

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

Duran (PLN190077)

RESOLUTION NO. 20 -

Resolution by the Monterey County Zoning
Administrator:

- 1) Find the project is an addition to an existing structure which qualifies as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2;
- 2) Approve a General Development Plan and Amendment to a previously approved Use Permit (ZA92008) to allow a 7,000 square foot addition to an existing 7,410 square foot agricultural support facility (strawberry cooler) and a 1,452 square foot new office building; and
- 3) Approve a Variance to increase the maximum allowable building site coverage from 5% to 13%.

135 Allison Road, Pajaro, North County Area Plan
(APN: 117-402-003-000)

The Duran application (PLN190077) came on for a public hearing before the Monterey County Zoning Administrator on July 30, 2020. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS AND EVIDENCE

1. **FINDING:** **CONSISTENCY-** The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, North County Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.
- EVIDENCE:**
 - a) The project has been reviewed for consistency with the text, policies, and regulations in:
 - The 2010 Monterey County General Plan;
 - North County Area Plan; and
 - Monterey County Zoning Ordinance (Title 21)
 - b) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
 - c) The property is located at 135 Allison Road in Pajaro (Assessor's Parcel Number 117-402-003-000), North County Area Plan. The parcel is zoned Farmlands – 40 Acre Minimum (F/40). Amendments

are governed by Monterey County Code (MCC) Section 21.74.120.B, and agricultural support facilities are an allowed use in the F zone pursuant to Section 21.30.

- d) This project is an amendment to a previously approved Use Permit (ZA92008) which allowed the construction of a 2,800 square foot strawberry cooler on a 3.37 acre parcel. This amendment would allow the construction of a 7,000 square foot addition to the cooler along with a 1,452 square foot office space.
- e) Review of Development Standards. The applicable development standards for this project are captured under in the Farmlands (F) zoning district under Title 21.30.060 of the Monterey County Code. An agricultural use facility is a Use Allowed in the Farmlands district subject to a Use Permit. The F zoning designation allows a maximum height of 35 feet and a maximum building site coverage of 5% unless accompanied with a variance. The proposed structure would be 25 feet tall, and the total building site coverage in combination with existing buildings onsite would be 18,612 square feet, or 13% of 3.33 acres, which requires a Variance to be approved. No landscaping nor parking improvements are proposed as part of this application with an adequate number of spaces available for the increase in employees.
- f) Variance. Approval of the proposed development would require a variance to increase the maximum allowable building site coverage from 5% to 13%. See Finding 4 with supporting evidence.
- g) General Development Plan. A General Development Plan was prepared by the applicant for the proposed cooler expansion. It outlines the purpose of this project is to provide cooling services for strawberry farmers around the Salinas Valley. The current cooler is 7,410 square feet and the proposed addition would nearly double its size. Typical business hours are 7:00 am to 8:00pm during non-peak months, and 7:00 am to 10:00 pm during peak production months (typically April through June) when the coolers are at full capacity. Similarly, about four to six full-time employees are on site during off-peak season, while six to ten employees work during harvest months. With the proposed office space and, this project would expand the use of the original permit while increasing the number of onsite employees by three. Staff has found this General Development Plan acceptable for this proposed project.
- h) Archaeological Resources. The project site has been identified as an area of high archaeological sensitivity, and a cultural resources assessment for this parcel has been included as part of project analysis. The archaeologist concluded potential development has low sensitivity for the presence of significant precontact and/or historical archaeological resources due to its unfavorable environmental setting, past cultivation, the intensive development of the parcel with industrial buildings, and negative results of previous cultural resource studies and the pedestrian survey of the Project Area. Therefore, it is unlikely that the proposed site is sensitive for significant below-grade cultural resources. A standard condition has been included in the project that requires work to stop and that the County and a qualified

archaeologist be notified if previously unidentified resources are discovered during construction.

- i) The application, project plans, and related supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development can be found in Project File PLN190077.

2. **FINDING:** **SITE SUITABILITY** - The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by RMA-Planning, RMA-Public Works, RMA-Environmental Services, the Environmental Health Bureau, and the North County Fire Protection District. No conflicts were found to exist, and recommendations have been incorporated into this project as conditions of approval.
 - b) Surrounding Land Uses. The project site is surrounded by similar land uses. The project site is surrounded by Farmlands zoning on all sides of the parcel. It lies directly across a lot on San Juan Road with similar agricultural support facilities. The project site is otherwise surrounded by row crops and farms. The proposed extension of its current use is appropriate for this location.
 - c) Traffic. The project site is located directly off San Juan Road. The project as proposed would expand the current building coverage for additional storage of the current business operation. The project does propose additional workspace areas for an increase of up to three additional employees and a potential increase in number of truck trips to the project site. However, this project was evaluated and analyzed by RMA Public Works and was found this project would not cause a significant impact to traffic. Upon review of the project, RMA-Public Works recommended payment of a county-wide traffic fee to off-set potential impacts to traffic, which has been incorporated into this project as a condition of approval.
 - d) The following technical report has been prepared:
 - Traffic Assessment for the Duran Storage Expansion Project (LIB200128) prepared by Pinnacle Traffic Engineering, Hollister, California, March 2020.
 - Cultural Resources Survey for 135 Allison Road in Royal Oaks (LIB180376), prepared by EBI Consulting, York, Pennsylvania, February 2018.

RMA Public Works requested a traffic assessment to evaluate the potential impacts associated with the proposed project. The traffic assessment scope was developed in consultation with County staff and focuses on peak hour traffic operations and access at the San Juan Road / Allison Road intersection. The report recommends traffic safety improvements to accommodate for the increased development. Although the proposed development would not have any impacts to levels of service, the project has been conditioned by RMA Public Works to include safety enhancements due to the expanded use including a left turn lane at the intersection, a sight distance plan as recommended by the traffic assessment, and payment of traffic impact fees. Staff has independently reviewed these reports and agrees with their conclusions.

- e) The proposed storage facility would be constructed on a concrete slab on north western section of the site directly adjacent to the existing business structure. The existing topography of the site is flat so a negligible amount of grading is proposed as part of this project.
- f) Necessary public facilities are available, and with conditions incorporated the proposed development would not create additional impacts to water supply nor wastewater disposal. The property has two agriculture wells that are used to water plants and trees in the property, which are not used for domestic water. The proposed commercial operation will receive domestic water service from the Pajaro Sunny Mesa Community Services District. The Environmental Health Bureau (EHB) is recommending two conditions of approval for a cross connection control survey, and alternative onsite wastewater treatment system permit. In order to prevent backflow of water utilized for activities related to the agricultural support facility operation into the domestic supply, a cross-connection control survey shall be completed by a qualified professional to identify potential cross-connections.
- g) EHB determined it will be challenging to site a conventional onsite wastewater treatment system (“OWTS” or septic system”) on the property that will meet the minimum standards specified by the Monterey County Code, Chapter 15.20, and the Monterey County Local Agency Management Program (LAMP); specifically, an onsite well, shallow groundwater and extensive impervious surfaces are likely to restrict the use of a conventional septic tank and rock-filled dispersal trench. Therefore, the applicant shall obtain a permit from EHB to install the onsite wastewater treatment system. EHB is satisfied that adequate area exists to accommodate an alternative OWTS with supplemental treatment, and the project has been conditioned to ensure the applicant submits an onsite wastewater treatment system plan designed by a professional engineer review and approval by the EHB.
- h) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN190077.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: a) The project has been reviewed for site suitability by RMA-Planning, RMA-Public Works, RMA-Environmental Services, the Environmental Health Bureau, and the North County Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN190977.
4. **FINDING:** **VARIANCE** – This project and proposed development meets the applicable County findings and policies necessary for granting a Variance to increase maximum building site coverage from 5% to 13%.
- a) Under Title 21.72.040 of the Zoning Ordinance, three findings must be made in order to grant a variance, which are:
- Because of special circumstances applicable to the subject property, the strict application of the Zoning Ordinance deprives the subject property of privileges enjoyed by other properties in the vicinity and under identical zoning classification;
- The Variance does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located;
- The Variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.
- Further, under the Zoning Code and the Agricultural section of the General Plan, County policies support agricultural uses, including support facilities, on areas designated for farming.
- b) Because of special circumstances applicable to the subject property, the strict application of the Zoning Ordinance deprives the subject property of privileges enjoyed by other properties in the vicinity and under identical zoning classification. This is a three-acre parcel in a zoning designation of 40 acres minimum per unit, so special circumstances limit the property owner's ability to have enough building site coverage for as much storage capacity as a neighboring 40-acre parcel unit. This unique circumstance would deprive the applicant of the same use as other larger parcels around them in the same zoning district.
- c) The Variance does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located. Strawberry storage cooling facilities are a use allowed in the Farmlands district subject to a discretionary permit. The proposed development continues the use of an existing business that provides storage capacity to local farmers in the community. The applicant has indicated that due to the changing nature of the strawberry industry, farmers must harvest more berries with a variety that yields twice as much fruit as it had in years prior. The increased production levels of fruit have not allowed local farmers the opportunity to store their harvests in coolers which would expand the shelf life of their product. Reduced shelf life causes rotted fruit and loss of revenue. The variance would not constitute a grant of special privileges because it is continuing a current use of the property, while benefitting the local community.

- d) The Variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property. The site is zoned Farmlands (F) which principally ensures land be utilized for harvesting purposes. However, agricultural policies in the General Plan also encourages agricultural support facilities such as coolers, cold storage, and warehouses (AG-1.4 and AG-2.1). This project site has long been used to support agricultural purposes for nearby fields as a cooler, and the expansion is necessary to accommodate the increased production of strawberries from nearby farms.
5. **FINDING:** **NO VIOLATIONS** - The subject properties are in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

 - a) Monterey County RMA-Planning and RMA-Building Services records were reviewed, and there are no outstanding violations on subject property.
 - b) There are no known violations on the subject parcel.
 - c) The application, plans, and supporting materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in project file PLN190077.
6. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

 - a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts minor alterations to existing structures.
 - b) The project involves the addition of a combined 8,452 square foot agricultural support buildings to an existing facility, which are a use allowed in the Farmlands zoning district. Therefore, the proposed development is consistent with the parameters of Section 15301.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway.
 - d) No adverse environmental effects were identified during staff review of the development application.
7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Planning Commission.

EVIDENCE:

 - a) Pursuant to Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find the project is an addition to an existing structure which qualifies as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2;
- B. Approve a General Development Plan and Amendment to a previously approved Use Permit (ZA92008) to allow a 7,000 square foot addition to an existing 7,410 square foot agricultural support facility (strawberry cooler) and a 1,452 square foot new office building; and
- C. Approve a Variance to increase the maximum allowable building site coverage from 5% to 13%.

In general conformance with the attached plans and subject to the attached conditions, which are incorporated herein by reference.

PASSED AND ADOPTED this 30th day of July, 2020.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County RMA-Planning and RMA-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190077

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This General Development Plan, Amendment, and Variance (PLN190077) allows: 1) a 7,000 square foot addition to an existing 7,410 square foot agricultural support facility (strawberry cooler) and a 1,452 square foot office building; and 2) a Variance to increase the maximum building site coverage to 13%. The property is located at 135 Allison Road in Pajaro (Assessor's Parcel Number 117-402-003-000), North County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A General Development Plan, Amendment and Variance (Resolution Number 20-_____) was approved by the Zoning Administrator for Assessor's Parcel Number 117-402-003-000 on July 30, 2020. The permit was granted subject to ten (10) conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be Performed: shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.
Monitoring
Action to be Performed:

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. EHSP02: ENGINEERED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The existing septic system was designed for a single-family home with three bedrooms. The project scope includes adding a trailer with a restroom.

The Monterey County Health Department, Environmental Health Bureau (EHB), has received approval of the Local Agency Management Program (LAMP) for Onsite Wastewater Treatment Systems (OWTS, also called septic systems). The LAMP details new regulations and site evaluation requirements that will be applied to any OWTS (septic system) permit issued on or after May 11, 2018. As such the following items are required to evaluate the OWTS proposal for this site:

1. OWTS Feasibility Report (see section 5.9 Site Evaluation and Soil Characteristics) at a minimum the report shall include:
 - A minimum of one deep groundwater monitoring boring per lot. (see section 5.9.1 Soil Depth and Characteristics)
 - A site evaluation, soil profile analysis and percolation testing shall be completed for each of the areas proposed to accommodate the required dispersal systems: primary dispersal field area and expansion area(s). (see section 5.9.2 Percolation Testing)
 - The soil application rate shall be determined by Table 5-4.
2. Once the Feasibility Report has been completed contact EHB to set up a site visit to discuss the report findings and site constraints.
3. Submit an OWTS design from a Qualified designer for review and approval. This item may be deferred to prior to issuance of a construction permit. However, a conceptual design shall be submitted indicating that the minimum sizing of the dispersal system, based on the Soil Application Rate, can be installed onsite for both primary and secondary systems.

Compliance or Monitoring Action to be Performed: Prior to issuance of a construction permit, submit an onsite wastewater treatment system plan designed and wet-stamped by a CA Registered Engineer for review and approval by the EHB. The applicant shall obtain a permit from EHB to install the onsite wastewater treatment system.

5. EHSP01-CROSS CONNECTION CONTROL SURVEY

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The proposed commercial operation will receive domestic water service from the Pajaro Sunny Mesa Community Services District. In order to prevent backflow of water utilized for activities related to the agricultural support facility operation into the domestic supply, a cross-connection control survey shall be completed by a qualified professional to identify potential cross-connections and recommend mitigations.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, submit to the following information to the Environmental Health Bureau (EHB) for review and acceptance:

- a detailed site plan, specifying any and all equipment that will receive water from or be connected to the domestic water supply; and
- a narrative description of the proposed agricultural support facility operation.

As determined necessary by EHB, a cross-connection control report prepared by a qualified professional shall be submitted to the Environmental Health Bureau for review and acceptance.

6. PW0002a – ROAD IMPROVEMENTS (LEFT TURN LANES AND SIGHT DISTANCE)

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Construct required offsite road improvements (left turn lanes and sight distance improvement). The design and construction is subject to the approval of the RMA-Public Work and Facilities. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the RMA-PWF, obtain an encroachment permit from the RMA prior to issuance of building permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the RMA-Public Works and Facilities.

8. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County RMA Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to RMA-Public Works and Facilities.

9. PWSP001 – SIGHT DISTANCE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The project applicant shall follow the sight distance improvement plan at the San Juan Road/Allison Road intersection as proposed in the Duran Cold Storage Expansion Project (PLN190077) Traffic Assessment prepared by Pinnacle Traffic Engineering and dated March 2, 2020. The corner of the existing fence should be relocated south to improve the line-of-sight looking west from Allison Road. The design of all intersection improvements shall be subject to review and approval by the County of Monterey RMA- Public Works and Facilities.

Compliance or Monitoring Action to be Performed:

- 1.- Prior to issuance of building permit, the Project Applicant shall obtain approval of sight distance improvement plan from the RMA- Public Works and Facilities.
- 2.- Prior to occupancy or commencement of use, the Project Applicant shall implement site distance improvement plan in accordance with approved plan.

10. PWSP002 – LEFT TURN LANES

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The project applicant shall design and construct a 12-foot wide eastbound and westbound San Juan Road left-turn lanes at the Allison Road/San Juan Road intersection in accordance with Caltrans standards and guidelines. Construct required offsite road improvements (left turn lanes lanes). The design and construction is subject to the approval of the RMA- Public Works and Facilities (RMA-PWF). Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the RMA-PWF, obtain an encroachment permit from the RMA prior to issuance of building permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

Duran Cooler Expansion

135 Allison Road

Royal Oaks, Ca 95076

PLN190077

General Development Plan

1. Duran Cooler is a cooling facility that the Duran Family has operated since 1992 to cool and ship out their strawberries from their farms. The cooler has also provided cooling services to small farmers. This has been a vital service to the small farming community.
2. The cooler is approximately 7,410 sqft.
3. The typical business hours are 7:00am-8:00pm on non-peak month and 7:00am-10:00pm on peak months.
4. The cooler currently employs 4-6 fulltime workers and on peak time it can increase to 6-10 workers.
5. The cooler has no water connections in the building but the property does have water service from Pajaro Sunny Mesa Community Services in the home located on the property.
6. The property has two agriculture wells that are used to water plants and trees in the property. The wells are not used for domestic water.

Proposed Development

Duran Cooler proposes for permission to add 7,000 sqft of additional cooling space with a 1,000 sqft office. The following are reasons for the need of more cooling space.

1. The strawberry industry has changed a lot. To compete and stay in business more yields are needed. The new varieties of plants yield twice as much fruit as it did 25 years ago. This has created a problem as strawberries sit out longer outside waiting to get cool down. This wait reduces the shelf life

of the strawberries. With reduced shelf life, the berries go bad and create rejection problems at the retail level.

2. We estimated that in order to keep the family business open we need to increase acreage every year. Even at minimal increase we have no more space for additional produce.

Propose Development

1. Add 7,000sqft cooling space. This will help us cool down our fruit quick and increase shelf life and be able to take more future volume.
2. Add 1,000sqft office. Our operations need office space and meeting room. We also plan to include a break room for our employees. This will not be a living quarters.
3. Hours of operations will remain the same. We estimate that with the increase of storage space it will create 2-3 new full-time jobs.
4. We will connect all water connections to Pajaro Sunny Mesa Community Service.

We look forward working with Monterey County Resource Management Agency on anything it might need to get this project approved and build. If you have any questions please call Al Gonzalez the representative for this project at 831-585-7562. Thanks

GRID LINES

**BUILDING SECTION/
SECTION NUMBER**

SHEET NUMBER

SECTION NUMBER

**EXTERIOR ELEVATION/
ELEVATION NUMBER**

SHEET NUMBER

DETAIL NUMBER

DETAIL CALL OUT

**SHEET WHERE DRAWN W/
DISCIPLINE PREFIX**

DETAIL NUMBER

**SHEET WHERE DRAWN W/
DISCIPLINE PREFIX**

ROOM IDENTIFICATION

ROOM NAME

ROOM NUMBER

ROOM MATERIAL CODES

1ST NO. FLOOR/BASE

2ND NO. WALLS WAINSCOT

3RD NO. CEILING

CEILING HEIGHT

OFFICE

101

1A1

8'-0"

INTERIOR ELEVATION

**SHEET WHERE DRAWN
W/DISCIPLINE PREFIX**

**CURRENT
REVISION CLOUD**

**PREVIOUS
REVISION CLOUD**

**ELEVATION
REFERENCE**

FACE TO FACE DIMEN

**FACE TO CENTER
DIMENSION**

**CENTER TO CENTER
DIMENSION**

**DOOR TAG
REFER TO DOOR SCHEDULE**

WINDOW TAG

KEYNOTE

**SIGN TAG
(REFER TO SCHEDULE)**

1. FIBER ROLL SHALL BE INSTALLED ON LEVEL CONTOURS AND SHOULD REMAIN IN PLACE THROUGH CONSTRUCTION AND OR UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
2. THE ENDS OF THE FIBER ROLLS SHALL BE TURNED UPWARD TO PREVENT SEDIMENT LADEN RUN-OFF FROM FLOWING AROUND THE ROLL.
3. FIBER ROLL BARRIERS SHALL BE INSPECTED MONTHLY DURING DRY PERIODS, WEEKLY DURING RAINY SEASON, IMMEDIATELY BEFORE AND AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE ROLL.

A1.0 SITE PLAN
A2.0 PROPOSED FLOOR PLAN
A3.0 NEW EXTERIOR ELEVATIONS
A4.0 PROPOSED NEW OFFICES FLOOR PLAN
A4.1 NEW ELEVATION & SECTIONS OFFICE
A4.2 PROPOSED (N) CEILING & ROOF PLAN
A5.0 DETAILS

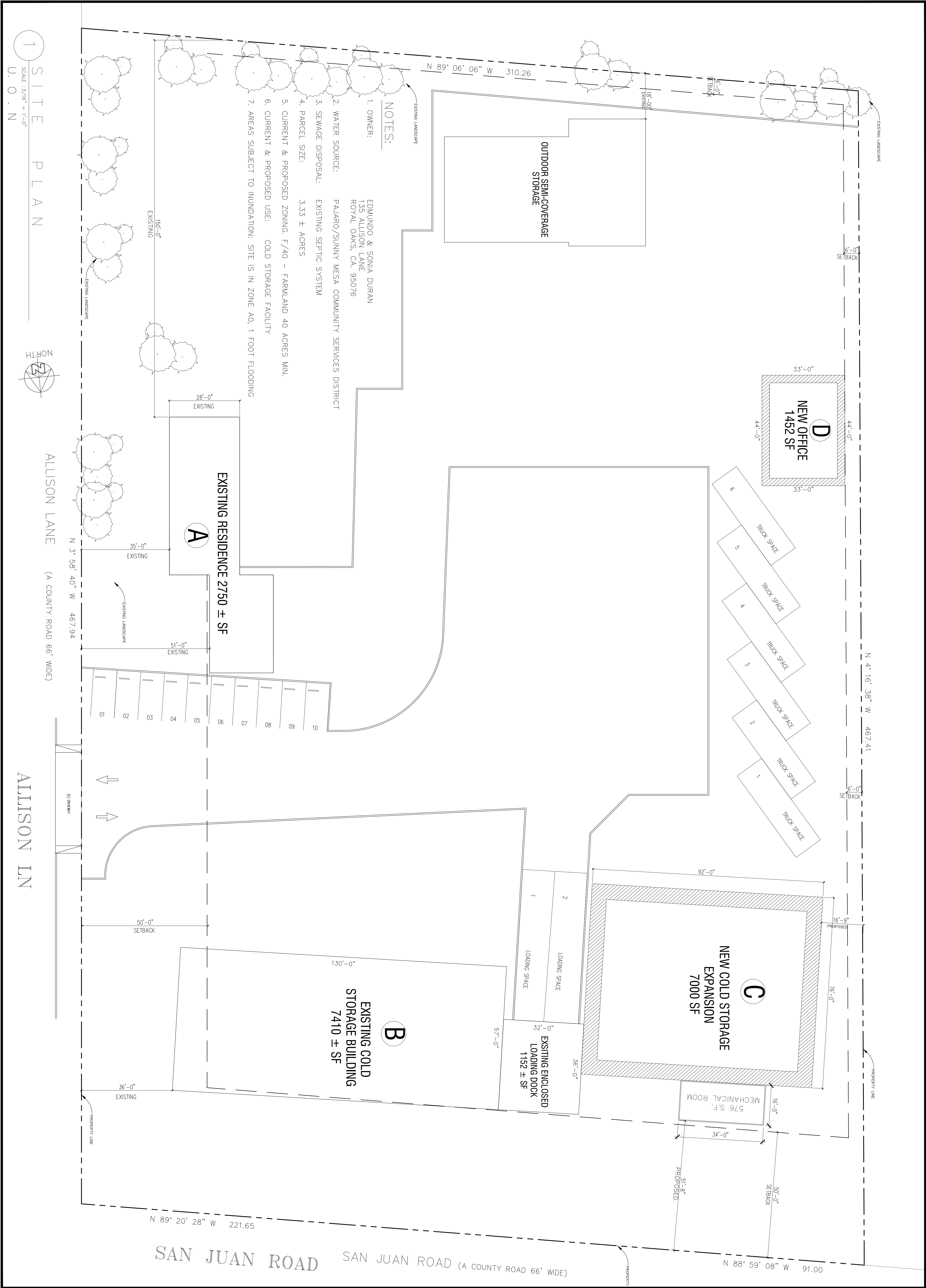
ARCHITECT:
NAME: SAVADOR MUNOZ
ADDRESS: 320 CAPITOL ST.
SALINAS, CA, 93901
PHONE: 831-771-2802

VICINITY MAP

N.T.S.

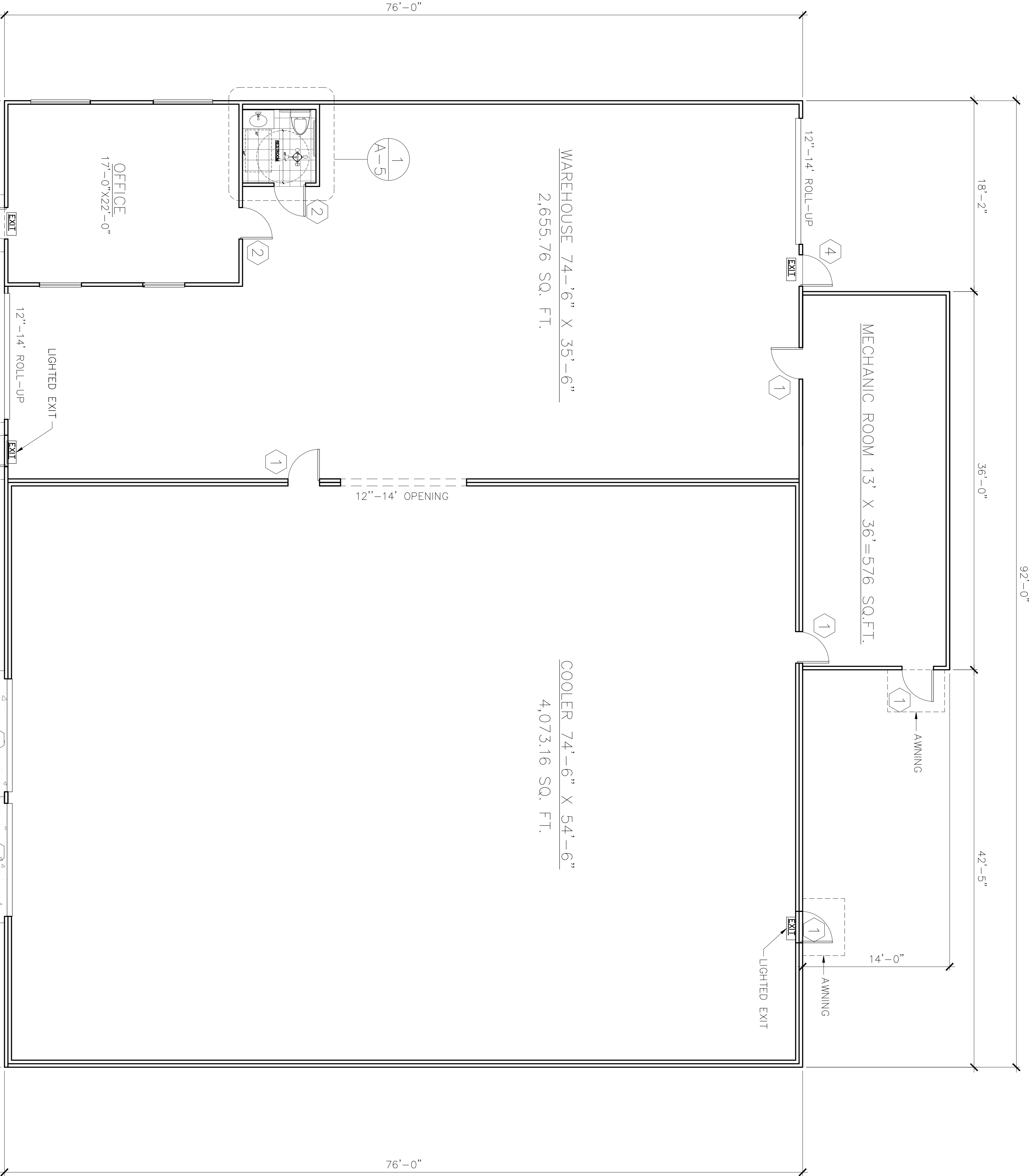


T	
1	0



DOOR SCHEDULE									
DESCRIPTION		TYPE		FACING & FINISH		FRAME		HARDWARE GROUP	
QUANTITY		SEE NOTE 2		SEE NOTE 3		SEE NOTE 4		SEE NOTE 5	
OPENING		THICKNESS		CONSTRUCTION		GLASS		REMARKS	
1	3'-0"x7'-0"	A	2"	SC		T	H.M.	6	
2	3'-0"x 7'-0"	C	1 3/4	SC		WD	2		
3	10'-0"x12'-0"	D							
4	12'-0"x12'-0"	D							

DOOR NOTES	
1. ✓ SHOWN ON SCHEDULE INDICATES TYPICAL	
2. DOOR TYPES	
A	B
C	D
3. ALL DOORS 1-3/4" UNLESS OTHERWISE NOTED	
4. DOOR CONSTRUCTION	
AL. = ALUMINUM	O.H. = OVERHEAD COILING DOOR
C.S. = COUNTER SHUTTER	S.C. = SOLID CORE
H.C. = HOLLOW CORE	STL. = STEEL
H.M. = HOLLOW METAL	WD. = WOOD
MTL. = METAL	
5. GLASS TYPE	
C = CLEAR	TIN. = TINTED
T = TEMPERED	PL. = PLASTIC
W = WIRE	LAM. = LAMINATED
6. SEE ATTACHED SPEC. SECTION 08710-FINISH HARDWARE	
8. ONE HOUR FIRE RATED DOOR	
9. NOTE: SIGN @ TOP OF DOOR ACCORDING TO SECTION 1003.3.1.8 "THIS DOOR TO REMAIN UNLOCKED DURING BUSSINESS HOURS"	
10. ALL DOORS ARE NEW U.O.N.	
11. NO HARDWARE	
12. SEE DETAIL A-5/#1	



1 PROPOSED FLOOR PLAN
SCALE: 3/16"=1'-0"

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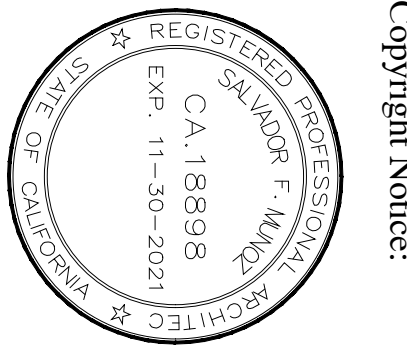
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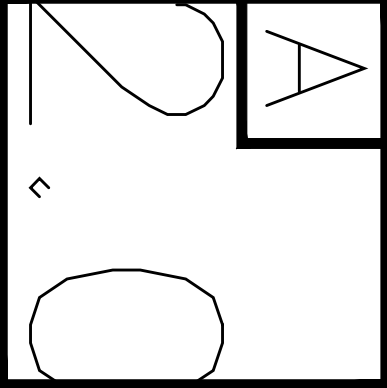
NEW COLD STORAGE EXPANSION
135 ALLISON LANE
ROYAL OAKS, CA. 95076

Sheet Title:
PROPOSED FLOOR PLAN

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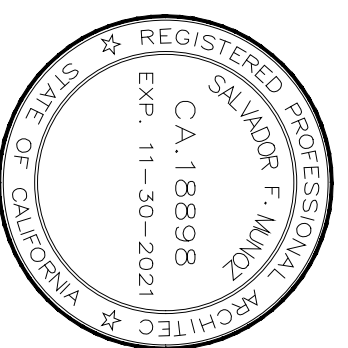
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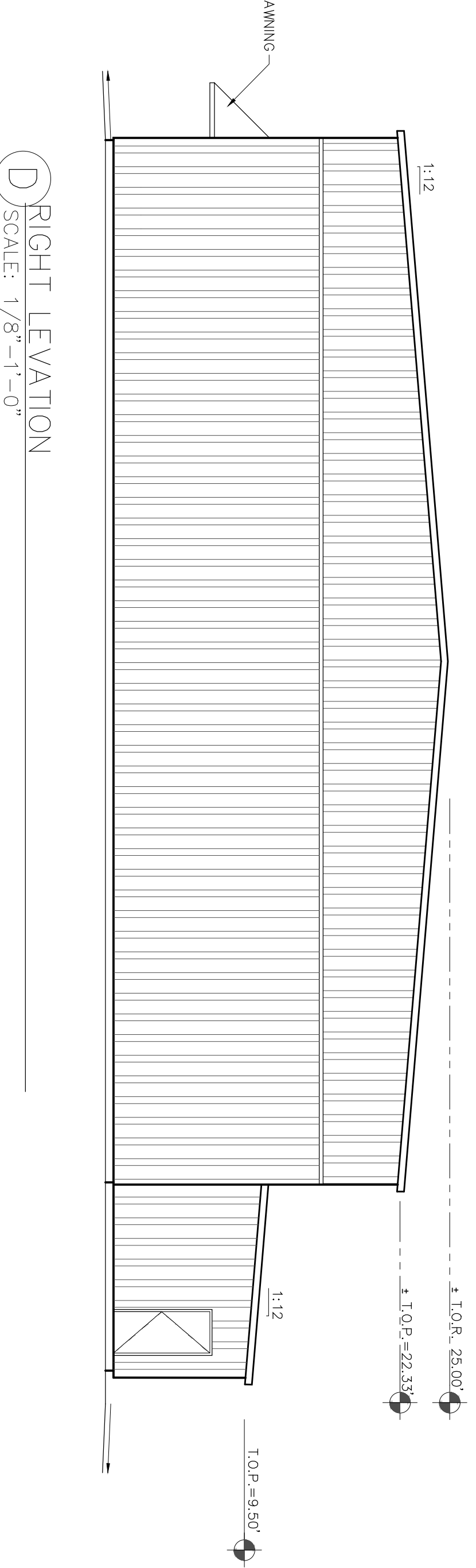
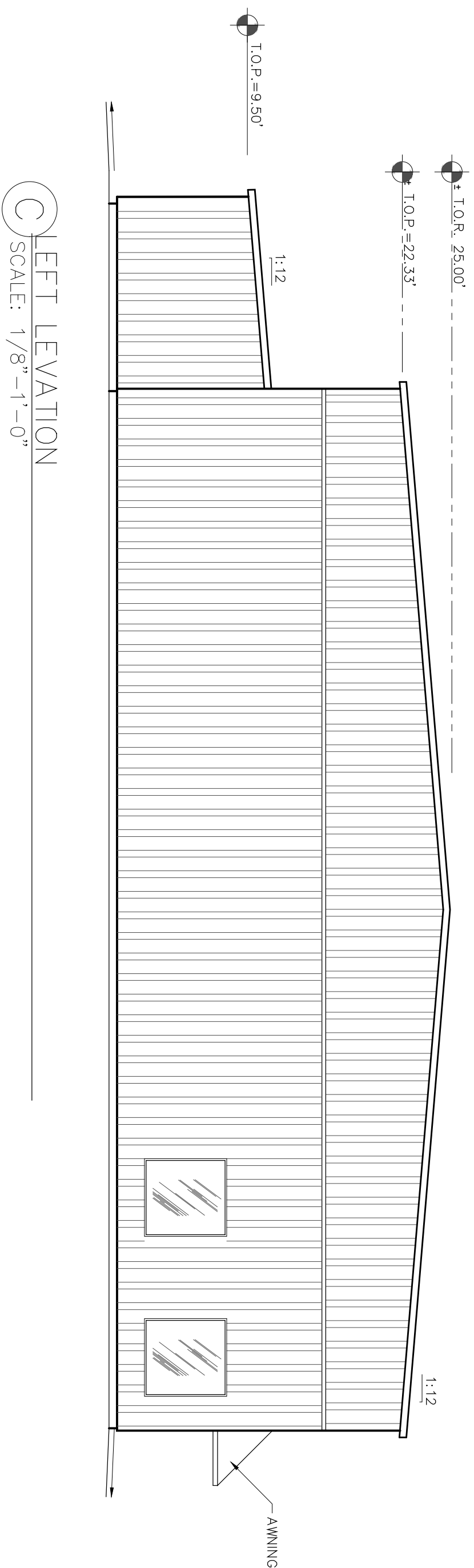
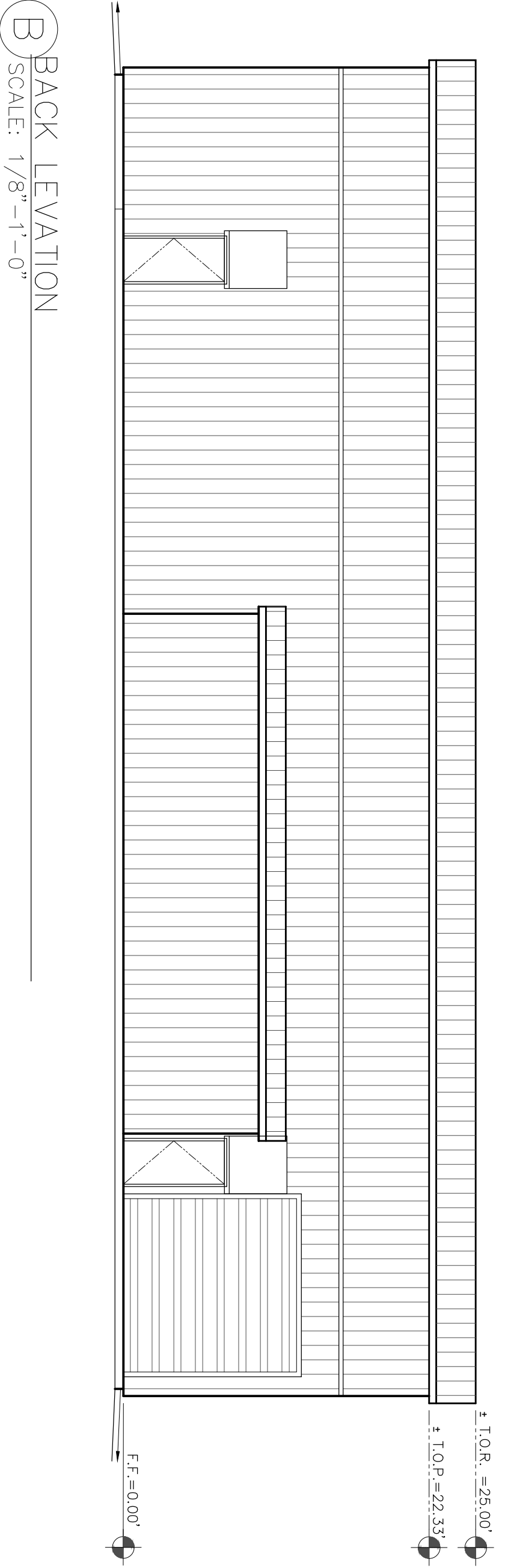
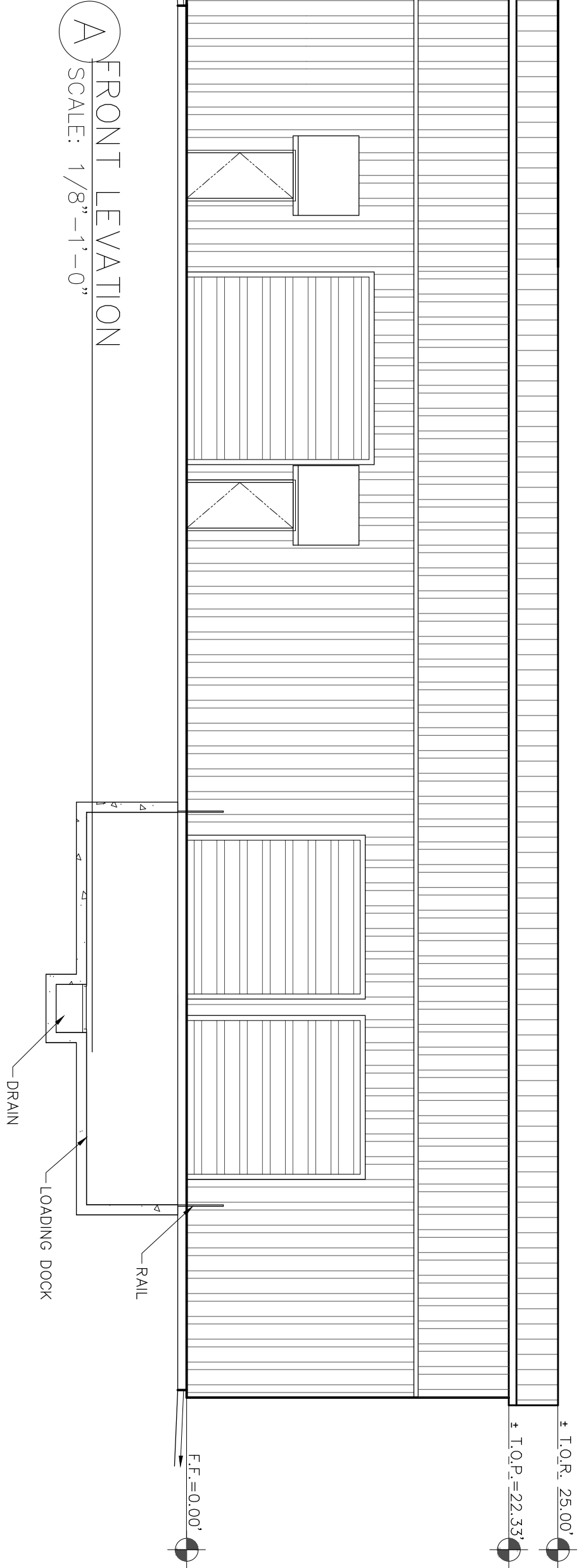
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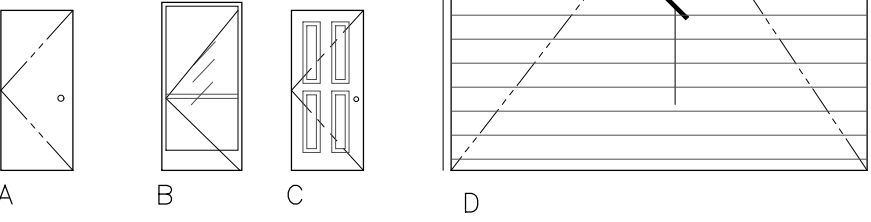


DOOR SCHEDULE									
DESCRIPTION	QUANTITY	OPENING	TYPE SEE NOTE 2	THICKNESS SEE NOTE 3	CONSTRUCTION SEE NOTE 4	FACING & FINISH SEE NOTE 5	GLASS SEE NOTE 6	FRAME SEE NOTE 7	REMARKS
									HARDWARE GROUP
									COMMENTS
(1)		3'-0"x7'-0"	A	N	SC		T	H.M.	6
(2)		3'-0"x 7'-0"	C	1 3/4	SC			WD	2
(3)		10'-0"x12'-0"	D						2
(4)		12'-0"x12'-0"	D						2
(5)	7	3'-0"x7'-0"	C	1 3/4	SC			WD	2

DOOR NOTES

1.✓ SHOWN ON SCHEDULE INDICATES TYPICAL

2. DOOR TYPES



3. ALL DOORS 1-3/4" UNLESS OTHERWISE NOTED

4. DOOR CONSTRUCTION

AL = ALUMINUM	O.H. = OVERHEAD COILING DOOR
C.S. = COUNTER SHUTTER	S.C. = SOLID CORE
H.C. = HOLLOW CORE	STL. = STEEL
H.M. = HOLLOW METAL	WD. = WOOD
MTL. = METAL	

5. GLASS TYPE

TIN. = TINTED
PL. = PLASTIC
LAM.= LAMINATED

6. SEE ATTACHED SPEC. SECTION 08710-FINISH HARDWARE

8. ONE HOUR FIRE RATED DOOR

9. NOTE: SIGN @ TOP OF DOOR ACCORDING TO SECTION 1003.3.1.8
"THIS DOOR TO REMAIN UNLOCKED
DURING BUSSINESS HOURS"

0. ALL DOORS ARE NEW U.O.N

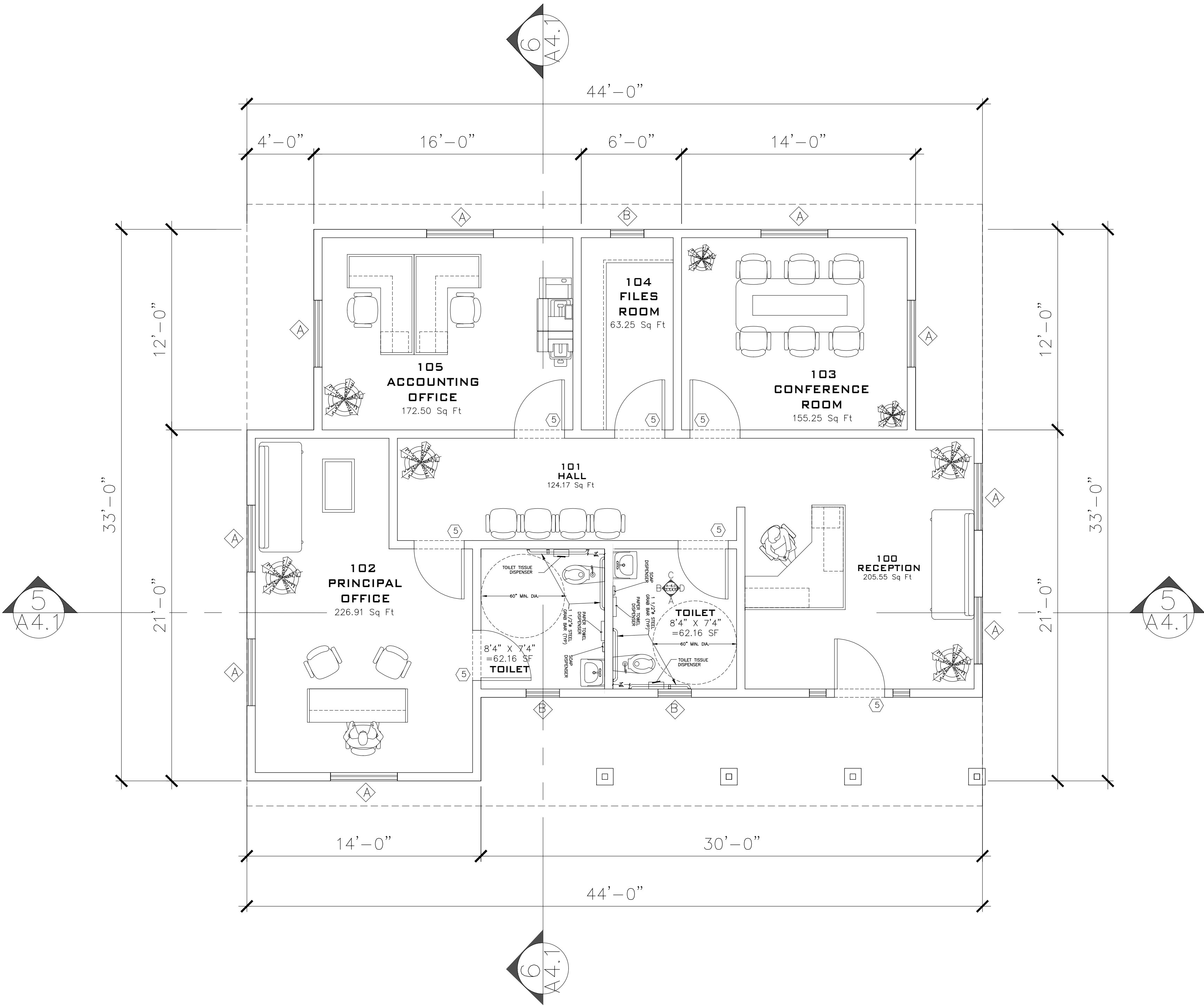
11. NO HARDWARE

12. SEE DETAIL A-5/#

WINDOWS SCHEDULE

WINDOWS SCHEDULE			
	OPENING	TYPE	QUANTITY
A	4'-0"x 4'-0"	SLIDING VINYL WINDOW	8
B	2'-0"x 2'-0"	SLIDING VINYL WINDOW	3
C	1'-0"x 7'-0"	SLIDING VINYL WINDOW	2

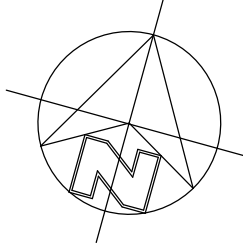
NOTE: ALL WINDOWS ARE DUAL GLAZED AND LABELED



2 PROPOSED OFFICE FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE: ALL EXISTING U.O.N.
NO SITE WORK PROPOSED

 (N) 2X6 WALL



JOB No

DESCRIPTION:

ATF:

REV:

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NEW COLD STORAGE EXPANSION

135 ALLISON LANE
ROYAL OAKS CA 95076

Sheet Title: PROPOSED NEW OFFICES EL OOR PLAN

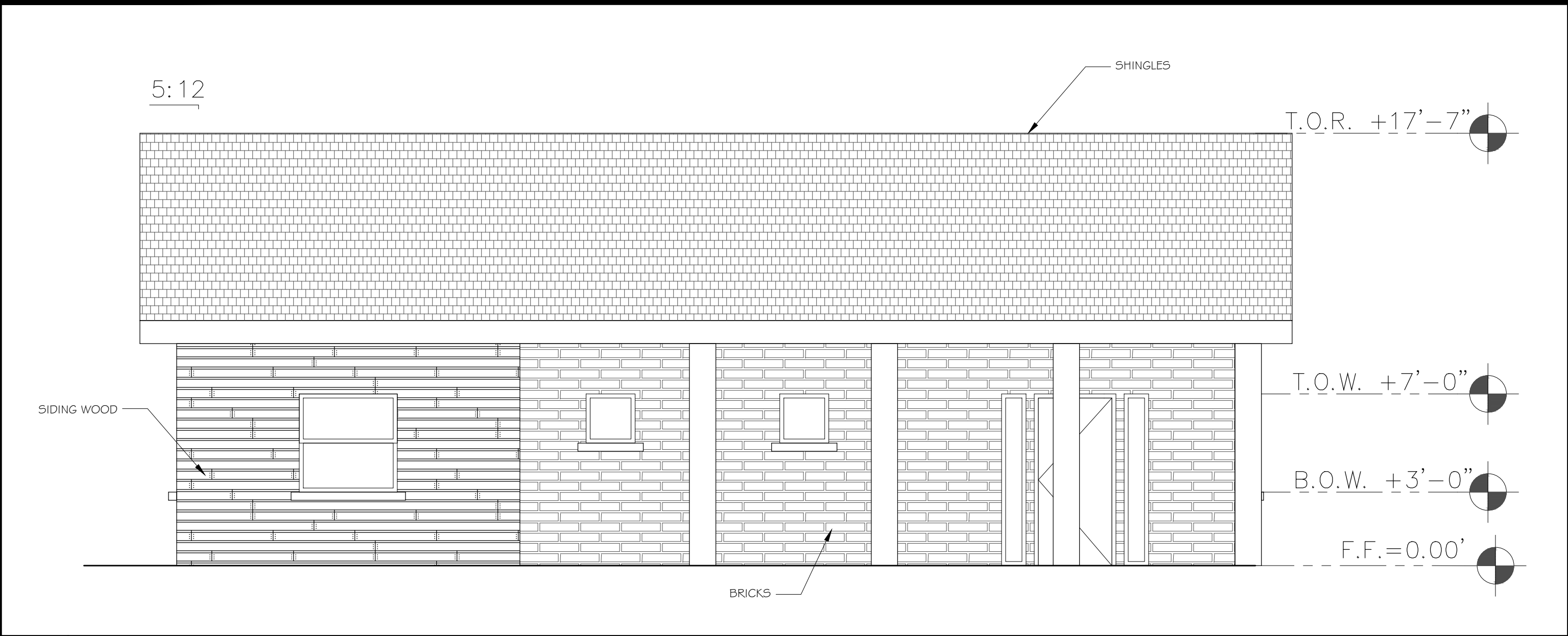
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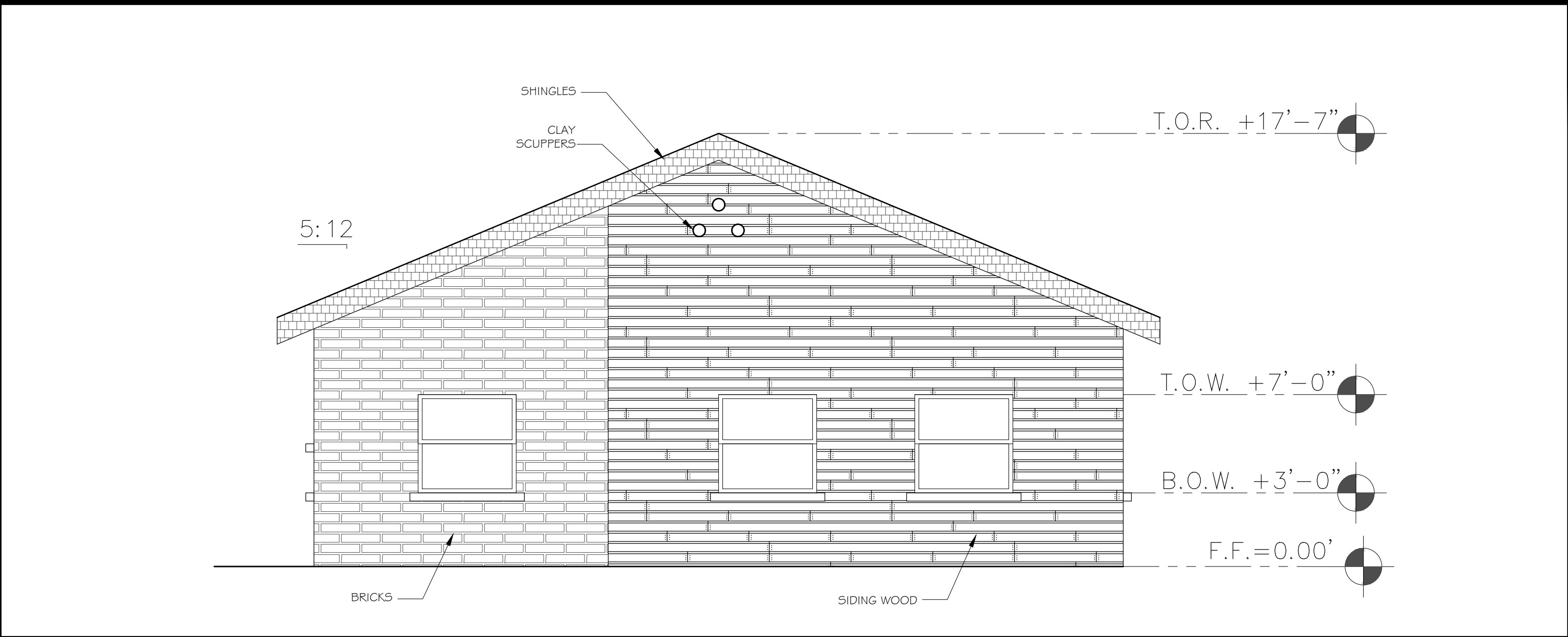
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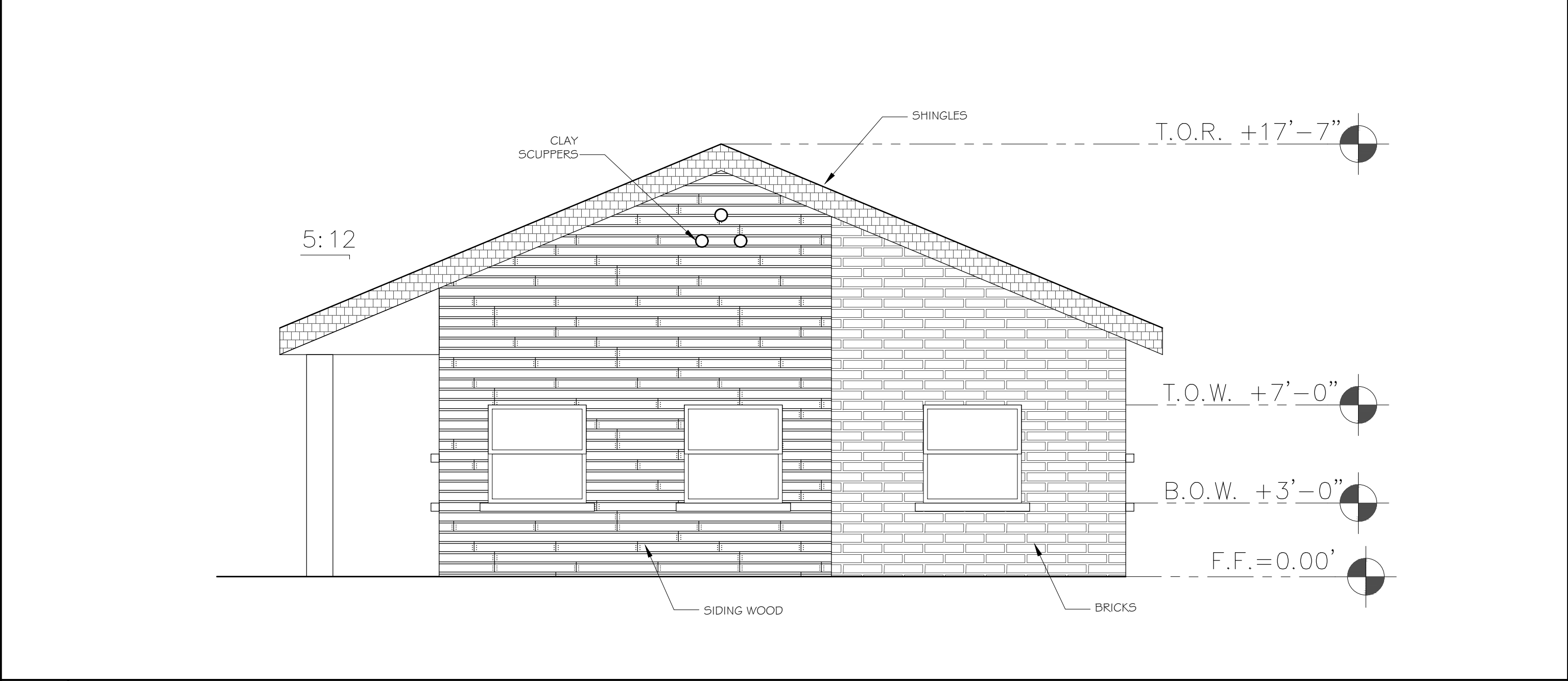
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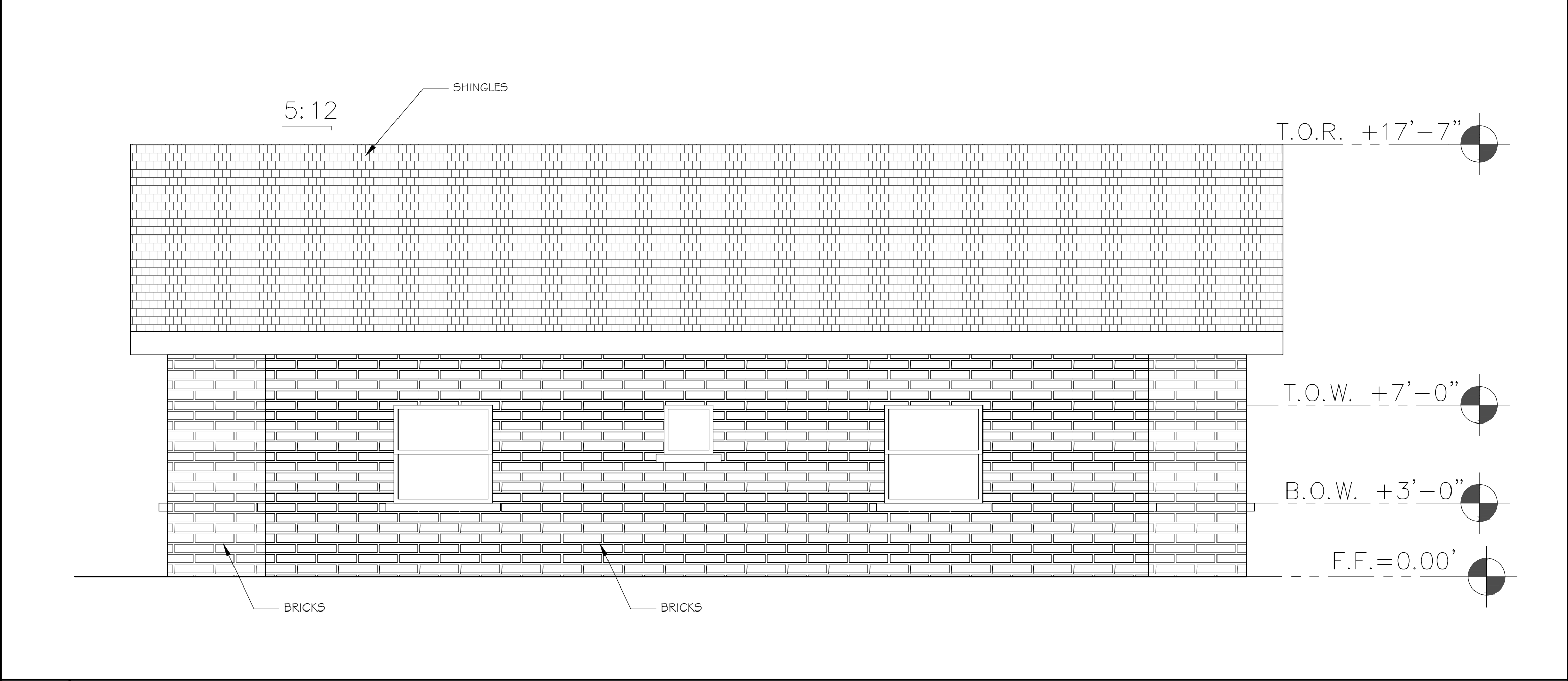
1 NORTH EXTERIOR ELEVATION SCALE : 1/4" 1'-0"



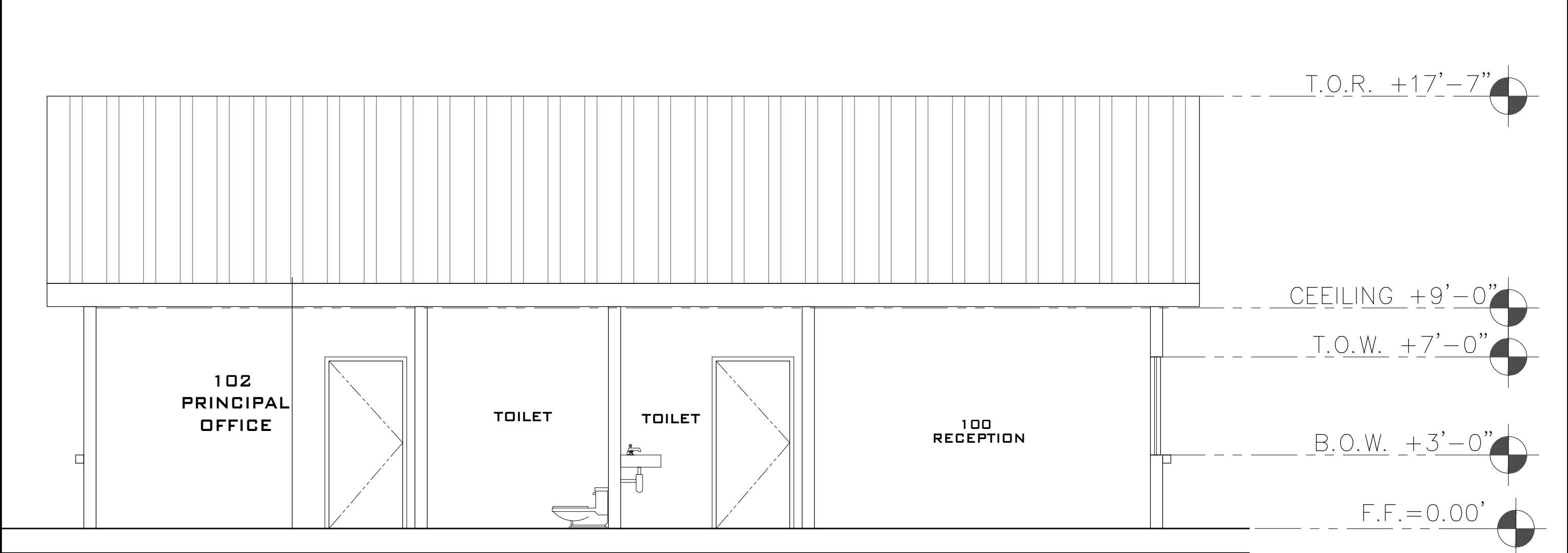
2 WEST EXTERIOR ELEVATION SCALE : 1/4" 1'-0"



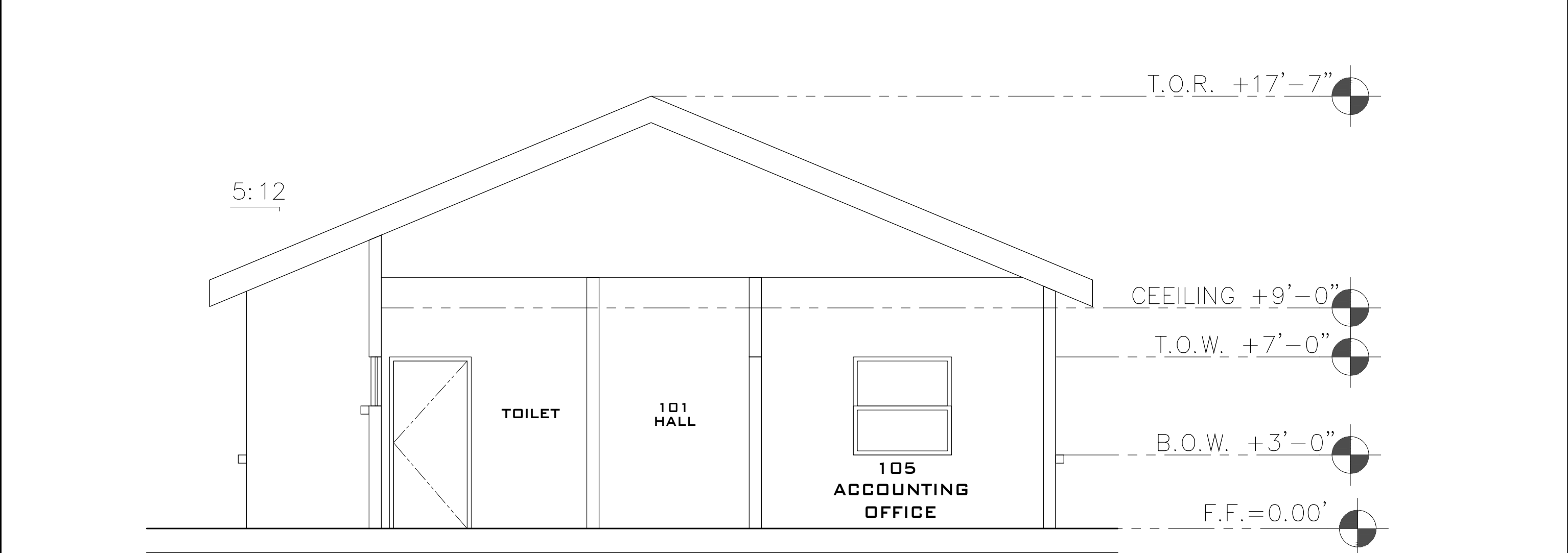
3 EAST EXTERIOR ELEVATION SCALE : 1/4" 1'-0"



4 SOUTH EXTERIOR ELEVATION SCALE : 1/4" 1'-0"



5 OFFICE SECTION SCALE : 1/4" 1'-0"



6 OFFICE SECTION SCALE : 1/4" 1'-0"

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NEW COLD STORAGE EXPANSION
135 ALLISON LANE
ROYAL OAKS, CA. 95076

Sheet Title:
NEW ELEVATION & SECTIONS OFFICE

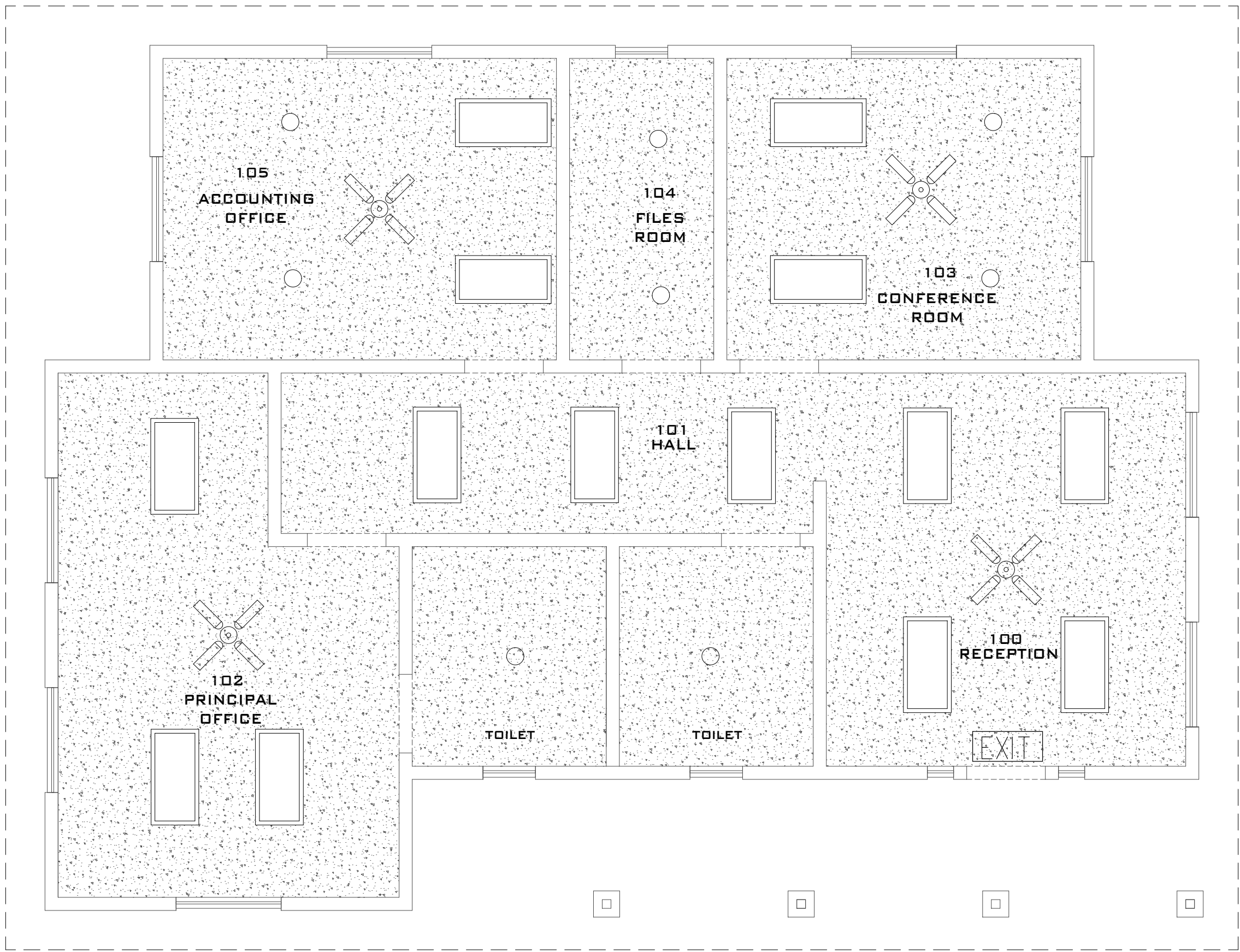
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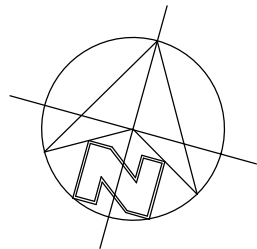
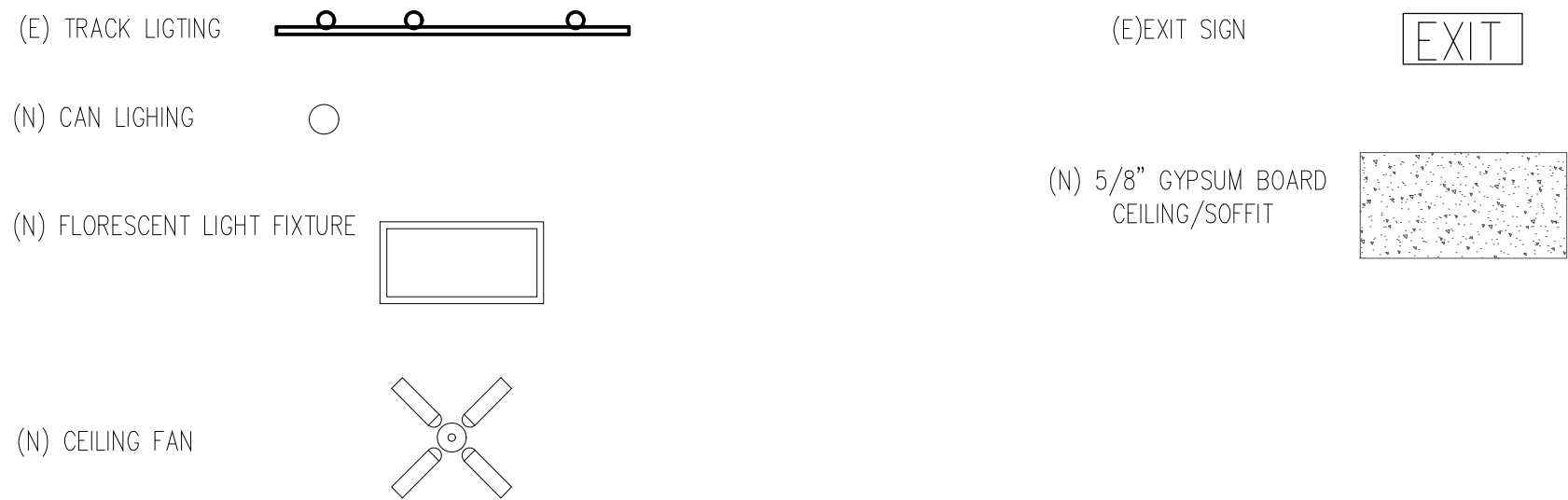
A
4
1



3 (N) REFLECTING CEILING PLAN

SCALE: 1/4"=1'-0"

NOTE: ALL EXISTING U.O.N.
NO SITE WORK PROPOSED



GENERAL CONSTRUCTION NOTES

- NOT ALL NOTES AND SYMBOLS IN THE ELECTRICAL LEGEND ARE NECESSARILY USED FOR THIS PROJECT.
- ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH THE CITY ENGINEER TO DETERMINE FINAL LOCATIONS FOR RECEPTACLE.
- PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.
- MIN. SEPARATION (24 INCHES)-HORIZONTAL FOR ELECTRICAL BOXES (BEHIND IT) ON OPPOSITE SIDE OF FIRE WALL (OUTLET BOXES) PER CBC 709.7
- RECEPTACLE OUTLETS PER CEC 210.52
A. @ 12-FT O.C. MAX. & 6 FT. FROM END OF WALLS. B. @ ANY WALL SPACE 2 FT. OR MORE WIDE.
- VERIFY LOCATION OF ALL OUTLETS WITH CITY ENGINEER PRIOR TO ROUGH-IN.
- GROUPS OF OUTLETS (RECEPTACLES) SHOULD BE CLUSTERED TOGETHER-PROVIDE BLOCKING AS REQUIRED.
- STAGGER ALL OUTLETS SHOWN BACK-TO-BACK: THRU WALL OR OUTLETS AREA NOT PERMITTED, U.O.N.
- PRIOR TO INSTALLING ANY ELECTRICAL MATERIAL WORK, MATERIAL AND WIRING SHALL COMPLY FULLY WITH ALL THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, CITY ELECTRICAL CODE, STATE REGULATIONS, AND ORDINANCES OF AUTHORITIES HAVING JURISDICTION.
- THE ELECTRICAL CONTRACTOR SHALL ARRANGE FOR INSPECTIONS, TESTS AND GIVE REQUIRED NOTICES TO UTILITY REPRESENTATIVES AND CITY BUILDING INSPECTORS RELATIN TO ELECTRICAL WORK. THE ELECTRICAL CONTRACTOR SHALL OBTAIN A CERTIFICATION OF APPROVAL AS REQUIRED BY THE CITY BUILDING DEPARTMENT AND ORDINANCES OF AUTHORITIES HAVING JURISDICTION AND SUBMIT TO THE CITY ENGINEER, BEFORE FINAL ACCEPTANCE OF THE ELECTRICAL WORK.
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FULLY AQUAINT HIMSELF/ HERSELF WITH EXISTING PROJECT CONDITIONS AND VERIFY SERVICES CONNECTIONS INCLUDING ALL NECESSARY PULL BOXES THAT MAY BE REQUIRED BY CODE TO ACHIEVE THE DESIRED ARRANGEMENT OF DRAWING OR ELECTRICAL PLANS, BUT REQUIRED TO MAKE A COMPLETE FUNCTIONAL INSTALLATION.
- ELECTRICAL DRAWINGS ARE DIAGRAMATIC AND INDICATE THE LOCATION OF OUTLETS AND EQUIPMENT WITH THE CIRCUIT ARRANGEMENT OF THE REQUIRED WIRING AND THOUGH NOT NECESSARILY INDICATING THE ACTUAL ROUTES OF CONDUITS, THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS PROPER COORDINATION WITH THE WORK OF THEIR TRADES AND THE AVAILABLE SPACE AS PERMITTED.
- CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH THAT OF OTHERS. PRIOR TO FINISHING HIS/HER WORK, THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER FOR THE PROPER ROUTES OF CONDUITS. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE AND MAINTAIN USE OF THE ELECTRICAL SYSTEM FOR OTHER PARTS OF THE BUILDING.
- SITE SHALL BE SWEEP BROOM CLEAN AFTER COMPLETION OF WORK.
- CONTRACTOR SHALL OBTAIN ELECTRICAL DRAWINGS AND VERIFY ALL WORK REQUIRED FOR POWER AND CONTROL OF ELECTRICAL EQUIPMENT, FURNISH AND INSTALL LINE AND LOW VOLTAGE WIRING, MAGNETIC STARTERS, RELAYS, DISCONNECT SWITCHES, TIME CLOCKS, AND OTHER MATERIAL AND EQUIPMENT REQUIRED TO PROVIDE COMPLETE INTERLOCKING AND OPERATION OF THE ELECTRICAL SYSTEM.
- ALL ELECTRICAL MATERIALS SHALL BE NEW AND SHALL CONFORM TO THE REQUIREMENTS OF AND BE LISTED BY UNDERWRITERS LABORATORIES INC. WHERE SUCH LISTING IS APPLICABLE.

WIRING DEVICES:

- CONNECTORS TO WIRING DEVICES SHALL BE MADE BY EITHER INSERTING THE WIRE IN THE APPROVED OPENING AND SECURING BY TIGHTENING OF A SCREW, OR CURLING THE WIRE AROUND THE SCREW AND TIGHTENING. SPRING PRESSURE HELD "SNAP-IN" CONNECTIONS ARE NOT ACCEPTABLE.
- BANK OF SWITCHES SHALL BE GROUNDED TOGETHER UNDER COMMON MULTI-GANG DEVICES PLATE. BARRIERS SHALL BE PROVIDED BETWEEN ADJACENT SWITCHES WHEN SUCH SWITCHES ARE NOT FED BY THE SAME CIRCUIT.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. NON CURRENT CARRYING METAL PARTS OF ALL ELECTRICAL EQUIPMENT SHALL BE PERMANENTLY AND EFFECTIVELY GROUNDED. CONTINUITY OF GROUND SHALL BE MAINTAINED THROUGHOUT THE CONDUIT SYSTEM. GROUND BUSHING AND JUMPERS SHALL BE USED WHENEVER CONDUIT TERMINATION DOES NOT INSURE CONTINUITY GROUND.

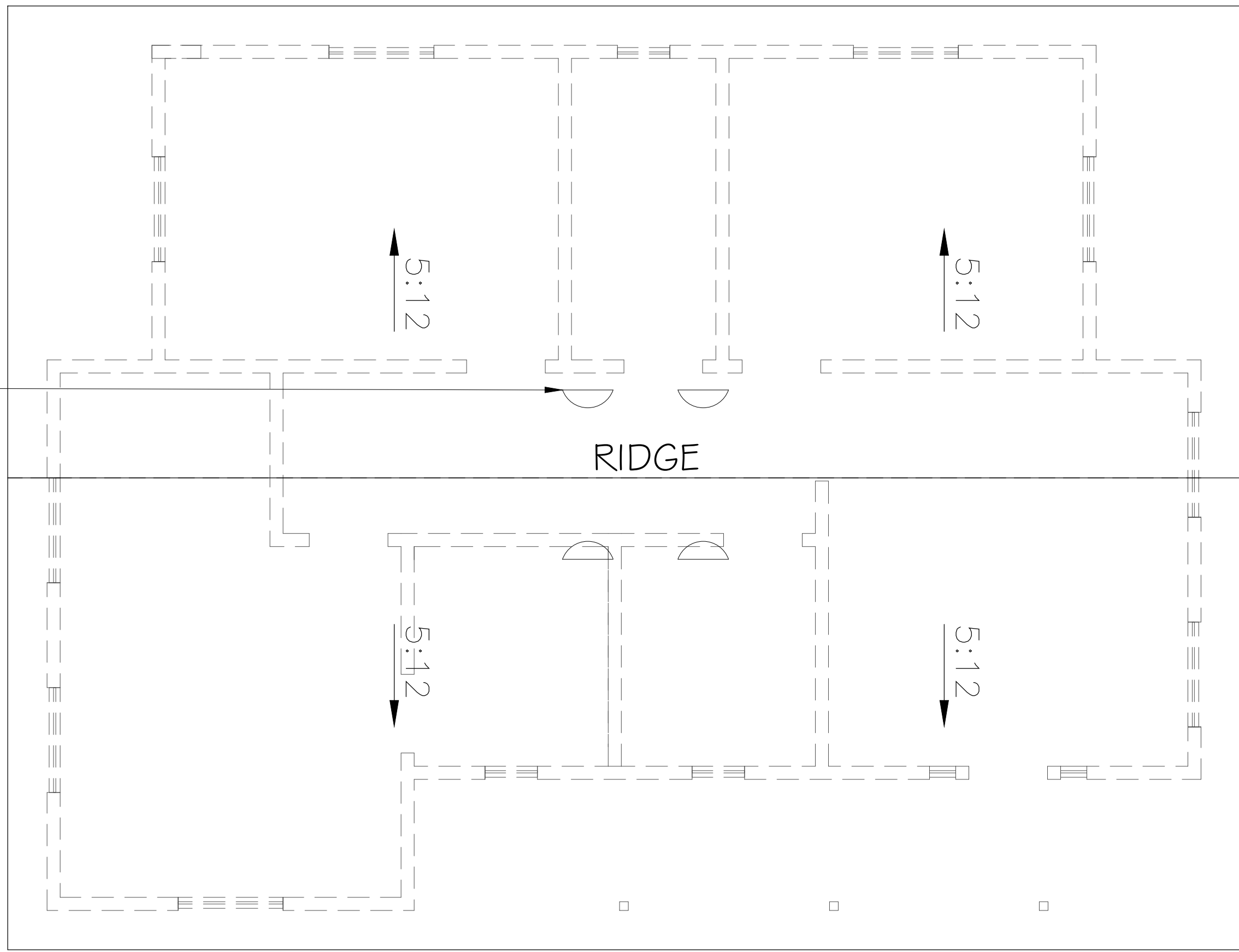
EMPTY CONDUITS/STUB-OUTS:

- PROVIDE NYLON PULL LINES IN ALL EMPTY CONDUITS STUBS & TAG AS THE USAGE (I.E. TELEPHONE", ETC.)

CONDUIT INSTALLATION:

- ALL NEW CONDUIT SHALL BE RUN CONSEALED IN EXISTING OR NEW WALLS AND CEILINGS, U.O.N
- EXISTING CONCEALED CONDUITS WHICH ARE TO BE ABANDONED-IN-PLACE MAY BE REUSED FOR NEW WIRING INSTALLATIONS WHERE PRACTICAL.
- FOR NEW WORK IN EXISTING WALLS, FLEXIBLE METAL CONDUIT (WITH CODE SIZED GROUND WIRE) MAY BE USED IN LIEU OF SPECIFIED EMT WHERE "FISHING SHALL REDUCE CUTTING AND PATCHING.

ROOF MOUNTED
VENTS FOR ATTIC
EATER (2 SQ. FT.)



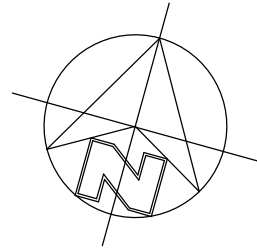
4 (N) ROOF PLAN

SCALE: 1/4"=1'-0"

ATTIC VENTILATION:

1. PROVIDE ET FREE VENTILATION NOT LESS THAN 1/150' OF ATTIC AREA
2. AT ENCLOSED CEILINGS A READILY ACCESSIBLE ATTIC ACCESS MINIMUM 22 INCH BY 30 INCH, LOCATED WHERE AT LEAST 30 INCHES OF UNOBSTRUCTED HEADROOM OCCURS. (CRC R306.2)

ROOF AREA
1,692 S.F./150 = 11.28 S.F. = 135.36 SQ.IN.



RECESSED FIXTURES

- COORDINATE INSTALLATION OF ALL RECESSED LIGHT FIXTURES WITH THE CEILING STRUCTURE AND EQUIPMENT OF OTHER TRADES.
- INSTALL BLOCKING FOR FIXTURE SUPPORTS WHERE REQUIRED, WHERE CONFLICT WITH JOINS PATTERN OCCURS, COORDINATE WITH GENERAL CONTRACTOR THE HEAD OFF JOISTS AS REQUIRED.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT WHERE CONFLICTS WITH CEILING DEPTHS OR PIPING, DUCT WORK, ETC. OCCURS.

ELECTRICAL NOTES

- LIGHT FIXTURES INSTALLED IN WET OR DAMP LOCATIONS (BATHTUB, SHOWER, EXTERIOR, ETC.) SHALL BE LABELED. LIGHTS IN CLOTHES CLOSETS TO COMPLY WITH ARTICLE 410-8, NEC FOR CLEARANCES.
- PROVIDE A PERMANENT 100 W LIGHT FIXTURE AT OR NEAR FURNACE AND WATER HEATER LOCATIONS CONTROLLED BY A SWITCH AT PASSAGEWAY OPENING OR ACCESS DOOR. HVAC EQUIPMENT TO BE SERVED BY A DEDICATED AND INDIVIDUAL BRANCH AIR UNIT.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20 AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. ART. 210-52, CEC. AT KITCHEN, PROVIDE 2 SEPARATE 20 AMP CIRCUITS FOR KITCHEN APPLIANCES WITH AS OTHER OUTLETS ON THE CIRCUITS. PROVIDE ONE MINIMUM 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

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NEW COLD STORAGE EXPANSION

135 ALLISON LANE
ROYAL OAKS, CA. 95076

Sheet Title:
PROPOSED (N) CEILING & ROOF PLAN



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A

42

Technical drawing of a lavatory fixture showing side elevation and dimensions. The drawing includes the following components and labels:

- TOILET TISSUE DISPENSER**: Located at the top left, with a dimension of **19" MIN.** from the wall.
- STAINLESS STEEL GRAB BARS**: Two horizontal bars, one above and one below the toilet tissue dispenser, with a dimension of **18"** between them.
- MIRROR ON WALL SURFACE**: A large rectangular mirror on the right wall.
- SOAP DISPENSER**: A wall-mounted dispenser below the mirror.
- PAPER TOWEL DISPENSER**: A wall-mounted dispenser below the soap dispenser.
- TOILET**: A standard toilet fixture in the center.
- Drainage**: A floor drain is shown below the toilet, with a dimension of **29" MIN.** from the wall.
- Clearance**: A circular symbol with the text **8" MIN.** indicates the minimum clearance from the floor to the bottom of the toilet tissue dispenser.
- Notes**:
 - HOT WATER AND DRAIN PIPES EXPOSED UNDER SINKS SHALL BE PROTECTED AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS.**

7
A-5

FLOOR TILE

48" WAINSCOT TYPE (FRP)

CONTINUOUS VANE
5" COVERED BASE (FRP)

29" CLR.

40" TO BOTTOM OF MIRROR

SINK

Faucets shall be lever-operated, controls shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. (UPC 1504.1.3)

C ELEVATION
SCALE: 1/2"=1'-0"

A ELEVATION
SCALE: 1/2"=1'-0"

B ELEVATION
SCALE: 1/2"=1'-0"

A ELEVATION
SCALE: 1/2"=1'-0"

9	RESTROOM ELEVATIONS (TYP.)
---	----------------------------

Technical drawing of a 48" WAINSCOTE (FRP) assembly. The drawing shows a cross-section of the assembly with the following components and dimensions:

- 48" WAINSCOTE (FRP)**: The main horizontal component.
- FRP TRIM**: The vertical component on the right side.
- 1/2" GYP. BOARD (MOISTURE RESISTANT)**: The layer behind the FRP wainscote.
- 2X6 SOLID BACKING**: The vertical support structure behind the gyp. board.
- "HILT" DN 72 PDR FASTENER @ 36" O.C. AND 6" FROM EDGES**: The fasteners securing the wainscote to the backing.
- 1 1/2" Ø MAX. STAINLESS STEEL GRABBAR**: The horizontal grab bar.
- 1 1/2" CREAR**: The clearance between the grab bar and the wainscote.
- 5" H. VINYL COVER**: The vertical cover on the left side.
- TILE**: The wall covering on the left side.

5" COVED BASE

5/8" GYP. BOARD BOTH SIDES

2x4 @ 16" O.C. W/ R11 INSULATION

"4L 1" DN 72 PBR FASTENER @ 36" O.C. AND 6" FROM EDGES

Diagram illustrating the bottom section of a door assembly, showing the threshold and door components. The diagram includes the following dimensions and labels:

- THRESHOLD**: The top horizontal surface of the door frame.
- 10" MAX.**: The maximum height of the threshold above the floor.
- DOOR**: The main body of the door, shown with a hatched pattern.
- 10" KICK PLATE**: The vertical plate attached to the bottom of the door.
- 1/2" MAX.**: The maximum height of the kick plate.
- 4" MAX.**: The maximum width of the kick plate.
- 2 1/2" MAX.**: The maximum height of the threshold flange on the left side.

THE BOTTOM 4" OF ALL DOORS IN THE PATH OF TRAVEL EXCEPT AUTOMATICALLY CLOSING DOORS SHALL BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A HAZARDOUS CONDITION PER CBC SECTION 11336.2.

ELEVATION VIEW

NOT TO SCALE

17" MIN.

SPAN

KNEE CLEARANCE

6" MAX.

9" MIN.

27" MIN.

29" MIN.

NO HIGHER THAN 24"

ABOVE FINISHED FLOOR OF THE APRON

PLAN VIEW

NOT TO SCALE

30" MIN.

19" MIN.

48" MIN.

CLEAR FLOOR SPACE

17" MIN.

18" MIN.


8	WALL ACCESSORY BACKING	SCALE: 1" = 1'-0"
---	------------------------	-------------------

7 NEW WALL-INTERIOR NON-BEARING 1/2" 1'-0"

6	THRESHOLD DETAIL
---	------------------

[illegible]

NOTE:
LETTERING STYLE:
HELVEITICA REGULAR
GRADE 2
BRAILLE, TYP.



UNISEX TOILET ROOM SIGN

12"

4	ACCESSIBLE SIGN
---	-----------------

The use of these plans and specifications is restricted to the original site for which they were prepared.

3	TOILET ROOM SIGNS
---	-------------------

N.T.S	2
plans and specifications	

$1/2'' = 1'-0''$	1	FLOOR PLAN
------------------	---	------------

7'-0"

1-1/4 TO 2" ØX36" STAINLESS STEEL GRABBAR

6"

12" MAX. STAINLESS STEEL GRABBAR

1-1/4 TO 2" ØX42"

7'-0"

30"

48"

65'-0"

RESTROOM

C A5 B D

4C A5

6 A5

3C A5

REV:	DATE:	DESCRIPTION:

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NEW COLD STORAGE EXPANSION

135 ALLISON LANE
ROYAL OAKS, CA. 95076

Sheet Title:
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