

Exhibit D

This page intentionally left blank.

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION OF ANY MEANS, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. - TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. SMALL CONSTRUCTION SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. _DD_

MILLER RESIDENCE

24275 Via Malpaso - Monterra Lot #18

Monterey, CA 93940

REVISIONNo.

CONSULTANT:

ARCHITECT

COVER SHEET

DATE: FEB. 11, 2020

SCALE: N.T.S.

DRAWN: SSH

JOB NUMBER: 16.23

A-0.1

SHEET OF

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE

MONTEREY, CA 93940

PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

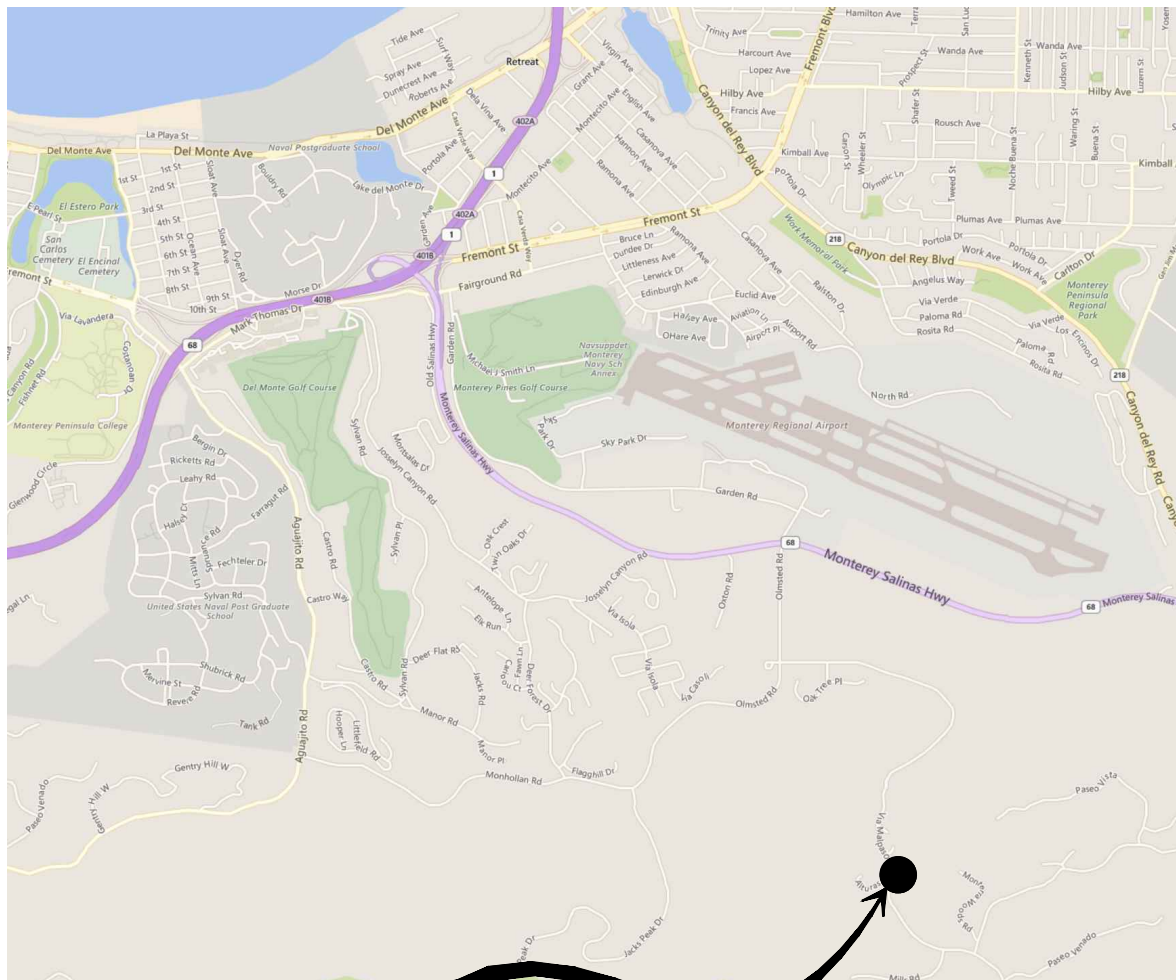
JOB NAME:

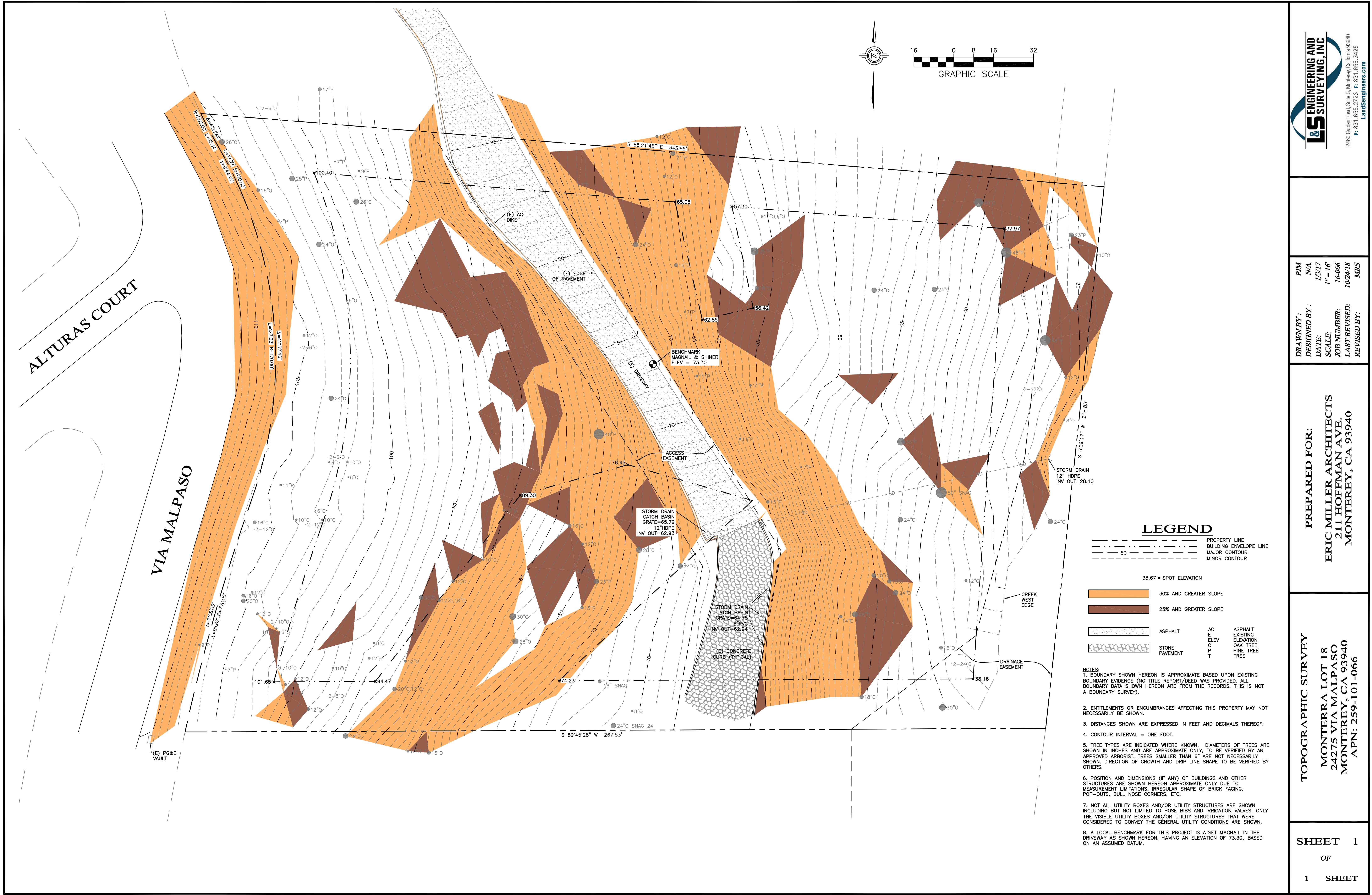
Miller Residence

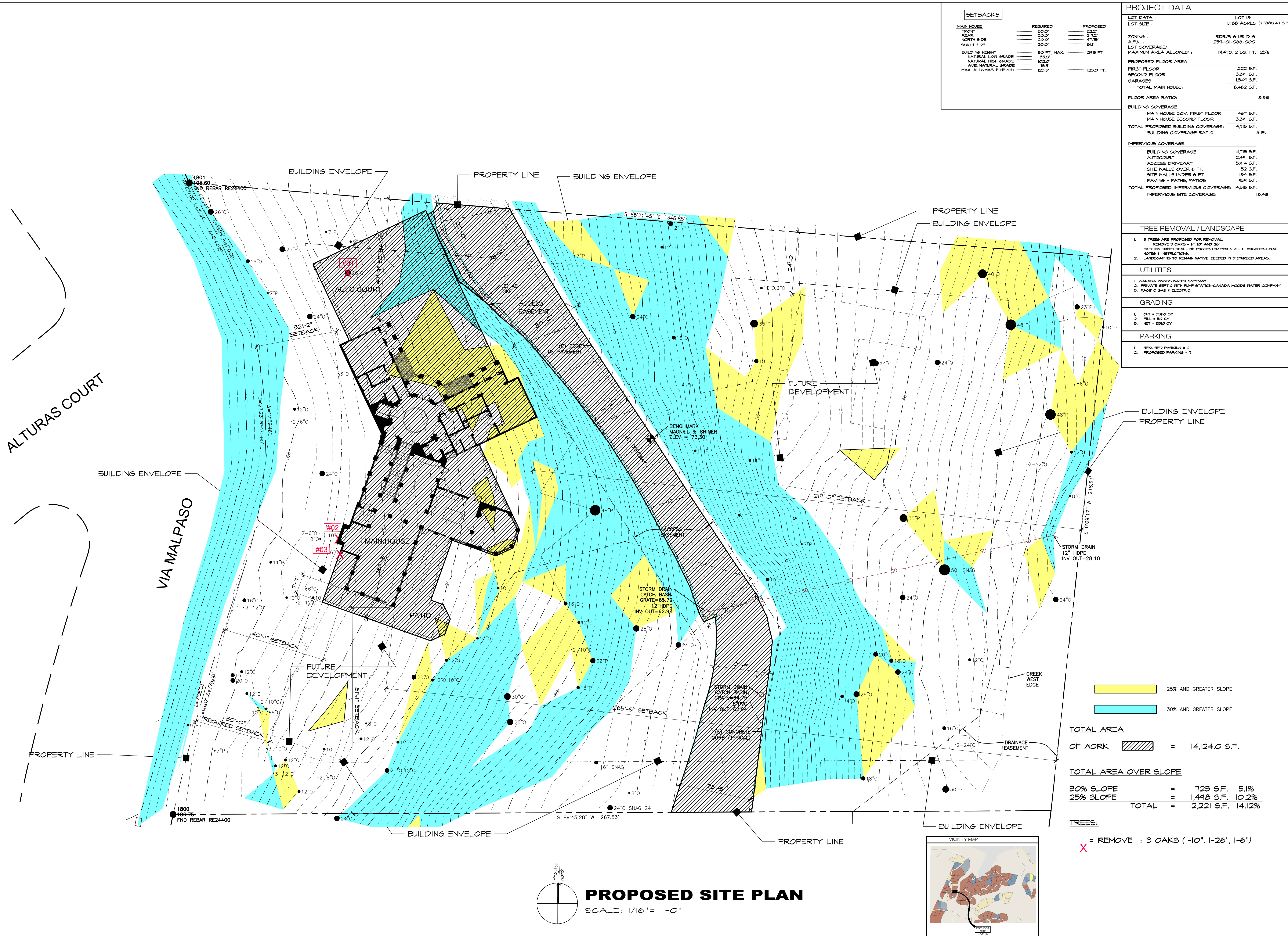
24275 Via Malpaso - Lot 18

Monterey, California 93940

A.P.N. 254-101-066-000

LEGEND		PROJECT DATA	PROJECT INFORMATION	SHEET INDEX																																																														
APPROX. APPROXIMATE BLDG. BUILDING CLR. CLEAR CONG. BLK. ... CONCRETE BLOCK CTR. CENTER D.F. DOUGLAS FIR DIA. DIAMETER DWS. DRAWING (E) EXISTING EA. EACH EQ. EQUAL EXT. EXTERIOR F.F. FINISH FLOOR FND. FOUNDATION FLR. FLOOR FTG. FOOTING GWB. GYPSUM BOARD INT. INTERIOR JST. JOIST MAX. MAXIMUM MIN. MINIMUM N.T.S. NOT TO SCALE O / OVER O.C. ON CENTER PL. PLATE P.T.D.F. PRESSURE TREATED PLYMD. PLYWOOD REG'D. REQUIRED S.S.D. SEE STRUCTURAL DRAWINGS SIM. SIMILAR SPEC'S. SPECIFICATIONS SQ. SQUARE STD. STANDARD T & G TONGUE & GROOVE TYP. TYPICAL U.O.N. UNLESS OTHERWISE NOTED VERT. VERTICAL W. WITH W/O WITHOUT	SETBACKS <table><tr><th>MAIN HOUSE</th><th>REQUIRED</th><th>PROPOSED</th></tr><tr><td>FRONT</td><td>30.0'</td><td>32.2'</td></tr><tr><td>REAR</td><td>20.0'</td><td>217.2'</td></tr><tr><td>NORTH SIDE</td><td>20.0'</td><td>47.75'</td></tr><tr><td>SOUTH SIDE</td><td>20.0'</td><td>81.1'</td></tr><tr><td>BUILDING HEIGHT</td><td>30 FT., MAX.</td><td>24.5 FT.</td></tr><tr><td>NATURAL LOW GRADE</td><td>85.0'</td><td></td></tr><tr><td>NATURAL HIGH GRADE</td><td>102.0'</td><td></td></tr><tr><td>AVE. NATURAL GRADE</td><td>43.5'</td><td></td></tr><tr><td>MAX. ALLOWABLE HEIGHT</td><td>123.5'</td><td>123.0 FT.</td></tr></table>	MAIN HOUSE	REQUIRED	PROPOSED	FRONT	30.0'	32.2'	REAR	20.0'	217.2'	NORTH SIDE	20.0'	47.75'	SOUTH SIDE	20.0'	81.1'	BUILDING HEIGHT	30 FT., MAX.	24.5 FT.	NATURAL LOW GRADE	85.0'		NATURAL HIGH GRADE	102.0'		AVE. NATURAL GRADE	43.5'		MAX. ALLOWABLE HEIGHT	123.5'	123.0 FT.	LOT DATA : LOT 18 LOT SIZE : 1.788 ACRES (17,880.41 S.F.) ZONING : RDR/B-6-UR-D-S A.P.N. : 254-101-066-000 LOT COVERAGE/ MAXIMUM AREA ALLOWED : 19,470.12 SQ. FT. 25% PROPOSED FLOOR AREA: <table><tr><td>FIRST FLOOR:</td><td>1,222 S.F.</td></tr><tr><td>SECOND FLOOR:</td><td>3,891 S.F.</td></tr><tr><td>GARAGES:</td><td>1,349 S.F.</td></tr><tr><td>TOTAL MAIN HOUSE:</td><td>6,462 S.F.</td></tr></table> FLOOR AREA RATIO: 8.3% BUILDING COVERAGE: <table><tr><td>MAIN HOUSE COV. FIRST FLOOR</td><td>467 S.F.</td></tr><tr><td>MAIN HOUSE SECOND FLOOR</td><td>3,891 S.F.</td></tr><tr><td>TOTAL PROPOSED BUILDING COVERAGE:</td><td>4,715 S.F.</td></tr><tr><td>BUILDING COVERAGE RATIO:</td><td>6.1%</td></tr></table> IMPERVIOUS COVERAGE: <table><tr><td>BUILDING COVERAGE</td><td>4,715 S.F.</td></tr><tr><td>AUTOCOURT</td><td>2,491 S.F.</td></tr><tr><td>ACCESS DRIVEWAY</td><td>5,914 S.F.</td></tr><tr><td>SITE WALLS OVER 6 FT.</td><td>52 S.F.</td></tr><tr><td>SITE WALLS UNDER 6 FT.</td><td>184 S.F.</td></tr><tr><td>PAVING - PATHS, PATIOS</td><td>959 S.F.</td></tr><tr><td>TOTAL PROPOSED IMPERVIOUS COVERAGE:</td><td>14,315 S.F.</td></tr><tr><td>IMPERVIOUS SITE COVERAGE:</td><td>18.4%</td></tr></table>	FIRST FLOOR:	1,222 S.F.	SECOND FLOOR:	3,891 S.F.	GARAGES:	1,349 S.F.	TOTAL MAIN HOUSE:	6,462 S.F.	MAIN HOUSE COV. FIRST FLOOR	467 S.F.	MAIN HOUSE SECOND FLOOR	3,891 S.F.	TOTAL PROPOSED BUILDING COVERAGE:	4,715 S.F.	BUILDING COVERAGE RATIO:	6.1%	BUILDING COVERAGE	4,715 S.F.	AUTOCOURT	2,491 S.F.	ACCESS DRIVEWAY	5,914 S.F.	SITE WALLS OVER 6 FT.	52 S.F.	SITE WALLS UNDER 6 FT.	184 S.F.	PAVING - PATHS, PATIOS	959 S.F.	TOTAL PROPOSED IMPERVIOUS COVERAGE:	14,315 S.F.	IMPERVIOUS SITE COVERAGE:	18.4%	OWNER: ERIC AND GRETA MILLER TRUSTEES OF THE MILLER TRUST 130 ASILOMAR BLVD. PACIFIC GROVE, CA 93950 PH: (831)915-4677 PROJECT ADDRESS: 24275 VIA MALPASO MONTERRA, LOT #18 MONTEREY, CA 93940 ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PH: 831-372-0410 LAND SURVEYOR: L&S ENGINEERING AND SURVEYING, INC. 2460 GARDEN ROAD, SUITE 6 MONTEREY, CA 93940 PH: 831-655-2123 PROJECT DESCRIPTION: NEW SINGLE FAMILY DWELLING HAVING 4 BEDROOMS, 4 BATHS, ONE HALF BATH, AND TWO 2-CAR GARAGES. 577.2 L.F. OF RETAINING WALLS, WHICH INCLUDES 128.33 L.F. GREATER THAN 6 FEET IN HEIGHT.	ARCHITECTURAL A-0.1 COVER SHEET I OF I TOPOGRAPHIC MAP A-1.0 PROPOSED SITE PLAN A-1.1 ENLARGED SITE PLAN A-1.2 CONSTRUCTION MANAGEMENT PLAN A-2.0 PROPOSED FIRST FLOOR PLAN MAIN HOUSE A-2.1 PROPOSED SECOND FLOOR PLAN MAIN HOUSE A-2.2 PROPOSED ROOF PLAN MAIN HOUSE A-3.1 PROPOSED MAIN HOUSE ELEVATIONS A-3.2 PROPOSED BUILDING SECTIONS A-7.1 MATERIAL SAMPLES A-8.0 DETAILS CIVIL C-1 MAIN RESIDENCE SITE GRADING PLAN C-2 DRIVEWAY TURNAROUND SITE GRADING PLAN C-3 SITE UTILITY PLAN C-4 EROSION CONTROL PLAN C-5 ACCESSORY DWELLING UNIT SITE GRADING PLAN C-6 EROSION CONTROL PLAN LANDSCAPE LS-1.0 PROPOSED SITE PLAN LS-1.1 FUEL MANAGEMENT PLAN LS-2.0 CONCEPTUAL LANDSCAPE PLAN LS-3.0 CONCEPTUAL LIGHTING PLAN
MAIN HOUSE	REQUIRED	PROPOSED																																																																
FRONT	30.0'	32.2'																																																																
REAR	20.0'	217.2'																																																																
NORTH SIDE	20.0'	47.75'																																																																
SOUTH SIDE	20.0'	81.1'																																																																
BUILDING HEIGHT	30 FT., MAX.	24.5 FT.																																																																
NATURAL LOW GRADE	85.0'																																																																	
NATURAL HIGH GRADE	102.0'																																																																	
AVE. NATURAL GRADE	43.5'																																																																	
MAX. ALLOWABLE HEIGHT	123.5'	123.0 FT.																																																																
FIRST FLOOR:	1,222 S.F.																																																																	
SECOND FLOOR:	3,891 S.F.																																																																	
GARAGES:	1,349 S.F.																																																																	
TOTAL MAIN HOUSE:	6,462 S.F.																																																																	
MAIN HOUSE COV. FIRST FLOOR	467 S.F.																																																																	
MAIN HOUSE SECOND FLOOR	3,891 S.F.																																																																	
TOTAL PROPOSED BUILDING COVERAGE:	4,715 S.F.																																																																	
BUILDING COVERAGE RATIO:	6.1%																																																																	
BUILDING COVERAGE	4,715 S.F.																																																																	
AUTOCOURT	2,491 S.F.																																																																	
ACCESS DRIVEWAY	5,914 S.F.																																																																	
SITE WALLS OVER 6 FT.	52 S.F.																																																																	
SITE WALLS UNDER 6 FT.	184 S.F.																																																																	
PAVING - PATHS, PATIOS	959 S.F.																																																																	
TOTAL PROPOSED IMPERVIOUS COVERAGE:	14,315 S.F.																																																																	
IMPERVIOUS SITE COVERAGE:	18.4%																																																																	
		TREE REMOVAL / LANDSCAPE 1. 3 TREES ARE PROPOSED FOR REMOVAL. REMOVE 3 OAKS - 6", 10" AND 26" EXISTING TREES SHALL BE PROTECTED PER CIVIL & ARCHITECTURAL NOTES & INSTRUCTIONS. 2. LANDSCAPING TO REMAIN NATIVE, SEEDED IN DISTURBED AREAS.																																																																
		UTILITIES 1. CANADA WOODS WATER COMPANY 2. PRIVATE SEPTIC WITH PUMP STATION-CANADA WOODS WATER COMPANY 3. PACIFIC GAS & ELECTRIC																																																																
		GRADING 1. CUT = 2560 CY 2. FILL = 15 CY 3. NET = 2545 CY																																																																
		PARKING 1. REQUIRED PARKING = 2 2. PROPOSED PARKING = 7	LOCATION MAP 	VICINITY MAP 																																																														





REVISION		No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

PROPOSED SITE PLAN

JOB NAME: **Miller Residence**
24275 Via Malpaso - Lot 18
Monterey, California 93940
A.P.N. 254-101-066-000

DATE: FEB. 11, 2020

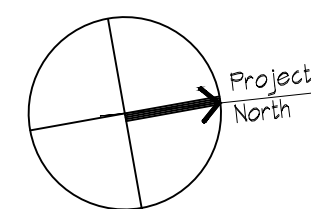
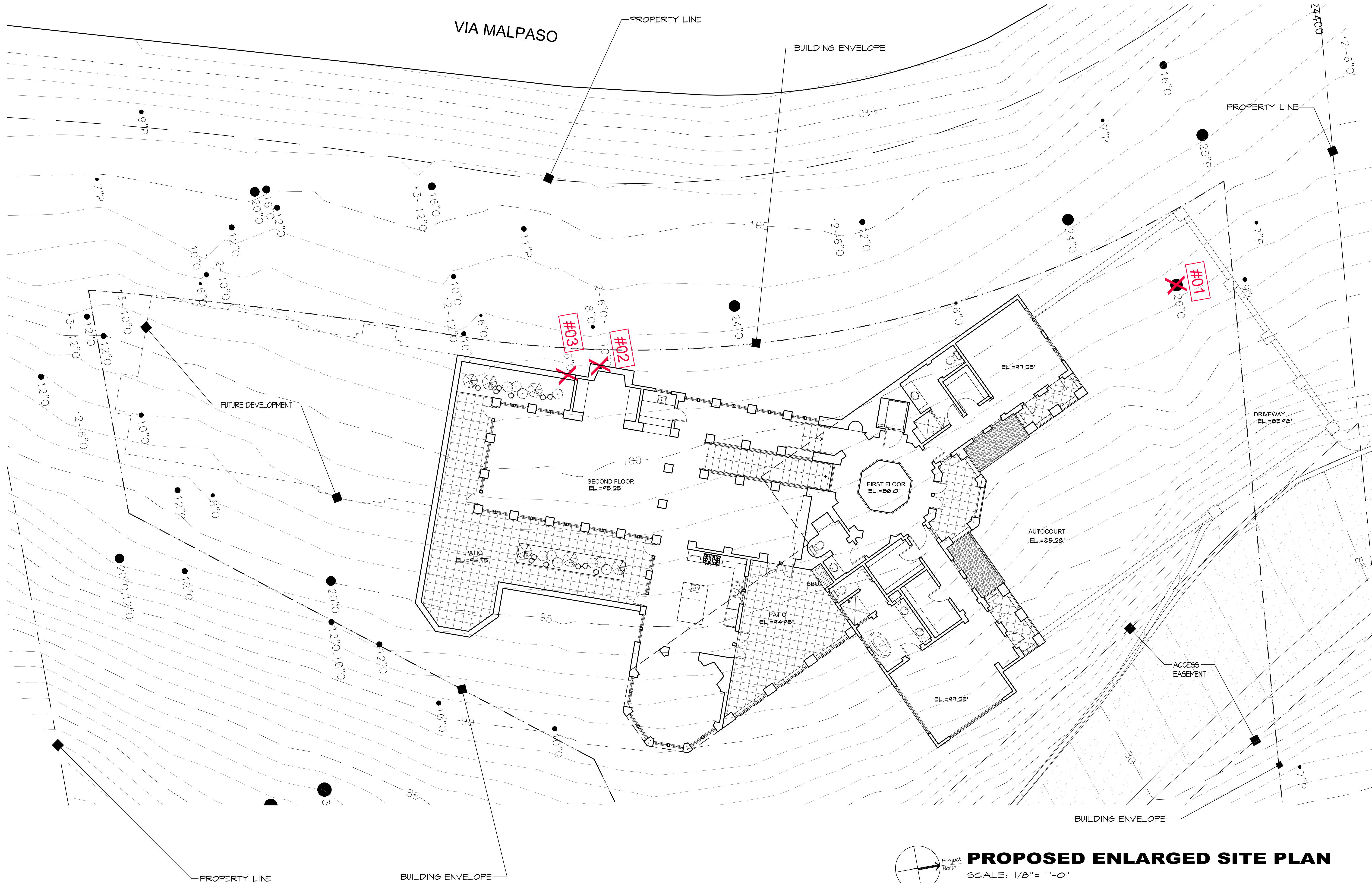
SCALE: 1/16"=1'-0"

DRAWN: SSM

JOB NUMBER: 16.23

A-1.0

SHEET OF



PROPOSED ENLARGED SITE PLAN

SCALE: 1/8" = 1'-0"

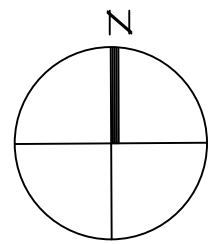
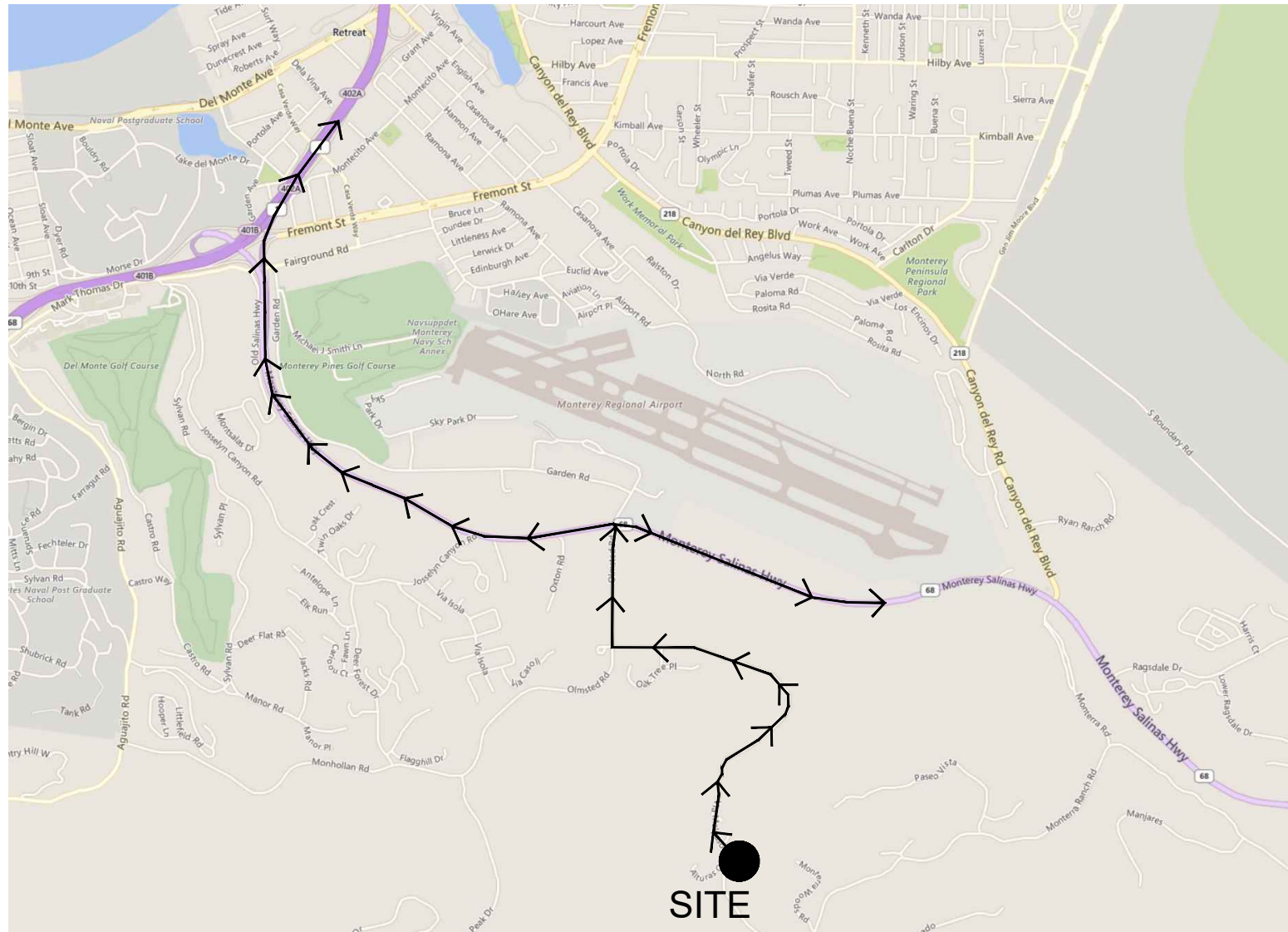
REVISION		No.
CONSULTANT:		
ARCHITECT		
PROPOSED ENLARGED SITE PLAN		
JOB NAME:		
DATE: FEB. 11, 2020		
SCALE: 1/8"=1'-0"		
DRAWN: SSH		
JOB NUMBER: 16.23		
A-1.1		
SHEET OF		

ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

Miller Residence
24275 Via Malpaso - Lot 18
Monterey, California 93940
A.P.N. 259-101-066-000

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION OF ANY MEANS, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. SOME CONFLICT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FINAL EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

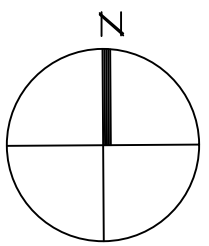
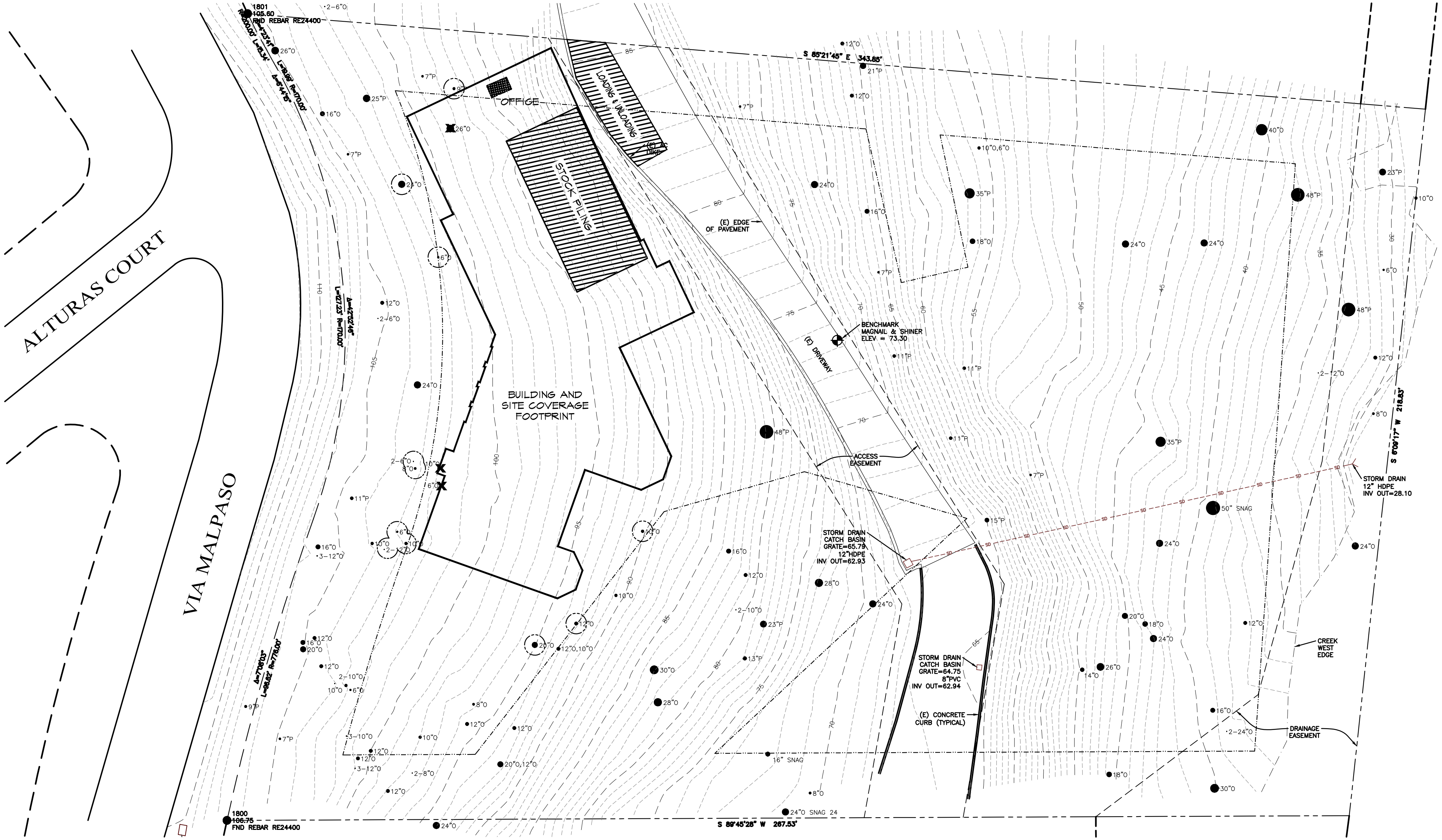
_DD



PROPOSED TRAVEL ROUTES

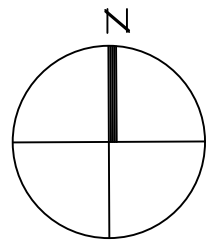
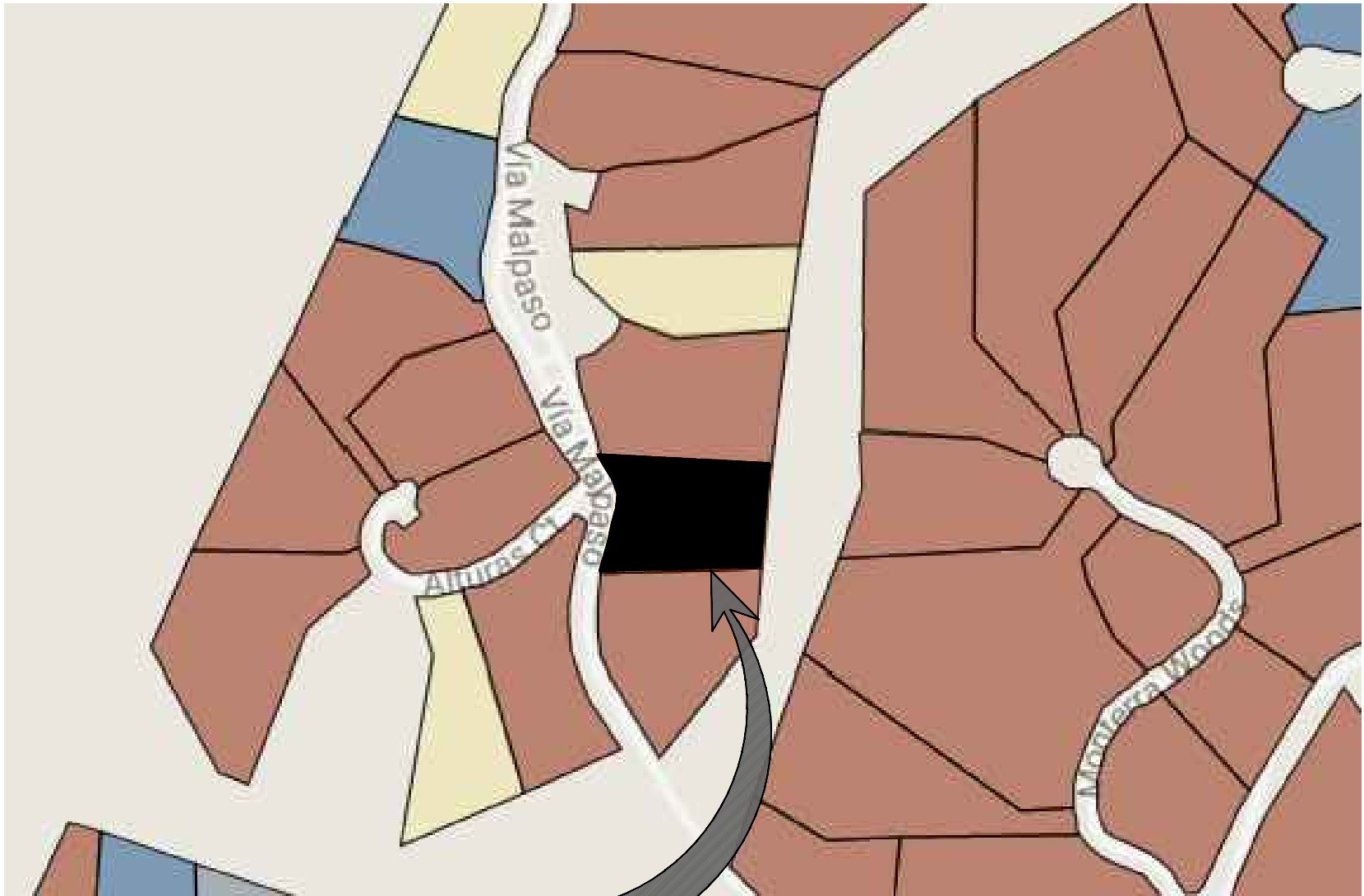
SCALE: N.T.S.

CONSTRUCTION MANAGEMENT SUMMARY	
CONSTRUCTION DATES	JUNE 2020 - DEC. 2021
HOURS OF OPERATION	7:30 A.M. TO 4:00 P.M.
VEHICLES	- GRADING & SOIL REMOVAL : 10 DAYS - 8 CONSTRUCTION VEHICLES DAILY - 3 MATERIAL DELIVERY VEHICLES WEEKLY
GRADINGS	- CUT : 3,060 CU. YDS. - FILL : 50 CU. YDS. - EXPORT: 3,010 CU. YDS.
ROUTES FOR VEHICLES (SEE MAP)	FROM DRIVEWAY, RIGHT ONTO VIA MALPASO, RIGHT ONTO OLMSTEAD RD. THEN EITHER LEFT ONTO 68 TO 101 OR RIGHT ONTO 68 TO SALINAS
INDIVIDUAL TREE PROTECTION	○ TREE TO BE PROTECTED. TREES IN CONSTRUCTION AREA TO REMAIN, WRAP TRUNKS, FENCING.
TREES TO BE REMOVED	✕



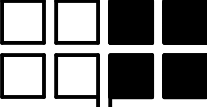
SITE PLAN

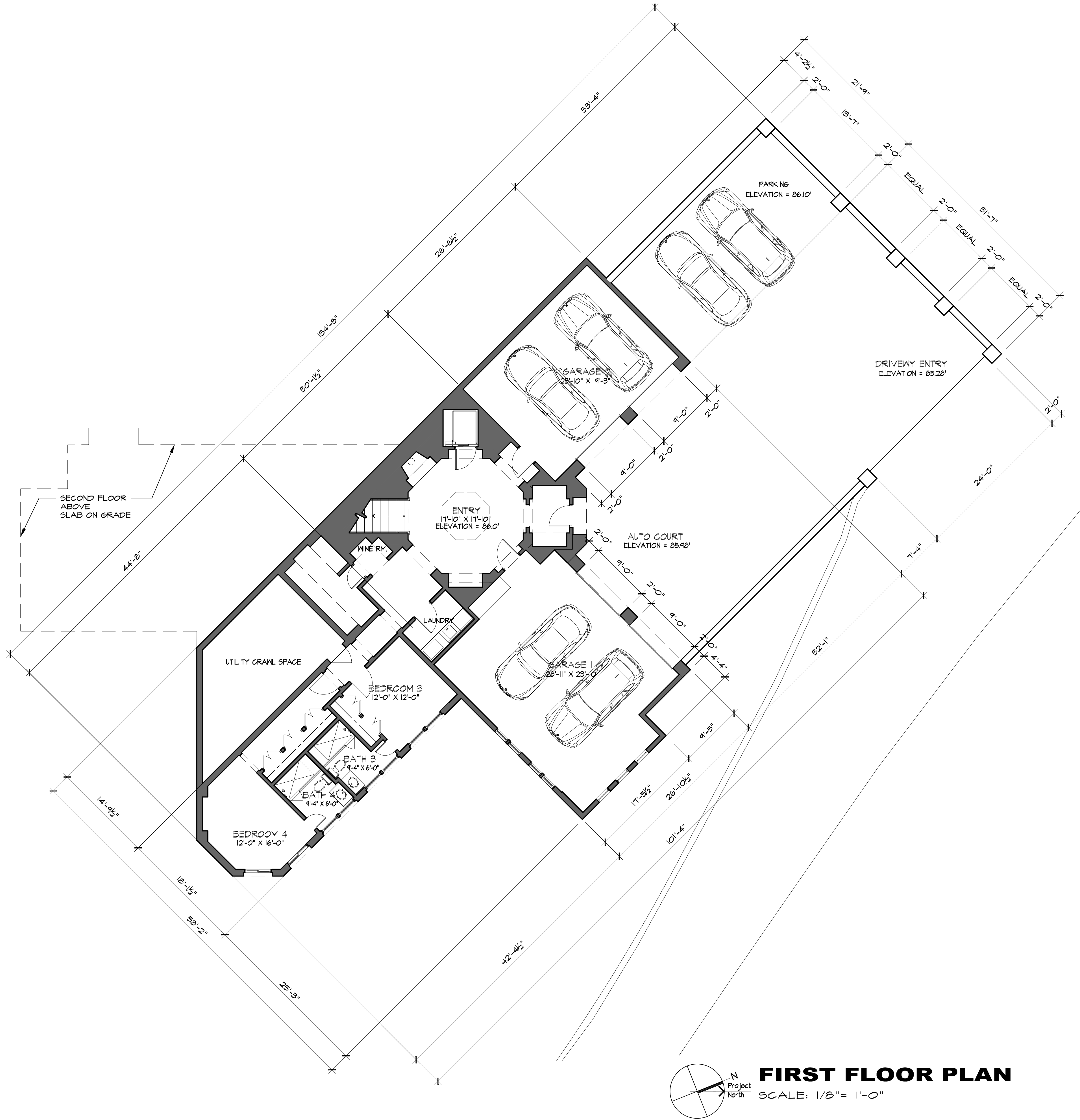
SCALE: 1/32" = 1'-0"

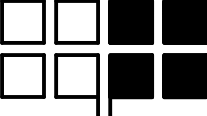


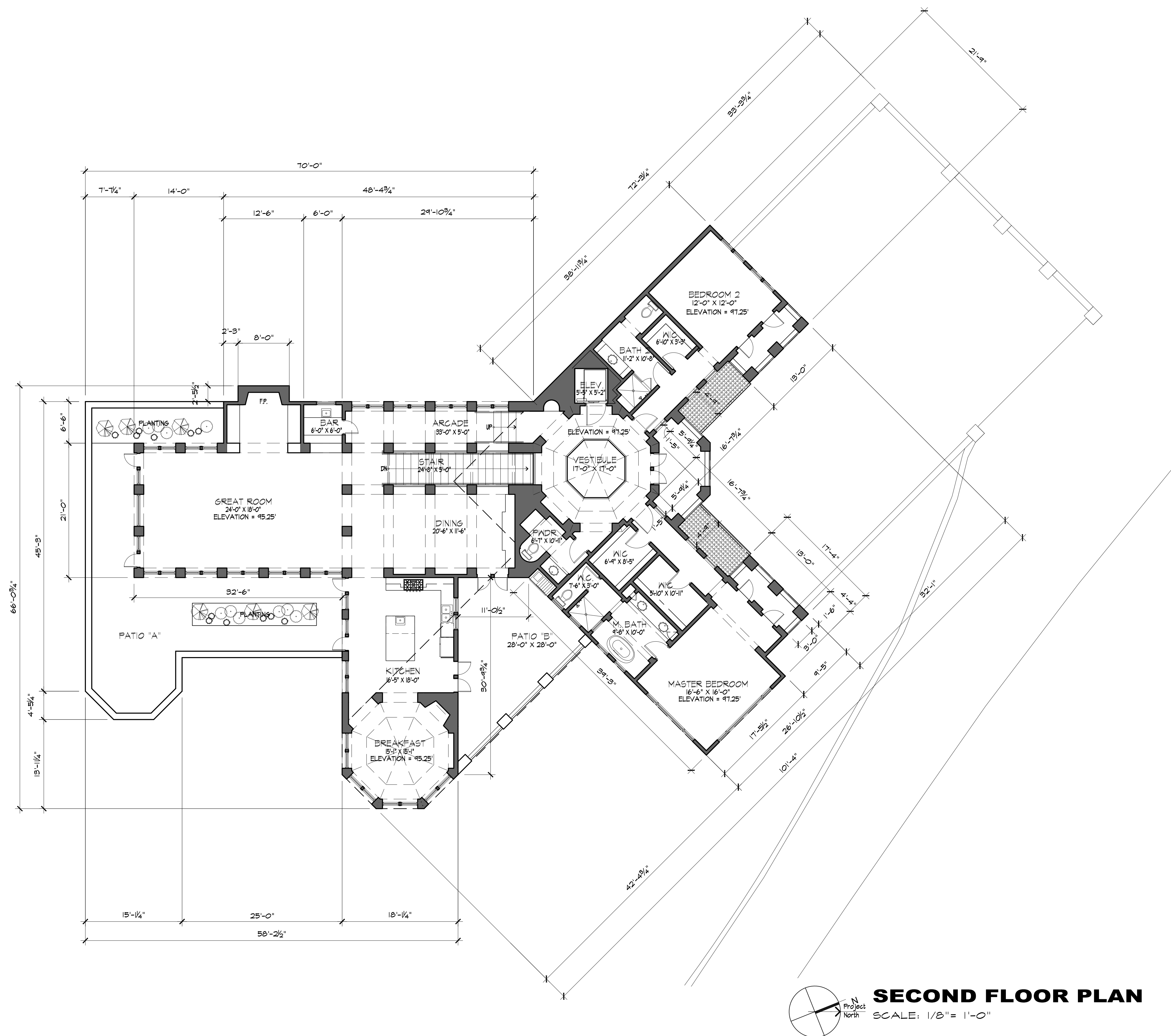
AREA MAP

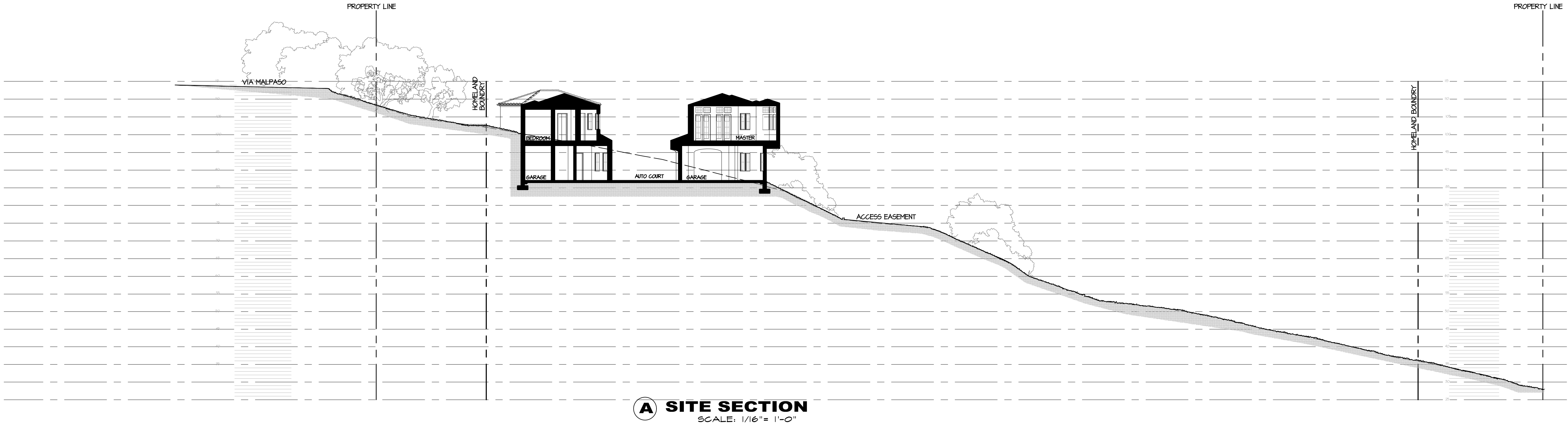
SCALE: N.T.S.

REVISION	No.
CONSULTANT:	
ARCHITECT	ERIC MILLER ARCHITECTS, INC. 
CONSTRUCTION PLAN	JOB NAME: Miller Residence 24275 Via Malpaso - Lot 18 Monterey, California 93940 A.P.N. 254-101-066-000
DATE: FEB. 11, 2020	SCALE: AS NOTED
DRAWN: SSH	JOB NUMBER: 14.21
A-1.2	SHEET OF



REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC. 		
211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
PROPOSED FIRST FLOOR PLAN		
JOB NAME: Miller Residence 24275 Via Malpaso - Lot 18 Monterey, California 93940 A.P.N. 259-101-066-000		
DATE: FEB. 11, 2020		
SCALE: 1/8"=1'-0"		
DRAWN: SSH		
JOB NUMBER: 16.23		
A-2.0 SHEET OF		

[illegible]



A SITE SECTION
SCALE: 1/16" = 1'-0"

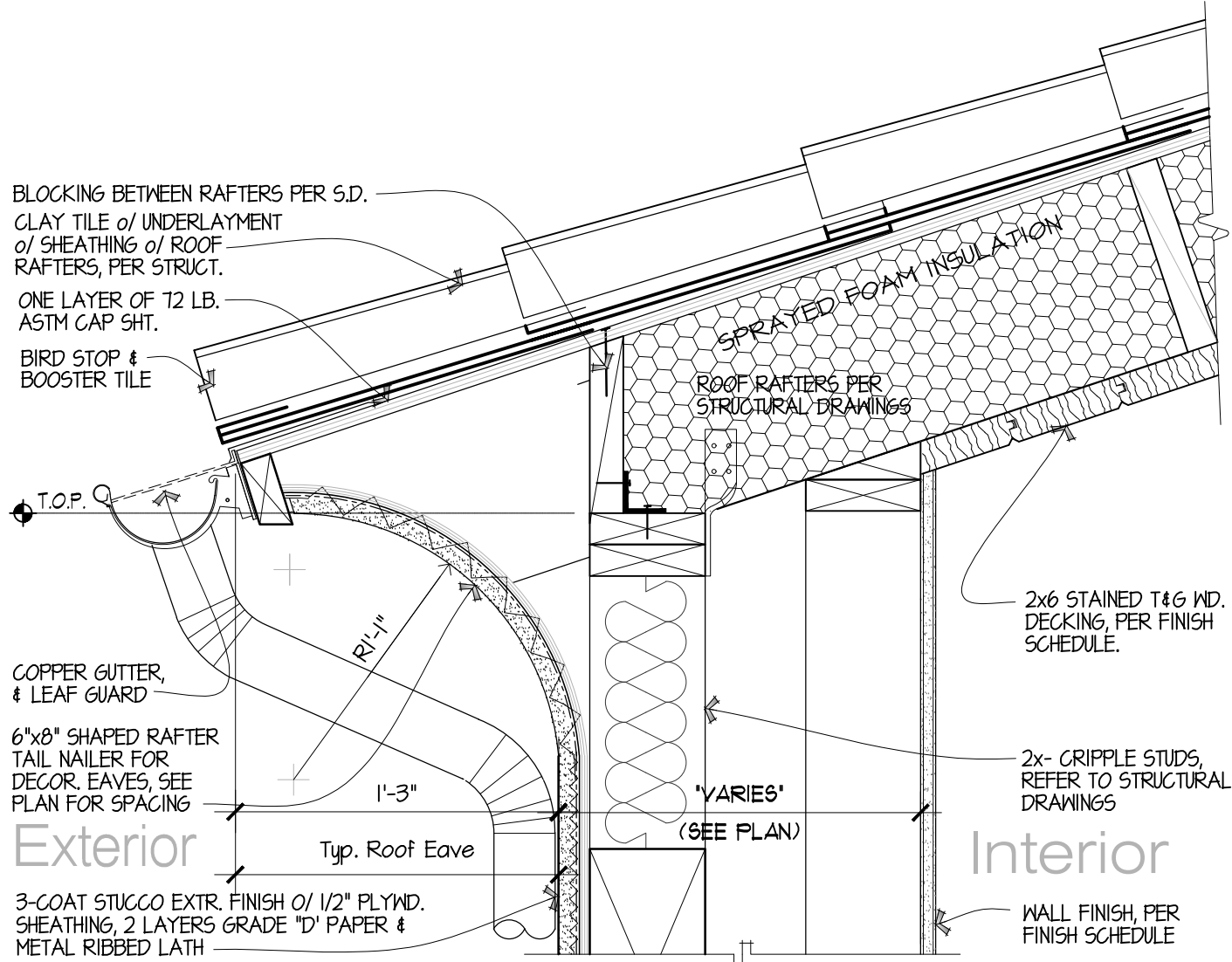


B SITE SECTION
SCALE: 1/16" = 1'-0"

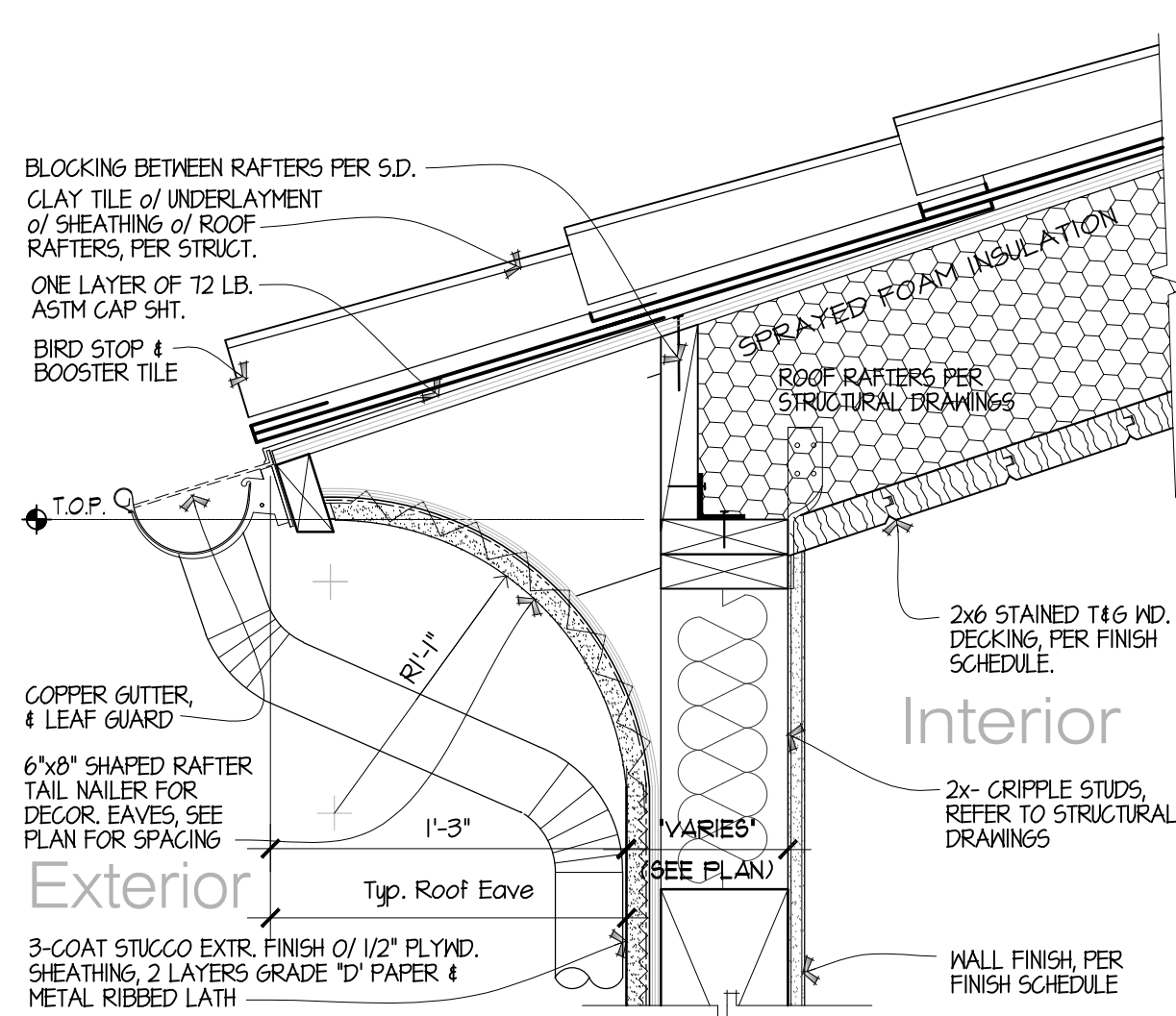
REVISION		No.
CONSULTANT:		
ARCHITECT		
PROPOSED SITE SECTIONS		
DATE: FEB. 11, 2020		
SCALE: 1/16"=1'-0"		
DRAWN: SSH		
JOB NUMBER: 16.23		
A-3.2		
SHEET OF		
ERIC MILLER ARCHITECTS, INC.		
211 HOFFMAN AVENUE MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
JOB NAME: Miller Residence		
24275 Via Malpaso - Lot 18		
Monterey, California 93940		
A.P.N. 259-101-066-000		



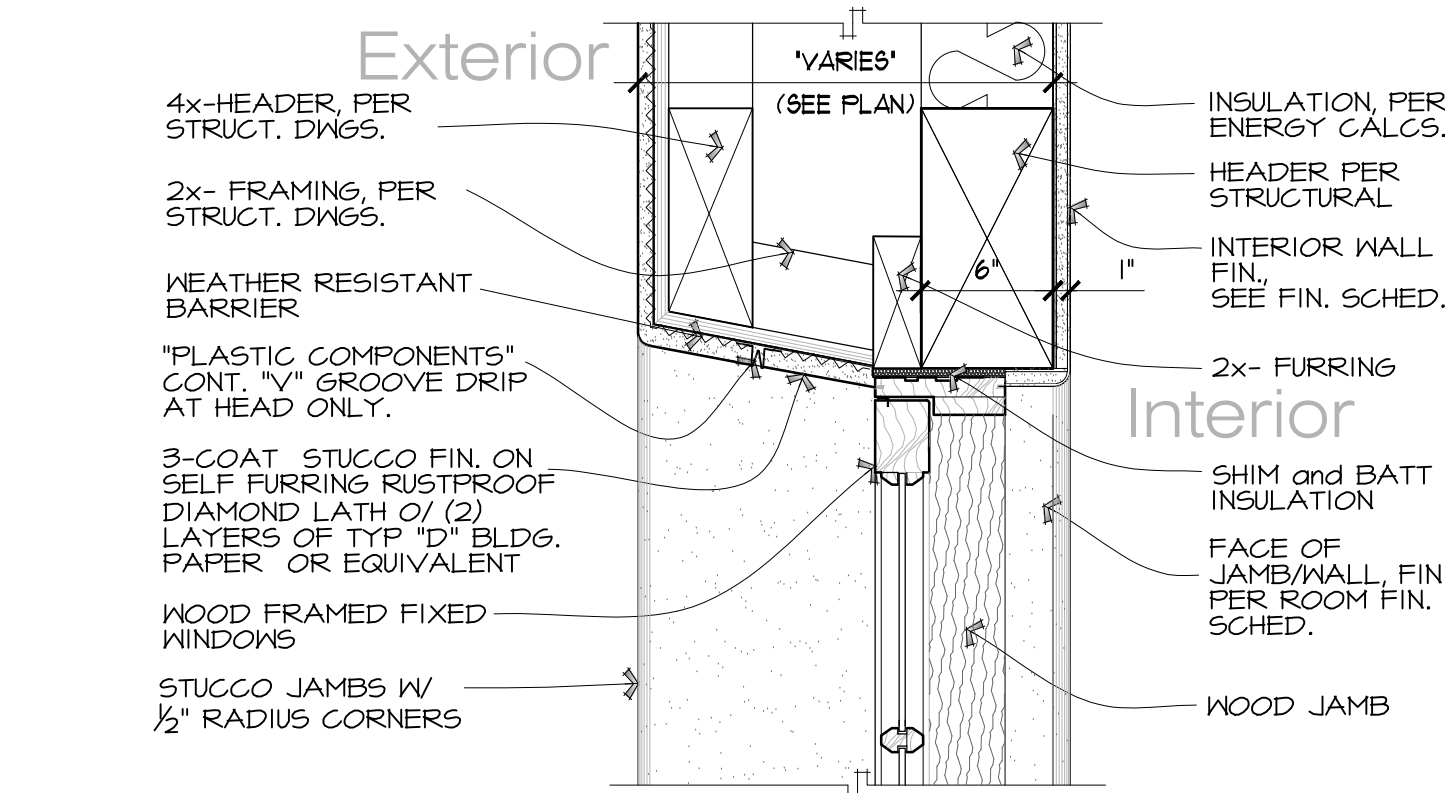
THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY ASSIGNED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION OF ANY PART, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE OF THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE FORMAL ASSURANCE OF ACCEPTANCE OF THESE RESTRICTIONS.



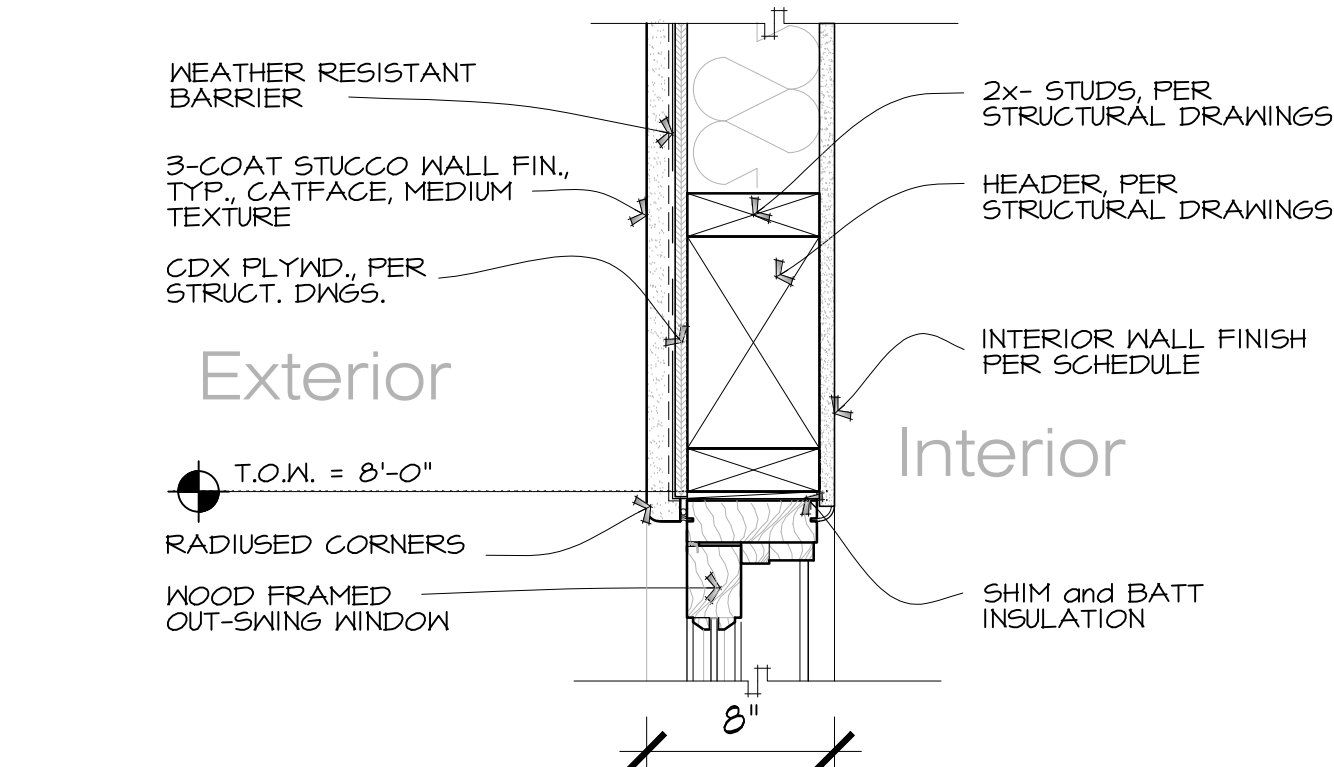
5 TYPICAL ROOF EAVE
SCALE: 1-1/2"= 1'-0"



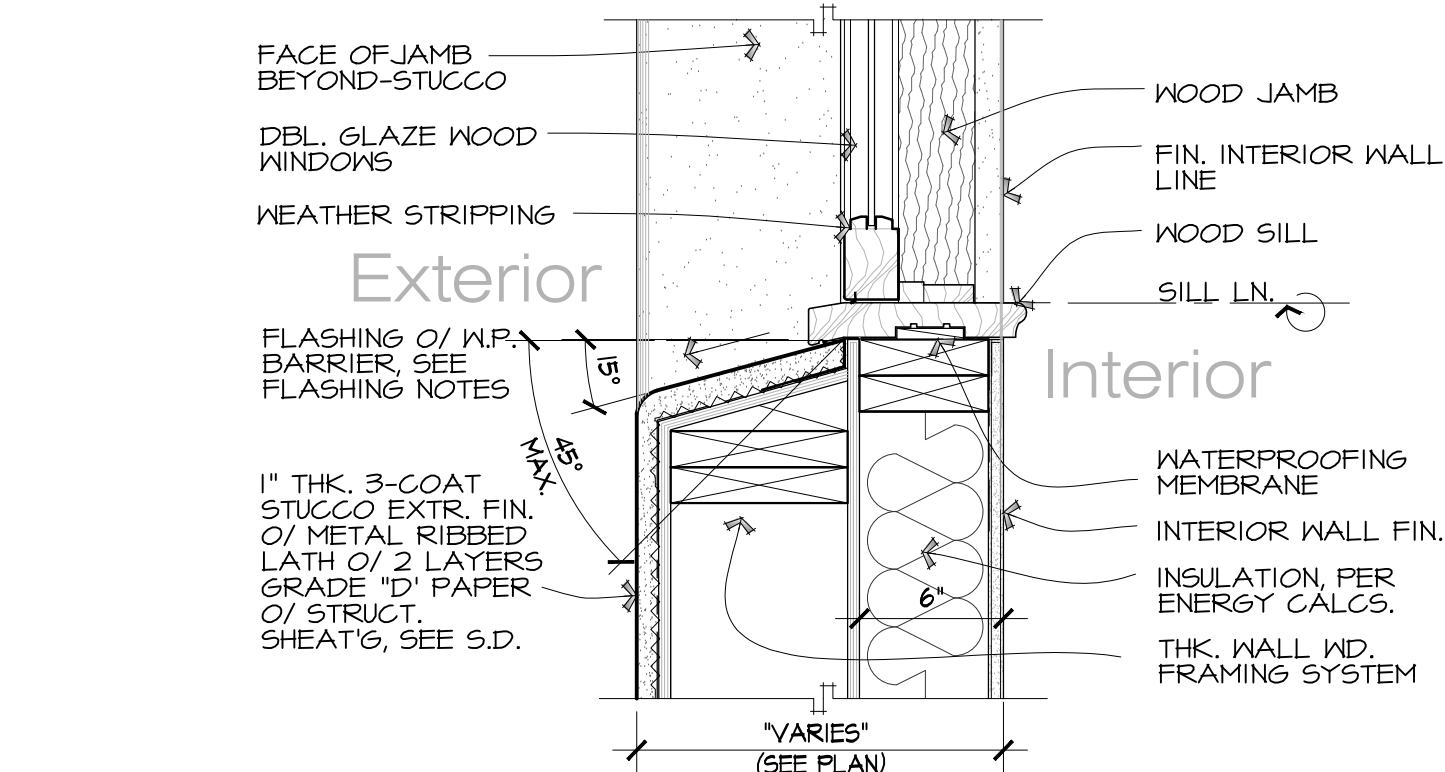
1 ROOF EAVE (6" wall)
SCALE: 1-1/2"= 1'-0"



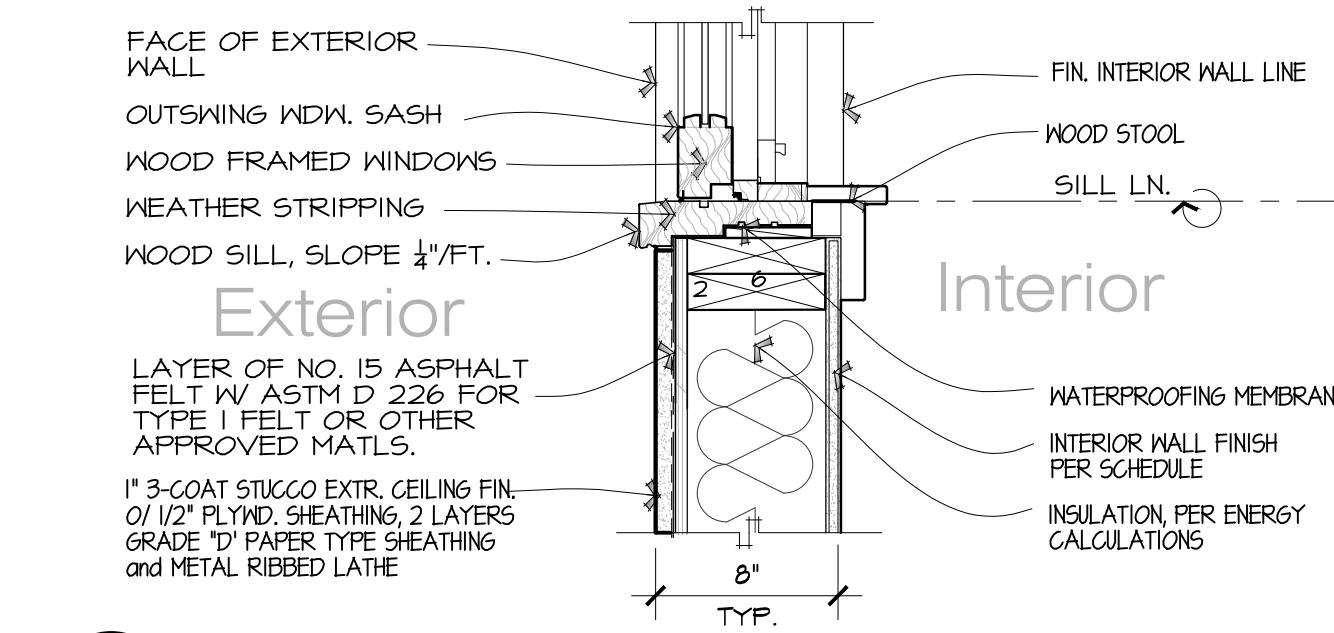
6 OUTSWING DEEP HEAD
SCALE: 1-1/2"= 1'-0"



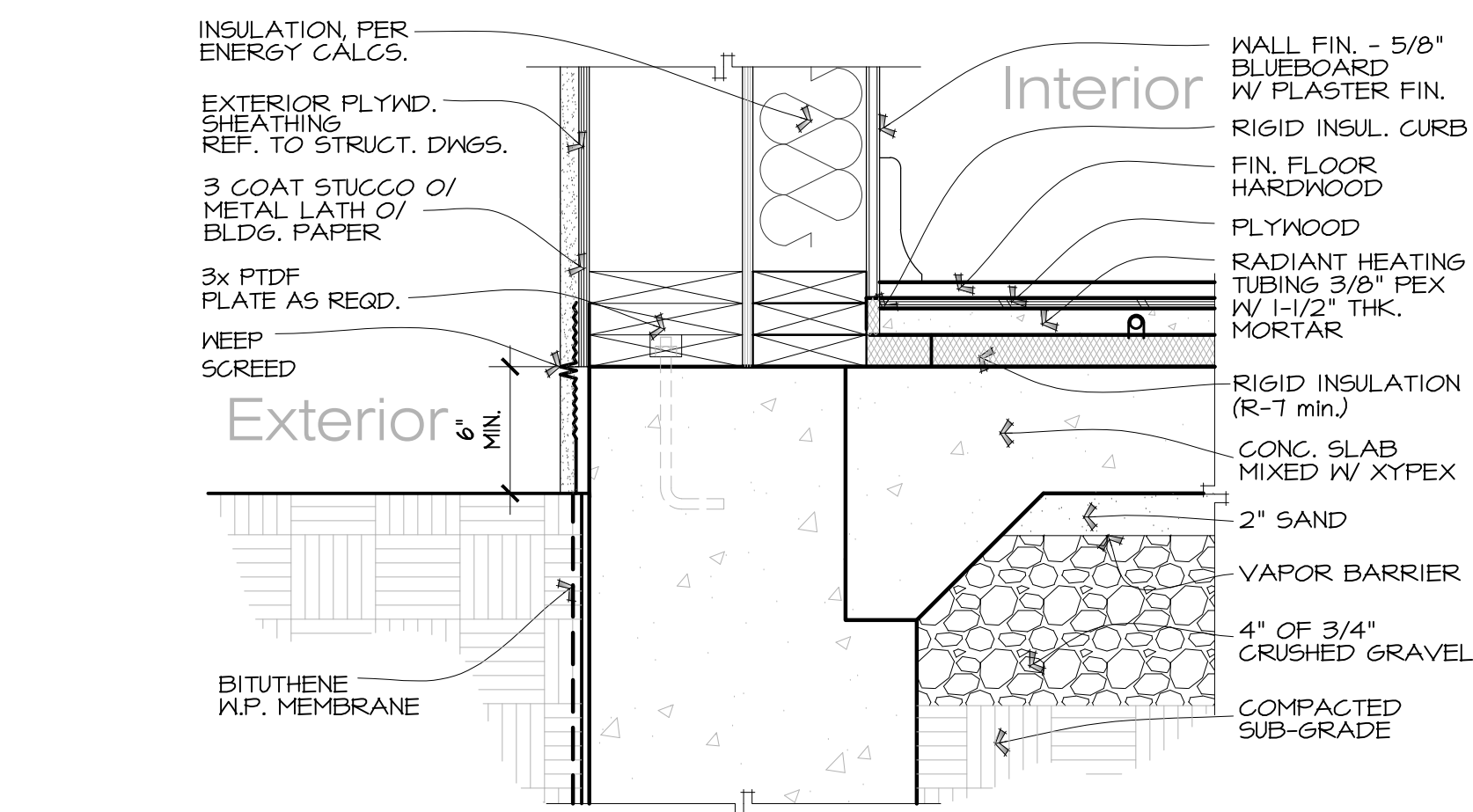
2 WINDOW HEAD (6" wall)
SCALE: 1-1/2"= 1'-0"



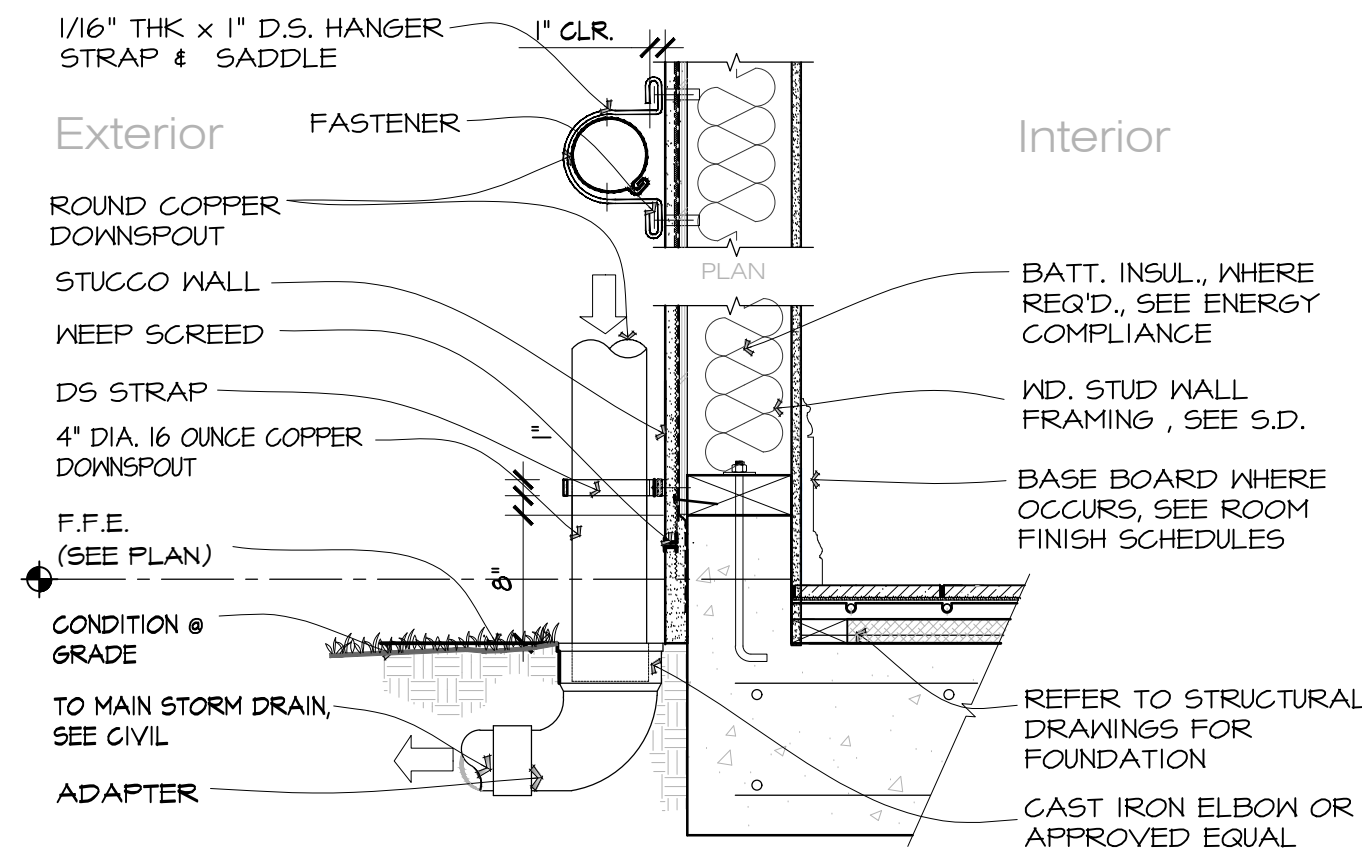
7 DEEP SILL DETAIL-OUTSWING
SCALE: 1 1/2"= 1'-0"



3 WINDOW SILL (6" wall)
SCALE: 1-1/2"= 1'-0"



8 BASE DETAIL
SCALE: 1 1/2"= 1'-0"



4 DOWNSPOUT DETAIL
SCALE: 1"= 1'-0"

REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

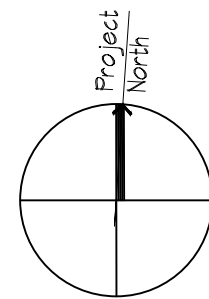
ARCHITECT

DETAILS

JOB NAME: **Miller Residence**
24275 Via Malpaso - Lot 18
Monterey, California 93940
A.P.N. 259-101-066-000

DATE:	FEB. 11, 2020
SCALE:	AS SHOWN
DRAWN:	SSH
JOB NUMBER:	16.23

A-8.0
SHEET OF



PROPOSED LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

LEGEND	
	Cut Stone Paving: Grout set over 4" concrete sub-slab with #3 @ 16" o.c. both ways. Joint sub-slab as needed for crack control.
	Asphalt Paving: Install with 2x6" header in smooth curves, verify layout in field with Landscape Architect. See Civil Drawings.
PA Planting Area: See Planting Plan	
GENERAL NOTES:	
1. SEE ARCHITECTURAL DRAWINGS FOR STONE TYPES AND SPECIFICATIONS	
REFERENCE NOTES:	
1 ELIMINATED 2 FIRE DEPT. TURN AROUND, PER MONTEREY COUNTY REGIONAL FIRE DEPARTMENT STANDARDS 3 ELIMINATED 4 ELIMINATED 5 FIREPLACE WITH WOOD STORAGE; SEE ARCHITECTURAL DRAWINGS 6 ELIMINATED 7 BAR-B-Q; SEE ARCHITECTURAL DRAWINGS 8 GUEST PARKING, SIZED FOR 1-4 CARS 9 ELIMINATED 10 INSTALL EROSION FABRIC ON SLOPE IF GREATER THAN 3:1 11 TREE TO BE REMOVED 12 FUTURE DEVELOPMENT	

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

LANDSCAPE PLAN

JOB NAME: **Miller Residence**
24275 Via Malpaso - Lot 18
Monterey, California 93940
A.P.N. 259-101-066-000

DATE: **FEB. 11, 2020**

SCALE: 1/16"=1'-0"

DRAWN: **SSH**

JOB NUMBER: **16.23**

LS-1.0
SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION OF ANY MEANS, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. SOUL CONSENT WITH THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. _DD_

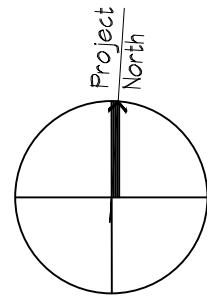


LEGEND	
	Reduced Fuel Zone: 100' from structure. Zone shall be maintained around the home. Plant material shall be trimmed regularly for fuel modification and reduction. Where fuel management zone encroaches on Conservancy land, coordinate fuel reduction work with Santa Lucia Conservancy.
	Fuel Break Line: Firebreak shall be maintained 30' from structure. Within this zone, remove and clear way all flammable vegetation. Single specimens of trees or other vegetation may be retained provided they are well spaced, well pruned, and create a condition that avoids spread of fire to other vegetation or to a building or structure. Firebreak shall disrupt the vertical and horizontal continuity of flammable and combustible vegetation. Ornamental grasses shall be maintained at less than 18" and isolated from other fuels.

REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com		
FUEL MANAGEMENT PLAN		
JOB NAME: Miller Residence 24275 Via Malpaso - Lot 18 Monterey, California 93940 A.P.N. 259-101-066-000		
DATE: FEB. 11, 2020		
SCALE: 1/16"=1'-0"		
DRAWN: SSH		
JOB NUMBER: 16.23		
LS-1.1		
SHEET OF		

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. PUBLICATION OR REPRODUCTION OF ANY MEANS, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. NO USE OF THESE DRAWINGS & SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE ASSUMPTIONS.

DD



CONCEPTUAL LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

PLANT LEGEND

Restoration Planting: Hydroseed *Stipa pulchra* @ 30 lb/acre. Exact limits to follow grading limits, to be determined in field by Landscape Architect. Seeding to occur between October and November.

ORNAMENTAL PLANT LEGEND				
*WUC CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
9 L	Ah	Arctostaphylos 'Howard McMinn'	Howard McMinn Manzanita	5 Gal.
17 L	Li	Lavandula intermedia 'Provence'	French Lavender	5 Gal.
17 L	Sg	Salvia greggii 'Caviar'	Autumn Sage	1 Gal.

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

CONCEPTUAL LANDSCAPE PLAN

JOB NAME: **Miller Residence**
24275 Via Malpaso - Lot 18
Monterey, California 93940
A.P.N. 259-101-066-000

DATE:	FEB. 11, 2020
SCALE:	1/16"=1'-0"
DRAWN:	SSH
JOB NUMBER:	16.23

LS-2.0

SHEET OF

