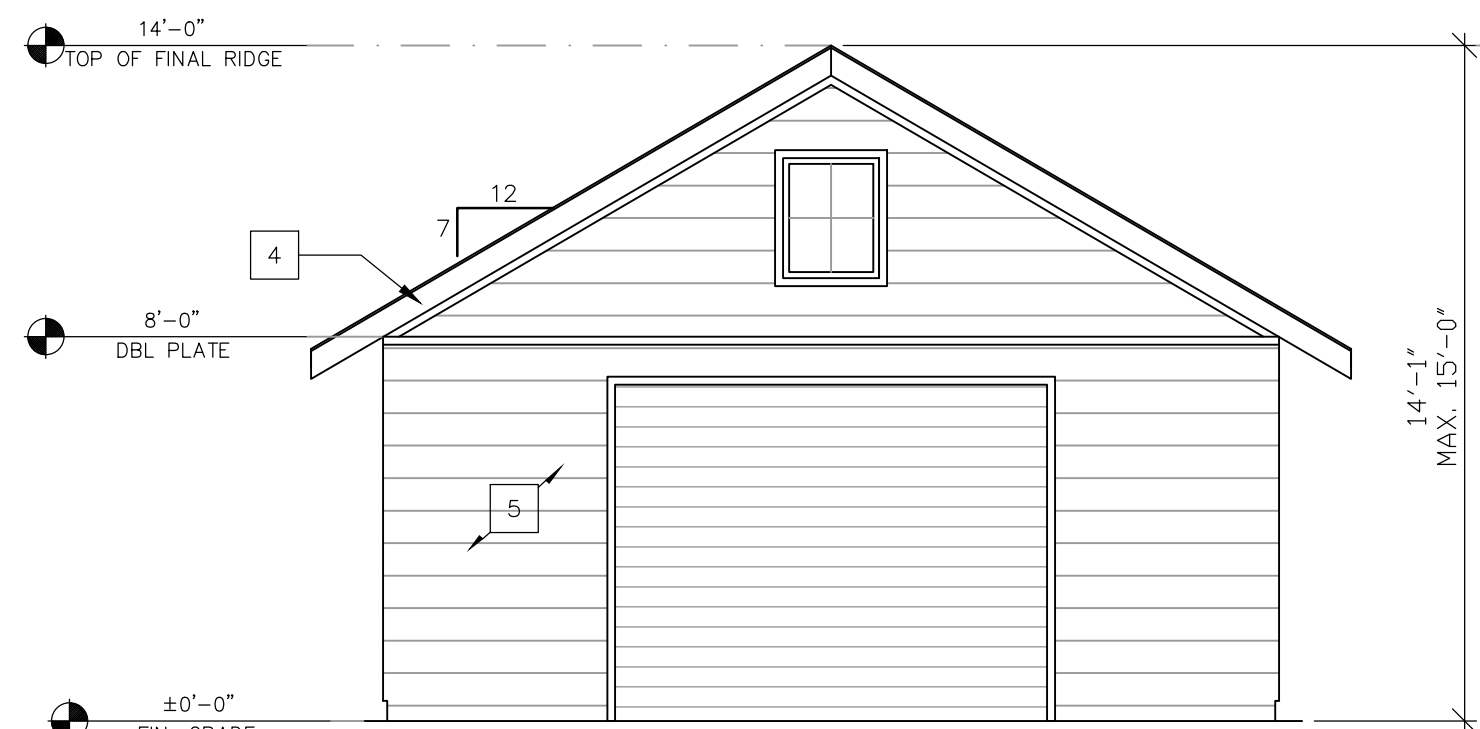


**RIGHT ELEVATION**  
SCALE 1/4"=1'-0"

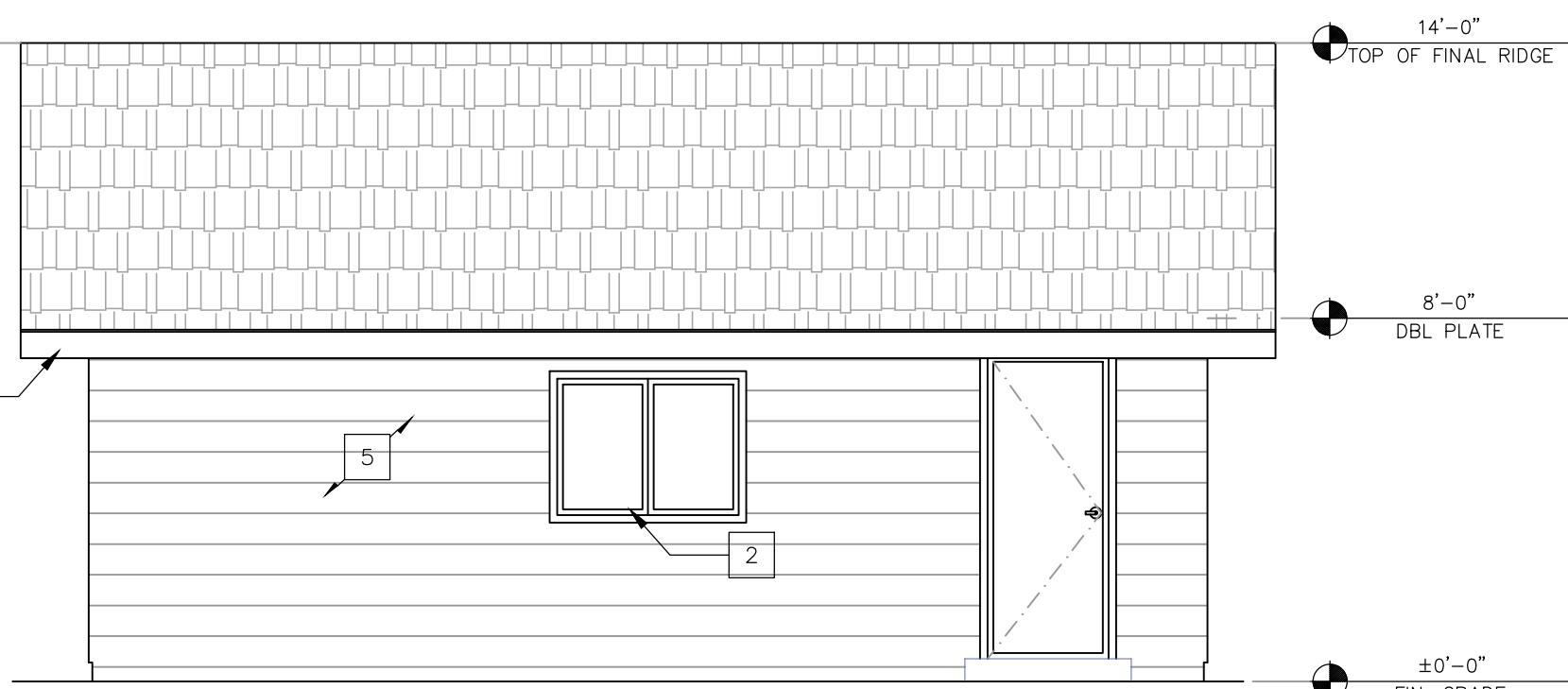
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SCALE 1/4"=1'-0"



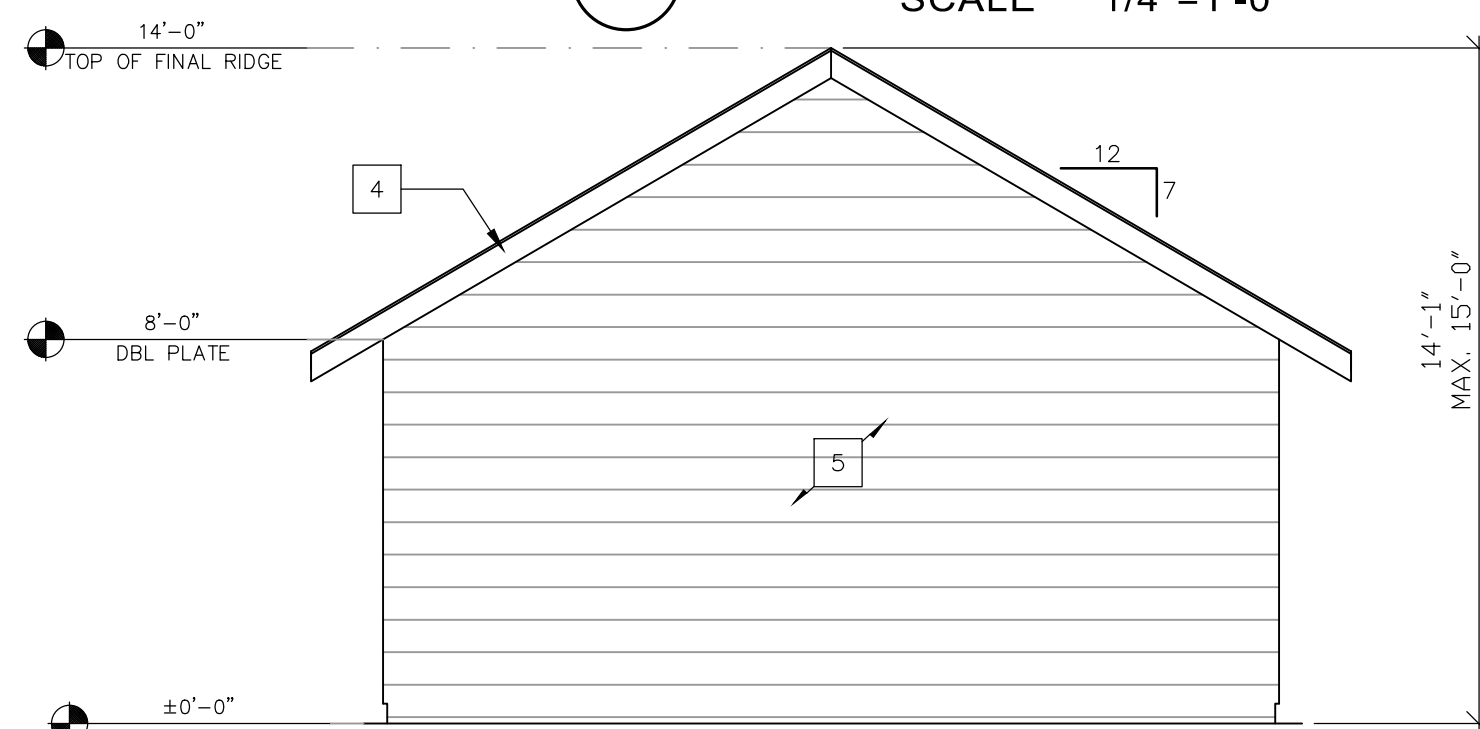
**FLOOR PLAN**  
**DETACHED GARAGE**  
SCALE 1/4"=1'-0"



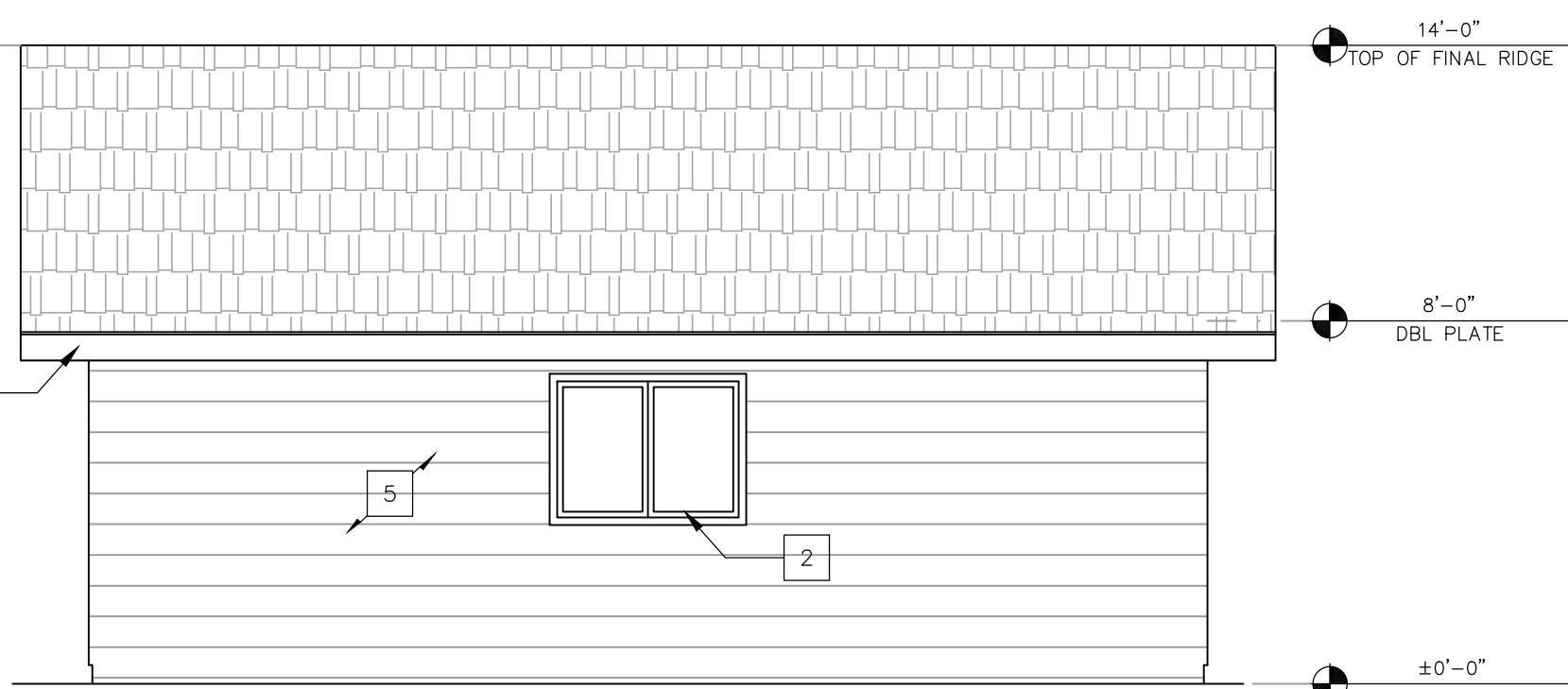
**FRONT ELEVATION**  
**DETACHED GARAGE**  
SCALE 1/4"=1'-0"



**RIGHT ELEVATION**  
SCALE 1/4"=1'-0"



**REAR ELEVATION**  
SCALE 1/4"=1'-0"



**LEFT ELEVATION**  
SCALE 1/4"=1'-0"

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  - 6 FINISH GRADE. (E) SLOPE AWAY FROM BUILDING. SEE CIVIL PLANS

**FINISH GRADE AND ELEVATIONS**  
SEE CIVIL PLANS FOR ELEVATIONS

NO.	REVISIONS
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**GUEST HOUSE & DETACHED GARAGE FLOOR PLAN AND ELEVATIONS**

Drawn: 8  
**A - 4.1**  
SHEET # OF



SUMMARY OF EARTHWORK								
ZONE	CUT (Cu.Yd)	FILL (Cu.Yd)	Total Import (Cu.Yd)	Total Export (Cu.Yd)	Depth of Cut (feet)	Fill height (feet)	IMPORT (CY)	EXPORT (CY)
GRADING	80	319	0	0	0	0.5	239	0
TOTAL	80	319	0	0			239	0
TOTAL AREA SOIL DISTURBANCE: 13,300.00 S.F								

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING S BID. EXCESS MATERIAL SHALL BE OFF-HAULED. IF LOCATION IS WITHIN THE COUNTY, A SEPARATE PERMIT SHALL BE REQUIRED.

PROJECT NOTES

1. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD
2. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE
3. IN THE EVENT THAT ARCHEOLOGICAL FEATURES SHOULD BE DISCOVERED AT ANY TIME DURING THE GRADING, SCRAPING OR EXCAVATION, ALL WORK SHOULD BE HALTED IN THE VICINITY OF THE FIND AND AN ARCHEOLOGIST SHOULD BE CONTACTED IMMEDIATELY TO EVALUATE THE DISCOVERED MATERIAL TO ASSESS ITS REAL EXTENT, CONDITION, AND SCIENTIFIC SIGNIFICANCE. IF THE DISCOVERED MATERIAL IS DEEMED POTENTIALLY SIGNIFICANT, A QUALIFIED ARCHEOLOGIST SHOULD MONITOR ANY SUBSEQUENT ACTIVITY IN THE PROXIMITY.
4. THIS PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY.
5. UPPER 12" OF THE SUBGRADE SOIL SHALL BE SCARIFIED (PER SOIL REPORT), MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
6. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.

BACKFILL AND COMPACTION NOTES

1. THE BACKFILLED PORTION OF THE REINFORCED MATERIALS SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATTER AND SHALL CONFORM WITH THE FOLLOWING GRADATION LIMITS AS DETERMINED BY ASTM D-422: (100 PERCENT PASSING THE 3/4 IN SIEVE, 0 TO 50 PERCENT PASSING THE NO. 40 SIEVE, 0 TO 30 PERCENT PASSING THE NO. 200 SIEVE). THE PERCENT PASSING THE NO. 200 SIEVE SHALL ALSO HAVE A PLASTICITY INDEX OF LESS THAN 5. IN ADDITION, THE "INFILL MATERIALS" SHALL HAVE A PH BETWEEN 3 AND 9 AND AN ORGANIC CONTENT LESS THAN 5%.

2. THE FILL IN THE BACKFILL ZONE SHALL BE PLACED IN A MAXIMUM 8-INCH LIFTS (LOOSE MEASURE) AND UNIFORMLY COMPACTED TO 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD COMPACTION TEST (D-698).

CONTRACTOR TO VERIFY

CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION OF BUILDING PAD, THE STRUCTURAL SECTION OF FOUNDATION TO DETERMINE BUILDING PAD ELEVATION

GEOTECHNICAL INVESTIGATION

ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY GERI M. DALIVA DATED DECEMBER 1, 2019.

EROSION AND SEDIMENT CONTROL

1. Erosion and sediment control measures shall be in effect for any construction during the rainy season (october 1 to april 30).
2. All cut and fill slopes shall be protected with straw mulch or similar measures to protect against erosion until such slopes are permanently stabilized.
3. Revegetation shall consist of a mechanically applied hydromulch slurry or hand seeded with a straw mulch cover, mulch shall be anchored by an approved method such as punching, tacking, or the use of jute netting, as deemed necessary for the site conditions to allow for germination and enable adequate growth to be established.
4. Check dams, silt fences, fiber rolls or other designs shall be incorporated to catch any sediment until after the newly exposed areas are revegetated sufficiently to control erosion. erosion control partings and mulch shall be closely monitored throughout the winter and any runoff problems shall be corrected promptly. all erosion and/or slippage of the newly exposed areas shall be repaired by the permittee at their expense.
5. The grass seed shall be properly irrigated until coequete growth is established and maintained to protect the site from future erosion damage. all renly exposed (disturbed) areas shall be seeded with tre following erosion control mix:bromus carinatus(california brome), vulpia microstachys(nuttalls fescue), elmius glaucucus(blue wild rye), hordeum brachyantherum(meadow barley), festuca rubra(molate blue) and a mixture of locally native wildflowers.
6. Natural features, including vegetation, terrain, watercourse, and similar resources shall be preserved, where possible. During the Rainy season (October 1 to April 30): Grading activities must be scheduled to minimize bare graded areas Sufficient quantities of erosion control materials shall be kept on site at all times to be installed as soon as possible and prior to likely precipitation events.
7. Effective soil cover shall be provided on all finished slopes, open space, utility backfill and completed lots that are not scheduled to be re-didly 14 days
8. Minimize soil compaction for areas that will remain pervious or used for LID measures.
9. Where feasible, top soil shall be stockpiled and reapplied upon completion of grading on slopes of less than twenty percent.
10. Access roads shall be cleaned/swept daily as required and prior to any rain event.
11. Waste material dumpster shall be covered nightly and protected from rain.
12. All construction materials that are not actively being used must be raised and covered.

FLOOD OPENINGS ON FOUNDATIONS  
COUNTY OF MONTEREY CHAPTER 16.16

Flood Openings. All new construction and substantial improvements of structures with fully enclosed areas below the lowest floor (excluding basements) that are usable solely for parking of vehicles, building access or storage, and which are subject to flooding, shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwater. Designs for meeting this requirement must meet the following minimum criteria:1.For non-engineered openings:

- a. Have a minimum of two (2) openings on different sides having a total net area of not less than one (1) square inch for every square foot of enclosed area subject to flooding;
- b. The bottom of all openings shall be no higher than (1) one foot above grade;
- c. Openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwater; and
- d. Buildings with more than one (1) enclosed area must have openings on exterior walls for each area to allow flood water to directly enter; o

LEGEND

- MAJOR FINISH CONTOURS @ 1 INTERVAL
- MINOR FINISH CONTOURS @ 0.5' INTERVAL

LIMIT OF SOIL DISTURBANCE.

PROVIDE FIBER ROLL SLOPE PROTECTION PER EROSION AND SEDIMENT CONTROL PER DETAIL SE-5/BMP-2

100 YR. FLOOD ELEVATION

FLOOD ELEVATION: 65.60  
FROM MAP#:06053C0340G  
EFFECTIVE DATE: APRIL 2, 2009

BASIS OF ELEVATIONS

A TEMPORARY BENCHMARK (TBM)  
OF 63.03 NAVD88 WAS ESTABLISHED  
AT A PK NAIL BROOKDALE AS SHOWN  
ON SHEET 1 OF 1



DIAL 8-1-1  
CALL TWO WORKING DAYS BEFORE YOU DIG

NOTE:  
CONTRACTOR SHALL VERIFY EXACT  
LOCATION, SIZE AND DEPTH OF EXISTING  
UTILITIES PRIOR TO CONSTRUCTION.  
CONTACT UNDERGROUND SERVICES  
ALERT TO LOCATE EXISTING UTILITIES 48  
HOURS PRIOR TO CONSTRUCTION AT 811.

NO.	REVISIONS
REV.	2/25/2020



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Project: **REBUILD EXISTING HOME**

Address: 6235 BROOKDALE DR.,  
CARMEL VALLEY, CA

Owner: CRAIG SUHL

Sheet Content: **GRADING & EROSION CONTROL PLAN**

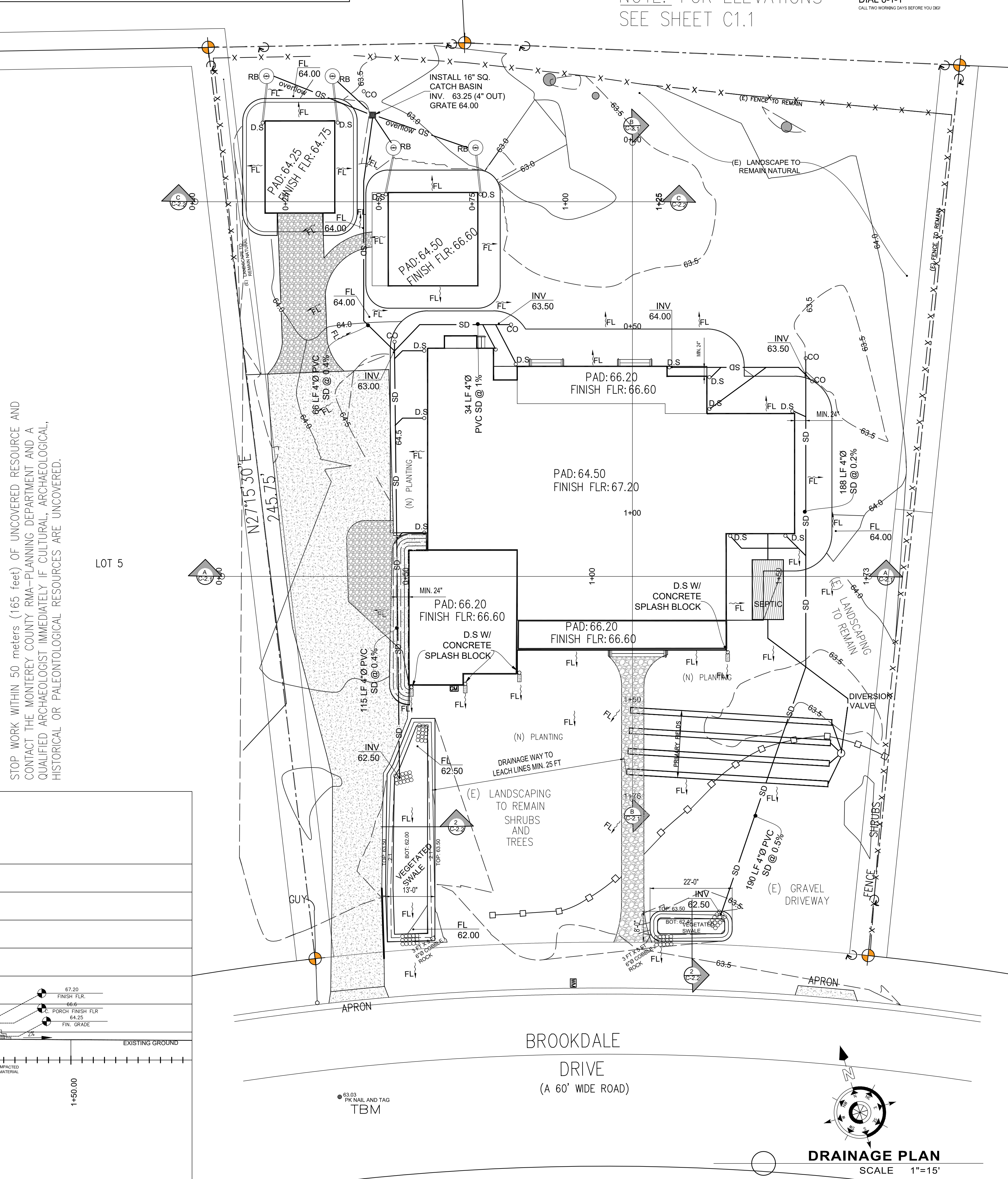
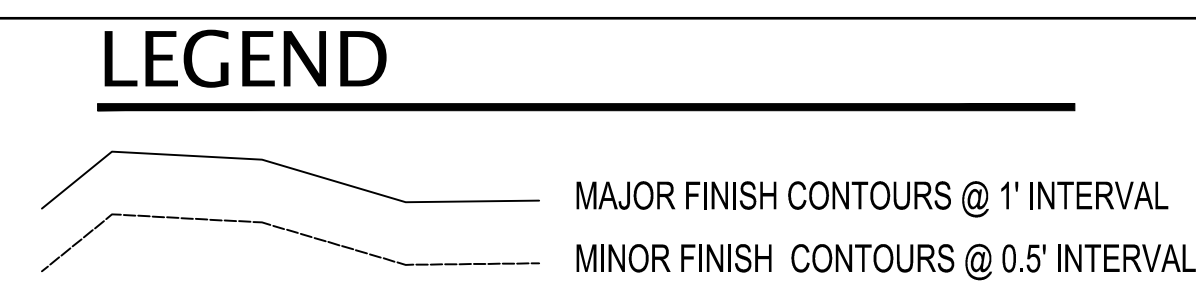
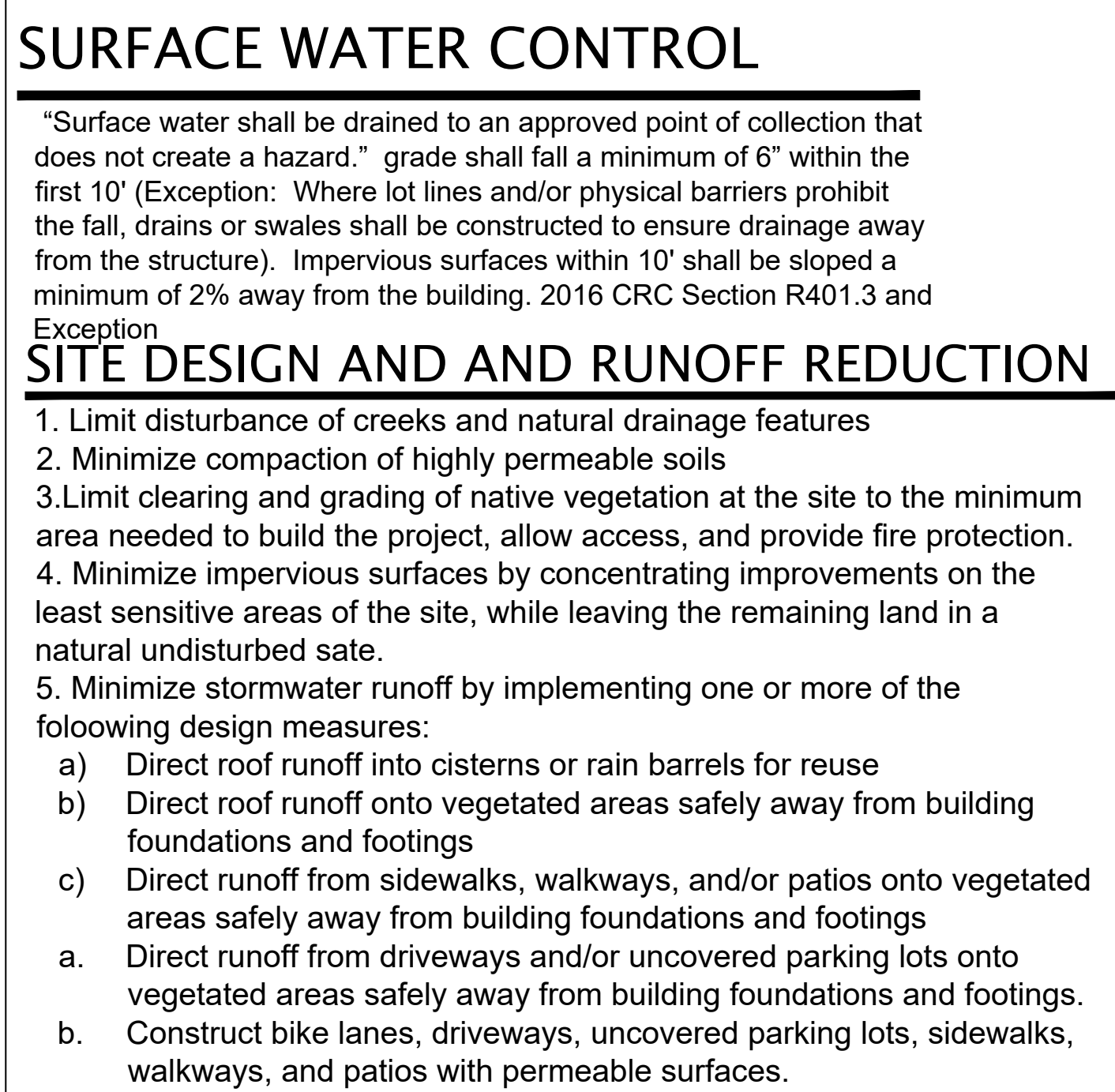
Drawn: JAMIE BARCELOS

Scale: 1"=15'

Sheet: C-1.1

SHEET # 1 OF 1





NO.	REVISIONS
REV.	2/25/2020

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GERONIMO M. DALIVA  
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STATE OF CALIFORNIA

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CRAIG SUHL	Address: 6235 BROOKDALE DR., CARMEL VALLEY, CA
------------	--

# content: DRAINAGE PLAN & CROSS SECTIONS

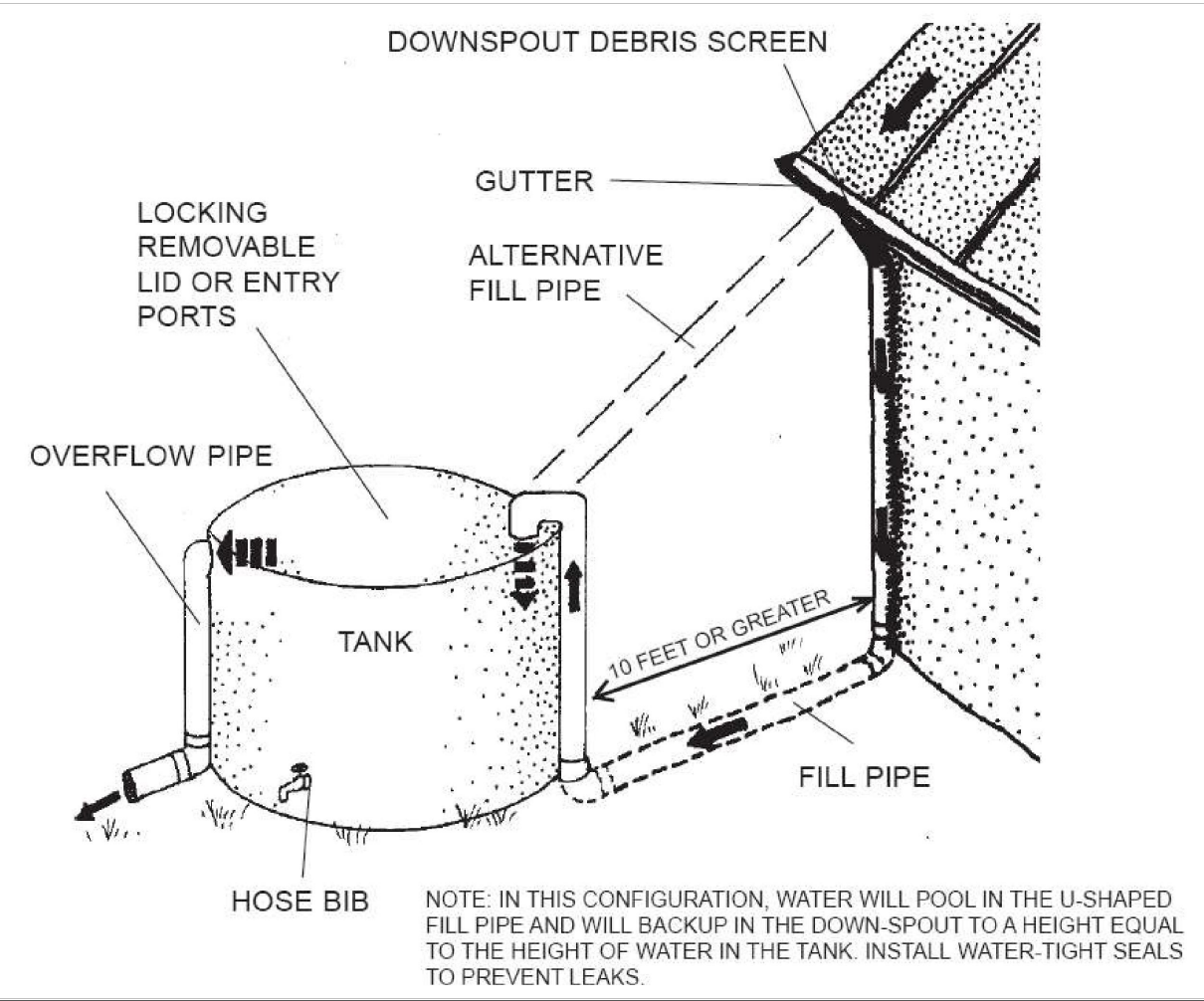
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Drawn: JAIME BARCELOS

**C-2.1**  
SHEET # \_\_\_\_\_ OF \_\_\_\_\_



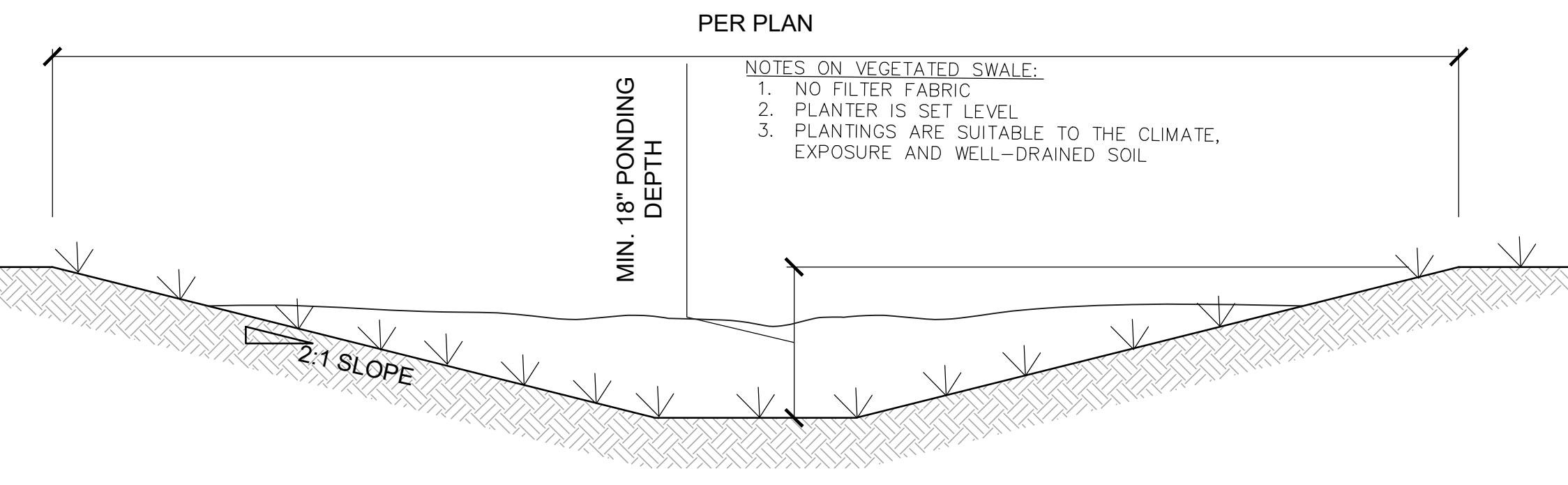
Rainwater capture and reuse system schematic with an above ground storage tank.



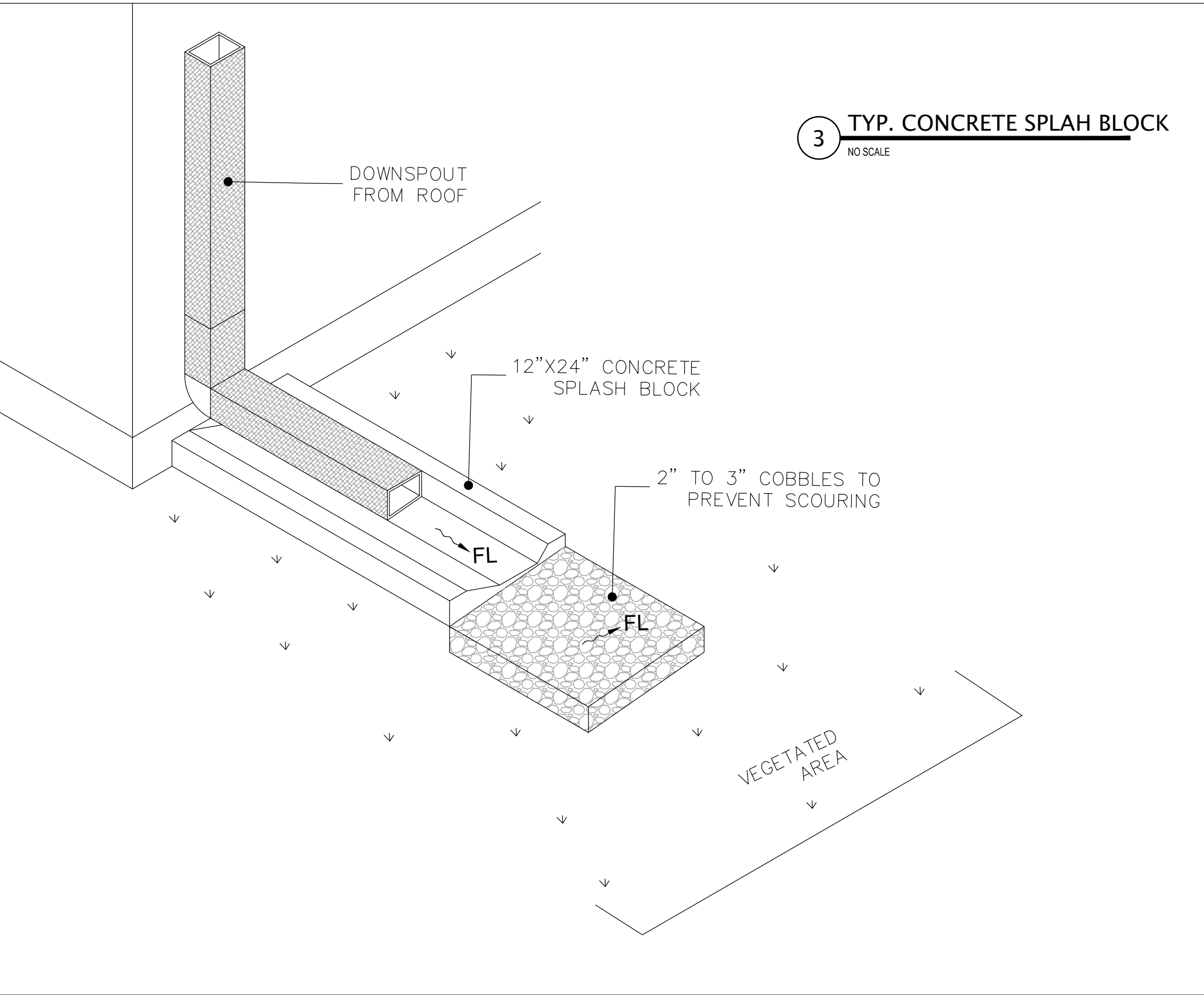
- Requirements for Cisterns
- Tanks shall be sized to drain in 48 to 72 hours over a landscaped area equal to at least 25% of the impervious tributary area.
  - Outflow from the tanks shall be distributed relatively uniformly over the receiving pervious area over the drawdown period.
  - Tanks shall be placed on level pads.
  - Tanks located within 10 feet of the structure need to be restrained to prevent damage in the event of an earthquake.

Source: City of Tucson, AZ

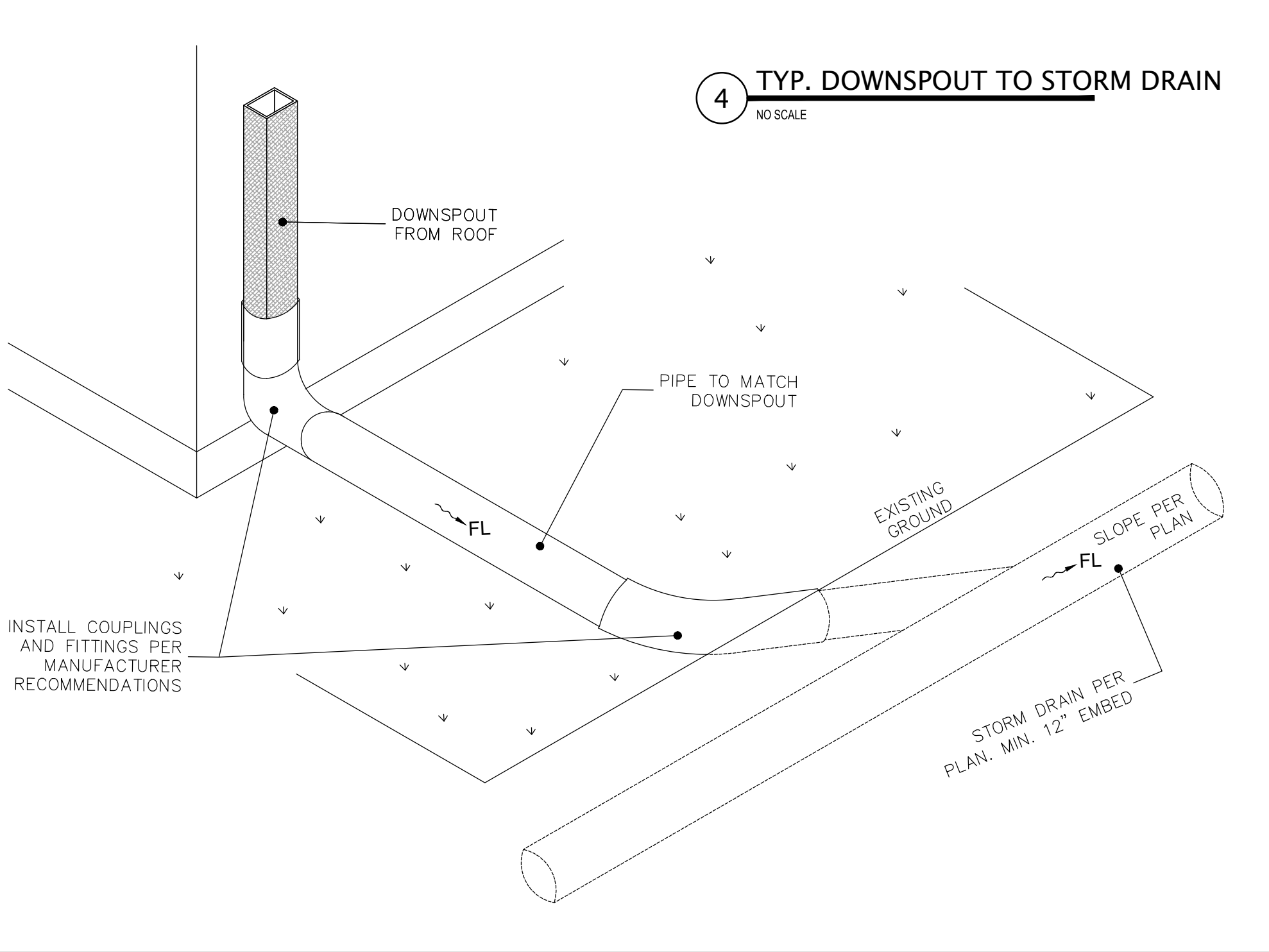
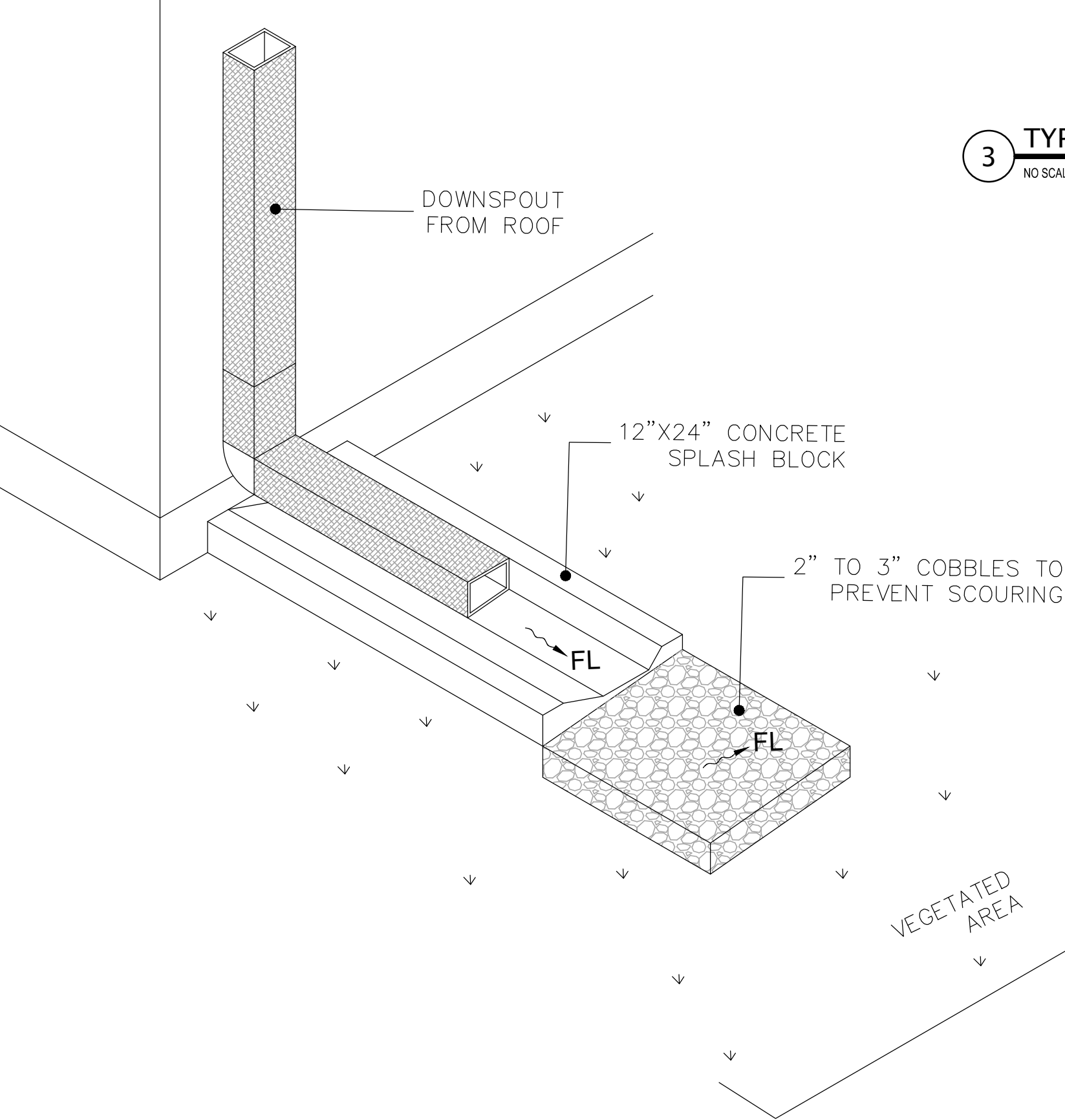
1 TYP. RAIN BARREL DETAILS



2 TYP. VEGETATED SWALE



3 TYP. CONCRETE SPLASH BLOCK

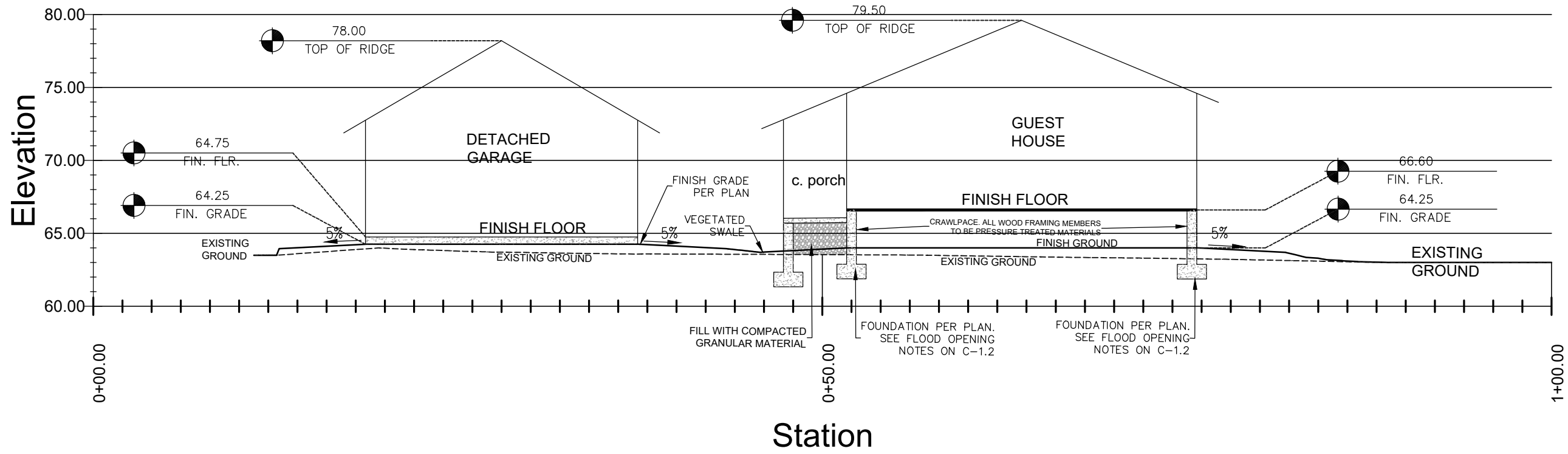


4 TYP. DOWNSPOUT TO STORM DRAIN

NO SCALE

CROSS SECTION C-C

SCALE: VERT: 1"=8', HORIZ: 1"= 8'



NO.	REVISIONS
REV.	2/25/2020

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Project:	REBUILD EXISTING HOME
Owner:	CRAIG SUHL
Address:	6235 BROOKDALE DR., CARMEL VALLEY, CA

Sheet Content:  
**DRAINAGE DETAILS AND  
CROSS SECTIONS**

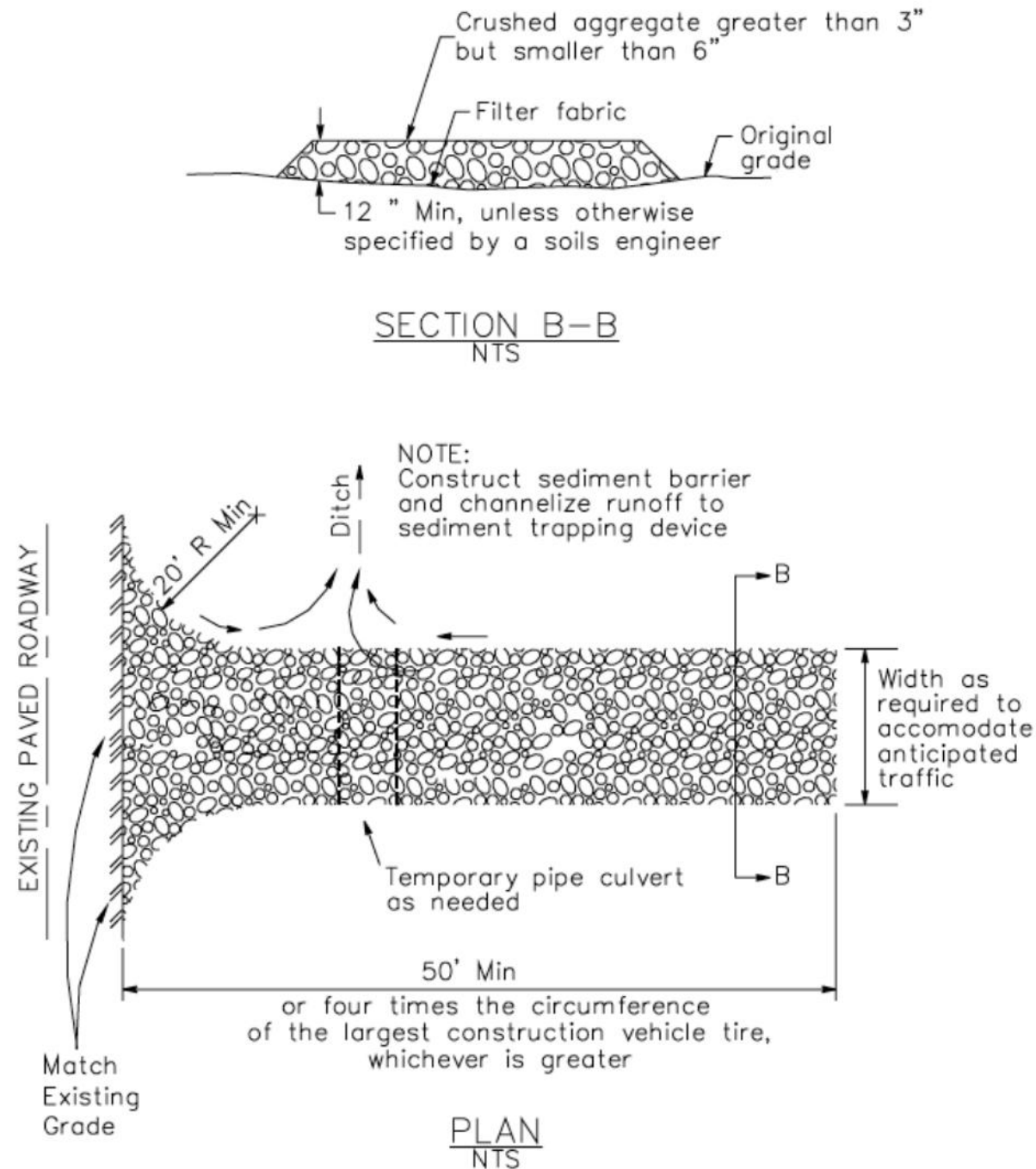
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**C-2.2**  
SHEET # OF



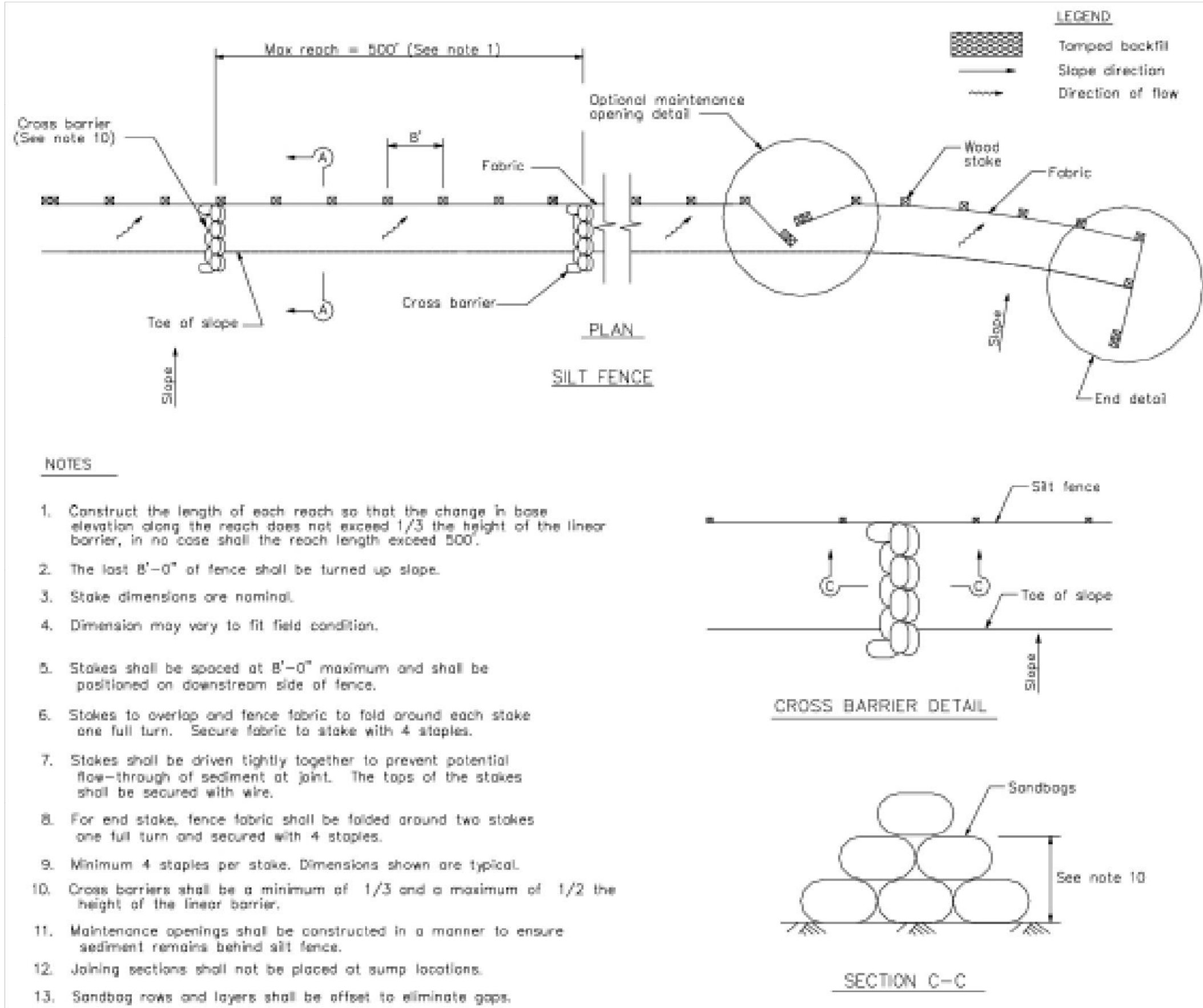
3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



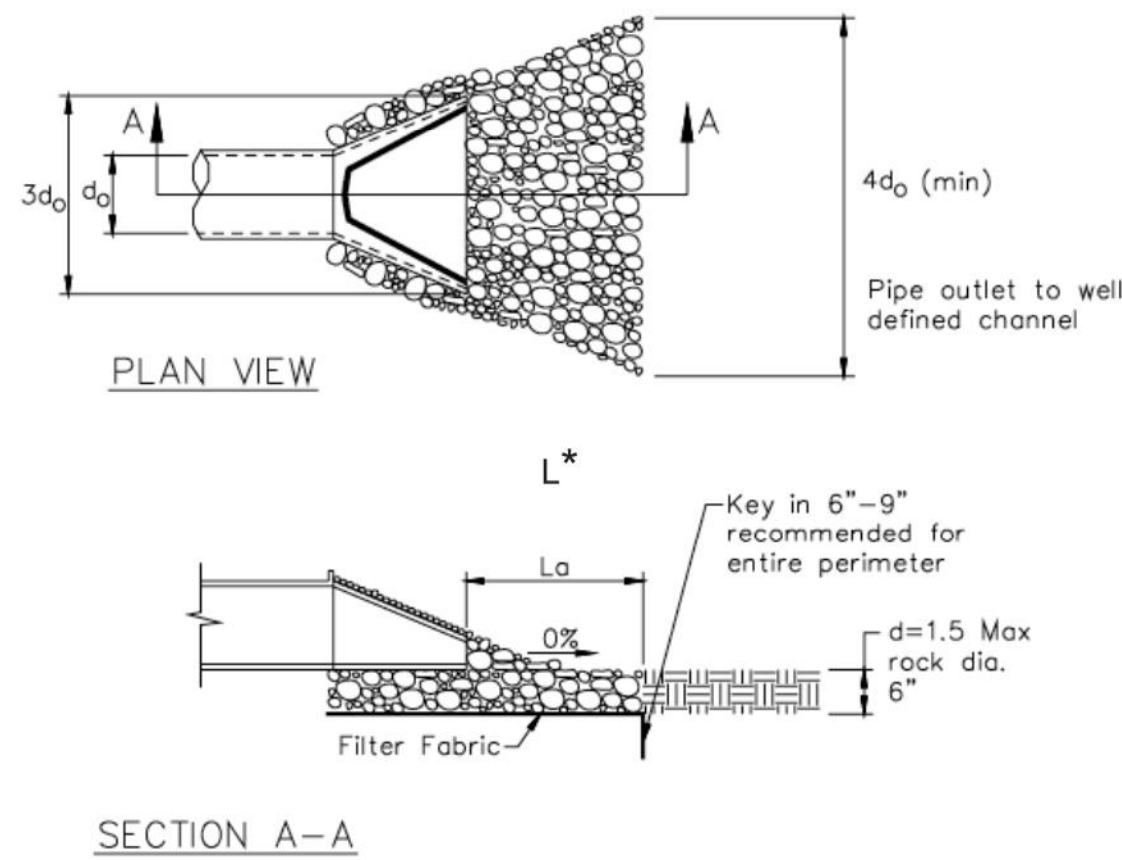
1 Silt Fence

CASQA Detail SE-1



4 Velocity Dissipation Devices

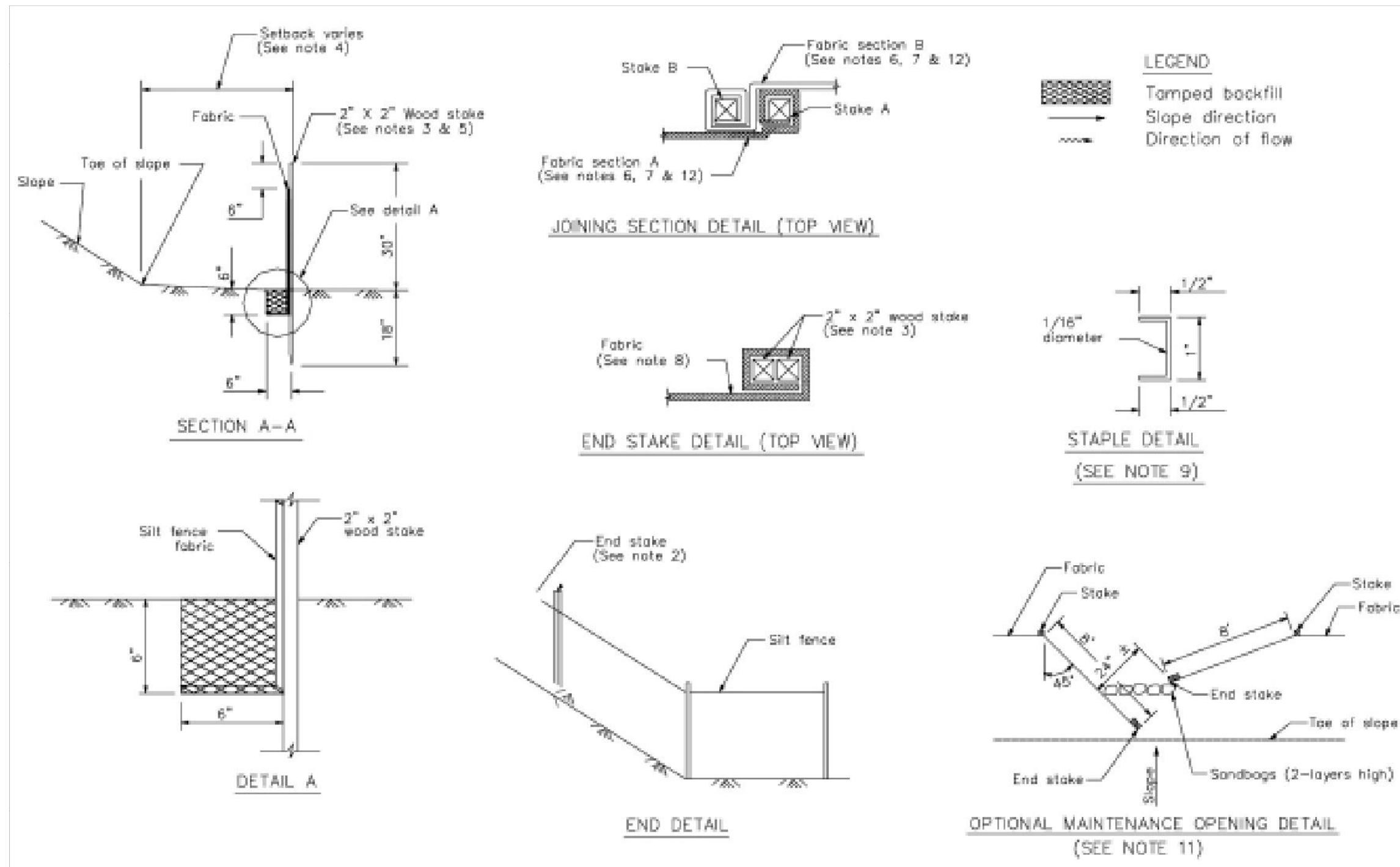
CASQA Detail EC-10



\* Length per ABAG Design Standards

2 Silt Fence

CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**

**Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

**Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

**Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

**Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

**Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.

- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

NO.	REVISIONS



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**REBUILD EXISTING HOME**  
Project: **CRAIG SUHL**  
Owner: **6235 BROOKDALE DR., CARMEL VALLEY, CA**

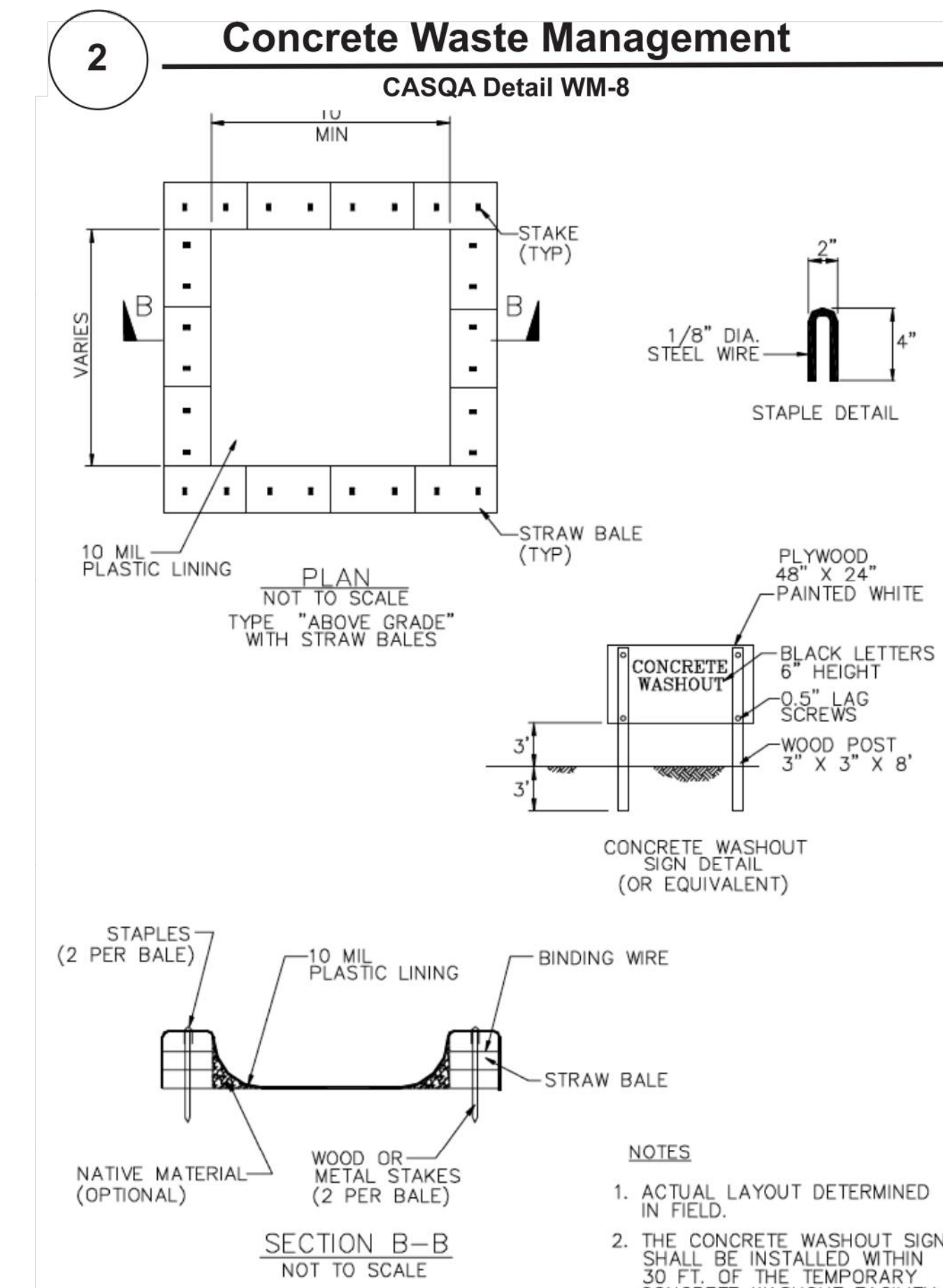
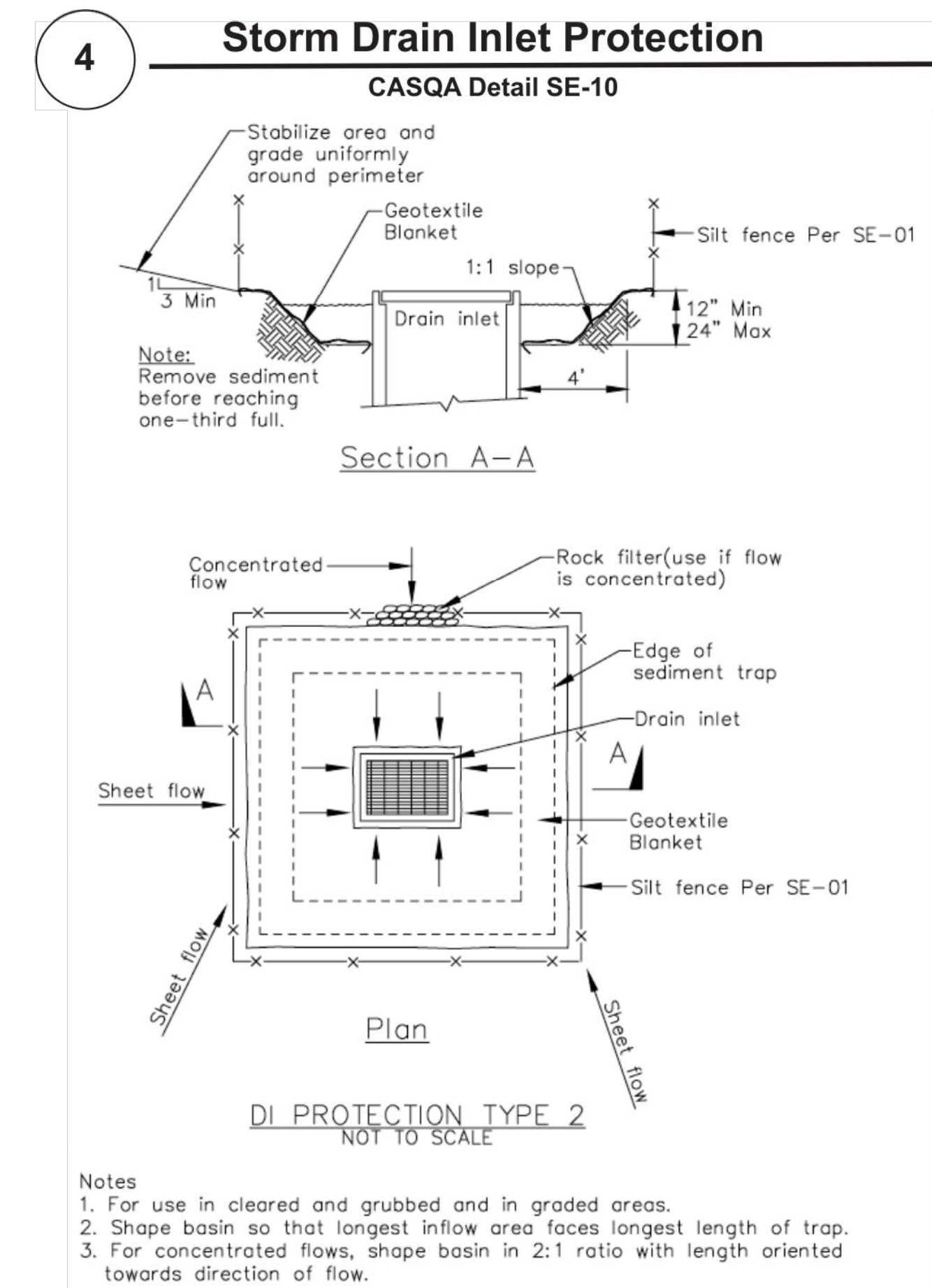
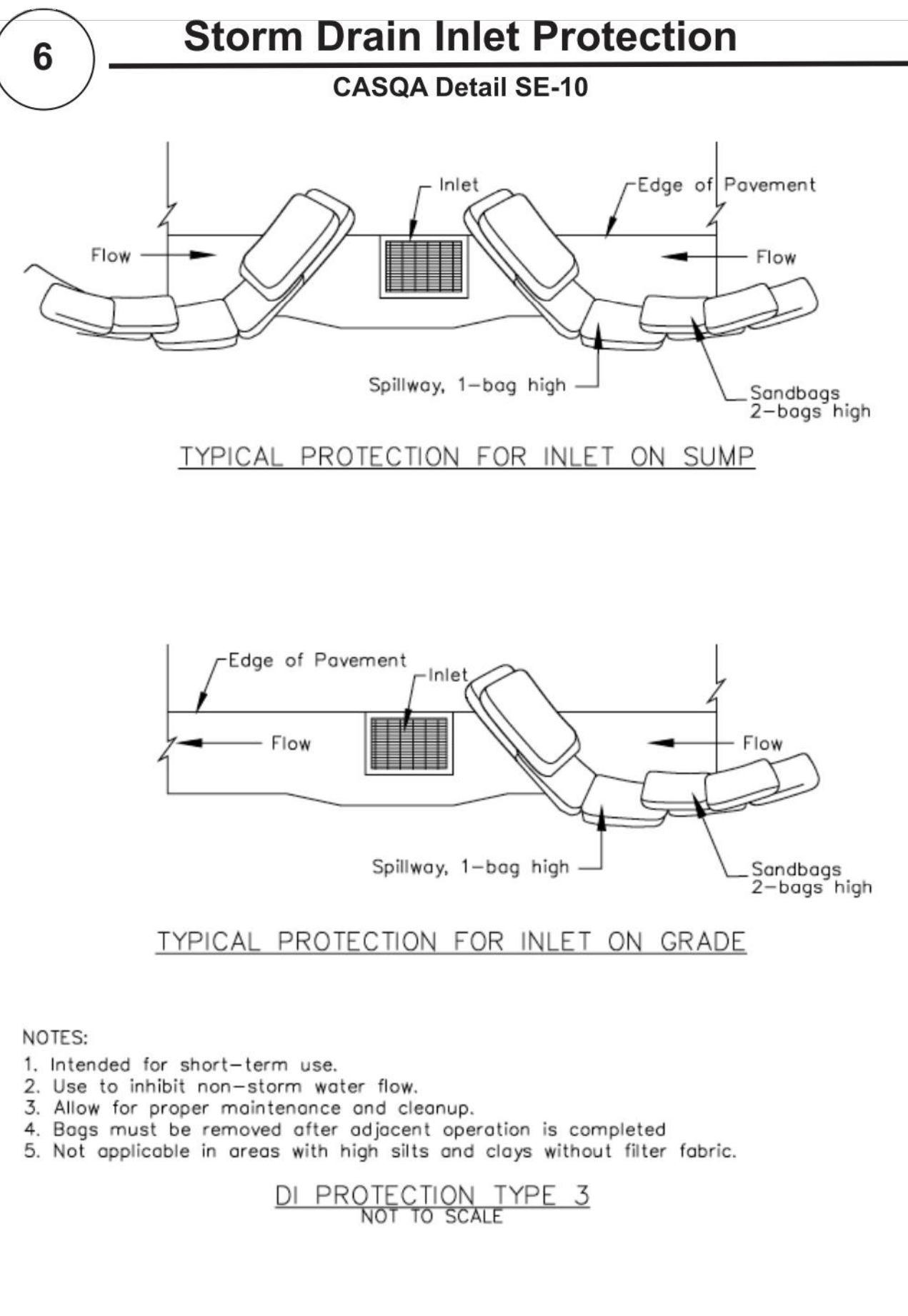
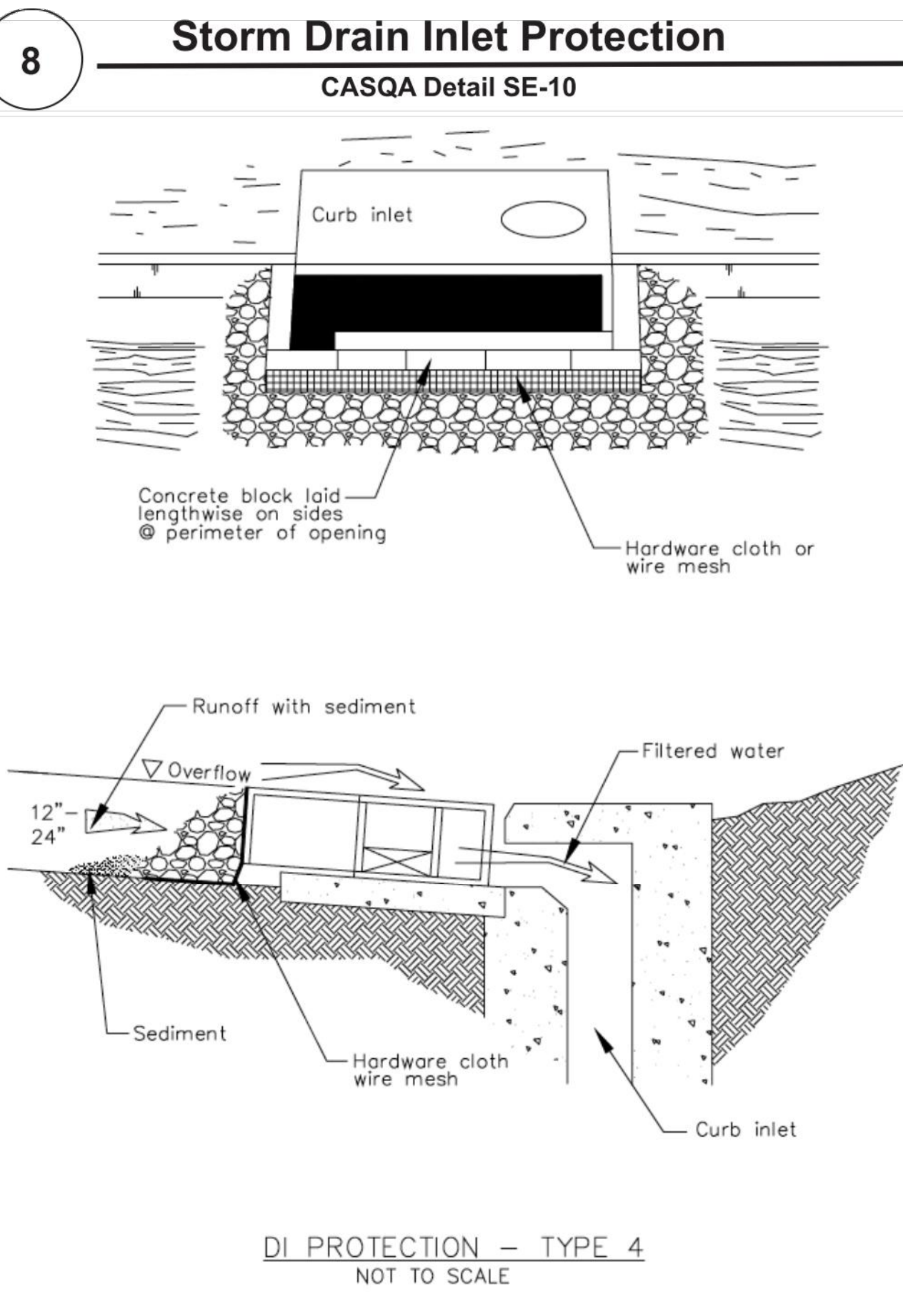
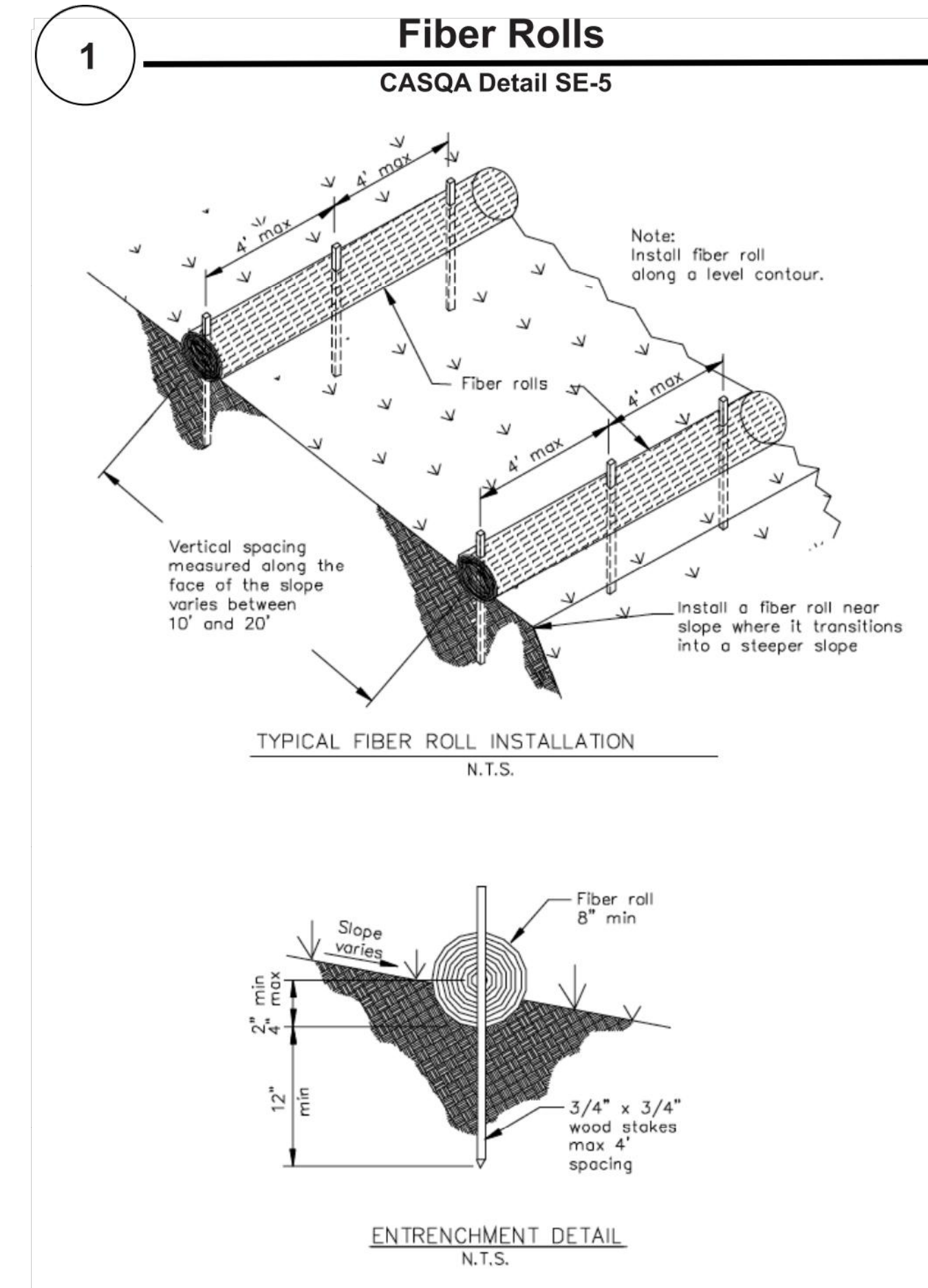
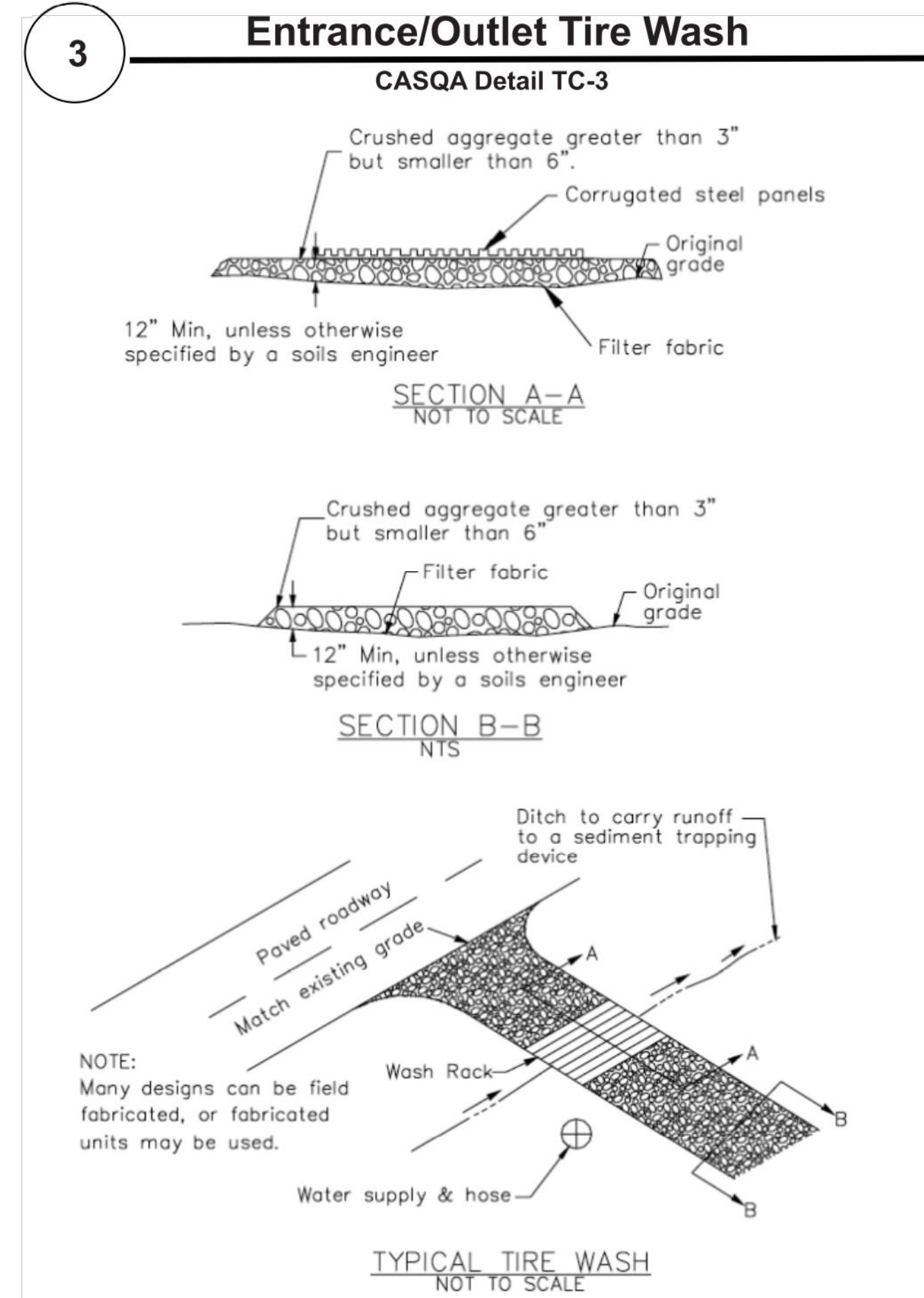
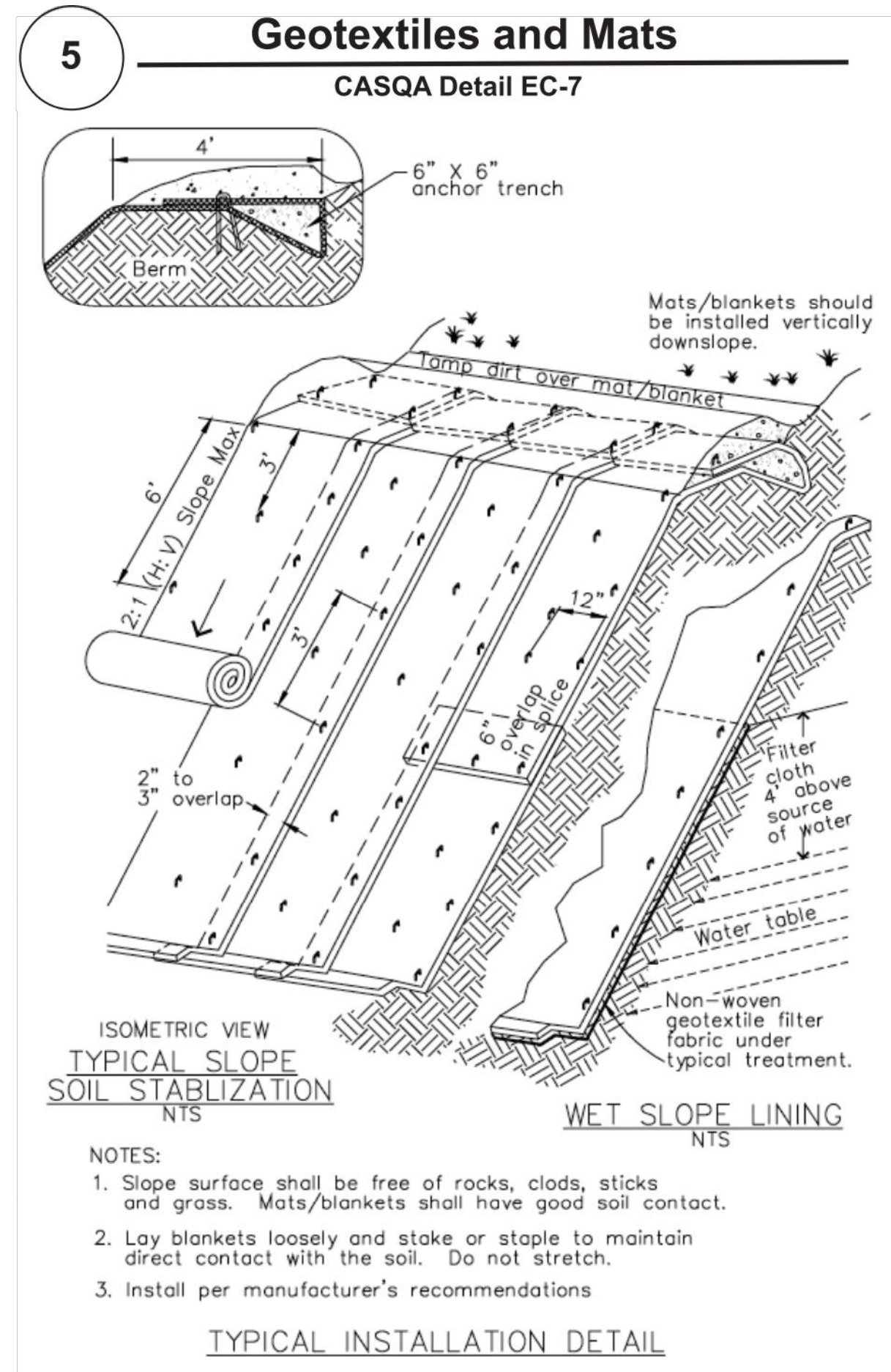
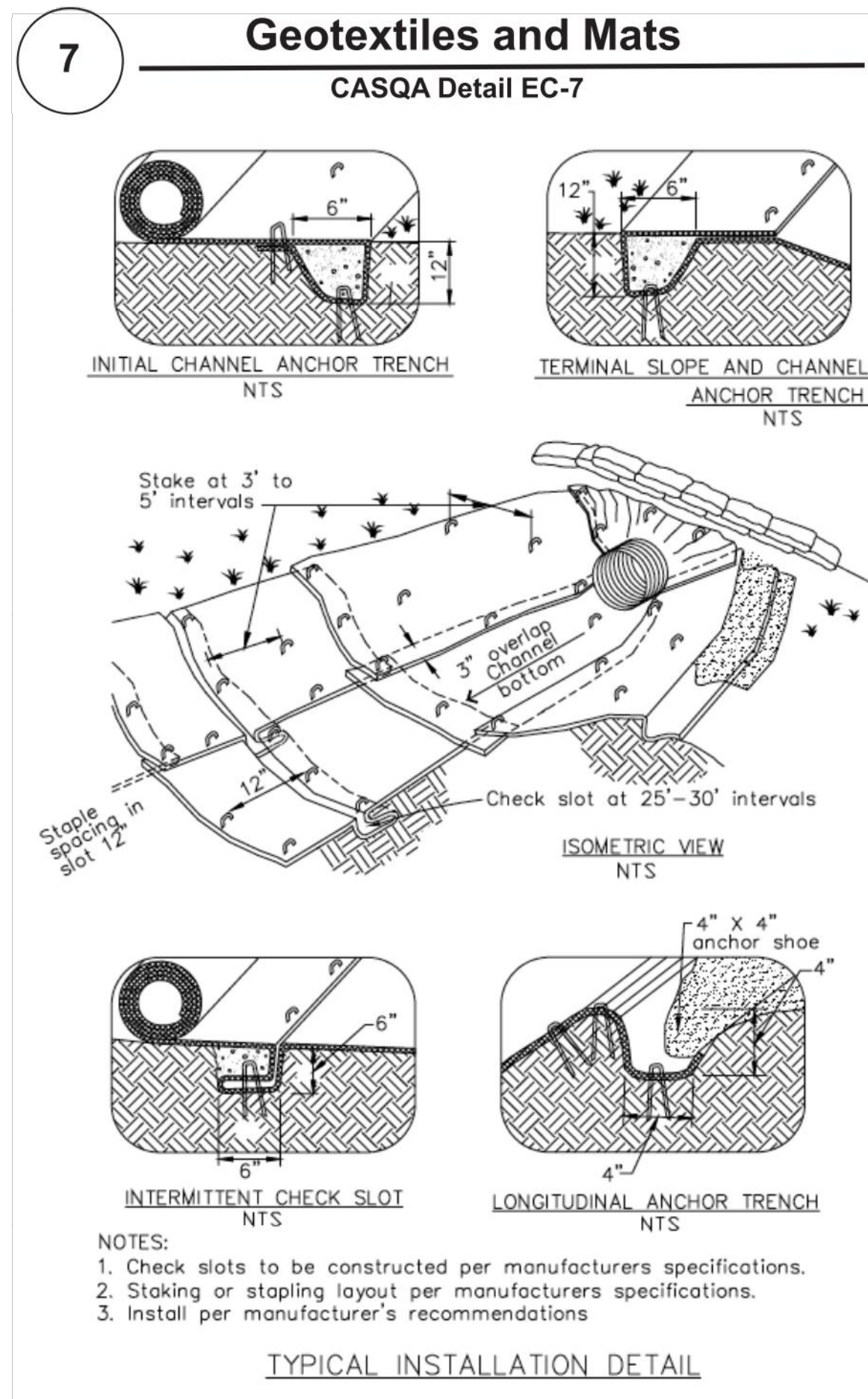
**IMPROVEMENT PLANS**

Drawn: JAMIE BARCELOS  
Sheet Content: **IMPROVEMENT PLANS**  
Drawn: JAMIE BARCELOS

**BMP-1**  
SHEET # OF

Project Information





Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.  
Available from [www.cabmphandbooks.com](http://www.cabmphandbooks.com).

NO.	REVISIONS



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Project: **REBUILD EXISTING HOME**  
Owner: **CRAIG SUHL**  
Address: **6235 BROOKDALE DR., CARMEL VALLEY, CA**

Sheet Content: **IMPROVEMENT PLANS**

Drawn: JAMIE BARCELOS

**BMP-2**  
SHEET # 1 OF 1



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