

Exhibit A

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

KINOSIAN TODD TR & WETTON PAMELA JILL TR (PLN190387)

RESOLUTION NO. 21 -

Resolution by the Monterey County Zoning
Administrator:

1. Finding that the project, which involves construction of a new accessory structure and removal of three trees, qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approving a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow the construction of a 1,199 square foot accessory dwelling unit with an attached 1,426 square foot garage and 501 square foot mechanical room and elevator;
 - b. Coastal Development Permit to allow removal of three trees (Coast Live oak); and
 - c. Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

3202 Del Ciervo Road, Pebble Beach, Del Monte
Forest Land Use Plan, Coastal Zone (APN: 008-361-
029-000)

The KINOSIAN & WETTON application (PLN190387) came on for a public hearing before the Monterey County Zoning Administrator on February 11, 2021. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 1982 General Plan, Del Monte Forest Land Use Plan, Del Monte Forest Coastal Implementation Plan – Part 5, Monterey County Zoning Ordinance - Coastal (Title 20), and other County health, safety, and welfare ordinances related to land use development.
EVIDENCE: a) The proposed project involves the construction of a 1,199 square foot accessory dwelling unit with an attached 1,426 square foot two-car garage and a 501 square foot mechanical room and elevator. The accessory dwelling unit would be attached to the existing single-family dwelling via a 225 square foot connecting breezeway. The

accessory dwelling unit would also include a 284 square foot covered porch, 330 square foot rear deck, and a new driveway with retaining walls to the garage from the existing auto court. The project also involves removal of three Coast Live oak trees, and development within 750 feet of known archaeological resources. Grading for the project would include 915 cubic yards of cut and five cubic yards of fill. During review of the construction permit, the applicant will be required to prepare and submit a Construction Management Plan to address truck routes, hours of operation, and estimated number of truck trips (Condition No. 13).

- b) The project has been reviewed for consistency with the text, policies, and regulations in the:
 - 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Del Monte Forest Coastal Implementation Plan, Part 5 (DMF CIP); and
 - Monterey County Zoning Ordinance - Coastal (Title 20).
- c) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and/or regulations of the applicable Monterey County Code (MCC). The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.
- d) The project planner conducted a site inspection on January 20, 2021, to verify consistency of the proposed development with applicable policies and regulations.
- e) Allowed Use. The property is located at 3202 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-361-029-000), Del Monte Forest (DMF) Land Use Plan (LUP), Coastal Zone. The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control zoning overlay (Coastal Zone) [LDR/1.5-D (CZ)]. There is an existing single-family dwelling on-site that will remain as part of this application. Pursuant to MCC Section 20.14.040.W, accessory dwelling units (ADU) meeting the standards contained in Section 20.64.030 of the MCC are considered a principal use in the LDR zoning districts subject to the granting of a Coastal Administrative Permit in each case. This project includes construction of an ADU meeting the referenced standards; therefore, the proposed development is an allowed use for this site.

Pursuant to MCC Sections 20.147.050 and 20.147.080, tree removal and development within 750 feet of known archaeological resources may be allowed subject to a Coastal Development Permit provided specified findings are made to grant the permit (see subsequent Evidence j for archaeological resources, and Finding No. 6 with supporting evidence for tree removal). The Design Control zoning overlay requires the granting of a Design Approval for the proposed development (see subsequent Evidence g).

- f) Lot Legality. The subject 1.55-acre property (Assessor's Parcel Number 008-361-029-000) is identified in its current configuration and under separate ownership as Lot 29, within Block 132 of the El

Pescadero Rancho, in both the 1964 (Volume 1) and 1972 (Volume 3) Assessor's Map Book 8, Page 36. Therefore, the County recognizes the subject property as a legal lot of record.

- g) Design. Pursuant to MCC Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The primary exterior colors and materials proposed for the accessory dwelling unit and attached garage will match the existing residence and include the following: beige stucco siding, wood windows and doors, metal railing, copper gutters, and slate roof (see also the attached plans).

The dwellings within the vicinity have a variety of architectural styles and the proposed exterior colors and finishes blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and are consistent with other dwellings in the neighborhood. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity. See also subsequent Evidence n.

- h) Review of Development Standards. As proposed, the project meets all required development standards. The development standards for the LDR zoning district are identified in MCC Section 20.14.060. Required setbacks for accessory structures that are attached to a main structure in the LDR district are 30 feet (front), 20 feet (rear), and 20 feet (sides).

The proposed accessory dwelling unit would have front setbacks of 153 feet (from Del Ciervo Road) and 47 feet (from Crespi Lane), side setback of 140 feet, and a rear setback of 42.5 feet. The maximum allowed height in the Del Monte Forest (Coastal Zone) LDR district is 30 feet for main structures. The maximum height of the proposed development is 26 feet.

In the LDR/1.5 district, the allowed building site coverage maximum is 15 percent, and the maximum allowable floor area is 17.5 percent. The building site is approximately 1.55 acres (67,551 square feet), which would allow structural site coverage of 10,133 square feet and floor area of 11,821 square feet. As proposed, the project would result in building coverage of 6,714 square feet (9.94 percent) and floor area of 8,770 square feet (12.98 percent). See subsequent Evidence i regarding impervious surface coverage limitations.

As summarized above, the project conforms with the applicable development standards for the zoning district.

- i) Pescadero Watershed. The project site is located within the Pescadero Watershed, as shown on the DMF LUP Figure 2b; therefore, site structural and impervious surface coverage is limited to 9,000 square feet per Policy 77 of the DMF LUP. As proposed, the

project would result in site coverage, including impervious surfaces, of 8,805 square feet, below the maximum allowed of 9,000 square feet. Therefore, the project is consistent with the DMF LUP policy regarding development within the Pescadero Watershed.

- j) Cultural Resources. The project site is in an area identified in County records as having a high archaeological sensitivity. Per DMF CIP Section 20.147.080.B, an archaeological report (Monterey County HCD-Planning Library No. LIB200060) was prepared for the site and submitted to the County for review. The report concluded that there is no background or surface evidence of potentially significant archaeological resources, and that potential impacts to archaeological resources are not anticipated from the proposed project. The report also identified that the nearest recorded prehistoric site is approximately 450 feet from the subject property, and at a lower elevation. There is no evidence that any cultural resources would be disturbed as part of this project, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- k) Public Access. See Finding No. 5 and supporting evidence.
- l) Tree Removal. See Finding No. 6 and supporting evidence.
- m) Accessory Dwelling Unit. See Finding No. 7 and supporting evidence.
- n) Visual Resources and Public Viewshed. The subject property is located in an area where the Local Coastal Program may require visual public access (Figure 3, Visual Resources, Del Monte Forest Land Use Plan). Based on review of the application materials, as well as a site visit on January 20, 2021, the development proposal would not interfere with visual access along 17-Mile Drive and minimizes development within the public viewshed.

DMF LUP Policies 123 and 137 restricts development that would block significant public views along the 17-Mile Drive corridor and from designated public access areas/vista points. Based on the project location, and its topographical relationship to visual public access points in the area, the proposed development will not interfere with visual access along 17-Mile Drive or from designated public access areas/vista points. The property is not visible from 17-Mile Drive or from vista points in the vicinity due to distance, topography, vegetation, and location east of 17 Mile Drive. Also, the proposed single-family dwelling would conform to all required development standards for this zoning district. The proposed development is located in a residential neighborhood, and surrounding lots have been developed with similar residential development. The proposed accessory dwelling unit would consist of materials and colors that blend well with the surrounding natural environment and neighborhood character, and the primary exterior colors and materials proposed for the accessory dwelling unit and attached garage will match the existing residence. The dwellings within this vicinity have a variety of architectural styles, and the proposed exterior colors and

finishes blend with the surrounding environment, and are consistent with the surrounding neighborhood character. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

The project site is also located within the Point Lobos viewshed, yet would not adversely affect public views from Point Lobos given the existing trees, vegetation, and distance from Point Lobos (approximately 3.18 miles or 16,800 feet). As proposed, the project would not result in any adverse visual impacts to the public viewshed or scenic character in the project vicinity, would not block significant public views toward the ocean, and is consistent with the applicable visual resource and public access policies of the DMF LUP.

- o) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors. The LUAC reviewed the project at a duly-noticed public meeting on May 7, 2020, at which all persons had the opportunity to be heard, and voted 5 – 0 (5 yes, 0 no, and 3 absent) to support the project as proposed. No members of the public commented on the project, and the LUAC raised no concerns regarding the project.
- p) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190387.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project involves construction of an accessory dwelling unit on a parcel with an established residential use and in a residential neighborhood.
 - b) The project was reviewed for site suitability by the following departments and agencies: HCD-Planning, Public Works, HCD-Environmental Services, Pebble Beach Community Services District and the Environmental Health Bureau. County staff reviewed the application materials and plans, as well as the County’s GIS database, to verify that the proposed project on the subject site conforms to the applicable plans and regulations, and that the site is suitable for the proposed development. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - c) The following technical reports have been prepared for the proposed project:
 - Preliminary Archaeological Resources Reconnaissance (LIB200060) prepared by Susan Morley, Registered Professional Archaeologist, Marina, California, February 2019;
 - Soil Engineering Investigation (LIB200061) prepared by LandSet Engineers, Inc., Salinas, California, March 20, 2019;
 - Tree Assessment/Forest Management Plan (LIB200062) prepared by Frank Ono, Certified Arborist and Registered Forester, Pacific Grove, California, November 5, 2019; and
 - Historical Evaluation (LIB200069) prepared by Margaret Clovis,

Salinas, California, April 30, 2020.

- d) County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed, and all development shall be in accordance with these reports.
- e) The project planner conducted a site inspection on January 20, 2021, to verify that the site is suitable for the proposed use.
- f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190387.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, Public Works, HCD-Environmental Services, Pebble Beach Community Services District and the Environmental Health Bureau. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available. The existing single-family dwelling has public water and sewer connections provided by the California American Water Company and the Pebble Beach Community Services District/Carmel Area Wastewater District, respectively, and will continue to use these same connections.
 - c) The proposed development and use of the accessory dwelling unit will use 0.15 acre-feet of potable water credits purchased from the Pebble Beach Company Water Entitlement for the Benefited Property identified as Assessor's Parcel Number 008-361-029-000, recorded on May 22, 2020, Document No. 2020024593.

The property is served by and will continue to be served by a public water system (Cal Am) and an existing public sewer system (Pebble Beach Community Services District and Carmel Area Wastewater District). The wastewater collection and treatment system has adequate remaining capacity for sewage disposal for the proposed accessory dwelling unit.

- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190387.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on the

subject property.

- b) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190387.

5. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan – Part 5 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
 - d) The subject property is identified as an area where the Local Coastal Program may require visual public access (Figure 3, Visual Resources, in the Del Monte Forest Land Use Plan). As explained in Finding No. 1, the project will not adversely impact views from 17-Mile Drive or from visually significant designated access points and vista points in the vicinity.
 - e) The project planner reviewed plans of the proposed development, as well as aerial imagery of the site and surrounding area, and a site visit, to verify that the proposed structures will not impact visual resources/access.
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190387.

6. **FINDING:** **TREE REMOVAL – COASTAL** – The tree removal is the minimum required under the circumstances, and the removal will not involve a risk of adverse environmental impacts.

- EVIDENCE:**
- a) The project includes application for the removal of three (3) Coast Live oak trees. In accordance with the applicable policies and regulations, a coastal development permit is required and the criteria to grant said permit have been met as demonstrated in the evidences below.
 - b) A Tree Assessment (LIB200062; Frank Ono) prepared for the site pursuant to DMF CIP Section 20.147.050.B, identifies the condition of the three (3) oak trees proposed for removal as either fair or poor. Also, the Tree Assessment identifies Tree #370 (the 25-inch tree proposed for removal) as having several fissures in the main stem and fungal decay at the base. Additionally, the Tree Assessment determined that the proposed development would not adversely impact the long-term health of the forest habitat on the property. The Arborist report has been independently reviewed and the conclusions within the report are appropriate in this case.

- c) The project has been sited and designed to minimize tree removal, and no other protected trees would be removed due to the proposed development. Per the Tree Assessment prepared for the project, the tree removal has been limited to that required for the overall health and long-term maintenance of the forest resources on the property. Staff has reviewed the arborist report and agrees with the conclusions. Consistent with applicable policies and regulations, Condition No. 10 has been added to require replanting of four coast live oak trees on the site to replace the trees proposed for removal.
- d) The Tree Assessment recommended tree replanting at a 1:1 ratio for trees less than 24 inches, and a 2:1 ratio for the tree larger than 24 inches, resulting in the replanting of four (4) five gallon or larger oak trees (Condition No. 10). DMF LUP Policy 35 directs the replacement of native trees on the site in accordance with the recommendations of the arborist, except where it is demonstrated that replacement of trees would result in an overcrowded, unhealthy environment. For this project, replanting will occur on the subject parcel and the replanting will not result in an overcrowded situation (Condition No. 10).
- e) The project planner conducted a site inspection on January 20, 2021, to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal.
- f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190387.

7. **FINDING:** **ACCESSORY DWELLING UNIT** – The accessory dwelling unit complies with the goals, policies, and regulations of the Del Monte Forest Land Use Plan and the Coastal Implementation Plan, Parts 1 (Coastal Zoning Regulations; Title 20 MCC) and 5 (Regulations for Development in the Del Monte Forest Land Use Plan Area). The accessory dwelling unit (ADU) conforms with specific regulations contained in Section 20.64.030 of the Monterey County Code.

- EVIDENCE:**
- a) The establishment of the accessory dwelling unit will not, under the circumstances of the particular application, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or to the general welfare of the County (see Finding Nos. 1 and 3, and supporting evidence).
 - b) The subject property upon which the accessory dwelling unit is to be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions and any other applicable provisions of the Del Monte Forest Land Use Plan (LUP) and the Monterey County Zoning Ordinance (Title 20). The proposed unit is in conformance with the policies of the LUP, specifically LUP Policy 76, which encourages the use of accessory dwelling units as a means of providing affordable housing within the Del Monte Forest community for caretakers and employees.
 - c) As proposed, the accessory dwelling unit would be 1,199 square feet, which is less than the maximum allowed of 1,200 square feet. County staff reviewed the project application materials and County

records to verify that the proposed project on the subject parcel conforms to applicable plans and MCC, including the requirements of MCC Section 20.64.030, Regulations for Accessory Dwelling Units. As designed, the accessory dwelling unit would be visually consistent and compatible with the principal residence on-site and other residences in the area.

- d) Adequate sewage disposal and water supply facilities exist or are readily available. The property is and will be served by a public water system (Cal Am) and an existing public sewer system (Pebble Beach Community Services District and Carmel Area Wastewater District). The Environmental Health Bureau did not recommend any conditions for project approval. The proposed development will use 0.15-acre feet of potable water credits purchased from the Pebble Beach Company Water Entitlement for the Benefited Property identified as Assessor's Parcel Number 008-361-029-000, recorded on May 22, 2020, Document No. 2020024593.

The wastewater collection and treatment system has adequate remaining capacity for sewage disposal for the new unit. The proposed development would also include any required storm water drainage facilities. See also Finding No. 3 and supporting evidence.

- e) Upon application for the construction permits, the Applicant shall be required to pay applicable traffic impact fees (Condition No. 12).
- f) Pursuant to DMF LUP Policy 13, the applicant shall convey to the County a conservation and scenic easement where environmentally sensitive habitats, remnant native sand dune habitats, habitats of rare, endangered and sensitive native plants and animals, and visually prominent areas exist (Condition No. 7). As previously described in Finding No. 1, Evidence m, the property is located in a visually prominent area where the Local Coastal Program may require visual public access (Figure 3, Visual Resources, Del Monte Forest Land Use Plan). Although the proposed development would not result in visual impacts, portions of the parcel may be visible from 17-Mile Drive. The subject property is also adjacent to a sensitive habitat area that is zoned Resource Conservation. The easement would assist the County's goal of protecting visual and sensitive biological resources by ensuring development would not occur on areas of the parcel potentially more visible from 17-Mile Drive or on slopes that would drain into the sensitive habitat area.
- g) The project planner reviewed the proposed development to verify that the proposed project on the subject parcel conforms to the applicable plans and regulations.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190387.

8. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE: a) California Environmental Quality Act (CEQA) Guidelines Section

15303 categorically exempts the construction of new, small facilities or structures.

- b) The proposed project involves the construction of accessory structures on a residentially-zoned parcel within a developed neighborhood. Therefore, the proposed development qualifies as a Class 3 categorical exemption pursuant to Section 15303(e) of the CEQA Guidelines.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. Also, there is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource (see Finding 2, Evidence c), a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. In addition, and as described in Finding No. 6, the tree removal will not involve risks of adverse environmental impacts.
- d) Based on the record as a whole, there is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- e) No adverse environmental effects were identified during staff review of the development application.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN190387.

9. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (Highway 1), and development that is permitted in the underlying zone as a conditional use (i.e., tree removal and development within 750 feet of known archaeological resources). The project site is not located within 300 feet of the inland extent of any beach or of the mean high tide line of the sea, or located on tidelands, submerged lands, public trust lands, within 100 feet of any wetland, estuary, stream or within 300 feet of the top of the seaward face of any coastal bluff.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit consisting of a Coastal Administrative Permit and Design Approval to allow the construction of a 1,199 square foot accessory dwelling unit with an attached 1,426 square foot garage and 501 square foot mechanical room and elevator; Coastal Development Permit to allow removal of three trees (Coast Live oak); and Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

All development shall be in general conformance with the attached plans and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 11th day of February, 2021.

John M. Dugan, FAICP,
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit

by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN190387

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (Planning File No. PLN190387) allows the construction of a 1,199 square foot accessory dwelling unit with a 284 square foot covered porch and a 225 square foot breezeway, 330 square foot rear deck, a 1,426 square foot attached two-car garage, 501 square foot mechanical room and elevator, and new driveway with retaining walls to the garage from the existing auto court; removal of three (3) trees (Coast live oak); and development within 750 feet of known archaeological resources. The property is located at 3202 Del Ciervo Road, Pebble Beach (Assessor's Parcel Number 008-361-029-000), Del Monte Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Chief of HCD-Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD-Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Combined Development Permit (Resolution Number 21 - 0) was approved by the Monterey County Zoning Administrator for Assessor's Parcel Number 008-361-029-000 on February 11, 2021. The permit was granted subject to thirteen (13) conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD-Planning."

Proof of recordation of this notice shall be furnished to HCD-Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to HCD-Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD-Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD-Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include the requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD-Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD011(A) - TREE REMOVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be consistent with applicable General Plan and Monterey County Code requirements, including being unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. An exterior lighting plan shall be submitted as part of the construction permit plan set, and shall be subject to review and approval by HCD-Planning prior to the issuance of building permits. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit an exterior lighting plan, as part of the construction permit plan set, to HCD-Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the exterior lighting has been installed according to the approved plan and applicable requirements.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD022(C) - EASEMENT-CONSERVATION AND SCENIC (COASTAL)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A conservation and scenic easement shall be conveyed to the County over those portions of the property where environmentally sensitive habitats, remnant native sand dune habitats, habitats of rare, endangered and sensitive native plants and animals, and visually prominent areas exist in accordance with the procedures in Monterey County Code § 20.64.280.A. A Subordination Agreement shall be required, where necessary. The easement shall be developed in consultation with a certified professional. The Owner/Applicant shall submit a draft legal description and map of the easement area to HCD-Planning for review prior to issuance of grading and/or building permits. The easement deed shall be approved by the HCD Chief of Planning and the Executive Director of the California Coastal Commission, and accepted by the Board of Supervisors prior to final of building permits. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to recording the parcel/final map or prior to issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the draft legal description and corresponding map showing the location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD-Planning for review and approval.

Prior to final of building permits, the Owner/Applicant shall submit a signed and notarized Subordination Agreement, if required, to HCD-Planning for review and approval.

Prior to final of building permits, the Board of Supervisors shall accept the deed and map showing the approved conservation and scenic easement.

8. PD032(A) - PERMIT EXPIRATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of three (3) years, to expire on February 11, 2024, unless use of the property or actual construction has begun within this period. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the HCD Chief of Planning. Any request for extension must be received by HCD-Planning at least 30 days prior to the expiration date.

9. PD035 - UTILITIES UNDERGROUND

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All new utility and distribution lines shall be placed underground. (HCD-Planning and HCD-Public Works)

Compliance or Monitoring Action to be Performed: On an on-going basis, the Owner/Applicant shall install and maintain utility and distribution lines underground.

10. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to final of the construction permit, the applicant shall replace and/or relocate each tree approved for removal per the replacement ratio recommended by the arborist. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to final of the construction permit, the Owner/Applicant shall submit evidence of tree replacement to HCD-Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

11. STORMWATER CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall provide a stormwater control plan, with supporting calculations, to mitigate on-site and off-site impacts from impervious surface stormwater runoff. The 85th percentile 24-hour storm shall be retained to mitigate water quality impacts. Drainage improvements shall be constructed in accordance with plans approved by HCD-Environmental Services. (HCD-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or building permits, the applicant shall submit a stormwater control plan to HCD-Environmental Services for review and approval.

12. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. (Public Works)

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to Public Works.

13. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project. The CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading or building permits, the Owner/Applicant/Contractor shall prepare and submit a CMP to HCD-Planning and Public Works for review and approval.

On-going through all construction phases, the Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

KINOSIAN ACCESSORY DWELLING UNIT

3202 DEL CIERVO ROAD

PEBBLE BEACH, CA 93953

REVISIONNo.

CONSULTANT:

ARCHITECT

TITLE SHEET

DATE: 4/13/20

SCALE: NTS

DRAWN: HRM

JOB NUMBER: 18.17

A-0.1

SHEET OF

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940

PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

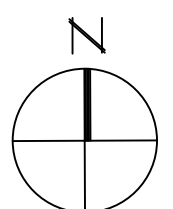
Kinonian Residence

3202 Del Ciervo Road

Pebble Beach, CA 93953

A.P.N. 008-361-029-000

	<div><div>SETBACKS</div><table><tr><td>LDR/1.5-D(CZ)</td><td>REQUIRED</td><td>PROPOSED</td></tr><tr><td>FRONT (DEL CIERVO)</td><td>30'-0"</td><td>153'-3" (ATTACHED)</td></tr><tr><td>FRONT (MAIN HOUSE)</td><td>30'-0"</td><td>24'-6" (MAIN GARAGE)</td></tr><tr><td>SIDE (NORTH)</td><td>20'-0"</td><td>194'-10"</td></tr><tr><td>SIDE (GRESPI)</td><td>30'-0"</td><td>47'-0"</td></tr><tr><td>REAR</td><td>20'-0"</td><td>42'-6"</td></tr></table><div>BUILDING HEIGHT : 30 FT. MAX. (ATTACHED) 27.0 FT. (15 FT. MAX. DE-ATTACHED)</div><div>ZONING</div><table><tr><td>LDR/1.5-D(CZ)</td><td>ALLOWED</td><td>PROPOSED</td></tr><tr><td>FLOOR AREA RATIO</td><td>11.821 S.F. (17.5%)</td><td>8,770 S.F. (13.0%)</td></tr><tr><td>SITE COVERAGE</td><td>9,000 S.F.</td><td>8,805 S.F. (13.0%)</td></tr><tr><td>30% SLOPE COVERAGE</td><td>NOT ALLOWED</td><td>0 S.F. 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WATER : CALIFORNIA AMERICAN WATER CO. 2. ELECTRICAL AND GAS : PACIFIC GAS & ELECTRIC 3. SANITARY SEWER SYSTEM : PEBBLE BEACH COMMUNITY SERVICES DISTRICT</div> <div>GRADING QUANTITIES:</div> <div>CUT/FILL : CUT: 915 C.Y. / FILL: 5 C.Y. = NET: 910 C.Y. EXPORT</div> <div>TREE REMOVAL:</div> <div>THREE OAK TREES: ONE 6"18" DOUBLE TRUNK OAK TREE ONE 20" OAK TREE ONE 25" OAK TREE</div>	LOT SIZE :	67,551 S.F.	A.P.N. :	008-361-029-000	ZONING :	LDR/1.5-D(CZ)	ZONING	LDR/1.5-D(CZ)	FLOOR AREA RATIO :	17.5%	MAXIMUM AREA ALLOWED :	11,821 SQ. FT.	MAX. SITE COVERAGE ALLOWED :	9,000 SQ. FT.	TOTAL (E) MAIN HOUSE:	5,641 S.F.	TOTAL (E) GARAGE:	504 S.F.	(N) ACCESSORY DWELLING UNIT:	1,199 S.F.	TOTAL PROPOSED FLOOR AREA :	7,344 S.F.	(N) GROUND LEVEL GARAGE :	1,426 S.F.	TOTAL PROPOSED FLOOR AREA :	8,770 S.F.	TOTAL (E) MAIN HOUSE FOOTPRINT:	4,171 S.F.	TOTAL (E) GARAGE:	504 S.F.	TOTAL (E) SHED AND GENERATOR:	231 S.F.	TOTAL BUILDING COVERAGE:	4,906 S.F.	(N) ACCESSORY DWELLING UNIT	1,199 S.F.	(N) EXT. 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KINOSIAN 3202 DEL CIERVO ROAD PEBBLE BEACH, CA 93953</div> <div>ADDRESS: 3202 DEL CIERVO ROAD PEBBLE BEACH, CA 93953</div> <div>ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PH: 831-372-0410</div> <div>LAND SURVEYOR: LANDSET ENGINEERS, INC 520-B CRAZY HORSE CANYON ROAD SALINAS, CA 93907 PH: 831-443-6970</div> <div>CIVIL ENGINEER: LANDSET ENGINEERS, INC 520-B CRAZY HORSE CANYON ROAD SALINAS, CA 93907 PH: 831-443-6970</div> <div>PROJECT DESCRIPTION:</div> <div>NEW 2 BEDROOM ATTACHED ACCESSORY DWELLING UNIT, WITH EXTERIOR COVERED PATIO AND DECK. BASEMENT GARAGE. NEW PAVED DRIVENWAY WITH RETAINING WALLS AND NEW PERVIOUS AUTOCOURT PAVING.</div>	<div>ARCHITECTURAL</div> <div>A-0.1 TITLE SHEET</div> <div>A-1.1 PROPOSED SITE PLAN</div> <div>A-1.2 ENLARGED SITE PLAN</div> <div>A-2.0 PROPOSED BASEMENT FLOOR PLAN</div> <div>A-2.1 PROPOSED FIRST FLOOR PLAN</div> <div>A-2.2 PROPOSED ROOF PLAN</div> <div>A-3.0 PROPOSED EXTERIOR ELEVATIONS</div> <div>A-3.1 PROPOSED EXTERIOR ELEVATIONS</div> <div>A-T.1 MATERIAL COLOR SAMPLES</div> <div>A-T.2 EXISTING BUILDING</div> <div>CIVIL</div> <div>C1 COVER SHEET</div> <div>C2 TOPOGRAPHIC MAP/EXISTING CONDITIONS</div> <div>C3 GRADING, DRAINAGE & UTILITY PLAN</div> <div>C4 LOWER FLOOR & GRADING SECTIONS</div> <div>C5 EROSION & SEDIMENT CONTROL PLAN</div> <div>C6 STANDARD PLANS & CONSTRUCTION DETAILS</div>
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	<div>LOCATION MAP</div>	<div>VICINITY MAP</div>																																																																																																



SCALE: 1/16" = 1'-0"

REVISION	No.

CONSULTANT:

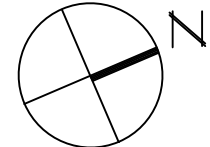
ARCHITECT

PROPOSED SITE PLAN

JOB NAME: Kinasian Residence
3202 Del Ciervo Road
Pebble Beach, CA 93953
A.P.N. 008-361-029-000










DATE:	4/13/2020
SCALE:	1/16" = 1'-0"
DRAWN:	CJH
JOB NUMBER:	18.17


A-1.1



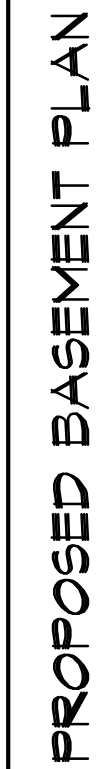
ENLARGED SITE PLAN

SCALE: 1/8" = 1'-0"

LEGEND			
	EXISTING TREE TO REMAIN		EXISTING DECKING TO REMAIN
	GROUPING OF TREES TO REMAIN		NEW PAVERS TO MATCH EXISTING. BLEND NEW INTO EXISTING
	TREES TO BE PROTECTED SEE MAP		NEW DECKING TO MATCH EXISTING
	TREES TO BE REMOVED		NEW STONE TILE TO MATCH EXISTING
	GROUPING OF TREES TO BE REMOVED ONE 6" AND 15" OAK		

REVISION		No.	
CONSULTANT:			
<p>ARCHITECT</p> <p>ERIC MILLER ARCHITECTS, INC.</p> <p>211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>			
<p>ENLARGED SITE PLAN</p>		<p>JOB NAME: Kinosian Residence 3202 Del Cierro Road Pebble Beach, CA 93953 A.P.N. 008-361-029-000</p>	
DATE: 4/13/2020			
SCALE: 1/8" = 1'-0"			
DRAWN: C.J.H			
JOB NUMBER: 18.17			
<p>A-1.2</p> <p>SHEET OF</p>			

SCALE: 1/4" = 1'-0"



IB NAME: **Kinosian Residence**
3202 Del Ciervo Road
Pebble Beach, CA 93953
A.P.N. 008-361-029-000

DATE: 4/13/2020

SCALE: 1/4" = 1'-0"

DRAWN: SSH

JOB NUMBER: 18.17

A-2.0

SHEET OF

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

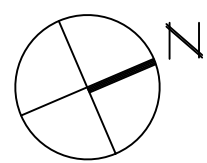
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: www.ericmillerarchitects.com

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.

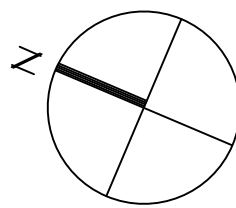
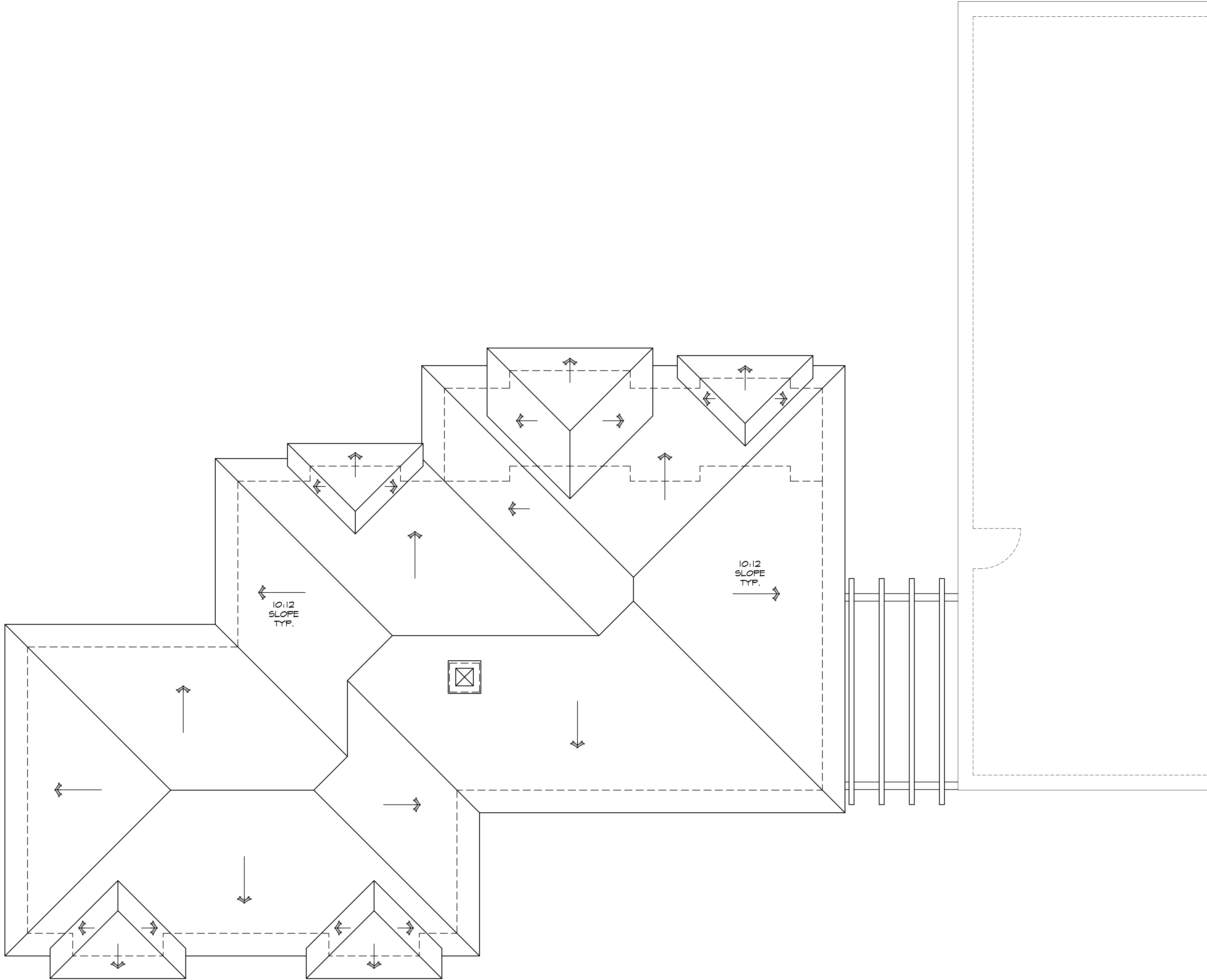
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: www.ericmillerarchitects.com

REVISION	No.



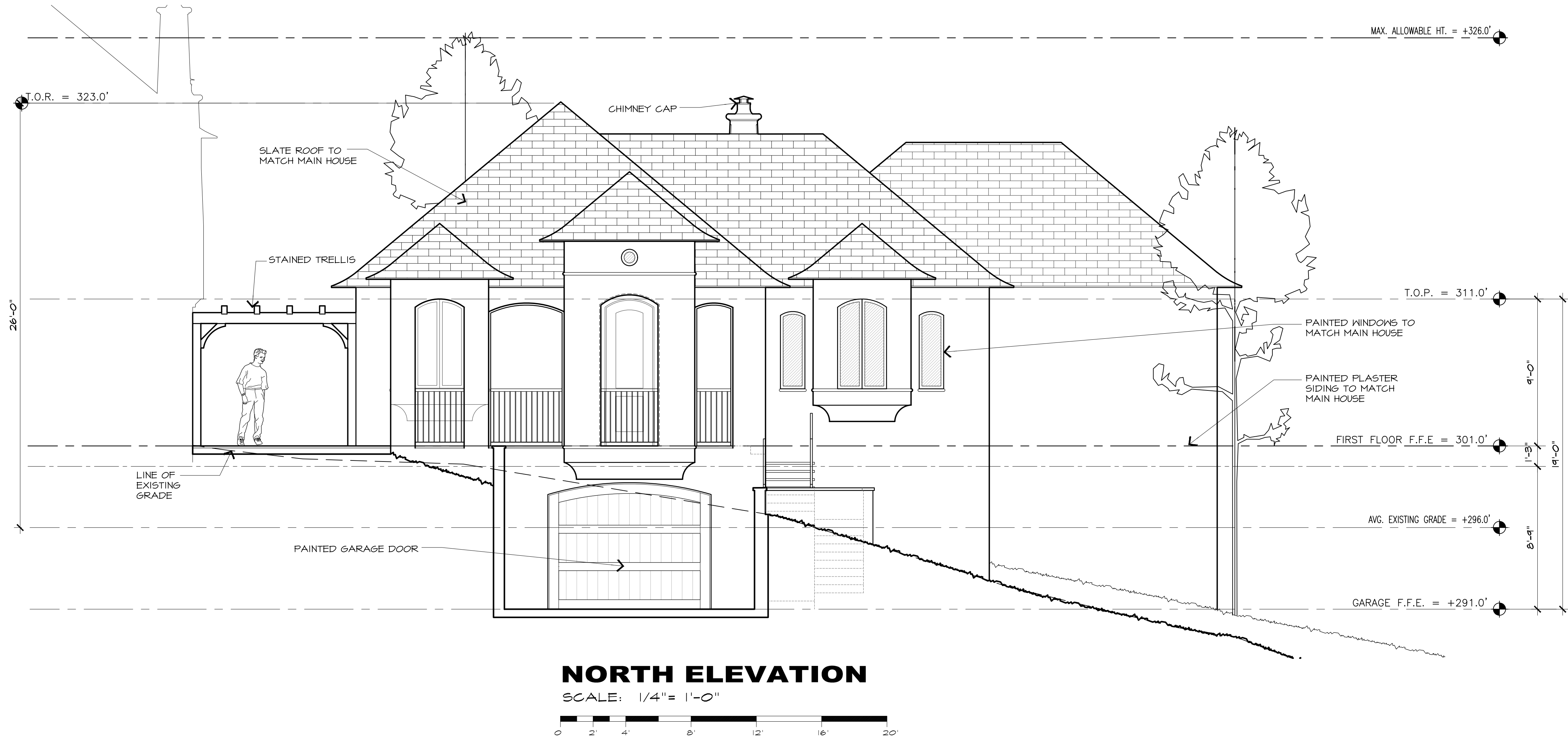
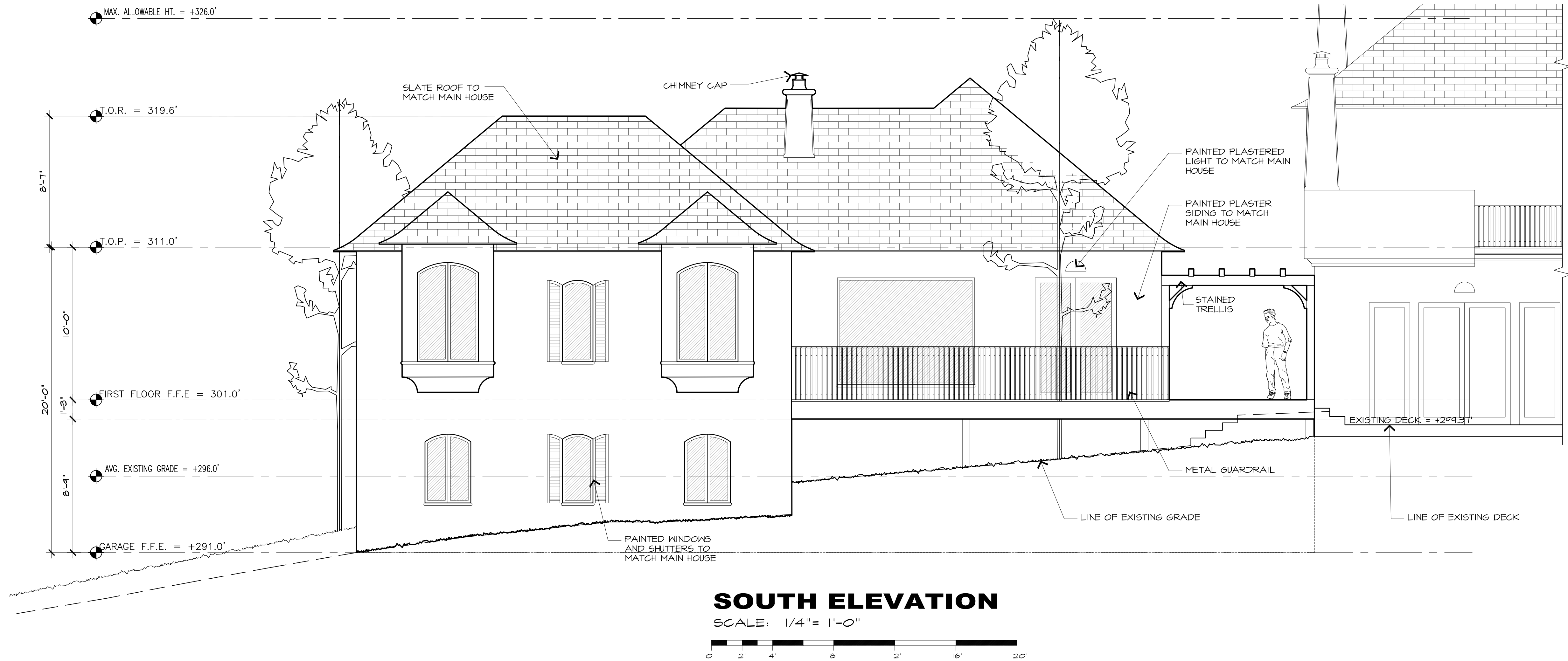
SCALE: 1/4" = 1'-0"

REVISION		No.
CONSULTANT:		
<p>ARCHITECT</p> <p>ERIC MILLER ARCHITECTS, INC.</p> <p>211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>		<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
<p>PROPOSED FLOOR PLAN</p> <p>JOB NAME: Kinosian Residence 3202 Del Cierro Road Pebble Beach, CA 93953 A.P.N. 008-361-029-000</p>		
DATE: 4/15/2020		
SCALE: 1/4" = 1'-0"		
DRAWN: SSH		
JOB NUMBER: 10.17		
<p>A-2.1</p> <p>SHEET OF</p>		



ROOF PLAN
SCALE: 1/4" = 1'-0"

REVISION		No.
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC. 		
211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
ROOF PLAN		JOB NAME: Kinosian Residence 3202 Del Cierro Road Pebble Beach, CA 93953 A.P.N. 008-361-029-000
DATE:		4/13/20
SCALE:		1/4"=1'-0"
DRAWN:		HRM
JOB NUMBER:		18.17
A-2.2		SHEET OF



PROPOSED EXTERIOR ELEVATIONS

JOB NAME:
Kinosian Residence
3202 Del Cienega Road
Pebble Beach, CA 93953
A.P.N. 008-361-029-000

DATE: 4/13/20

SCALE: 1/4"=1'-0"

DRAWN: SSH

JOB NUMBER: 18.17

A-3.0
SHEET OF

ARCHITECT

ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

CONSULTANT:

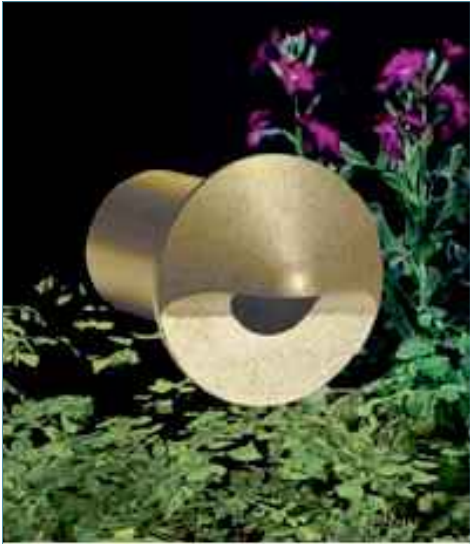
REVISION	No.



A-3.1

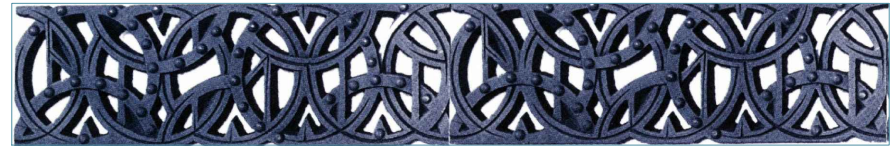


PATH LIGHT - 25W
COPPER FINISH



SIDE WALL LIGHT - 25W
COPPER FINISH

LANDSCAPE LIGHTING
MATCH EXISTING HOUSE



TRENCH GRATE

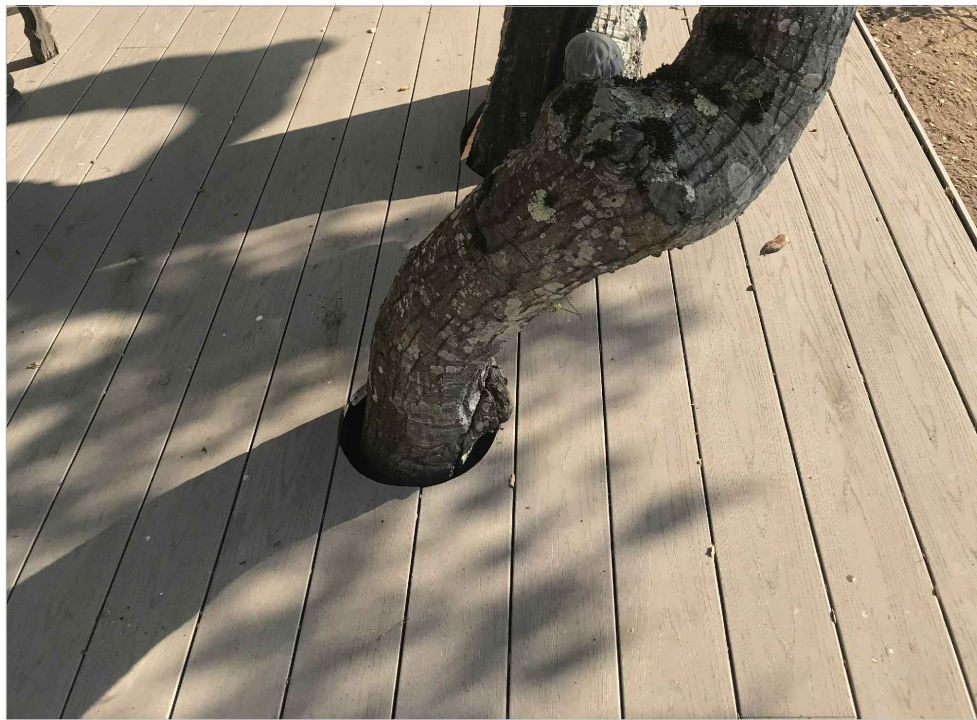


DRAIN COVER
URBAN ACCESSORIES-OT

DRAINAGE GRATES
MATCH EXISTING HOUSE



RAILINGS
MATCH EXISTING HOUSE



COMPOSITE DECKING

DECKING
MATCH EXISTING HOUSE



STUCCO SIDING

EXTERIOR FINISH
MATCH EXISTING HOUSE



LAMP - LED-25 WATT EQUIVALENT
FINISH - STUCCO

EXTERIOR WALL SCONCE
MATCH EXISTING HOUSE



WOOD WINDOWS & DOORS
MATCH EXISTING HOUSE



WOOD - PAINTED

GARAGE DOOR
MATCH EXISTING HOUSE



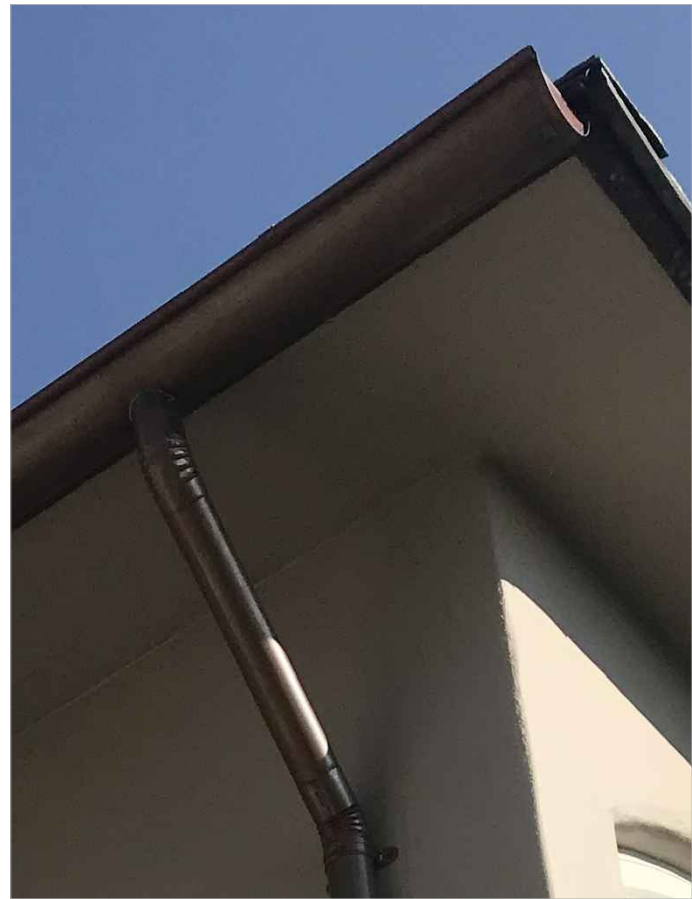
WOOD - PAINTED

WINDOW SHUTTERS
MATCH EXISTING HOUSE



SLATE

ROOFING
MATCH EXISTING HOUSE



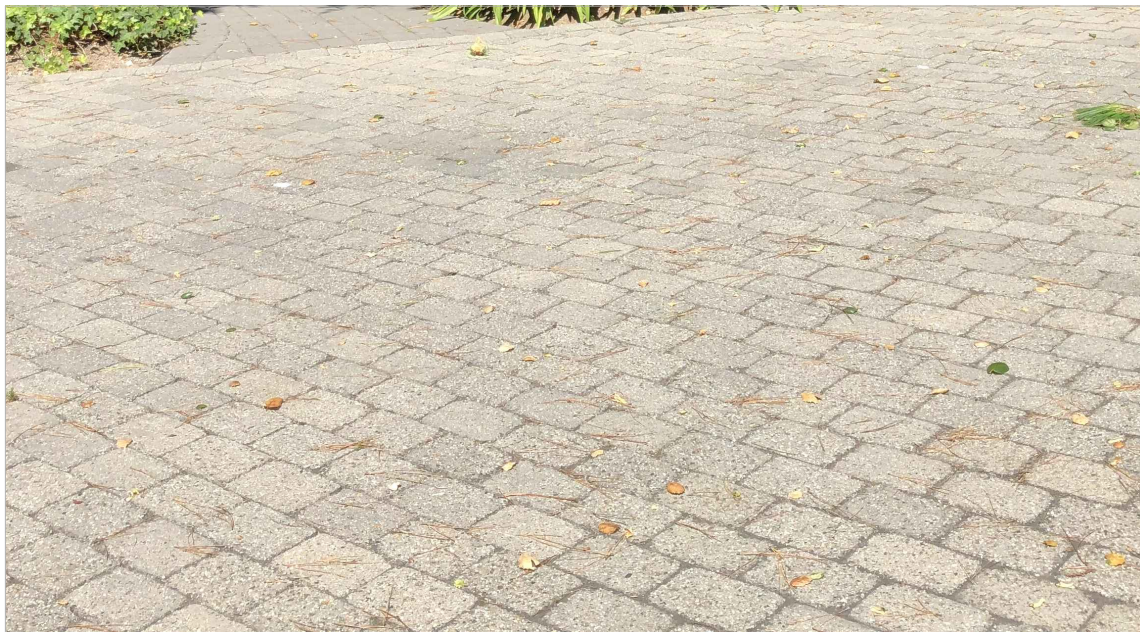
COPPER

GUTTER & DOWNSPOUT
MATCH EXISTING HOUSE



STUCCO SIDING

EXTERIOR COLORS
MATCH EXISTING HOUSE



DRIVEWAY PAVERS
MATCH EXISTING PAVERS

FOR REFERENCE ONLY

REVISION		No.
CONSULTANT:		
ARCHITECT		
MATERIAL COLOR SAMPLES		
DATE:		4/13/20
SCALE:		N.T.S.
DRAWN:		SSH
JOB NUMBER:		18.17
JOB NAME:		Kinosian Residence 3202 Del Cierro Road Pebble Beach, CA 93953 A.P.N. 008-361-029-000
ARCHITECT		ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com
A-7.1		SHEET OF



1 EXISTING GARAGE



2 EXISTING FRONT COURTYARD



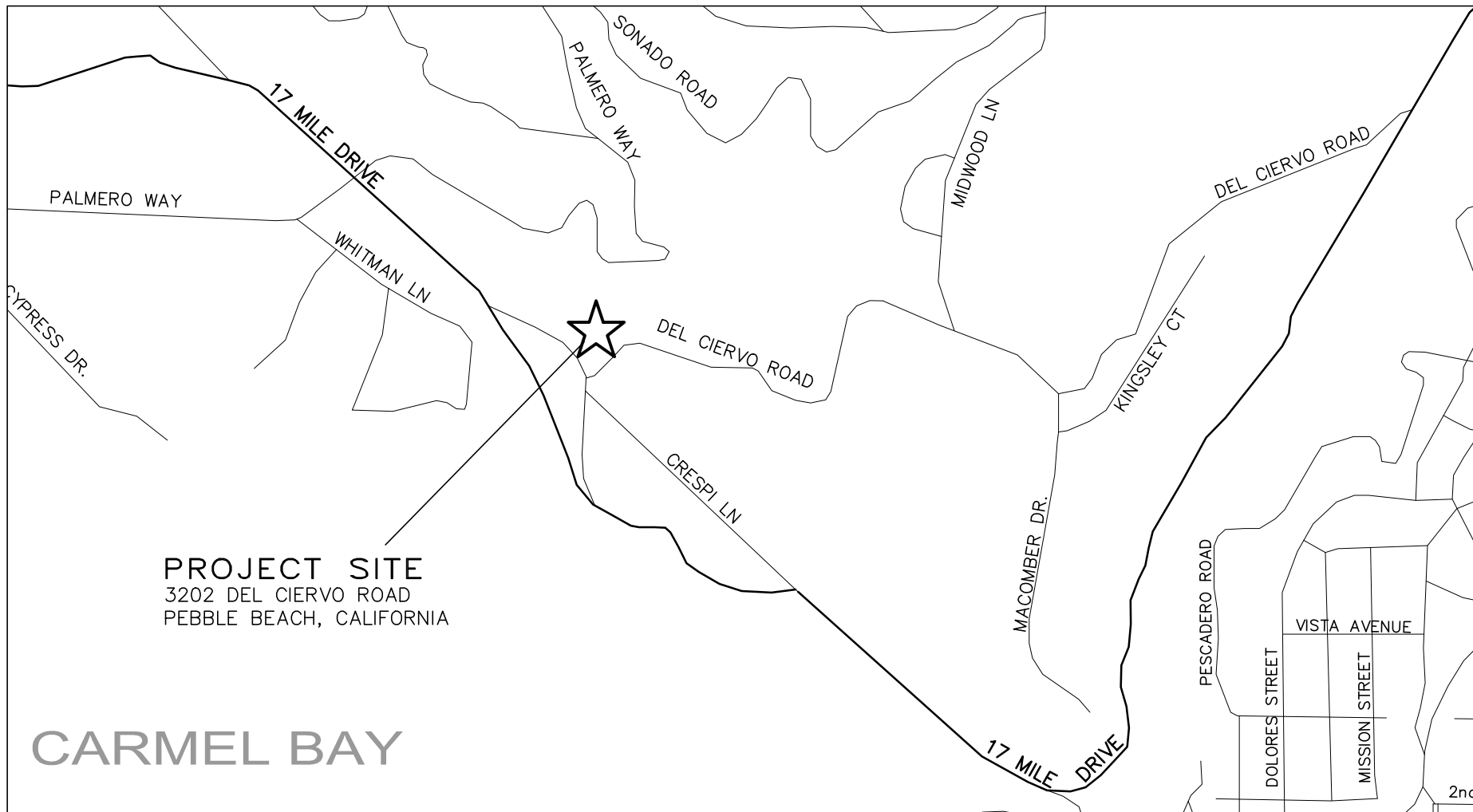
3 EXISTING SIDE AT PROPOSED ADDITION



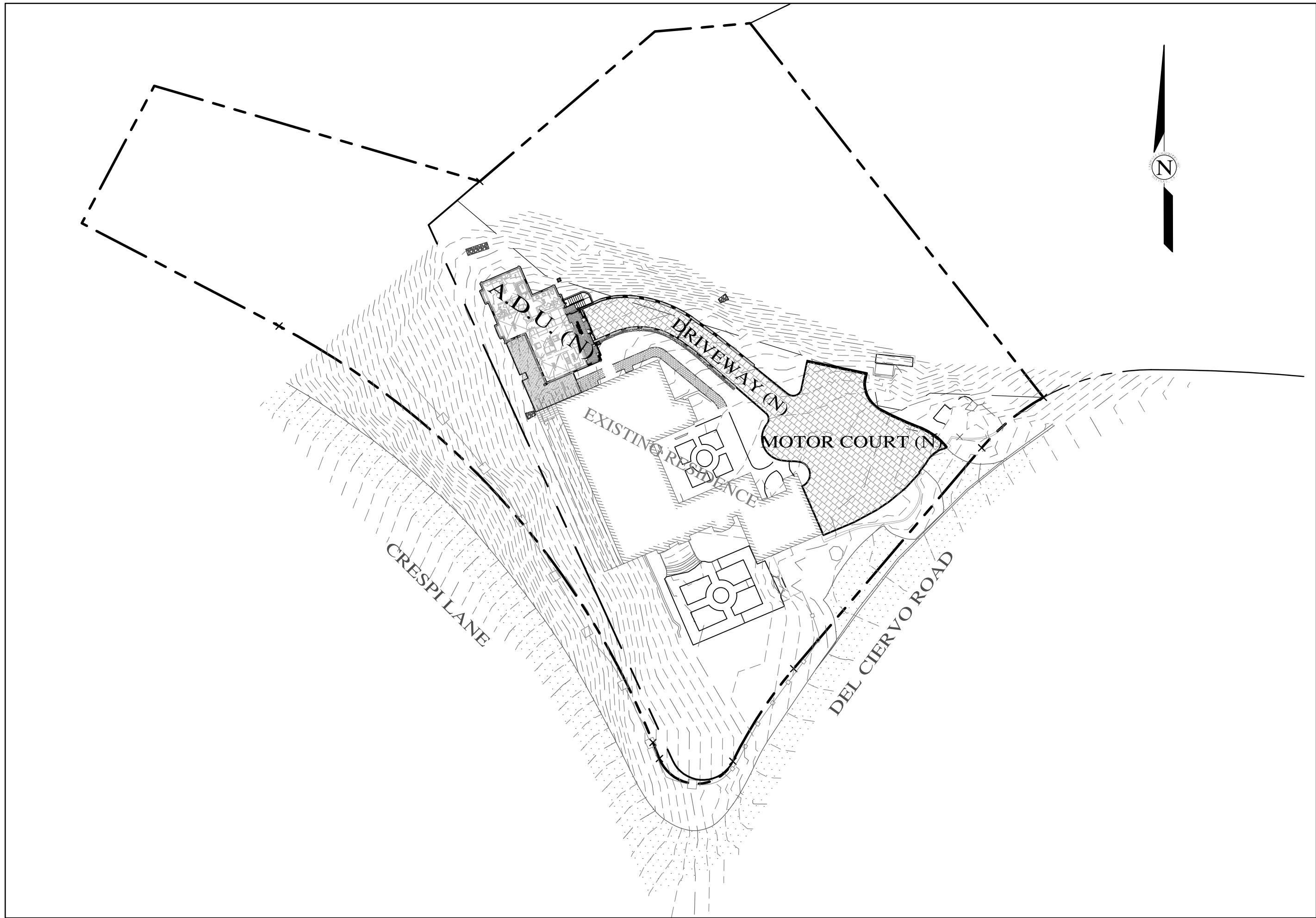
4 EXISTING BACK

REVISION		No.
CONSULTANT:		
ARCHITECT		ERIC MILLER ARCHITECTS, INC. 
		211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com
EXISTING BUILDING	JOB NAME:	Kinosian Residence
	DATE:	4/13/20
	SCALE:	N.T.S.
	DRAWN:	SSH
	JOB NUMBER:	18.17
A-7.2		SHEET OF

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
KINOSIAN ACCESSORY DWELLING UNIT
APN: 008-361-029
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1"=40'

LEGEND:

EXISTING:	SEE SHEET C2
NEW:	
MAJOR CONTOUR LINE (5' INTERVAL)	
MINOR CONTOUR LINE (1' INTERVAL)	
STORM DRAIN LINE	
RAIN-WATER LEADER	
SUBDRAIN PIPE	
DRAINAGE SWALE FLOW LINE	
SPOT ELEVATION	293.50
ROOF DOWNSPOUT/SPLASH BLOCK	
PORTLAND CEMENT CONCRETE SURFACE	
PERMEABLE CONCRETE PAVEMENT SURFACE	
ROCK/DISPERSION TRENCH	
WOOD DECK	

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection	When the inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	LandSet Engineers, inc.	Beginning of Project		
Subexcavation, fill placement, and compaction	LandSet Engineers, inc.	Throughout grading operations		
Foundation Excavations	LandSet Engineers, inc.	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	LandSet Engineers, inc.	Prior to trench backfill		
Utility trench compaction	LandSet Engineers, inc.	During backfill operations		
Retaining wall backfill compaction	LandSet Engineers, inc.	During backfill operations		
Baseroack subgrade compaction	LandSet Engineers, inc.	Prior to pavement installation		

TOTAL IMPERVIOUS AREA = 1,704 SQ.FT.
TOTAL AREA OF DISTURBANCE = 9,997 SQ.FT.

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE KINOSIAN RESIDENCE, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY LANDSET ENGINEERS, INC. ON MAY 5, 2019.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION PREPARED BY LANDSET ENGINEERS, INC. PROJECT No. 1865-02, DATED MARCH 20, 2019, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE 2016 CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 915 C.Y. OF CUT AND 5 C.Y. OF FILL WITH AN EXPORT OF 910 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS WITH SPLASH BLOCKS WHICH OUTLET INTO LANDSCAPE AREAS AND/OR PERVIOUS PAVERS OR CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASIN AND DISCHARGED TO AN EROSION CONTROL-ENERGY DISSIPATOR/DISPERSION TRENCH. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF DRAINAGE SWALES, AREA DRAINS AND TRENCH DRAINS OUTLETING ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN.
- SUBSURFACE DRAINAGE FOR RETAINING WALLS IF REQUIRED WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.

- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASIN AND JUNCTION BOX SHALL BE CHRISTY PRODUCTS V12 WITH CAST IRON GRATE AND SOLID LID OR APPROVED EQUAL. TRENCH DRAIN SHALL BE NDS DURA SLOPE CLASS C, AND AREA DRAIN ON STAIRS SHALL BE NDS SFEED WITH SQUARE GRATE. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. REL. COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	LOWER FLOOR PLAN & GRADING SECTIONS
SHEET C5	EROSION & SEDIMENT CONTROL PLAN
SHEET C6	STANDARD PLANS & CONSTRUCTION DETAILS

EROSION & SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

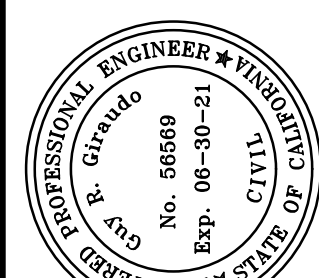
CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. ARAM KINOSIAN
3202 DEL CIERVO ROAD
PEBBLE BEACH, CA 93953

SECONDARY: ARCHITECT
ERIC MILLER ARCHITECTS, INC.
ATTN: MS. CARLA HASHIMOTO
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH (831)372-0410

SITE LOCATION:
3202 DEL CIERVO ROAD
PEBBLE BEACH, CA 93953

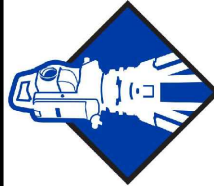
10/31/19	AMS	RELEASED TO CLIENT	
No.	DATE	BY	REVISION



APPROVED BY:

GUY R. GIRARDO

LANDSET
ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 95077
Office (831)443-3801
www.landseteng.com



GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
KINOSIAN ACCESSORY DWELLING UNIT

A.P.N.: 008-361-029

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

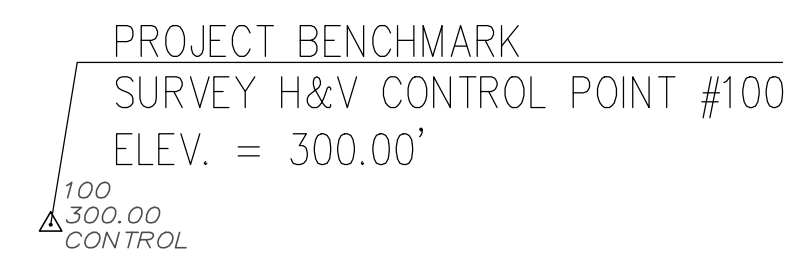
FOR
MR. & MRS. CRAIG ARAM KINOSIAN

" COVER SHEET "

SCALE: AS SHOWN
DATE: JULY 2019
JOB NO. 1865-03

SHEET
C1

OF 6 SHEETS



PROPERTY BOUNDARY LINE
ADJACENT PROPERTY BOUNDARY LINE
ORIGINAL PROPERTY BOUNDARY LINE
EASEMENT LINE (TYPE AS SHOWN)
ROADWAY CENTERLINE
MAJOR CONTOUR LINE (5' INTERVAL)
MINOR CONTOUR LINE (1' INTERVAL)
FENCE (TYPE AS MARKED)

ASPHALT CONCRETE SURFACE











PORTLAND CEMENT CONCRETE SURFACE












DECK








PAVER SURFACE

NATURAL GROUND SURFACE/LANDSCAPED AREA

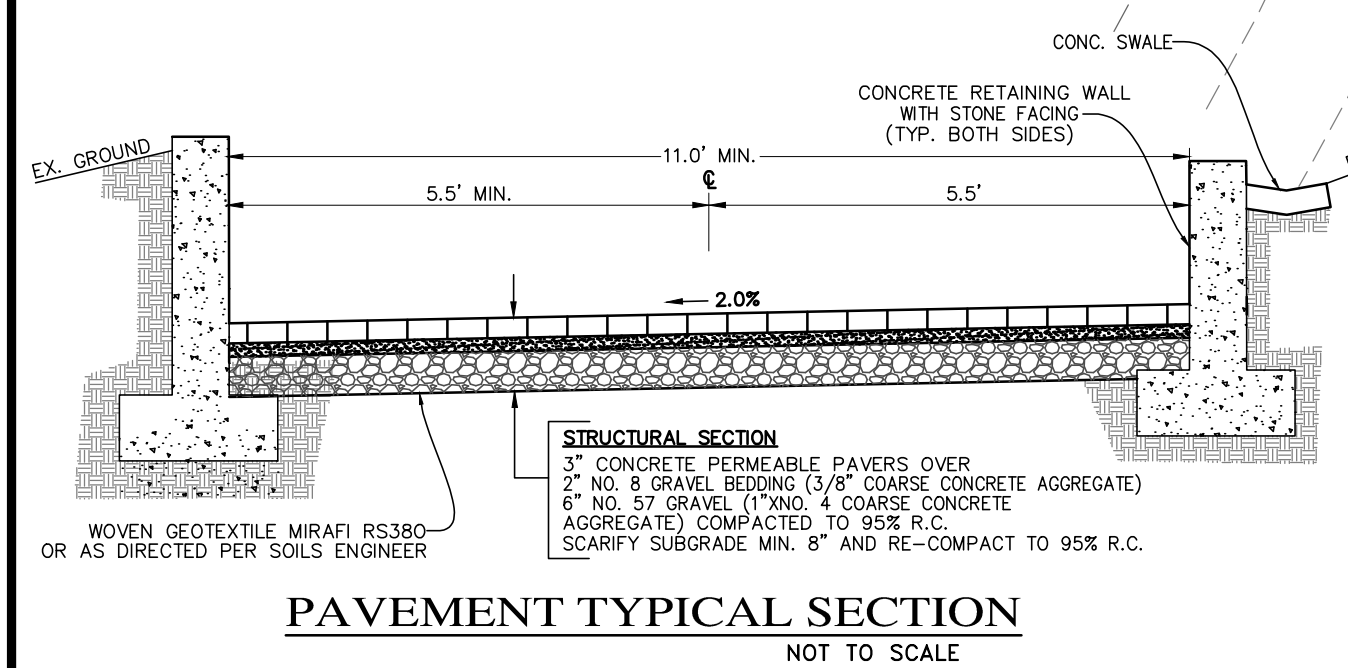
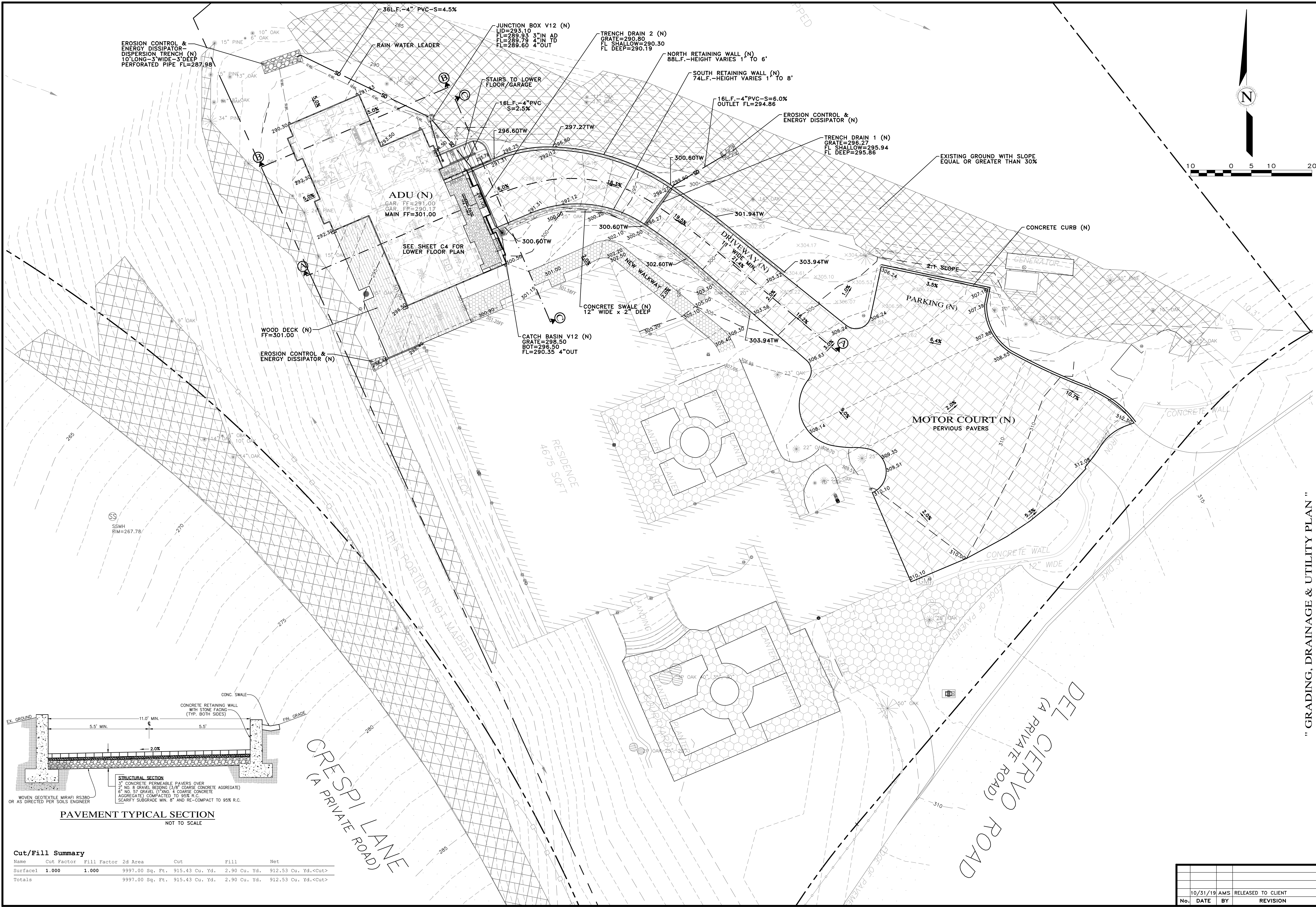
GROUND SLOPE GREATER THAN 30%

- | | |
|---|-------------------|
|  | GAS LINE |
|  | TELEPHONE SERVICE |
|  | UNKNOWN UTILITY |
|  | FUSE BOX |
|  | ELECTRICAL OUTLET |
|  | UTILITY POLE |
|  | GUY WIRE |
|  | MAILBOX |
|  | AREA DRAIN |
|  | HYDRANT |

- | | |
|---|------------------------|
|  | GAS METER |
|  | WATER METER |
|  | PGE BOX |
|  | UTILITY HUB |
|  | TELEPHONE BOX |
|  | ELECTRICAL HUB |
|  | ELECTRICAL PANEL |
|  | ELECTRICAL METER |
|  | SANITARY SEWER MANHOLE |
|  | STORM DRAIN MANHOLE |
|  | PGE GAS MANHOLE |

- | | |
|---|--------------------------------|
|  | FOUND MONUMENT - TYPE NOTED |
|  | SURVEY H&V CONTROL POINT |
| $\times 100.00$ | SPOT ELEVATION |
| $\times 100.00$ RL | RIDGELINE |
| $\times 100.00$ FF | FINISHED FLOOR |
|  | TREE (TYPE AND SIZE AS MARKED) |
|  | CENTER OF SYMBOL IS APPROX. |
|  | CENTER OF TREE |
|  | TWO PRONGED TREE |
|  | THREE PRONGED TREE |

- 1) ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED APPROXIMATELY 29' SOUTHEAST OF THE CENTERLINE INTERSECTION OF CRESPI LANE AND DEL CIERVO ROAD, ELEVATION = 300.00' AS SHOWN.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE UTILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE, AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- 4) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (5/10/19) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- 5) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY SURVEY INFORMATION. THE LOCATION OF THE PROPERTY LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.



Cut/Fill Summary						
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Surfacer	1.000	1.000	9997.00 Sq. Ft.	915.43 Cu. Yd.	2.90 Cu. Yd.	912.53 Cu. Yd.<Cut>
Totals			9997.00 Sq. Ft.	915.43 Cu. Yd.	2.90 Cu. Yd.	912.53 Cu. Yd.<Cut>

PROFESSIONAL ENGINEER
No. 55689
Exp. 05-30-21
GUY R. GIRARDO
CIVIL

APPROVED BY:
GUY R. GIRARDO

LANDSET
ENGINEERS, INC.
5208 Crazy Horse Canyon Road
Salinas, California 95077
Office (831) 443-3601
www.landseteng.com

GRADING, DRAINAGE & UTILITY PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

KINOSIAN ACCESSORY DWELLING UNIT

A.P.N.: 008-361-029

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

FOR
MR. & MRS. CRAIG ARAM KINOSIAN

SCALE: 1"=10'

DATE: JULY 2019

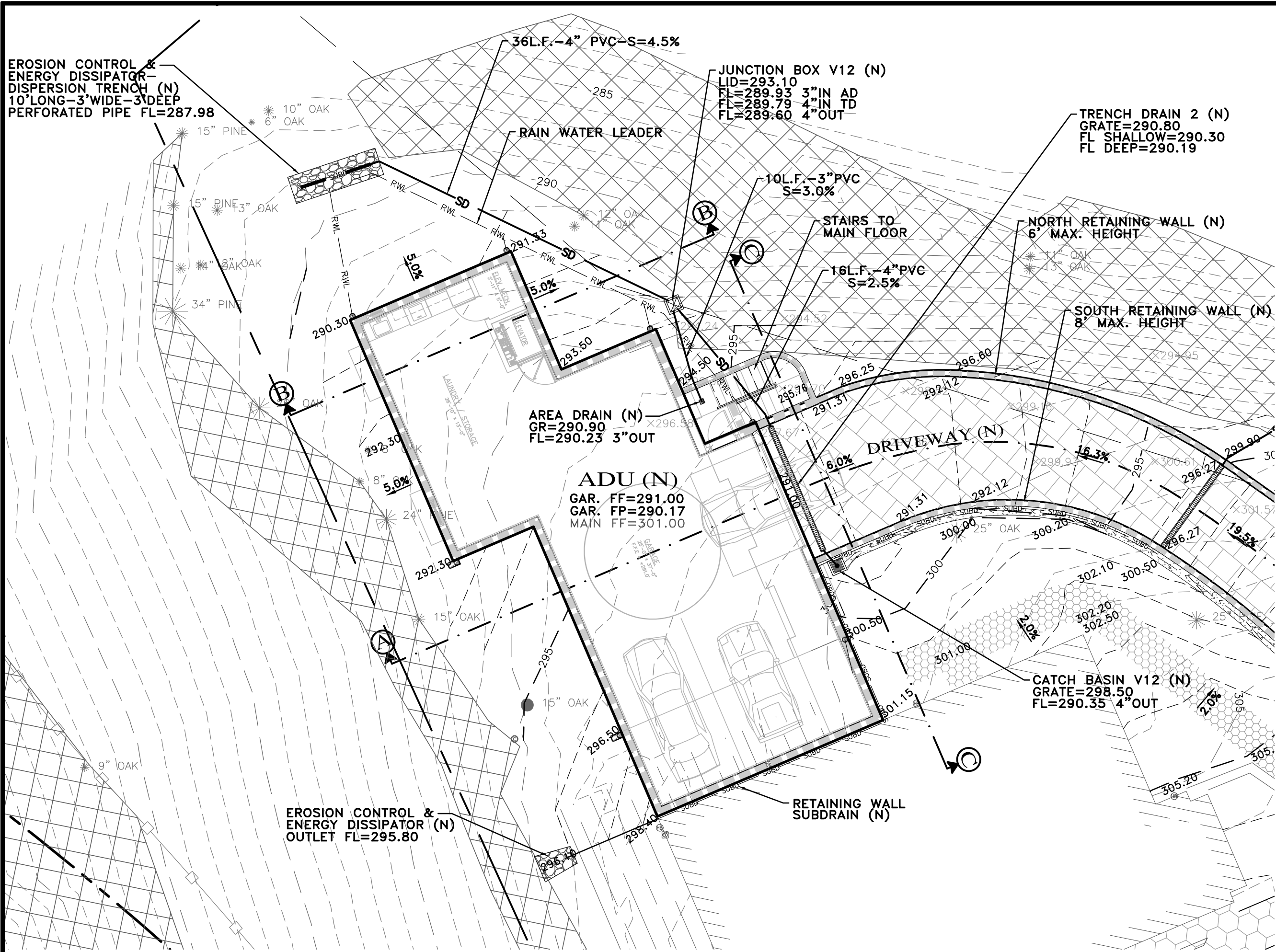
JOB NO. 1865-03

10/31/19	AMS	RELEASED TO CLIENT			
No.	DATE	BY	REVISION		

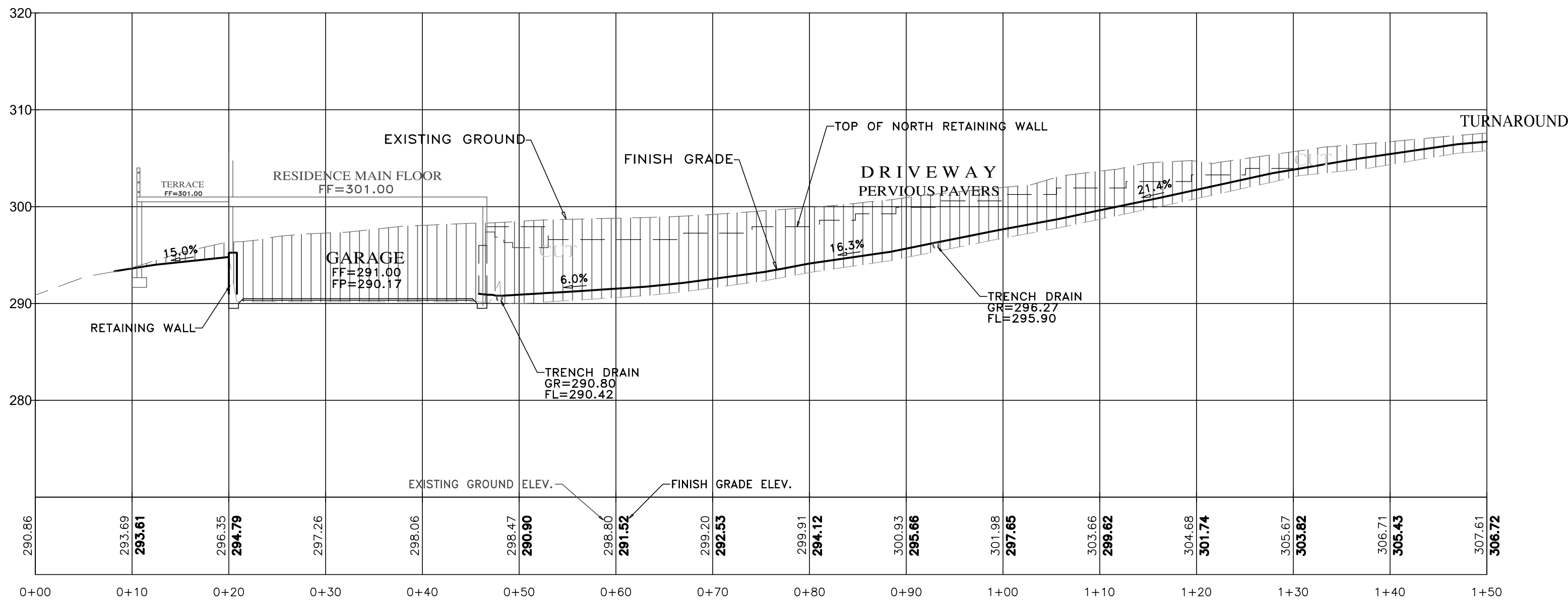
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C3

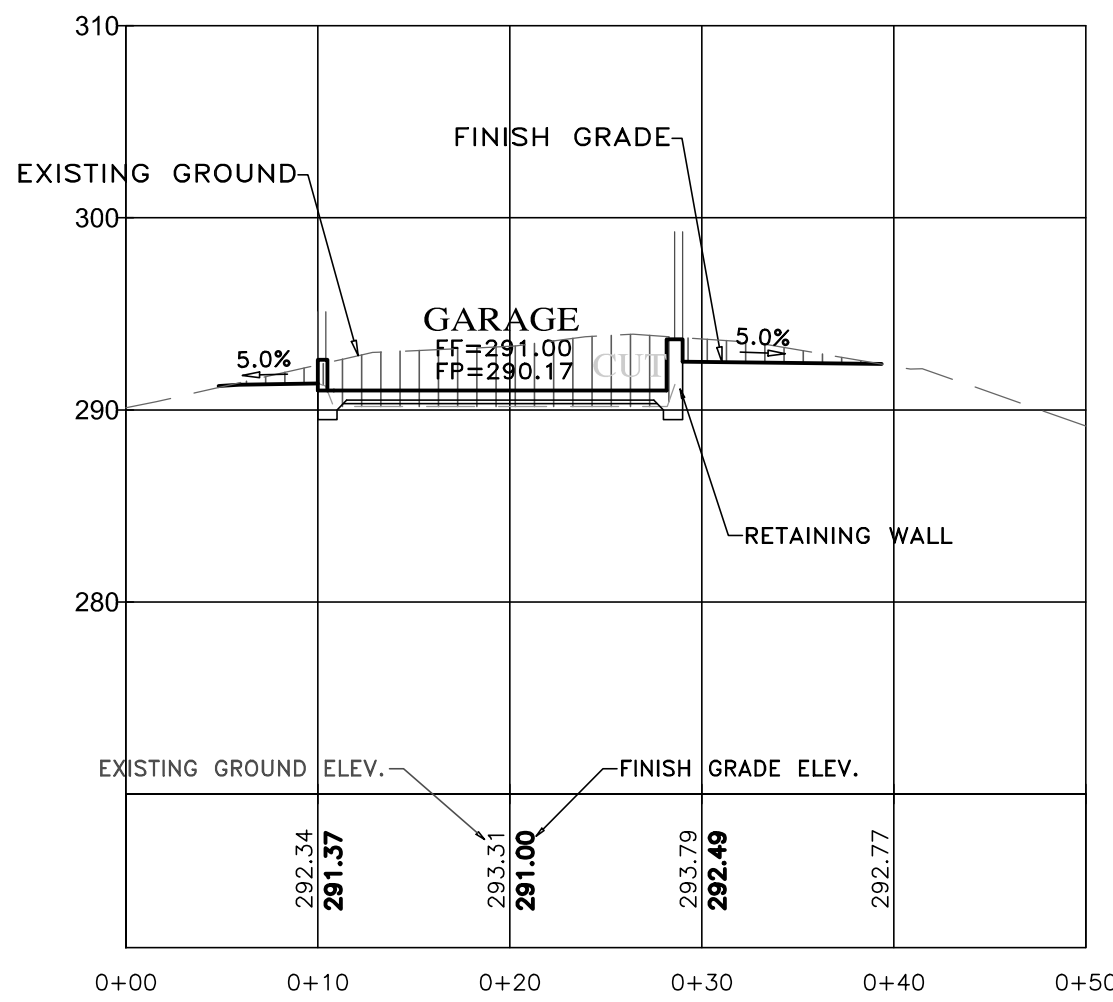
OF 6 SHEETS



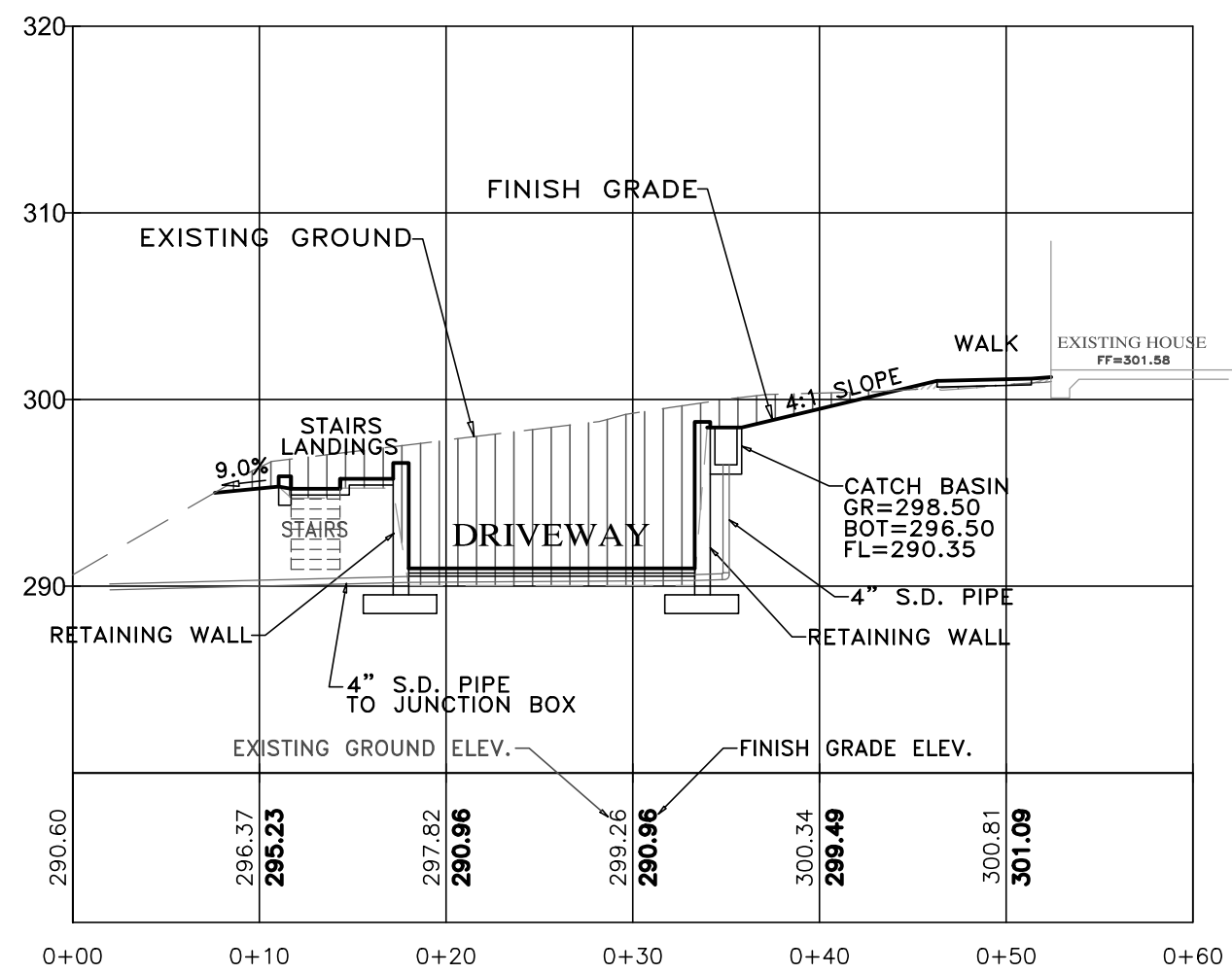
LOWER FLOOR-GARAGE DETAIL
SCALE: 1"=10'



SECTION A-A
SCALE: 1"=10'



SECTION B-B
SCALE: 1"=10'



SECTION C-C
SCALE: 1"=10'

MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY

Carl P. Holm, AICP, Director
John Guerin, Acting Deputy Director
Daniel Dobrilovic, Acting Building Official
Michael Novo, AICP, Director of Planning
Benny J. Young, Interim Director of Public Works & Facilities



168 W. Alisal Street, 2nd Floor
Salinas, CA 93901
(831) 755-4800
<http://www.co.monterey.ca.us/rma>

Site Design and Runoff Reduction Checklist

Site Design and Runoff Reduction

Projects that create and/or replace > 2,500 square feet of impervious surface, collectively over the entire project site, including detached single-family home projects, shall implement all of the following *design strategies* in the design of the project:

- Implemented
- ☒ Limited disturbance of creeks and natural drainage features
 - ☒ Minimized compaction of highly permeable soils
 - ☒ Limited clearing and grading of native vegetation at the site to the minimum area needed to build the project, allow access, and provide fire protection
 - ☒ Minimized impervious surfaces by concentrating improvements on the least-sensitive portions of the site, while leaving the remaining land in a natural undisturbed state

And must minimize stormwater runoff by implementing one or more of the following *site design measures*:

- Implemented
- ☐ Directed roof runoff into cisterns or rain barrels for reuse
 - ☒ Directed roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - ☒ Directed runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - ☐ Directed runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - ☐ Constructed bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces

Property Owner/Agent Name

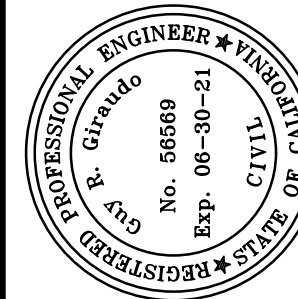
Date Prepared

MR. ARAM KINOSIAN

10/31/2019

Property Owner/Agent Signature

Permit File Number



APPROVED BY:

GUY R. GIRARDO



GRADING, DRAINAGE & EROSION CONTROL PLAN

KINOSIAN ACCESSORY DWELLING UNIT

A.P.N.: 008-361-029

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

FOR MR. & MRS. CRAIG ARAM KINOSIAN

SCALE: AS SHOWN

DATE: JULY 2019

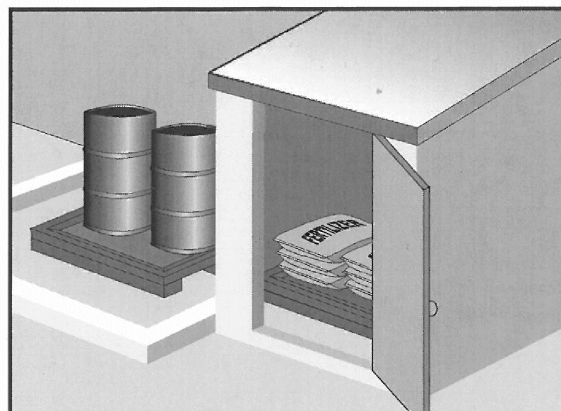
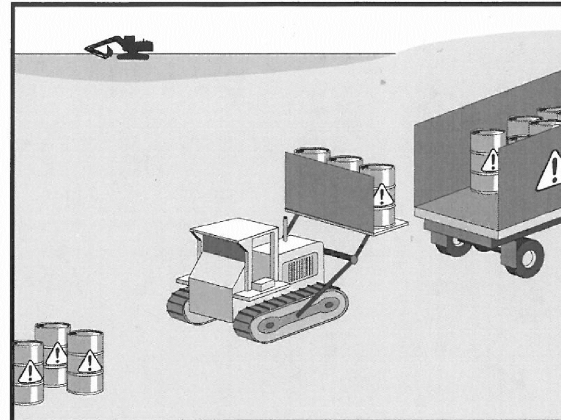
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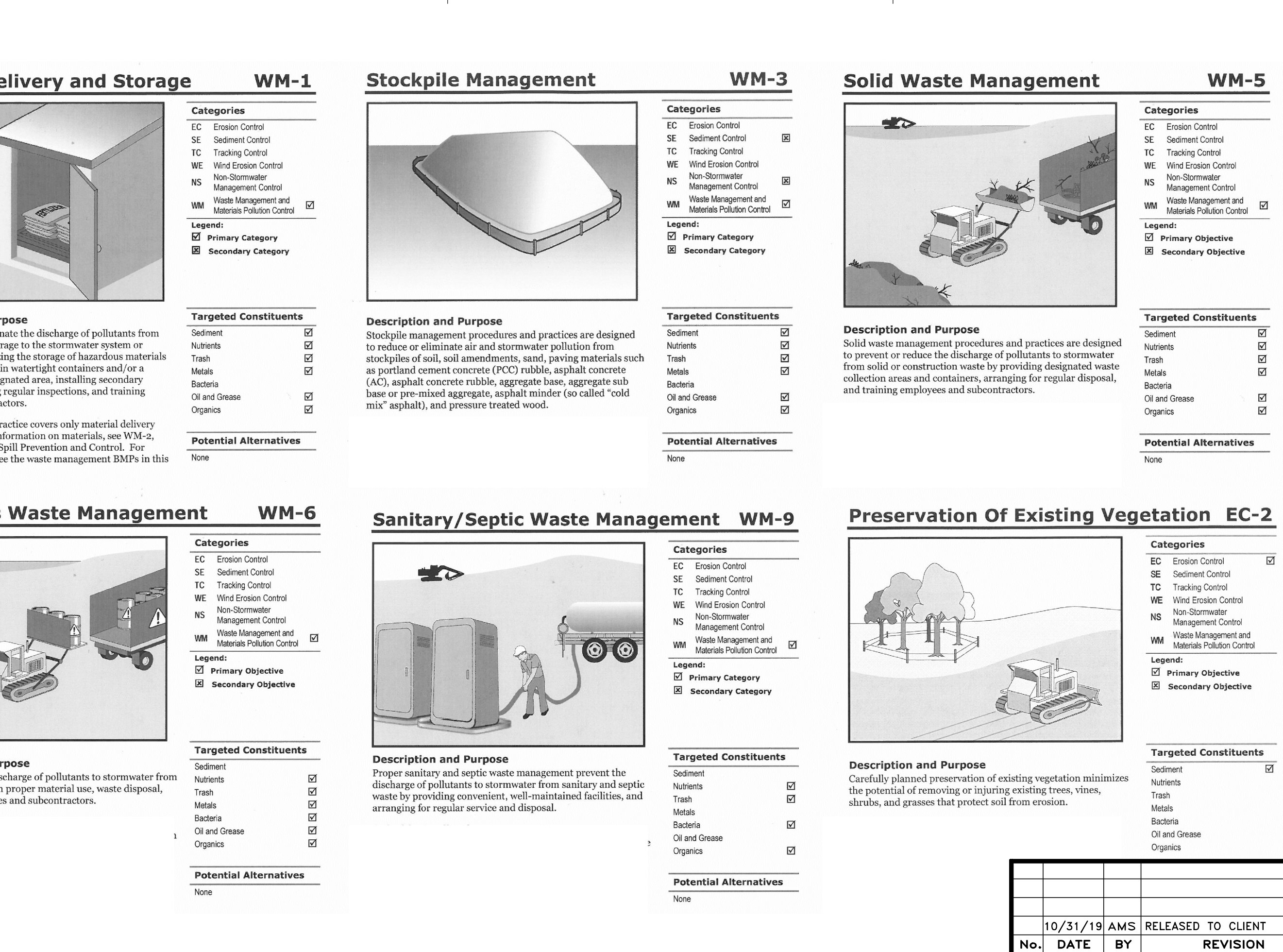
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OF 6 SHEETS

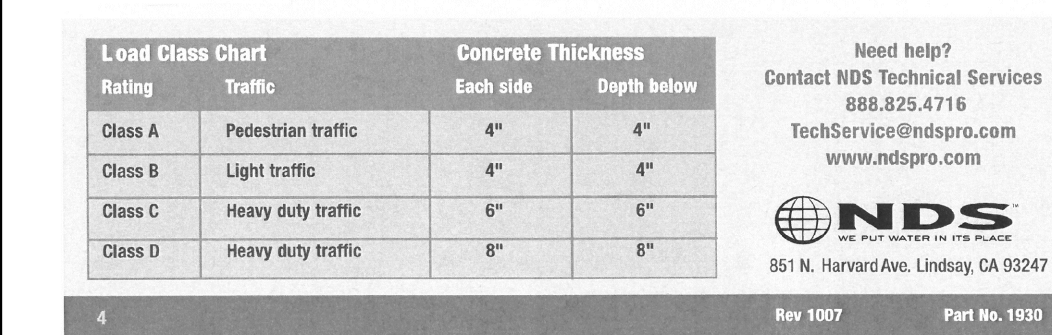
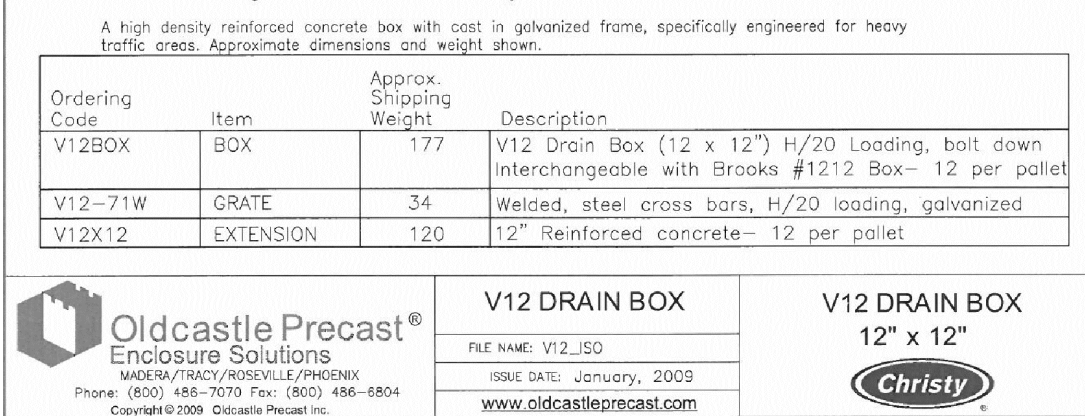
No.	DATE	BY	REVISION



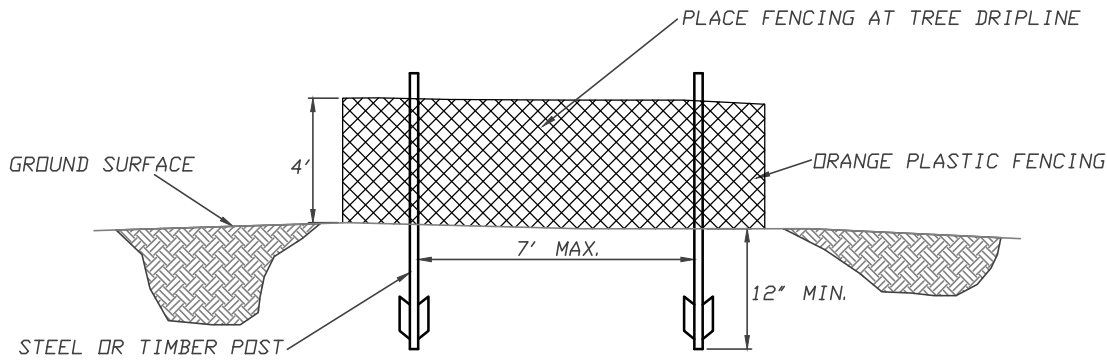
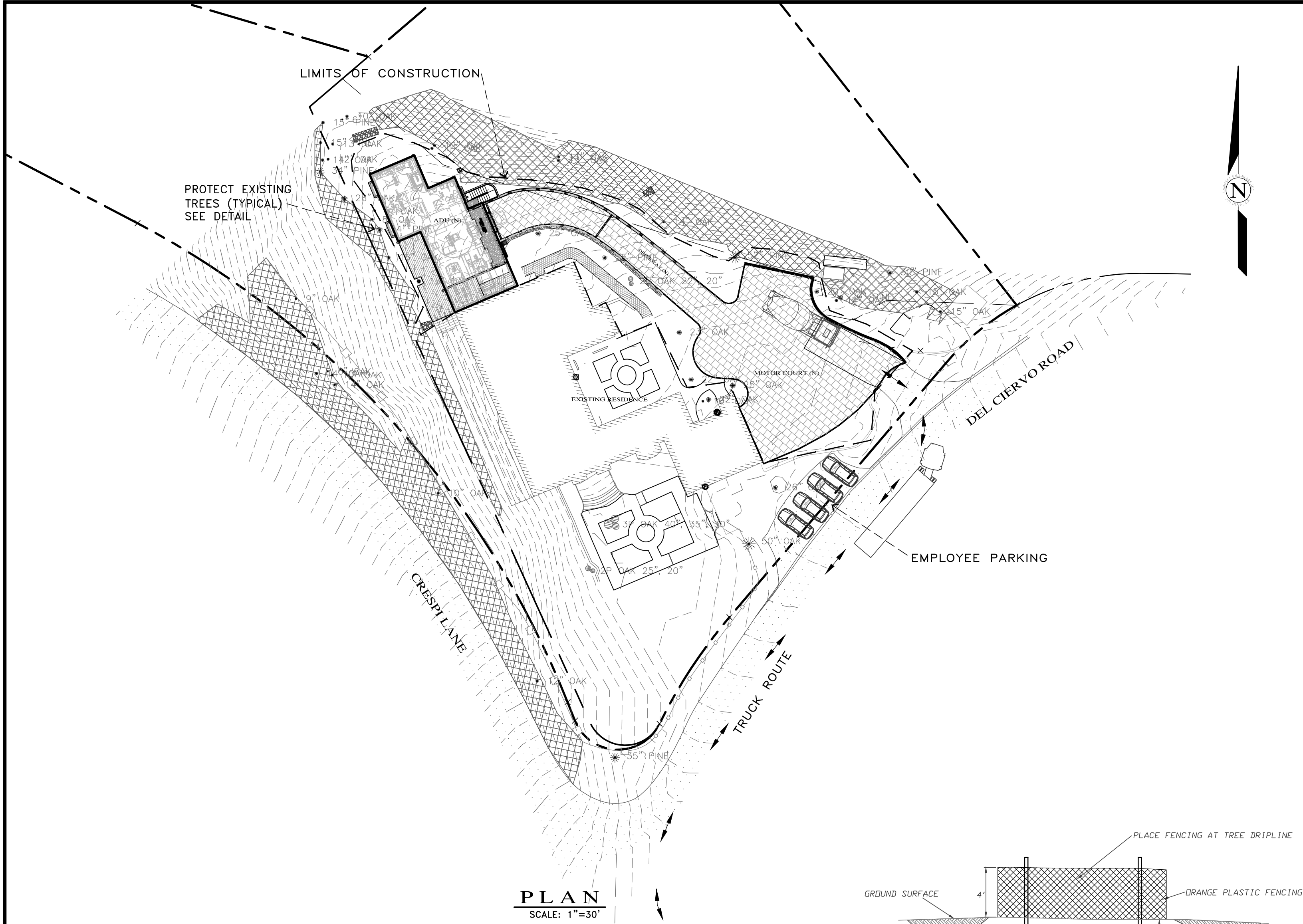
	Material Delivery and Storage	WM-1	
	 <p>Description and Purpose Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.</p> <p>This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.</p>	<p>Categories</p> <ul style="list-style-type: none"> EC Erosion Control SE Sediment Control TC Trapping Control WE Wind Erosion Control NS Non-Stormwater Management Control WM Waste Management and Materials Pollution Control <input checked="" type="checkbox"/> <p>Legend:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Primary Category <input checked="" type="checkbox"/> Secondary Category <p>Targeted Constituents</p> <ul style="list-style-type: none"> Sediment <input checked="" type="checkbox"/> Nutrients <input checked="" type="checkbox"/> Toxic <input checked="" type="checkbox"/> Metals <input checked="" type="checkbox"/> Bacteria <input checked="" type="checkbox"/> Oil and Grease <input checked="" type="checkbox"/> Organics <input checked="" type="checkbox"/> <p>Potential Alternatives</p> <p>None</p>	
	Hazardous Waste Management	WM-6	
	 <p>Description and Purpose Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, metals and training of employees and subcontractors.</p>	<p>Categories</p> <ul style="list-style-type: none"> EC Erosion Control SE Sediment Control TC Trapping Control WE Wind Erosion Control NS Non-Stormwater Management Control WM Waste Management and Materials Pollution Control <input checked="" type="checkbox"/> <p>Legend:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Primary Objective <input checked="" type="checkbox"/> Secondary Objective <p>Targeted Constituents</p> <ul style="list-style-type: none"> Sediment <input checked="" type="checkbox"/> Nutrients <input checked="" type="checkbox"/> Toxic <input checked="" type="checkbox"/> Metals <input checked="" type="checkbox"/> Bacteria <input checked="" type="checkbox"/> Oil and Grease <input checked="" type="checkbox"/> Organics <input checked="" type="checkbox"/> <p>Potential Alternatives</p> <p>None</p>	



11



	10/31/19	AMS	RELEASED TO CLIENT
No.	DATE	BY	REVISION



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
915 CY CUT
5 CY FILL

CONSTRUCTION STAGING:

A. MOBILIZE, CLEAR & GRAB..

B. SITE GRADING.

C. UTILITY INSTALLATION.

D. CONSTRUCT STRUCTURE.

E. INSTALL PAVERS AND LANDSCAPING.

F. SITE CLEANING, PUNCH LIST.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON THE DEL CIERVO ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
HAUL TRUCKS ENTER THE SITE FROM THE DEL CIERVO ROAD. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON THE DEL CIERVO ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE THE DEL CIERVO ROAD TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE DEL CIERVO ROAD AND SURROUNDING STREETS.

EMPLOYEE PARKING:
EMPLOYEE PARKING ON-SITE. IF NECESSARY, EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG THE DEL CIERVO ROAD, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF TRUCK TRIPS/DAY: 5

AMOUNT OF GRADING/DAY: 50 C.Y.

NUMBER OF EMPLOYEES/DAY: 4-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 4 MAY 2020, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

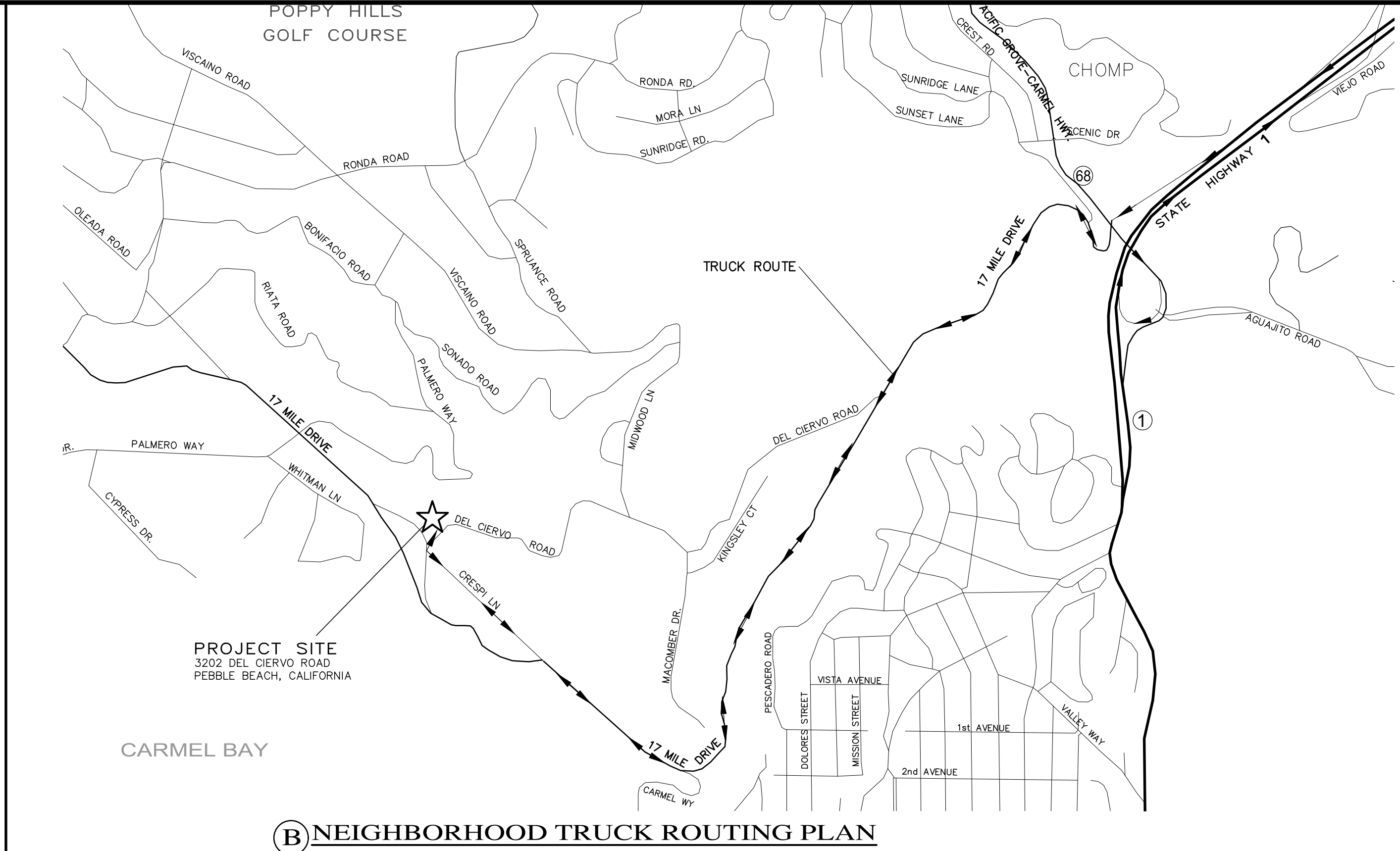
CONSTRUCTION STAGING PLAN
SCALE: 1"=30'

TRUCK TRIP GENERATION CHART:

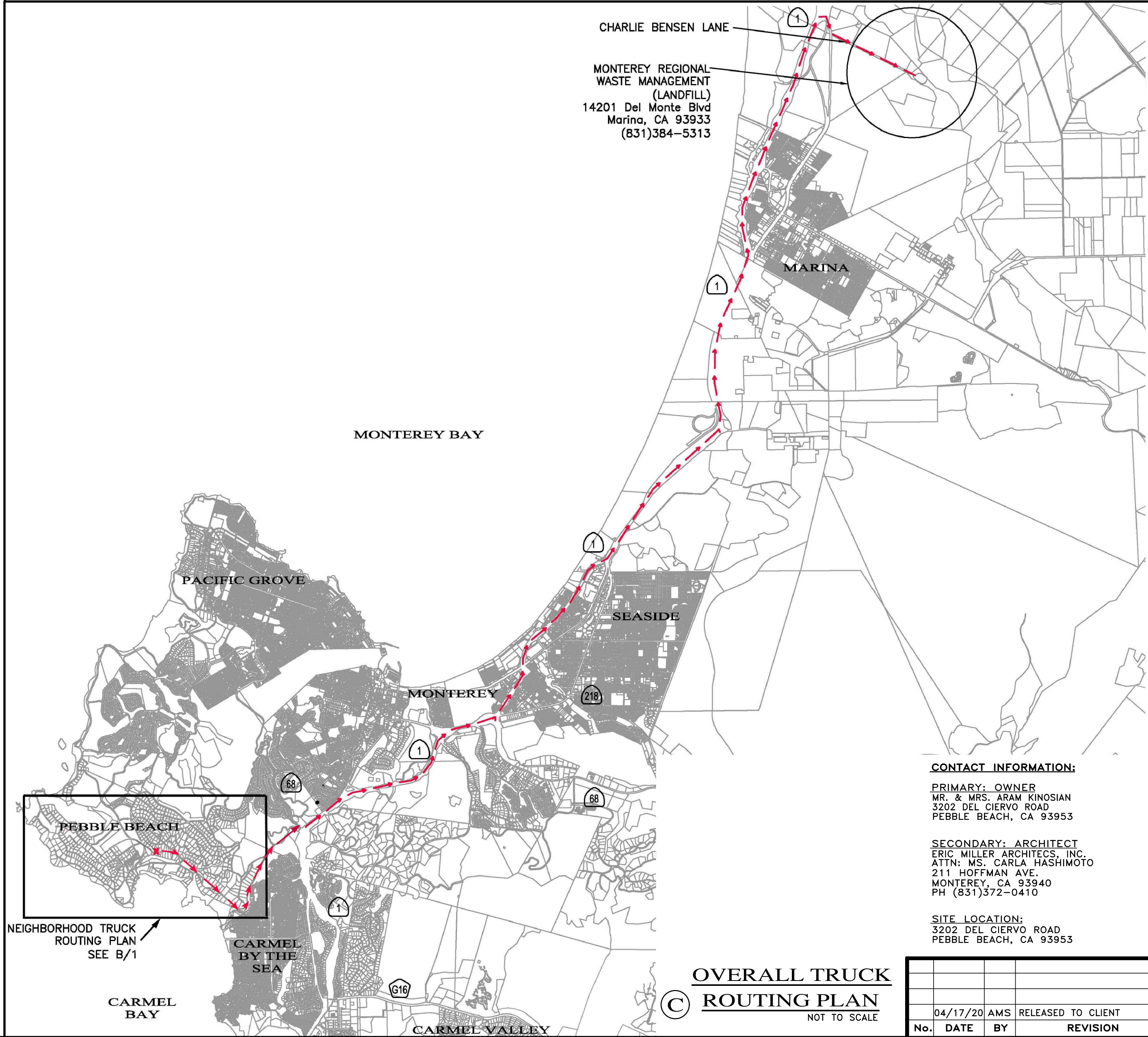
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	2	2
GRADING & SOIL REMOVAL (EXPORT)	57	12
ENGINEERING MATERIALS (IMPORT)	4	4
TOTALS	63	18

TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 16 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
2. THERE ARE APPROXIMATELY 910 CUBIC YARDS OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED FROM THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 12 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 60 & 80 CUBIC YARDS.



NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. ARAM KINOSIAN
3202 DEL CIERVO ROAD
PEBBLE BEACH, CA 93953

SECONDARY: ARCHITECT
ERIC MILLER ARCHITECTS, INC.
ATTN: MS. CARLA HASHIMOTO
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH (831)372-0410

SITE LOCATION:
3202 DEL CIERVO ROAD
PEBBLE BEACH, CA 93953

No.	DATE	BY	REVISION
04/17/20	AMS	RELEASED TO CLIENT	

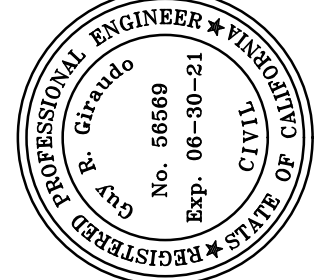
CONSTRUCTION MANAGEMENT PLAN

KINOSIAN ACCESSORY DWELLING UNIT

A.P.N.: 008-361-029

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

FOR MR. & MRS. CRAIG ARAM KINOSIAN



APPROVED BY:

GUY R. CHIRADO



SCALE: AS SHOWN
DATE: JULY 2019
JOB NO. 1865-03

SHEET CMP1
OF 1 SHEETS

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