

Exhibit B

This page intentionally left blank.

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

ASNIS (PLN200244)

RESOLUTION NO.

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow the construction of an approximately 2,820 square foot two-story single family dwelling with 648 square foot detached garage with a 414 square foot studio.

[2821 17 Mile Drive, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-121-010-000)]

The Asnis application (PLN200244) was considered during a public hearing before the Monterey County Zoning Administrator on February 25, 2021. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY / HEALTH AND SAFETY / NO VIOLATIONS / SITE SUITABILITY** - The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.

- EVIDENCE:**
- a) The subject property is identified as Lot 15, Block 6 of the Del Monte Subdivision, Monterey Peninsula Country Club. Therefore the County recognized the parcel as a legal lot of record.
 - b) The proposed project involves construction of an approximately 2,820 square foot two-story single family dwelling with 648 square foot detached garage with a 414 square foot studio.
 - c) The property is located at 2821 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 007-121-010-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays (MDR/B-6-D-RES). Single-family dwellings are an allowed use in this district pursuant to Monterey County Code (MCC) Section 21.12.030.A. The Design Control zoning overlay requires the

granting of a Design Approval for the proposed development (see Finding No. 2 below).

- d) The project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula; and
 - Monterey County Zoning Ordinance (Title 21).
- e) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
- f) Review of Development Standards. The applicable development standards include special regulations for the MDR zoning district in the Del Monte Forest area as identified in MCC Section 21.12.070. These standards require special setbacks for the two-story main dwelling unit of: 20 feet (front), 10 feet (rear) and 20 feet (sides). The proposed dwelling has a 50 feet (front), 40 feet (rear), and 20 feet (sides). The minimum distance between an accessory to the main structure and accessory to accessory structure are both six feet. The detached garage is 11'-6" and the studio is 20' from the main dwelling, both are located on opposite ends of the dwelling. Maximum allowed structure height is 27 feet. The proposed max height for the single-family dwelling is 27 feet. A condition of approval has been added to verify the height of the structure prior to final building permits being issued (**Condition No. 4**). The allowed maximum site coverage in the MDR district is 25 percent on lots with a density of 2 units or less per acre. The property is 33,912 square feet, which would allow site coverage of 8,478 square feet. The proposed single-family dwelling unit, detached garage and studio would result in site coverage of 2,993 square feet or 9 percent. Therefore, as proposed, the project meets all required development standards.
- g) The project has been reviewed for site suitability by HCD-Planning. The project planner reviewed the application materials and plans, as well as the County's GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. The project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- h) The following technical reports has been prepared:
 - *Biological Assessment (LIB200187) prepared by Califauna, Jeffrey B. Froke, Ph.D, Pebble Beach, California, July 28, 2013.*
 - *Soils Engineering Investigation (LIB200189) prepared by Landset Engineers, Inc, Salinas, California, August 2020.*
 - *Archaeological Assessment (LIB200190) prepared by Mary Doane & Gary Breschini, Salinas, California, April 4, 2013.*County staff has independently reviewed this report and concurs with its conclusions.

- i) Necessary public facilities are available. The sewer for the site will be served by Pebble Beach Community Services District and water will be served by Cal-Am.
- j) The project is located within a high archaeological zone, a preliminary archeological report (LIB200190) prepared by Mary Doane and Gary Breschini dated April 4, 2013 was submitted and concluded that there is no surface evidence of potentially significant archaeological resources on this parcel. Recommendations were made that any future construction projects on this parcel should not be delayed for archaeological reasons. A condition of approval **(Condition No. 3)** was applied to this project to include language directing the contractor to stop work within 50 meters (165 feet) of uncovered resource, immediately contact Monterey County HCD-Planning and a qualified archaeologist.
- k) The project was staked and flagged and staff determined the proposed structure was appropriately sited for the lot. Three oak trees ranging from 10"-12" in diameter have been proposed for removal and was processed in a separate tree permit (TRM200268), slopes in excess of 25% are avoided, and the development will not adversely affect resources at the site or be adversely affected by those resources. Although it is visible from 17 Mile Drive, it is not visible from scenic Highway 1. Due to the high fire hazard risk pertaining to the subject parcel, a Fuel Management Plan is included as part of the project which demonstrates the 30' & 100' (Zone 1 & 2) fuel defensible space for all sides of the structures or property lines, whichever is closer.
- l) Design. See Finding No. 2.
- m) Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.
- n) The project planner conducted a site inspection on January 23, 2021 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC.
- o) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project is a Design Approval subject to review by the Zoning Administrator. The LUAC, at a duly-noticed public meeting on November 5th, 2020, voted 7 – 0 to support the project as proposed with 1 absent.
- p) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200244.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

EVIDENCE: a) The Applicant proposes construction of a single-family dwelling with a detached garage and studio on an existing residential lot with a Design Control district overlay.

- b) Pursuant to Chapter 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the purpose of the Design Control Combining District (D District) is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
- c) The proposed residence is compatible with the surrounding neighborhood character in terms of size, color, location and size. The neighborhood consists of one and two-story dwellings comprised of various architectural styles. The neighborhood is in transition in terms of development, composed of new designs mixed in with the old. The proposed dwelling incorporates architectural aesthetics of rustic contemporary style. The proposed exterior colors and materials are consistent with the residential setting. The primary colors and materials include weathered grey stain knotty cedar siding, 16” wide standing seam Zinc grey metal roofing roof, bronze anodized windows and mixed browns stone veneer walls.
- d) The project planner conducted a site inspection on January 23, 2021 to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character. Staking and flagging on site has demonstrated that the siting of the structures is consistent with the neighborhood character.
- e) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200244

3. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the construction of new, small facilities or structures, including habitable and non-habitable structures accessory to a single-family dwelling or residential use.
 - b) The subject project consists of the construction of a single-family dwellings with an detached garage and studio. Therefore, the proposed development is consistent with the exemption parameters of CEQA Guidelines Section 15303(a)
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, or development located near or within view of a scenic highway. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
 - d) No adverse environmental effects were identified during staff review of the development application.

4. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Monterey County Planning Commission.
- EVIDENCE:** Pursuant to Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approve the Design Approval to allow the construction of an approximately 2,820 square foot two-story single family dwelling with 648 square foot detached garage with a 414 square foot studio; all in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 25th day of February, 2021.

John M. Dugan, FAICP Monterey County Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

Monterey County HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200244

1. PD001 - SPECIFIC USES ONLY

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: This Design Approval permit (PLN200244) allowsonstruction of new 2,824 square foot two-story single family dwelling with 648 square foot detached garage with a 414 square foot studio. The property is located at 2821 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 007-121-010-000), Greater Monterey Peninsula Area Plan.. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 007-121-010-000 on February 25, 2021. The permit was granted subject to 4 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD041 - HEIGHT VERIFICATION

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD- Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD- Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD- Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.



1. STREET VIEW RENDERING

ARCHITECTURAL DWGS:

- A1.0 TITLE SHEET & STREET VIEW RENDERING
- A2.0 PLOT PLAN, SITE PLAN & ROOF PLAN
- A3.0 FOUR PROPERTY CORNER VIEWS
- A4.0 ROOF PLANS & AREA CALCS
- A5.0 1ST FLOOR PLANS, WINDOW & DOOR SCHEDULES
- A6.0 2ND FLOOR PLAN, WINDOW & DOOR SCHEDULES
- A7.0 EXTERIOR ELEVATIONS & MATERIALS PALETTE
- A8.0 EXTERIOR ELEVATIONS
- A9.0 STUDIO EXTERIOR ELEVATIONS
- A10.0 GARAGE EXTERIOR ELEVATIONS
- A11.0 BUILDING SECTIONS & DETAILS
- A12.0 1ST FLOOR HVAC & ELECTRICAL PLAN
- A13.0 2ND FLOOR HVAC & ELECTRICAL PLAN
- B1.0 CONST. SITE BEST MANAGEMENT PRACTICE

CIVIL ENG. DWGS:

- C0.1 COVER SHEET, TITLE & INDEX
- C1.0 GRADING & DRAINAGE PLAN
- C1.1 EROSION CONTROL PLAN
- C2.0 SECTIONS
- C3.0 DETAILS
- C3.1 DETAILS

APN: 007-121-010
ZONING: MDR/8-6-D-RES
SETBACKS:
FRONT: 20' MAIN, 50' ACCESSORY
SIDES: 10' 1ST FLR, 20' 2ND FLR, 6' ACCESSORY
REAR: 10' MAIN, 6' ACCESSORY
MAX. HT.: 27'-0" MAIN, 15' ACCESSORY
(NOT ABOVE 2 HABITABLE STORIES)

AREA CALCS:	PROPOSED
PRIMARY RES 1ST FLR:	1,931 SF
PRIMARY RES 2ND FLR:	893 SF
DETACHED GARAGE:	640 SF
DETACHED STUDIO:	414 SF
TOTAL FLOOR AREA:	3,866 SF

LOT SIZE: ~0.78 Ac. 33,912 SF

LOT COVERAGE CALCS*	ALLOWED	PROPOSED
F.A.R.:	25%	11%

*(SEE CALCS ON A4.0)



NARRATIVE:

THIS HOME WAS DESIGNED TO NESTLE HARMONIOUSLY WITHIN THE EXISTING NATIVE LANDSCAPE, AND TO SIT LIGHTLY ON THE LAND. THE BUILDING SHAPE AND WINDOW CONFIGURATION TAKES CUES FROM THE HORIZONTALITY OF TWO EXISTING OAK TREES AND THE VERTICALITY OF THE NATIVE PINE TREES ON THIS SITE. THE CORNER OF THE PRIMARY RESIDENCE IS CANTILEVERED TO FLOAT ABOVE THE LANDSCAPE, AND HELPS PROTECT THE ROOT STRUCTURE OF THE NEARBY OAKS. THE MATERIALS PALETTE CHOSEN FOR THIS HOME CONTINUE THE MONTEREY MODERN DESIGN TRADITION ESTABLISHED IN THE '70'S, PROPOSING LOCAL, NATURAL MATERIALS THAT AGE GRACEFULLY AND BLEND WITH THE LANDSCAPE. THESE ARE VERTICAL AND HORIZONTAL CEDAR SIDING, WITH LOW LANDSCAPE WALLS CLAD IN STONE. THE THREE STRUCTURES PROPOSED ARE CAREFULLY NESTLED BETWEEN THE EXISTING TREES AND PLACED TO ENHANCE VIEW CORRIDORS AND SPECIFIC TREES. THEY VISUALLY REFERENCE AND CONNECT TO EACH OTHER THROUGH THEIR ASYMMETRICAL, SLOPING ROOFS. ALL THREE ARE FINISHED IN THE SAME MATERIALS PALETTE.

DEVELOPMENT OVERVIEW:

PROPOSING A NEW 2-STORY, SINGLE FAMILY HOME ON VACANT LOT, WITH A DETACHED 2-CAR GARAGE AND AN ADJACENT STUDIO. THE HOME IS DESIGNED TO MEET THE INTERNATIONAL PASSIVE HOUSE STANDARD AND IS TARGETING CERTIFICATION VIA THE PASSIVE HOUSE INSTITUTE. WE AIM TO DEMONSTRATE EXEMPLARY ENERGY AND ENVIRONMENTAL STEWARDSHIP AND TO SERVE AS A BEACON OF SUSTAINABILITY IN PEBBLE BEACH.

OWNERS:
ANNA & ILYA ASNIS
1842 LENCAR WAY
SAN JOSE, CA 95124
TEL: (408) 621-0759
EMAIL: anna.asnis@gmail.com

ARCHITECT:
PASSIVE HOUSE BB
Contact: BRONWYN BARRY
TEL: (415) 819-7978
EMAIL: bronwynbarry67@gmail.com

CIVIL & STRUCTURAL ENGINEER:
ARNOLD ENGINEERING ASSOC. INC.
CONTACT: ANDREW ARNOLD, PE
EMAIL: info@aeaengineering.com

CONTRACTOR:
CARMEL BUILDING & DESIGN
Contact: MATT HANNER
TEL: (831) 626-8606
EMAIL: matth@carmelbuilding.com

SHEET INDEX

SITE INFO

VICINITY MAP

SCOPE OF WORK

CONTACT INFO

ARCHITECT:

Passive House BB
2875 21st Street, Ste 4
San Francisco
CA 94110

CA LICENSE:
C 36261

STAMP:

ARCHITECT STATE OF CALIFORNIA
C-36261

BRONWYN J. BARRY
Bronwyn J. Barry
Renewal Date
7/30/2019

PROJECT:

Asnis Residence
2821 Seventeen Mile Drive
Pebble Beach, CA 93953

ISSUES & REVISIONS:		
#	Title	Date
1.	PRELIM DESIGN	2020-07-23
2.	--	--

SHEET TITLE:

TITLE SHEET & STREET
VIEW RENDERING

Drawn	B. BARRY
Job	2020 - 17MD
Date	7/23/20
SHEET #:	

A1.0

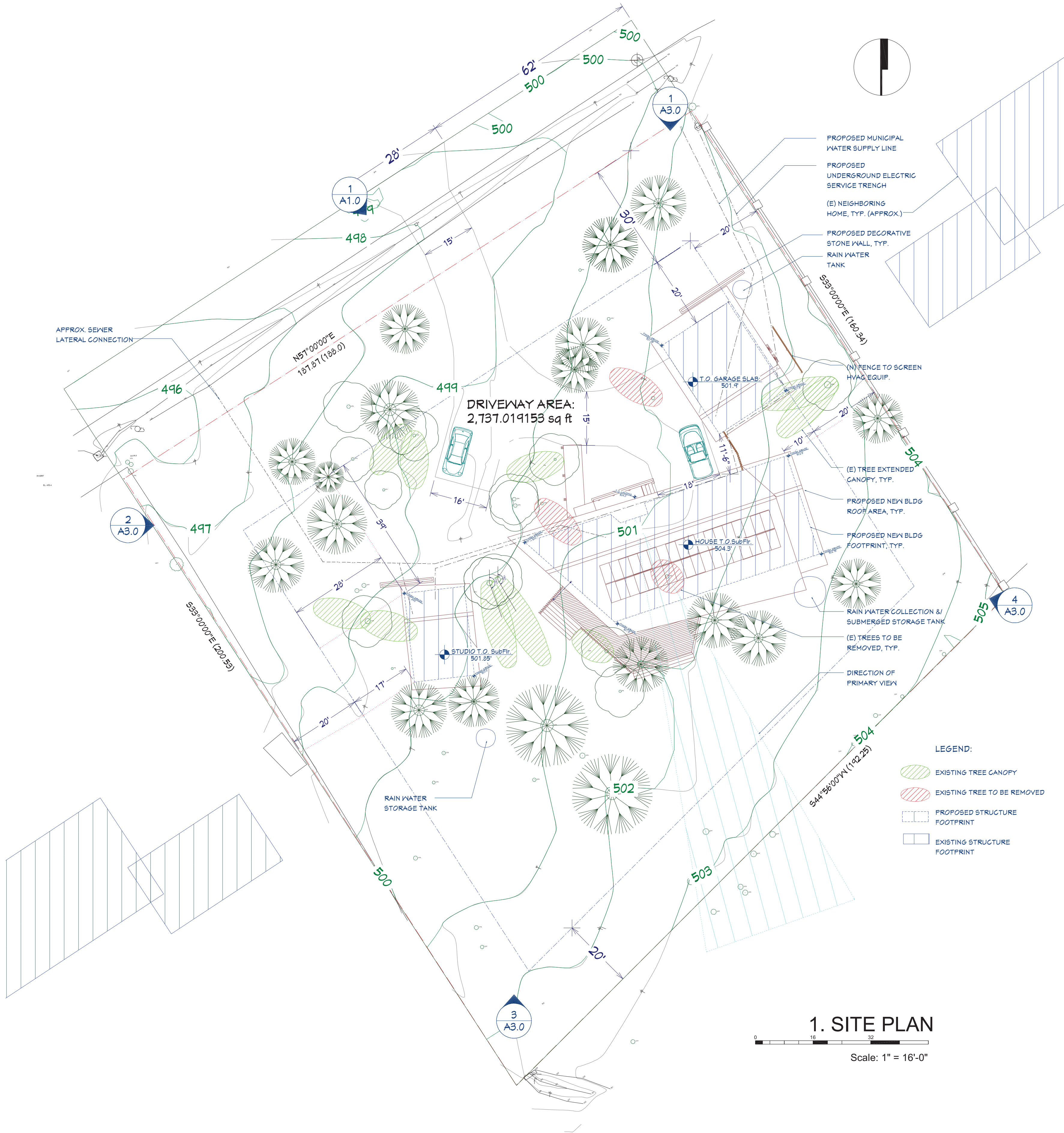
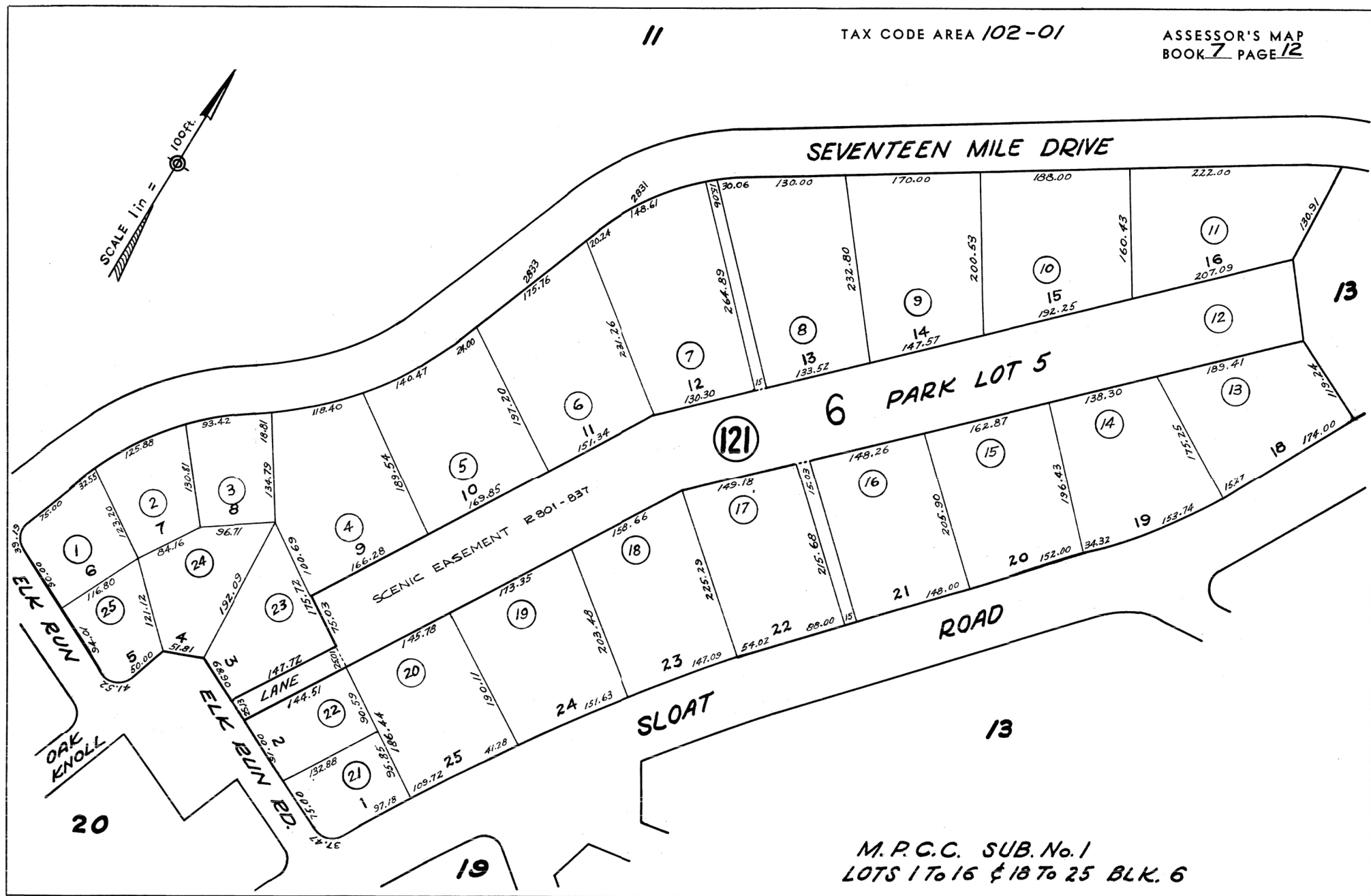
LEGAL DESCRIPTION:

The land referred to is situated in the unincorporated area of the County of Monterey, State of California, and is described as follows:

Lot 15, in Block 6, as shown on Map of Monterey Peninsula County Club Subdivision No. 1, in the County of Monterey, State of California, according to Map filed May 4, 1925 in Book 3, Page 26 of Maps of Cities and Towns, in the office of the County Recorder of said County. A.P.N.: 007-121-010

2. PLOT PLAN

Scale: 1" = 100'-0"



ARCHITECT:
Passive House BB
2875 21st Street, Ste 4
San Francisco
CA 94110

CA LICENSE:
C 36261

STAMP:

Bronwyn J. Barry
Renewal Date: 9/30/2019

PROJECT:
Asnis Residence
2821 Seventeen Mile Drive
Pebble Beach, CA 93953

ISSUES & REVISIONS:
Title Date
1. PRELIM DESIGN 2020-07-23
2. --

SHEET TITLE:
PLOT PLAN, SITE PLAN &
ROOF PLAN

Drawn B. BARRY
Job 2020 - 17MD
Date 8/26/20
SHEET #:

A2.0



1. NORTH CORNER VIEW



2. WEST CORNER VIEW



3. SOUTH CORNER VIEW



4. EAST CORNER VIEW

ARCHITECT:

Passive House BB
2875 21st Street, Ste 4
San Francisco
CA 94110

CA LICENSE:
C 36261

STAMP:

REGISTERED ARCHITECT STATE OF CALIFORNIA
C-36261
B. Barry
Bronwyn J. Barry
Renewal Date:
7/30/2019

PROJECT:

Asnis Residence
2821 Seventeen Mile Drive
Pebble Beach, CA 93953

ISSUES & REVISIONS:			
#	Title	Date	
1.	PRELIM DESIGN	2020-07-23	
2.	--		

SHEET TITLE:

FOUR PROPERTY
CORNER VIEWS

Drawn	B. BARRY
Job	2020 - 17MD
Date	7/23/20
SHEET #:	

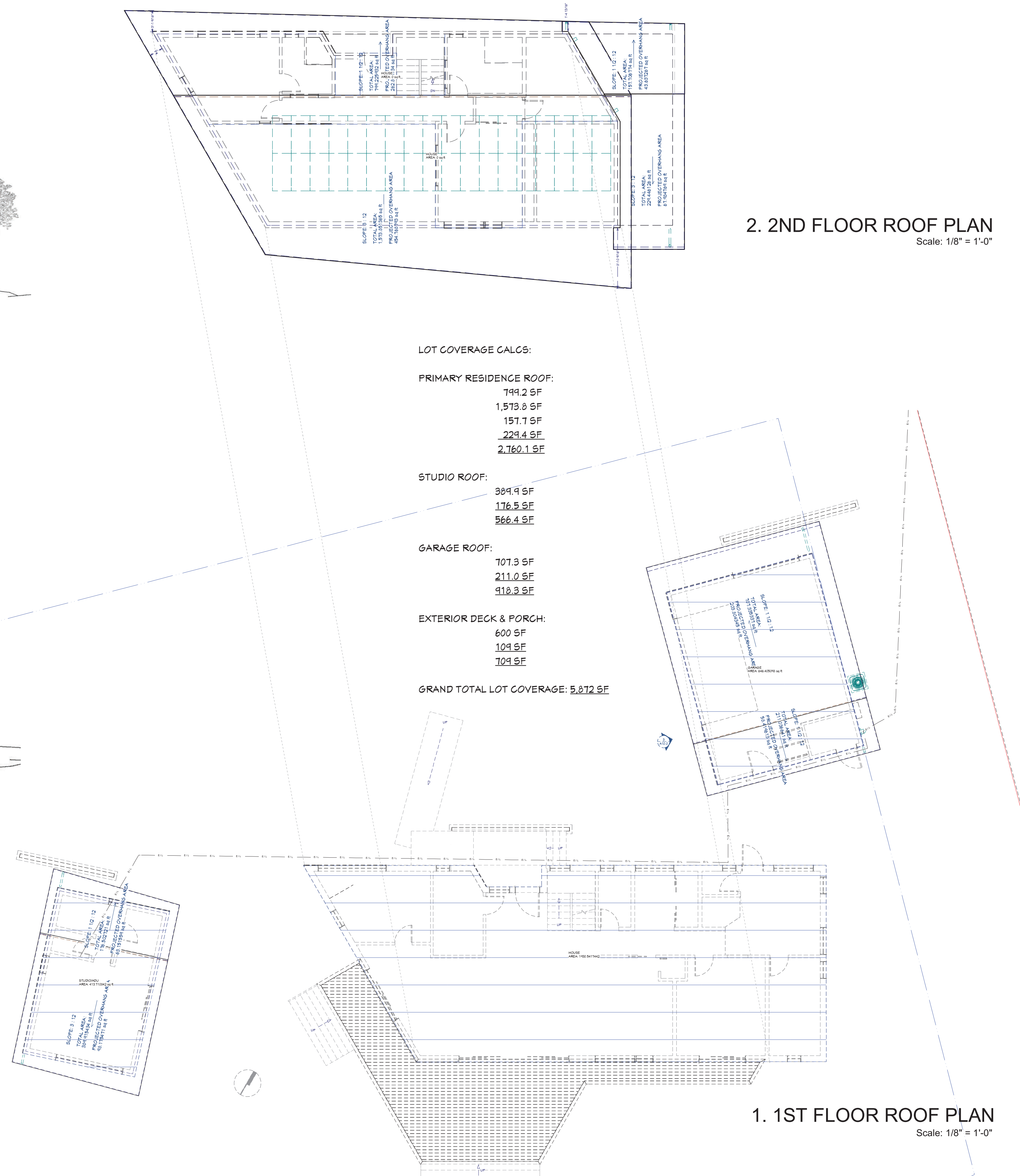
A3.0



STREET VIEW ILLUSTRATION

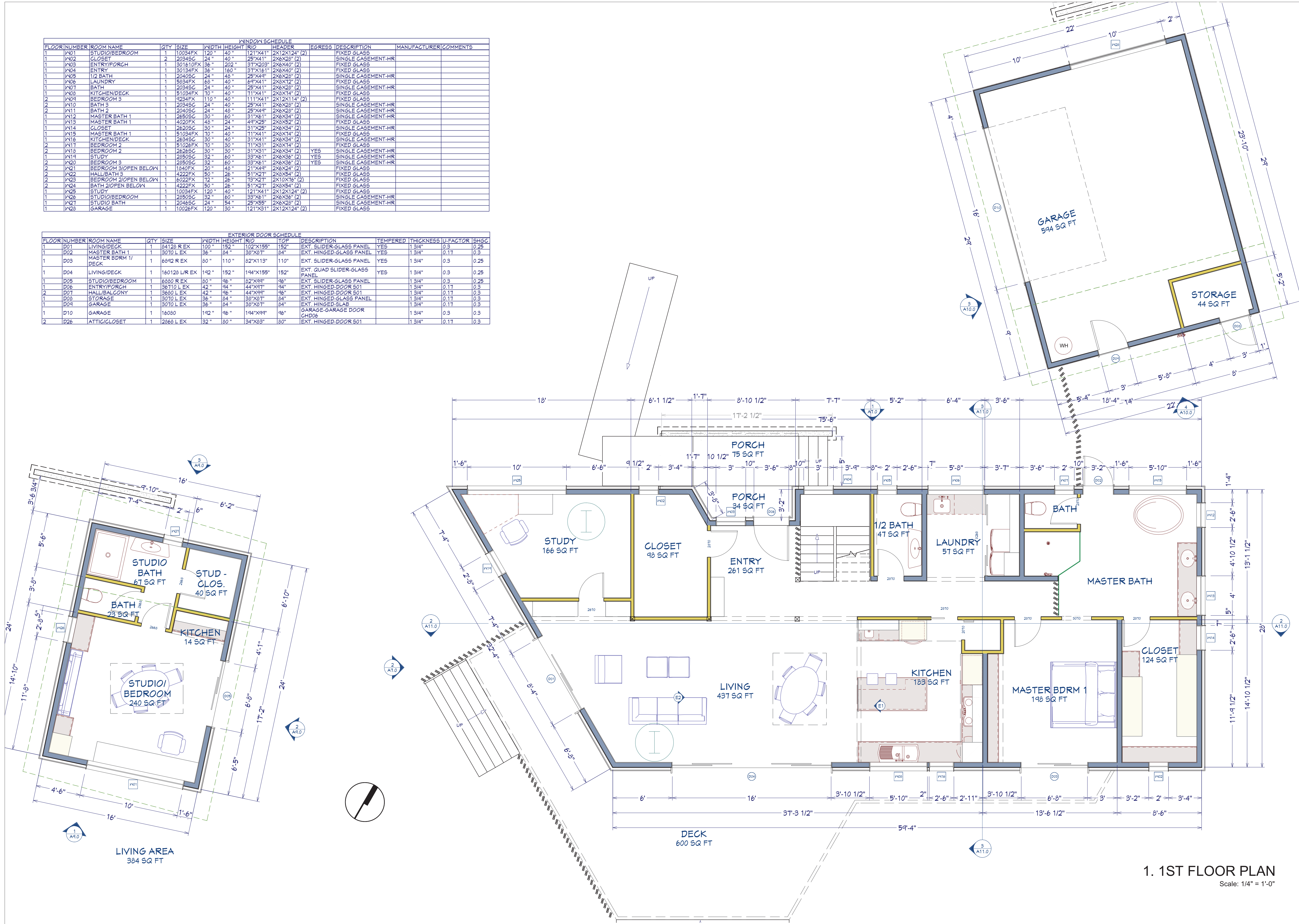


REAR VIEW ILLUSTRATION



WINDOW SCHEDULE										
FLOOR NUMBER	ROOM NAME	QTY	SIZE	WIDTH	HEIGHT	R/O	HEADER	EGRESS	DESCRIPTION	MANUFACTURER COMMENTS
1	W01 STUDIO/BEDROOM	1	10034FX	120"	40"	121"X41"	2X12X124" (2)		FIXED GLASS	
1	W02 CLOSET	2	20345C	24"	40"	25"X41"	2X6X28" (2)		SINGLE CASEMENT-HR	
1	W03 ENTRY/PORCH	1	301610FX	36"	202"	31"X203"	2X6X40" (2)		FIXED GLASS	
1	W04 ENTRY	1	30134FX	36"	160"	31"X161"	2X6X40" (2)		FIXED GLASS	
1	W05 1/2 BATH	1	20405C	24"	48"	25"X44"	2X6X28" (2)		SINGLE CASEMENT-HR	
1	W06 LAUNDRY	1	5034FX	68"	40"	69"X41"	2X6X12" (2)		FIXED GLASS	
1	W07 BATH	1	20345C	24"	40"	25"X41"	2X6X28" (2)		SINGLE CASEMENT-HR	
1	W08 KITCHEN/DECK	1	51034FX	70"	40"	71"X41"	2X6X14" (2)		FIXED GLASS	
1	W09 BEDROOM 3	1	4224FX	110"	40"	111"X41"	2X12X114" (2)		FIXED GLASS	
2	W10 BATH 3	1	20345C	24"	40"	25"X41"	2X6X28" (2)		SINGLE CASEMENT-HR	
2	W11 BATH 2	1	20405C	24"	48"	25"X44"	2X6X28" (2)		SINGLE CASEMENT-HR	
1	W12 MASTER BATH 1	1	26505C	30"	60"	31"X61"	2X6X34" (2)		SINGLE CASEMENT-HR	
1	W13 MASTER BATH 1	1	4020FX	48"	24"	44"X25"	2X6X52" (2)		FIXED GLASS	
1	W14 CLOSET	1	26205C	30"	24"	31"X25"	2X6X34" (2)		SINGLE CASEMENT-HR	
1	W15 MASTER BATH 1	1	51034FX	70"	40"	71"X41"	2X6X14" (2)		FIXED GLASS	
1	W16 KITCHEN/DECK	1	26345C	30"	40"	31"X41"	2X6X34" (2)		SINGLE CASEMENT-HR	
2	W17 BEDROOM 2	1	51026FX	70"	30"	71"X31"	2X6X14" (2)		FIXED GLASS	
1	W18 BEDROOM 2	1	26265C	30"	30"	31"X31"	2X6X34" (2)	YES	SINGLE CASEMENT-HR	
1	W19 STUDY	1	28505C	32"	60"	33"X61"	2X6X36" (2)	YES	SINGLE CASEMENT-HR	
2	W20 BEDROOM 3	1	28505C	32"	60"	33"X61"	2X6X36" (2)	YES	SINGLE CASEMENT-HR	
2	W21 BEDROOM 3/OPEN BELOW	1	1840FX	20"	48"	21"X49"	2X6X24" (2)		FIXED GLASS	
2	W22 HALL/BATH 3	1	4222FX	50"	26"	51"X27"	2X6X54" (2)		FIXED GLASS	
2	W23 BEDROOM 2/OPEN BELOW	1	6022FX	12"	26"	19"X27"	2X10X16" (2)		FIXED GLASS	
2	W24 BATH 2/OPEN BELOW	1	4222FX	50"	26"	51"X27"	2X6X54" (2)		FIXED GLASS	
1	W25 STUDY	1	10034FX	120"	40"	121"X41"	2X12X124" (2)		FIXED GLASS	
1	W26 STUDIO/BEDROOM	1	28505C	32"	60"	33"X61"	2X6X36" (2)		SINGLE CASEMENT-HR	
1	W27 STUDIO BATH	1	20465C	24"	54"	25"X55"	2X6X28" (2)		SINGLE CASEMENT-HR	
1	W28 GARAGE	1	10026FX	120"	30"	121"X31"	2X12X124" (2)		FIXED GLASS	

EXTERIOR DOOR SCHEDULE										
FLOOR NUMBER	ROOM NAME	QTY	SIZE	WIDTH	HEIGHT	R/O	TOP	DESCRIPTION	TEMPERED	THICKNESS
1	D01 LIVING/DECK	1	84128 R EX	120"	152"	102"X155"	152"	EXT. SLIDER-GLASS PANEL	YES	1 3/4"
1	D02 MASTER BATH 1	1	3070 L EX	36"	84"	38"X93"	84"	EXT. HINGED-GLASS PANEL	YES	1 3/4"
1	D03 MASTER BDRM 1/ DECK	1	6892 R EX	80"	110"	82"X113"	110"	EXT. SLIDER-GLASS PANEL	YES	1 3/4"
1	D04 LIVING/DECK	1	160128 L/R EX	142"	152"	144"X155"	152"	EXT. QUAD SLIDER-GLASS PANEL	YES	1 3/4"
1	D05 STUDIO/BEDROOM	1	6880 R EX	80"	96"	82"X99"	96"	EXT. SLIDER-GLASS PANEL	YES	1 3/4"
1	D06 ENTRY/PORCH	1	36710 L EX	42"	94"	44"X97"	94"	EXT. HINGED-DOOR S01		1 3/4"
2	D07 HALL/BALCONY	1	3680 L EX	42"	96"	44"X99"	96"	EXT. HINGED-DOOR S01		1 3/4"
1	D08 STORAGE	1	3070 L EX	36"	84"	38"X93"	84"	EXT. HINGED-GLASS PANEL		1 3/4"
1	D09 GARAGE	1	3070 L EX	36"	84"	38"X93"	84"	EXT. HINGED-SLAB		1 3/4"
1	D10 GARAGE	1	16080	142"	96"	144"X99"	96"	GARAGE-GARAGE DOOR CHD06		1 3/4"
2	D26 ATTIC/CLOSET	1	2868 L EX	32"	80"	34"X83"	80"	EXT. HINGED-DOOR S01		1 3/4"



ARCHITECT:
Passive House BB
2875 21st Street, Ste 4
San Francisco
CA 94110

CA LICENSE:
C 36261

STAMP:
REGISTERED ARCHITECT STATE OF CALIFORNIA
C-36261
Bronwyn J. Barry
Renewal Date
9/30/2019

PROJECT:
Asnis Residence
2821 Seventeen Mile Drive
Pebble Beach, CA 93953

ISSUES & REVISIONS:
R: Title
1. PRELIM DESIGN 2020-07-23
2. --

SHEET TITLE:
1ST FLOOR PLANS,
WINDOW & DOOR
SCHEDULES

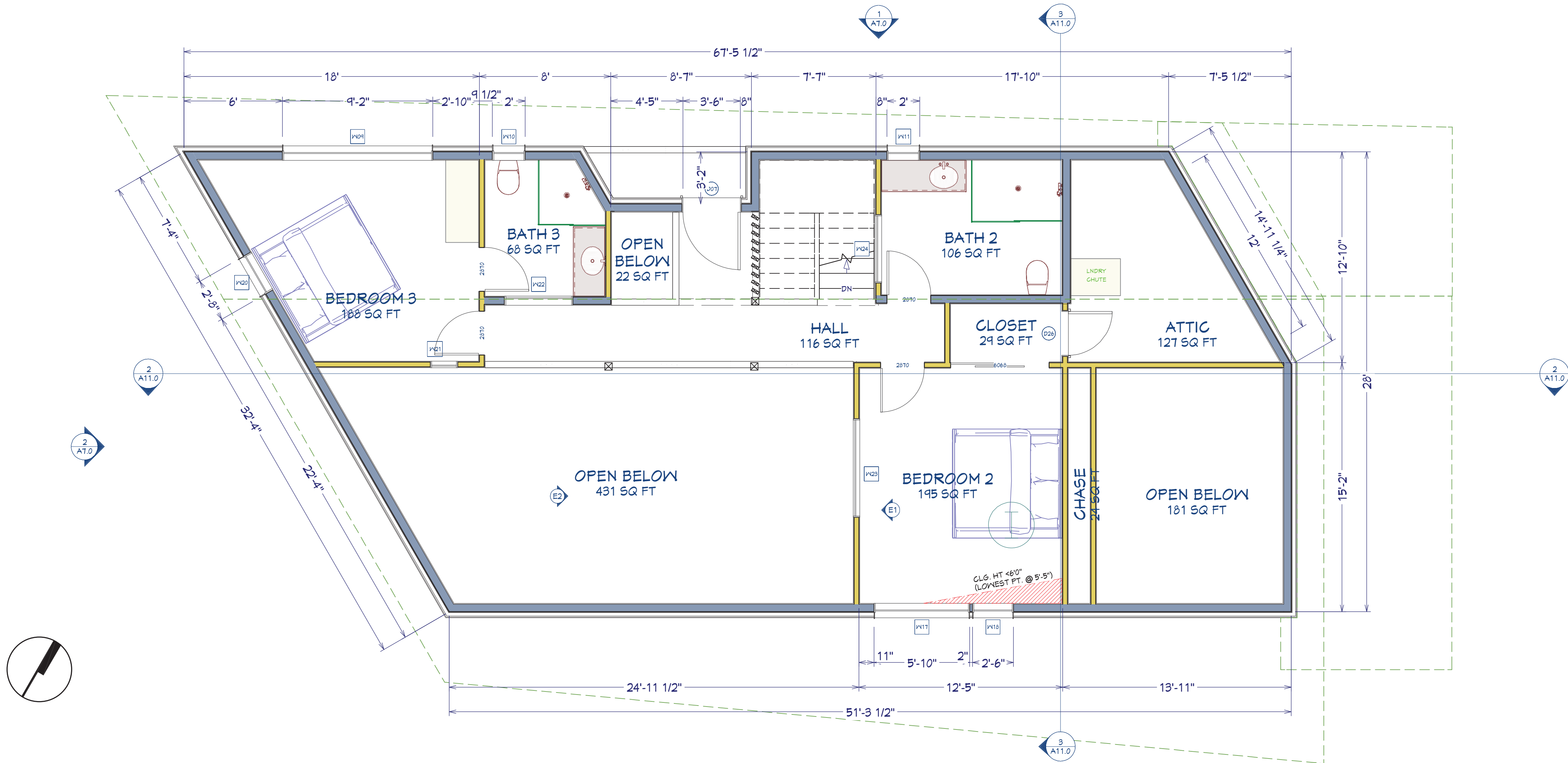
Drawn B. BARRY
Job 2020 - 17MD
Date 7/23/20
SHEET #:

A5.0

1. 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"

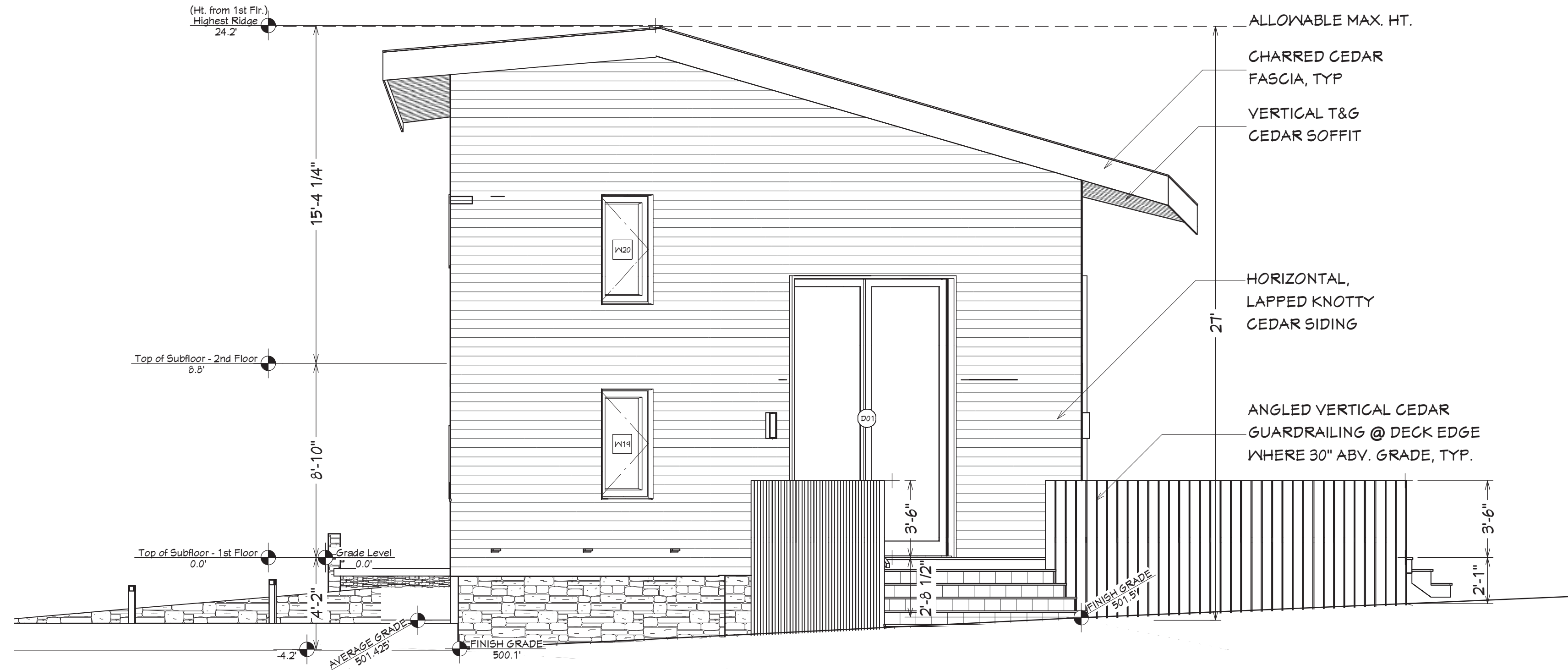
WINDOW SCHEDULE										
FLOOR NUMBER	ROOM NAME	QTY	SIZE	WIDTH	HEIGHT	R/O	HEADER	EGRESS	DESCRIPTION	MANUFACTURER/COMMENTS
1	W01 STUDIO/BEDROOM	1	10034FX	120"	40"	121"X41"	2X12X124" (2)		FIXED GLASS	
1	W02 CLOSET	2	20345C	24"	40"	25"X41"	2X6X28" (2)		SINGLE CASEMENT-HR	
1	W03 ENTRY/PORCH	1	301610FX	36"	202"	31"X203"	2X6X40" (2)		FIXED GLASS	
1	W04 ENTRY	1	30134FX	36"	160"	31"X161"	2X6X40" (2)		FIXED GLASS	
1	W05 1/2 BATH	1	20405C	24"	48"	25"X41"	2X6X28" (2)		SINGLE CASEMENT-HR	
1	W06 LAUNDRY	1	5834FX	68"	40"	69"X41"	2X6X12" (2)		FIXED GLASS	
1	W07 BATH	1	20345C	24"	40"	25"X41"	2X6X28" (2)		SINGLE CASEMENT-HR	
1	W08 KITCHEN/DECK	1	51034FX	70"	40"	71"X41"	2X6X14" (2)		FIXED GLASS	
2	W09 BEDROOM 3	1	4224FX	110"	40"	111"X41"	2X12X114" (2)		FIXED GLASS	
2	W10 BATH 3	1	20345C	24"	40"	25"X41"	2X6X28" (2)		SINGLE CASEMENT-HR	
2	W11 BATH 2	1	20405C	24"	48"	25"X41"	2X6X28" (2)		SINGLE CASEMENT-HR	
2	W12 MASTER BATH 1	1	26505C	30"	60"	31"X61"	2X6X34" (2)		SINGLE CASEMENT-HR	
1	W13 MASTER BATH 1	1	4020FX	48"	24"	44"X25"	2X6X52" (2)		FIXED GLASS	
1	W14 CLOSET	1	26205C	30"	24"	31"X25"	2X6X34" (2)		SINGLE CASEMENT-HR	
1	W15 MASTER BATH 1	1	51034FX	70"	40"	71"X41"	2X6X14" (2)		FIXED GLASS	
1	W16 KITCHEN/DECK	1	26345C	30"	40"	31"X41"	2X6X34" (2)		SINGLE CASEMENT-HR	
2	W17 BEDROOM 2	1	51026FX	70"	30"	71"X31"	2X6X14" (2)		FIXED GLASS	
2	W18 BEDROOM 2	1	26265C	30"	30"	31"X31"	2X6X34" (2)	YES	SINGLE CASEMENT-HR	
1	W19 STUDY	1	28505C	32"	60"	33"X61"	2X6X36" (2)	YES	SINGLE CASEMENT-HR	
2	W20 BEDROOM 3	1	28505C	32"	60"	33"X61"	2X6X36" (2)	YES	SINGLE CASEMENT-HR	
2	W21 BEDROOM 3/OPEN BELOW	1	1840FX	20"	48"	21"X49"	2X6X24" (2)		FIXED GLASS	
2	W22 HALL/BATH 3	1	4222FX	50"	26"	51"X27"	2X6X54" (2)		FIXED GLASS	
2	W23 BEDROOM 2/OPEN BELOW	1	6022FX	12"	26"	19"X27"	2X10X16" (2)		FIXED GLASS	
2	W24 BATH 2/OPEN BELOW	1	4222FX	50"	26"	51"X27"	2X6X54" (2)		FIXED GLASS	
1	W25 STUDY	1	10034FX	120"	40"	121"X41"	2X12X124" (2)		FIXED GLASS	
1	W26 STUDIO/BEDROOM	1	28505C	32"	60"	33"X61"	2X6X36" (2)		SINGLE CASEMENT-HR	
1	W27 STUDIO BATH	1	20465C	24"	54"	25"X55"	2X6X28" (2)		SINGLE CASEMENT-HR	
1	W28 GARAGE	1	10026FX	120"	30"	121"X31"	2X12X124" (2)		FIXED GLASS	

EXTERIOR DOOR SCHEDULE										
FLOOR NUMBER	ROOM NAME	QTY	SIZE	WIDTH	HEIGHT	R/O	TOP	DESCRIPTION	TEMPERED	THICKNESS
1	D01 LIVING/DECK	1	84128 R EX	120"	152"	102"X155"	152"	EXT. SLIDER-GLASS PANEL	YES	1 3/4"
1	D02 MASTER BATH 1	1	3070 L EX	36"	84"	38"X93"	84"	EXT. HINGED-GLASS PANEL	YES	1 3/4"
1	D03 MASTER BDRM 1/ DECK	1	6892 R EX	80"	110"	82"X113"	110"	EXT. SLIDER-GLASS PANEL	YES	1 3/4"
1	D04 LIVING/DECK	1	160128 L/R EX	142"	152"	144"X155"	152"	EXT. QUAD SLIDER-GLASS PANEL	YES	1 3/4"
1	D05 STUDIO/BEDROOM	1	6880 R EX	80"	96"	82"X99"	96"	EXT. SLIDER-GLASS PANEL		1 3/4"
1	D06 ENTRY/PORCH	1	36710 L EX	42"	94"	44"X97"	94"	EXT. HINGED-DOOR S01		1 3/4"
2	D07 HALL/BALCONY	1	3680 L EX	42"	96"	44"X99"	96"	EXT. HINGED-DOOR S01		1 3/4"
1	D08 STORAGE	1	3070 L EX	36"	84"	38"X93"	84"	EXT. HINGED-GLASS PANEL		1 3/4"
1	D09 GARAGE	1	3070 L EX	36"	84"	38"X93"	84"	EXT. HINGED-SLAB		1 3/4"
1	D10 GARAGE	1	16080	142"	96"	144"X99"	96"	GARAGE-GARAGE DOOR CHD06		1 3/4"
2	D26 ATTIC/CLOSET	1	2868 L EX	32"	80"	34"X83"	80"	EXT. HINGED-DOOR S01		1 3/4"



LIVING AREA
734 SQ FT

2. 2ND FLOOR PLAN
Scale: 1/4" = 1'-0"



2. PRIMARY RES. WEST ELEVATION

Scale: 1/4" = 1'-0"



3. EXTERIOR MATERIALS PALETTE



1. PRIMARY RES. NORTH ELEVATION (STREET VIEW)

Scale: 1/4" = 1'-0"

ARCHITECT:

Passive House BB
2875 21st Street, Ste 4
San Francisco
CA 94110

CA LICENSE:
C 36261

STAMP:

BRONWYN J. BARRY
Bronwyn J. Barry
Renewal Date
7/30/2019

PROJECT:

Asnis Residence
2821 Seventeen Mile Drive
Pebble Beach, CA 93953

ISSUES & REVISIONS:

Title Date
1. PRELIM DESIGN 2020-07-23
2. --

SHEET TITLE:

EXTERIOR ELEVATIONS
& MATERIALS PALETTE

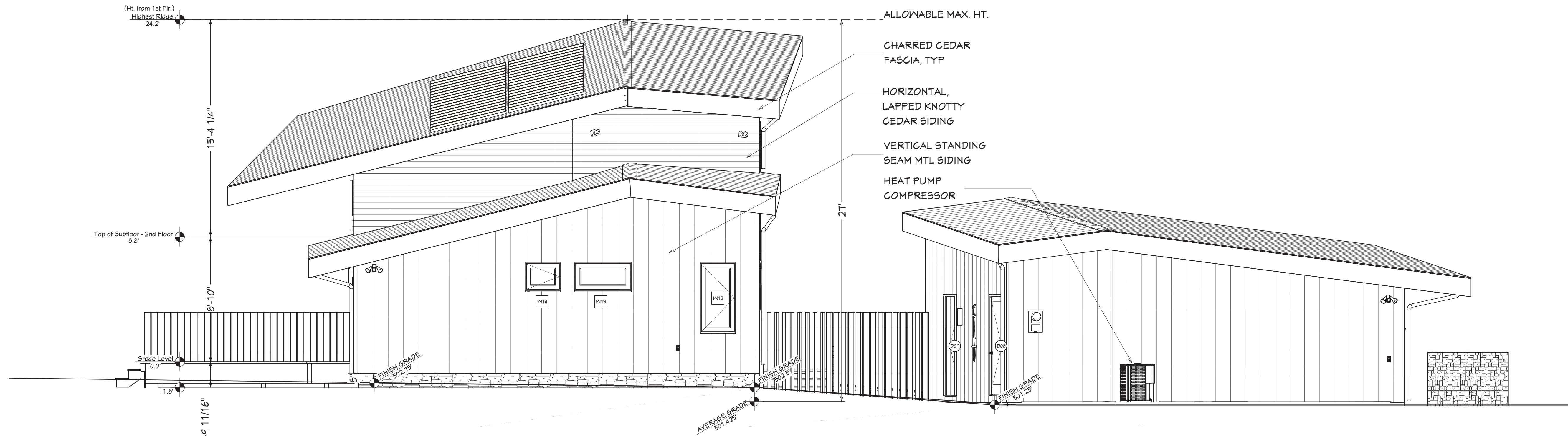
Drawn B. BARRY

Job 2020 - 17MD

Date 7/23/20

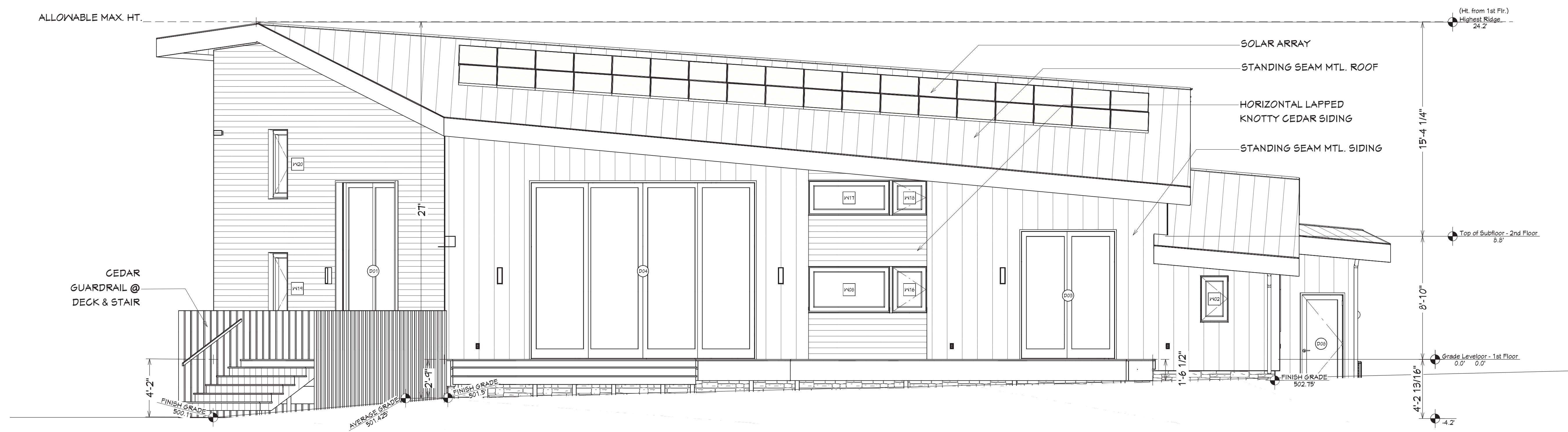
SHEET #:

A7.0



2. PRIMARY RES. & GARAGE EAST ELEVATION

Scale: 1/4" = 1'-0"



1. PRIMARY RES. SOUTH ELEVATION

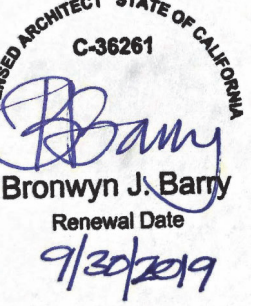
Scale: 1/4" = 1'-0"

ARCHITECT:

Passive House BB
2875 21st Street, Ste 4
San Francisco
CA 94110

CA LICENSE:
C 36261

STAMP:



PROJECT:

Asnis Residence
2821 Seventeen Mile Drive
Pebble Beach, CA 93953

ISSUES & REVISIONS:

#	Title	Date
1.	PRELIM DESIGN	2020-07-23
2.	-	-

SHEET TITLE:

EXTERIOR ELEVATIONS

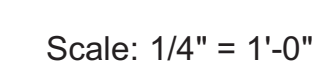
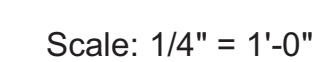
Drawn B. BARRY

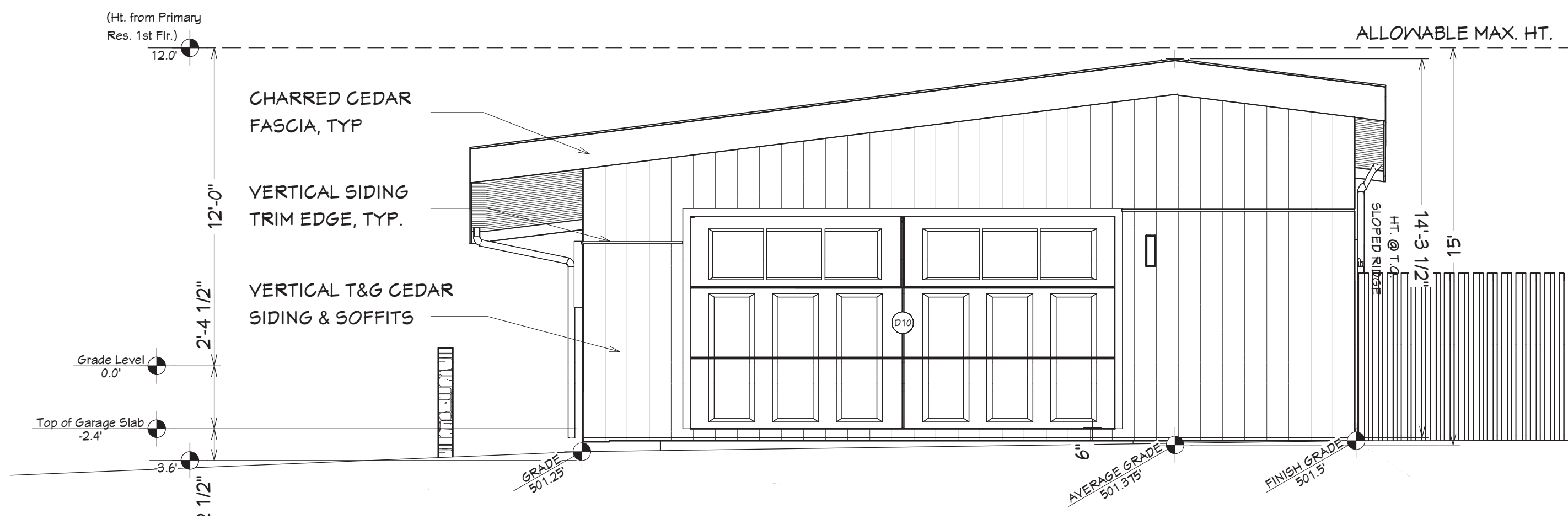
Job 2020 - 17MD

Date 7/23/20

SHEET #:

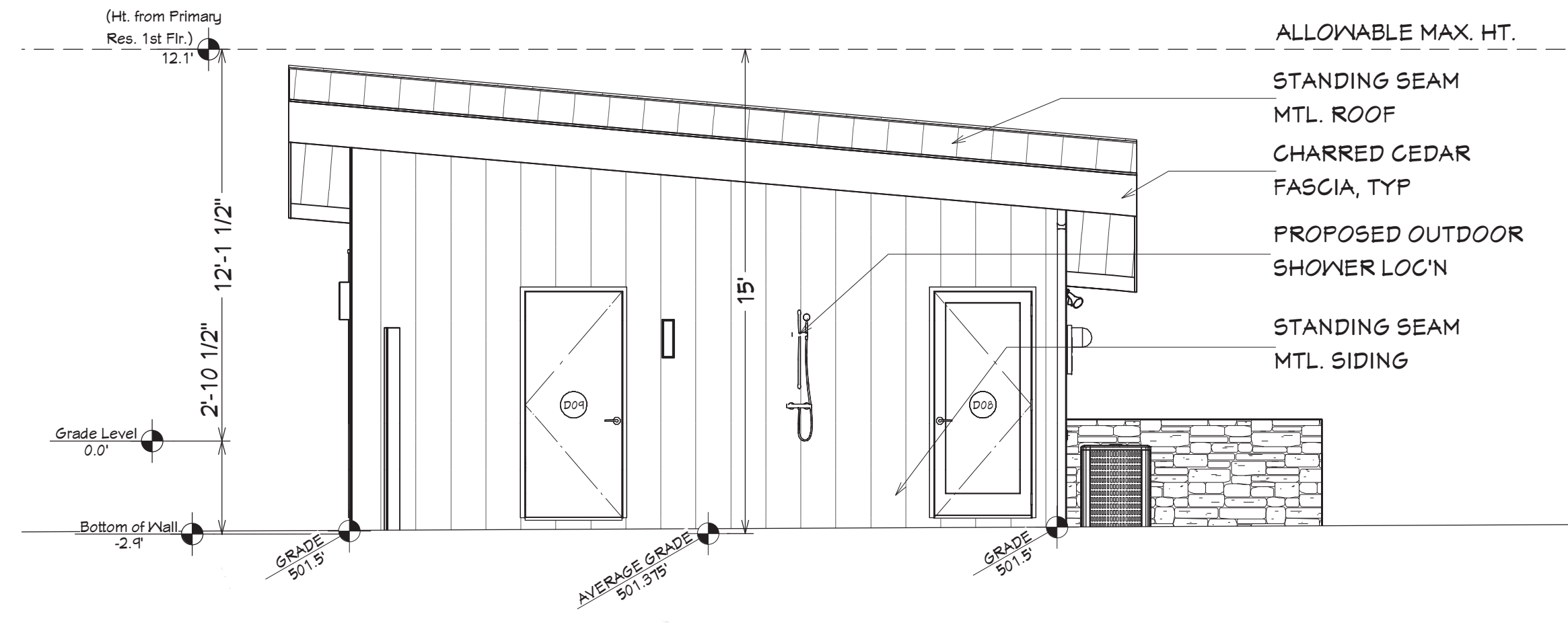
A8.0





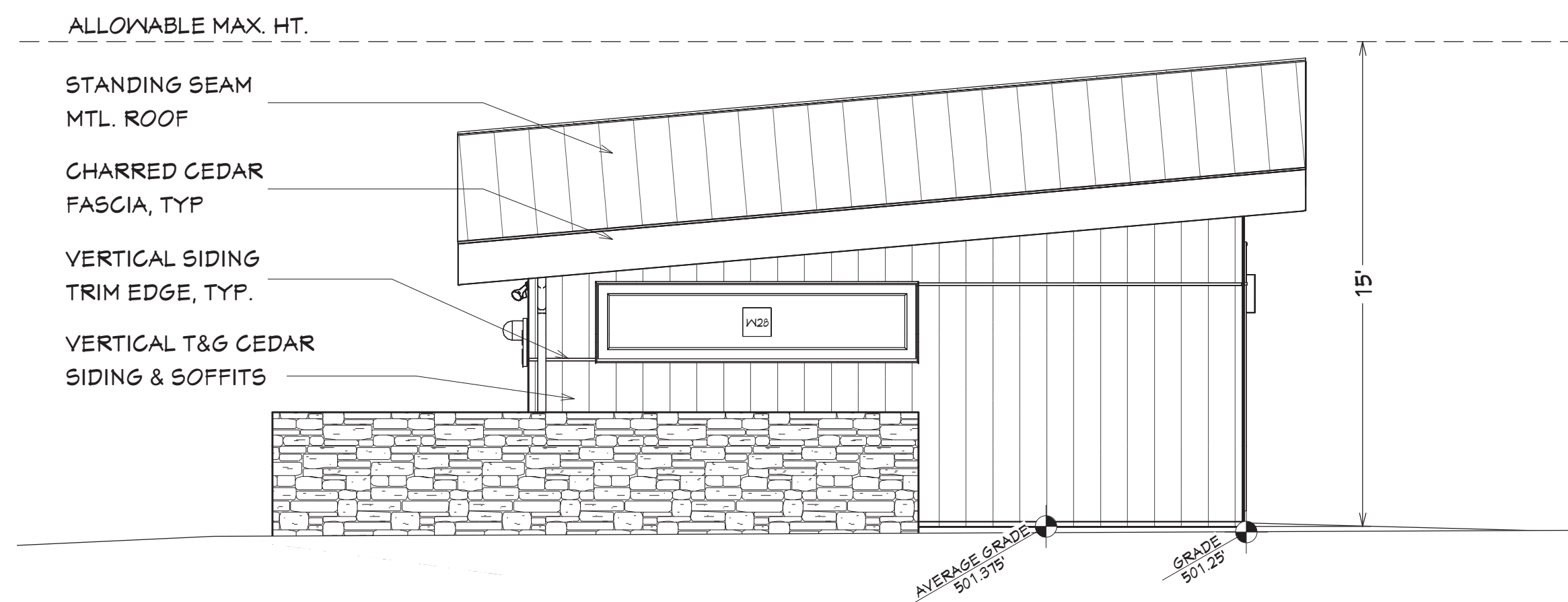
3. GARAGE WEST ELEV.

Scale: 1/4" = 1'-0"



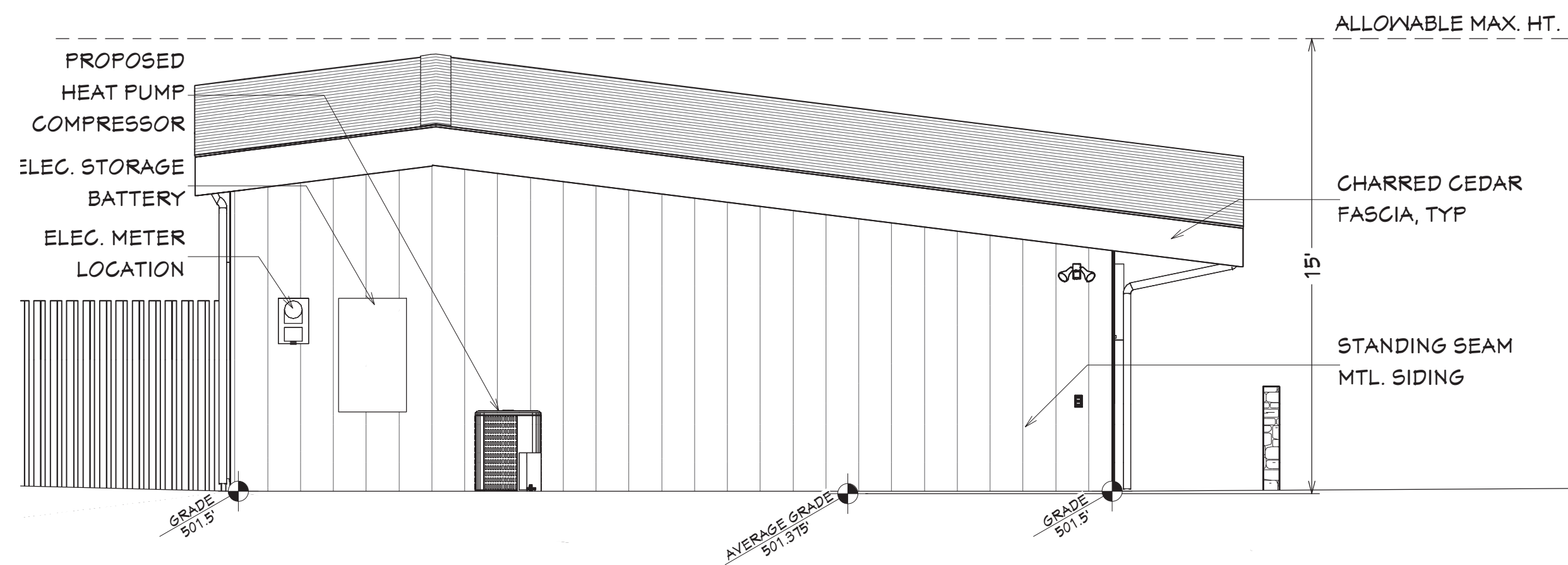
4. GARAGE SOUTH ELEV.

Scale: 1/4" = 1'-0"



2. GARAGE NORTH ELEV.

Scale: 1/4" = 1'-0"



1. GARAGE EAST ELEV.

Scale: 1/4" = 1'-0"

ARCHITECT:

Passive House BB
2875 21st Street, Ste 4
San Francisco
CA 94110

CA LICENSE:
C 36261

STAMP:

BRONWYN J. BARRY
Bronwyn J. Barry
Renewal Date
7/30/2019

PROJECT:

Asnis Residence
2821 Seventeen Mile Drive
Pebble Beach, CA 93953

ISSUES & REVISIONS:

Title Date
1. PRELIM DESIGN 2020-07-23
2. --

SHEET TITLE:

GARAGE EXTERIOR
ELEVATIONS

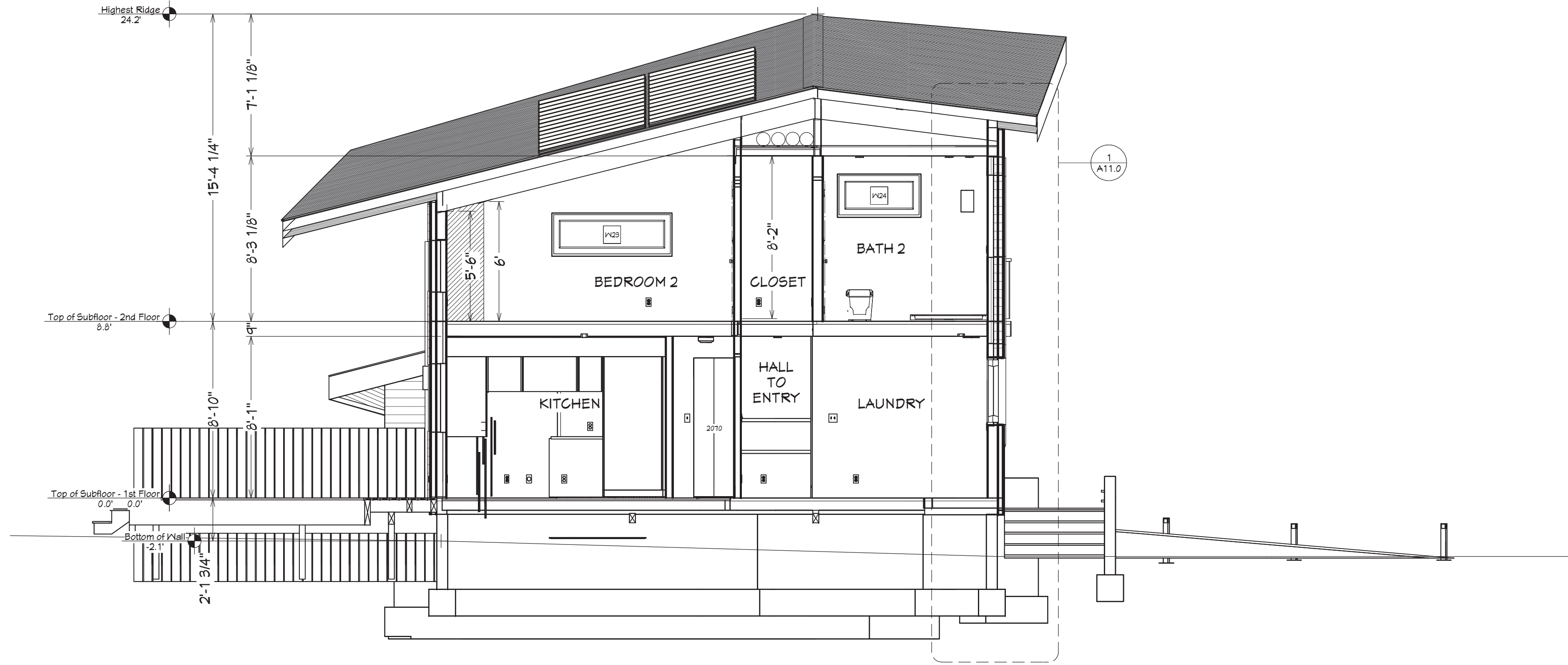
Drawn B. BARRY

Job 2020 - 17MD

Date 7/23/20

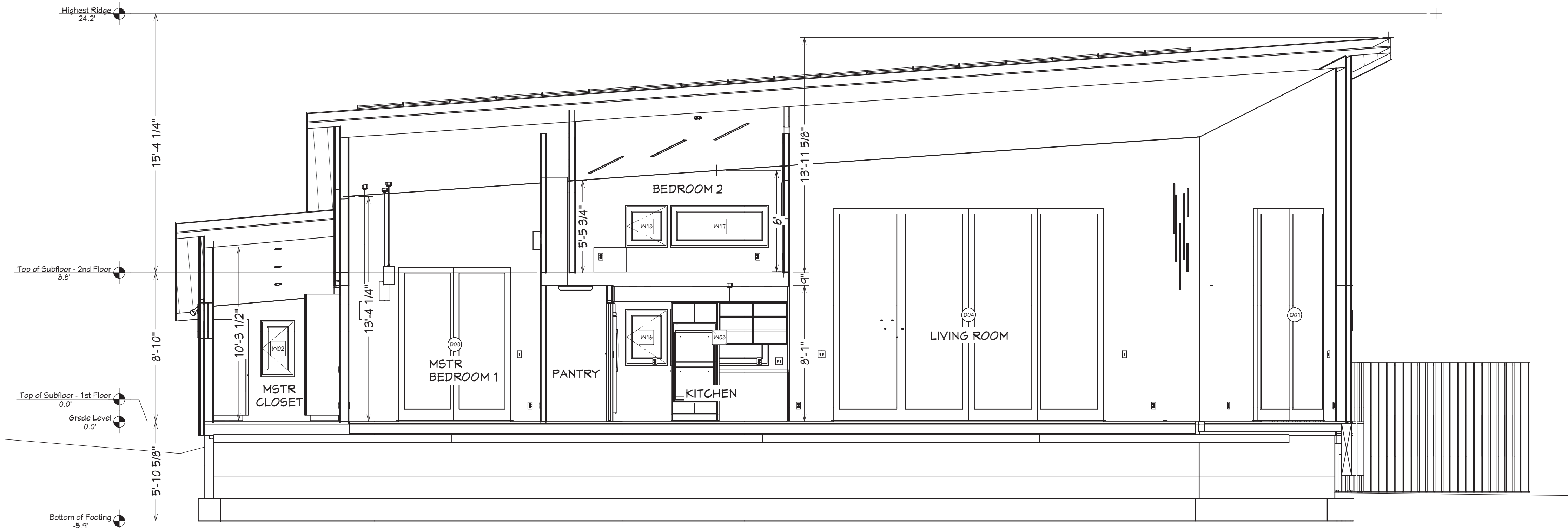
SHEET #:

A10.0



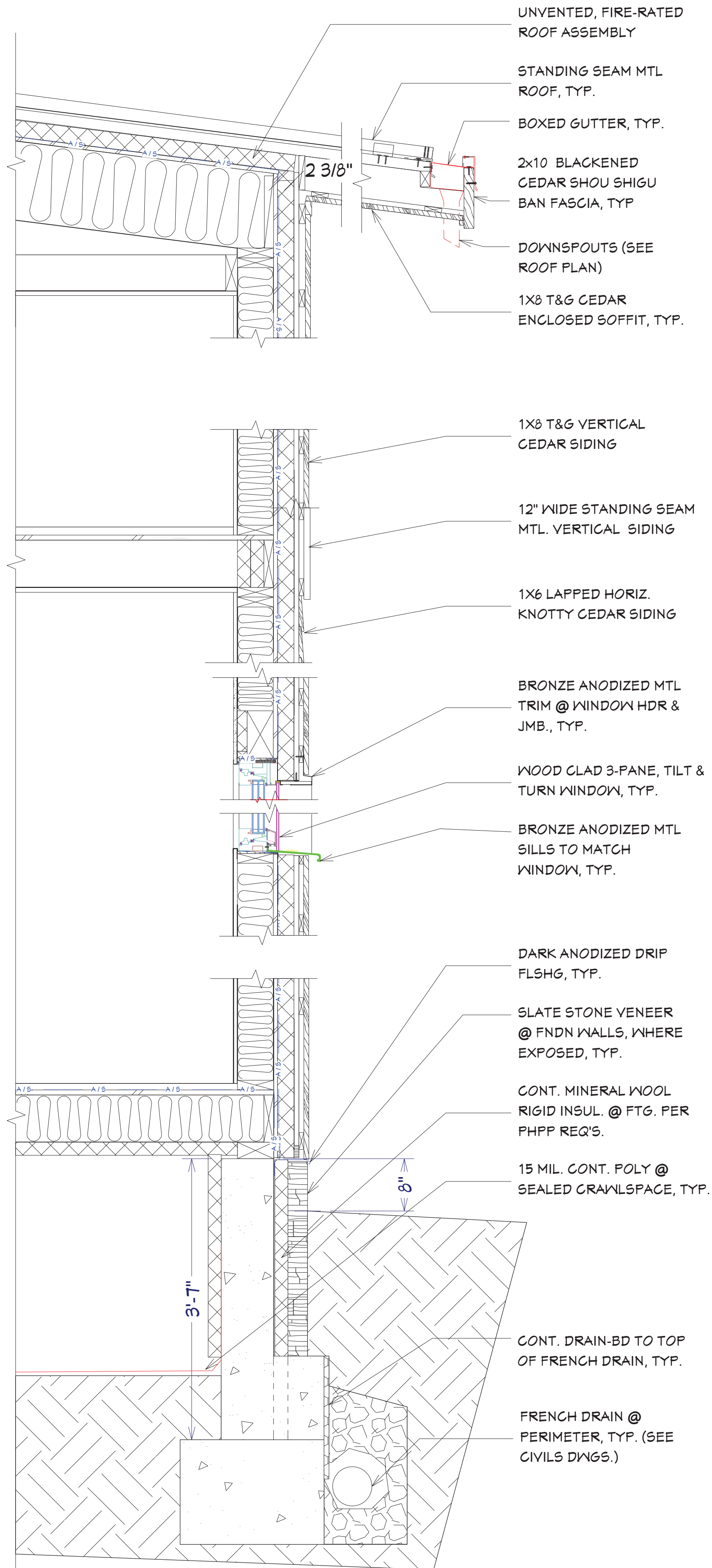
3. HOUSE SECTION @ REAR BEDROOM 2 WALL

Scale: 1/4" = 1'-0"



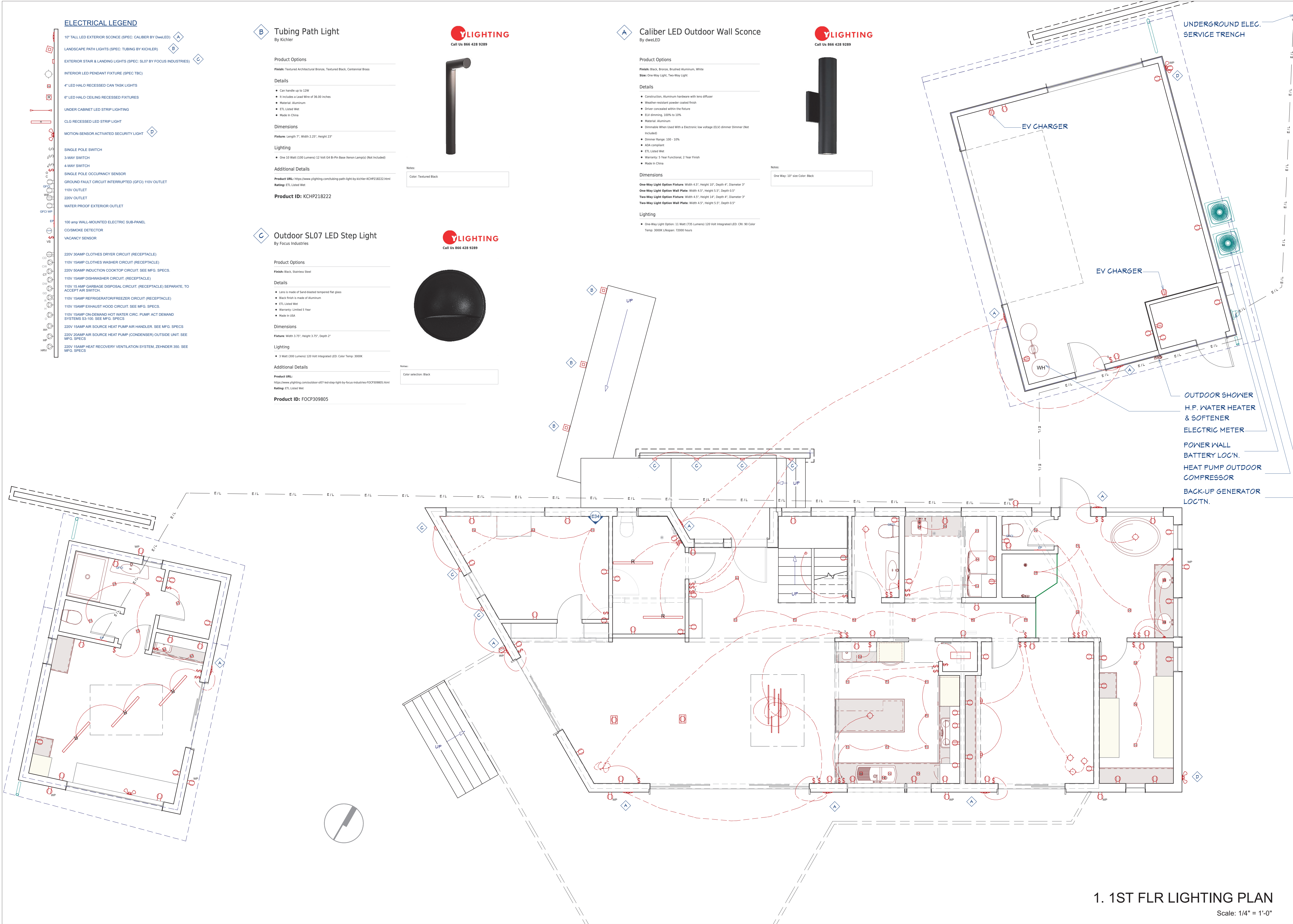
2. HOUSE SECTION @ BEDROOM 2 WALL

Scale: 1/4" = 1'-0"



1. WALL SECTION

Scale: 1" = 1'-0"



1. 1ST FLR LIGHTING PLAN
Scale: 1/4" = 1'-0"

ELECTRICAL LEGEND

- 10" TALL LED EXTERIOR SCONCE (SPEC: CALIBER BY DWLED) A
- LANDSCAPE PATH LIGHTS (SPEC: TUBING BY KICHLER) B
- EXTERIOR STAIR & LANDING LIGHTS (SPEC: SL07 BY FOCUS INDUSTRIES) C
- INTERIOR LED PENDANT FIXTURE (SPEC TBC)
- 4" LED HALO RECESSED CAN TASK LIGHTS
- 6" LED HALO CEILING RECESSED FIXTURES
- UNDER CABINET LED STRIP LIGHTING
- CLG RECESSED LED STRIP LIGHT
- MOTION-SENSOR ACTIVATED SECURITY LIGHT D
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- SINGLE POLE OCCUPANCY SENSOR
- GROUND FAULT CIRCUIT INTERRUPTED (GFCI) 110V OUTLET
- 110V OUTLET
- 220V OUTLET
- WATER PROOF EXTERIOR OUTLET
- 100 amp WALL-MOUNTED ELECTRIC SUB-PANEL
- CO/SMOKE DETECTOR
- VACANCY SENSOR
- 220V 30AMP CLOTHES DRYER CIRCUIT (RECEPTACLE)
- 110V 15AMP CLOTHES WASHER CIRCUIT (RECEPTACLE)
- 220V 50AMP INDUCTION COOKTOP CIRCUIT. SEE MFG. SPECS.
- 110V 15AMP DISHWASHER CIRCUIT. (RECEPTACLE)
- 110V 15 AMP GARBAGE DISPOSAL CIRCUIT. (RECEPTACLE) SEPARATE, TO ACCEPT AIR SWITCH.
- 110V 15AMP REFRIGERATOR/FREEZER CIRCUIT. (RECEPTACLE)
- 110V 15AMP EXHAUST HOOD CIRCUIT. SEE MFG. SPECS.
- 110V 15AMP ON-DEMAND HOT WATER GRC. PUMP ACT DEMAND SYSTEMS 55-100. SEE MFG. SPECS.
- 220V 15AMP AIR SOURCE HEAT PUMP AIR HANDLER. SEE MFG. SPECS.
- 220V 20AMP AIR SOURCE HEAT PUMP (CONDENSER) OUTSIDE UNIT. SEE MFG. SPECS.
- 220V 15AMP HEAT RECOVERY VENTILATION SYSTEM, ZEHNDER 350. SEE MFG. SPECS.

B Tubing Path Light
By Kichler

Product Options

Finish: Textured Architectural Bronze, Textured Black, Centennial Brass

Details

- Can handle up to 12W
- It includes a Lead Wire of 36.00 inches
- Material: Aluminum
- ETL Listed Wet
- Made in China

Dimensions

Fixture: Length 7", Width 2.23", Height 23"

Lighting

- One 10 Watt (100 Lumens) 12 Volt G4 Bi-Pin Base (Base Lamp(s) (Not Included))

Additional Details

Product URL: <https://www.ylighting.com/tubing-path-light-by-kichler-KCHP218222.html>

Rating: ETL Listed Wet

Product ID: KCHP218222

Notes:

Color: Textured Black

C Outdoor SL07 LED Step Light
By Focus Industries

Product Options

Finish: Black, Stainless Steel

Details

- Lens is made of Sand-blasted tempered flat glass
- Black Finish is made of Aluminum
- ETL Listed Wet
- Warranty: Limited 5 Year
- Made in USA

Dimensions

Fixture: Width 3.75", Height 3.75", Depth 2"

Lighting

- 3 Watt (100 Lumens) 120 Volt Integrated LED; Color Temp: 3000K

Additional Details

Product URL: <https://www.ylighting.com/outdoor-sl07-led-step-light-by-focus-industries-FOCP309805.html>

Rating: ETL Listed Wet

Product ID: FOCP309805

Notes:

Color selection: Black

A Caliber LED Outdoor Wall Sconce
By dwLED

Product Options

Finish: Black, Bronze, Brushed Aluminum, White

Size: One-Way Light, Two-Way Light

Details

- Construction: Aluminum hardware with lens diffuser
- Weather-resistant powder coated finish
- Driver concealed within the fixture
- ELV dimming, 100% to 10%
- Material: Aluminum
- Dimmable When Used with a Electronic low voltage (ELV) dimmer (Dimmer Not Included)
- Dimmer Range: 100 - 10%
- ADA compliant
- ETL Listed Wet
- Warranty: 5 Year Functional, 2 Year Finish
- Made in China

Dimensions

One-Way Light Option Fixture: Width 4.5", Height 10", Depth 4", Diameter 3"

One-Way Light Option Wall Plate: Width 4.5", Height 5.5", Depth 0.5"

Two-Way Light Option Fixture: Width 4.5", Height 14", Depth 4", Diameter 3"

Two-Way Light Option Wall Plate: Width 4.5", Height 5.5", Depth 0.5"

Lighting

- One-Way Light Option: 11 Watt (735 Lumens) 120 Volt Integrated LED; CRI: 90 Color Temp: 3000K Lifespan: 72000 hours

Notes:

One Way: 10" size Color: Black

ARCHITECT:

Passive House BB
2875 21st Street, Ste 4
San Francisco
CA 94110

CA LICENSE:
C 36261

STAMP:

DESIGNED ARCHITECT STATE OF CALIFORNIA
C-36261
Bronwyn J. Barry
Renewal Date
7/30/2019

PROJECT:

Asnis Residence
2821 Seventeen Mile Drive
Pebble Beach, CA 93953

ISSUES & REVISIONS:

#	Title	Date
1.	PRELIM DESIGN	2020-07-23
2.	--	--

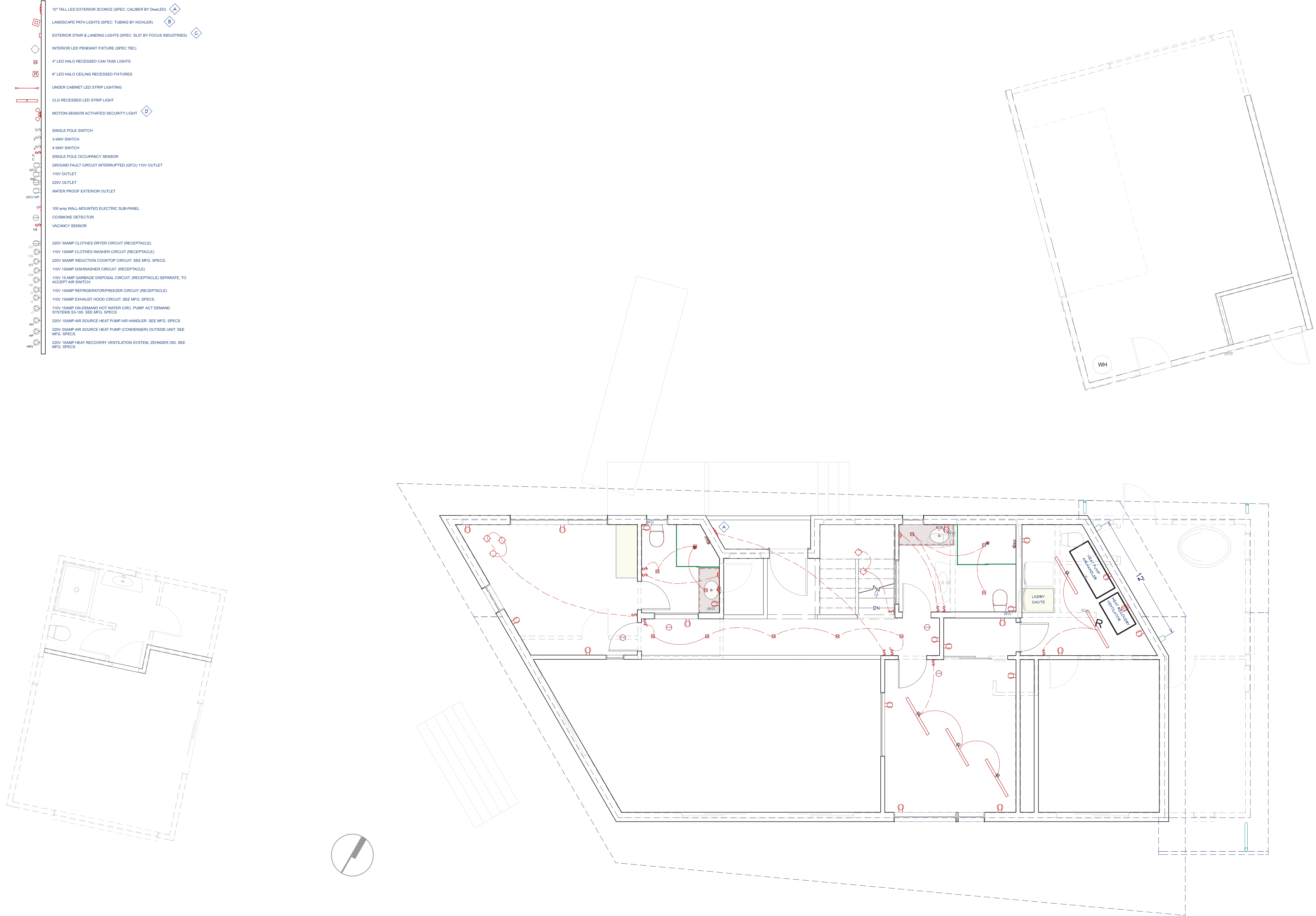
SHEET TITLE:

1ST FLOOR HVAC &
ELECTRICAL PLAN

Drawn B. BARRY
Job 2020 - 17MD
Date 8/20/20
SHEET #:

A12.0

	19' TALL LED EXTERIOR SCORCE (SPEC: CALIBER BY DWELLED)	
	LANDSCAPE PATH LIGHTS (SPEC: TUBING BY KICHLER)	
	EXTERIOR STAR & LANDING LIGHTS (SPEC: SLOT BY FOCUS INDUSTRIES)	
	INTERIOR LED PENDANT FIXTURE (SPEC TBC)	
	4' LED HALO RECESSED CAN TASK LIGHTS	
	6' LED HALO CEILING RECESSED FIXTURES	
	UNDER CABINET LED STRIP LIGHTING	
	CLG RECESSED LED STRIP LIGHT	
	MOTION-SENSOR ACTIVATED SECURITY LIGHT	
	SINGLE POLE SWITCH	
	3-WAY SWITCH	
	4-WAY SWITCH	
	SINGLE POLE OCCUPANCY SENSOR	
	GROUND FAULT CIRCUIT INTERRUPTED (GFCI) 110V OUTLET	
	110V OUTLET	
	220V OUTLET	
	WATER PROOF EXTERIOR OUTLET	
	200 amp WALL-MOUNTED ELECTRIC SUB-PANEL	
	CO/SMOKE DETECTOR	
	VACANCY SENSOR	
	220V 30AMP CLOTHES DRYER CIRCUIT (RECEPTACLE)	
	110V 15AMP CLOTHES WASHER CIRCUIT (RECEPTACLE)	
	220V 50AMP INDUCTION COOKTOP CIRCUIT. SEE MFG. SPECS.	
	110V 15AMP DISHWASHER CIRCUIT (RECEPTACLE)	
	110V 15 AMP GARBAGE DISPOSAL CIRCUIT. (RECEPTACLE) SEPARATE, TO ACCEPT AIR SWITCH.	
	110V 15AMP REFRIGERATOR/FREEZER CIRCUIT (RECEPTACLE)	
	110V 15AMP EXHAUST HOOD CIRCUIT. SEE MFG. SPECS.	
	110V 15AMP ON-DEMAND HOT WATER CIRC. PUMP. ACCT DEMAND SYSTEMS 15-100. SEE MFG. SPECS.	
	220V 15AMP AIR SOURCE HEAT PUMP AIR PUMP. SEE MFG. SPECS.	
	220V 20AMP AIR SOURCE HEAT PUMP (CONDENSER) OUTSIDE UNIT. SEE MFG. SPECS.	
	220V 15AMP HEAT RECOVERY VENTILATION SYSTEM, ZEHNDER 300. SEE MFG. SPECS.	



Scale: 1/4" = 1'-0"

A13.0

STANDARD GRADING NOTES

NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

- ALL WORK SHAL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND THE LATEST REVISION OF THE MONTEREY COUNTY DESIGN STANDARDS AND SPECIFICATIONS.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE, AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE, AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK, OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- GRADING WINTER RESTRICTIONS:
 - NO LAND CLEARING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA – BUILDING SERVICES. (RMA – PLANNING AND RMA – BUILDING SERVICES)
 - THE OWNER/APPLICANT, ON AN ON-GOING BASIS, SHALL OBTAIN AUTHORIZATION FROM THE DIRECTOR OF RMA – BUILDING SERVICES DEPARTMENT TO CONDUCT LAND CLEARING OR GRADING BETWEEN OCTOBER 15 AND APRIL 15.
- ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED, AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE COUNTY WATER DISTRICT.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE MONTEREY COUNTY CORONER IMMEDIATELY.
- THIS PLAN NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE GOVERNING JURISDICTION..
- THE SOILS ENGINEER FOR THIS PROJECT IS BRIAN E. PAPURELL, CEG 2226 LANDSET ENGINEERS, INC. OFFICE: (831) 443-6970. FAX: (831) 443-3801 CELL: (831) 970-3692
 - THE GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/ OR PROJECT SOILS ENGINEER. D. THE GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING OF ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.

GRADING AND DRAINAGE PLAN
NEW RESIDENCE
LANDS OF ASNIS
2821 SEVENTEEN MILE DRIVE
PEBBLE BEACH, CALIFORNIA 93953
APN 007-121-010

EROSION AND SEDIMENT CONTROL

NOTES:

- OWNER/DEVELOPER SHALL BE RESPONSIBLE TO ENSURE THAT NO MUD OR SILTATION LEAVES THE PROJECT SITE.
- PRIOR TO LAND DISTURBANCE, THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS. INTERIM EROSION CONTROL MEASURES MUST BE COMPLETED AND IN PLACE BY OCTOBER 1 AND IMMEDIATELY FOLLOWING EACH CONSTRUCTION PHASE IF DURING THE PERIOD OF OCTOBER 1-APRIL 15.
- ALL INTERIM EROSION CONTROL MEASURES MUST BE CONTINUOUSLY MAINTAINED THROUGHOUT THE OCTOBER 1-APRIL 15 RAINY SEASON.
- CONTACT MONTEREY COUNTY RMA-ENVIRONMENTAL SERVICES BY SEPTEMBER 15 FOR INSPECTION OF EROSION CONTROL DEVICES.
- IF EROSION CONTROL MEASURES ARE NOT IN PLACE AS REQUIRED OR NOT MAINTAINED ALL WORK SHALL CEASE UNTIL EROSION CONTROL MEASURES ARE REMEDIED.
- SEED AND MULCH WILL BE APPLIED BY OCTOBER 1 TO ALL DISTURBED SLOPES STEEPER THAN 2% AND HIGHER THAN 3 FEET.
- SEED AND FERTILIZER WILL BE APPLIED HYDRAULICALLY OR BY HAND AT THE RATES SPECIFIED BELOW. ON SLOPES, STRAW SHALL BE APPLIED BY BLOWER AND ANCHORED IN PLACE BY PUNCHING.

ITEM	POUNDS PER ACRE
"BLANDO" BROME	30
ANNUAL RYE GRASS	20
FERTILIZER (16-20-0 AND 15% SULFUR)	500
STRAW MULCH	4,000
- SEEDED AREAS SHALL BE REPAIRED, RESEEDED AND MULCHED IF DAMAGED.

MEASURES:

- INSTALL FIBER ROLL OR STRAW BALE DIKE (REMOVABLE AT DRIVEWAY).
- SEED EXPOSED AREAS PER ABOVE SPECIFICATIONS.
- INSTALL DRAINAGE MEASURES INCLUDING SWALE LINING.
- INSTALL RETAINING WALLS AS SHOWN IMMEDIATELY FOLLOWING GRADING OPERATION AT WALL LOCATIONS (WITH APPROPRIATE INSPECTIONS BY PER DEPARTMENT REQUIREMENTS).
- INSTALL CHECK DAMS, SEDIMENT TRAPS AND TEMPORARY SWALES.
- INSTALL JUTE NETTING OVER SEEDED AND MULCHED SLOPES.
- COVER BARE SLOPES WITH PLASTIC SHEETING.

MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMES, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS ARE TO BE MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- SAND BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.

EARTHWORK QUANTITIES/AREAS

EARTHWORK QUANTITIES:

LOCATION	CUT (CY)	FILL (CY)
BUILDING PADS	70	
DRIVEWAY		50
LANDSCAPE	30	-
	-	-
TOTAL	100	50
IMPORT		
EXPORT		50

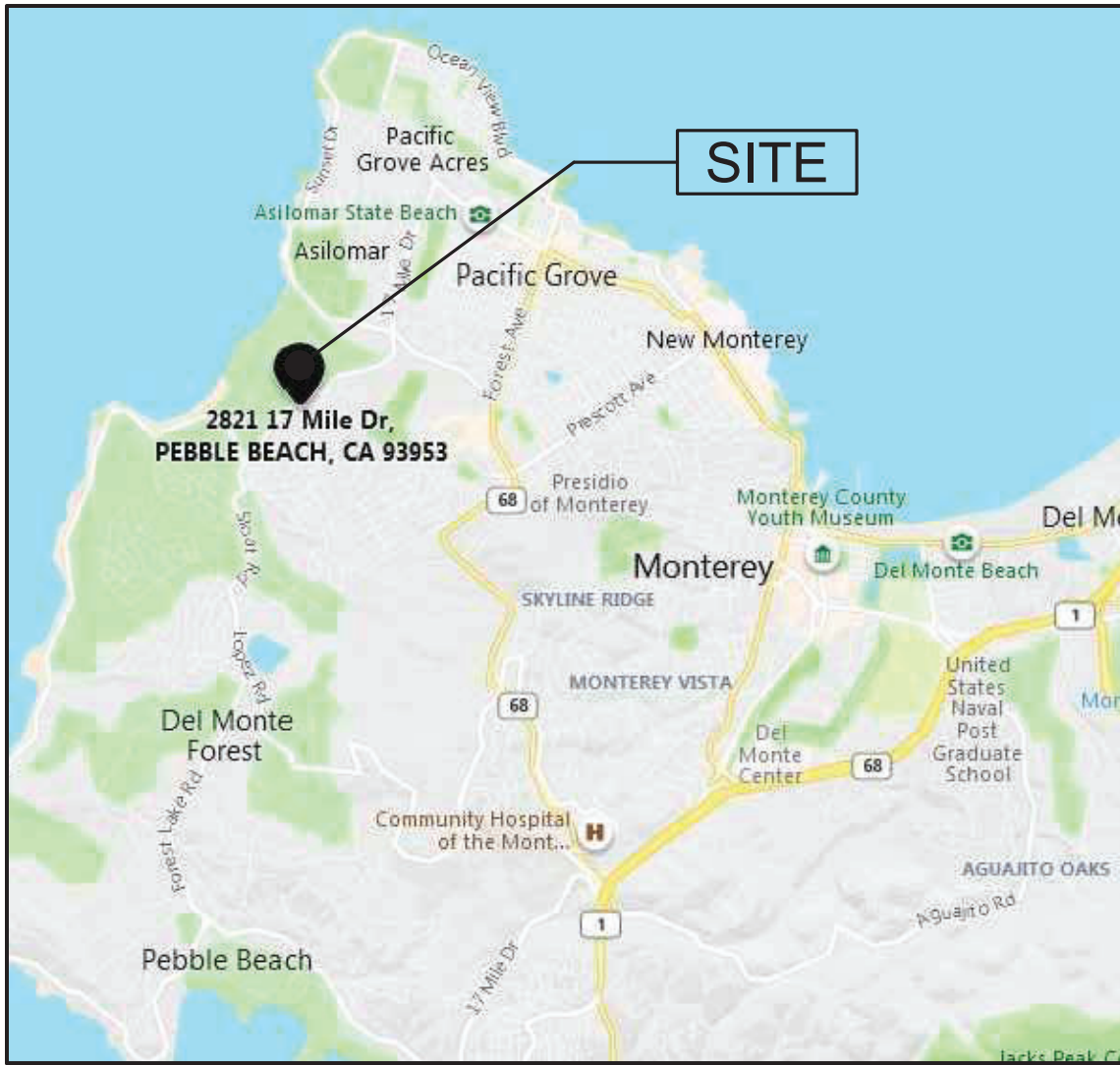
- NOTES:
- MAX. CUT: 1', MAX. FILL: 1'
 - YARDAGE ARE BANK YARDAGES, GC SHALL MAKE THEIR OWN INDEPENDENT ESTIMATE FOR BIDDING BASED ON ALL CONSTRUCTION DOCUMENTS AVAILABLE

DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR EARTHWORK ESTIMATES. ACTUAL EARTHWORK QUANTITIES MAY VARY DUE TO SITE CONDITIONS AND MATERIAL SPECIFICATIONS. CONTRACTOR SHALL MAKE INDEPENDENT ESTIMATION PRIOR TO BIDDING. BASED ON ALL THE INFORMATION IN THE CONSTRUCTION DOCUMENTS. EARTHWORK QUANTITIES DO NOT INCLUDE FOUNDATION TRENCHES OR DRILLED PIER SPOILS. QUANTITIES SHOWN ARE BANK YARDAGE ONLY.

AREAS:

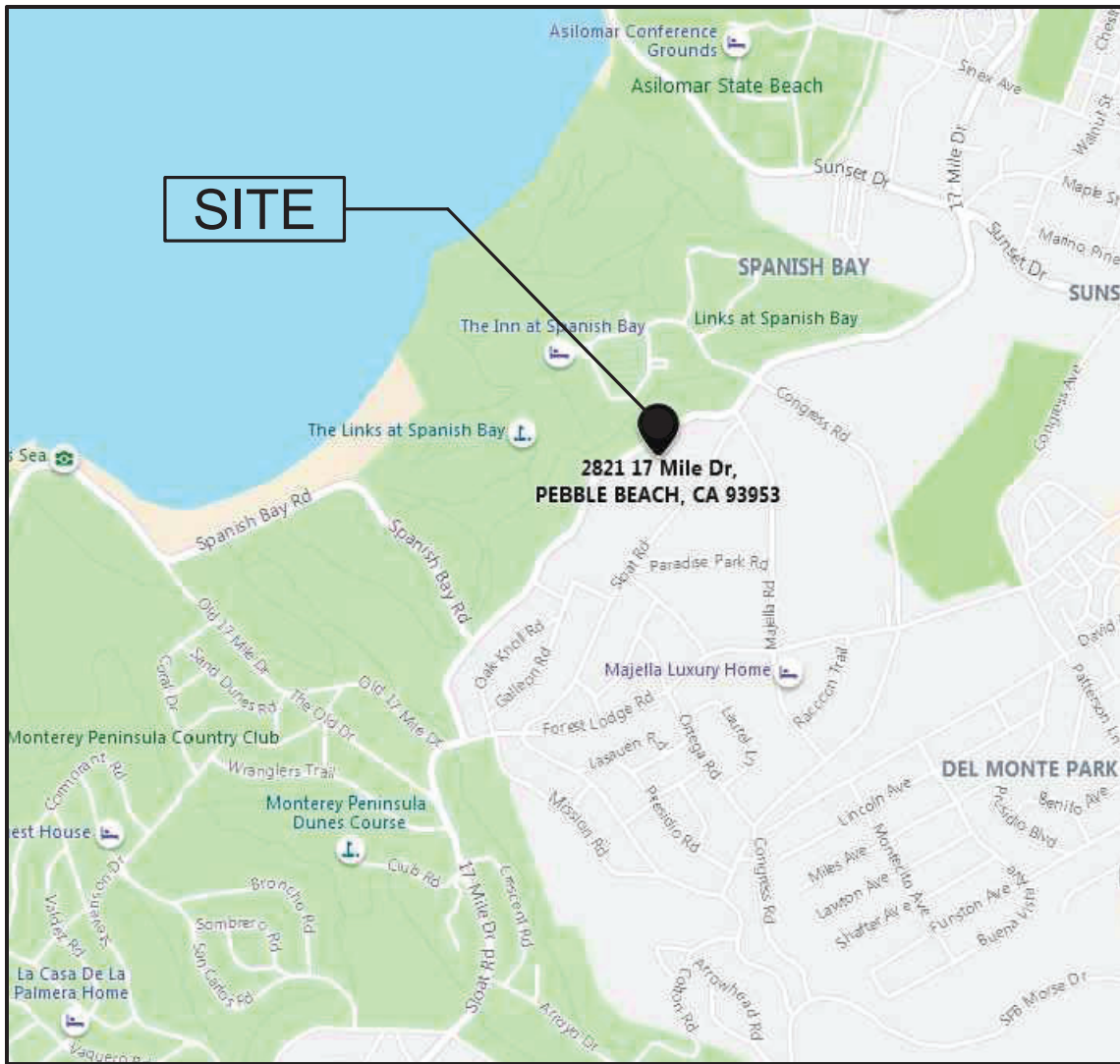
	PERVIOUS (SF)	IMPERVIOUS (SF)
GARAGE		648
STUDIO		420
MAIN HOUSE		1,930
DRIVEWAY	2,215	
ENTRY DECK		155
RAMP		92
REAR DECK	677	
EXISTING LANDSCAPE	27,840	
POST CONSTRUCTION	30,732	3,245
PRE-CONSTRUCTION	33,977	
DISTURBED AREA	12,000 SF	
LOT AREA	33,977 SF (0.78 Ac.)	

- NOTES:
- COVERAGES INCLUDE THE SCOPE FOR THE ENTIRE SITE
 - SEE ALSO ARCHITECTURAL DRAWINGS



VICINITY MAP

NTS



AREA MAP

NTS

INDEX

COVER SHEET/NOTES/INDEX	C0.1
GRADING AND DRAINAGE PLAN	C1.0
EROSION CONTROL PLAN	C1.1
GRADING SECTIONS	C2.0
DETAILS	C3.0
DETAILS	C3.1

ALL CONTRACTORS WILL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATIONS OF ALL EXISTING UTILITIES IN THE FIELD. ALL CONTRACTORS SHALL CALL U.S.A AT (800-227-2600) 48 HOURS BEFORE DIGGING, AND OBTAIN AN IDENTIFICATION NUMBER (SECTION 4210.1 OF THE GOVERNMENT CODE).



NOTES:
THIS PLAN IS APPROVED FOR ON SITE GRADING ONLY. INSTALLATION OF ON SITE PLUMBING, ELECTRICAL AND MECHANICAL FACILITIES WILL NOT BE PERMITTED BY THESE PLANS. SEE ARCHITECTURAL DRAWINGS FOR ALL UTILITY INSTALLATION INFORMATION NOT SHOWN.

Engineer

ARNOLD ENGINEERING
ASSOCIATES, INC.
1255 TREAT BOULEVARD, SUITE 300
WALNUT CREEK, CALIFORNIA 94597
email: info@aeaengineering.com
web: www.aeaengineering.com

Stamp



Project Title

NEW RESIDENCE
2821 SEVENTEEN MILE DRIVE
PEBBLE BEACH, CALIFORNIA 93953

Client

ANNA & ILYA ASNIS
1842 LENCAR WAY
SAN JOSE, CA 93953

Issues and Revisions

No.	Description	Date
		07/23/20

Project No. 36-20

Drawn By SC/AA

Reviewed By AA

Scale AS SHOWN

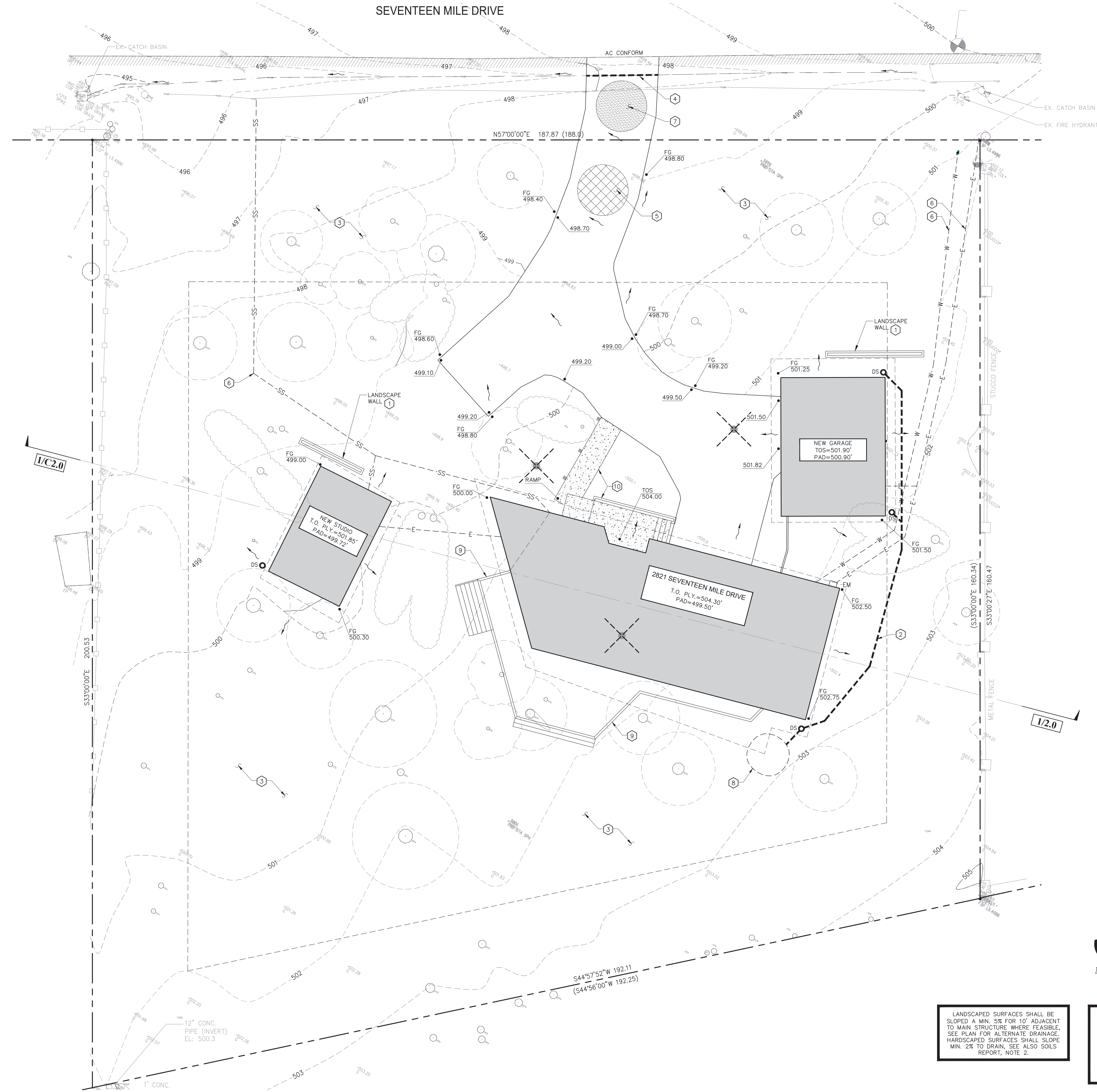
Date July 23, 2020

Sheet Title

COVER SHEET/
NOTES/INDEX

Sheet #

C0.1



Engineer

ARNOLD ENGINEERING
ASSOCIATES, INC.
1255 TREAT BOULEVARD, SUITE 300
WALNUT CREEK, CALIFORNIA 94597
email: info@aeaengineering.com
web: www.aeaengineering.com

Stamp



Project Title

NEW RESIDENCE
2821 SEVENTEEN MILE DRIVE
PEBBLE BEACH, CALIFORNIA 93953

Client

ANNA & ILYA ASNIS
1842 LENCAR WAY
SAN JOSE, CA 93953

Issues and Revisions

No.	Description	Date
		07/23/20

Project No. 36-20

Drawn By SC/AA

Reviewed By AA

Scale AS SHOWN

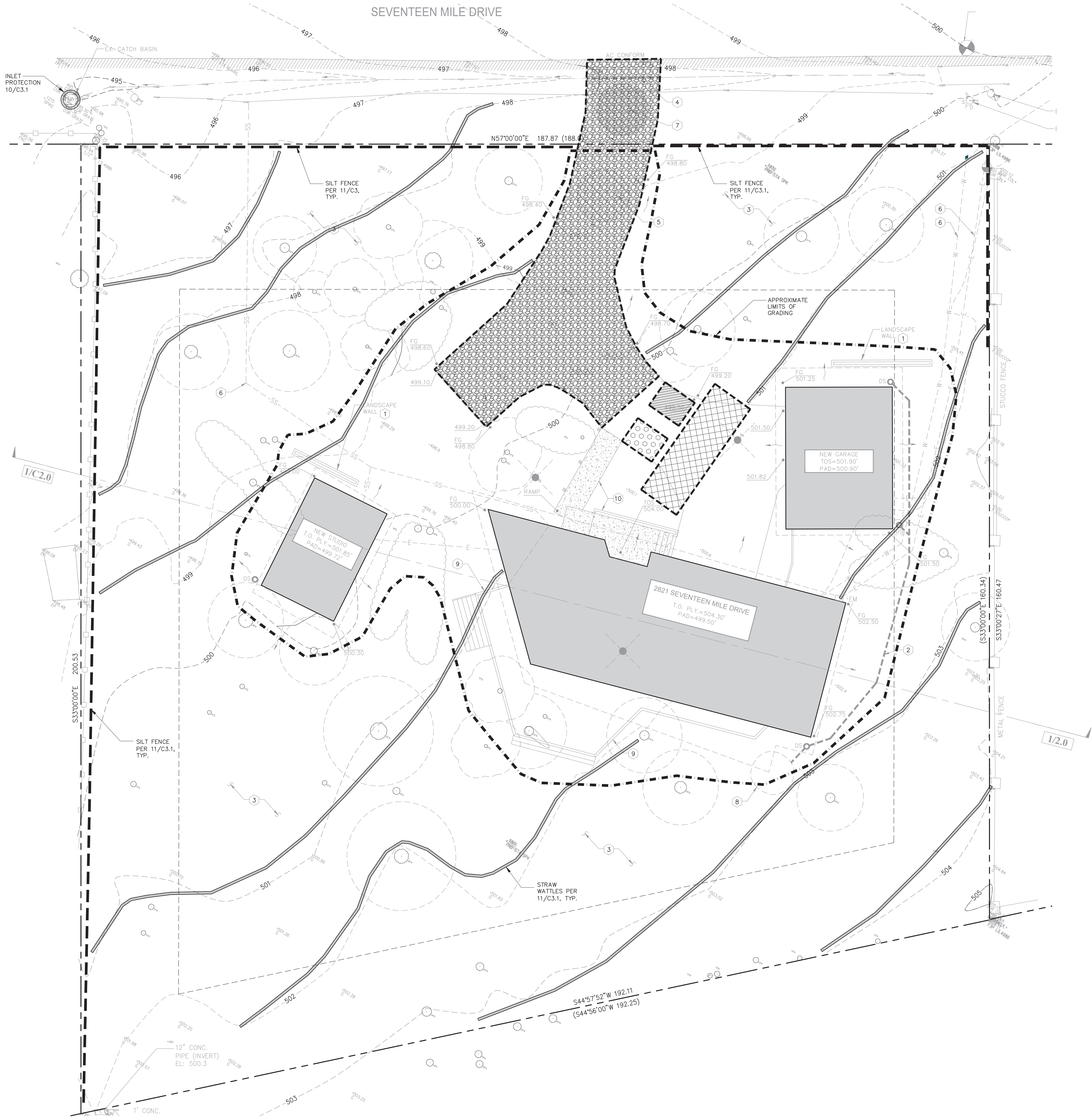
Date July 23, 2020

Sheet Title

GRADING &
DRAINAGE PLAN

Sheet #

C1.0



EROSION CONTROL LEGEND

CONSTRUCTION ENTRANCE PER 3/C3.1

INLET PROTECTION PER 10/C3.1

STRAW WATTLES PER 1/C3.1

SILT FENCE PER 11/C3.1

APPROXIMATE DISTURBED AREA/
LIMITS OF GRADING (12,000 SF)

CONCRETE WASHOUT
BASIN PER 6/C3.1

MATERIAL STORAGE
AND LAYDOWN AREA

LOCATION OF PORT-O-LET AND
CONSTRUCTION WATER TO WASH
DOWN TRUCKS LEAVING THE SITE

EROSION CONTROL NOTES:

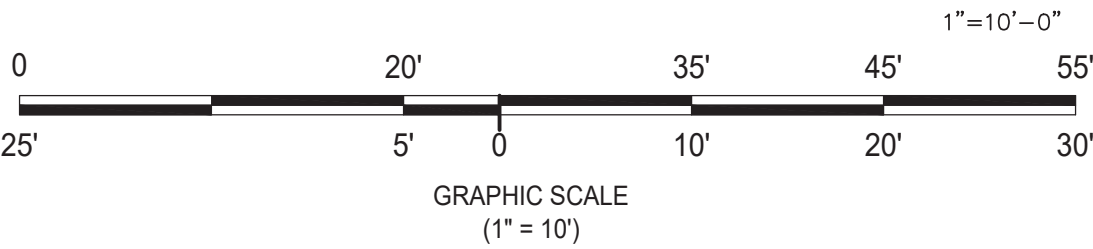
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM AND DURING ALL CONSTRUCTION.
- PROJECTS SHALL HAVE ALL CUT AND FILL SLOPES PROTECTED BY AND DISTURBED AREAS BY ONE OF THE FOLLOWING MEASURES OR THE COMBINATION OF THEM: TEMPORARY SEEDING AND MULCHING, PERMANENT SEEDING AND MULCHING, HYDROMULCHING-HYDROSEEDING, EROSION CONTROL BLANKETS/GEOTEXTILES, AND FIBER ROLLS.
- PROJECTS SHALL PREVENT THE ACCUMULATION OF DEPOSITS OF DIRT, MUD, SAND, ROCK, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 SHALL BE DONE AT THE DISCRETION OF THE BUILDING OFFICIAL.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.
- THE EROSION CONTROL MEASURES SHOWN ARE A GENERAL REPRESENTATION OF THE REQUIRED EROSION CONTROL MEASURES TO BE INSTALLED AND ARE SUBJECT TO EVALUATION BY THE BUILDING OFFICIAL AND ADDITIONAL MEASURES MAY BE REQUIRED OVER WHAT IS SHOWN PER PLAN.

MAINTENANCE NOTES:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
D. RILLS AND GULLIES MUST BE REPAIRED.



EROSION CONTROL PLAN



Engineer

ARNOLD ENGINEERING
ASSOCIATES, INC.
1255 TREAT BOULEVARD, SUITE 300
WALNUT CREEK, CALIFORNIA 94597
email: info@aeaengineering.com
web: www.aeaengineering.com

Stamp



Project Title

NEW RESIDENCE
2821 SEVENTEEN MILE DRIVE
PEBBLE BEACH, CALIFORNIA 93953

Client

ANNA & ILYA ASNIS
1842 LENCAR WAY
SAN JOSE, CA 93953

Issues and Revisions

No.	Description	Date
		07/23/20

Project No. 36-20

Drawn By SC/AA

Reviewed By AA

Scale AS SHOWN

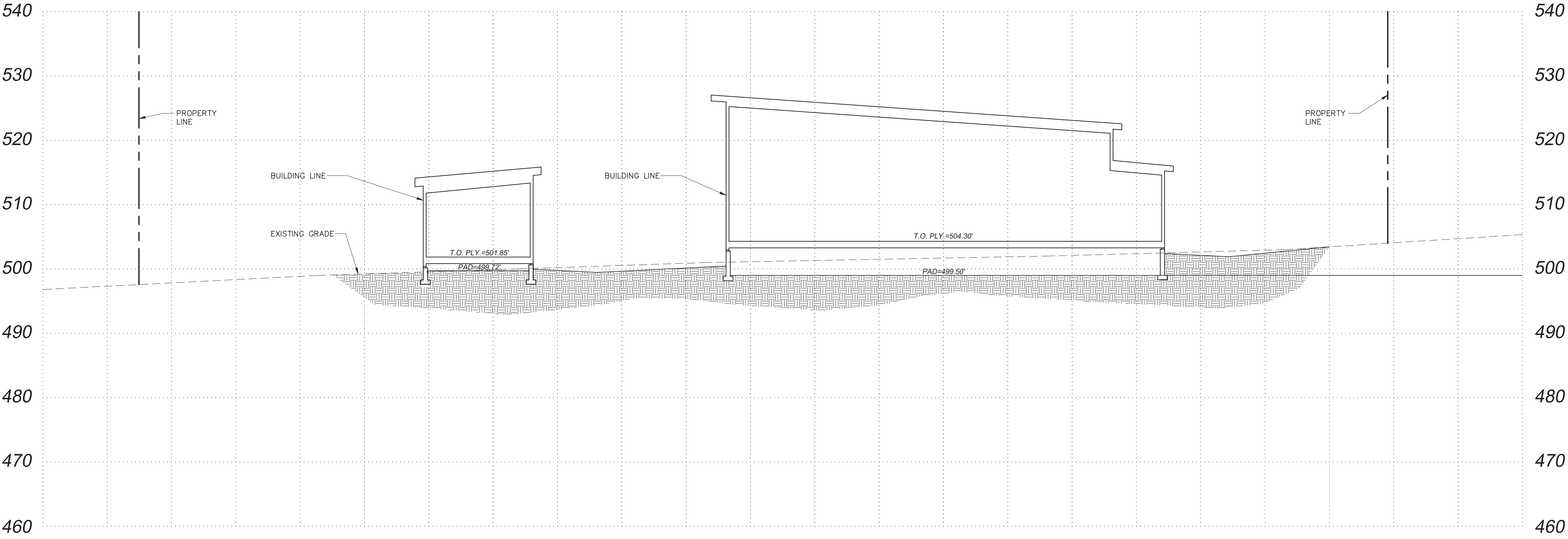
Date July 23, 2020

Sheet Title

EROSION
CONTROL PLAN

Sheet #

C1.1



1

SECTION

HORIZONTAL SCALE: 1" = 10' VERTICAL SCALE: 1" = 10'

3

SECTION

Engineer

ARNOLD ENGINEERING
ASSOCIATES, INC.
1255 TREAT BOULEVARD, SUITE 300
WALNUT CREEK, CALIFORNIA 94597
email: info@aeaengineering.com
web: www.aeaengineering.com

Stamp



Project Title

NEW RESIDENCE
2821 SEVENTEEN MILE DRIVE
PEBBLE BEACH, CALIFORNIA 93953

Client

ANNA & ILYA ASNIS
1842 LENCAR WAY
SAN JOSE, CA 93953

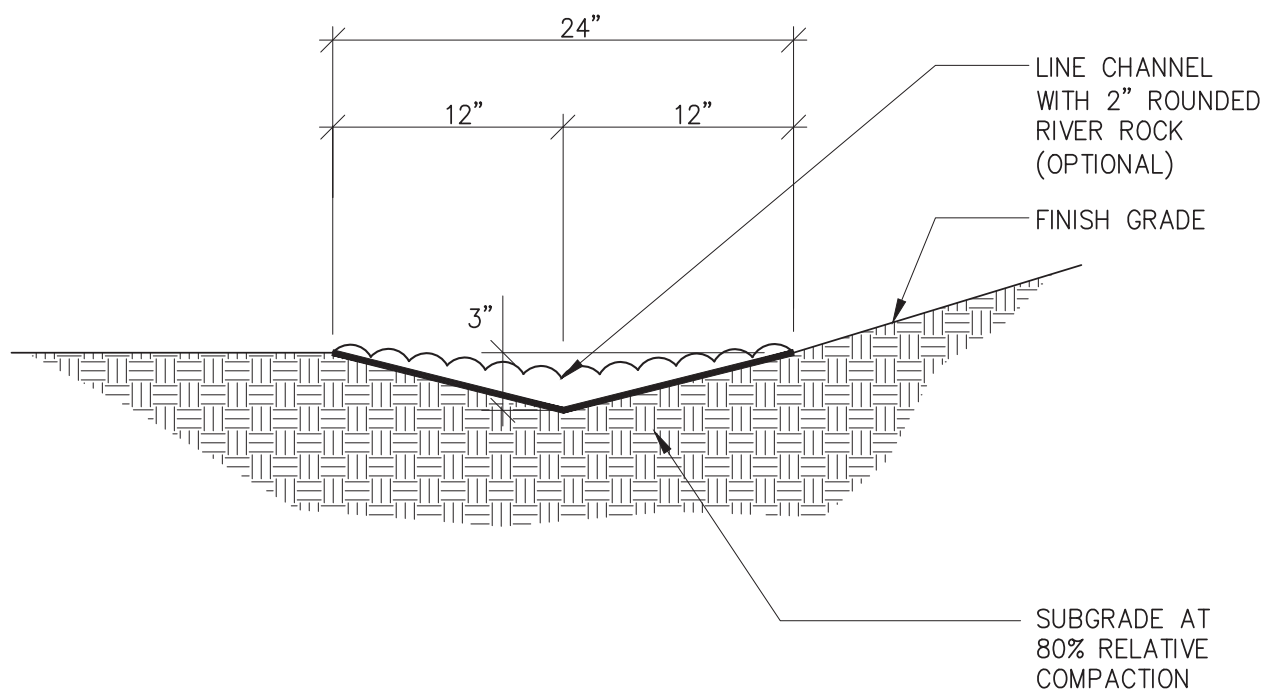
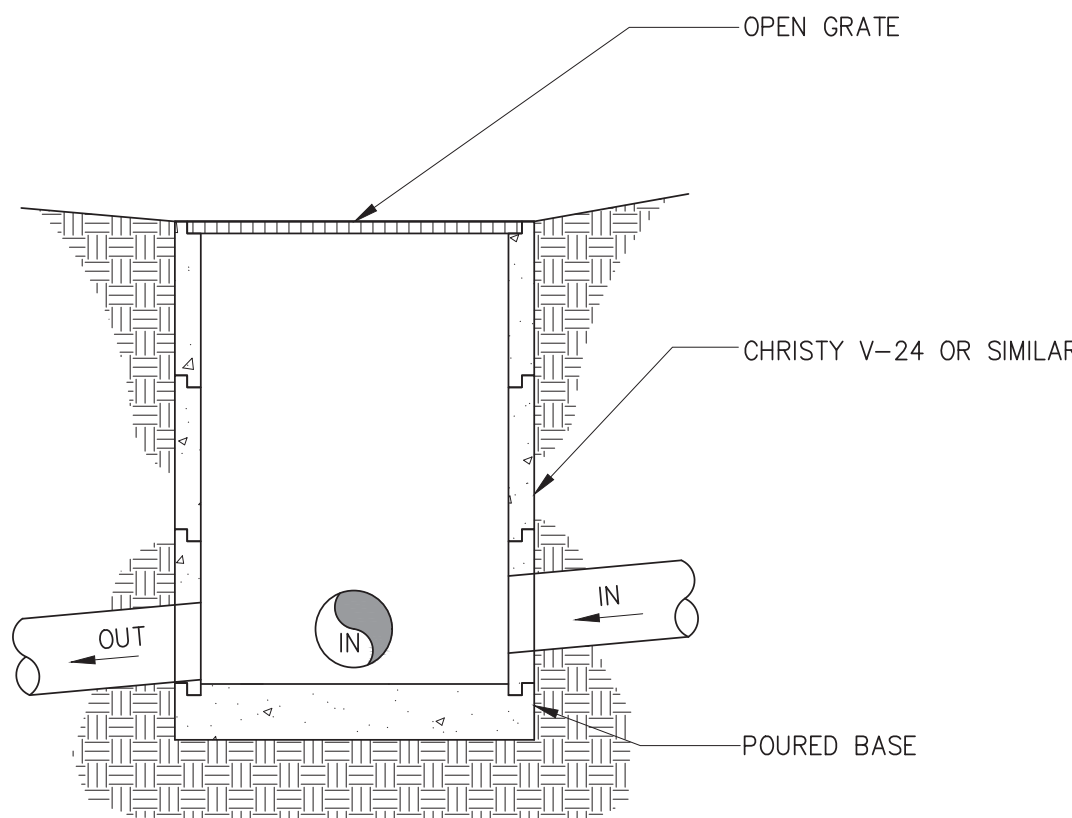
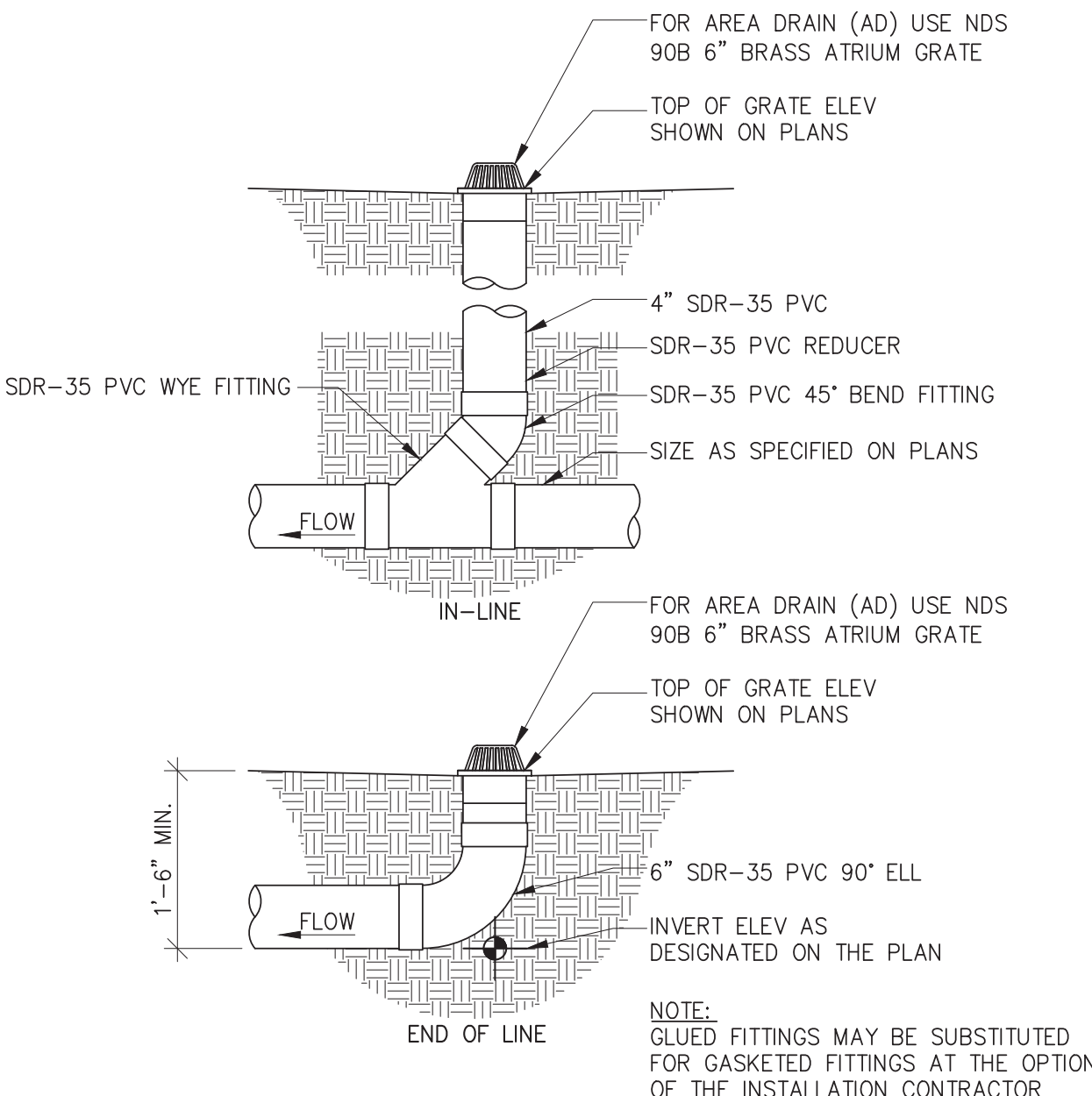
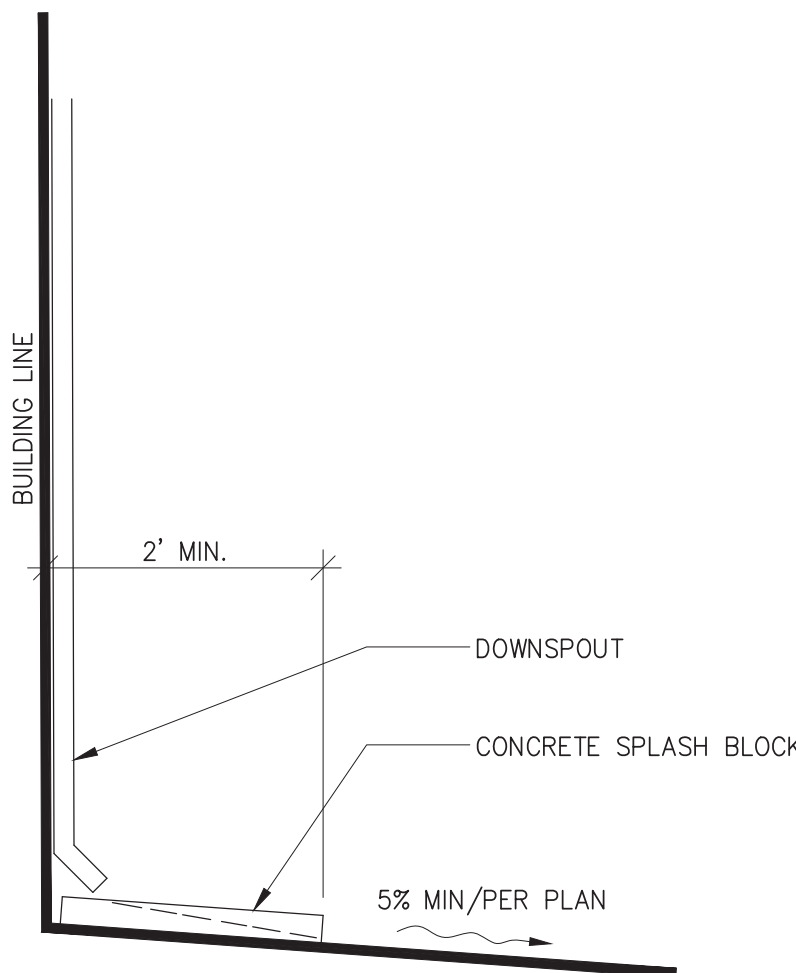
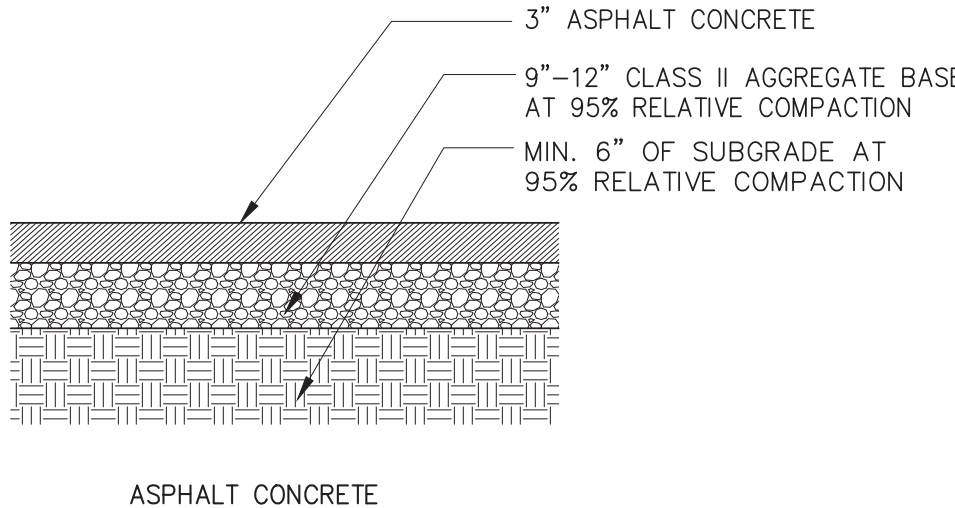
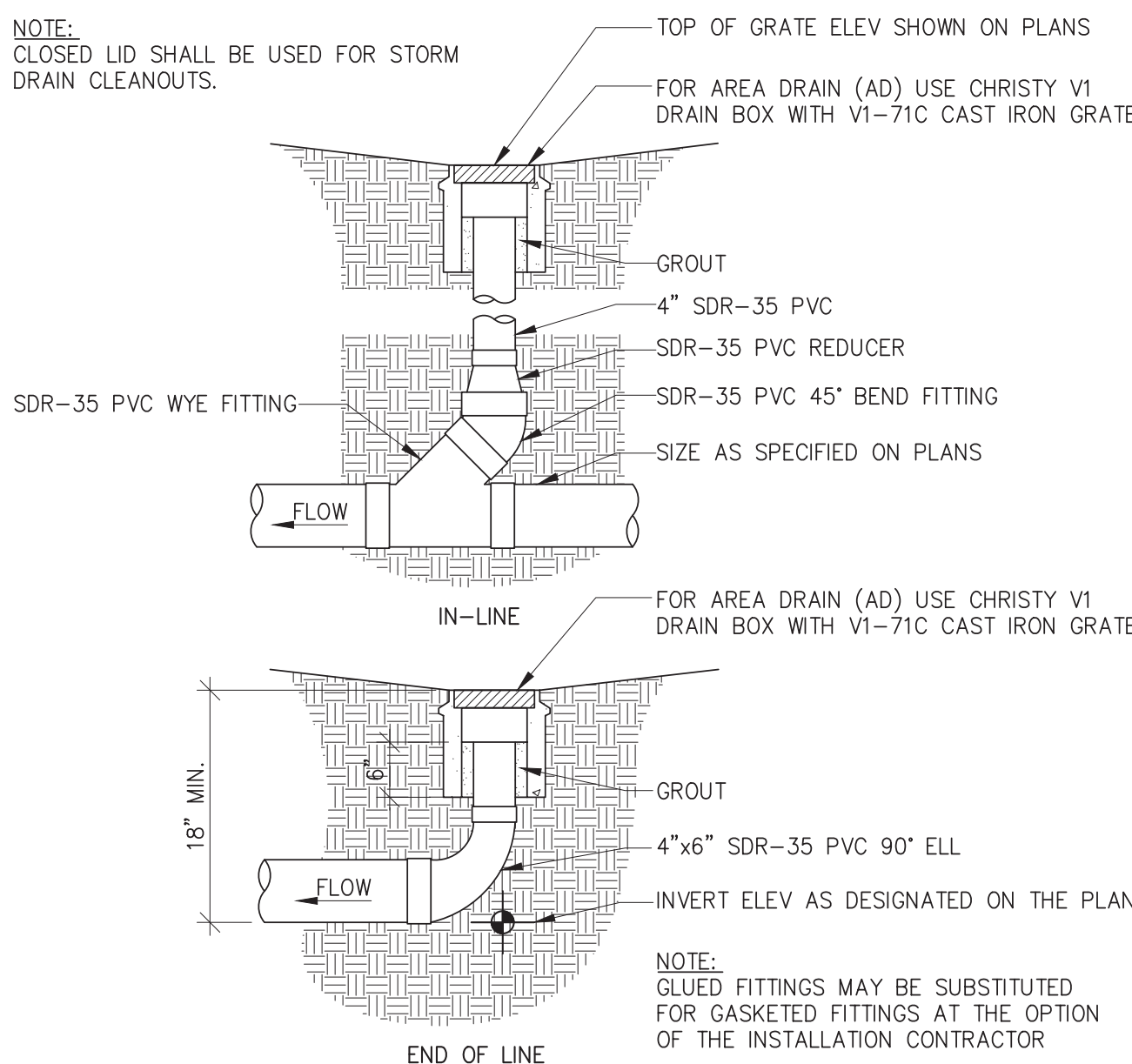
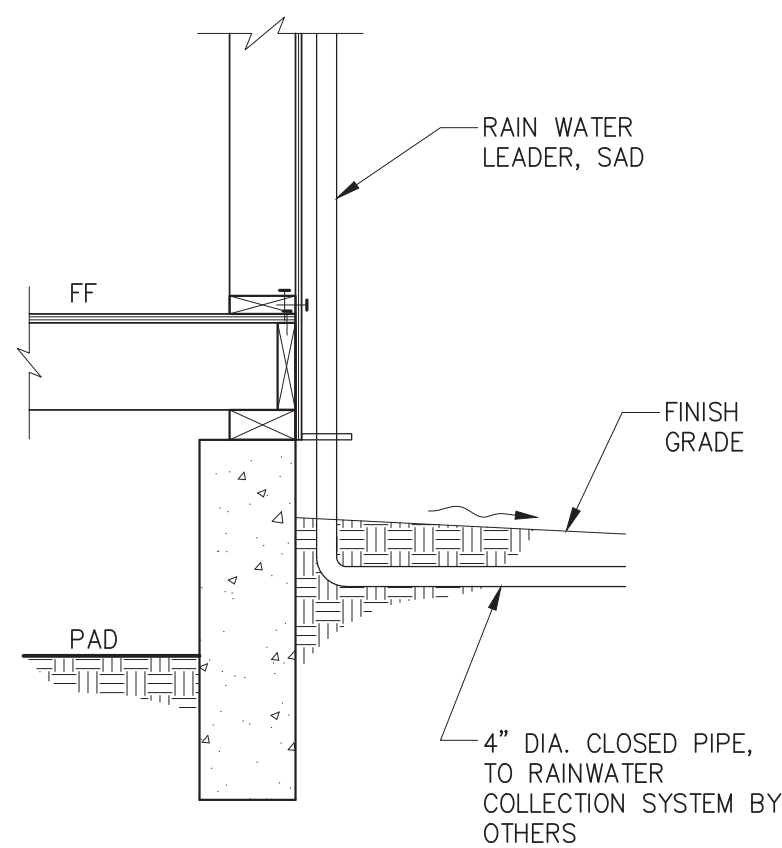
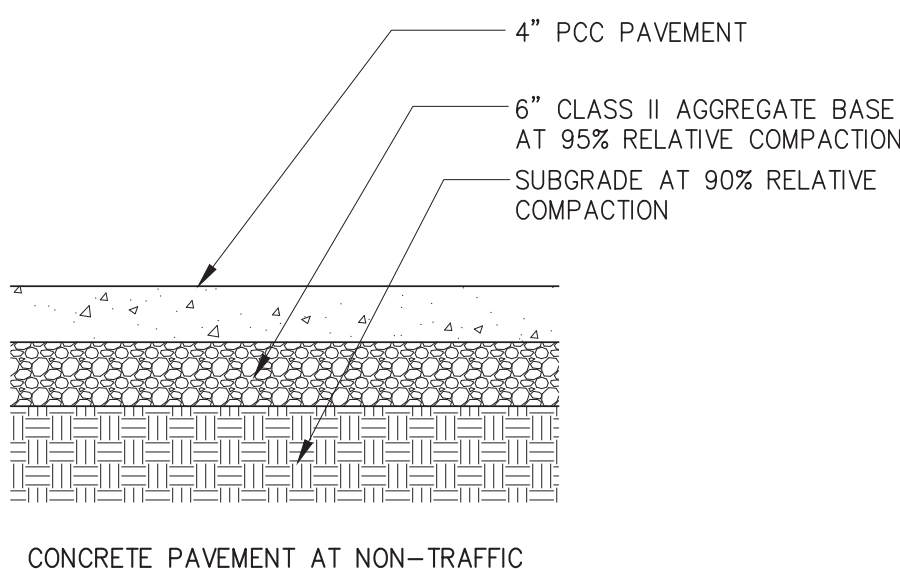
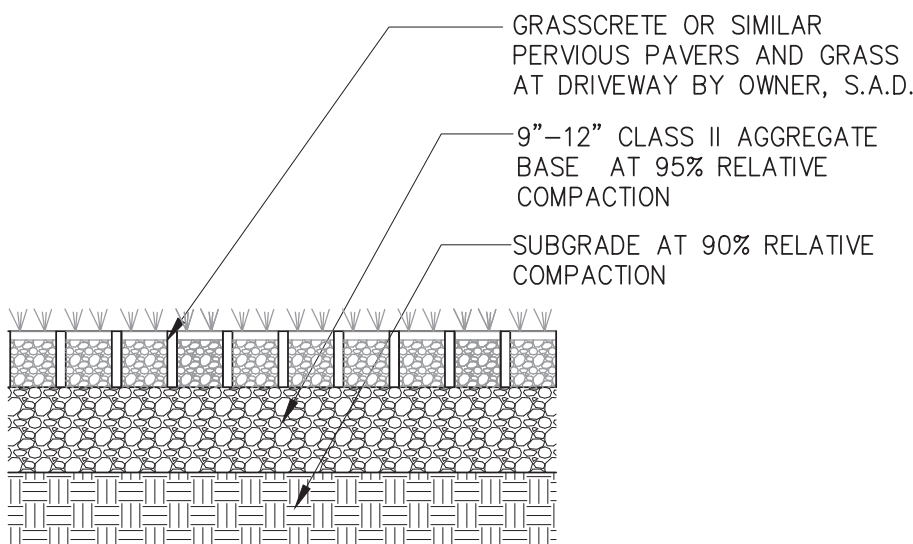
Issues and Revisions		
No.	Description	Date
		07/23/20

Project No.	36-20
Drawn By	SC/AA
Reviewed By	AA
Scale	AS SHOWN
Date	July 23, 2020
Sheet Title	

SECTIONS

Sheet #

C2.0

						
10		7 EARTH SWALE NTS	4 DRAIN INLET/CATCH BASIN NTS	1 LANDSCAPE AREA DRAIN (NDS-90B) NTS		
						
11		8 DOWNSPOUTS AT SPLASH BLOCKS NTS	5 ASPHALT CONCRETE AT DRIVEWAY APRON NTS	2 HARDSCAPE AREA DRAIN (V-1) NTS		
						
12		9 DOWNSPOUTS TO RAINWATER COLLECTION NTS	6 CONCRETE PAVEMENT NTS	3 DRIVEWAY PERVIOUS PAVERS NTS		

Engineer

ARNOLD ENGINEERING
ASSOCIATES, INC.
1255 TREAT BOULEVARD, SUITE 300
WALNUT CREEK, CALIFORNIA 94597
email: info@aeaengineering.com
web: www.aeaengineering.com

Stamp

REGISTERED PROFESSIONAL ENGINEER
ANDREW E. ARNOLD
NO. C 66537
Exp. 06-30-22
CIVIL
STATE OF CALIFORNIA

Project Title

NEW RESIDENCE
2821 SEVENTEEN MILE DRIVE
PEBBLE BEACH, CALIFORNIA 93953

Client

ANNA & ILYA ASNIS
1842 LENCAR WAY
SAN JOSE, CA 93953

Issues and Revisions

No.	Description	Date
		07/23/20

Project No.	36-20
Drawn By	SC/AA
Reviewed By	AA
Scale	AS SHOWN
Date	July 23, 2020
Sheet Title	

DETAILS

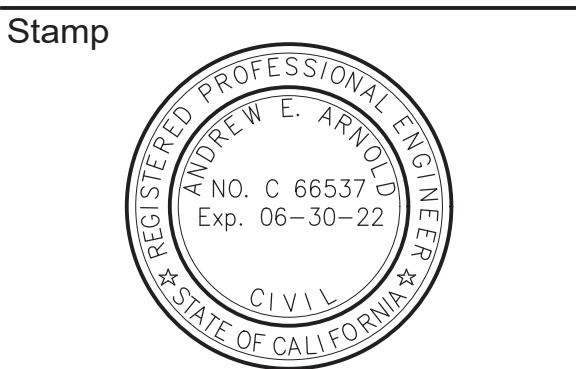
Sheet #

C3.0

10	INLET PROTECTION	NTS	7		4		1	STRAW WATTLE DETAIL	NTS	
<p>NOTES:</p> <p>1. IF DIKE IS CONSTRUCTED AT THE TOP OF SLOPE, PLACE IT 6' MINIMUM AWAY FROM THE SLOPE IF POSSIBLE.</p> <p>MAINTENANCE:</p> <p>1. INSPECT WEEKLY AND AFTER EACH RAIN.</p> <p>2. REMOVE SEDIMENT BEHIND THE BARRIER WHEN IT REACHES A DEPTH OF 6 INCHES.</p>										
11	EROSION CONTROL/SILT FENCE	NTS	8		5		2			
		<p>TREE PROTECTION SHALL BE INSTALLED AT THE DISCRETION OF THE COUNTY/PROJECT ARBORIST AND SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO THE START OF ANY GRADING OR SITE WORK</p> <p>TREE PROTECTION DETAILS:</p> <p>1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.</p> <p>2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).</p> <p>3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.</p> <p>4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.</p> <p>5. PROVIDE SIGNAGE AT THE DISCRETION OF THE PLANNING/BUILDING DEPARTMENT AS REQ'D.</p>								
12	TREE PROTECTION DETAIL	NTS			6	CONCRETE WASHOUT	NTS	3	STABILIZED CONSTRUCTION ENTRANCE/EXIT	NTS

Engineer

ARNOLD ENGINEERING
ASSOCIATES, INC.
1255 TREAT BOULEVARD, SUITE 300
WALNUT CREEK, CALIFORNIA 94597
email: info@aeaengineering.com
web: www.aeaengineering.com



Project Title

NEW RESIDENCE
2821 SEVENTEEN MILE DRIVE
PEBBLE BEACH, CALIFORNIA 93953

Client

ANNA & ILYA ASNIS
1842 LENCAR WAY
SAN JOSE, CA 93953

Issues and Revisions	
No.	Description
	Date
	07/23/20

Project No.	36-20
Drawn By	SC/AA
Reviewed By	AA
Scale	AS SHOWN
Date	July 23, 2020
Sheet Title	

DETAILS

Sheet #

Ono Consulting
Members Society of American Foresters
International Society of Arboriculture
Certified Arborist #WE-0536A
Board Certified Master Arborist WE-9388B
1213 Miles Avenue
Pacific Grove, CA 93950

January 19, 2021

Mr. and Mrs. Ilya and Anna Asnis
1842 Lencar Way
San Jose, CA 95124

RE: 2821 17 Mile Drive – Fuel Management Plan
APN: 007-121-010-000

Mr. and Mrs. Asnis;

We were contacted by Mr. Matt Hanner of Carmel Building and Design to assess and document vegetation management on your property located at 2821 17 Mile Drive, Pebble Beach, CA 93953. The site is in an area classified by the California Department of Forestry and Fire Protection as a “High Fire Risk” area. Our visual assessment conducted at this property in January 2020 viewed the fuel loads on-site as well as the overall health of the pine/oak forest on site and determined the condition of the site concerning fuel load and prescribe management. The fine fuels in the understory as well as lower tree branches present a fire risk to the area. The following report discusses our findings as well as recommendations for the property.

Sincerely,



Frank Ono
Certified Arborist #WE-0536A
Society of American Foresters # 048004



Justin Ono
Board Certified Master Arborist #WE-9388B
ISA Tree Risk Assessment Qualified

The following report is based on a visual inspection of tree condition and for obvious defects. It is not intended to constitute a complete health and hazard evaluation. Further investigation would be required to more definitively evaluate the health and hazards posed by the subject trees, some of which may not be disclosed by visual inspections. Investigations include but are not limited to core samples, root crown excavation, and visual inspection of the entire trees by climbing. Please be advised that healthy trees and/or limbs may fail under certain conditions and that the above recommendations are based on industry standards of tree care. This report is made with the understanding that no representations or warranties, either expressed or implied are made that any trees referred to in the report or located on or adjacent to the subject property are sound or safe. Acceptance and use of this report constitutes the acknowledgment of the following stated facts and that the Client shall pay to Consultant consulting fees following the Fee Schedule attached hereto and made a part hereof as Exhibit A for the services performed and shown on such statement within thirty (30) days after receipt thereof.

2821 17 Mile Drive – Fuel Management Plan

Prepared by Ono Consulting
1213 Miles Avenue
Pacific Grove CA, 93950
Telephone (831) 373-7086

ASSIGNMENT/SCOPE OF WORK

We were requested to perform a visual assessment of the site located at 2821 17 Mile Drive, Pebble Beach, CA 93953 to assess fuel levels on site and prepare a management plan to reduce fuel levels in the areas surrounding the proposed home to California Department of Forestry Monterey County standards. This report is prepared as a recommendation for the site's treatment to improve the health of the forest and reduce fuel load. This document is designed to evolve and change as fire management ordinances and local regulatory environments change.

LIMITATIONS OF THE ASSIGNMENT

The findings of this report are limited to a visual assessment of the trees and vegetation conditions on-site. No further tests such as a complete root collar examination or climbing of the trees were made as part of the assessment diagnosis as these were neither requested nor considered necessary.

Disclosure Statement

It is important to note that Urban Foresters/Arborists are tree specialists who use their education, knowledge training and experience to examine trees, recommend measures to enhance their health and beauty and to attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist or to seek additional advice. Trees and other plant life are living, changing organisms affected by innumerable factors beyond our control. Trees fail in ways and because of conditions we do not fully understand. Urban Foresters/Arborists cannot detect or anticipate every condition or event that could lead to the structural failure of a tree. Conditions are often hidden within the trees and below ground. Urban Foresters/Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, for any specific period or when a tree or its parts may fail. Further, remedial treatments, as with any treatment or therapy, cannot be guaranteed. Treatment, pruning, bracing and removal of trees may involve considerations beyond the scope of the arborists' skills and usual services such as the boundaries of properties, property ownership, site lines, neighbor disputes and agreements, and other issues. Therefore, urban forester/arborists cannot consider such issues unless complete and accurate information is disclosed in a timely fashion. Then, the urban forester/arborist can be expected, reasonably, to rely upon the completeness and accuracy of the information provided. Trees can be managed but not controlled. To live near trees, regardless of their condition, is to accept some degree of risk. The only way to eliminate all risks associated with trees is to eliminate all trees.

Hazard/hazard potential: For this evaluation and/report, a tree or tree part that presents a threat to humans, livestock, vehicles, structures, landscape features, or other entities of civilization from uprooting, falling, breaking, or growth development (e.g., roots). While all large landscape trees in proximity to such targets present some degree of hazard

regardless of their condition, such inherent hazard is not intended as within this definition and its usage in this evaluation and report.

Inspection limitations: The inspection of these trees consisted solely of a visual inspection from the ground. While more thorough techniques are available for inspection and evaluation, they were neither requested nor considered necessary or appropriate at this time.

As trees and other plant life are living, changing organisms affected by innumerable factors beyond our control, Frank Ono (dba F. O. Consulting) and its personnel offer no guarantees, stated or implied, as to tree, plant or general landscape safety, health, condition or improvement, beyond that specifically stated in writing in accepted contracts. This report is based on a visual inspection of tree condition and for obvious defects. It is not intended to constitute a complete health and hazard evaluation. Further investigation would be required to more definitively evaluate the health and hazards posed by the subject trees, some of which may not be disclosed by visual inspections. Investigations include but are not limited to core samples, root crown excavation, and visual inspection of the entire trees by climbing. Please be advised that healthy trees and/or limbs may fail under certain conditions and that any recommendations given are based on industry standards of tree care.

OBSERVATIONS

The following are observations taken on site:

- The lot forested primarily with Monterey pine trees with a Coast live oak, and native and non native grass understory.
- The property is undeveloped with a Pebble Beach Company green space running along the southeast property boundary.
- A proposed home is planned to be built in the middle of the property.
- The property is relatively flat and was broken up into two major “Zones” for the identification of fuel management.
 - Zone 1 – Area extending 30-feet out from proposed structures. This zone does not extend past the property lines to the east.
 - Zone 2 – Area extending 30-feet out to 100 feet from the proposed structures or to the property lines. This zone should extend into the green space owned by the Pebble Beach Company behind the property.
- The property and surrounding green space were masticated and new seedling recruitment is prolific.

SITE CONDITIONS

The site is undeveloped with a proposed home planned for the middle of the property. The area is in a transitional Monterey pine/ Coast live oak forested area with an understory of coastal scrub and native and nonnative grasses. Most of the vegetation removal is located on soils Monterey County Soils Report classifies as “Baywood sand” series soils over 80-inches deep. Slopes are mostly 2 to 5 percent. Runoff is very low, and the erosion hazard is low.

DISCUSSION AND CONCLUSION

The site is located in a high fire risk area and along with the nearby open space was previously cleared and masticated. This mastication coupled with declining over story trees, and significant tree failure has led to the increase in vegetative fuel from new seedling recruitment. Following the regulations set forth by Monterey County Zoning Ordinance Title 21 and PRC 4291 vegetation around the home site needs to be removed and trees pruned. Brush removal and tree trimming is not expected to significantly reduce the availability of wildlife habitat over the long-term and will allow the forest to continue to exist and regenerate over time.

RECOMMENDATIONS

Following regulations set forth by Public Resources Code 4291, vegetative fuel needs to be mitigated in the areas adjacent to the home site and right of way (driveway and road).

Recommended mitigation treatments and fuel descriptions by Zone as mapped:

- Zone 1 – Homesite area, fuel management is most intense. Zone extends 30-feet from proposed home, does not extend past property lines.
- Zone 2 – Landscape area, fuel management is less aggressive. Zone extends 30-100 feet from proposed home. Zone extends into neighboring green space but not neighboring residential properties.
 - Fuel management in Zone 2 that extends into Pebble Beach green space needs to be coordinated with the Pebble Beach Company.

Fuel Modification

The native and nonnative grasses, and shrubs should be cut or mowed to a height of no more than four inches to allow rootstock to remain to hold soils together. Poison oak and vines should be removed from all tree trunks. Large native shrubs should be retained in a mosaic fashion to keep native species white still maintaining horizontal spacing. Large pieces of dead wood should be removed to eliminate fuel jackpots (piles and concentrated areas) and to reduce the risk of insect brooding. Large dead branches should also be removed from tree crowns to reduce dead-fall onto the forest floor.

Tree Pruning

Trees larger than six inches in diameter shall have their crowns raised in the fuel management areas. Crown raising removes the lower branches of a tree to provide clearance for flames to pass underneath without allowing flames to climb into the tree's crown. To accomplish this goal branches on trees will be removed to a height of 8-10 feet. Live branches on at least two-thirds of a tree's total height will be maintained wherever possible. In small trees the removal of many lower branches will hinder the development of a strong stem. All basal sprouts and vigorous epicormic sprouts will be removed where feasible.

Fire Defensible Space (PRC 4291 Amended January 1, 2019)

California's Department of Forestry and Fire Protection (CalFire) has instituted a set of rules and guidelines for vegetation management and fire safety for homes in the wildland-urban interface (WUI). These rules have been adopted to reduce the fuels around homes and allow firefighters a better chance to combat the increasing wildfires that have been occurring in California. The law (Public Resource Code 4291) is as follows.

- a) A person who owns, leases, controls, operates, or maintains a building or structure in, upon, or adjoining a mountainous area, forest-covered lands, brush-covered lands, grass-covered lands, or land that is covered with flammable material, shall at all times do all of the following:
 - 1) Maintain defensible space of 100 feet from each side and from the front and rear of the structure, but not beyond the property line except as provided in paragraph (2). The amount of fuel modification necessary shall take into account the flammability of the structure as affected by building material, building standards, location, and type of vegetation. Fuels shall be maintained in a condition so that a wildfire burning under average weather conditions would be unlikely to ignite the structure. This paragraph does not apply to single specimens of trees or other vegetation that are well-pruned and maintained so as to effectively manage fuels and not form a means of rapidly transmitting fire from other nearby vegetation to a structure or from a structure to other nearby vegetation. The intensity of fuels management may vary within the 100-foot perimeter of the structure, the most intense being within the first 30 feet around the structure. Consistent with fuels management objectives, steps should be taken to minimize erosion. For the purposes of this paragraph, "fuel" means any combustible material, including petroleum-based products and wildland fuels.
 - 2) A greater distance than that required under paragraph (1) may be required by state law, local ordinance, rule, or regulation. Clearance beyond the property line may only be required if the state law, local ordinance, rule, or regulation includes findings that the clearing is necessary to significantly reduce the risk of transmission of flame or heat sufficient to ignite the structure, and there is no other feasible mitigation measure possible to reduce the risk of ignition or spread of wildfire to the structure. Clearance on adjacent property shall only be conducted following written consent by the adjacent landowner.
 - 3) An insurance company that insures an occupied dwelling or occupied structure may require a greater distance than that required under paragraph (1) if a fire expert, designated by the director, provides findings that the clearing is necessary to significantly reduce the risk of transmission of flame or heat sufficient to ignite the structure, and there is no other feasible mitigation measure possible to reduce the risk of ignition or spread of wildfire to the structure. The greater distance may not be beyond the property line unless allowed by state law, local ordinance, rule, or regulation.
 - 4) Remove that portion of any tree that extends within 10-feet of the outlet of a chimney or stovepipe. Provide and maintain at all times a non-combustible screen over the outlet of every chimney that is attached to any fireplace, stove or other device that burns any solid or liquid fuel. Use metal screen material with openings no smaller than 3/8 inch and no larger than 1/2 inch.
 - 5) Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
 - 6) Maintain the roof of a structure free of leaves, needles, or other dead vegetative growth.

- 7) Prior to constructing a new building or structure or rebuilding a building or structure damaged by a fire in such an area, the construction or rebuilding of which requires a building permit, the owner shall obtain a certification from the local building official that the dwelling or structure, as proposed to be built, complies with all applicable state and local building standards, including those described in subdivision (b) of Section 51189 of the Government Code, and shall provide a copy of the certification, upon request, to the insurer providing course of construction insurance coverage for the building or structure. Upon completion of the construction or rebuilding, the owner shall obtain from the local building official, a copy of the final inspection report that demonstrates that the dwelling or structure was constructed in compliance with all applicable state and local building standards, including those described in subdivision (b) of Section 51189 of the Government Code, and shall provide a copy of the report, upon request, to the property insurance carrier that insures the dwelling or structure.
- b) A person is not required under this section to manage fuels on land if that person does not have the legal right to manage fuels, nor is a person required to enter upon or to alter property that is owned by any other person without the consent of the owner of the property.
- c) 1) Except as provided in Section 18930 of the Health and Safety Code, the director may adopt regulations exempting structures with exteriors constructed entirely of nonflammable materials, or conditioned upon the contents and composition of same, he or she may vary the requirements respecting the removing or clearing away of flammable vegetation or other combustible growth with respect to the area surrounding those structures.
- 2) An exemption or variance under paragraph (1) shall not apply unless and until the occupant of the structure, or if there is not an occupant, the owner of the structure, files with the department, in a form as the director shall prescribe, a written consent to the inspection of the interior and contents of the structure to ascertain whether this section and the regulations adopted under this section are complied with at all times.
- d) The director may authorize the removal of vegetation that is not consistent with the standards of this section. The director may prescribe a procedure for the removal of that vegetation and make the expense a lien upon the building, structure, or grounds, in the same manner that is applicable to a legislative body under Section 51186 of the Government Code.
- e) The department shall develop, periodically update, and post on its Internet Web site a guidance document on fuels management pursuant to this chapter. Guidance shall include, but not be limited to, regionally appropriate vegetation management suggestions that preserve and restore native species that are fire resistant or drought tolerant, or both, minimize erosion, minimize water consumption, and permit trees near homes for shade, aesthetics, and habitat; and suggestions to minimize or eliminate the risk of flammability of nonvegetative sources of combustion such as woodpiles, propane tanks, decks, and outdoor lawn furniture.
- f) As used in this section, "person" means a private individual, organization, partnership, limited liability company, or corporation.

Detailed descriptions of the firebreaks described in section (A) and (B) of Public Resource Code 4291. These spacings are to be used in and around home sites.

Zone 1

Zone 1 extends 30 feet out from buildings, structures, decks, etc.

- Remove all dead plants, grass and weeds (vegetation).
- Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
- Trim trees regularly to keep branches a minimum of 10 feet from other trees.
- Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
- Relocate wood piles into Zone 2.
- Remove or prune flammable plants and shrubs near windows.
- Remove vegetation and items that could catch fire from around and under decks.
- Create a separation between trees, shrubs and items that could catch fire, such as patio furniture, wood piles, swing sets, etc.

Zone 2

Zone 2 extends 100 feet out from buildings, structures, decks, etc.

- Cut or mow annual grass down to a maximum height of 4 inches.
- Create horizontal spacing between shrubs and trees.
- Create vertical spacing between grass, shrubs and trees.
- Remove all dead trees.
- Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches.

Plant and Tree Spacing

The spacing between grass, shrubs, and trees is crucial to reduce the spread of wildfires. The spacing needed is determined by the type and size of brush and trees, as well as the slope of the land. For example, a property on a steep slope with larger vegetation requires greater spacing between trees and shrubs than a level property that has small, sparse vegetation.

Vertical Spacing

Remove all tree branches at least 6 feet from the ground.

Allow extra vertical space between shrubs and trees. Lack of vertical space can allow a fire to move from the ground to the brush to the treetops like a ladder.

To determine the proper vertical spacing between shrubs and the lowest branches of trees, use the formula $3 \times$ the height of the shrub to obtain the vertical clearance. Example: A five-foot shrub is growing near a tree. $3 \times 5 = 15$ feet of clearance needed between the top of the shrub and the lowest tree branch.

Horizontal Spacing

Horizontal spacing depends on the slope of the land and the height of the shrubs or trees. Shrub spacing generally would be a multiplier of height with trees being in multipliers of 10 feet. On a flat to mid-slope (0-20%) distance between shrubs or trees should generally be $2 \times$ the shrub height between plants. Example: a 4-foot shrub should have 8 feet in between plants and trees should 10 feet between tree crowns.

Sincerely,



Frank Ono

Certified Arborist #WE-0536A

Society of American Foresters # 048004



Justin Ono

Board Certified Master Arborist #WE-9388B

ISA Tree Risk Assessment Qualified



Sheet #

This page intentionally left blank.